

16 Riverview Drive

968

SFR

77

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED 9 1979

Permit No. 968

RECEIVED APR 9 1979

Date

4/9/79

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner H. TALMAGE DOBBS Present address 10410 A-1-A APT 507 Jensen Beach 33457

Phone 334-7744, 283-1280

General contractor C.M.S., Inc Address 860 N. Fed. Hwy - S 211 N. Palm Beach 33408

Phone 626-6223, 286-0400 1045 E. Ocean Blvd. STUART 33494

Where licensed STATE, COUNTY License No. CG 010806

Plumbing contractor BO WALTON License No. 00002

Electrical contractor D.J. HARMON License No. 00009

Air-conditioning contractor AC.I. of STUART License No. R100215226

Describe the building, or alteration to existing building new residence, concrete block walls, cedar shake roof, stucco & wood exterior

Name the street on which the building, its front building line and its front yard will face RIVERVIEW DRIVE

Subdivision RIVERVIEW Lot No. 11 Area .4198 ACRES

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2700

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 98,500⁰⁰

Cost of permit \$ 515⁰⁰ Plans approved as submitted or, as marked

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor [Signature]

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner H. Talmage Dobbs

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) 4/7/79

Inspector's initials [Signature]

Approved by Town Commissioner (date) 18 Apr '79

Commissioner's initials [Signature]

Certificate of Occupancy issued (date) Feb 25, 1980

#968

RECEIVED APR 9 1978

289488

Deed

THIS INSTRUMENT WAS PREPARED BY
CAROLD G. MAASS
Alley, Maass, Fry, & Langley & Company
321 Royal Poinciana Plaza
P. O. Box 431
Palm Beach, Florida 33480

This Deed, Dated this 29th day of November A. D. 19 77 ,

between BESSEMER SECURITIES CORPORATION, a Delaware corporation
authorized to transact business in the State of Florida,

hereinafter called the Grantor , which term shall include when used herein, wherever the
context so requires or admits, its successors and assigns,

and H. TALMAGE DOBBS, III, and SUZANNE W. DOBBS, his wife,

hereinafter called the Grantee § which term shall include when used herein, wherever the
context so requires or admits, their heirs and assigns,
(Grantees' address: 1357 N.E. Ocean Blvd., Stuart, Florida 33494)

WITNESSETH: That for the sum of Ten Dollars (\$10.00) and other good and
valuable considerations, said Grantor do es hereby grant, bargain, sell, alien, remise,
release, convey and confirm unto the said Grantees all that certain piece of property and
tract of land situate in the County of Martin and State of Florida,
described as follows:

Lot 11, of RIVERVIEW SUBDIVISION, a subdivision in the Town of Sewall's
Point, Florida, according to the plat thereof on file and of record in
the office of the Clerk of the Circuit Court in and for Martin County,
Florida, in Plat Book 6, page 86.

SUBJECT, however, to the following:

1. Taxes for the year 1977.
2. The zoning laws of the Town of Sewall's Point, Florida.
3. The matters shown on the aforesaid plat.
4. The Declaration of Protective Covenants recorded in Official
Record Book 383, page 1211, which Declaration is deemed to include as
a part thereof the Articles of Incorporation of Riverview Property
Owners Association, Inc. recorded in Official Record Book 383, page 1219,
and the By-Laws of Riverview Property Owners Association, Inc. recorded
in Official Record Book 383, page 1223 (all recording references being
to the public records of Martin County, Florida).
5. The further protective covenants, which shall run with the land,
reading as follows:

(a) No dwelling house shall be constructed, placed or per-
mitted to be on the premises unless it shall have a floor area of not
less than two thousand five hundred (2500) square feet (not including
the area of porches, unless roofed and closed in on three sides, car-
ports or outbuildings) and shall cost not less than Thirty-Five Thousand
and No/100 Dollars (\$35,000.00); no such dwelling house shall be con-
structed, placed or permitted to be on the premises until the plans and
specifications therefor, including the plan for the location thereof on
the ground, have been submitted to and approved by the Grantor.

968

DOBBS RESIDENCE

ALTERNATE ENGERY CALCULATION

WALL SECTION:

Conc. blk. wall with stucco as exterior finish with 1 x 2 wood furring strips and rigid insulation R-5 and interior finish of gyp. board.

U = .133 of wall.

U actual of house is .19.

U code of house is still .20 as shown on sheet A-1 of approved documents.

The above calculations are based on minimum EER of 6.8. The air conditioner system to be installed has EER of 8.1.

The house is well within minimum energy code standards.

DoBBS
FRASER ENGINEERING AND TESTING

968

PHONE: (305) 461-7508

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

Report
of
DENSITY OF SOIL IN PLACE
ASTM 2167-66

Client: Construction Management Systems

-Date: May 30, 1979

Contractor: Client

Site: Lot 11 Riverview Subdivision
Sewell's Point

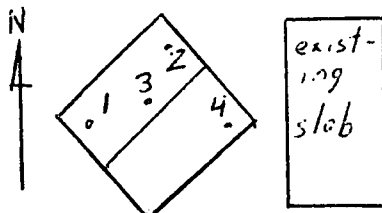
Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max. Dry Density	
25093	Map Location #1	0 - 1'	107.8	25092	108.4	99.4
25094	Map Location #2	2.5 - 3.5'	87.5	25091	99.7	87.8
25095	Map Location #3	0 - 1'	106.4	25092	108.4	98.2
25096	Map Location #3	1 - 2'	98.2	25091	99.7	98.5
25097	Map Location #4	0 - 1'	103.2	25092	108.4	95.2
25098	Map Location #4	1 - 2'	97.8	25091	99.7	98.1
25099	Map Location #2 RETEST	2.5 - 3.5'	101.6	25091	99.7	102.0

All elevations below finish slab grade.

Copies

Client - 1
Sewall's Pt. Building Department - 1

970



Respectfully submitted,
Alexander H. Fraser
ALEXANDER H. FRASER, P. E.

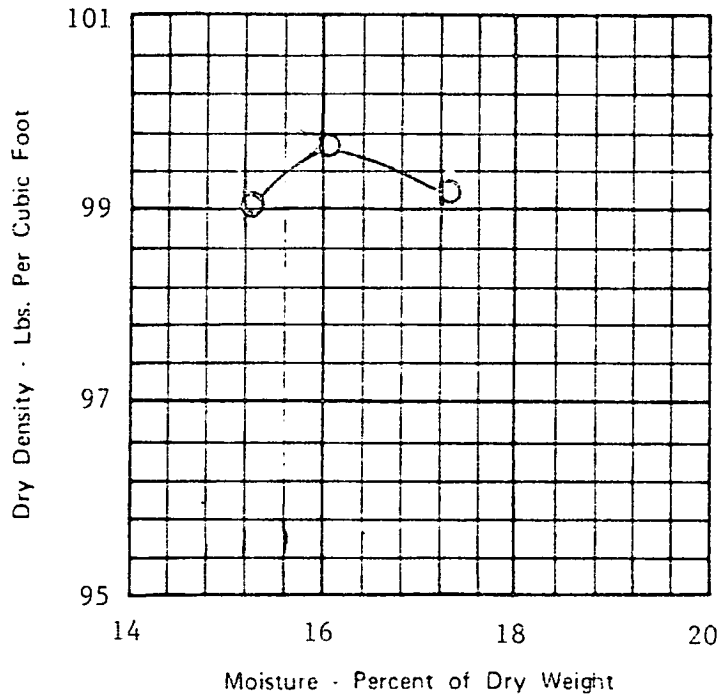
Report
 of
MOISTURE DENSITY RELATIONSHIP
 ASTM 1557-70

Client: Construction Management Systems

Date: May 30, 1979

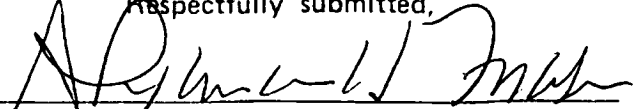
Contractor: Client

Site: Lot 11, Riverview Subdivision
 Sewell's Point



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
25091	A	Composite	16.1	99.7	White Fine Sand.

Copies Client - 1
 Sewell's Point Building Department - 1

Respectfully submitted,

 ALEXANDER H. FRASER, P. E.

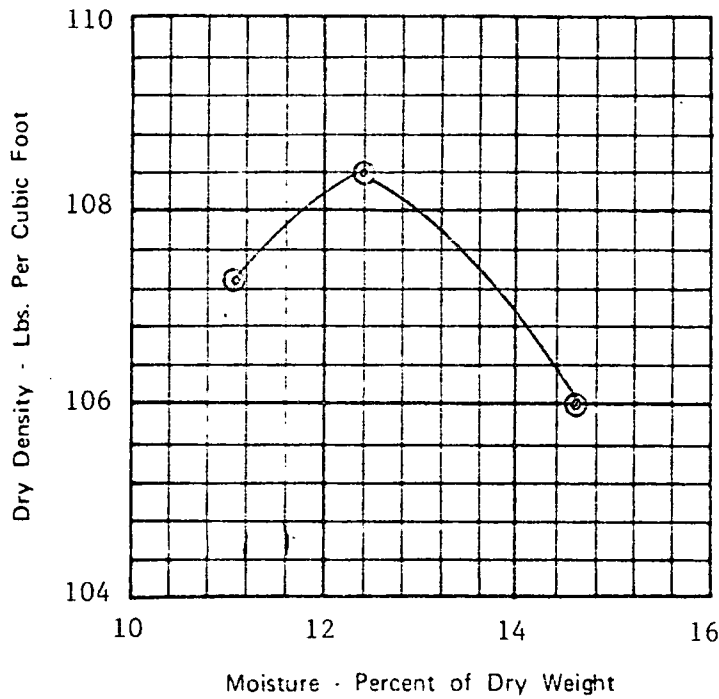
Report
 of
MOISTURE DENSITY RELATIONSHIP
 ASTM 1557-70

Client: Construction Management Systems

Date: May 30, 1979

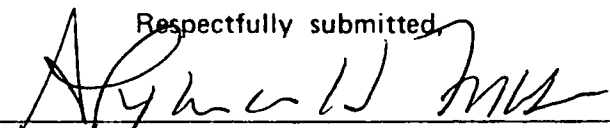
Contractor: Client

Site: Lot 11 Riverview Subdivision
 Sewell's Point



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
25092	A	Composite	12.4	108.4	Brown, slightly silty, clayey fine sand.

Copies Client - 1
 Sewell's Point Building Department - 1

Respectfully submitted,

 ALEXANDER H. FRASER, P. E.

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date Feb. 25, 1980

This is to request that a Certificate of Approval for Occupancy be issued to N. Talmage Dobbs
For property built under Permit No. 968 Dated 4/19/79 when completed in
conformance with the Approved Plans.

[Signature]
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings	4/25/79	<i>[Signature]</i>
Rough plumbing	5/14/79 & 5/17/79	
Slab	5/21/79 & 6/11/79	
Perimeter beam	6/13/79	
Close-in, roof and rough electric	10/5/79	
Final Plumbing	2/25/80	
Final Electric	2/25/80	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector *J. J. Jarama* date 2/25/80

Approved by Building Commissioner *[Signature]* date 2/25/80

Utilities notified Feb. 25 1980 date *[Signature]*

Original Copy sent to _____

(Keep carbon copy for Town files)

1550

POOL

1550

Permit No. _____

RECEIVED

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, ~~MAF~~, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dobbs, Talmadge Present Address 146 Riverview Dr.

Phone 283-1280

Contractor Louden Pools Address 4306 S. US #1 F.P.

Phone 465-2700

Where licensed _____ License number CPCO 11421

Electrical contractor L License number _____

Plumbing contractor Louden License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

Install Swimming Pool & SPA.
State the street address at which the proposed structure will be built: _____

River view Dr.

Subdivision Sewells Point Lot number 11 Block number _____

Contract price \$ 10,600 Cost of permit \$ 53.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted 3/4/83 Approved: [Signature] 3/7/83
Building Inspector Date

Approved: [Signature] Final Approval given: 3/11
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1550

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 4/19/83

This is to request that a Certificate of Approval for Occupancy be issued to T. Dobles
For property built under Permit No. 1550 Dated March 9, 1983 when completed in
conformance with the Approved Plans.

Signed _____

RECORD OF INSPECTIONS

Item	Date	Approved by
Set-backs and footings		
Rough plumbing		
Slab		
Perimeter beam		
Close-in, roof and rough electric		
Final Plumbing		
Final Electric		
Final Inspection for Issuance of Certificate for Occupancy.		
Approved by Building Inspector		<u>Amazusa</u> date <u>4/19/83</u>
Approved by Building Commissioner		_____ date _____
Utilities notified		_____ date _____

Original Copy sent to _____

(Keep carbon copy for Town files)

1558

FENCE

TOWN OF SEWALL'S POINT, FLORIDA

Permit No. _____

1558

Date 3-30-83

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner TALMAGE DOBBS Present Address ¹⁶~~14~~ RIVERVIEW DR.

Phone 286-4340 STUART, FLA. 33494

Contractor OWNER Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: WOOD GATE - CEDAR - 7' HIGH

State the street address at which the proposed structure will be built:

14 RIVERVIEW DRIVE STUART, FLA. 33494

Subdivision RIVERVIEW Lot number 11 Block number _____

Contract price \$ 200XX Cost of permit \$ 5XX

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Talmage Dobbs

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Talmage Dobbs

TOWN RECORD

Date submitted 3-30-83 Approved: J. Maguire 3/30/83
Building Inspector Date

Approved: J. C. Strubell 4/6/83 Final Approval given: 4/9/83
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282 Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

5. xx
PAID cash
3-30-83

1933

FENCE

1933

TOWN OF SEWALL'S POINT FLORIDA

1933

Permit No. _____

Date 10/11/84

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Mrs. Glover Present address 16 Riverview

Phone 286-8341 Sewells Point

Contractor Martin Fence Co. Address 1125 Old Dixie Hwy

Phone 848-2666

Where licensed _____ License number 00056

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Installing 6' shadow @ 282

State the street address at which the proposed structure will be built:

16 Riverview in Sewells Point

Subdivision Riverview Lot No. 11

Contract price \$ 1205 Cost of Permit \$ 6.00 ~~\$15.00~~ 1200 D.F.

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

Approved: [Signature] Building Inspector Date submitted 10/15/84

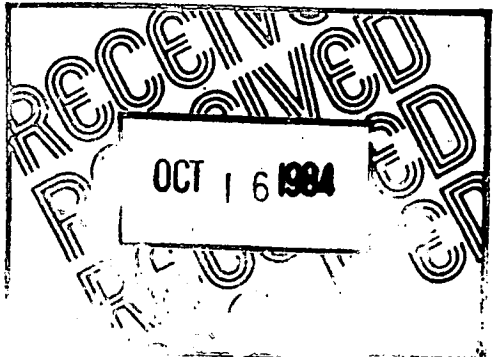
Approved: [Signature] Commissioner Date 6/24

Final Approval given: 6/24 GL Date

Certificate of Occupancy issued _____ Date

SP/1-79

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.





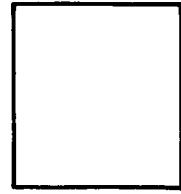
1125 OLD DIXIE HWY.
LAKE PARK, FLORIDA
33403

Palm Beach 848-2666
Martin/St. Lucie 334-0000
F. Pierce 465-0000

Serving: Broward, Martin, Palm Beach, St. Lucie, Indian River Counties

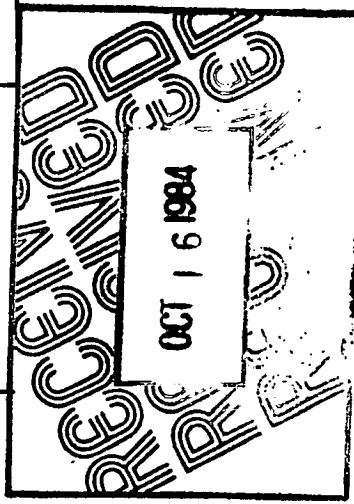
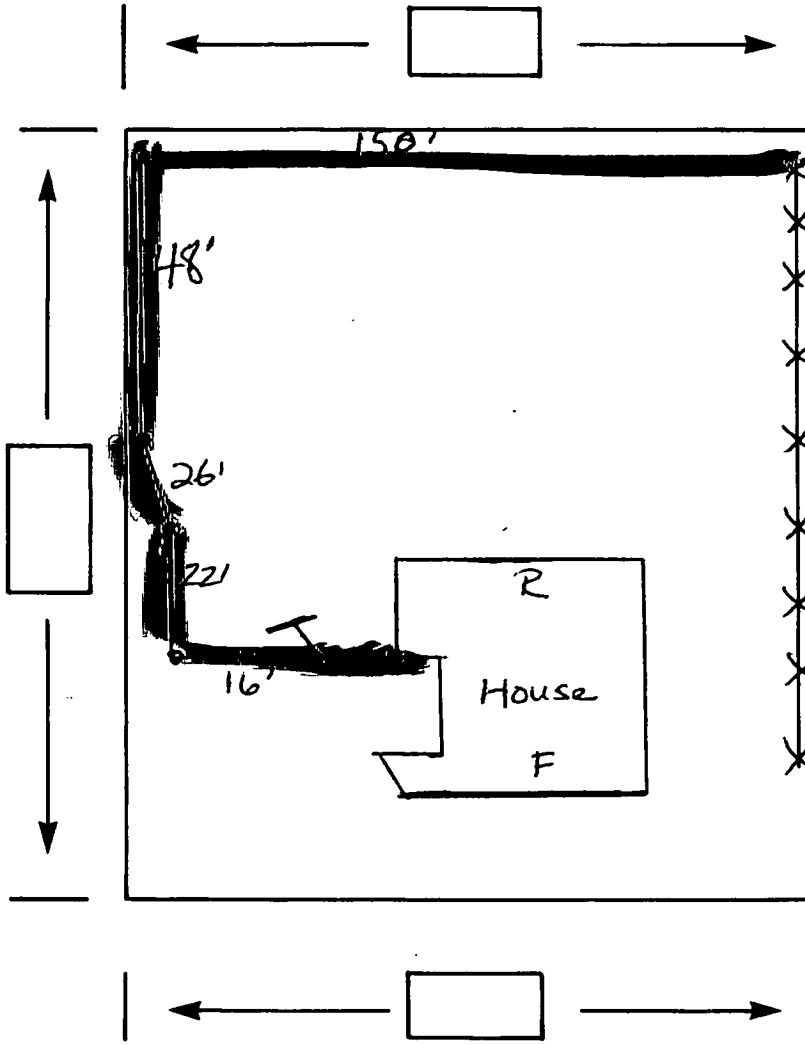
Plans drawn by: Van Kinchen

Name of Property Owner: Mrs. Glover



BUILDING & ZONING ADMINISTRATION
Plot Plan

North Arrow



Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. 11 Block No. 6
Subdivision Riverview
Section _____

OFFICE COPY

6 Plat Book and Page No. 86

- Note:
1. Show existing buildings and additions.
 2. Show distance from property lines to buildings and/or new additions.

2742

ADDITION

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner J. Dawson & Charlotte Glover Present Address 16 Riverview Dr.
Phone 407-286-8341 Stuart, FL 34996

Contractor Self Address _____
Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Close in garage for game room & add

half bath & storage area under overhang

State the street address at which the proposed structure will be built:
16 Riverview Drive.

Subdivision Riverview Lot number 11 Block number _____

Contract price \$ 10,000.00 Cost of permit \$ 200.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Charlotte D. Glover

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Charlotte D. Glover

TOWN RECORD
Approved: Dale Brown 3/22/90
Building Inspector Date

Date submitted _____

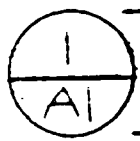
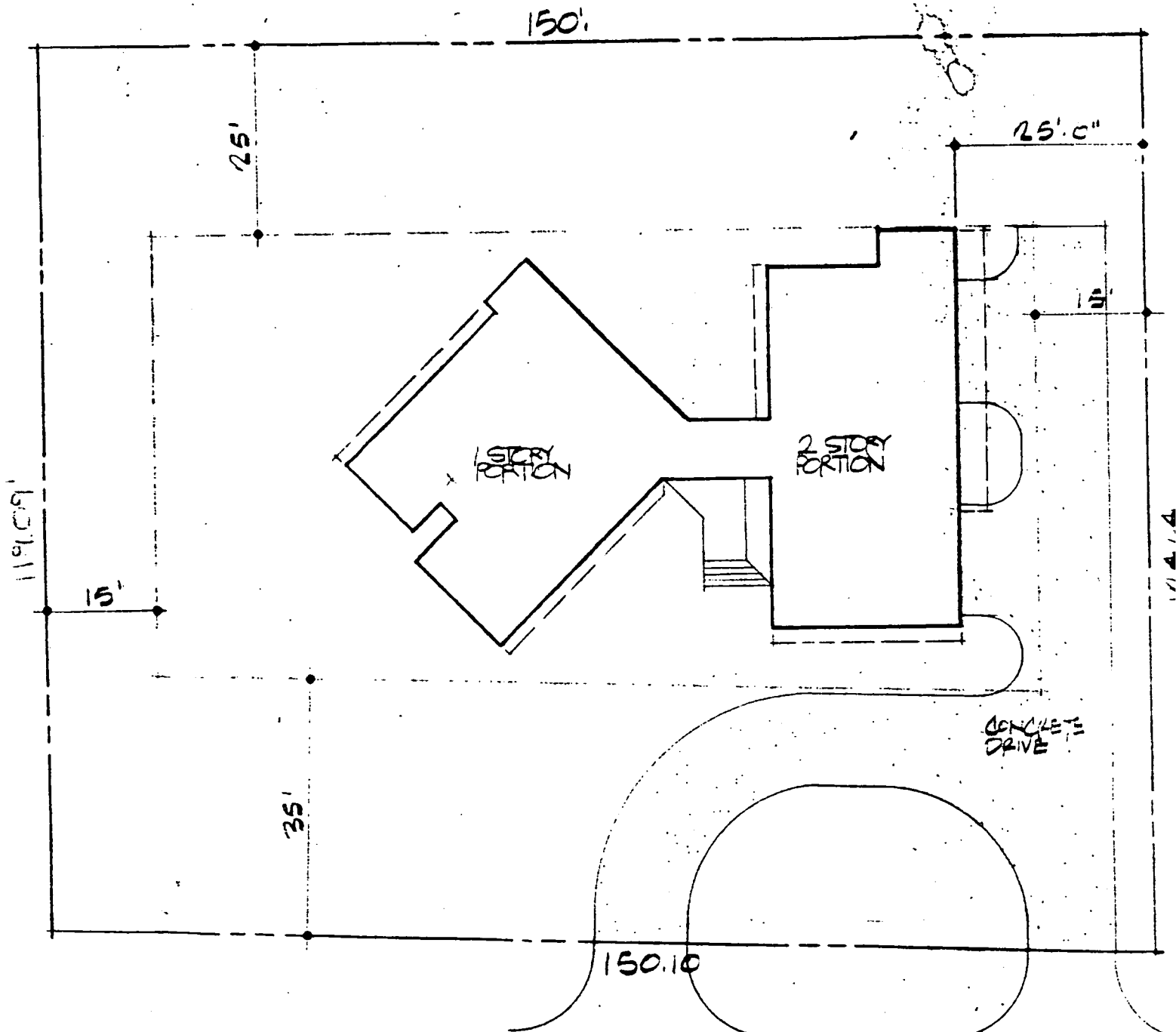
Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

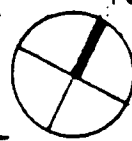
Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



SITE PLAN

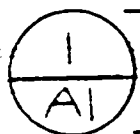
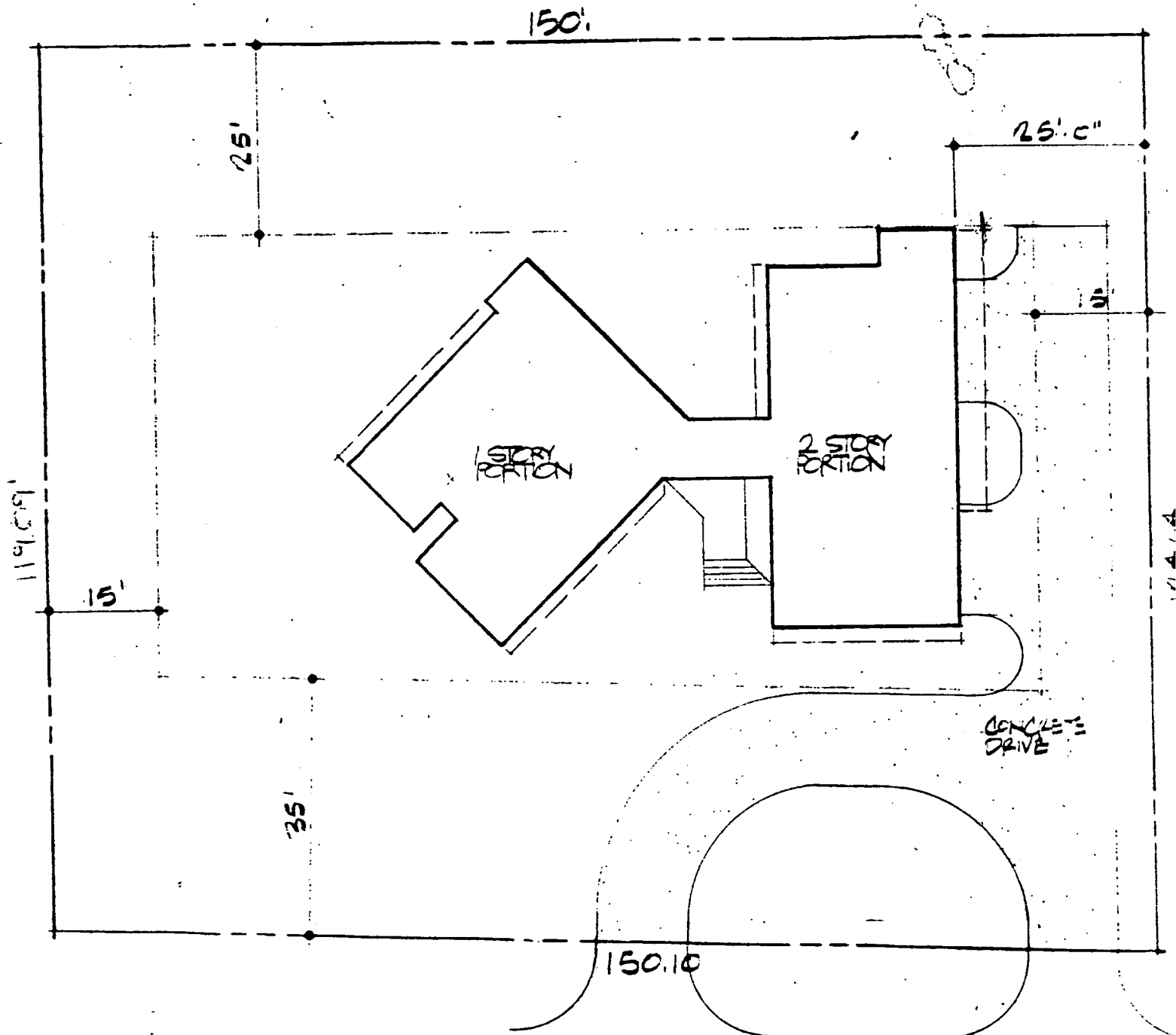
SCALE 1" = 20'



LEGAL DESCRIPTION

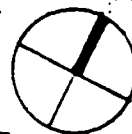
LOT 11, RIVERVIEW S/D
 SENALLS POINT, P.B. 6
 PAGE 86
 MARTIN COUNTY PUBLIC RECORDS

150' 0"
 25' 0"



SITE PLAN

SCALE 1"=20'



LEGAL DESCRIPTION

LOT 11, RIVERVIEW SID
 SEWALLS POINT, P.B. 6
 PAGE 86
 MARTIN COUNTY PUBLIC RECORDS

150.10'

2973

RE-ROOF

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2913

This application must be accompanied by three (3) sets of complete plans, to scale, including plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner LAWSON C. GLOVER Present Address 116 Riverview Dr.

Phone 281-8341

Contractor McNAB INC. Address P.O. Box 9183 PSL FL 34985

Phone 335-0178

Where licensed MARTIN Co. License number SP01494

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Re Roof main structure - Remove cedar

Shakes - Replace with Max. Shakes - Flat Roof - Replaced with 4 Ply Fiber Build-up w/ Silver Seal.

State the street address at which the proposed structure will be built: 116 Riverview Dr.

Subdivision Riverview Subdivision Lot number 11 Block number _____

Contract price \$ 10,500.- Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Mark J. McNab

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Charlotte Glover

TOWN RECORD

Date submitted _____ Approved: Dale Brown 4/24/91
Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

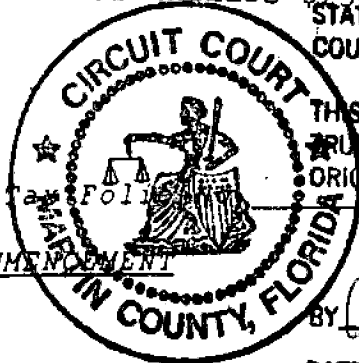
SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

TO BE COMPLETED IF CONSTRUCTION VALUE EXCEEDS \$2500.00

880361



STATE OF FLORIDA
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL.

Permit No. _____

NOTICE OF COMMENCEMENT

State of Florida
County of Martin

MARSHA STILLER, CLERK

BY Charlotte Buckley, D.C.

DATE 4-22-91

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available)

Lot 11 Riverview Subdivision Sewall's Pt.

16 Riverview Dr Sewall's Pt. Stuart FL.

General Description of Improvements: Re-roof main structure

Owner: BERN & CHARLOTTE GLOVER

Address: 16 Riverview Rd Sewall's Pt. Stuart FL

Owner's interest in property: 100%

Fee Simple Title Holder (if other than owner): _____

Address: _____

Contractor: M CNAB INC.

Address: P.O. Box 9183 PSL FL 34985

Surety Co. (if any) _____

Address: _____

Amt. of Bond \$ _____

Lender's Name: _____

Address: _____

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

Name: Owner only

Address: _____

In addition to himself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____.

Charlotte B. Glover
Signature of Owner

Sworn to and subscribed before me this 23rd day of April 1991

Mina Bacon
Notary Public

My Commission Expires:

NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: MAY 3, 1993.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.

FILED FOR RECORD
MARTIN CO. FLA.
91 APR 22 PM 2:42
MARSHA STILLER
CLERK OF CIRCUIT COURT
BY

4489

REPAIR

STAIRS

Town of Sewall's Point

4489

10-21-98

PLN _____

Date _____

BUILDING PERMIT APPLICATION

to construct:

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: REPAIR STAIRS CONTRACT PRICE \$1800.00

Owner's Name BERRY GLOVER

Owner's Address 16 RIVERVIEW DR.

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City SEWALL'S POINT State FL Zip _____

Contractor's Name JULIUS GRAHAM

Contractor's Address 361 GRIMALDO TER

City PORT ST. LUCIE State FL Zip 34987

Job Name GLOVER

Job Address 16 RIVERVIEW DR.

City SEWALL'S POINT State FL Zip _____

Legal Description _____

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

7" Riser 11 tread 25" Per ~~two~~ two steps. *[Signature]*

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent

Date

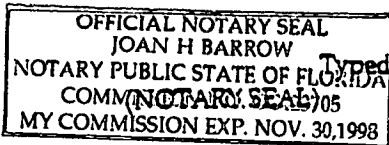
X Julius Graham
Contractor

10-20-98
Date

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 20th day of Oct, 1998, by

Julius Graham who: [] is/are personally known to me, or [] has/have produced H.I.I. as identification, and who did not take an oath.



Name: Joan H Barrow
Typed, printed or stamped

I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this ___ day of _____, 199___ by

_____, who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: _____

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. _____

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY Robert A. Bott 61000008-10 Permit Officer

Building Commissioner

4872

RE-ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 03/21/00

BUILDING PERMIT NO. 487.2

Building to be erected for BARRY GLOVER

Type of Permit REROOF

Applied for by COOPER ROOFING

(Contractor) Building Fee _____

Subdivision _____ Lot _____ Block _____

Radon Fee _____

Address 16 RIVERVIEW DR.

