

# **20 Riverview Drive**

**2111**

**SFR**

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER Albert + Pamela Gardner  
 CONTRACTOR John J. Hill Const. Co.  
 LOT 13 BLOCK \_\_\_\_\_ SUB RiverView  
 NO. 20 River View Road St. or Ave.

NO. 2111 Date Issued 4/22/87

# TOWN OF SEWALL'S POINT BUILDING PERMIT

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION	ABSOLUTE PEST CONTROL 6-10-87 JK	
3. FOOTING - SLAB	OK 6/11/87 DB	
4. ROUGH PLUMBING		
5. ROUGH ELECTRIC	OK 10/14/87 DB	
6. LINTEL		
7. ROOF	OK 10/14/87 DB	
8. FRAMING	OK 10/14/87 DB	
9. INSULATION	OK 10/20/87 DB	
10. A/C DUCTS	OK 10/14/87 DB	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

**MARTIN COUNTY PUBLIC HEALTH UNIT**  
 Your septic system was inspected on 1-21-86  
 HD 87-198

\*  Approved and Cover  
 Cover but hold for:  
 Final Grade (see permit for specifications) Do not cover  
 Well Permit Do not cover  
 Other:  
 Do not cover, disapproved for the following reasons:  
 Well and well reinspection fee \_\_\_\_\_  
 Other:  
 Final approval will not be given until both septic and water systems are completed.  
 Please allow this office two working days to schedule a reinspection. If you have any questions, contact SACRE Kelly at 287-2277.

M. - 12:00 Noon and  
 ctions of Items 1 thru 13.  
 AT LEAST 24 HOURS NOTICE.  
 WITH THE TOWN OF SEWALL'S  
 ADA BUILDING CODE, THE STATE  
 DING CODE AND ELEVATIONS  
 NCE RATE MAP.  
 P.M. MONDAY THRU SATURDAY.  
 ON JOB SITE BEFORE INITIAL  
vidence

TO CONS  
 REMARK

MARTIN COUNTY PUBLIC HEALTH UNIT  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER: HD 87-198

NAME OF APPLICANT: Dr. Albert Gardner

WORK HOME PHONE: 335-3810

WORK PHONE: 287-5919

MAILING ADDRESS OF APPLICANT: 28 Emerita Way Jensen Beach 33457

LOT 13 BLOCK --- SUBDIVISION Riverview S/O

PLAT BOOK C PAGE 86 DATE SUBDIVIDED Feb 1975

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 4

HEATED OR COOLED AREA OF HOME 5700 SQUARE FEET

COMMERCIAL: TYPE OF BUSINESS PROPOSED \_\_\_\_\_ NUMBER PEOPLE \_\_\_\_\_

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

\$50 WELL FEE IF WELL NOT INSTALLED AT TIME OF SEPTIC SYSTEM INSPECTION

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

Sam Gardner

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 1350 GALLONS

DRAINFIELD SIZE 500 SQUARE FEET

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 5'

TOP OF BUILDING STUB OUT IS REQUIRED TO BE A MINIMUM ELEVATION OF

Finished Soil Grade

Not to exceed 18" of cover over drainfield rock

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

ISSUED BY: David M. Washburn ENVIRONMENTAL HEALTH SPECIALIST

DATE: 4-1-87

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

Inspection Results Will be Posted on Building Permit or on Electrical Box.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: \_\_\_\_\_

ENVIRONMENTAL HEALTH SPECIALIST

DATE: \_\_\_\_\_



MARTIN COUNTY PUBLIC HEALTH UNIT  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

SITE INFORMATION

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE A LIMITED USE NON-COMMUNITY OR OTHER PUBLIC WELL WITHIN 100 FEET OF PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC SEWER WITHIN 100 FEET OF THE PROPOSED LOT? No
6. IS THERE A LAKE, STREAM, WETLAND, OR OTHER BODY OF WATER WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
7. IS THERE A PROPOSED OR EXISTING PUBLIC WATER LINE WITHIN TEN FEET OF THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
10. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
11. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? Yes
12. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDINGS OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? Yes
13. THERE IS 2000 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA.