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

"AFTER FACT" PERMIT
DOUBLE FEE

Electrical Fee _____

Parcel Control Number:
12-38-41-001-00000-1105-0000

Plumbing Fee \$240.00

Amount Paid \$240.00 Check # 0931 Cash _____ Other Fees (_____)

Roofing Fee \$120.00

Total Construction Cost \$ \$6,500.00

TOTAL Fees \$120.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector OFFICER

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE 5/22/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction
- Remodel
- Addition
- Demolition

This permit must be visible from the street, accessible to the inspector.
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
 NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

1812

BUILDING PERMIT APPLICATION

RECEIVED
MAR 18 2000
101-286-8341

Owner's Name: Mr. & Mrs. Glover
Owner's Present Address: 16 RIVERVIEW DR Phone No. 34996
Fee Simple Titleholder's Name & Address if other than owner: SHAW, FLA. 34996 SAME

Location of Job Site: 16 RIVERVIEW DR STUART FL 34996
TYPE OF WORK TO BE DONE: RE-ROOF

CONTRACTOR INFORMATION
Contractor/Company Name: Cooper Roofing Phone No. 871-9405
COMPLETE MAILING ADDRESS: 8446 S. FEDERAL HIGHWAY - PSL, FL. 34982
State Registration: 5243 State License: CCC057673
Legal Description of Property
Parcel Number: 1238-41001-00000-1105-0000

ARCHITECT/ENGINEER INFORMATION None

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area 3500 Garage Area 400 Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEE electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvements: \$6,500
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

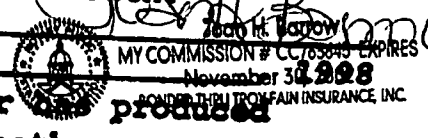
Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing Cooper Roofing State License# CCC057673

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature]
Sworn to and subscribed before me this 14th day of March, 2000 by R. Cooper who is personally known to me or has produced or has produced "Fl. d.l." and who did (did not) take an oath.
CONTRACTOR SIGNATURE [Signature]
Sworn to and subscribed before me this _____ day of _____ by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey) U/A
 No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
 Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

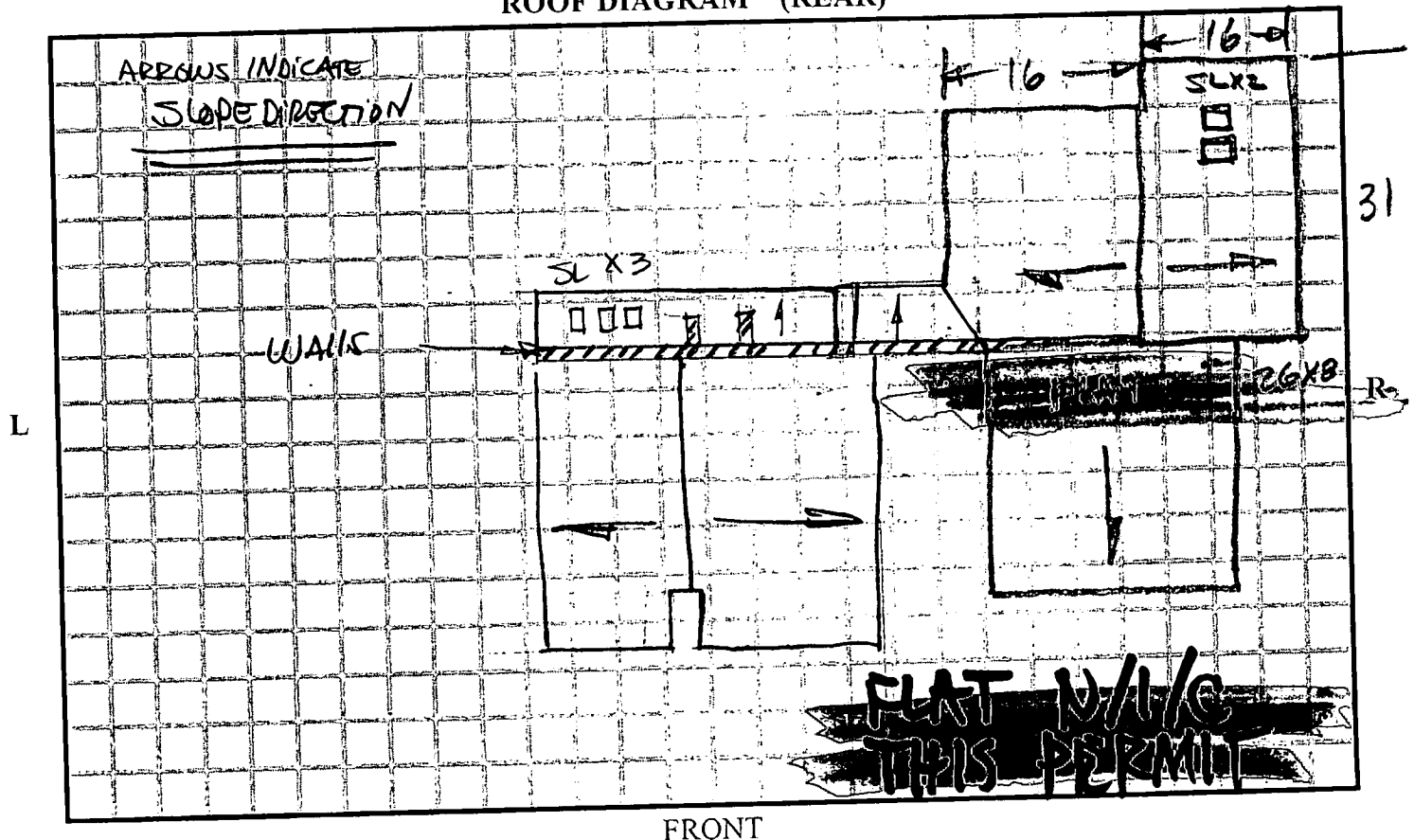
Approved by Building Official _____
 Approved by Town Engineer _____

MATERIAL LIST GLOVER / RIVERVIEW

ROOF PITCH 4/12 - SPLIT LEVEL

- 19 ROLLS #30 LB. 3 BOXES 1 1/4" ROOF NAILS
- 1/2 BOX TIN TAGS 2 BOXES #8 NAILS
- 1 PAIL ROOF CEMENT
- 2 ROLLS #43 BASE SHEET
- 38 STICKS LIGHT GRAY 26 GA. EYES DRIP
- 6 GRAY RIDGE VENTS 4 END PLUGS
- 3 - 2" LEAD PIPE BOOTS.
- 38 # 35 YEAR GS FIBERGLASS SHINGLES.

ROOF DIAGRAM (REAR)



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
3-17-00

PRODUCER

A Better Deal Insurance
1026 SW Bayshore Blvd
Port St Lucie, FL 34983
(561) 871-1975

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

RECEIVED
MAR 20 2000
BY: SA

INSURED

COOPER ROOFING & CONSTRUCTION CO
8446 S Fed Hwy
Pt St Lucie Fl 34952
COPY *PERMIT*

INSURER A: AMERICAN EQUITY
INSURER B:
INSURER C:
INSURER D:
INSURER E:

FILE
h/t/ell

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	ACC067338	11-4-99	11-4-00	EACH OCCURRENCE \$ 100,000 FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 300,000 PRODUCTS - COMP/OP AGG \$ 100,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 Roofing Contractor

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

TOWN OF SEWALL'S POINT
One South Sewal's Point Rd
Sewalls Point, Fl 34996
Fax 220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

David J. Peltier

03/20/2000

PRODUCER

TRUSSELL INSURANCE SERVICES, INC.
 2402 AUTUMN OAKS TRAIL
 ARLINGTON, TX 76008

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER, THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY
 A HARTFORD CASUALTY INSURANCE COMPANY
 COMPANY
 B
 COMPANY
 C
 COMPANY
 D

HARTFORD CASUALTY INSURANCE COMPANY

FILE

UC/WS

RECEIVED
 MAR 21 2000
 BY: [Signature]

INSURED SUNSHINE COMPANIES, INC.
 5825 US 27 NORTH
 SEBRING, FL 33870
 PH: 800-477-5608

COPY
 PERMIT

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSION AND CONTITION OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO	LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
		GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS-COMP/OP AGG \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one Act) \$ MED EXP (Any one person) \$
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY-EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
		EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A		WORKERS COMPENSATION AND EMPLOYER'S LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	45WNLJ74901	06/01/1999	06/01/2000	X WC STATUS OTH. TORY LIMITS ER EL EACH ACCIDENT \$ 1,000,000 EL DISEASE-POLICY LIMIT \$ 1,000,000 EL DISEASE-EA EMPLOYEE \$ 1,000,000
		OTHER LOCATION COVERAGE		06/01/1999	06/01/2000	

DESCRIPTION OF OPERATION(S)/LOCATION(S)/VEHICLE(S)/SPECIAL ITEMS

ONLY THOSE EMPLOYEES LEASED TO, IN FLORIDA, BUT NOT SUBCONTRACTORS OF:

3197 COOPER ROOFING & CONST. CO.

1186 SABINA LANE, PORT ST. LUCIE, FL 34983

TOWN OF SEWALL'S POINT

1 SO. SEWALL'S POINT ROAD
 SEWALL'S POINT, FL 34996-
 ATTN: 561-220-6757
 FAX: 561 220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Roy D. Cannon

[Signature]

OCCUPATIONAL LICENSE

CITY OF PORT ST. LUCIE

.....

121 S.W. Port St. Lucie Boulevard
Port St. Lucie, Florida 34984-5098

TERM: OCTOBER 1, 1999

TO SEPTEMBER 30, 19 00

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS

BUSINESS ADDRESS: 1186 SE SABINA LANE

LICENSE NO.: 112387/00-101

CLASSIFICATION: CONT CONTRACTOR

Discount 0.00

ISSUED TO: COOPER ROOFING & CONSTRUCTION CO
1186 SE SABINA LANE

FEE: 100.00

PORT ST LUCIE FL

34983

May S. [Signature]
CITY LICENSE OFFICIAL

Fees: 100.00 Late Fees: 0.00 Total this payment: 100.00
890/007 HR

VALID AT THE ABOVE BUSINESS ADDRESS ONLY

AC# 5194868

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
07/02/1998	98900005	CC -C057673

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489
Expiration date: AUG 31, 2000

FL.

FILE
UC/US

RECEIVED
MAR 17 2000
BY: *GA*

COOPER, ROBERT GRANT
COOPER ROOFING & CONSTRUCTION CO
1186 SE SABINA LANE
PORT ST LUCIE FL 34983

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

FILE
PEROULT

RICHARD T. FARR
SECRETARY

03/13/2000 11:59 5612885911 MCB00C

PAGE 01

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$5000.00

PERMIT # _____ TAX FOLIO # 123841000-00000-1105-0000

NOTICE OF COMMENCEMENT

STATE OF Florida COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 718, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

116 RIVERVIEW DRIVE - SEWELL POINT FL 34991

GENERAL DESCRIPTION OF IMPROVEMENT: RE-ROOF

OWNER: Mr. & Mrs. Barry Glover

ADDRESS: 116 RIVERVIEW DRIVE / Stuart, FL. 34991

PHONE #: 561-286-8341 (w) FAX: 692-2000 F 692-2689

CONTRACTOR: Cooper Roofing

ADDRESS: 8446 S. FEDERAL HIGHWAY / PSL, FL. 34982

PHONE #: 871-9405 FAX #: 871-6757

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE # _____

BOND AMOUNT: _____

LENDER: NONE

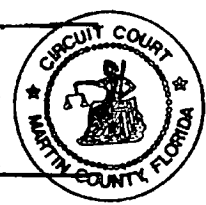
ADDRESS: _____

PHONE #: _____

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHALLER, CLERK
BY Charlotta B. ...
DATE 3-16-00



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 718.13(1)(A)7., FLORIDA STATUTES:

NAME: ROBERT G. COOPER

ADDRESS: 8446 S. FEDERAL HIGHWAY / PSL, FL. 34982

PHONE #: 871-9405 FAX #: 871-6757

IN ADDITION TO HIMSELF, OWNER DESIGNATES BOB COOPER OF COOPER ROOFING TO RECEIVE A COPY OF THE LENDOR'S NOTICE AS PROVIDED IN SECTION 718.13(1)(A)7., FLORIDA STATUTES.

PHONE #: 871-9405 FAX #: 871-6757

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: 3/12/01

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Dawson C. Glover
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14 DAY OF March, 2000
BY Dawson C. Glover, Jr.

Sondra L. Arslan
NOTARY SIGNATURE

OR PERSONALLY KNOWN
PRODUCED ID _____
TYPE OF ID _____



Sondra L. Arslan
Commission # 00 892081
Expires Dec. 2, 2003
Bonded Thru
Atlantic Bonding Co., Inc.

PROOF OF NOTICE:
SUBDIVISION REVIEW/APPROVAL

To: Building Official, Town of Sewall's Point
FROM: Permit Applicant
RE: Subject structure described as follows:

OWNER: BARRY GHOVER ; ADDRESS: 16 RIVERVIEW DR. STUART, FL.

PROJECT ADDRESS: 16 RIVERVIEW DR.; LEGAL DESCRIPTION: LOT _____ BLK _____ SUB _____

GENERAL CONTRACTOR: COOPER ROOFING & CONST. Co. ; LIC/CERT No. C 44 057673

ADDRESS: 5446 Federal Hwy Port St Lucie FL ; TEL 877 9405 ; FAX _____

ARCHITECT OR ENGINEER: _____ ; Lic/Reg No. _____

ADDRESS: _____ ; TEL _____ ; FAX _____

PERMIT No: _____ ; DATE OF ISSUE: _____ ; DATE OF THIS STATEMENT: _____

The proposed project is located in the located in _____ Subdivision.

In compliance with permit application review requirements, please be advised as follows:

- SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS NOT REQUIRED.
- SUBDIVISION/ASSOCIATION REVIEW AND APPROVAL IS REQUIRED.
- APPROVAL DOCUMENTATION IS ATTACHED
- NOTICE OF THE ABOVE PROPOSED CONSTRUCTION WAS PROVIDED TO THE SUBDIVISION/ASSOCIATION ON _____

Executed at Sewall's Point, this 21st day of March 2000.

NAME: John Tullar ; SIGNATURE: J. Tullar ; Lic. No: _____

STATE OF FLORIDA
COUNTY OF Martin

Sworn to and subscribed before me this 21st day of March 2000, by J. Tullar, who is personally known to me or who has produced F.I.D.I. as identification and who did not take an oath.

(NOTARY SEAL)

Spandh. Barnow
Name _____
I am a Notary Public of the State of Florida and
MY COMMISSION # CC 73345 EXPIRES
November 30, 2002
BONDED THRU TROY FAY INSURANCE, INC.





BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
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FILE

PRODUCT CONTROL NOTICE OF ACCEPTANCE

GS Roofing Products Systems, Inc.
5525 MacArthur Blvd., Suite 900
Irving, TX 75038

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:


Firescreen Plus 2000 Asphalt Shingle

under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: Underwriters Laboratories, Inc., and Celotex Corporation Testing Services, has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-16 and the standard conditions on page 17.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

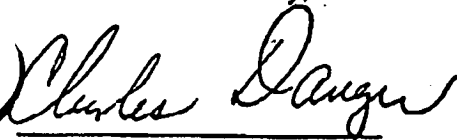
ACCEPTANCE NO.: 97-1202.02
EXPIRES: 03/12/01


Kaul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE COMMITTEE

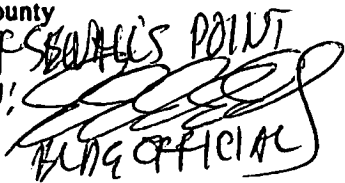
This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

FLAT ROOF N.I.C.


Charles Danger, P.E.
Director
Building Code Compliance Dept.
Miami-Dade County

APPROVED: 03/12/98

PN 4872

03/17/00 TOWN OF SEBASTIAN'S POINT
REVIEW: 
TOWN OFFICIAL



TOWN COPY
16 RIVERVIEW DR.

PRODUCT CONTROL NOTICE OF ACCEPTANCE
ROOFING SYSTEM APPROVAL

Applicant:

GS Roofing Products Company, Inc.
5525 MacArthur Blvd. Suite #900
Irving, Texas 75038

Product Control No: 97-1202.02

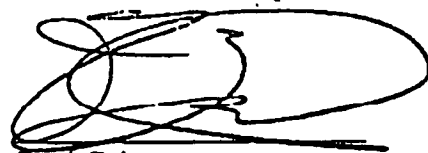
Approval Date: March 12, 1998

Expiration Date: March 12, 2001

Category: Prepared Roofing
Sub-Category: Shingles
Type: Asphalt
Sub-Type: 3-Tab

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
GS Firescreen Plus 2000	12 " x 36"	PA 110	A heavy weight, fiberglass reinforced 3-Tab asphalt shingle.
GS #30 Asphalt Organic Felt		ASTM D 226, type II	An asphalt impregnated organic felt for use as a shingle underlayment.
GS #15 Asphalt Organic Felt		ASTM 226, type I	An asphalt impregnated organic felt for use as a shingle underlayment



Frank Zuloaga
Roofing Product Control Examiner

EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Celotex Corporation Testing Services	PA 100	Uplift and wind driven rain resistance.	11/14/97
Underwriters Laboratories, Inc.	PA 107	Wind uplift resistance Modified ASTM D 3161	11/14/97
Underwriters Laboratories, Inc.	ASTM 3462	Material properties ASTM 3462	09/16/97
Underwriters Laboratories, Inc.	UL790	Fire Test See UL letter dated 02/17/98	

The testing listed above, submitted with this application confirms the shingle assembly complies with all test requirements set forth under Chapter 34 of the South Florida Building Code. The shingle system has been tested in compliance with Dade County Protocols PA 100 and 107. The shingle component physical properties have been tested in compliance with ASTM D 3462. All accessory components listed within this application are in compliance with South Florida Building Code Requirements.

System Trade Names:

Firescreen Plus 2000 - 3 Tab

Maximum Fire Classification

<u>Deck Type</u>	<u>Classification</u>
Min. 19/32" Plywood, or Wood Plank	Class A



Frank Zuloaga
Roofing Product Control Examiner

SYSTEM APPLICATION

Slope Range: 2":12" to <4":12"

Underlayment: Underlayment shall be applied in accordance with the South Florida Building Code, Section 3403.5(b)(6): All underlayments applied at a roof pitch less than 4":12" shall be applied in a double layer of ASTM D 226, type I with a 19" overlap or by the application of a single layer of ASTM D 226, type II organic felt or an ASTM D 2626 coated base sheet as a base ply with a 4" overlap. End laps shall be 6". Underlayment shall be installed with minimum 12 ga. x 1 1/4" corrosion resistant roofing nails and minimum 32 ga. x 1 5/8" diameter tin caps, spaced 12" o.c. in a grid pattern in the field and 6" o.c. at the laps. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1".

Note: All flashing cement used shall be ASTM D 4586 asbestos-free flashing cement. All products shall have Metro-Dade Component Approval.

Edge Metal: Edge metal and installation shall be in compliance with the South Florida Building Code Section 3408.2 and 3408.3: Minimum .021" (26 ga.), 2" x 2" galvanized or other approved corrosion resistant material nailed over top of the underlayment at 4" o.c., with minimum 12 ga. x 1 1/4" corrosion resistant annular ring shank roofing nails at all perimeters. The nails shall be manufactured from similar and compatible material to the termination profile. All composite materials shall be fashioned with non-ferrous nails. At corners, the ends of adjoining approved drip edge shall be overlapped 7", notched and bent around the corner. Straight lengths of approved drip edge shall be overlapped not less than 3". See Dade County Protocol PA 111(4.3.4), figure 2.

Note: All intersections, eaves, rakes, valleys, gable ends, and starter course shall be set in a 8" wide strip of ASTM D 4586 flashing cement.

Valleys: Valleys may be applied in open, closed or weaved fashion. Valley metal shall be in compliance with the South Florida Building Code section 3408.4. A 36" wide sheet of ASTM D 249 mineral surfaced rolled roofing; or ASTM D 224 smooth roll roofing shall be installed over the underlayment at all close cut or woven valleys, centered in the valley. The roll roofing shall be nailed 6" o.c. with minimum 12 ga. x 1 1/4" roofing nails at each edge. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Endlaps shall be 12" and adhered with ASTM D 4586 flashing cement. In open valley applications a minimum 16" wide, 26 ga. galvanized metal; or other approved corrosion resistant material shall be installed, and may be rolled or preformed. Set valley in a bed of ASTM D 4586 flashing cement, applied in two 4" wide strips at each exterior edge, with a maximum thickness of 1/8". Fasten valley metal with minimum 12 ga. x 1 1/4" galvanized annular ring shank roofing nails 12" o.c. 1" in from each exterior edge. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Strip in the the two exterior edges with flashing

cement and approved reinforcement. Overlaps shall be 12" minimum and adhered with ASTM D 4586 flashing cement.

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Starter strip:

The starter strip may be either a row of non-laminated shingles trimmed to the shingle manufacturer's recommendations or a strip of mineral-surfaced roll roofing not less than 7 inches wide. Starter strip and shingles shall overhang the eaves by $\frac{1}{4}$ " to $\frac{3}{4}$ ".

If self-sealing shingles are used for the starter strip, remove the tab portion of each shingle and position the remaining strip with the factory-applied adhesive face up along the eaves. Trim material from the end of the first shingle in the starter strip according to manufacturer's specifications to ensure that the cutouts of the first course of shingles are not placed over the starter strip joints. Fasten starter strips parallel to the eaves along a line above the eave line according to manufacturer's specifications. Position fasteners to insure they will not be exposed under the cutouts in the first course.

If shingles without a self-sealing strip are applied, the tabs shall be removed and ASTM D 4586 flashing cement shall be applied in spots approximately the size of a quarter at the corner of each tab of the first course. Starter shingles shall be nailed along a line not greater than 4" above the eave line nailing not greater than 6" o.c.. Trim at least three inches from the end of the first shingle to ensure that the cutouts of the first course are not placed over the starter strip joints.

If roll roofing is used for the starter strip, nail along a line not greater than 4" above the eave line nailing not greater than 12" o.c. ASTM D 4586 flashing cement shall be applied as noted above for non sealing shingle starter. If more than one piece of roll roofing must be used, the end joint shall be butted. Joints shall be staggered with succeeding shingle joints. Number of starter joints shall be kept to a minimum.

First and Succeeding Courses:

Be sure the first course is laid straight, checking it regularly during application against a horizontal chalk line. A few vertical chalk lines aligned with the ends of shingles in the first course will ensure proper alignment of cutouts. A shingle hatchet is an acceptable alternative to the use of succeeding chalk lines. If starter used does not provide a seal strip, bond the tabs of each shingle in the first course to the starter strip by placing a spot of ASTM D 4586 flashing cement about the size of a quarter on the starter strip beneath each tab if a non self sealing starter is used. Avoid excessive use of the cement, as it may cause blistering.

The first course starts with a full shingle, while succeeding courses start with 4, 5, or 6 inches removed relative to the preceding course, or as approved by the manufacturer. Rake and valley courses shall be terminated with tabs not less than 12" wide.


Frank Zuloaga
Roofing Product Control Examiner

To obtain the correct exposure for square-tab strip shingles, align the butts with the top of the cutouts in the course below. Install no-cutout shingles and those with variable butt lines according to the manufacturer's directions to obtain correct exposure.

Note: Manufacturer's label states additional installation requirements for this product. Follow manufacturer's instructions concerning shingle alignment. See 'Expose and Course Layout' - Detail 'A' attached.

Fastening: Use six nails or approved fasteners per shingle. Fasteners shall be minimum 12 ga. x 1 1/4" galvanized roofing nails, or other fasteners with Dade County Component Approval. Place the fasteners according to fastener Detail 'B', attached. Align the shingles properly to avoid exposing fasteners in the course below. Fasteners shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Drive the fasteners straight and do not break the shingle surface with the fastener head. Do not drive fasteners into knot holes or cracks in the roof deck. Repair faulty fastening immediately. If fastener does not penetrate the deck properly, remove the fastener and repair the hole in the shingle with ASTM D 4586 flashing cement or replace the entire shingle.

Do not nail into or above factory-applied adhesives. Ensure no cutout or end joint is less than 2 inches from a nail in an underlying course. Start nailing from the end nearest the shingle just laid and proceed across. Do not attempt to re-align a shingle by shifting the free end after two nails are in place. Drive nails straight so that the edge of the nail head does not cut into the shingle. Nail heads should be driven flush with the shingle surface. Fasteners shall not be overdriven.

Note: Manufacturer's label states additional installation requirements for this product. Follow manufacturer's instructions concerning fastener alignment. See Fastening Pattern and Physical Dimensions - Detail "B" attached.

Flashing: Roof planes that butt against vertical walls shall be step flashed with 10" long metal shingles which are 2" wider than the exposed face of the roofing shingles. Place the first flashing unit over the end of the starter strip and position it so that the tab of the end shingle in the first course covers it completely. Secure the horizontal arm to the roof with two approved roofing nails. Do not nail flashing to the wall; settling of the roof could damage the seal. Apply the first course of shingles up to the wall. Position the second step flashing strip over the end shingle in the first course 5 inches up from the butt so that the tab of the end shingle in the second course covers it completely. Fasten the horizontal arm to the roof. The second course of shingles follows, the end is flashed as in the preceding courses and so on to the top of the intersection. Bring siding or other wall treatment down over the vertical sections of the step flashing to serve as cap flashing. Wall treatment or cap flashing shall terminate a minimum of 3" above the roof line.


Frank Zuloaga
Roofing Product Control Examiner

Vertical sidewalls shall be flashed. Apply shingles up the roof until a course must be trimmed to fit at the base of the vertical wall. Adjust the exposure slightly in the previous two courses so that the last course is at least 8 inches wide. Apply a continuous piece of metal flashing over the last course of shingles by embedding it in approved flashing cement and nailing it to the roof. The metal flashing strip shall be bent to extend at least 5 inches up the vertical wall and at least 4 inches onto the last shingle course. Do not nail the strip to the wall. Apply an additional row of shingles over the metal flashing strip, trimmed to the width of the strip. Bring siding down over the vertical flashing to serve as cap flashing. Wall treatment or cap flashing shall terminate a minimum of 3" above the roof line. Do not nail siding into the vertical flashing. If the vertical front wall meets a sidewall, as in dormer construction, cut flashing so that it extends at least 7 inches around the corner. Continue up the sidewall with step flashing as detailed above.

**Soil Stacks and
Vent Pipes:**

Apply shingles up to the vent pipe. Cut a hole in a shingle to go over the pipe and set the shingle in ASTM D 4586 flashing cement. A preformed flashing flange that fits snugly over the pipe is then placed over the shingle and vent pipe and set in approved flashing cement. Place the flange over the pipe to lay flat on the roof. After the flashing is in place, resume shingle application. Cut shingles in successive courses to fit around the pipe and embed them in approved flashing cement where they overlap the flange. Avoid excessive use of cement as it may cause blistering. Do not drive fasteners close to the pipe. The lower part of the flange shall overlap the lower shingles and the side and upper shingles shall overlap the flange.

For ventilator and exhaust stacks, follow the same procedure, but bring the shingles up to the pipe from both sides and bend the flange over the ridge to lie in both roof planes, overlapping the roof shingles at all points. Ridge shingles are then positioned to cover the flange. Embed the ridge shingles in approved flashing cement where they overlap the flange.

Chimneys:

Chimneys shall be flashed with a two-piece base and cap flashing to allow for differential movement. Apply shingles up to the front edge of the chimney before any flashings are installed. Apply a coat of ASTM D 41 asphalt primer if the chimney is constructed of masonry or metal to seal the surface and to provide good adhesion to all points where flashing cement will later be applied.

Install 26 ga. corrosion resistant metal, or other approved corrosion resistant materials, as base flashing between the chimney and the roof deck, on all sides. Apply the base flashing to the low side of the chimney first. Bend the base flashing so that the lower section extends at least 4" over the shingles and the upper section extends at least 12" up the vertical face of the chimney. Work the flashing firmly and smoothly into the joint between the shingles and chimney. Set both the roof and chimney overlaps in approved flashing cement placed over the shingles and on the chimney face. The flashing may be secured against the chimney with one or

two nails to hold it in place until the cement sets. Use metal step flashing for the sides of the chimney, positioning the units in the same manner as flashing on a vertical sidewall. Cut, bend and apply the step flashing around the side of the chimney. Secure each flashing unit to the masonry with approved flashing cement and to the deck with approved nails. Embed the end shingles in each course that overlap the flashing in an 8" bed of approved flashing cement. Place the rear base flashing over the cricket and the high side of the chimney.

Apply the high side base flashing by bringing the end shingles in each course up to the cricket and secure in a bed of approved flashing cement. Cap flashings shall be installed over all base flashings. Set the metal cap flashing into the brickwork or exterior siding material. If brick, rake out the mortar joint to a depth of 1½ inches and insert the bent edge of the flashing into the cleared joint. Refill the joint with mortar. Bend the cap flashing down to overlap the base flashing. Use one continuous piece of cap flashing on the low side of the chimney. On the sides and high side of the chimney, use several pieces of similar-sized flashing, trimming each to fit the particular location of brick joint or substrate material. Start the side units at the lowest point and overlap at least 3 inches. Chimney crickets shall be waterproofed in compliance with options published by the shingle manufacturer. If crickets are formed from wood, or other nailable materials a double layer underlayment shall be applied prior to waterproofing.

Hips and Ridges:


Apply premanufactured hip and ridge shingle components or cut hip and ridge shingles from manufacturer's shingles, where approved. Lay hip and ridge away from prevailing wind. Insure all fasteners are covered. Exposure shall not exceed 5" unless premanufactured hip and ridge specifically allows for greater exposure. Taper the lap portion of each cap shingle slightly so that it is narrower than the exposed portion.

Minimum Slope:

2":12" to 4":12"

Maximum Fire Classification:

Class 'A'



Frank Zuloaga
Roofing Product Control Examiner

SYSTEM APPLICATION
Slope Range: 4":12" and Greater

- Underlayment:** Underlayment shall be applied in accordance with the South Florida Building Code, Section 3403.5(1)(2): Two plies of minimum ASTM D 226, Type I felt overlapped 19", or a single layer of ASTM D 226 Type II felt overlapped 4". End lap shall be 6". Underlayment shall be installed with minimum 12 ga. x 1 1/4" corrosion resistant roofing nails and minimum 32 ga. x 5/8" diameter tin caps, spaced 12" o.c. in a grid pattern in the field and 6" o.c. at the laps. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1".
- Edge Metal:** Edge metal and installation shall be in compliance with the South Florida Building Code Section 3408.2 and 3408.3: Minimum .021" (26 ga.), 2" x 2" galvanized or other approved corrosion resistant material nailed over top of the underlayment at 4" o.c., with minimum 12 ga. x 1 1/4" corrosion resistant annular ring shank roofing nails at all perimeters. The nails shall be manufactured from similar and compatible material to the termination profile. All composite materials shall be fashioned with non-ferrous nails. At corners, the ends of adjoining approved drip edge shall be overlapped 7", notched and bent around the corner. Straight lengths of approved drip edge shall be overlapped not less than 3". See Dade County Protocol PA 111(4.3.4), figure 2.
- Note:** All intersections, eaves, rakes, valleys, gable ends, and starter course shall be set in a 8" wide strip of ASTM D 4586 flashing cement.
- Valleys:** Valleys may be applied in open, closed or weaved fashion. Valley metal shall be in compliance with the South Florida Building Code section 3408.4. A 36" wide sheet of ASTM D 249 mineral surfaced rolled roofing; or ASTM D 224 smooth roll roofing shall be installed over the underlayment at all close cut or woven valleys, centered in the valley. The roll roofing shall be nailed 6" o.c. with minimum 12 ga. x 1 1/4" roofing nails at each edge. Nails shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Endlaps shall be 12" and adhered with ASTM D 4586 flashing cement. In open valley applications a minimum 16" wide, 26 ga. galvanized metal; or other approved corrosion resistant material shall be installed, and may be rolled or preformed. Set valley in a bed of ASTM D 4586 flashing cement, applied in two 4" wide strips at each exterior edge, with a maximum thickness of 1/8". Fasten valley metal with minimum 12 ga. x 1 1/4" galvanized annular ring shank roofing nails 12" o.c. 1" in from each exterior edge. Nails shall penetrate the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Strip in the the two exterior edges with flashing cement and approved reinforcement. Overlaps shall be 12" minimum and adhered with ASTM D 4586 flashing cement.

Starter strip:

The starter strip may be either a row of non-laminated shingles trimmed to the shingle manufacturer's recommendations or a strip of mineral-surfaced roll roofing not less than 7 inches wide. Starter strip and shingles shall overhang the eaves by $1/4"$ to $3/4"$.

If self-sealing shingles are used for the starter strip, remove the tab portion of each shingle and position the remaining strip with the factory-applied adhesive face up along the eaves. Trim material from the end of the first shingle in the starter strip according to manufacturer's specifications to ensure that the cutouts of the first course of shingles are not placed over the starter strip joints. Fasten starter strips parallel to the eaves along a line above the eave line according to manufacturer's specifications. Position fasteners to insure they will not be exposed under the cutouts in the first course.

If shingles without a self-sealing strip are applied, the tabs shall be removed and ASTM D 4586 flashing cement shall be applied in spots approximately the size of a quarter at the corner of each tab of the first course. Starter shingles shall be nailed along a line not greater than 4" above the eave line nailing not greater than 6" o.c.. Trim at least three inches from the end of the first shingle to ensure that the cutouts of the first course are not placed over the starter strip joints.

If roll roofing is used for the starter strip, nail along a line not greater than 4" above the eave line nailing not greater than 12" o.c. ASTM D 4586 flashing cement shall be applied as noted above for non sealing shingle starter. If more than one piece of roll roofing must be used, the end joint shall be butted. Joints shall be staggered with succeeding shingle joints. Number of starter joints shall be kept to a minimum.

First and Succeeding Courses:

Be sure the first course is laid straight, checking it regularly during application against a horizontal chalk line. A few vertical chalk lines aligned with the ends of shingles in the first course will ensure proper alignment of cutouts. A shingle hatchet is an acceptable alternative to the use of succeeding chalk lines. If starter used does not provide a seal strip, bond the tabs of each shingle in the first course to the starter strip by placing a spot of ASTM D 4586 flashing cement about the size of a quarter on the starter strip beneath each tab if a non self sealing starter is used. Avoid excessive use of the cement, as it may cause blistering.

The first course starts with a full shingle, while succeeding courses start with 4, 5, or 6 inches removed relative to the preceding course, or as approved by the manufacturer. Rake and valley courses shall be terminated with tabs not less than 12" wide.

To obtain the correct exposure for square-tab strip shingles, align the butts with the top of the cutouts in the course below. Install no-cutout shingles and those with variable butt lines according to the manufacturer's directions to obtain correct exposure.


Frank Zuloaga
Roofing Product Control Examiner

Note: Manufacturer's label states additional installation requirements for this product. Follow manufacturer's instructions concerning shingle alignment. See 'Expose and Course Layout' - Detail 'A' attached.

Fastening: Use six nails or approved fasteners per shingle. Fasteners shall be minimum 12 ga. x 1 1/4" galvanized roofing nails, or other fasteners with Dade County Component Approval. Place the fasteners according to fastener Detail 'B', attached. Align the shingles properly to avoid exposing fasteners in the course below. Fasteners shall penetrate through the sheathing or wood plank a minimum of 3/16" or penetrate a 1" or greater thickness of lumber a minimum of 1". Drive the fasteners straight and do not break the shingle surface with the fastener head. Do not drive fasteners into knot holes or cracks in the roof deck. Repair faulty fastening immediately. If fastener does not penetrate the deck properly, remove the fastener and repair the hole in the shingle with ASTM D 4586 flashing cement or replace the entire shingle.