ELEVATIONS

1. CROWN OF ROAD ELEVATION 23.18 SHOW LOCATION ON PLOT PLAN.  
IF ROAD IS NOT PAVED, BENCHMARK ELEVATION \_\_\_\_\_ SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 23.5  
SHOW LOCATION ON PLOT PLAN.
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? \_\_\_\_\_ IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? \_\_\_\_\_ NGVD 1929 (ELEVATION OPTIONAL)

NOTE: MUST BE CERTIFIED BY REGISTERED SURVEYOR OF ENGINEER IN THE STATE OF FLORIDA.

CERTIFIED BY: [Signature]  
FL. PROFESSIONAL NO. 3957  
DATE: 3/25/87 JOB NO: 80-111

SITE DIRECTIONS

ATTACH SITE LOCATION MAP OR EXPLAIN DIRECTION TO SITE BELOW

South on Sewalls Point Rd. to Riverview Dr.  
West on Riverview Drive to cul-de-sac.

MARTIN COUNTY PUBLIC HEALTH UNIT  
131 East 7th Street  
Stuart, Florida 33497  
287-2277

STUBOUT ELEVATION AND FILL CERTIFICATION

APPLICANT: Dr. Robert [unclear]

LEGAL DESCRIPTION: Lot 1, [unclear] [unclear]

SEPTIC TANK PERMIT NUMBER: HC 7-110

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

1. Building Permit Number: \_\_\_\_\_
2. I certify that the elevation of the top of the lowest plumbing stubout is at or above the approved elevation as shown on septic tank permit application.  
Date elevation checked: \_\_\_\_\_
3. I certify that the top of the lowest building plumbing stubout is \_\_\_\_\_ feet above the crown of road.
4. I certify that all severe limited soil has been removed from an area of \_\_\_\_\_ feet by \_\_\_\_\_ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.  
Date observed: \_\_\_\_\_

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
  - b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: \_\_\_\_\_

Florida Professional Number: \_\_\_\_\_

Date: \_\_\_\_\_

Job Number: \_\_\_\_\_

As applicant or applicant's representative, I understand the above requirements.

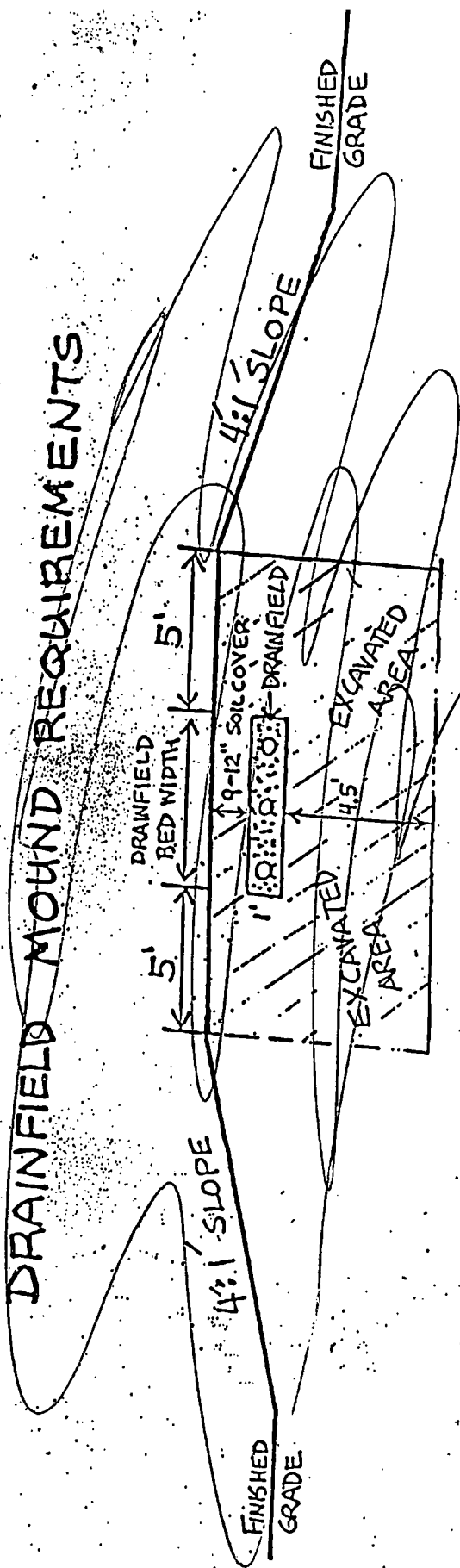
[Signature]  
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