Do not nail into or above factory-applied adhesives. Ensure no cutout or end joint is less than 2 inches from a nail in an underlying course. Start nailing from the end nearest the shingle just laid and proceed across. Do not attempt to re-align a shingle by shifting the free end after two nails are in place. Drive nails straight so that the edge of the nail head does not cut into the shingle. Nail heads should be driven flush with the shingle surface. Fasteners shall not be overdriven.

Note: Manufacturer's label states additional installation requirements for this product. Follow manufacturer's instructions concerning fastener alignment. See Fastening Pattern and Physical Dimensions - Detail "B" attached.

Flashing: Roof planes that butt against vertical walls shall be step flashed with 10" long metal shingles which are 2" wider than the exposed face of the roofing shingles. Place the first flashing unit over the end of the starter strip and position it so that the tab of the end shingle in the first course covers it completely. Secure the horizontal arm to the roof with two approved roofing nails. Do not nail flashing to the wall; settling of the roof could damage the seal. Apply the first course of shingles up to the wall. Position the second step flashing strip over the end shingle in the first course 5 inches up from the butt so that the tab of the end shingle in the second course covers it completely. Fasten the horizontal arm to the roof. The second course of shingles follows, the end is flashed as in the preceding courses and so on to the top of the intersection. Bring siding or other wall treatment down over the vertical sections of the step flashing to serve as cap flashing. Wall treatment or cap flashing shall terminate a minimum of 3" above the roof line.

Vertical sidewalls shall be flashed. Apply shingles up the roof until a course must be trimmed to fit at the base of the vertical wall. Adjust the exposure slightly in the previous two courses so that the last course is at least 8 inches wide. Apply a continuous piece of metal flashing over the last course of shingles by embedding it

in approved flashing cement and nailing it to the roof. The metal flashing strip shall be bent to extend at least 5 inches up the vertical wall and at least 4 inches onto the last shingle course. Do not nail the strip to the wall. Apply an additional row of shingles over the metal flashing strip, trimmed to the width of the strip. Bring siding down over the vertical flashing to serve as cap flashing. Wall treatment or cap flashing shall terminate a minimum of 3" above the roof line. Do not nail siding into the vertical flashing. If the vertical front wall meets a sidewall, as in dormer construction, cut flashing so that it extends at least 7 inches around the corner. Continue up the sidewall with step flashing as detailed above.

**Soil Stacks and
Vent Pipes:**

Apply shingles up to the vent pipe. Cut a hole in a shingle to go over the pipe and set the shingle in ASTM D 4586 flashing cement. A preformed flashing flange that fits snugly over the pipe is then placed over the shingle and vent pipe and set in approved flashing cement. Place the flange over the pipe to lay flat on the roof. After the flashing is in place, resume shingle application. Cut shingles in successive courses to fit around the pipe and embed them in approved flashing cement where they overlap the flange. Avoid excessive use of cement as it may cause blistering. Do not drive fasteners close to the pipe. The lower part of the flange shall overlap the lower shingles and the side and upper shingles shall overlap the flange.

For ventilator and exhaust stacks, follow the same procedure, but bring the shingles up to the pipe from both sides and bend the flange over the ridge to lie in both roof planes, overlapping the roof shingles at all points. Ridge shingles are then positioned to cover the flange. Embed the ridge shingles in approved flashing cement where they overlap the flange.

Chimneys:

Chimneys shall be flashed with a two-piece base and cap flashing to allow for differential movement. Apply shingles up to the front edge of the chimney before any flashings are installed. Apply a coat of ASTM D 41 asphalt primer if the chimney is constructed of masonry or metal to seal the surface and to provide good adhesion to all points where flashing cement will later be applied.

Install 26 ga. corrosion resistant metal, or other approved corrosion resistant materials, as base flashing between the chimney and the roof deck, on all sides. Apply the base flashing to the low side of the chimney first. Bend the base flashing so that the lower section extends at least 4" over the shingles and the upper section extends at least 12" up the vertical face of the chimney. Work the flashing firmly and smoothly into the joint between the shingles and chimney. Set both the roof and chimney overlaps in approved flashing cement placed over the shingles and on the chimney face. The flashing may be secured against the chimney with one or two nails to hold it in place until the cement sets. Use metal step flashing for the sides of the chimney, positioning the units in the same manner as flashing on a vertical sidewall. Cut, bend and apply the step flashing around the side of the chimney. Secure each flashing unit to the masonry with approved flashing cement and to the deck with approved nails. Embed the end shingles in each course that

overlap the flashing in an 8" bed of approved flashing cement. Place the rear base flashing over the cricket and the high side of the chimney.

Apply the high side base flashing by bringing the end shingles in each course up to the cricket and secure in a bed of approved flashing cement. Cap flashings shall be installed over all base flashings. Set the metal cap flashing into the brickwork or exterior siding material. If brick, rake out the mortar joint to a depth of 1½ inches and insert the bent edge of the flashing into the cleared joint. Refill the joint with mortar. Bend the cap flashing down to overlap the base flashing. Use one continuous piece of cap flashing on the low side of the chimney. On the sides and high side of the chimney, use several pieces of similar-sized flashing, trimming each to fit the particular location of brick joint or substrate material. Start the side units at the lowest point and overlap at least 3 inches. Chimney crickets shall be waterproofed in compliance with options published by the shingle manufacturer. If crickets are formed from wood, or other nailable materials a double layer underlayment shall be applied prior to waterproofing.

Hips and Ridges:

Apply premanufactured hip and ridge shingle components or cut hip and ridge shingles from manufacturer's shingles, where approved. Lay hip and ridge away from prevailing wind. Insure all fasteners are covered. Exposure shall not exceed 5" unless premanufactured hip and ridge specifically allows for greater exposure. Taper the lap portion of each cap shingle slightly so that it is narrower than the exposed portion.

Slope Range:

4":12" and Greater

**Maximum Fire
Classification:**

Class 'A'



Frank Zuloaga
Roofing Product Control Examiner

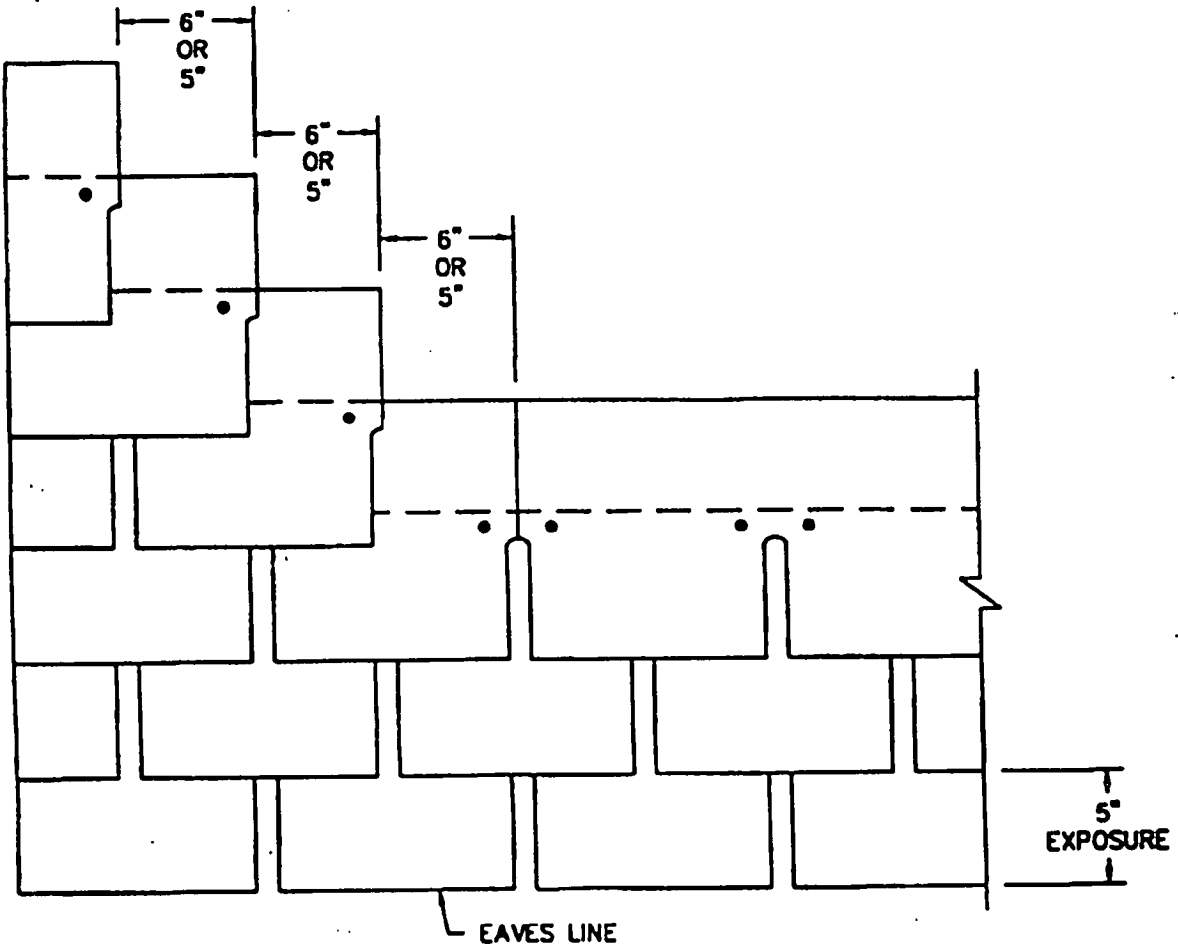
LIMITATIONS:

1. Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County-Dade Product Control Approved".
2. The manufacturer shall provide clearly written application instructions.
3. Underlayment materials and application shall be in compliance with Chapter 34 of the South Florida Building Code.
4. This is a general application procedure for asphalt and modified asphalt shingles. Manufacturers may place additional requirements upon roof system installations in the South Florida Building Code jurisdiction for warranty purposes. Consult manufacturer's application instructions before system installation.
5. Exposure and course layout shall be in compliance with Detail 'A', attached.
6. Nailing shall be in compliance with Detail 'B', attached.
7. System shall not be installed at slopes less than 2":12".
8. Applications for roofing permits must be accompanied by Section II of the Uniform Building Permit, clearly indicating the extent of the work to be performed, along with current manufacturer's specifications and details. In addition, a copy of this approval shall be attached to the permit application. Reference shall be made to all appropriate data for the required fire rating.



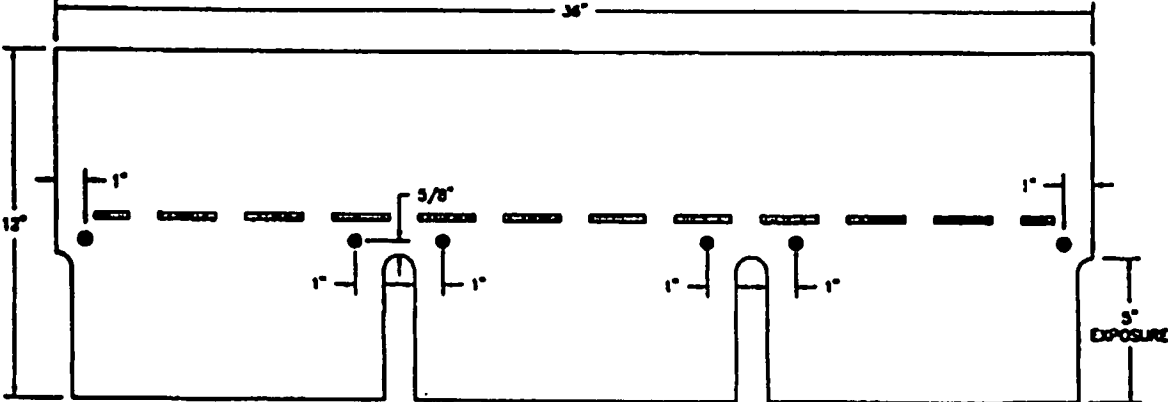
Frank Zuloaga
Roofing Product Control Examiner

DETAIL A



Frank Zuloaga
Roofing Product Control Examiner

DETAIL B



Frank Zuloaga
Roofing Product Control Examiner

GS Roofing Products Company, Inc.
5525 MacArthur Blvd., Suite 900
Irving, TX 75038

ACCEPTANCE NO: 97-1202.02
APPROVED : March 12, 1998
EXPIRES : March 12, 2001

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 17.

END OF THIS ACCEPTANCE

Page 17 of 17


Frank Zuloaga
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri MAY 22, 2000; Page 1 of

NO SURVEY

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4899	KOLLER	POOL SET/MAINT. DC.		VERIFY FORMERED SURVEY ON F
(2)	19 S. VIA LUCINDA	ALUMINUM 561 692 9091 mobile		Shoring -
 	CHALLENGER 471-3033	TELE OFFICE 471-3033		Pool - 2'-8" angle of
 	 	 	 	Repose
4872	GLOVER	ROOF FINISH	Passed	\$30.00 REINSP. FEE REQ.
4875	16 RIVERVIEW	(REINSP.)	BG	BARRY A.M. INSP
(1)	COOPER RFG			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VAN WARDER	FRAMING	Passed	
(5)	3 PALAMA WAY	ALL TRAMES	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4732	Telemanti	check gas	Reject	O - PRESSURE
(4)	19 Lofting Way	valve	BG	Main House Side
	thru=ac1		w/Fee	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4797	KENNEDY	DECK INSP		CANCEL -
	111 N. SEWALL'S POINT RD.			RESCHED
	A & G CONC. 878-7852			5/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4929	Lclerney	roof sheathing	Passed	- Raining -
(6)	116 S.S.P. Rd.		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4895	Sealy	nail-off	Passed	Main House
(3)	37 Lofting Way	roof	BG	
	Gnbbn			

OTHER: A. T/R PERMIT APPL; SMITH - O/B, 11 SIACATA ✓ TREE DOWN - NO PERMIT.
 B. " " " ; SINTON - O/B, 33 N. RIVER RD ✓ APPROVED

Miles - 94176 to 94188 = 12 miles.

INSPECTOR (Name/Signature): _____

4875

RE-ROOF

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 03/24/00

BUILDING PERMIT NO. 4875

Building to be erected for BARRY GLOVER

Type of Permit RE-ROOF - RAFT

Applied for by COOPER RFG

(Contractor) Building Fee _____

Subdivision _____ Lot _____ Block _____

Radon Fee _____

Address 16 RIVERVIEW DR.

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

"AFTER RAFT" PERMIT - DOUBLE FEE

Electrical Fee _____

Parcel Control Number:

12-38-41-001-0000-1105-0000

Plumbing Fee _____

Roofing Fee \$240.00

Amount Paid \$120.00 Check # 0932 Cash \$120.00 Other Fees (_____)

Total Construction Cost \$ 600.00

TOTAL Fees \$240.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

RE-ROOFING PERMIT

INSPECTIONS

DRY IN
PROGRESS

DATE _____
DATE _____

PROGRESS
FINAL

DATE _____
DATE 5/22/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

BUILDING PERMIT APPLICATION

RECEIVED

21 2000

Owner's Name: BARRY GLOVER Phone No. 286-8341
Owner's Present Address: 16 RIVERVIEW DR. STUART FL 34996
Fee Simple Titleholder's Name & Address if other than owner: SAME

Location of Job Site: 16 RIVERVIEW DR STUART FL 34996
TYPE OF WORK TO BE DONE: RE-ROOF FLAT DECK

CONTRACTOR INFORMATION
Contractor/Company Name: COOPER ROOFING & CONST. Co. Phone No. 283-2625
COMPLETE MAILING ADDRESS: 446 S. FEDERAL HWY PORT ST LUCIE FL 34952

State Registration _____ State License CC057673
Legal Description of Property SEWALL'S POINT SUB DIVISION
Parcel Number _____

ARCHITECT/ENGINEER INFORMATION

Architect N/A Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____

Area Square Footage: Living Area 250 SF Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

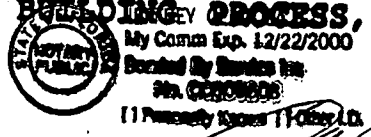
flood zone NA minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement \$600.
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No
Method of determining FMV N/A

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing COOPER ROOFING State License# CC057673

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.



OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Robert G Cooper
Sworn to and subscribed before me this 20th day of MARCH, 1998 by Robert G Cooper who is personally known to me or has produced or has produced FL/DL C160-767-60-4616 and who did (did not) take an oath.
CONTRACTOR SIGNATURE Robert G Cooper
Sworn to and subscribed before me this 20th day of MARCH, 1998 by Robert G Cooper who is personally known to me or has produced FL/DL C160-767-60-4616 and who did (did not) take an oath.

TREE REMOVAL (Attach sealed survey) N/A
 No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
 Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____
 Approved by Town Engineer _____



RECEIVED
MAR 21 2000
BY:

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Johns Manville
717 17th Street
Denver

CO 80202

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

SBS Modified Bitumen Roofing System (Recover)

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0427.08 (Revises No.: 98-0508.06)

Expires: 08/27/2001

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

FLAT ONLY
VERIFY MTL'S
CO INSPECTION
FOR PROD. APP.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: 07/09/1999

3/21/00 TOWN OF SWEETWATER POINT
REVIEW:

PN 4875

TOWN COPY
16 RIVERVIEW DR.



PRODUCT CONTROL NOTICE OF ACCEPTANCE
ROOFING SYSTEM APPROVAL

Applicant:

Johns Manville
P.O. Box 5108
Denver, CO. 80217

Product Control No.: 99-0427.08

Approval Date:07/09/1999

Expiration Date:08/27/2001

Category: Membrane Roofing System
Sub-Category: Built-up Roofing
Type: Modified Bitumen
Sub-Type: SBS

Insulation Types:

- Fibrous glass
- Perlite
- Polyisocyanurate
- Composite Board
- High Density Wood Fiber

Maximum Design Pressure

<u>Material</u>	<u>Design Pressure</u>
Wood	-52.5 psf
Steel	-60 psf
Concrete	-275 psf
Lightweight Concrete	-52.5 psf
Cementitious Wood Fiber	-45 psf
Poured Gypsum Concrete	-55 psf

Maximum Fire Classification

See General Limitation #1



Frank Zuloaga, RRC
Roofing Product Control Examiner

**TRADE NAMES OF PRODUCTS MANUFACTURED OR
LABELED BY APPLICANT**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
DynaBase	54'-10" x 36"; roll weight: 88 lbs.	ASTM D 5147	An SBS modified bitumen coated, fiber glass reinforced base sheet.
DynaWeld Base	39'-3/8" x 32'-10"; roll weight: 90 lbs	ASTM D 5147	An SBS modified bitumen coated, fiberglass reinforced base sheet for heat welded applications.
DynaFlex	3 x 25	ASTM D 5147	A flexible polyester/glass scrim reinforced, granular-surfaced flashing sheet.
DynaGlas	39-3/8" x 32'-10"; roll weight: 100 lbs.	ASTM D 6163 Type I	An SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaWeld Cap FR	39'-3/8" x 32'-10" roll weight: 110 lbs.	ASTM D 6163 Type I	A fire resistant SBS modified bitumen membrane surfaced with granules for heat weld applications.
DynaGlas 30 FR	39-3/8" x 32'-10"; roll weight: 90 lbs.	ASTM D 6163 Type I	A fire resistant SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaGlas FR	39-3/8" x 32'-10"; roll weight: 101 lbs.	ASTM D 6163 Type I	A fire resistant SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaKap	39-3/8" x 32'-10"; roll weight: 115 lbs.	ASTM D 6162 Type II	A fiberglass/polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaKap FR	39-3/8" x 32'-10"; roll weight: 115 lbs.	ASTM D 6162 Type II	A fire resistant, fiberglass/ polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaLastic 180	39-3/8" x 32'-10"; roll weight: 101 lbs.	ASTM D 6164 Type I	A polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaLastic 180 FR	39-3/8" x 32'-10"; roll weight: 101 lbs.	ASTM D 6164 Type I	A 180 gram polyester mat reinforced, granular-surfaced, modified bitumen cap sheet for use in fire-rated systems.



Frank Zuloaga, RRC
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
DynaLastic 180S	37" x 36'-9" roll weight: 90 lbs.	ASTM D 6164 Type I	A 180 gram polyester mat reinforced, modified bitumen cap sheet for use in fire-rated systems.
DynaPly	39-3/8" x 32'-10"; roll weight: 90 lbs.	ASTM D 6162 Grade S Type II	A polyester reinforced SBS modified bitumen ply sheet for use in conventional and modified bitumen built-up roof systems.
DynaLastic 250 FR	39-3/8" x 32'-10"; roll weight: 115 lbs.	ASTM D 6164 Type II	A 250 gram polyester mat reinforced, granular-surfaced, modified bitumen cap sheet for use in fire-rated systems.
DynaMax	39-3/8" x 32'-10"; roll weight: 99 lbs.	ASTM D 6162 Type III	A fiberglass/polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt or heat weld.
DynaMax FR	39-3/8" x 32'-10"; roll weight: 116 lbs.	ASTM D 6162 Type III	A fire resistant, fiberglass/ polyester reinforced SBS modified bitumen membrane surfaced with granules for application in hot asphalt.
DynaClad	39-3/8" x 33'-6"; roll weight: 101 lbs.	ASTM D 5147	A foil faced, glass reinforced, SBS modified membrane for application in hot asphalt.
Ventsulation Felt	36" x 36'	ASTM D 4897 Type II	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without fine mineral stabilizer. Surfaced on the bottom side with coarse mineral granules embedded in asphaltic coating.
GlasBase	36" x 108'; roll weight: 84 lbs.	ASTM D 4601 Type I	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
GlasBase Plus	36" x 108'; roll weight: 84 lbs.	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
GlasPly IV	36" x 200'	ASTM D 2178 Type IV	Type IV asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.



Frank Zuloaga, RRC
Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
GlasPly Premier	36" x 180'	ASTM D 2178 Type VI	Type VI asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
PermaPly No. 28	36" x 108'; roll weight: 72 lbs.	ASTM D 4601 Type II	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
Fesco Board	various	ASTM C 728	Rigid perlite roof insulation board for built-up roofing systems; available flat or tapered.
Fesco Foam	various	ASTM C 1289	Rigid polyisocyanurate roof insulation with perlite board facing bonded to one side for use in conventional built-up and other roofing.
Fiber Glass Roof Insulation	various	ASTM C 726	Fiberglas roof insulation.
DuroBoard	various	ASTM C 728	A high density perlite roof insulation board for use in heat welded, modified bitumen systems.
Retro-Fit Board	various	ASTM C 728	A high density perlite roof insulation board for use in conventional and modified bitumen built-up roofing systems.
JM E'NRG'Y-2 or Tapered E'NRG'Y-2	various	ASTM 1289	Polyisocyanurate insulation for use with single-ply, BUR and modified bitumen roof covers (includes all Factory Mutual approved roof covers)
JM E'NRG'Y-2 Plus	various	ASTM 1289	Polyisocyanurate insulation laminated to ½" wood fiber for use with single-ply, BUR and modified bitumen roof covers (includes all Factory Mutual approved roof covers).
JM E'NRG'Y-2 Composite or Tapered Composite	various	ASTM 1289	Polyisocyanurate insulation laminated to ½" perlite for use with single-ply, BUR and modified bitumen roof covers (includes all Factory Mutual approved roof covers).
JM Nailboard	various	PA 110	Polyisocyanurate insulation laminated to 7/16" plywood for use with class A, B or C roof coverings.

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
JM PSI-25 or Tapered PSI-25	various	ASTM 1289	Nominal 25 psi compressive strength polyisocyanurate insulation for single-ply, BUR and modified bitumen roof covers (includes all Factory Mutual approved roof covers).
FesCant Plus Cant Strips, and Taper Edge	various	ASTM C 728	Factory pre-fabricated cant strips and taper edge, manufactured from expanded perlite insulation.
CD-10	Various	PA 114	Insulation fastener for concrete decks.
UltraFast	various	PA 114	Insulation fastener assembly (steel decks only).
UltraGrip	various	PA 114	Insulation fastener assembly (steel decks only).
UltraFast ASAP	various	PA 114	Insulation fastener assembly
GlasFast Plate/UltraFast Screw	various	PA 114	Insulation fastener and plate assembly for fiber glass insulation only (steel and wood decks)
Lightweight Concrete (LWC) CR Base Fastener	various	PA 114	G-90 galvanized double spreading leg fastener for securing base sheets to lightweight insulating concrete and some poured gypsum decks.
NTB 1H and 2H	various	PA 114	A glass-filled nylon, double internal hex drive head, buttress thread, 3/4" (19 mm) diameter fastener for securing roof insulation to gypsum and structural wood fiber decks.
MBR Flashing Cement Base and Activator	N/A	Proprietary	A two component elastomeric, cold application adhesive, consisting of a modified proprietary compound with an asphalt base.
MBR Utility Cement	N/A	ASTM D 4586	General purpose trowel grade, cutback bitumen cement mixture including inorganic fibers and mineral stabilizers.
MBR Bonding Cement and Activator	N/A	proprietary	A two component, elastomeric, cold application adhesive.

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Bestile Industrial Roof Cement	various	ASTM D 4586, type I	A trowel grade, cutback bitumen flashing grade cement mixture including inorganic fibers and mineral stabilizers.
Flex-I-Drain	various	BOCA 76-61 SBCCI 89204 UBC 3236	Two piece flexible drain system composed of a Noryl deck flange, a flexible neoprene bellows and no hub connection. Available in various sizes and styles for most retro-fit applications.
PC/PET RetroDrain	various	N/A	Engineered resin copolymer fabricated drain for retrofit applications.
USII RetroDrain	various	N/A	One piece, aluminum fabricated drain for retrofit applications.
SuperDome RetroDrain	various	N/A	Cast aluminum, heavy-duty drain for retrofit applications.
FP-10 Vents	10" deck flange, base diameter of 4" and a height of 6"	N/A	One-way roof vent, designed for use in various roof systems, for the release of pressure created by gases or moisture vapor trapped within the roofing system.
Expand-O-Guard	various	N/A	Elastomeric expansion joint cover for vertical expansion and seismic joints. Manufactured from non-reinforced, form-supported elastomeric bellows with a bifurcated waterproof attachment to metal flanges.
Expand-O-Flash	various	N/A	Expansion joint covers manufactured from non-reinforced, form-supported elastomeric bellows with a bifurcated waterproof attachment to metal flanges.
Presto-Lok Fascia and Flashing System	various	PA 114	A multi-piece fascia and flashing system for built-up and modified bitumen roofing systems manufactured from aluminum or steel.
DynaTred & DynaTred Plus Roof Walkway	various	N/A	Preformed, skid-resistant boards.



Frank Zuloaga, RRC
Roofing Product Control Examiner

TRADE NAMES OF PRODUCTS MANUFACTURED BY OTHERS

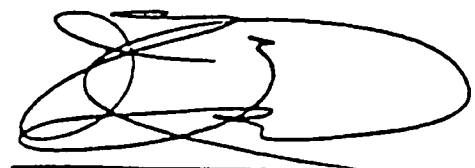
<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Pyrox	various	PA 110	Polyisocyanurate foam insulation	Apache Products Co. (with current PCA)
ACFoam II	various	PA 110	Polyisocyanurate foam insulation	Atlas Energy Products (with current PCA)
Hy-Therm AP	various	PA 110	Polyisocyanurate foam insulation	Celotex Corp. (with current PCA)
Dekfast Fasteners #14		PA 114	Insulation fastener for steel and concrete decks	Construction Fasteners Ind. (with current PCA)
Dekfast Hex Plate	2- 7/8" x 3 1/4"	PA 114	Galvalume hex stress plate.	Construction Fasteners Inc. (with current PCA)
Dekfast Lock Plate	3" x 3- 1/4"	PA 114	Polypropylene locking plate.	Construction Fasteners Inc. (with current PCA)
Dekfast Fasteners #15		PA 114	Insulation fasteners for concrete decks	Construction Fasteners Inc. (with current PCA)
Dekfast Fasteners #12		PA 114	Insulation fastener for steel and wood decks.	Construction Fasteners Inc. (with current PCA)
TPR		PA 114	Aluminum fastener for lightweight, gypsum and tectum decks	SFS Stadler (with current PCA)
FM-30, FM-45, FM-60, FM-90 Fasteners		PA 114	Base ply fastening systems for lightweight concrete decks	ES Products, Inc. (with current PCA)
Asphalt Emulsion		PA 121	Asphalt emulsion	Gardner (with current PCA)
Asphalt		ASTM D 312	Type III or IV hot asphalt bitumen adhesive	generic

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Asphalt Primer		ASTM D 41	Asphalt Primer	Generic
EPS	various	PA 110	Extruded polystyrene insulation	generic
High Density Wood Fiberboard	various	PA 110	Wood fiber insulation board	generic
Polyethylene	4 mil min.		Vapor barrier / Air barrier	generic
Red Rosin	various		Rosin paper for barrier layer on wood decks	generic
Roofing Nails	Minimum # 12	PA 114	Corrosion resistant annular ring shank nails	generic
Tin Caps	Min. 32 ga. x 1-5/8"		Corrosion resistant circular discs.	generic
Type X Gypsum	various		Fire resistant rated gypsum	generic
Dens-Deck	4' x 8'	PA 110	Gypsum board	Georgia-Pacific (with current PCA)
Overlayment Board	4' x 8'	PA 110	Gypsum board	Georgia-Pacific
Sturdi-Top	various	PA 110	Wood fiberboard	Georgia-Pacific (with current PCA)
#12 Roofgrip		PA 114	Insulation fastener for steel or wood decks	ITW Buildex (with current PCA)
#14 Roofgrip		PA 114	Insulation fastener steel, wood or concrete decks	ITW Buildex (with current PCA)
Gripdek Fastener		PA 114	Insulation fastener	ITW Buildex (with current PCA)
Hexcel Fastener		PA 114	Insulation fastener	ITW Buildex (with current PCA)
Hextra		PA 114	Insulation fastener and metal or plastic plate	ITW Buildex (with current PCA)




<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Polymer Gyptec		PA 114	Glass reinforced nylon gypsum deck fastener	ITW Buildex (with current PCA)
Premium Metal Plate	3" square	PA 114	3" square galvalume AZ55 stress plate	ITW Buildex (with current PCA)
Standard Plastic Plate	3" round	PA 114	Polyolefin plastic plate	ITW Buildex (with current PCA)
Con-Tite		PA 114	Concrete deck insulation fastener	Olympic (with current PCA)
Olympic Standard	3" round	PA 114	3" round galvalume AZ55 steel plate	Olympic (with current PCA)
Olympic Fastener #14		PA 114	Insulation fastener	Olympic (with current PCA)
Olympic Polypropylene	3.25" round	PA 114	Polypropylene plastic plate	Olympic (with current PCA)
Olympic Fastener #12		PA 114	Insulation fastener	Olympic (with current PCA)
Multi-Max	various	PA 110	Polyisocyanurate foam insulation	Rmax, Inc. (with current PCA)
HD Insul-Fixx Fastener		PA 114	Insulation fastener for use in steel and concrete decks	SFS/Stadler (with current PCA)
Insul-Fixx Fastener		PA 114	Insulation fastener for steel and wood decks	SFS/Stadler (with current PCA)
Insul-Fixx S	3" square	PA 114	3" square galvalume AZ55 stress plate	SFS/Stadler (with current PCA)
Insul-Fixx P	3" round	PA 114	3" round polyethylene stress plate	SFS/Stadler (with current PCA)
Plate Fixx Fastener		PA 114	Insulation fastening assembly	SFS/Stadler (with current PCA)
Rawl Drive		PA 114	Insulation fastener and steel and plastic stress plate for concrete deck	The Rawlplug Company Inc. (with current PCA)

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>	<u>Manufacturer</u>
Rawl Fasteners #12 or #14		PA 114	Insulation fastener for steel and wood decks and concrete (#14 only)	The Rawlplug Company Inc. (with current PCA)
Rawl 2" Plate	2" round	PA 114	2" round galvalume AZ55 membrane plate	The Rawlplug Company Inc. (with current PCA)
Rawl 3" Plate	3" round	PA 114	3" round galvalume AZ55 steel plate	The Rawlplug Company Inc. (with current PCA)
Rawl Spike		PA 114	Insulation fastener and steel and plastic stress plate for concrete deck	The Rawlplug Company Inc. (with current PCA)
Rawlite		PA 114	Insulation fastener for cementitious and gypsum decks	The Rawlplug Company Inc. (with current PCA)
Rawlite 3" Plate	3" round	PA 114	3" round galvalume AZ55 steel plate for use with Rawlite fasteners	The Rawlplug Company Inc. (with current PCA)
Structodeck	various	PA 110	High density wood fiber	Masonite
Celcore		PA 110	Cellular insulating concrete.	Celcore, Inc. (with current PCA)
Elastizell		PA 110	Cellular insulating concrete	Elastizell Corp. (with current PCA)
Zonocel		PA 110	Cellular insulating concrete	Siplast, Inc. (with current PCA)
Insulcel		PA 110	Cellular insulating concrete	Siplast, Inc. (with current PCA)
Concrecel		PA 110	Cellular insulating concrete	Concrecel, Int. (with current PCA)
Mearlcrete		PA 110	Cellular insulating concrete	The Mearl Corp. (with current PCA)



EVIDENCE SUBMITTED

<u>Test Agency/Identifier</u>	<u>Name</u>	<u>Report</u>	<u>Date</u>
Factory Mutual Research Corporation	J.I. # 2P3A4.AM	Wind Uplift Classification	09.23.88
	J.I. # 1Q6A4.AM	Wind Uplift Classification	12.11.90
	J.I. # 2N0A6.AM	Wind Uplift Classification	9.22.88
	J.I. # 3001482	FM Approval Report	08.11.98
	J.I. # 3001629 J.I. # 0Z8A9.AM	FM Approval Report	09.10.98
	J.I. # 3D4A4.AM J.I. # 3000949	FM Approval Report	09.28.98
	FMRC (current)	Current Insulation and Fastening Requirements.	(Current)
Dynatech Engineering, Inc.	4360.03.95-1 4360.03.95-2	Wind Uplift Classification	3.95
	4361.5.95-1	Wind Uplift Classification	5.95
	R-10167 (N)	Fire Classification Compliance	01.01.95
Exterior Research & Design, LLC.	#4361-2.04.97-1	Uplift Resistance PA 114	04.28.97
	#4361-2.04. -1	Uplift Resistance PA 114	04.00.97
	#10390A-10.97-1	Uplift Resistance PA 114	10.00.97
	#10390A-12.97-1	Uplift Resistance PA 114	12.00.97
	IRT9900(1-16).1.20.99	Uplift Resistance PA 114	01.20.99
Independent Roof Testing & Consulting, Inc.			



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SYSTEMS

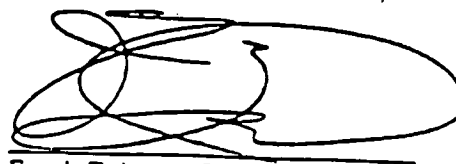
- Membrane Type:** SBS
- Deck Type 7I:** Recover
- Deck Description:** Concrete/lightweight concrete/cementitious wood fiber/wood/steel
- System Type A(1):** Anchor sheet mechanically fastened; all layers of insulation fully adhered with approved asphalt.

All General and System Limitations apply.


<u>Insulation Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u> (See RAS 117)	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
One or more layers of any of the following insulations:				
Approved Type(s) ACFoam-II, E'NRG'Y-2, MultiMax Minimum: 1.3" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Foam Minimum: 1.5" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Minimum: ¾" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Retro-Fit Minimum: ½" x 2' x 4'	N/A	N/A	N/A	N/A

Note: All insulation shall be adhered to the anchor sheet in full moppings of approved hot asphalt within the EVT range and at a rate of 20-40 lbs. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment. Insulations listed as base layer only shall be used only as base layers with a second layer of approved top layer insulation installed as the final membrane substrate. Composite insulation panels may be used as a top layer placed with the polyisocyanurate side facing down.

- Anchor Sheet:** One ply of PermaPly No. 28, DynaBase, GlasBase Plus or Ventsulation fastened to the deck as described below:
- Fastening:** Any approved fasteners and plate listed herein spaced 9" o.c. at the lap and in two rows staggered 12" in the field of the sheet.
- Base Sheet:** (Optional) One ply of PermaPly No. 28, DynaBase, GlasBase, or GlasBase Plus adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.


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- Ply Sheet:** One, two or three plies of DynaBase, GlasBase, GlasBase Plus, PermaPly No. 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the base sheet in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** One ply of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaLastic 250 FR, Dynalastic 180, Dynalastic 180 FR or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See application instructions for approved method of installation).
- Surfacing:** (Optional) Install one of the following:
1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
 2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
- Maximum Design Pressure:** -45 psf (See General Limitation #9).
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.
- Specification No.:** See manufacturer's specification manual



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Membrane Type: SBS

Deck Type 7I: Recover

Deck Description: Concrete/lightweight concrete/cementitious wood fiber/wood/steel

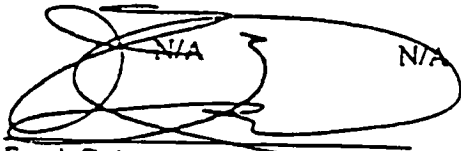
System Type B: Base layers of insulation mechanically fastened, top layer fully adhered with approved asphalt.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u> (See RAS 117)	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): Multi-Max, E'NRG'Y 2, AC Foam-II Minimum: 1.5" x 4' x 4'	UltraFast S/P	[3]	4	1:4 ft ²
Approved Type(s): Fesco-Foam Minimum: 1.5" x 4' x 4'	UltraFast S/P	[3]	4	1:4 ft ²
Approved Type(s): Fesco Minimum: 1" x 2' x 4'	UltraFast S/P	[1]	2	1:4 ft ²
Approved Type(s): Fiber Glass Minimum: 3/4" x 4' x 4'	UltraFast S/P	[3]	4	1:4 ft ²
Approved Type(s): Retro-Fit Minimum: 1/2" x 2' x 4'	UltraFast S/P	[1]	2	1:4 ft ²

Note: Base layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Insulation fasteners shall be tested for withdrawal resistance in compliance with Miami-Dade County Protocol TAS 105 to confirm compliance with the wind load requirements set forth in Chapter 23 of the S.F.B.C. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment.

<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u> (See RAS 117)	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
One or more layers of any of the following insulations:				
Approved Type(s): Fesco Foam Minimum: 1.5" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Minimum: 3/4" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Retro-Fit Minimum: 1/2" x 2' x 4'	N/A	N/A	N/A	N/A


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Note: Optional top layer of insulation shall be adhered with approved asphalt within the EVT range and at a rate of 20-40 lbs. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment. Composite insulation boards used as a top layer shall be installed with the polyisocyanurate face down.

- Base Sheet:** (Optional) One ply of PermaPly No. 28, DynaBase, GlasBase, GlasBase Plus, or Ventsulation adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.
- Ply Sheet:** One, two or three plies of Dynalastic 180S, GlasBase, GlasBase Plus, PermaPly No. 28, GlasPly Premier, Glas Ply IV, or DynaPly adhered to the base sheet in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** One ply of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaLastic 250 FR, DynaLastic 180, DynaLastic 180 FR, or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See application instructions for approved method of installation).
- Surfacing:** (Optional) Install one of the following:
1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
 2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
- Maximum Design Pressure:** -52.5 psf
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.
- Specification No.:** See manufacturer's specification manual



Membrane Type: SBS

Deck Type 7I: Recover


Deck Description: Concrete/lightweight concrete/cementitious wood fiber/wood/steel

System Type C: All layers of insulation simultaneously mechanically fastened.

All General and System Limitations apply.

<u>Insulation Base Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u> (See RAS 117)	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
One or more layers of any of the following insulation:				
Approved Type(s): AC Foam-II, E'NRG'Y-2, MultiMax Minimum: 1.3" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Foam Minimum: 1.5" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Minimum: 3/4" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fiber Glass Minimum: 3/4" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Retro-Fit Minimum: 1/2" x 2' x 4'	N/A	N/A	N/A	N/A

<u>Insulation Top Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u> (See RAS 117)	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
Approved Type(s): Multi-Max, E'NRG'Y 2, AC Foam-II Minimum: 1.5" x 4' x 4'		[3]	4	1:4 ft ²
Approved Type(s): Fesco-Foam Minimum: 1.5" x 4' x 4'		[3]	4	1:4 ft ²
Approved Type(s): Fesco Minimum: 3/4" x 2' x 4'		[1]	2	1:4 ft ²
Approved Type(s): Fiber Glass Minimum: 3/4" x 4' x 4'	UltraFast S/P	[3]	4	1:4 ft ²
Approved Type(s): Retro-Fit Minimum: 1/2" x 2' x 4'	UltraFast S/P	[1]	2	1:4 ft ²


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Note: All layers of insulation shall be mechanically attached using the fastener density listed above. The insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Insulation fasteners shall be tested for withdrawal resistance in compliance with Miami-Dade County Protocol TAS 105 to confirm compliance with the wind load requirements set forth in Chapter 23 of the S.F.B.C. Please refer to Miami-Dade County Roofing Application Standard RAS 117 for insulation attachment.

- Base Sheet:** (Optional) One ply of PermaPly No. 28, DynaBase, GlasBase, GlasBase Plus, or Ventulation adhered to the insulated substrate in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.. If base sheet is applied directly to polyisocyanurate insulation, only a spot or strip mopped application as detailed in this approval is approved; see General Limitation #4.
- Ply Sheet:** One, two or three plies of DynaLastic 180S, DynaBase, GlasBase, GlasBase Plus, PermaPly No. 28, GlasPly Premier, Glas Ply IV, or DynaPly adhered to the base sheet in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..
- Membrane:** One ply of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaLastic 250 FR, DynaLastic 180, DynaLastic 180 FR, or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See application instructions for approved method of installation).
- Surfacing:** (Optional) Install one of the following:
1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
 2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.
- Maximum Design Pressure:** -52.5 psf (See General Limitation #9)
- Maximum Fire Classification:** See General Limitation #1.
- Maximum Slope:** See General Limitation #1.
- Specification No.:** See manufacturer's specification manual



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Membrane Type: SBS
 Deck Type 7I: Recover
 Deck Description: Concrete/lightweight concrete/cementitious wood fiber/wood/steel
 System Type D: All layers of insulation and base sheet simultaneously mechanically fastened with base sheet.

All General and System Limitations apply.

<u>Insulation Layer</u>	<u>Fastener Type</u>	<u>Fastening Detail No.</u> (See RAS 117)	<u>Fasteners Per Board</u>	<u>Fastener Density</u>
One or more layers of any of the following insulations: Approved Type(s): AC Foam-II, E'NRG'Y-2, MultiMax Minimum: 1.3" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Foam Minimum: 1.5" x 4' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fesco Minimum: 3/4" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Fiber Glass Minimum: 3/4" x 2' x 4'	N/A	N/A	N/A	N/A
Approved Type(s): Retro-Fit Minimum: 1/2" x 2' x 4'	N/A	N/A	N/A	N/A

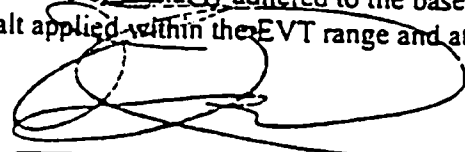
Note: Top layer shall have preliminary attachment, prior to the installation of the base/anchor sheet, at an application rate of two fasteners per board for insulation boards having no dimension greater than 4 ft., and four fasteners for any insulation board having no dimension greater than 8 ft. All layers of insulation and base sheet shall be simultaneously fastened. See base/anchor sheet below for fasteners and density.

Base Sheet: One ply of PermaPly No. 28, DynaBase, DynaPly, GlasBase, GlasBase Plus or Ventsulation fastened to the deck through the insulation as described below.

Fastening: Any approved fastener and plate listed herein spaced 9" o.c. at the lap and in two rows staggered 12" in the field of the sheet.

Note: Base sheet fasteners shall be tested for withdrawal resistance in compliance with Miami-Dade County Protocol TAS 105 to confirm compliance with the wind load requirements set forth in Chapter 23 of the S.F.B.C.

Ply Sheet (Optional): One, two or three plies of DynaBase, GlasBase, GlasBase Plus, PermaPly No. 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the base sheet in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..



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 Roofing Product Control Examiner

Membrane: One ply of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaLastic 250 FR, DynaLastic 180, DynaLastic 180 FR, or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See application instructions for approved method of installation).

Surfacing: (Optional) Install one of the following:

1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.

Maximum Design Pressure: -45 (See General Limitation #9).

Maximum Fire Classification: See General Limitation #1.

Maximum Slope: See General Limitation #1.

Specification No.: See manufacturer's specification manual



Membrane Type: SBS
Deck Type 7: Recover
Deck Description: Concrete/lightweight concrete/cementitious wood fiber/wood/steel
System Type E: Base sheet mechanically fastened.

All General and System Limitations apply.

Base Sheet: One ply of PermaPly No. 28, DynaBase, GlasBase, GlasBase Plus, DynaPly or Ventsulation fastened to the deck as described below:

Fastening: Any approved fasteners and plate listed herein spaced 9" o.c. at the lap and in two rows staggered 12" in the field of the sheet.

Note: Base sheet fasteners shall be tested for withdrawal resistance in compliance with Miami-Dade County Protocol TAS 105 to confirm compliance with the wind load requirements set forth in Chapter 23 of the S.F.B.C.

Ply Sheet (Optional): One, two or three plies of DynaBase, GlasBase, GlasBase Plus, PermaPly No. 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the base sheet in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..

Membrane: One ply of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaLastic 250 FR, DynaLastic 180, DynaLastic 180 FR, or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See application instructions for approved method of installation).

Surfacing: (Optional) Install one of the following:

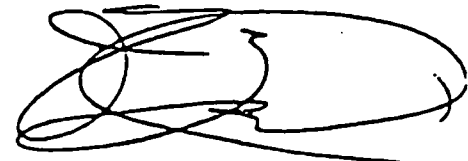
1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.

Maximum Design Pressure: -45 (See General Limitation #9).

Maximum Fire Classification: See General Limitation #1.

Maximum Slope: See General Limitation #1.

Specification No.: See manufacturer's specification manual



Membrane Type: SBS

Deck Type 7: Recover

Deck Description: Concrete/lightweight concrete/cementitious wood fiber/wood/steel

System Type F: Base sheet adhered with approved asphalt.

All General and System Limitations apply.

Base Sheet: One ply of PermaPly No. 28, DynaBase, GlasBase, GlasBase Plus, DynaPly or Ventulation adhered to the existing roof deck with approved mopping asphalt in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or a spot mopping application of 12" dia. spots 24" o.c..

Ply Sheet (Optional): One, two or three plies of DynaBase, GlasBase, GlasBase Plus, PermaPly No. 28, GlasPly Premier, Glas Ply IV, DynaLastic 180S or DynaPly adhered to the base sheet in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq..

Membrane: One ply of DynaKap, DynaKap FR, DynaMax, DynaMax FR, DynaGlas, DynaGlas FR, DynaGlas 30 FR, DynaLastic 250 FR, DynaLastic 180, DynaLastic 180 FR, or DynaPly adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. (See application instructions for approved method of installation).

Surfacing: (Optional) Install one of the following:


1. 2-3 gallons TopGard B emulsion/sq. or 2 gallons aluminum coating/sq.. Coatings shall be applied according to the manufacturers' recommendations regarding specific application rates and weathering.
2. Flood coat and gravel/slag with an application rate of 60 lbs./sq. & 400 lbs./sq., respectively.

Maximum Design Pressure: -275 psf concrete deck only.
-45 psf other deck types

Maximum Fire Classification: See General Limitation #1.

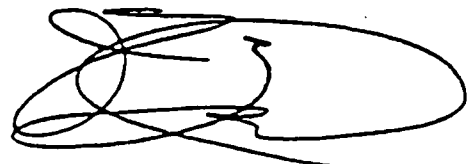
Maximum Slope: See General Limitation #1.

Specification No.: See manufacturer's specification manual



RECOVER SYSTEM LIMITATIONS:

1. Existing roof surfaces used as a bonding substrate shall be tested for uplift resistance, in compliance with Miami-Dade County Protocol PA 124 to the calculated design pressures of the field, perimeter and corner areas, determined in compliance with Chapter 23 of the South Florida Building Code.
2. All System Limitations and General Limitations shall apply. See specific deck type Notice of Acceptance for deck type System Limitations.



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GENERAL LIMITATIONS

- 1 Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 2 Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
- 3 All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
- 4 An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.
- 5 Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
- 6 Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer or Architect may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Miami-Dade County Protocol TAS 105 and calculations in compliance with Miami-Dade Roofing Application Standard RAS 117.
- 7 Perimeter and corner areas shall comply with the enhanced uplift pressure of these areas, as calculated in compliance with Chapter 23 of the South Florida Building Code. Fastener densities shall be increase for both insulation and base sheet as calculated in compliance with Miami-Dade County Roofing Application Standard RAS 117. (When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)
- 8 All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Miami-Dade County Roofing Application Standard RAS 111 and the wind load requirements of Chapter 23 of the South Florida Building Code.
- 9 The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). (When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)



Frank Zuloaga, RRC
Roofing Product Control Examiner

Johns Manville
P.O. Box 5108
Denver, CO 80217

ACCEPTANCE NO: 99-0427.08
APPROVED : July 09, 1999
EXPIRES : August 27, 2001

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 25.

END OF THIS ACCEPTANCE



Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri MAY 22, 2000; Page 1 of .

NO SURVEY
CANCELLED

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4899	KOLLER	POOL STL/MAINT DR.		VERIFY FORM BOARD SURVEY ON FILE
(2)	19 S. VIA LUCINDIA CHALLENGER 471-3033	ALUMINUM 561 692 9091 mobile TED OFFICE 471-3033		SHORING - Pool - 2'-8" angle of Repose.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4872	GLOVER	ROOF FINISH	Passed	\$30.00 REINSP. FEE REQ.
4875	16 RIVERVIEW	(REINSP.)	BG	EARLY A.M. INSP
(1)	COOPER RFG			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VAN WARDER	FRAMING-	Passed	
(5)	3 PALAMA WAY	ALL TRADES	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4732	Tetamanti	check gas	Reject	0 - PRESSURE.
(4)	19 Lofting Way Hutner	valve	BG.	Main House Side
			w/Fee	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4797	KENNEDY 111 W. SEWALL'S POINT RD. A & G CONC. 878-7052	DECK INSP.		CANCEL - RESCHED 5/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4929	Leloney	roof sheathing	Passed	- RAINING -
(6)	116 S.S.P. Rd.		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4895	Sealy	nail-off	Passed	Main House
(3)	37 Lofting Way Gibben	roof	BG	

OTHER: A. T/R PERMIT APPL; SMITH - O/B, 11 S. WARDER ✓ TREE DOWN - NO PERMIT.
 B. " " " ; SINTON - O/B, 33 W. RIVER RD ✓ APPROVED

Miles - 94176 to 94188 = 12 miles.

INSPECTOR (Name/Signature): _____

5508

REMODEL

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

BUILDING PERMIT NO. 5508

Date 8/15/01

Building to be erected for DAWSON C. & CHARLOTTE GLOVER Type of Permit ALTERATIONS

Applied for by SWAT 24 (Contractor) Building Fee \$200.00

Subdivision RIVERVIEW Lot 11 Block _____ Radon Fee _____

Address 16 RIVERVIEW RD Impact Fee _____

Type of structure S.F.R. A/C Fee _____

Parcel Control Number: _____ Electrical Fee _____

12-38-41-001-000-00110-50000 Plumbing Fee _____

Amount Paid \$220.00 Check # 7843 Cash _____ Other Fees (PLAN REV) 20.00

Total Construction Cost \$ 21,000.00 TOTAL Fees \$220.00

Signed Daniel Gullett
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

ACORD. CERTIFICATE OF LIABILITY INSURANCE

ID LP
SWAT2-1
DATE (MM/DD/YY)
07/10/01

PRODUCER
R.V. Johnson Agency, Inc.
2041 SE Ocean Blvd
Stuart FL 34996
Phone: 561-287-9366 Fax: 561-287-4255

COPY

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
FILE
FILE
2575 S Federal Hwy
Stuart FL 34994

INSURERS AFFORDING COVERAGE
INSURER A: Southern Owners Insurance
INSURER B: Auto-Owners Insurance Co
INSURER C: Bridgefield Employers Insuranc
INSURER D:
INSURER E:

RECEIVED
AUG - 2 2001

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED, IT MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	20589372	07/11/01	07/11/02	EACH OCCURRENCE \$ 1000000 FIRE DAMAGE (Any one fire) \$ 50000 MED EXP (Any one person) \$ 5000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	4238680400	07/11/01	07/11/02	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	NOT COVERED			AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
B	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ none	20587956	07/11/01	07/11/02	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
C	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	0830-25222	07/11/01	07/11/02	WC STATU-TORY LIMITS OTH-ER EL EACH ACCIDENT \$ 500000 EL DISEASE - EA EMPLOYEE \$ 500000 EL DISEASE - POLICY LIMIT \$ 500000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 30 days notice of cancellation for workers compensation coverage.

CERTIFICATE HOLDER	N	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
CITY004 CITY OF STUART 121 SW FLAGLER ST STUART FL 34994			SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. Robert C. Johnson

FILE
lic/ur

RECEIVED
AUG - 2 2001
BY: *[Signature]*

AC# 0048701

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

SEQ# 010510000

DATE	BATCH NUMBER	LICENSE NBR
05/10/2001	00029643	CG -C062380

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2002

COLEMAN, JOHN DAVID
SWAT 24 STUART FLORIDA LLC
2575 SE FEDERAL HIGHWAY
STUART FL 34994

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

Town of Sewall's Point
BUILDING PERMIT APPLICATION

RECEIVED
JUL 31 2001

Bldg. Permit Number: _____

Owner or Titleholder's Name Dawson C & Charlotte Glover Phone No. (561) 286-8311
Street: 16 Riverview RD. City Stuart State: FL Zip 34994
Legal Description of Property: Riverview S/D Lot 11

Parcel Number: 12-38-41-001-000-0011
0-5

Location of Job Site: _____

TYPE OF WORK TO BE DONE: Repairs

CONTRACTOR/Company Name: SWA+24 Phone No. (561) 286-7928
Street: 2575 SE Federal Hwy City Stuart State: FL Zip 34994
State Registration: _____ State License: CG-0062380

ARCHITECT: Braden & Braden Phone No. () _____
Street: 417 COCONUT AVE City Stuart State: FL Zip 34994

ENGINEER: Samuel Phone No. () _____
Street: _____ City _____ State: _____ Zip _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:

Living Area: 7,533 Garage Area: _____ Carport: _____ Accessory Bldg: _____
Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION

Flood zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES

Estimated cost of construction or improvement: \$ 21,000
Estimated Fair Market Value (FMV) prior to improvement: \$ _____
If improvement, is cost greater than 50% of Fair Market Value? YES _____ NO _____
Method of determining Fair Market Value: _____

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)

Electrical: _____ State: _____ License # _____
Mechanical: _____ State: _____ License # _____
Plumbing: _____ State: _____ License # _____
Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)

DC Glover
Owner
State of Florida, County of: Martin On this the 25th day of July, 2000, by Dawson C. Glover who is personally known to me or produced _____ as identification.

CONTRACTOR SIGNATURE (Required)

John David Coleman
Contractor
State of Florida, County of: Martin On this the 25th day of July, 2000, by John David Coleman who is personally known to me or produced _____ as identification.

Notary Public

Notary Public

My Commission Expires: 3-17-03

My Commission Expires: 3-17-03

KAROLL BOWYER
Notary Public - State of Florida
My Commission Expires Mar 17, 2003
Commission # CC 818548

KAROLL BOWYER (Seal)
Notary Public - State of Florida
My Commission Expires Mar 17, 2003
Commission # CC

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____
Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (property licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

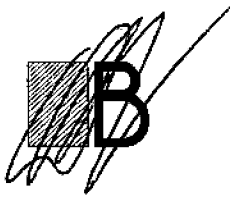
ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: _____ Date: _____

Approved by Town Engineer _____ Date: _____
(If required)




BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34994
TELEPHONE: (561) 287-8258 FAX (561) 287-8263
#AAC-000032

9-12-01

FILE
TOWN COPY
16 RIVERVIEW DR.

RECEIVED
SEP 18 2001
BY: 

BLDG PER
ADJUSTMENT @ COMPLETION

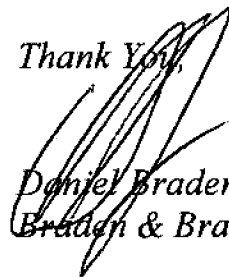
Sewall's Point Building Department

~~Permit # 5508~~

To Whom it concerns,

Please note there was more rot found at the rear of the Glover Residence during construction. The contractor will continue to repair the rotted areas as per the details and specifications shown on the plans submitted under the above permit number. If you have any questions please feel free to call me @ 287-8258, or email me @ Dan@bradenaia.com.

Thank You,



Daniel Braden
Braden & Braden AIA PA

RECEIVED
AUG 15 2001

NOTICE OF COMMENCEMENT

Permit No. BY: _____
State Of Florida

Tax ID No. _____
County Of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and street address, if available _____
16 Riverview Road, Stuart FL 34996

Legal = Riverview S/O Lot 11 Parcel # 12-38-41-001-000-0011-0

General description of improvements general repairs

Owner Dawson + Charlotte Glover

Address 16 Riverview Rd, Stuart FL 34996

Owner's interest in site of improvement Homeowners

Fee Simple Title holder (if other than owner) _____

Address _____

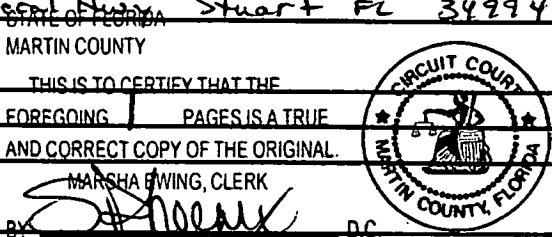
Contractor SWAT 24 Stuart Florida L.L.C. Phone# 561-286-7928

Address 2575 SE Federal Hwy, Stuart FL 34994 Fax# 561-288-0222

Surety _____ Phone# _____

Address _____ Fax# _____

Amount of Bond \$ _____



MARSHA EWING, CLERK

Lender _____ BY: [Signature] DC _____ Phone# _____

Address _____ DATE 8-15-01 Fax# _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name _____ Phone# _____

Address _____ Fax# _____

In addition to himself, owner designates _____ of _____ (Phone# _____ Fax# _____) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

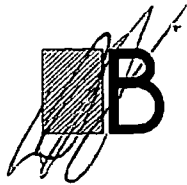
Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. _____

x [Signature]
OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF Martin
Sworn to and subscribed before me this 15th day of August, 2001, by Dawson Glover, who is personally known to me or who has produced _____ as identification.

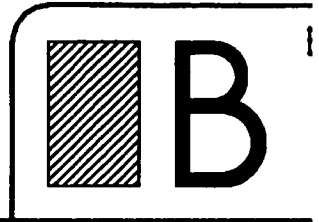


(seal) Karol L. Bowyer
SIGNATURE OF NOTARY
Karol L. Bowyer
TYPE OR PRINT NAME OF NOTARY
NOTARY PUBLIC TITLE
CC 818548 COMMISSION NUMBER

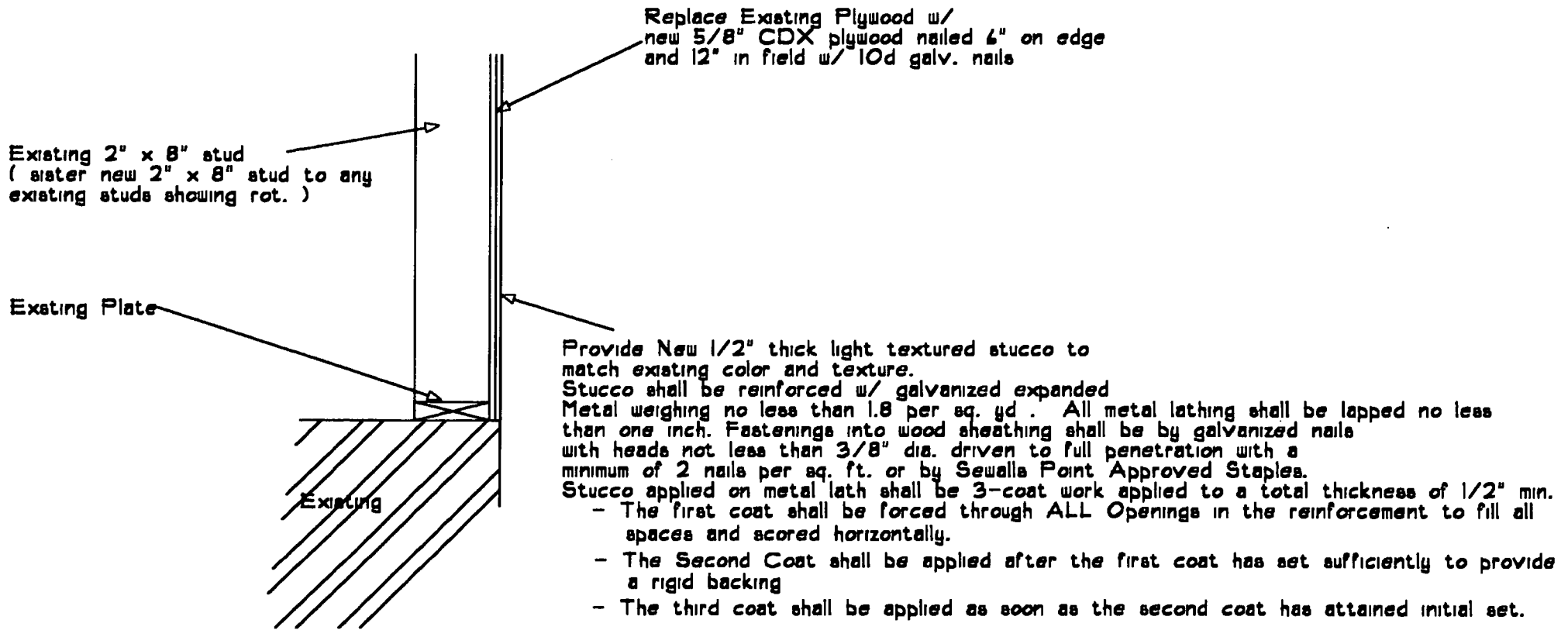


BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners



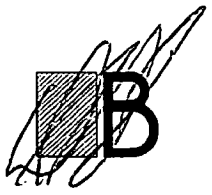
417 COCONUT AVENUE, STUART, FLORIDA 34994
 TELEPHONE: (561) 287-8258 FAX (561) 287-8283
 #AAC-000032



Detail @ Rotted Wall

NTS

Glover
 #6 RIVERVIEW

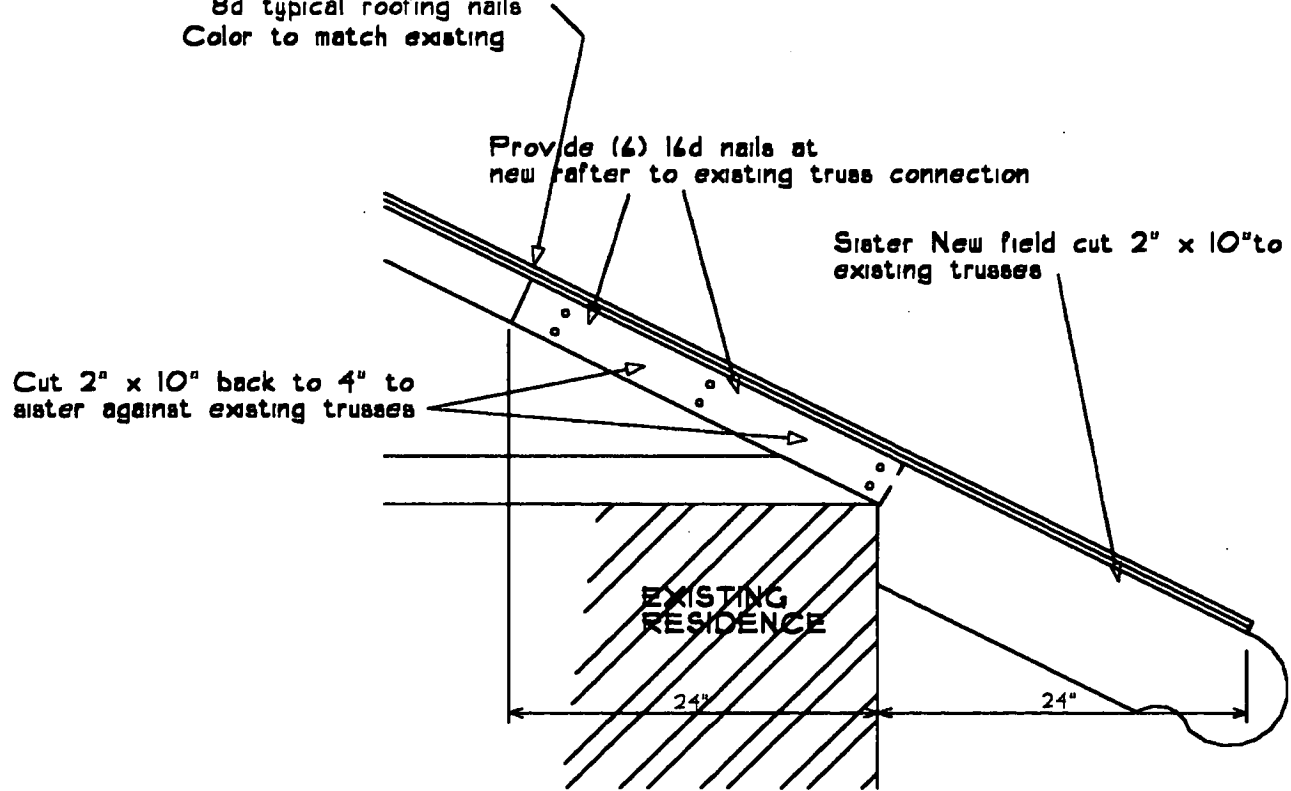


BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34994
TELEPHONE: (561) 287-8258 FAX (561) 287-8259
#AAC-000032

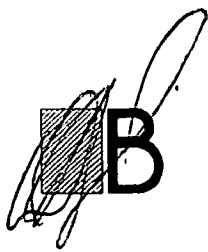
New Fiberglass shingles on 30lb felt on
5/8" CDX plywood nailed @ 6" o.c.
in field and 4" on edges w/
8d typical roofing nails
Color to match existing



Detail @ New Field Cut Rafter

NTS

Glover
#6 RIVERVIEW



BRADEN & BRADEN, A. I. A., P. A.

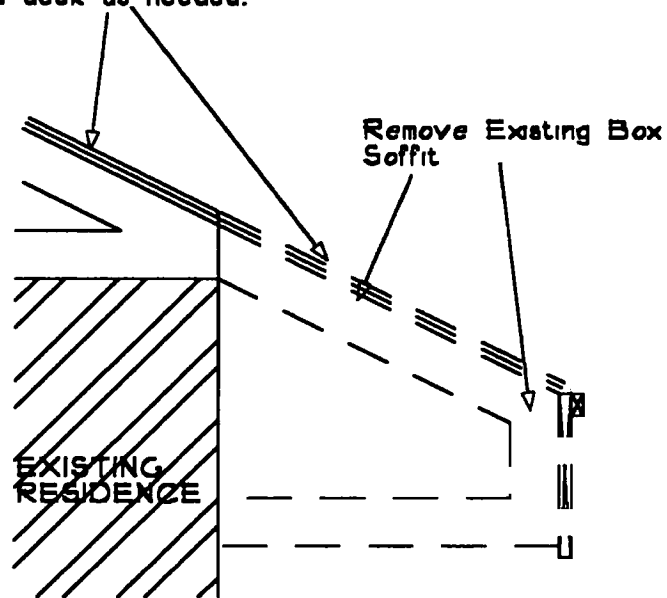
Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34994

TELEPHONE (561) 287-8258 FAX (561) 287-8283

#AAC-000032

Remove Rotted Truss tails
and plywood deck as needed.



Detail @ Box Soffit Removed

NTS

Glover
#6 RIVERVIEW



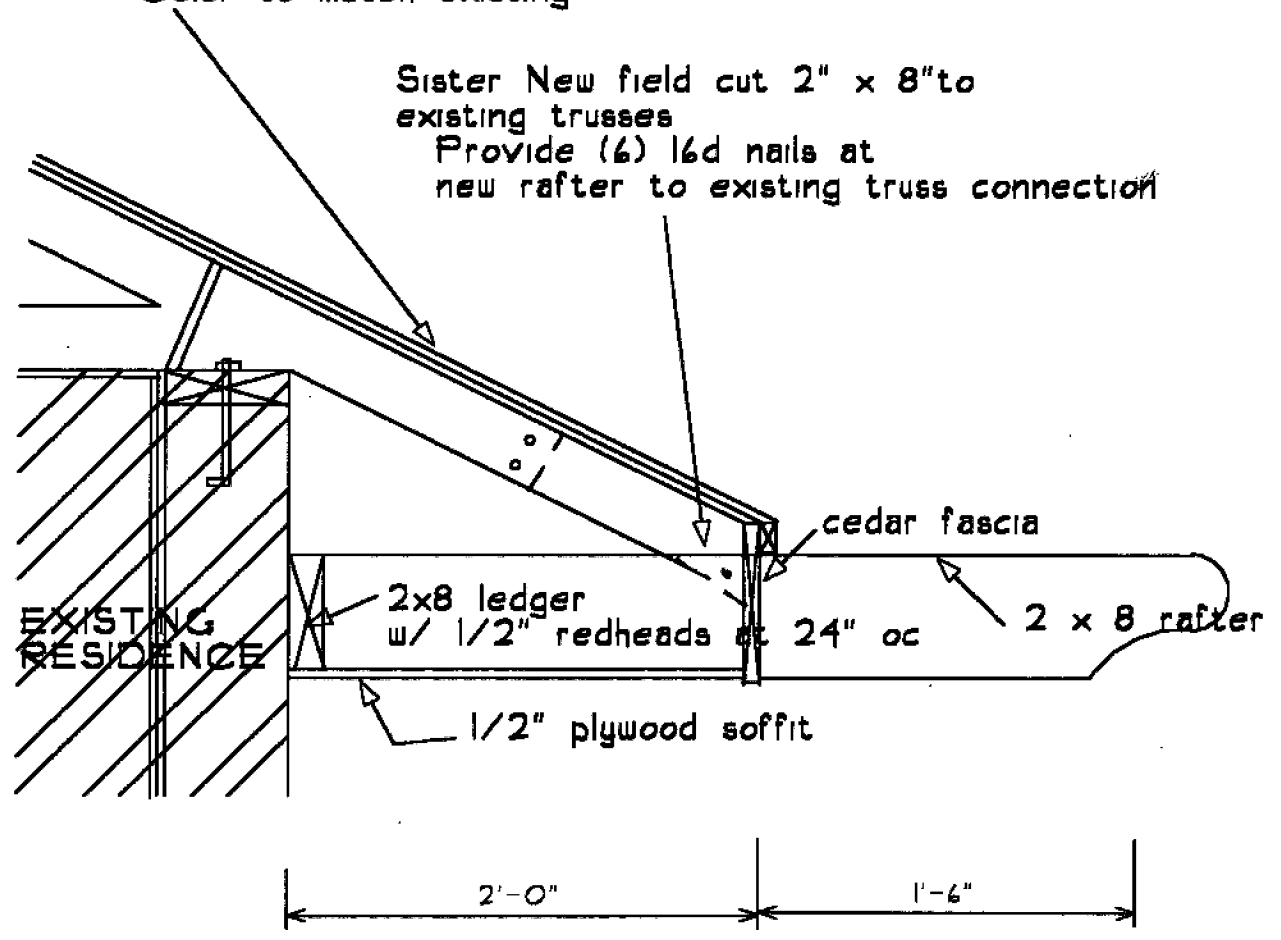
BRADEN & BRADEN, A. I. A., P. A.

Architects & Planners

417 COCONUT AVENUE, STUART, FLORIDA 34994
TELEPHONE: (561) 287-8258 FAX (561) 287-8283
#AAC-000032

New Fiberglass shingles on 30lb felt on
5/8" CDX plywood nailed @ 6" o.c.
in field and 4" on edges w/
8d typical roofing nails
Color to match existing

Sister New field cut 2" x 8" to
existing trusses
Provide (6) 16d nails at
new rafter to existing truss connection

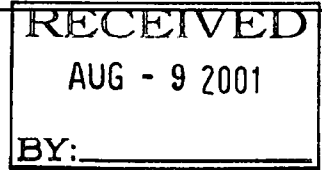


Detail @ Box Soffit Repair

NTS

SWAT 24 Stuart Florida

24 Hour Emergency Construction
2575 SE Federal Highway
Stuart, FL 34994
(561) 286-SWAT [7928]
(561) 288-0222 [FAX]



Client: CHARLOTTE GLOVER

Home: (561) 286-8341

Home: 16 RIVERVIEW RD.
STUART FLORIDA
34996

Operator: MARK

Estimator: Mark Destache
Title: Lead Estimator

Cellular: (561) 260-9110

Business: 2575 SE Federal Hwy
Stuart, FL 34994

Estimate: GLOVER/RIVER

SWAT 24 Stuart Florida

24 Hour Emergency Construction
2575 SE Federal Highway
Stuart, FL 34994
(561) 286-SWAT [7928]
(561) 288-0222 [FAX]

GLOVER/RIVER

Room: WEST SIDE

LxWxH 6" x 6" x 8'0"

16.00 SF Walls	0.25 SF Ceiling	16.25 SF Walls & Ceiling
0.25 SF Floor	0.03 SY Flooring	2.00 LF Floor Perimeter
4.00 SF Long Wall	4.00 SF Short Wall	2.00 LF Ceil. Perimeter

DESCRIPTION	QUANTITY	DONE
Two coat stucco over masonry	125.00 SF	[]
Remove REMOVE EXISTING SOFFIT	125.00 SF	[]
Sheathing - for soffit and hand frame nailers to attach	125.00 SF	[]
Detach & Reset Exterior light unit detach and reset	1.00 EA	[]
Soffit vent(s)	15.00 EA	[]
Rafters -TAILS CUSTOM CUT AND INSTALL	26.00 EA	[]
Paint stucco and new soffit work TO BE DETERMINED	0.00 SF	[]

ROOM TOTAL: WEST SIDE

Room: EAST SIDE

LxWxH 6" x 6" x 8'0"

16.00 SF Walls	0.25 SF Ceiling	16.25 SF Walls & Ceiling
0.25 SF Floor	0.03 SY Flooring	2.00 LF Floor Perimeter
4.00 SF Long Wall	4.00 SF Short Wall	2.00 LF Ceil. Perimeter

DESCRIPTION	QUANTITY	DONE
Two coat stucco over masonry	125.00 SF	[]
Remove remove existing soffit	125.00 LF	[]
Sheathing - for soffit and hand frame nailers to attach	125.00 SF	[]
Soffit vent(s)	15.00 EA	[]
Rafters - custom cut and installed	26.00 EA	[]
Paint stucco AND SOFFIT TO BE DETERMINED	0.00 SF	[]

ROOM TOTAL: EAST SIDE

SWAT 24 Stuart Florida

24 Hour Emergency Construction
 2575 SE Federal Highway
 Stuart, FL 34994
 (561) 286-SWAT [7928]
 (561) 288-0222 [FAX]

Room: ENTRY DOOR

LxWxH 6" x 6" x 8'0"

16.00 SF Walls	0.25 SF Ceiling	16.25 SF Walls & Ceiling
0.25 SF Floor	0.03 SY Flooring	2.00 LF Floor Perimeter
4.00 SF Long Wall	4.00 SF Short Wall	2.00 LF Ceil. Perimeter

DESCRIPTION	QUANTITY	DONE
french door - supply new entry doors vinyl clad set	1.00 EA	[]
install new vinyl clad entry door	1.00 EA	[]
Door lockset & deadbolt - exterior - High grade	1.00 EA	[]
Remove REMOVE EXISTING ENTRY DOOR and jamb complete	1.00 EA	[]

ROOM TOTAL: ENTRY DOOR

Room: EAST ENTRY

LxWxH 33'0" x 2" x 26'0"

1,724.67 SF Walls	5.50 SF Ceiling	1,730.17 SF Walls & Ceiling
5.50 SF Floor	0.61 SY Flooring	66.33 LF Floor Perimeter
858.00 SF Long Wall	4.33 SF Short Wall	66.33 LF Ceil. Perimeter

DESCRIPTION	QUANTITY	DONE
R&R Metal lath & stucco	780.00 SF	[]
Detach & Reset Awning - windows one large 1 medium second floor	2.00 EA	[]
Detach & Reset Awning - window premium grade steel frame with canvas	2.00 EA	[]
Detach & Reset Awning -one small 1st floor	1.00 EA	[]
screen doors double sets detach and reset / store in safe place	2.00 EA	[]
Hurricane shutter angle brackets at double doors remove and reset / store safe	4.00 SF	[]
Detach & Reset Exterior light unit detach and reset	2.00 EA	[]
French double door sets supply new vinly clads	2.00 EA	[]
Paint stucco open item CUSTOMER TO DETERMINE SCOPE OF PAINT JOB	0.00 SF	[]
R&R Exterior doors remove existing and install new vinyl clads	2.00 EA	[]
R&R Door lockset & deadbolt - exterior - Premium grade	1.00 EA	[]

SWAT 24 Stuart Florida

24 Hour Emergency Construction
 2575 SE Federal Highway
 Stuart, FL 34994
 (561) 286-SWAT [7928]
 (561) 288-0222 [FAX]

CONTINUED - EAST ENTRY

DESCRIPTION	QUANTITY	DONE
Stucco tie into corners at ends of building	52.00 LF	[]

ROOM TOTAL: EAST ENTRY

Room: General Provisions

LxWxH 6" x 6" x 8'0"

16.00 SF Walls	0.25 SF Ceiling	16.25 SF Walls & Ceiling
0.25 SF Floor	0.03 SY Flooring	2.00 LF Floor Perimeter
4.00 SF Long Wall	4.00 SF Short Wall	2.00 LF Ceil. Perimeter

DESCRIPTION	QUANTITY	DONE
Remove Hauling, cartage and dump fees	1.00 EA	[]
Permits & fees {includes permit acquisition}	1.00 EA	[]

ROOM TOTAL: General Provisions

Line Item Subtotals: GLOVER/RIVER

Grand Total Areas:

1,788.67 SF Walls	6.50 SF Ceiling	1,795.17 SF Walls & Ceiling
6.50 SF Floor	0.72 SY Flooring	74.33 LF Floor Perimeter
874.00 SF Long Wall	20.33 SF Short Wall	74.33 LF Ceil. Perimeter

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Tue Wed Thu Fri Sat Sun, 2001; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5508	GLOVER	FRAMING	Passed	
5	16 RIVERVIEW RD. (PARKER)			INSPECTOR: J 9/12
	SWAT			
✓ 5439	BRENNAN	POOL -	Passed	
5	111 Henry Sewall Way	FINAL		INSPECTOR: J 9/12
	FLAMINGO POOLS			
✓ 5302	NOTHETL	DRYWALL	Passed	
5	6 N. RIDGEVIEW			INSPECTOR: J 9/12
	RON RAYMOND CONST. (216-1188)			
5455	ATEW	TEMP. ELECT.	Failed	ON neighbors lot
4	103 ABBIE CT.	(SHORELINE - ^{LAURE} 221-3923)		at hand hold
	GRIFFEN CONST (ROW 260-7759)			INSPECTOR: J 9/12
5358	INGRAM	TRUSS RANG'G.	Passed	
6	101 W. SEWALL'S PT. RD.	- RR. SHEATHING	Passed	
	BURD CO. CONST. (MAY. 20-9153)	- Tie Down	Failed	INSPECTOR: J 9/12
T/R	ESCUE	FIELD VERIF.	Passed	
7	2 BAUYAN RD			INSPECTOR: J 9/12
	O/B			
				INSPECTOR:

OTHER: POSSIBLE CODE VIOL.: 8 PALM COURT - SUBIN; SHORELINE CONST. & TREE REMOVAL? (COMPLAINT BY MRS. BERGMAN 287-4852) 9
 → excessive load + pool/scaping, no tree removal
 Police: 103 Abbie Ct. sign not BAW 92 (no buffer zone, no shoreline infringement.) modification

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Sat Sun SEPTEMBER 19, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5506 N (9)	DERMARKARIAN 19 CASTLE HILL WAY LAURENCE FENCE	FENCE - FINAL	PASSED	(MUR: 561-747-4220) INSPECTOR: SA
✓ 5474 S (6)	SCHULTZ 64 S. SEWALL'S POINT RD. QUALITY FENCE	FENCE - FINAL	FAILED	- RAISE LATCHES TO CONFORM W/ RES. POOL SAFETY ACT INSPECTOR: SA
✓ 5535 S (1)	MUSSO 18 S. RIVER ROAD HARRY BLUE (336-3024)	PROP. WALL - FTG.	PASSED	MPN 5262 INSPECTOR: SA
✓ T/R N (8)	YETI (VACANT) 122 N. SEWALL'S POINT RD. ALL CLEAR INC	FIELD VERIF	DENIED	3RD ATTEMPT - SITE TOO WET FOR ACCESS INSPECTOR: SA
✓ 5508 S (2)	GLOVER 16 RIVERVIEW DR. SWAT	PLYWOOD UNDER STUCCO	PASSED	10:00 NOT READY 10:45 RE (GLOVER) INSPECTOR: SA
✓ T/R S (5)	ALLMAN (521-6017) 3 SUMMER LANE	FIELD VERIF.	CONFIRMED	OK TO ISSUE PERMIT INSPECTOR: SA
✓ 4874 S (4)	SMITH 133 S. RIVER RD. DRENCH & AIRLINE CONST.	DOCK - FINAL	FAILED	SURVEY RCD 9/18 - NO ACCESS; PILING TRIM. REF. INSPECTOR: SA

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri DECEMBER 1, 2001; Page 2 of 2.


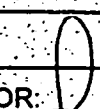
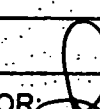
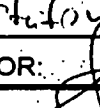
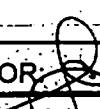
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5600	PHINNEY 30 FIELDWAY DR PACIFIC	SHEATHING	not ready	INSPECTOR: <i>[Signature]</i>
(8)				
5584	BATTS 2 COPAIRE ST. PACIFIC	ROOF FINAL	Passed	INSPECTOR: <i>[Signature]</i>
(1)				
5502	GLOVER	LATH	PASSED	
(3)	16 RIVERVIEW RD. SWAT 24			INSPECTOR: <i>[Signature]</i>
5187	JORDAN 110 N. SEWALLS PT RD. WDC CONSTRUCTION	CHECK ON TREES TO BE REMOVED/ RELOCATED?	OK Passed	INSPECTOR: <i>[Signature]</i>
(10)				
(12)	98 N Sewalls Pt Rd. Island on Permi...	Pool contact	OK ✓	INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/31, 2007; Page 3 of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5247	WHEEL	FENCE FINAL		
	6 N RIDGEVIEW DR			
	O/B			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5508	GLOVER	FINAL	Passed	
①	16 RIVERVIEW RD SWAT 24	REPAIRS		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5955	KNUDSON	FINAL POOL	Passed	
②	13 S. VIA LUCINDIA Almar JACKSON POOLS	+ Dock + Enclosure	Passed	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5734	ABESADA TURN	PLUMBING	Passed	
③	8 MORGAN CIRCLE STEVE CONWAY GC	before slab (layout check)		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5713	HOOVER	FINAL	Passed	wood to sign
⑤	175 S. SEWALLS PT RD O/B	Addition/repair		eng. stamped INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6101	BONING	FINAL	Passed	
④	5 ST. LUCIE COURT CUSTOM DECKS	REPL RAILING		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

6889

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 9/16/04
 Building to be erected for GLOVER
 Applied for by O/B (Contractor)
 Subdivision RIVERVIEW Lot 11 Block _____
 Address 16 RIVERVIEW ROAD
 Type of structure SFZ

BUILDING PERMIT NO. 6889
 Type of Permit FENCE REPAIR
 Building Fee _____
 Radon Fee _____
 Impact Fee _____
 A/C Fee STORM
 Electrical Fee DAMAGE
NIC
 Plumbing Fee _____
 Roofing Fee _____
 Other Fees (_____) _____
 TOTAL Fees _____

Parcel Control Number:
123841001 0000017050000
 Amount Paid Check # X Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 500.00

Signed [Signature]
 Applicant

Signed [Signature]
 Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Debra & Charlotte Glover Phone (Day) 286-8341 (Fax) 286-5207

Job Site Address: 16 Riverview Drive City: S.P. State: FL Zip: 32996

Legal Description of Property: _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: repair fence

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 500.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Charlotte Glover
State of Florida, County of: MARTIN
This the 16th day of September, 2004
by Charlotte Lewis Glover who is personally known to me or produced Debra (286-416-1254-841x 9/2/06) as identification.
Laura L. O'Brien
Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____
This the _____ day of _____, 200____
by _____ who is personally known to me or produced _____ as identification.

Notary Public

My Commission Expires: _____

Seal
LAURA L. O'BRIEN
PERMIT APPLICATIONS AND 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!
EXPIRES: April 28, 2007
Bonded Thru Notary Public Underwriters

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Charlette Glover Date: _____

Signature: CHARLETTE GLOVER

Address: 16 RIVERVIEW DRIVE

City & State: STUART FL 34996

Permit No. _____



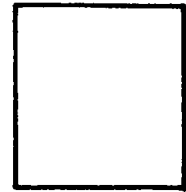
1125 OLD DIXIE HWY.
LAKE PARK, FLORIDA
33403

Palm Beach 848-2666
Martin/St. Lucie 334-0000
F. Pierce 465-0000

Serving: Broward, Martin, Palm Beach, St. Lucie, Indian River Counties

Plans drawn by: Van Kinchen

Name of Property Owner: Mrs. Glover



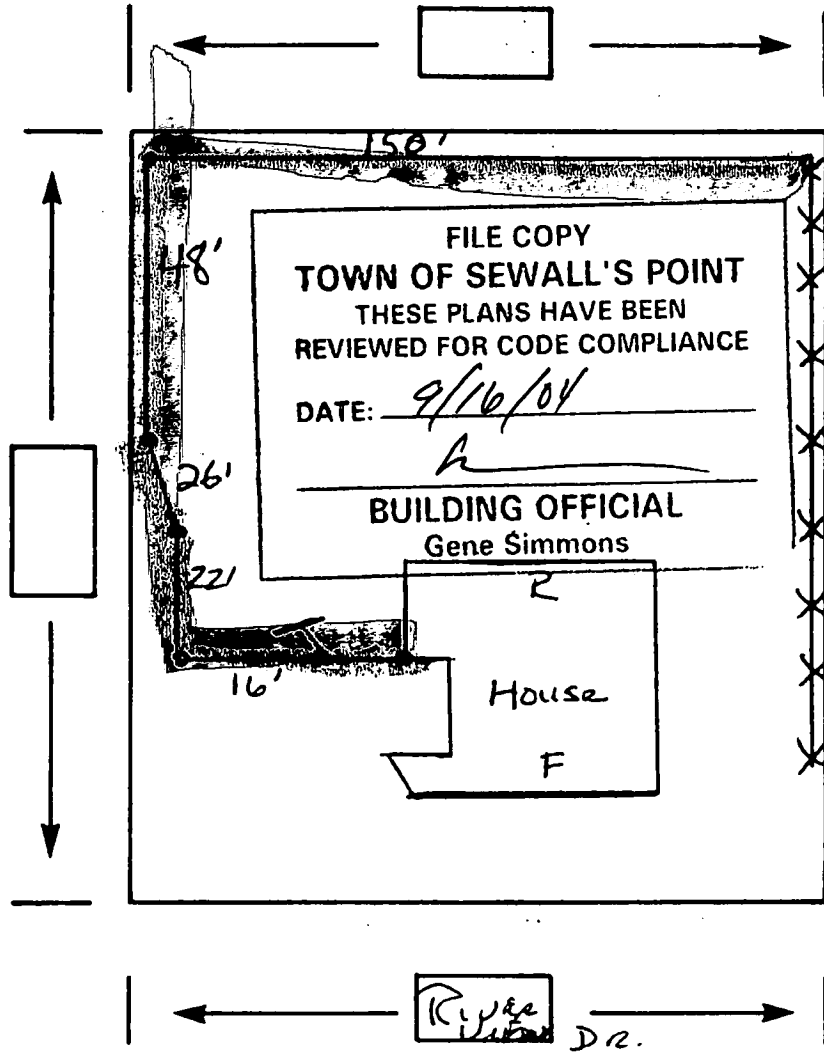
PN
1933

BUILDING & ZONING ADMINISTRATION
Plot Plan

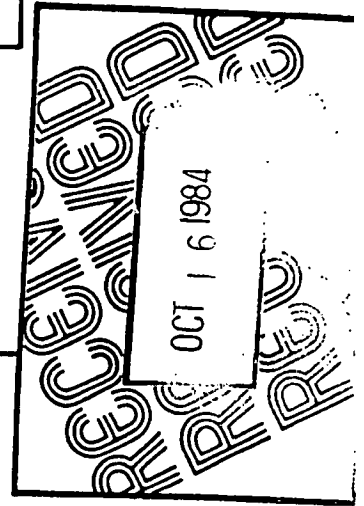
North Arrow

Approval of these plans in no way
relieves the contractor or builder of
compliance with the Town of Sewall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code.

PERMANENT STRUCTURES
IN SET-BACK AREAS



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 9/16/04
h
BUILDING OFFICIAL
Gene Simmons



ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. 11 Block No. 6
Subdivision Riverview
Section _____

JOB Copy

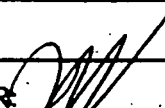

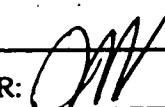


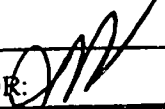
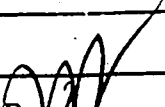
6 Plat Book and Page No. 86

- Note:
1. Show existing buildings and additions.
 2. Show distance from property lines to buildings and/or new additions.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/12, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6889	SLOVER	FENCE FINAL	PASS	CLOSE
4	16 RIVERVIEW O/B			INSPECTOR: 
766	NICHOLS	FINAL SCREEN ENCL	FAIL	
8	17 PALMETTO DR PIONEER SCREEN			\$40 FEE INSPECTOR: 
7598	HANFMAN	FINAL ROOF	PASS	CLOSE
5	12 RIVERVIEW COASTAL ROOFING			INSPECTOR: 
6578	DUNN	POOL PUMPING	PASS	
10	31 N. RIVER OLYMPIC POOLS			INSPECTOR: 
7723	ZAVATKAN	DEM IN + METAL	PASS	
12	6 COPAIRE ROAD PROF. ROOFING	(last please)		INSPECTOR: 
7712	THORNE	DEM IN	PASS	
11	22 DEERWINKLE LA DURAN ROOFING			INSPECTOR: 
7503	LADD	ROUGH PUMPING	PASS	
7	21 SIMARAST BARTLEY GARFIELD			INSPECTOR: 

OTHER: _____

7817

GARAGE

DOOR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10-6-05

BUILDING PERMIT NO. 7817

Building to be erected for GLOVER

Type of Permit GARAGE DOOR

Applied for by O/B

(Contractor)

Building Fee 35.00

Subdivision RIVERVIEW Lot 11 Block _____

Radon Fee _____

Address 16 RIVERVIEW ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

123841001000011050000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # _____ Cash

Other Fees (_____)

Total Construction Cost \$ 2249.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION GARAGE DOOR

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
9/27/06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: Sept 27, 2006 Permit Number: _____

OWNER/TITLEHOLDER NAME: Dawson Glover Phone (Day) 772-692-2000 (Fax) 772-692-2689

Job Site Address: 16 Riverview Dr. City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: install new Garage Door

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2249.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Dawson Glover

State of Florida, County of: Martin

This the 27th day of September, 2005

by Dawson L Glover III who is personally

known to me or produced by [Signature] 143-54-094-D

as identification. [Signature] x3/14/06

Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 200

by _____ who is personally

known to me or produced _____

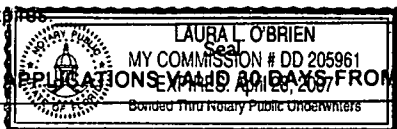
As identification. _____

Notary Public

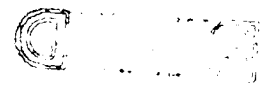
My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



2 SETS OF PRODUCT APPROVALS



TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

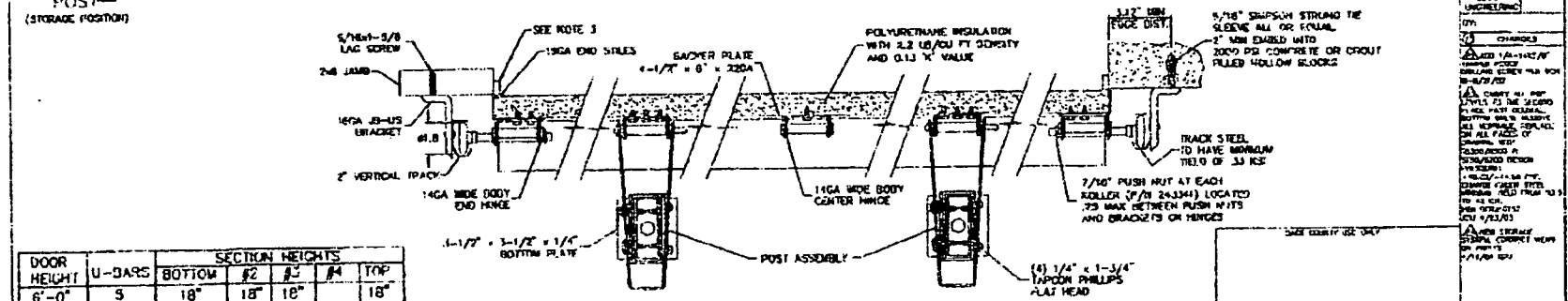
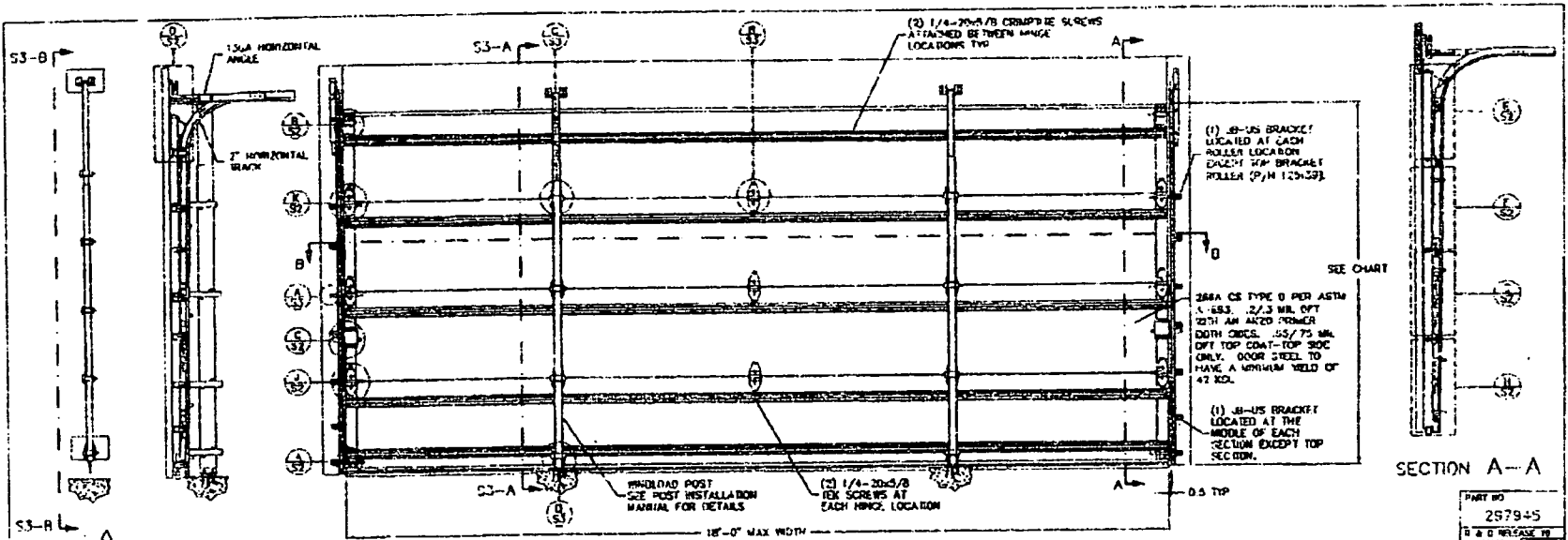
Name: Dawson Glover III Date: 9-22-05

Signature: 

Address: 16 Riverview Dr.


City & State: Stuart, FL 34996

Permit No. _____

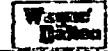


DOOR HEIGHT	U-BARS	SECTION HEIGHTS			
		BOTTOM	#2	#3	TOP
6'-0"	5	18"	18"	18"	18"
6'-0"	4	24"	24"		24"
6'-3"	5	20.8"	18"	18"	18"
6'-6"	5	20.8"	18"	18"	20.8"
6'-9"	5	20.8"	20.8"	18"	20.8"
7'-0"	5	20.8"	20.8"	20.8"	20.8"
7'-3"	5	24"	20.8"	20.8"	20.8"
7'-6"	5	18"	18"	18"	18"
7'-6"	5	24"	20.8"	20.8"	24"
7'-9"	5	20.8"	10"	18"	10"
7'-9"	5	24"	24"	24"	20.8"
8'-0"	6	20.8"	18"	18"	18"
8'-0"	5	24"	24"	24"	24"

NOTES:
 1. ALL 8300/8500 SERIES DOOR WIDTHS FROM 10'-0" TO 18'-0" AND 5130/5200 SERIES DOOR WIDTHS FROM 9'-5" TO 18'-0" APPROVED (ALL HEIGHTS FROM 6'-0 TO 8'-0).
 2. OPTIONAL - (80) (MIN) ALUMINUM LOUVERS WITH HIGH IMPACT STRENGTH FRAME MAY BE LOCATED IN THE END PANELS OF THE BOTTOM SECTION TO MEET MINIMUM VENTILATION REQUIREMENTS.
 3. VINYL OR WOOD DOOR STOP (MAILED ON 6" CENTERS) MUST OVERLAP TOP & BOTTOM ENDS OF PANELS MINIMUM 7/16" TO MEET NEGATIVE PRESSURES.

Approved: 
 Mark R. Bortone, P.E.
 3365 ADDISON DRIVE, PENSACOLA, FL 32514
 FLORIDA CERTIFICATION NO. 57383

Date: _____

 3375 ADDISON DRIVE, PENSACOLA, FLORIDA 32514 (850) 474-7800

8300/8500 & 5130/5200

DESIGN PRESSURE: +43.00/-44.50 PSF


SECTION A-A

SECTION B-B

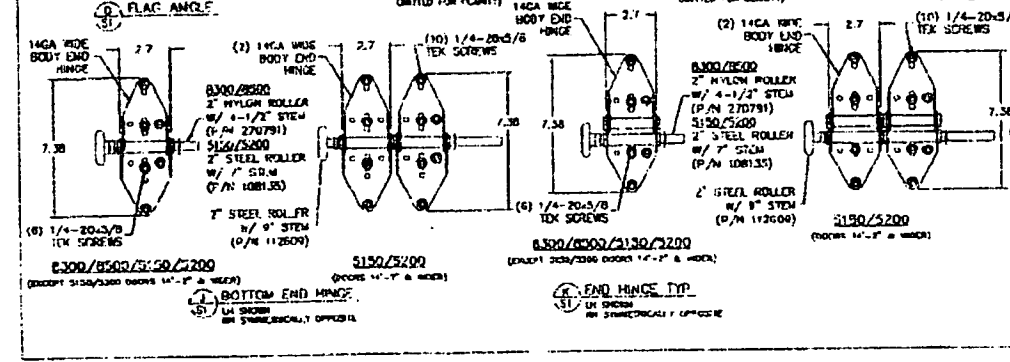
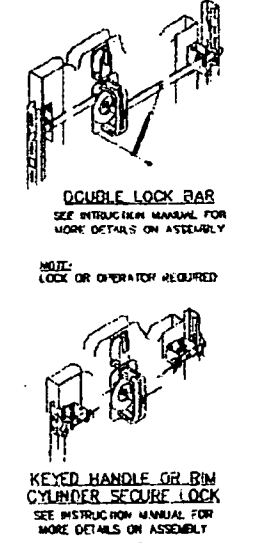
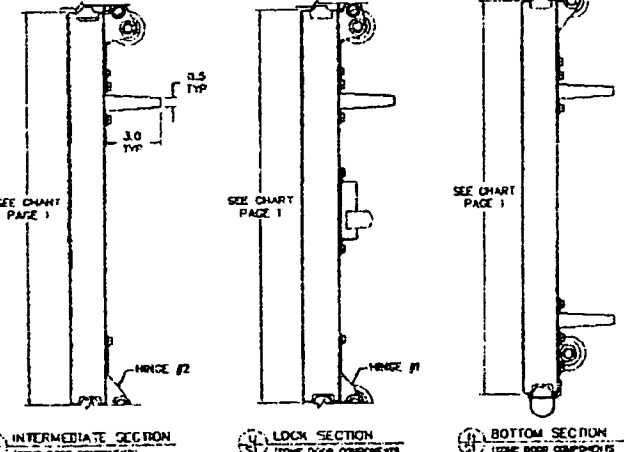
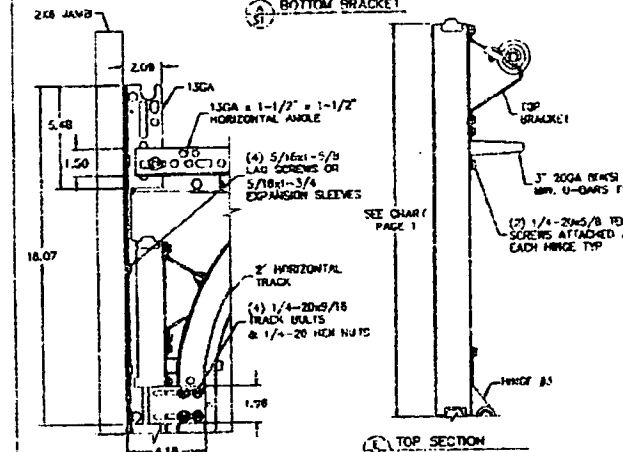
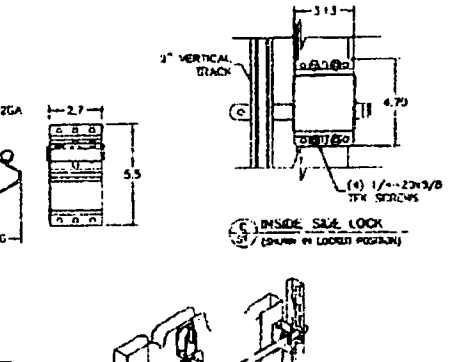
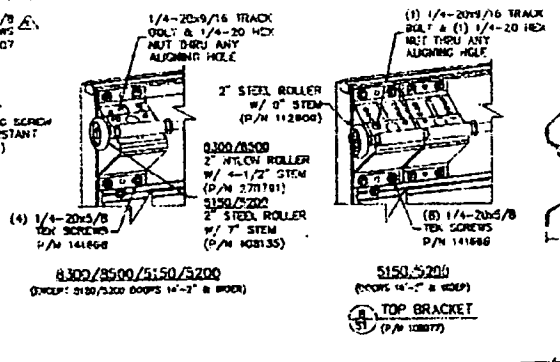
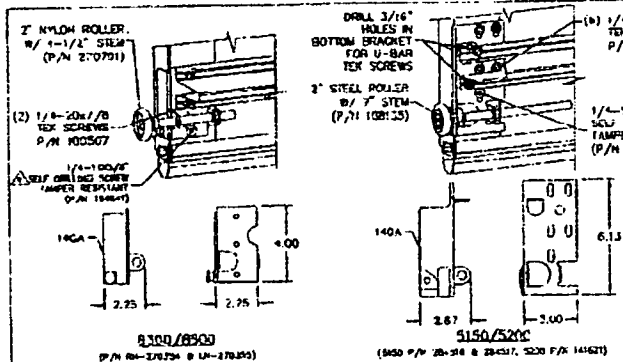
PART NO. 257945
 T & D RELEASE TO PROJECT (SEE UNRELEASING)
 (7) CHANGES
 1. 1/4" DIA. X 1/2" LAG SCREW
 2. 1/4" DIA. X 1/2" LAG SCREW
 3. 1/4" DIA. X 1/2" LAG SCREW
 4. 1/4" DIA. X 1/2" LAG SCREW
 5. 1/4" DIA. X 1/2" LAG SCREW
 6. 1/4" DIA. X 1/2" LAG SCREW
 7. 1/4" DIA. X 1/2" LAG SCREW

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE

DATE: 09/27/05



BUILDING OFFICIAL
 Gene Simmons



Approved: _____
Date: _____

Mark R. Berman, P.E.
1385 ADDYMAN DRIVE PENSACOLA, FL 32514
FLORIDA CERTIFICATION NO. 37389

PART NO.
797945

R & S RELEASE TO
PROPERTY OF
EXHIBITING
OFFICE

CHANGES

REVISIONS

1. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

2. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

3. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

4. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

5. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

6. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

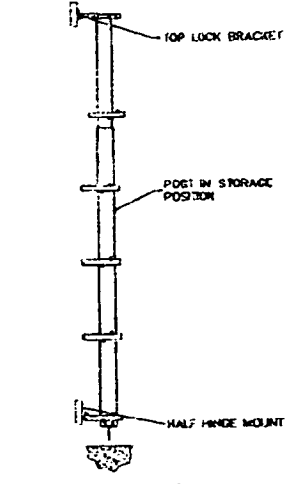
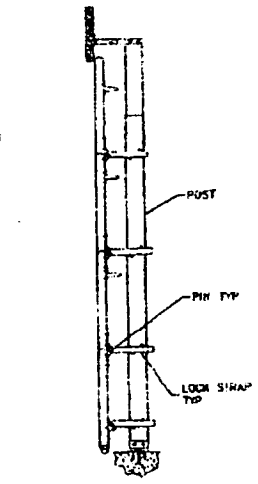
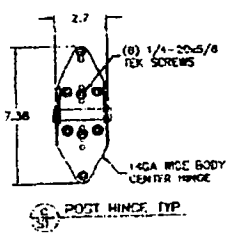
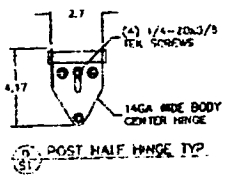
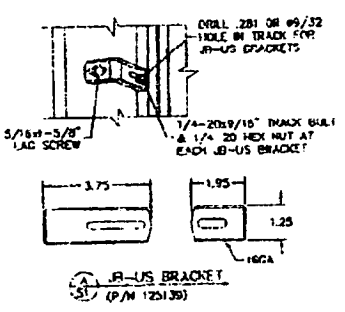
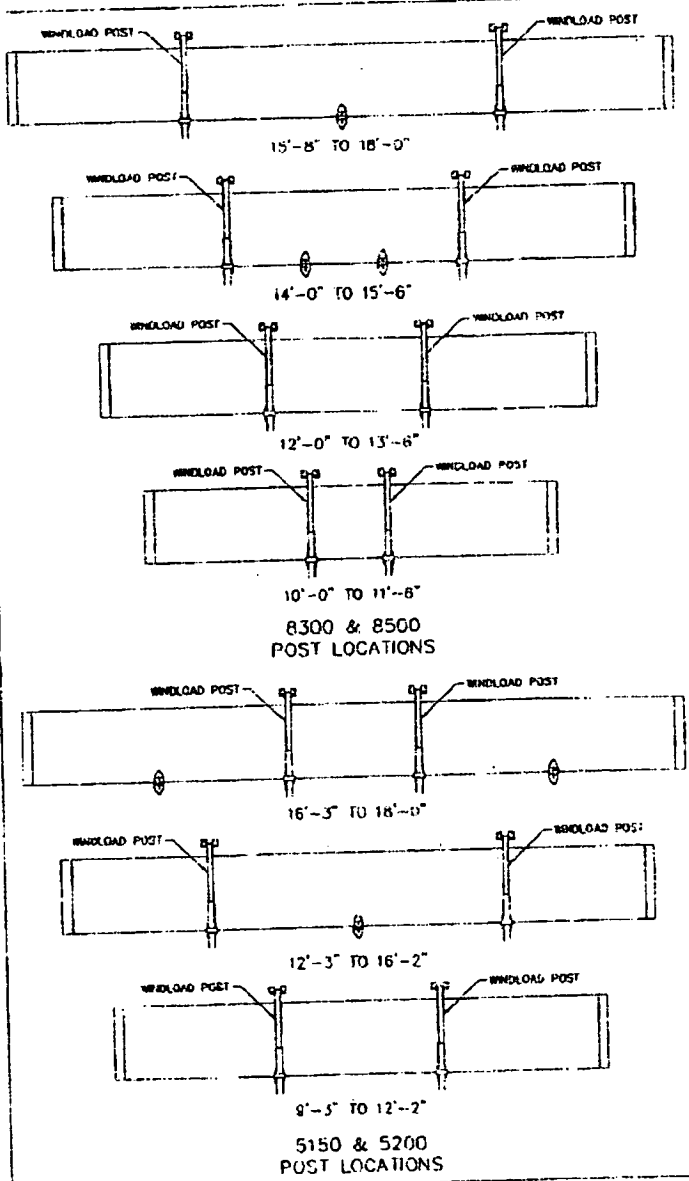
7. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

8. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

9. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

10. CHANGE 1/4-20x3/8 TRACK BRAILS TO 1/4-20x3/8 TRACK BRAILS WITH 1/4-20 HEX NUTS THRU ANY ALIGNING HOLE.

Wagner Electric	3800 ADDYMAN DRIVE PENSACOLA, FLORIDA 32514 (850) 471-9890	DATE: 1/17/2008	NAME: [REDACTED]	SHEET 2 of 3
	8300/8500 & 5150/5200		DESIGNED BY: [REDACTED]	REV: [REDACTED]
DESIGN PRESSURE: 140.00/-44.50 PSF		SIZE: C	0131	P4



SECTION S3-A

SECTION S3-B

INSTALL POST USING
WINDOW POST INSTALLATION
INSTRUCTIONS
(P/N 298473)

Approved: _____
Date: _____
Mark R. Shriver, P.E.
3395 ADDISON DRIVE PENSACOLA, FL 32514
FLORIDA CERTIFICATION NO. 57389

PART NO	297945
REV	
BY:	
CHK CHANGES	
ADD 1/4\"/>	

	3335 AIRPORT FRINGE	DATE	NAME	SHEET 3 of 3
	PENSACOLA, FLORIDA 32514	10/18/2001	LOOMIS	
	(850) 474-8000	DESIGNED		PROJECT
		CHECKED		WINDOW/SHUTTERING
		DATE		DESIGNER
	8300/8500 & 5150/5200			REV
	DESIGN PRESSURE: +40.00/-44.50 PSF			01.01

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/7, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7859	WALLENQUEST	FINAL ROOF	FAIL	
3	3 COPAIRE ROAD		11:30	
	AFTERMATH ROOFING	LATE PLEASE		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7054	TAPPER	FRAMING	FAIL	
1	22 ISLAND DR	ELEC. ROUGH	FAIL	
	WINCHIP	LATH	FAIL	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7747	FANCETT	DRIVE/WALKWAY	PASS	
2	20 PALM ROAD			
	CHITWOOD + CO			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		CODE		DUMPSTER OVERFLOWING
	2 TIMOR	ENFORCEMENT		TRAILER W/ EXP. TAGS
	BLUE DIAMOND			INSPECTOR: <i>[Signature]</i> 13500 STOP WORK ORDER
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7850	DESANTIS	U.G. TANK	FAIL	TANK ONLY -
2A	82 S. S. PT. ROAD			
	SPEC. APPLIANCES			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7817	GLOVER	FINAL GARAGE DR	PASS	CLOSE -
	16 RIVERVIEW			
	OLB			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	MARTIN	TREE	PASS	
	23 ISLAND RD			
				INSPECTOR: <i>[Signature]</i>
OTHER:	MPECONI		FAIL	
	TREE 6 MICHAEL RD	TREE		

260

- 11.07.05 8:10 AM 11/11/05

9321

RE-ROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9321	DATE ISSUED:	DECEMBER 21, 2009
SCOPE OF WORK:	REROOF		
CONDITIONS :			
CONTRACTOR:	ONSHORE ROOFING		
PARCEL CONTROL NUMBER:	123841001-000-001105	SUBDIVISION	RIVERVIEW - LOT 11
CONSTRUCTION ADDRESS:	16 RIVERVIEW DR		
OWNER NAME:	WATSON		
QUALIFIER:	JOSEPH KALINOSKI	CONTACT PHONE NUMBER:	283-1505

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
12-16-09

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

Date: 11/30/09
OWNER/TITLEHOLDER NAME: Robert Watson Phone (Day) 708-343 (Fax) 288-7142
Job Site Address: 16 River View Dr City: Sewalls Pt State: FL Zip: 34997
Legal Description: Riverview S/D Lot 11 Parcel Control Number: 23841-001-00-00110-5
Owner Address (if different): City: State: Zip:

Scope of work (please be specific): seboef
WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 24000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Onsite Cooling Specialists, Inc Phone: 283-1505 Fax: 283-1557
Street: 1501 SE Decker Ave # 304 City: Stuart State: FL Zip: 34996
State License Number: CC1328994 OR: Municipality: License Number:
LOCAL CONTACT: Trisha Dugley Phone Number: 283-1505

DESIGN PROFESSIONAL: Lic# Phone Number:
Street: City: State: Zip:
AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:
Carport: Total under Roof: Elevated Deck: Enclosed area below BFE*:
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
State of Florida, County of: Martin
This the 30th day of November, 2009
by Robert J. Watson who is personally
known to me or produced as identification: MELANIE L. COONS
Commission DD 646194
Expires June 25, 2011
My Commission Expires: Bonded Thru Troy Fair Insurance 800-385-7019

CONTRACTOR SIGNATURE: (required)
On State of Florida, County of: FL
This the 30 day of Nov 20 09
by Joseph Kolinski who is personally
known to me or produced as identification: TRISHA NEAL DUGLEY
Commission DD0708197
Expires 8/25/2011
Notary Public
Florida Notary Assn., Inc

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Business Tax Receipt Details

[New Search](#) [Back to Search Results](#) [Help](#)

Business Tax Account	2008000013-01055.000	Status	CLOSED
Business Name	TRADEWIND HOMES INC	Current Amount Due	0.00
Business Category	GENERAL CONTRACTOR		
Additional Description	ACCOUNT NOT PAID	New Business Date	03/31/2006
Business Address	OCCY	Date Closed	01/21/2009
Doing Business As			
Owner Name	ARBOUR, KEVIN JEFFERY/QUALIF		
Mailing Address	TRADEWIND HOMES INC ARBOUR, KEVIN JEFFERY/QUALIF 3068 SE DOMINICIA TER STUART FL 34997		
			Update Business Details

License Renewal History

Year	License Amount	Penalty	Fees	Transfer	Duplicate	Exempt	Amount Due	Paid
2009	26.25	6.56	6.60				39.41	UNPAID
2008	26.25						26.25	PAID
2007	25.00	6.25	5.00				36.25	PAID
2006	25.00						25.00	PAID



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Contractor List

[Reset](#)

Search Tradewind homes Display 15 [Go](#)

Name	Company	License Type	License & Exp	Status	Address	Phone	Liability & Exp	Wk Comp & Exp
ARBOUR, KEVIN J	TRADEWIND HOMES INC	RESIDENTIAL CONT. CERTIFIED	CRC1327342 31-AUG-10	REDTAG	4380 SE TALL PINES AVE STUART FL 34997	772-286-9695 772-221-1772	KRETSCHMER 11-JUL-10	KRETSCHMER INSUR 09-MAY-10

[Spread Sheet](#)

1 - 1



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Summary

print Address
2 of 2

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-001-000-00110-5	16 RIVERVIEW DR	27501	Address	0	1

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 16 RIVERVIEW DR
Tax District 2200 Sewall's Point
Account # 27501
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.420

Legal Description
Property Information
 RIVERVIEW S/D LOT 11

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 WATSON ROBERT J & SANDRA S

Mail Information
 3601 SE OCEAN BLVD STE 4
 STUART FL 34996

Assessment Info
 Front Ft. 0.00

Market Land Value \$229,500
Market Impr Value \$298,210
Market Total Value \$527,710

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
 Sale Amount \$700,000

Sale Date 11/3/2009
Book/Page 2420 2420

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 12/15/2009



INSTR # 2176787
OR BK 02420 PG 2420
Pgs 2420 - 2421 (2 pgs)
RECORDED 11/05/2009 12:39:42 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 4,900.00
RECORDED BY S Phoenix

Prepared by and return to:
Robert S. Kramer, Esq.
Kramer, Sopko & Levenstein, P.A.
2300 SE Monterey Road Suite 100
Stuart, FL 34996
772-288-0048
File Number: 4408.06
Will Call No.: 80

Parcel Identification No. 12-38-41-001-000-00110.50000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 3rd day of November, 2009 between Dawson Coleman Glover, III and Charlotte Lewis Glover, his wife whose post office address is 200 NW Alice Avenue, Stuart, FL 34994 and 2950 SE Ocean Blvd, Stuart FL 34996, respectively of the County of Martin, State of Florida, grantor*, and Robert J. Watson and Sandra S. Watson, husband and wife whose post office address is 3601 SE Ocean Blvd., Suite 4, Stuart, FL 34996 of the County of Martin, State of Florida, grantee*,

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 11, of RIVERVIEW SUBDIVISION, a Subdivision in the Town of Sewall's Point, Florida according to the Plat thereof on file and of record in the Office of the Clerk of the Circuit Court in and for Martin County, Florida, in Plat Book 6, Page 86, of the Public Records of Martin County, Florida.

Subject to taxes for 2010 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: Robert S. Kramer

[Signature] (Seal)
Dawson Coleman Glover, III

[Signature]
Witness Name: Stephanie A. Schwall

Witness Name: _____

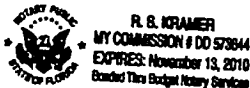
[Signature] (Seal)
Charlotte Lewis Glover

[Signature]
Witness Name: Stephanie A. Schwall

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 3rd day of November, 2009 by Dawson Coleman Glover, III, who is personally known or has produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: R.S. Kramer

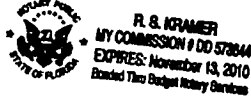
My Commission Expires: _____


DoubleTimes

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 3rd day of November, 2009 by Charlotte Lewis Glover, who is personally known or has produced a driver's license as identification.

[Notary Seal]





Notary Public

Printed Name: _____

My Commission Expires: _____

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 123841001000001105

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
RIVERVIEW S/D LOT 11 16 RIVERVIEW DR, SEWALLS PT. FL 34997

GENERAL DESCRIPTION OF IMPROVEMENT: RE ROOF

OWNER NAME: ROBERT WATSON
ADDRESS: 16 RIVERVIEW DR. SEWALLS PT., FL 34996
PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: ONSHORE ROOFING SPECIALISTS, INC
ADDRESS: 1501 SE DECKER AVE #304, STUART, FL 34994
PHONE NUMBER: 283-1505 FAX NUMBER: 283-1537
STATE OF FLORIDA
MARTIN COUNTY

SURETY COMPANY (IF ANY): _____ THIS IS TO CERTIFY THAT THE
ADDRESS: _____ FOREGOING _____ PAGES IS A TRUE
PHONE NUMBER: _____ FAX NUMBER: _____ AND CORRECT COPY OF THE ORIGINAL
BOND AMOUNT: _____ MARSHA EWING, CLERK

LENDER/MORTGAGE COMPANY: _____ BY: [Signature] D.C.
ADDRESS: _____ DATE: 11/30/09
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF
_____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),
FLORIDA STATUTES.
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF
COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13,
FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF
COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST
INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE
COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF Nov, 2009

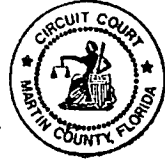
BY: _____ AS _____ TYPE OF AUTHORITY _____ FOR _____
NAME OF PERSON NAME OF PARTY ON BEHALF OF
WHOM INSTRUMENT WAS EXECUTED
PERSONALLY KNOWN [X] OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____
NOTARY SIGNATURE [Signature]
MELANIE L. COONS
Commission DD 646194
Expires June 25, 2011
Bonded Thru Troy Fah [Signature]

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
(Signature of Natural Person Signing Above)

INSR # 2180204 OR BK 02424 PG 0554 RECD 11/30/2009 03:17:05 PM
Pg 0554 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst msr)





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 12-18-09
 BUILDING OFFICIAL

LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTOR'S
 REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A residential Structure valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED 1980 INSURED OR P.A. IMPROVED VALUE \$ 650,000

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

Method B - approved strap ties or right angle gussetts will be installed to the top plate or masonry wall below

JOB SITE ADDRESS: 16 RiverView DR

QUALIFIER NAME: Kevin Arkour

LICENSE NO.: CRC1327342

COMPANY NAME: Trade Wind Homes

PHONE NO.: 285-1505

Qualifier's Signature [Signature]

Owner's Signature [Signature]

Date: 12-16-09

Date: 12-16-09

Sworn to and subscribed before me this 16 day of Dec 2009

Sworn to and subscribed before me this 16 day of Dec 2009

By Kevin Arkour

By Robert Watson

Notary Public, State of Florida
 Personally known to me
 Produced ID
 Type:
 TRISHA NEAL QUIGLEY
 Comm# DD0706197
 Expires 8/25/2011
 Florida Notary Assn., Inc

Notary Public, State of Florida
 Personally known to me
 Produced ID
 Expires 8/25/2011
 Type:
 TRISHA NEAL QUIGLEY
 Comm# DD0706197
 Expires 8/25/2011
 Florida Notary Assn., Inc

FROM: STEVEN G. WOOD, P.E.
FL PE No. 34398
950 SULTAN DR
PORT ST LUCIE, FL 34953

DECEMBER 10, 2009

TO: SEWALL'S POINT BUILDING DEPT.
SEWALL'S POINT ROAD
SEWALL'S POINT, FL 34996

SUBJECT: CERTIFICATION FOR ROOF TRUSSES

REFERENCE: M&M WATSON RESIDENCE @:
16 RIVERVIEW DR
SEWALL'S POINT, FL

SG Wood
12/10/09

BACKGROUND:

THE PURPOSE OF THIS LETTER IS TO CERTIFY THE EXISTING WOOD ROOF TRUSSES ARE ACCEPTABLE TO USE, AS IS, FOR THE RE-ROOF CONSTRUCTION PLANNED AT THE ABOVE REFERENCED ADDRESS.

THIS ENGINEER PERFORMED AN INSPECTION OF THE REFERENCED HOUSE/ROOF AND ITS ROOF TRUSSES ON 12/9/09. THE SUBJECT ROOF CURRENTLY HAS ASPHALT SHINGLES HOWEVER THE WATSON'S WOULD LIKE TO REPLACE THE SHINGLES WITH CLAY TILE.

THE WATSON'S HAD A COPY OF THE ORIGINAL HOUSE PLANS WHICH SHOWED THE ROOFING PLAN AND TRUSS LAYOUT.

INSPECTION FINDINGS:

BASED ON DISCUSSIONS WITH THE OWNER, A REVIEW OF THE HOUSE PLANS, INSPECTION OF THE ROOF TRUSSES AND 'WALKING THE ROOF', THE FOLLOWING FINDINGS WERE MADE:

- MOST OF THE ROOF TRUSSES ARE 'ENGINEERED' TRUSSES AT 24" CENTERS. SOME OF THE TRUSSES WERE SET AT 16" CENTERS USING 2"x8" CHORD MEMBERS. THE ROOF DECK IS $\frac{1}{2}$ " CDX PLYWOOD.
- DURING THE 'WALK THE ROOF' INSPECTION, THE ROOF DECK FELT SOLID AND EXHIBITED NEGLIGIBLE DEFLECTION WHEN LIVE LOADS WERE APPLIED.
- NO EVIDENCE OF ANY SOFT SPOTS ON THE ROOF DECK WAS OBSERVED.

- THE REPLACEMENT CLAY TILES TO BE INSTALLED ARE DELTA GRES SPANISH "S" CLAY TILE MANUFACTURED BY DELTA GRES, INC APPROVED FOR HVHZ APPLICATION WITH NOA # 07-0508.05. THEY ARE TO BE ATTACHED WITH AN ADHESIVE FOAM PRODUCT TO THE STRIPPED & PREPPED WOOD ROOF DECK. THE WEIGHT OF THE PROPOSED CLAY TILE/ADHESIVE SYSTEM IS MUCH LESS THAN THE OLD CONCRETE AND MORTAR SYSTEMS OF THE PAST.

CONCLUSIONS:

- BASED ON THE ABOVE FINDINGS, THE EXISTING WOOD FRAMED ROOF TRUSSES AT THE REFERENCED ADDRESS ARE ACCEPTABLE TO USE, AS IS, FOR RE-ROOF CONSTRUCTION USING THE PROPOSED CLAY TILE.

SG Wood
12/10/09

STEVEN G. WOOD
FL P.E. # 34398

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

✓ _____ Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

_____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

RE-ROOF CERTIFICATION

PERMIT # _____
CONTRACTOR'S NAME: Onshore Roofing Specialists PHONE #: 283-1525 FAX: 283-1557
OWNER'S NAME: Robert Watson
CONSTRUCTION ADDRESS: 16 River View Dr. CITY: Summit Pt STATE: FL

RE-ROOF: RESIDENTIAL (SINGLE FAMILY)
 COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. YES NO - INSURED VALUE OF RESIDENCE 229,500

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 4 / 12 SLOPE

ROOF DECK: * SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: Shingle EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: tile

MANUFACTURER: Delta Gels PRODUCT NAME: Squid S PRODUCT APPR # 07-0508.05

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

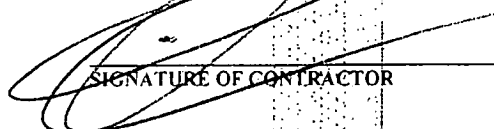
*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK: Re-Roof

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

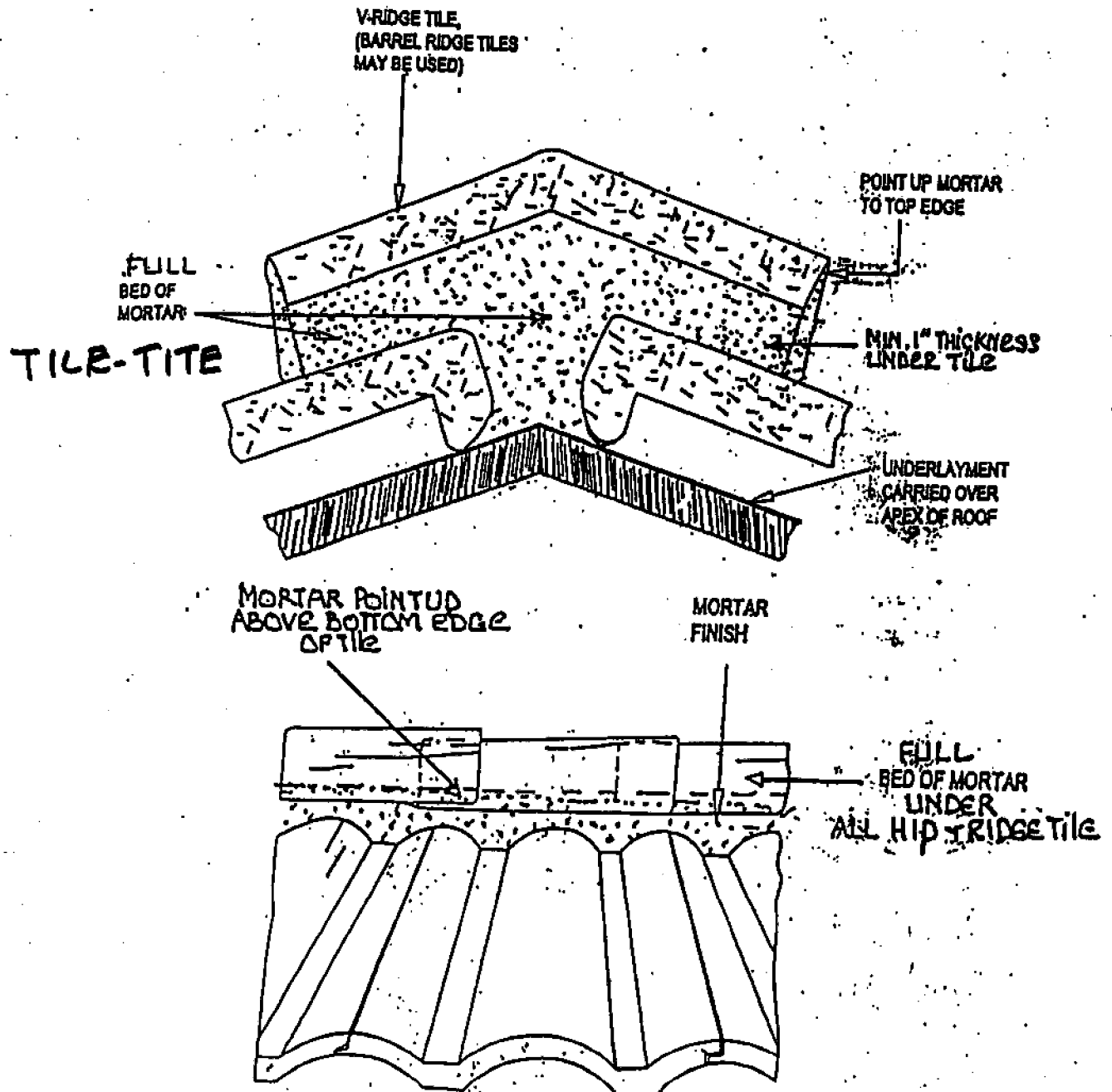
SIGNATURE OF CONTRACTOR:  DATE: 11/30/09

INTERIM RECOMMENDATION - SYSTEMS 3 & 4

HIP AND RIDGE TILE INSTALLATION

MORTAR

Set hip and ridge tile in a full bed of code approved mortar. Place tile on mortar within 15 minutes pressing down on tile until mortar has full contact with the tile and excess appears at the sides of tile. Point mortar using mortar that is squeezed out with addition mortar as necessary.





**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Delta Gres, Inc.
1701 NW 110th Ave
Miami, Florida 33172**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Delta Gres Spanish 'S'

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews NOA # 02-0415.05 and consists of pages 1 through 4.
The submitted documentation was reviewed by Alex Tigera.



**NOA No.: 07-0508.05
Expiration Date: 05/23/12
Approval Date: 06/21/07
Page 1 of 4**

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: Roofing Tiles
Material: Clay

1. SCOPE

This renews a roofing system using Delta Gres Spanish "S" Clay Roof Tile, as manufactured Delta Gres S.A. described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code does not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufacturer</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Spanish "S"	L = 18" W = 11.25" Min. 3/8" thick	TAS 112	High profile, one-piece, "S" shaped, clay roof tile equipped with two nail holes. For direct deck adhesive set applications.
Trim Pieces	L = varies W = varies Varying thickness	TAS 112	Accessory trim, clay roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

2.1 EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
IBA Consultants, Inc.	#2581-1	Physical Properties TAS 112	12/28/01
IBA Consultants, Inc.	#2581-2	Physical Properties TAS 101	2/28/02

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable Building Code



NOA No.: 07-0508.05
Expiration Date: 05/23/12
Approval Date: 06/21/07
Page 2 of 4

4. INSTALLATION

- 4.1 Delta Gres Spanish "S" Clay Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 120.
- 4.2 Data For Attachment Calculations

Table 1: Aerodynamic Multipliers - λ (ft ³)	
Tile Profile	λ (ft ³)
Spanish "S" Tile	Direct Deck Application 0.228

Table 2: Restoring Moments due to Gravity - M_g (ft-lbf)						
Tile Profile	2":12"	3":12"	4":12"	5":12"	6":12"	7":12"
Spanish "S" Tile	Direct Deck	Direct Deck	Direct Deck	Direct Deck	Direct Deck	Direct Deck
	5.36	5.28	5.16	5.00	4.78	4.51

Table 3: Attachment Resistance Expressed as a Moment - M_r (ft-lbf) for Single Paddy Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Spanish "S" Tile	Polyfoam Polypro AH 160™	31.85 ¹
¹ Paddy placement of 114 grams of Polypro AH 160™.		

5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

DELTAGRES MADE IN COLOMBIA

LABEL FOR DELTA GRES SPANISH "S" TILE
(LOCATED ON THE TOP SIDE OF TILE)

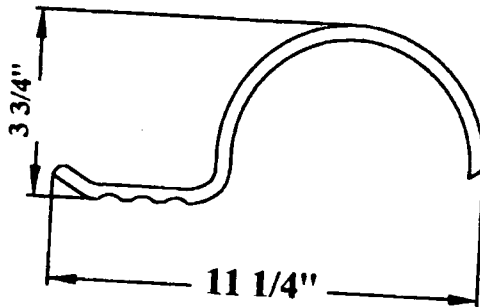
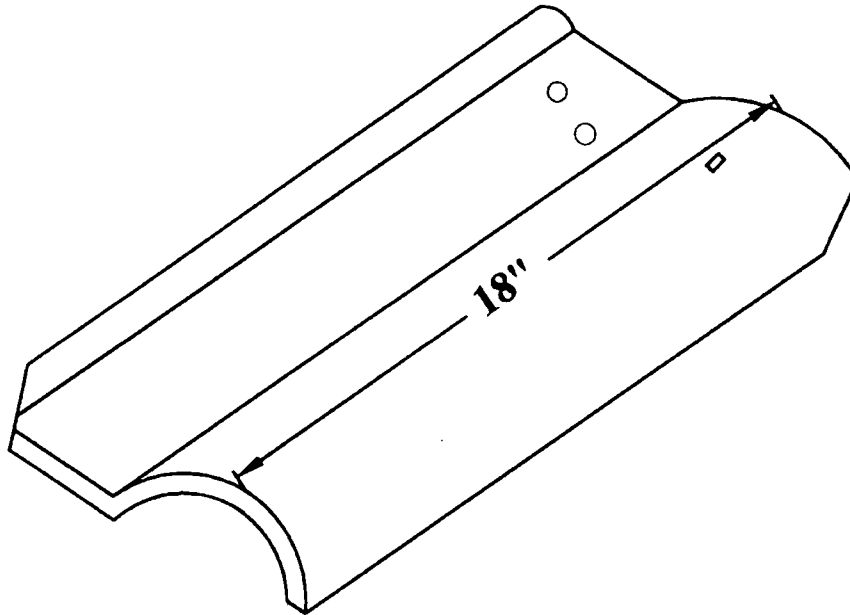
6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
 - 6.1.1 This Notice of Acceptance.
 - 6.1.2 Any other documents required by the Building Official or applicable Building Code in order to properly evaluate the installation of this system.



NOA No.: 07-0508.05
 Expiration Date: 05/23/12
 Approval Date: 06/21/07
 Page 3 of 4

PROFILE DRAWING



DELTA GRES SPANISH "S" CLAY ROOF TILE

END OF THIS ACCEPTANCE



NOA No.: 07-0508.05
Expiration Date: 05/23/12
Approval Date: 06/21/07
Page 4 of 4



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**Polyfoam Products, Inc.
11715 Boudreaux Road
Tomball, TX 77375**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Polypro® AH160

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No.01-0521.02 and consists of pages 1 through 7
The submitted documentation was reviewed by Jorge L. Acebo.



**NOA No.: 06-0201.02
Expiration Date: 05/10/11
Approval Date: 04/13/06
Page 1 of 7**

ROOFING ASSEMBLY APPROVAL:

Category: Roofing
Sub Category: Roof tile adhesive
Materials: Polyurethane

SCOPE:

This approves Polypro® AH160 as manufactured by Polyfoam Products, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. ³
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./Ft ²
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @158°F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



NOA No.: 06-0201.02
Expiration Date: 05/10/11
Approval Date: 04/13/06
Page 2 of 7

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
Miles Laboratories Polymers Division	25-7492	SSTD 11-93	12/12/95
	NB-589-631	ASTM D 1623	02/01/94
Ramtech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
	01-6739-062b[1]	ASTM E 84	01/16/95
Trinity Engineering	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
	520109-2-1		

LIMITATIONS:

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

F
2
W
F= MS



NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 3 of 7

INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA.
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

Table 1: Adhesive Placement For Each Generic Tile Profile			
Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

LABELING:

All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

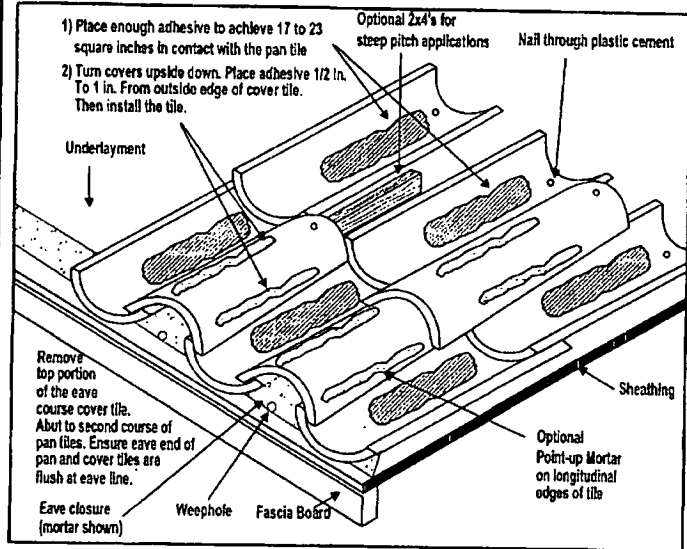
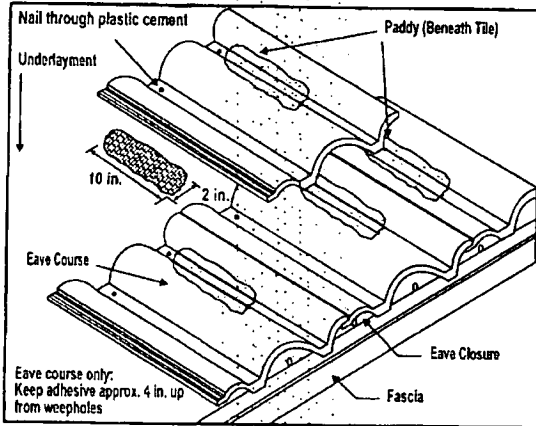
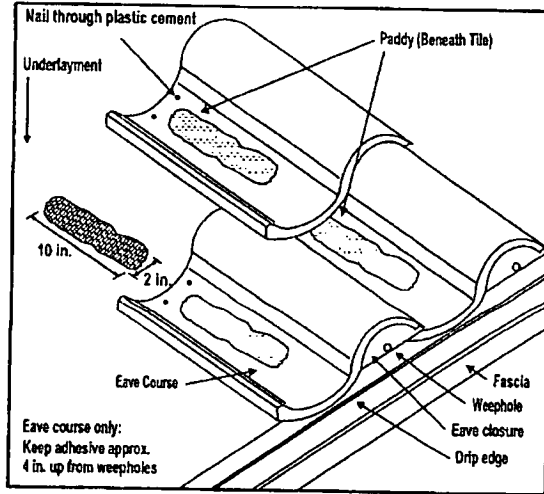
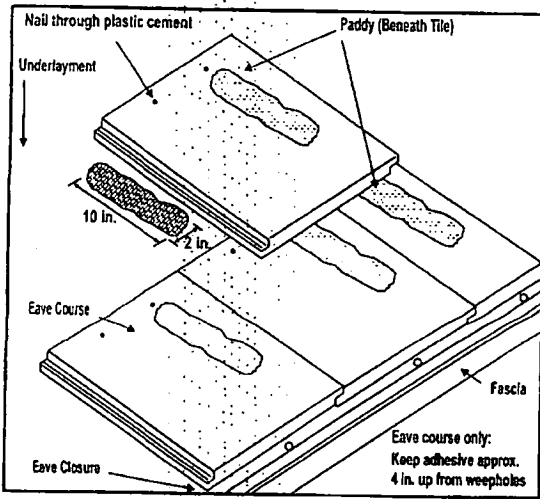
BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

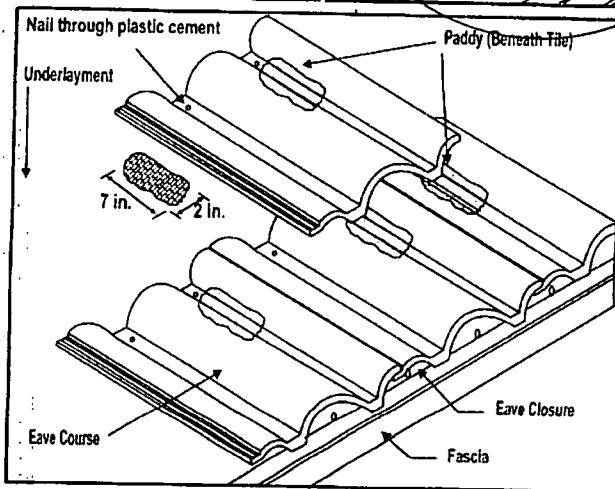
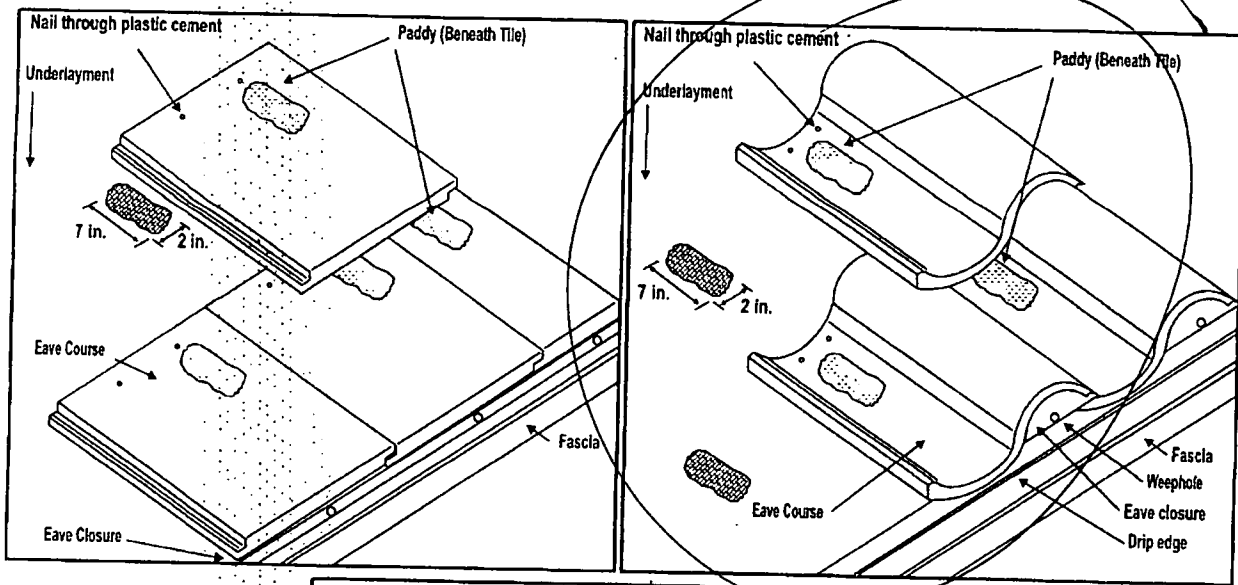


NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 4 of 7

ADHESIVE PLACEMENT DETAIL 1 SINGLE PATTY

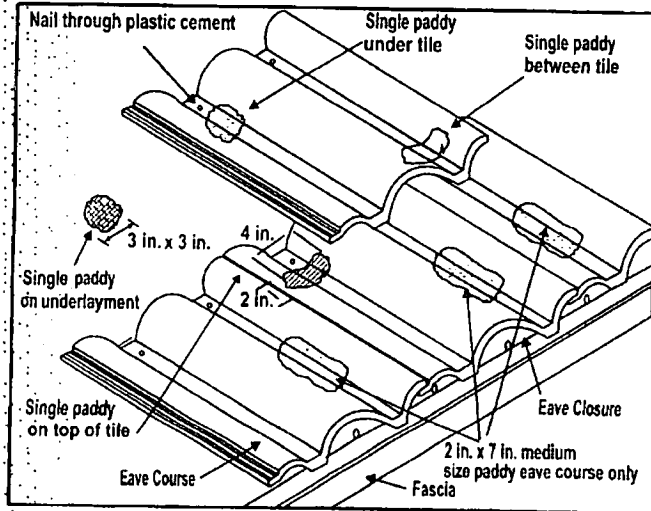
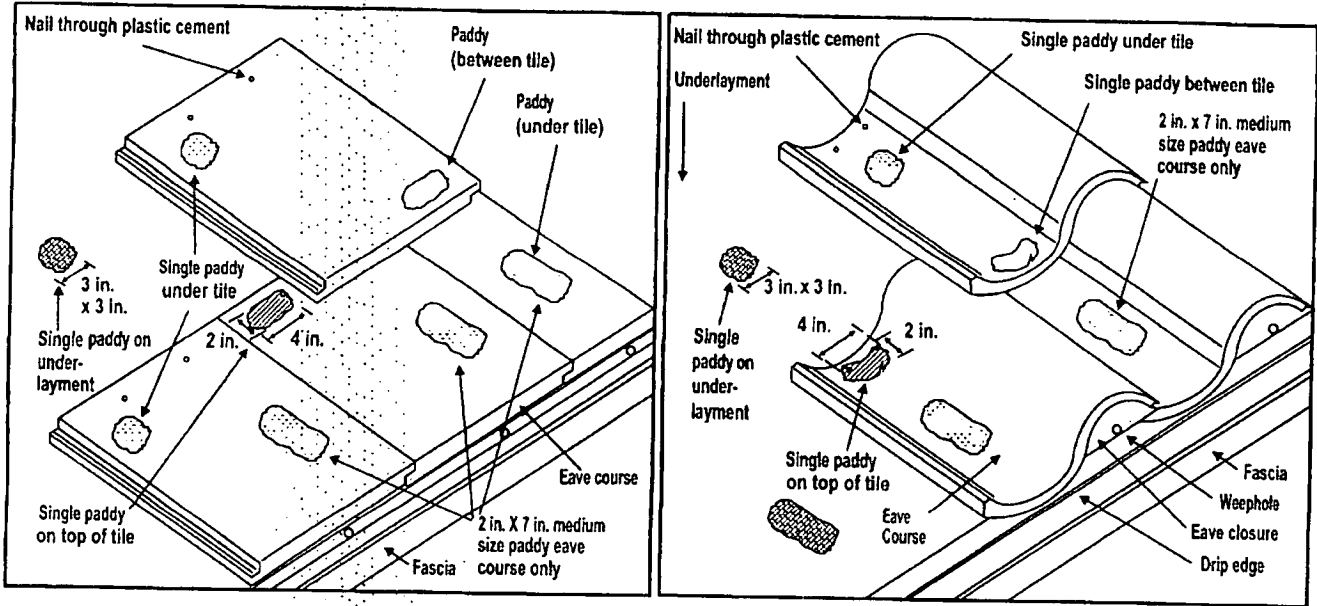


ADHESIVE PLACEMENT DETAIL 2 SINGLE PATTY



NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 6 of 7

ADHESIVE PLACEMENT DETAIL 3 DOUBLE PATTY



END OF THIS ACCEPTANCE



NOA No.: 06-0201.02
 Expiration Date: 05/10/11
 Approval Date: 04/13/06
 Page 7 of 7

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-22-09 Page 1 of 1

RMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9302	2000 [unclear]	Final		
	2000 [unclear]			
	2000 [unclear]			
				INSPECTOR
9304	Bay Tree / Kiplinger 143 S River Rd Glasgow	Final window (call first 284-8510)	PASS	close
				INSPECTOR <i>[Signature]</i>
9327	Watson	DRY IN		
	16 River View	MECHANICAL		Not Ready
	Onshore			INSPECTOR <i>[Signature]</i>
9308	Morris 64 S P Pt Rd M.C. PERRINE	FINAL GAS	PASS	close
				INSPECTOR <i>[Signature]</i>
9311	Subin 3 Palm Ct 1 PM Duffwood	band beam	PASS	
				INSPECTOR <i>[Signature]</i>
9265	SANTERANO 19 S. RIDGEVIEW M	FINAL Deck	PASS	close 201 0470
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 12/29/2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9000	LDZ 4 RIVERDALE BL	SITE WORK- LANDSCAPING		
		WALK THROUGH		INSPECTOR <i>JA</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1321	11000 S. VIA LUCINDA	DRIVEWAY	Pass	
after 10	16 Riverview DR On Show			INSPECTOR <i>JA</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8812	Conway 116 S. Via Lucinda OB	Final	Pass	Close
				INSPECTOR <i>JA</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 1/12/10 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9328	Wm. Bugler 17 Emarita NISAIR	AC duct rep. replacement FINAL	PASS	Close INSPECTOR JA
9327	WATSON	REPAIR	PASS	INSPECTOR JA
Tree	OLSON 10 ADMIRALS Wk	TREE	OK	INSPECTOR JA
9330	Kurlander 176 S Levee Rd Wayne Dalton	Final Carage door	PASS	Close INSPECTOR JA
9329	WATSON	REPAIR	PASS	INSPECTOR JA
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

9336

WINDOW/DOOR

REPLACEMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9336	DATE ISSUED:	01/14/2010
SCOPE OF WORK:	INSTALL IMPACT WINDOWS		
CONDITIONS :			
CONTRACTOR:	REAMER HOMES		
PARCEL CONTROL NUMBER:	123841001000001105	SUBDIVISION	RIVERVIEW <i>Lot 11</i>
CONSTRUCTION ADDRESS:	16 RIVERVIEW DR.		
OWNER NAME:	WATSON		
QUALIFIER:	BRIAN REAMER	CONTACT PHONE NUMBER:	215-7107

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9336		
ADDRESS	16 RIVERVIEW DR.		
DATE:	01/14/2010	SCOPE:	INSTALL WINDOWS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	
			2100 ✓
Total number of inspections @ \$75.00 each	2	\$	150.00
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5.00
TOTAL ACCESSORY PERMIT FEE:		\$	155.00

RECEIVED
1-12-10

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 9336

Date: 1/12/2010

OWNER/TITLEHOLDER NAME: ROBERT AND SANDRA S. WATSON Phone (Day) 772 288 1880 (Fax) 772 288 7412

Job Site Address: 16 Riverview Drive City: Stuart State: FL Zip: 34996

Legal Description: Riverview SID LOT 11 Parcel Control Number: 12-38-41-001-000-00110-5

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): REMOVE & INSTALL 7 New Impact Windows

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner/Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 2100.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

ok

CONTRACTOR/Company: Reamer Homes, Inc Phone: 215-7107 Fax: _____

Street: 1953 NE LAKE PLACE City: Jensen Beach State: FL Zip: 34957

State License Number: CRC 1327911 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: BRIAN REAMER Phone Number: 772-215-7107

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: 3108 Garage: 486 Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: 3594 Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

State of Florida, County of: MARTIN
This the 11th day of JANUARY, 2010
by ROBERT WATSON who is personally

known to me or produced as identification. Janice M. Thomas

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: MARTIN
This the 11th day of January, 2010
by Brian Reamer who is personally

known to me or produced as identification. FLDL R560070783850

Notary Public
JANICE M. THOMAS
MY COMMISSION # DD 926872
EXPIRES: October 25, 2012

My Commission Expires: Sept 9, 2013
Notary Public

SINGLE FAMILY PERMITS MUST BE RECORDED WITHIN 30 DAYS OF APPROVAL. FAILURE TO DO SO WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY.

My Comm. Expires Sep 9, 2013
Commission # DD 924003



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.12

Summary

print Owner 34 of 49

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-001-000-00110-5	16 RIVERVIEW DR	27501	Owner	0	1

Summary

- Land
- Residential Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 16 RIVERVIEW DR
Tax District 2200 Sewall's Point
Account # 27501
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.420

Legal Description
Property Information
 RIVERVIEW S/D LOT 11

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 WATSON ROBERT J & SANDRA S

Mail Information
 16 RIVERVIEW DR
 STUART FL 34996

Assessment Info
 Front Ft. 0.00

Market Land Value \$229,500
Market Impr Value \$298,210
Market Total Value \$527,710

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$700,000

Sale Date 11/3/2009
Book/Page 2420 2420

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 01/05/2010



WINDOW/DOOR SCHEDULE

ID NO	APPROX OPENING SIZE (WxH)	DESIGNATION	TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	37" X 63"	1	SH	X		
2	37" X 63"	2	SH	X		
3	37" X 63"	3	SH	X		
4	37" X 63"	4	SH	X		
5	37" X 63"	5	SH	X		
6	37" X 63"	6	SH	X		
7	37" X 63"	7	SH	X		
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FILE COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 1-14-09

[Signature]
BUILDING OFFICIAL

TOTAL GLAZED OPENING AREA FOR STRUCTURE: _____ S.F.

*PERCENTAGE OF NEW GLAZED AREA: _____ %

(TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutter or impact resistant glazing) as per 2007 FBC EXISTING BUILDING 607.2

*** TYPE WINDOWS**

SH - SINGLE HUNG
DH - DOUBLE HUNG

AWN - AWNING
CAS - CASEMENT

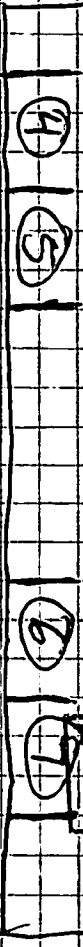
SL - SLIDING
FIX - FIXED

WATSON'S RESIDENCE
16 RIVERVIEW DRIVE

→ 2ND FLOOR

FRONT (North) & Right Elevations

- REMOVE Existing Windows and
Install New Windows -



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

RIVERVIEW DRIVE

W
N
E



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 372-6339

www.maimidade.gov/buildingcode

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
1070 Technology Drive
Nokomis, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "SH 500 Vinyl" White PVC Single Hung Window – L.M.I.

APPROVAL DOCUMENT: Drawing No. 5191-1, titled "Vinyl Single Hung Window Impact", sheets 1 through 11 of 11, dated 08/07/08 with revision "B" dated 12/18/08, prepared by manufacturer, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and Approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Manuel Perez, P.E.**



NOA No. 08-0820.14
Expiration Date: January 08, 2014
Approval Date: January 08, 2009
Page 1

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No **5191-1**, titled "Vinyl Single Hung Window Impact", sheets 1 through 11 of 11, dated 08/07/08 with revision "B" dated 12/18/08, prepared by manufacturer, signed and sealed by Robert L. Clark, P.E.

B. TESTS

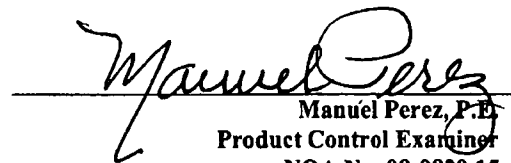
1. Test reports on:
 - 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94along with marked-up drawings and installation diagram of a vinyl fixed window, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-5710**, dated 08/13/08, signed and sealed by Carlos S. Rionda, P.E.
2. Test reports on:
 - 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94along with marked-up drawings and installation diagram, prepared by Architectural Testing, Inc., Test Report No. **ATI-84576.01-401-47**, dated 10/31/08, signed and sealed by Joseph A. Reed, P.E. *(For Reference only)*

C. CALCULATIONS

1. Anchor verification calculations and structural analysis, complying with FBC-2004 and 2007, prepared by manufacturer, dated 11/25/08, signed and sealed by Robert L. Clark, P.E.
Complies with ASTM E1300-02/04

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO).


Manuel Perez, P.E.
Product Control Examiner
NOA No. 08-0820.15
Expiration Date: January 08, 2014
Approval Date: January 08, 2009

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

E. MATERIAL CERTIFICATIONS

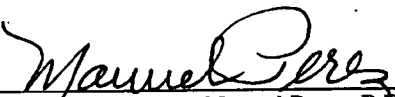
1. Notice of Acceptance No. **05-1208.02** issued to E.I. DuPont DeNemours & Co., Inc. for their "**DuPont Butacite PVB, Interlayer**" dated 01/05/06, expiring on 12/11/10.
2. Notice of Acceptance No. **06-1220.01** issued to Spectus Systems – A Mikron Company for their "**White Rigid PVC Exterior Extrusions for Windows and Doors**" dated 01/11/07, expiring on 12/26/11.

F. STATEMENTS

1. Statement letter of conformance, dated August 12, 2008, signed and sealed by Robert L. Clark, P.E.
2. Statement letter of no financial interest, dated August 12, 2008, signed and sealed by Robert L. Clark, P.E.
3. Laboratory compliance letter for Test Report No. **FTL-5710**, issued by Fenestration Testing Laboratory, Inc., dated 08/13/08, signed and sealed by Carlos S. Rionda, P.E.
4. Laboratory compliance letter for Test Report no. **ATI-84576.01-401-47**, issued by Architectural Testing, Inc., dated October 31, 2008, signed and sealed by Joseph A. Reed, P.E. **(For Reference only)**

G. OTHERS

1. None



Manuel Perez, P.E.
Product Control Examiner
NOA No. 08-0820.15
Expiration Date: January 08, 2014
Approval Date: January 08, 2009



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

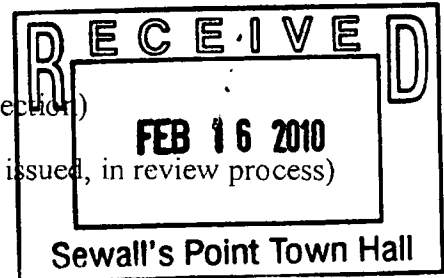
01

REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 2-16-10 PERMIT NUMBER: [REDACTED] (Watson)
 JOB ADDRESS: 16 Riverview DR

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)



ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): Replace 2 sliders

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 1200
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: BRIAN Reamer SIGNATURE: [Signature]
 PHONE NUMBER: 215-7107 FAX NUMBER: _____

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 2-22-10 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: 2 INSP @ 75.00 Revision review fee: 1 Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 150.00 75.00

Applicant notified by: Valerie 2-23-10 Date: 2/24/10 CR# 1847

WINDOW/DOOR SCHEDULE

ID NO	APPROX OPENING SIZE (W X H)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	6' X 6' 8"	1	SL	X		
2	8' X 6' 8"	2	SL	X		
3						
4						
5						
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FIELD COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 2-22-10

BUILDING OFFICIAL

TOTAL GLAZED OPENING AREA FOR STRUCTURE: _____ S.F.

*PERCENTAGE OF NEW GLAZED AREA: _____ %
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2007 FBC EXISTING BUILDING 507.3.

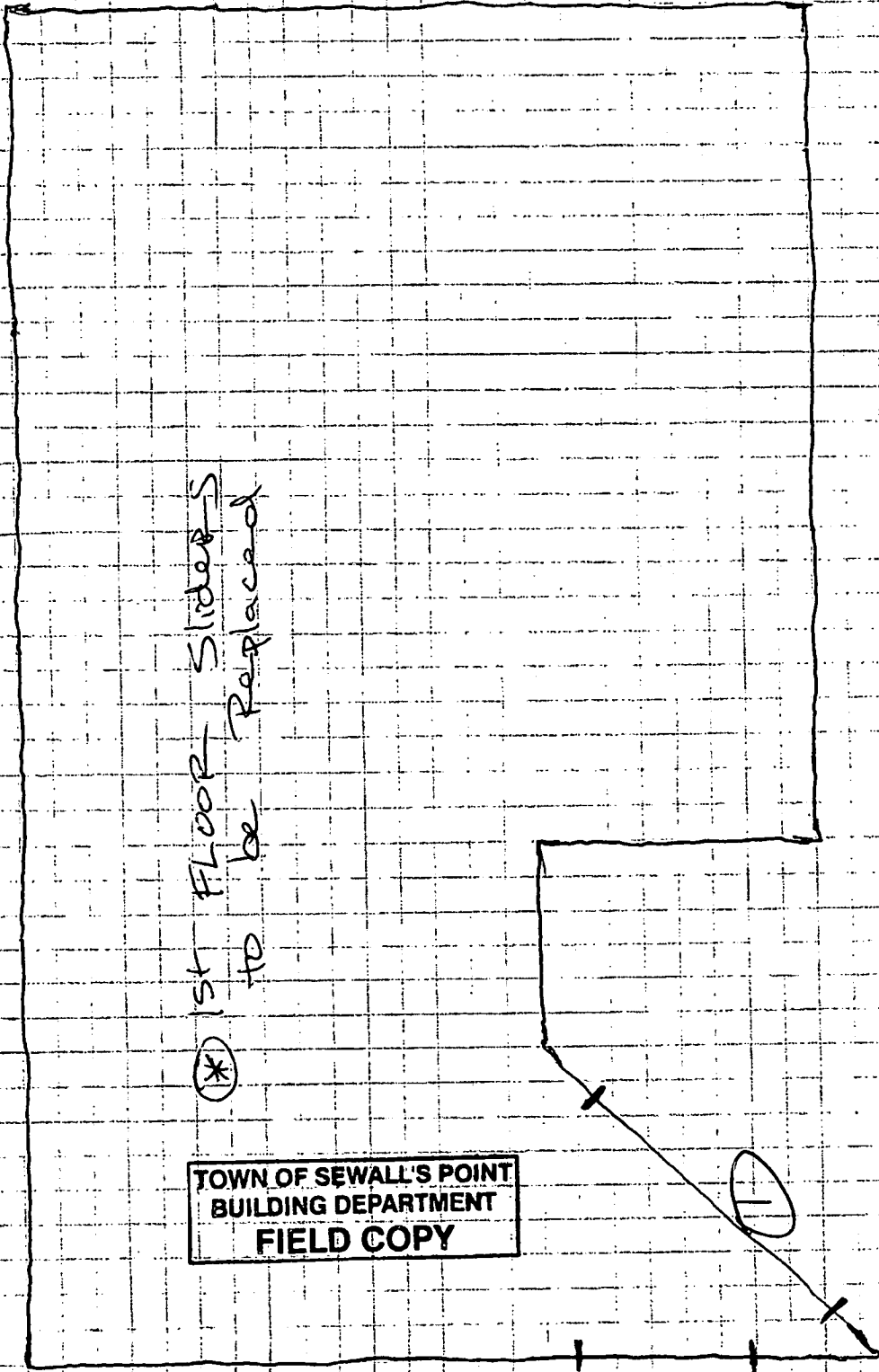
* TYPE WINDOWS

SH - SINGLE HUNG
DH - DOUBLE HUNG

AWN - AWNING
CAS - CASEMENT

SL - SLIDING
FIN - FINED

WATSON RESIDENCE



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FIELD COPY

* 1st FLOOR SLIDERS
TO BE REPLACED

16 RIVERVIEW DRIVE

27

11

Product Evaluation Report

Date: August 27, 2009

Report #: 1500

PTC Project #: 309-0805

Product Mfg.: PGT Industries
1070 Technology Drive
Nokomis, FL 34274

Product Name: Series 670 / 770 Aluminum Sliding Glass Door

Product Category: Exterior Doors

Product Sub-Category: Sliding Exterior Door Assemblies

Scope: This is a Product Evaluation report issued by PTC LLC and Robert J. Amoroso, P.E. for PGT Industries based upon Rule 9B-72.070 Method (1) d of the State of Florida – Product Approval, Department of Community Affairs – Florida Building Commission

Please note that PTC, LLC and Robert J. Amoroso, P.E. do not have, nor will acquire, any financial interest in the company manufacturing or distributing of the product(s) or any other entity involved in the approval process or testing for which this report is being issued.

This product has been evaluated for use in locations adhering to the 2007 Florida Building Code.

Reference Drawing No. PGT0006, PGT0007, PGT0008, PGT0009 and PGT0010 prepared by PTC, LLC and signed and sealed by Robert J. Amoroso, P.E. (FL # 49752) for specific use parameters.

Robert J. Amoroso
8/27/09

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FIELD COPY

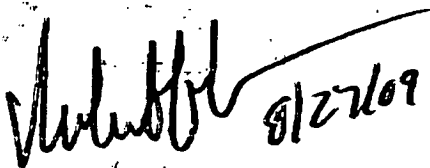
Robert J. Amoroso, P.E.
FL No 49752
August 27, 2009

1535 N. Cogswell St., Ste. C25 - Rockledge, Florida 32955
Phone: 321-690-1788 Fax: 321-690-1789
FBPE Certification of Authorization No. 25935

Limitations

This product has been evaluated and is in compliance with the 2007 Florida Building Code.

- 1) Product anchors shall be as designated and located as shown on the details and in the calculations. Anchor embedment and edge distance exclude wall finishes including, but not limited to, stucco, foam, brick veneer, sheathing and siding.
- 2) When installed in locations where windborne debris protection requirements exist, use of an impact protective system is not required for Impact Rated units.
- 3) Installation details described within the drawing set are generic and may not reflect actual conditions for a specific site. If site conditions cause installation to deviate from the requirements detailed in the drawing set, a Licensed Engineer or Architect shall prepare site specific documents for use with this document.



Robert J. Amoroso, P.E.
FL No 49752
August 27, 2009

1535 N. Cogswell St., Ste. C25 - Rockledge, Florida 32955
Phone: 321-690-1788 Fax: 321-690-1789
FBPE Certification of Authorization No. 25935

Supporting Documents

A. Drawing

- a. Drawing No. PGT0006, PGT0007, PGT0008, PGT0009 and PGT0010 prepared by PTC, LLC (Florida Board of Professional Engineers Certificate of Authorization Number 25935) signed and sealed by Robert J. Amoruso, P.E.

B. Testing

- a. Testing per test procedure(s) TAS 201, TAS 202 and TAS 203, as performed by Fenestration Testing Laboratories, Inc, and reported in test reports FTL-5979, 5980, 5987, 5993, 5994, 5995, 5998, 6001, 6002, 6005, 6012, 6014, 6015, 6017, 6019, 6020, 6022, 6023, 6024, 6025, 6028, 6031, 6033, 6034, 6035 and 6036, dated August 8, 2009, signed by Julio Gonzalez, P.E.

C. Calculations

- a. Product anchorage for tested specimens are shown in reports . FTL-5979, 5980, 5987, 5993, 5994, 5995, 5998, 6001, 6002, 6005, 6012, 6014, 6015, 6017, 6019, 6020, 6022, 6023, 6024, 6025, 6028, 6031, 6033, 6034, 6035 and 6036. Additional product anchor analysis for different substrates at loading conditions as indicated in Report No. 1471, signed and sealed by Robert J. Amoruso, P.E.



Robert J. Amoruso, P.E.
FL No 49752
August 27, 2009

1535 N. Cogswell St., Ste. C25 - Rockledge, Florida 32955
Phone: 321-690-1788 Fax: 321-690-1789
FBPE Certification of Authorization No. 25935

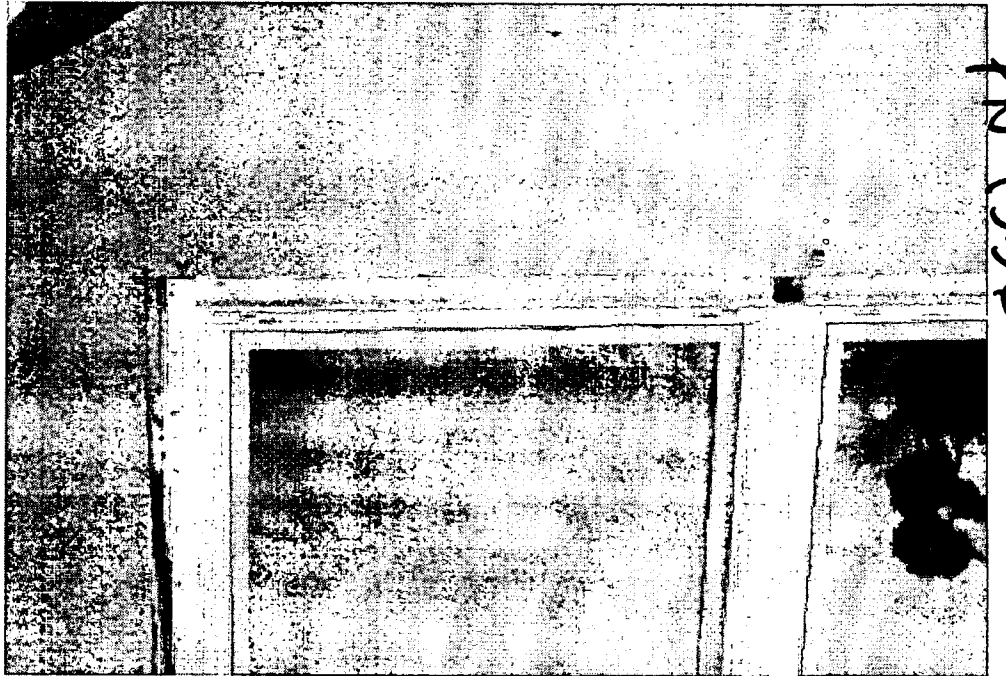
TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-16-10** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9336	W...	Tramming	Pass	...
VIA	Reamer Homes
9359	Knott 3 Miramar Eowater Sys.	Final Inspection	Pass	CLOSE INSPECTOR [Signature]
9271	Hamton 102 N Sewalls Resort Const	Fasteners TRUSS STRAPPING & ENGINEERING	Pass	SEE LETTER in of Record INSPECTOR [Signature]
9339	Gustafson 17 Palm Rd Stuart Fence	Final Fence	Pass	CLOSE INSPECTOR [Signature]
Tree	12 Emmita	Trees	SEE PERMIT	
Tree	22 W H.P.	- ALL -		
E.E.	26 W. HIGH PT	Structure w/out permit		NEEDS PERMIT INSPECTOR [Signature]
9000	CO2 4 level lake Riverview	Gas final	FAIL	NEED ACCESSABLE ON/OFF AT RANGE INSPECTOR [Signature]
9329	Brutvan 23 W HPP WB Brown 260-1624	Steel	Pass	INSPECTOR [Signature]





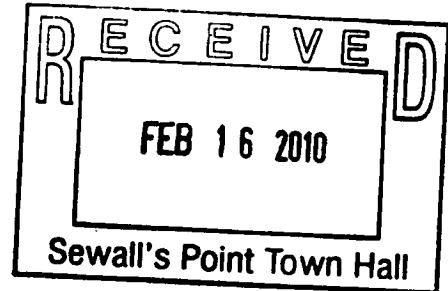
PN 9336

PAUL WELCH INC.
MECHANICAL ELECTRICAL CIVIL ENGINEERING
1984 S.W. BILTMORE ST. SUITE#114
PORT SAINT LUCIE, FL 34984
PHONE (772) 785 - 9888
FAX (772) 785-9933

FEBRUARY 12, 2010

RE: FRANTON RESIDENCE
102 N. SEWELLS POINT RD.
SEWELLS POINT, FL.

PERMIT NO. ~~9191~~
9271



TO WHOM IT MAY CONCERN:

PLEASE BE ADVISED OF THE REVISIONS TO THE ABOVE REFERENCED PROJECT AS FOLLOWS:

1. FOR HETA20 STRAP LOCATIONS MISSED IN THE FIELD FOR THE H01 THRU H05 TRUSSES, USE SIMPSON MTSAM24 FLAT STRAP WITH (5) 1/4" X 2 1/4" TITENS AND (9)-10D NAILS IN LIEU OF HETA20 STRAPS SPECIFIED ON PLAN.
2. FOR HETA20 STRAP LOCATIONS MISSED IN THE FIELD FOR THE L01 THRU L03 TRUSSES, USE SIMPSON MTSM16 TWIST STRAP WITH (4) 1/4" X 2 1/4" TITENS AND (7)-10D NAILS IN LIEU OF HETA20 STRAPS SPECIFIED ON PLAN.
3. FOR HETA20 STRAP LOCATIONS MISSED IN THE FIELD FOR THE C6 TRUSS, USE SIMPSON MTSM16 TWIST STRAP WITH (4) 1/4" X 2 1/4" TITENS AND (7)-10D NAILS IN LIEU OF HETA20 STRAPS SPECIFIED ON PLAN.

THE ABOVE MEETS WITH THE FBC-07/09 AND WITH OUR PLAN AND ENGINEERING REQUIREMENTS FOR THIS PROJECT.

THANK YOU FOR YOUR ATTENTION TO THIS MATTER.

SINCERELY:
PAUL WELCH INC.

A handwritten signature in black ink, appearing to be "PW", written over a horizontal line.

PAUL WELCH, P.E.
REG. NO 29945
PW:PP

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon

Tue

Wed

Thur

Fri

3-9-10

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9336	WATSON	DOOR		MARK
9:00	46 REVERVIEW REARER	ATTACHMENT	FAIL	MARK INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9271	FRANTOM 102 N. SP TRD RESORT CONST.	STRAPPING SUBSIDING	PASS PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	BILL - 288 7406 341 3389			BRET DUBOIS
	31 742 - 6434			INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-22-10 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9AM	16 Reamer	REPAIR	Pass	Inspector
9AM	Reamer	REPAIR	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Morris/Bornowick	ADDE		
	24 RIDGELAND	ENCROACHMENT		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **3-31-10** Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9376	Marney 121 Hillcrest DR JA Taylor	Final Roof	CANCEL	223-7799 INSPECTOR
11336	Walden 160 Riverside	Final	Pass	Pass INSPECTOR <i>JA</i>
9381	Reamer			
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

9430

PAVERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9430	DATE ISSUED:	MAY 11, 2010
SCOPE OF WORK:	PAVER PATIO		
CONDITIONS :			
CONTRACTOR:	RHINO CONTRACTING GROUP		
PARCEL CONTROL NUMBER:	123841-001-000-001105	SUBDIVISION	RIVERVIEW - LOT 11
CONSTRUCTION ADDRESS:	16 RIVERVIEW DR		
OWNER NAME:	WATSON		
QUALIFIER:	CHARLES BENTLEY	CONTACT PHONE NUMBER:	263-0156

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 4/9/10

BUILDING PERMIT APPLICATION

Permit Number: 9430

OWNER/TITLEHOLDER NAME: Watson Residence Phone (Day) 287-7471 (Fax)

Job Site Address: 16 Riverview Road City: Stuart State: FL Zip: 34996

Legal Description: RIVERVIEW S/D lot 11 Parcel Control Number: 12-38-41-001-000-00110-5

Owner Address (if different): 16 Riverview Road City: Sewall Pt State: FL Zip: 34996

Special Work (fill in for general use): Paver Patios

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO [checked] Has a Zoning Variance ever been granted on this property? YES (YEAR) NO [checked] (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 8500.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Rhino Contracting Group Phone: 772 263 0156 Fax: 772-283-7589

Street: 305 SE Monterey Rd City: Stuart State: FL Zip: 34994

State License Number: N/A OR: Municipality: CPF 5307 License Number:

LOCAL CONTACT: Andrew Bentley Phone Number: 772-263-0156

DESIGN PROFESSIONAL: Lic# Phone Number: Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage: Carport: Total under Roof Elevated Deck: Enclosed area below BFE*: Enclosed non-habitable areas below the Base Flood Elevation greater than 300-sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2008 Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

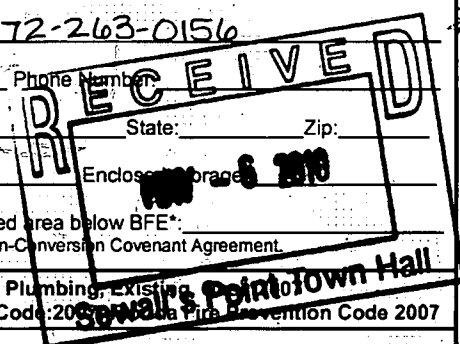
OWNER SIGNATURE: (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) State of Florida, County of: MARTIN This the 12th day of April, 2010 by ROBERT WATSON who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE: (required) On State of Florida, County of: Martin This the 14 day of April, 2010 by who is personally known to me or produced FL DIVERS License As identification.

My Commission Expires: JANICE M. THOMAS Notary Public MY COMMISSION # DD 826872 EXPIRES: October 25, 2012 Bonded Thru Notary Public Underwriters

My Commission Expires: KELLI A. HOP Notary Public MY COMMISSION # DD 590471 EXPIRES: August 30, 2010 Bonded Thru Notary Public Underwriters

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION FOR OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.14

Summary

print [navigation icons] Owner 34 of 47

Parcel Info

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
12-38-41-001-000-00110-5	16 RIVERVIEW DR	27501	Owner	0	1

Summary

Property Location 16 RIVERVIEW DR
Tax District 2200 Sewall's Point
Account # 27501
Land Use 101 0100 Single Family
Neighborhood 120400
Acres 0.420

Legal Description
Property Information
 RIVERVIEW S/D LOT 11

Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 WATSON ROBERT J & SANDRA S

Mail Information
 16 RIVERVIEW DR
 STUART FL 34996

Assessment Info
 Front Ft. 0.00

Market Land Value \$229,500
Market Impr Value \$298,210
Market Total Value \$527,710

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$700,000

Sale Date 11/3/2009
Book/Page 2420 2420

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010



INSTR # 2208132 OR BK 02451 PG 2977 RECD 05/06/2010 10:12:24 AM
Pg 2977 (1pg)
MARSHA EWING MARSCH

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 12-38-41-001-000-00110-5

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
RIVERVIEW S/D lot 11 16 RIVERVIEW DRIVE

GENERAL DESCRIPTION OF IMPROVEMENT: PAYER PATE

OWNER NAME: Robert Watson
ADDRESS: 16 RIVERVIEW DRIVE
PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: owner
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Rhino Contracting Group
ADDRESS: 305 SE Dunbar Rd SMITH MI
PHONE NUMBER: 772-263-0156 FAX NUMBER: 772-286-4833

SURETY COMPANY (IF ANY): N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1)(a) 7., FLORIDA STATUTES:

NAME: Rhino Contracting group
ADDRESS: 305 SE Dunbar Rd
PHONE NUMBER: 772-263-0156 FAX NUMBER: 772-286-4833

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE OWNER

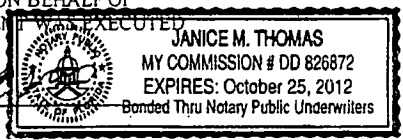
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th DAY OF MAY, 2010

BY: ROBERT J. WATSON AS OWNER FOR SELF
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____

Janice M. Thomas
NOTARY SIGNATURE/SEAL



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

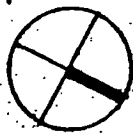
(Signature of Natural Person Signing Above)

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
BY Janice M. Thomas
DATE 5-10-10
CIRCUIT COURT
MARTIN COUNTY, FLORIDA



SITE PLAN

SCALE 1/8"=20'



NORTH

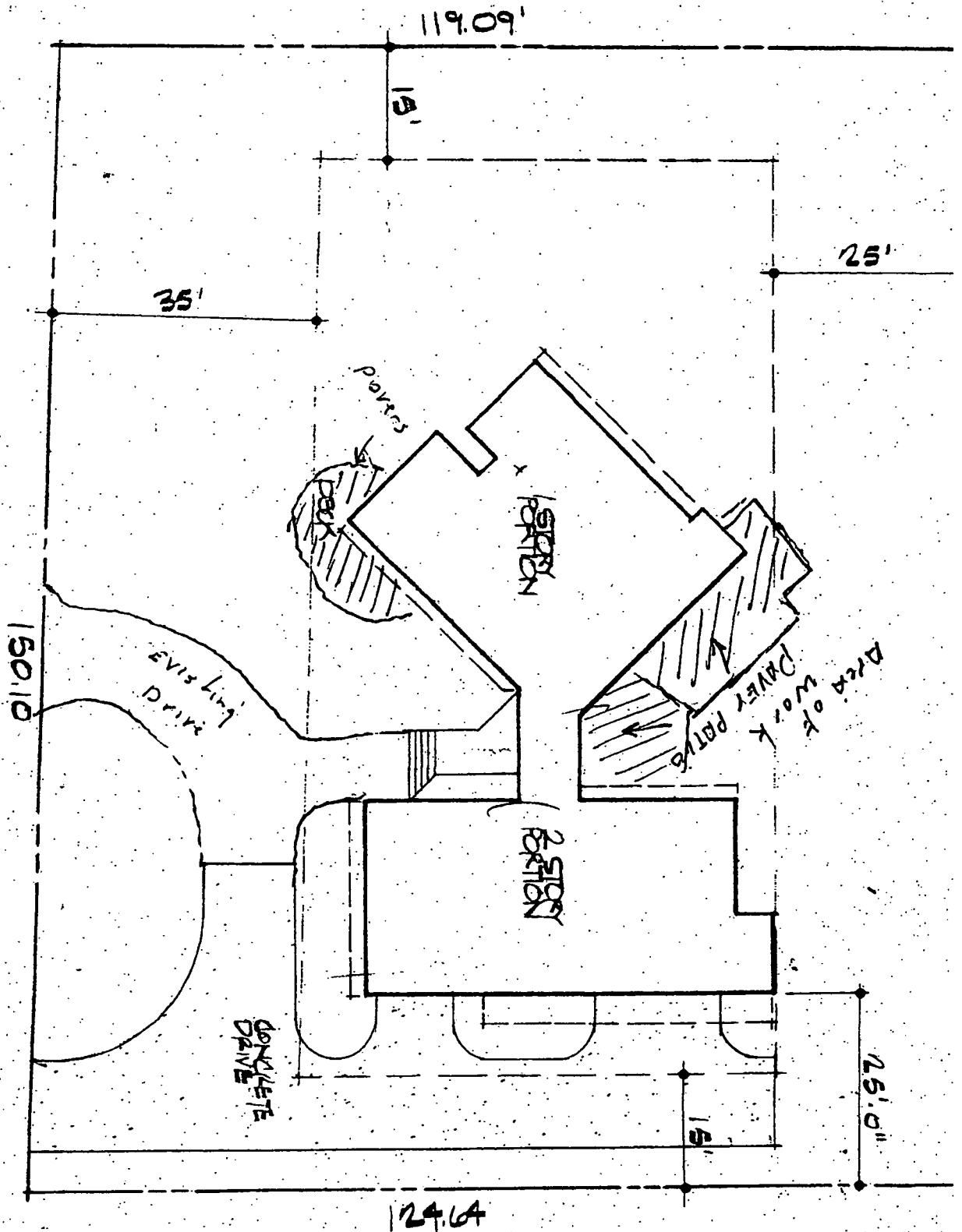
LEGAL DESCRIPTION

LOT 11, RIVERVIEW S/D

SEWALL'S POINT, P.B. 6

PAGE 80

MARTIN COUNTY PUBLIC RECORDS



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-7 2010 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9495	Walker	Labour	PASS	
10:00	6 Cranes Nest George Dietz	UG electric		
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	Thurlow	Tree	OK	
	18 Banyan Rd			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9430	Walker	UG electric	PASS	
	16 Cranes Nest	 	 	
	Rhino Cont.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9287	Sharfi	UG Gas	PASS	
	73 N Sewalls Stratton			
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10272

REMODEL AND
WINDOW/DOOR
REPLACEMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10272	DATE ISSUED:	NOVEMBER 8, 2012
SCOPE OF WORK:	KITCHEN REMODEL & CHANGOUT WINDOWS		
CONTRACTOR:	HEMMINGWAY HOMES		
PARCEL CONTROL NUMBER:	123841001-000-001105	SUBDIVISION	RIVERVIEW - LOT 11
CONSTRUCTION ADDRESS:	16 RIVERVIEW DR		
OWNER NAME:	WATSON		
QUALIFIER:	WILLIAM UMBACH	CONTACT PHONE NUMBER:	215-3218

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10272

Date: SEPTEMBER 25, 2012

OWNER/LESSEE NAME: ROBERT AND CANDRA WATSON Phone (Day) 772-708-1735 (Fax) N.A.

Job Site Address: 16 RIVERVIEW DR City: SEWALLS Pt. State: FL Zip: 34997

Legal Description LOT 11 RIVERVIEW SUBDIVISION Parcel Control Number: 12-38-41-001-000-00110-50000

Fee Simple Holder Name: OWNER Address:

City: State: Zip: Telephone: 772-708-1735

*SCOPE OF WORK (PLEASE BE SPECIFIC): KITCHEN REMODEL / CHANGE OUT WINDOWS

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 40,000.00

Construction Company: HEMMINGWAY HOMES Phone: 772-215-3218 Fax: 772-283-0636

Qualifiers name: WILLIAM R. UMPACH Street: 6004 PALM DR. City: FT. PIERCE State: FL Zip: 34982

State License Number: CFC 1514093 OR: Municipality: License Number:

LOCAL CONTACT: MICHAEL TRAPANI Phone Number: 772-215-3218

DESIGN PROFESSIONAL: M.A. CORSON & ASSOCIATES Fla. License# AR91065

Street: 1121 S.E. OCEAN BLVD. City: STUART State: FL Zip: 34996 Phone Number: 772-223-8227

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/Porches: Enclosed Storage:

Carport: Total under Roof: Elevated Deck: Enclosed area below BFE*: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. 2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 -.5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE: X Sandra Watson

State of Florida, County of: Martin

On This the 25 day of September 2012 by Sandra Watson

known to me or produced As identification. Notary Public

My Commission Expires: November 1st 2015

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE: X William Umpach

State of Florida, County of: Martin

On This the 25 day of September 2012 by William Umpach

known to me or produced As identification. Notary Public

My Commission Expires: November 1st 2015

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

SUBCONTRACTORS LIST
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME ROBERT & SANDRA WATSON BLDG. PERMIT # 10272
 MAILING ADDRESS 10 RIVERVIEW DR SEWALLS PT, FL

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH	N.A.	
BM	BLOCK MASON	N.A.	
CB	COLUMNS & BEAMS	N.A.	
CA	CARPENTRY ROUGH	HEMMINGWAY HOMES	CFC 1514093
GD	GARAGE DOOR	N.A.	
DH	DRYWALL - HANG		
DF	- FINISH	HEMMINGWAY HOMES	CFC 1514093
IN	INSULATION	N.A.	
LA	LATHING	N.A.	
FI	FIREPLACE	N.A.	
PAV	PAVERS	N.A.	
AL	ALUMINUM	N.A.	
LP	LP GAS	N.A.	
PAV	PAINTING	HEMMINGWAY HOMES	CFC 1514093
PL	PLASTER & STUCCO	N.A.	
ST	STAIRS & RAILS	N.A.	
RO	ROOFING	N.A.	
TM	TILE & MARBLE	N.A.	
WD	WINDOWS & DOORS	HEMMINGWAY HOMES	1514093
PLU	* PLUMBING	DAVE'S PLUMBING	CFC 051625
AG	* HARV	N.A.	
EL	* ELECTRICAL	EMMONDS ELECTRIC	EL 13012462

OK
OK
OK

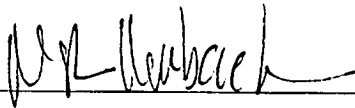


TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM	N.A.	
VS	VACUUM SOUND	N.A.	
IR	* IRRIGATION	N.A.	
SH	SHUTTERS	N.A.	

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



SIGNATURE OF CONTRACTOR
(OR OWNER BUILDER IF APPLICABLE)

STATE OF FLORIDA
 COUNTY OF MARTIN

SWORN TO AND SUBSCRIBED before me this 1ST day
 of November, 2012



NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



Oct 24 12:11:31a

Hemmingway Homes

772-283-0636

p.2



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: ROBERT & SANDRA WATSON

CONSTRUCTION ADDRESS: 16 RIVERVIEW DR SEWALLS PT FLORIDA

PERMIT TYPE: [X] RESIDENTIAL [] COMMERCIAL

- [] ELECTRIC
[X] PLUMBING
[] HVAC
[] IRRIGATION
[] FUEL GAS

TYPE OF SERVICE: [] NEW SERVICE [] EXISTING SERVICE [X] OTHER

SCOPE OF WORK: REPLUMB KITCHEN TO NEW LAYOUT

VALUE OF CONSTRUCTION \$ 2,500.00

[] LOW VOLTAGE

TYPE OF EQUIPMENT: [] SECURITY [] VACUUM [] SOUND SYSTEM [] LANDSCAPE [] OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Handwritten Signature]

SIGNATURE OF LICENSED CONTRACTOR

ADDRESS OF CONTRACTOR

499 SE Seville St Stuart

COMPANY OR QUALIFIER'S NAME:

Daves Plumbing Inc

TELEPHONE NO:

287 8128

FAX NO:

PLEASE PRINT

288 7127

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER:

CFC051625

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: ROBERT & SANDRA WATSON

CONSTRUCTION ADDRESS: 16 RIVERVIEW DR SEWALLS PT FLORIDA

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: REWIRE KITCHEN TO NEW LAYOUT

VALUE OF CONSTRUCTION \$ 2,500⁰⁰

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Brian Emmonds 2740 SW Martin Downs Blvd #250 Palm City
 SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Emmonds Electric Inc
 TELEPHONE NO: 772-878-3881 PLEASE PRINT FAX NO: 863-467-0995

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: MCME00630 ER13012462

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 10/4/2012 1:23:44 PM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-001-000-00110-5	27501	16 RIVERVIEW DR, SEWALL'S POINT	\$514,910	9/29/2012

Owner Information

Owner(Current)	WATSON ROBERT J & SANDRA S
Owner/Mail Address	16 RIVERVIEW DR STUART FL 34996
Sale Date	11/3/2009
Document Book/Page	2420 2420
Document No.	2176787
Sale Price	700000

Location/Description

Account #	27501	Map Page No.	SP-05
Tax District	2200	Legal Description	RIVERVIEW S/D LOT 11
Parcel Address	16 RIVERVIEW DR, SEWALL'S POINT		
Acres	.4200		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine

Assessment Information

Market Land Value	\$192,500
Market Improvement Value	\$322,410
Market Total Value	\$514,910

INSTR # 2176787
OR BK 02420 PG 2420
Pgs 2420 - 2421 (2 pgs)
RECORDED 11/05/2009 12:39:42 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 4,900.00
RECORDED BY S Phoenix

Prepared by and return to:
Robert S. Kramer, Esq.
Kramer, Sopko & Levenstein, P.A.
2300 SE Monterey Road Suite 100
Stuart, FL 34996
772-288-0048
File Number: 4408.06
Will Call No.: 80

Parcel Identification No. 12-38-41-001-000-00110.50000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 3rd day of November, 2009 between Dawson Coleman Glover, III and Charlotte Lewis Glover, his wife whose post office address is 200 NW Alice Avenue, Stuart, FL 34994 and 2950 SE Ocean Blvd., Stuart FL 34996, respectively of the County of Martin, State of Florida, grantor*, and Robert J. Watson and Sandra S. Watson, husband and wife whose post office address is 3601 SE Ocean Blvd., Suite 4, Stuart, FL 34996 of the County of Martin, State of Florida, grantee*,

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 11, of RIVERVIEW SUBDIVISION, a Subdivision in the Town of Sewall's Point, Florida according to the Plat thereof on file and of record in the Office of the Clerk of the Circuit Court in and for Martin County, Florida, in Plat Book 6, Page 86, of the Public Records of Martin County, Florida.

Subject to taxes for 2010 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: R. S. Kramer

[Signature] (Seal)
Dawson Coleman Glover, III

[Signature]
Witness Name: Stephanie A. Schwall

Witness Name: _____

[Signature] (Seal)
Charlotte Lewis Glover

[Signature]
Witness Name: Stephanie A. Schwall

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 3rd day of November, 2009 by Dawson Coleman Glover, III, who is personally known or has produced a driver's license as identification.

[Notary Seal]



R. S. KRAMER
MY COMMISSION # DD 573644
EXPIRES: November 13, 2010
Bonded Thru Budget Notary Services

[Signature]
Notary Public

Printed Name: R. S. Kramer

My Commission Expires: _____

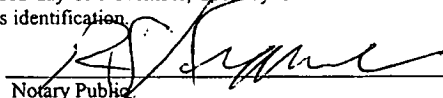
State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 3rd day of November, 2009 by Charlotte Lewis Glover, who is personally known or has produced a driver's license as identification.

[Notary Seal]



R. S. KRAMER
MY COMMISSION # DD 573644
EXPIRES: November 13, 2010
Bonded Thru Gudget Notary Services



Notary Public

Printed Name: _____

My Commission Expires: _____

INSTR # 2362418
OR BK 2613 PG 853
(1 Pgs)
RECORDED 11/20/2012 09:56:17 AM
MARSHA EWING
MARTIN COUNTY CLERK

NOTICE OF COMMENCEMENT

To be completed when construction value exceeds \$2,500.00

PERMIT #: 10272 TAX FOLIO # 12-38-A1-001-000-00110-50000

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):

LOT 11 RIVERVIEW GORDIVISION

GENERAL DESCRIPTION OF IMPROVEMENT: REMOVE & REPLACE KITCHEN WINDOWS, REMODEL KITCHEN

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name: ROBERT AUM SANJICA WATSON
Address: 16 RIVERVIEW DR. SEWALLS PT. FL.
Interest in property: FEE SIMPLE
Name and address of fee simple title holder (If different from Owner listed above):

CONTRACTOR'S NAME: HEMMINGWAY HOMES Phone No.: 772-215-3218
Address: 6858 WEDELA TERR. PALM CITY, FL 34990

SURETY COMPANY (If applicable, a copy of the payment bond is attached):
Name and address: N.A.
Phone No.: Bond amount:

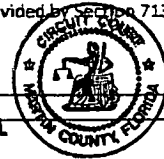
LENDER'S NAME: N.A. Phone No.:
Address:

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: N.A.
Address:

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK



In addition to himself or herself, owner designates _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: BY: _____ D.C.

Expiration date of Notice of Commencement:
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): JANUARY 1, 2013

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

Signatory's Title/Office
The foregoing instrument was acknowledged before me this 20 day of NOVEMBER, 2012
By: SANJICA WATSON as OWNER for _____
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

Notary's Signature
(Print, Type, or Stamp Commissioned Name of Notary)
Personally known or produced identification
Type of identification produced





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

CONTRACTOR OR OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: _____ Building Permit # _____

Site Address: 16 RIVERVIEW DR. SEWALLS PT. FLORIDA

FBC 104.1.10 Asbestos. The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

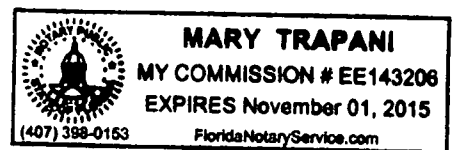
Contractor or Owner/Builder Signature

Subscribed and sworn to before me this 1 day of October, 2012, personally appeared

who is personally known to me or produced _____ as

identification, and who did/did not take an oath.

Notary Public Signature



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 11-28-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10272	11000	rough plumbing	Pass	
1ST	176 Riverwood Hemmingway	Window Attachment	Pass	INSPECTOR <i>[Signature]</i>
10286	Camplin 10 Oakwood Dr OB	rough plumbing rough electric FRAMING	Pass	INSPECTOR <i>[Signature]</i>
10277	Nelme 19 S Sewalls OB	in-progress balcony <small>(cell 486-8271)</small>	Pass	INSPECTOR <i>[Signature]</i>
Tree	Walser 102 Shen	Tree	<i>[Signature]</i>	INSPECTOR
10271	BURKITT 106 S Sewalls Soft Custom Pools	Pool Steel BOND & MD	Pass	INSPECTOR <i>[Signature]</i>
2:00				
9917	Tord 98 N Sewalls Masterpiece	UG Gas	FAIL	NOT READY INSPECTOR <i>[Signature]</i>
PM				
Tree	Shore 22 Emarta	Tree	<i>[Signature]</i>	
Tree	7 Riverview	Tree	<i>[Signature]</i>	INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-18-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10232	Lesnick 27 LANTANA ALMAN JACKSON	Piping POUR DECK	PASS	INSPECTOR <i>[Signature]</i>
10232	Wideman 16 Government Hemmingway Homes	[Redacted]	PASS	[Redacted] INSPECTOR <i>[Signature]</i>
10212	Jones 48 N. River Rd OB	ROOF FINAL	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALL'S POINT, FLORIDA

Date MARCH 10 2006 TREE REMOVAL PERMIT No 2646

APPLIED FOR BY GLOVER (Contractor or Owner)

Owner 16 RIVERVIEW

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 SEAGRASS

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant Signed, Gene Sumner FEE \$ 0
Town Clerk
BUILDING OFFICIAL

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TOWN OF SEWALL'S POINT

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

BARRY & CHARLOTTE

Owner GLOVER Address 16 RIVERVIEW Phone _____

Contractor T. B. MACH INC. Address 207 NW ARCHER Phone 772-201-5096

No. of Trees: REMOVE 1 Type: SEA GRAPE

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

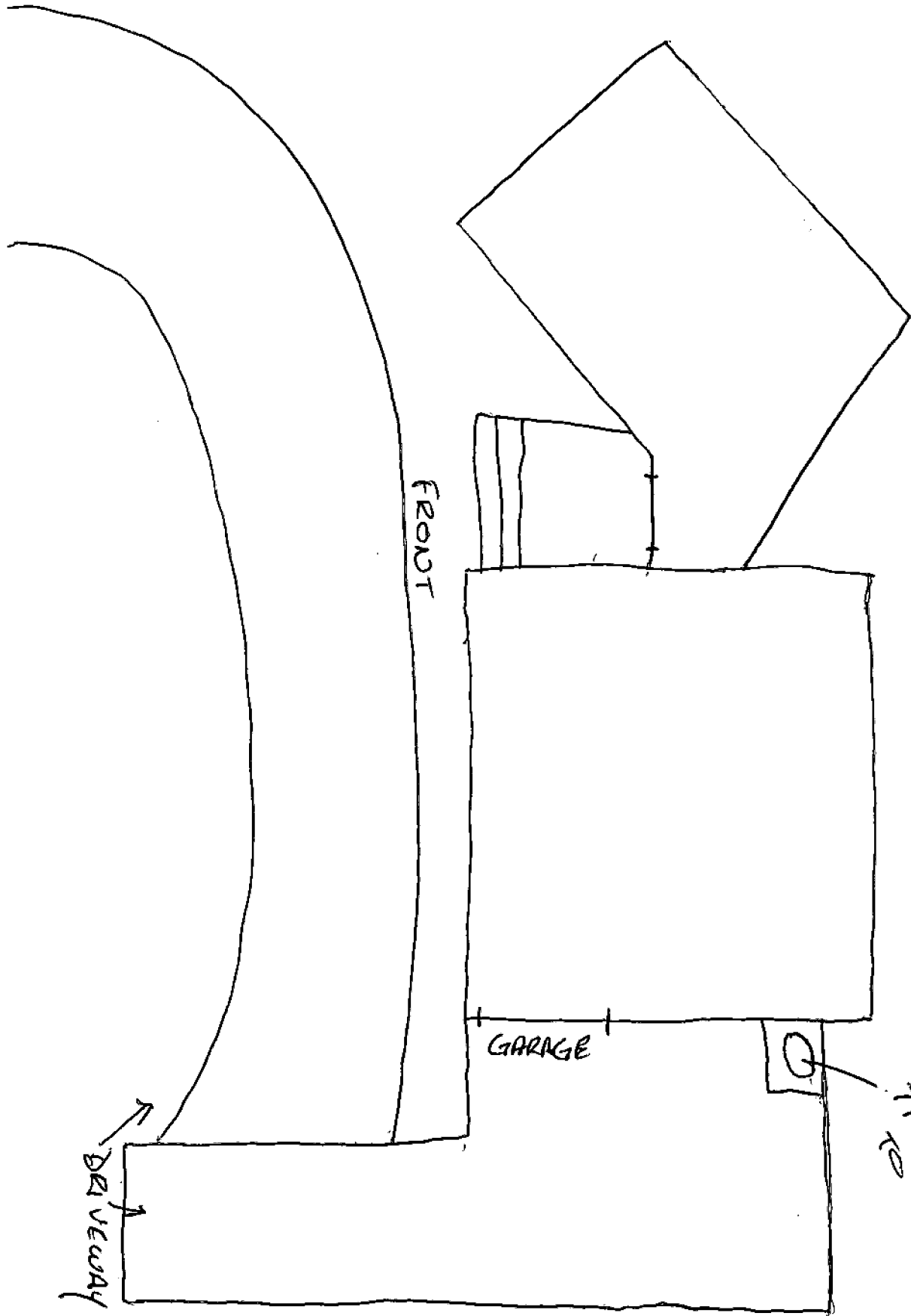
Written statement giving reasons: Sea Grape nesting on house & hurting roof!

Signature of Property Owner [Signature] Date 2/21/06

Approved by Building Inspector: [Signature] Date 3/10 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

SEE BACK →



FRONT

GARAGE

SEAGRAPE
TREE BE REMOVED

DRIVEWAY

HEIGHT OF TREE: 30'
DIAM OF TRUNK: 8" APPROX.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/10, 2006

Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8076	MOSCATELLO	FRAMING ^{REAR} PORCH	FAIL	
6	6 PINEAPPLE FLORIDA'S FINEST	BEAMS & COLUMNS		INSPECTOR:
8061	CLEMENTS	FINAL DOOR ELEC.	FAIL	CLOSE
1	11 W. HIGH POINT RD FORWARD ELECTRIC		PASS	INSPECTOR:
787	NOHEJL	CATHE	PASS	
2	26 W. HIGH POINT O/B			INSPECTOR:
 	Close	TRAC	PASS	
5	16 RIVERVIEW			INSPECTOR:
7831	JENKINS	FINAL FENCE	PASS	CLOSE
9A	3 HERITAGE WAY O/B			INSPECTOR:
8012	TRANSTER	ELEC.		CALL FPL
2A	9 MIDDLE ROAD HOWEN ELEC	TEMP. POWER	PASS	INSPECTOR:
				INSPECTOR:

OTHER: _____