\_\_\_\_\_  
(Signature of Environmental Health Specialist)

\_\_\_\_\_  
(Date)

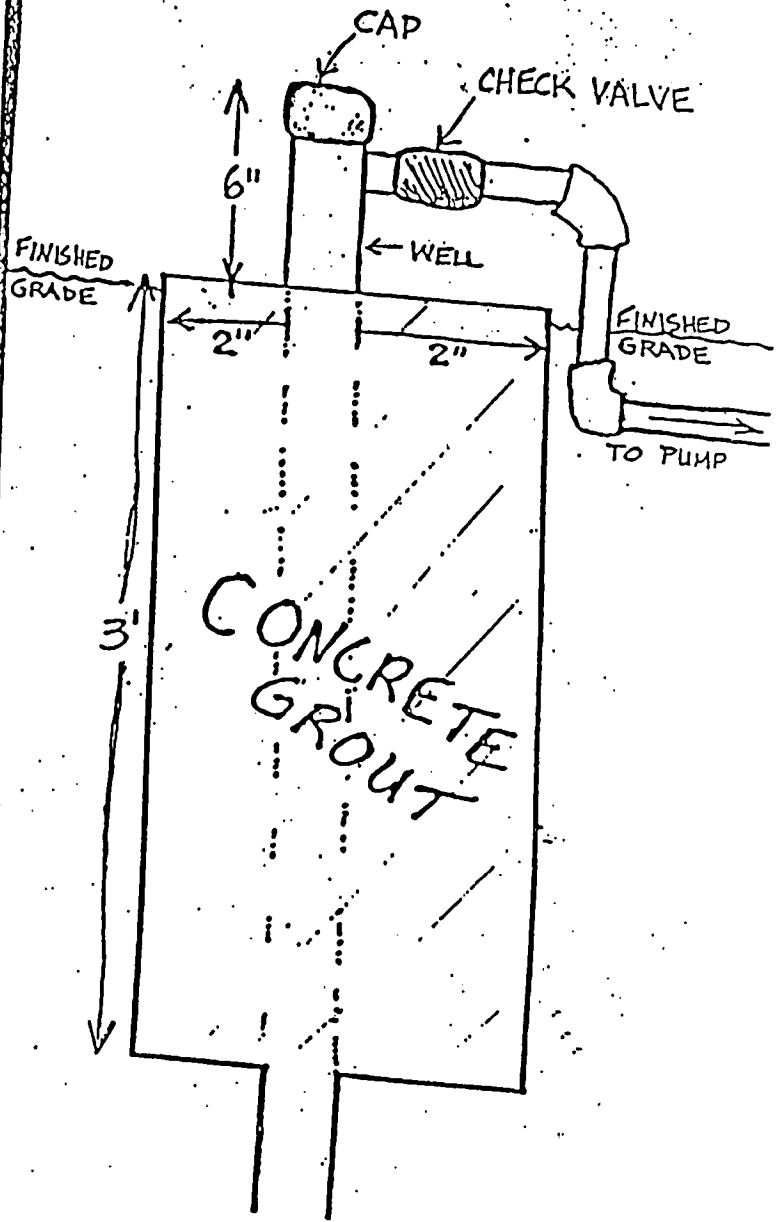
# DRAINFIELD MOUND REQUIREMENTS



**NOTES:** THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.

# WELL REQUIREMENTS

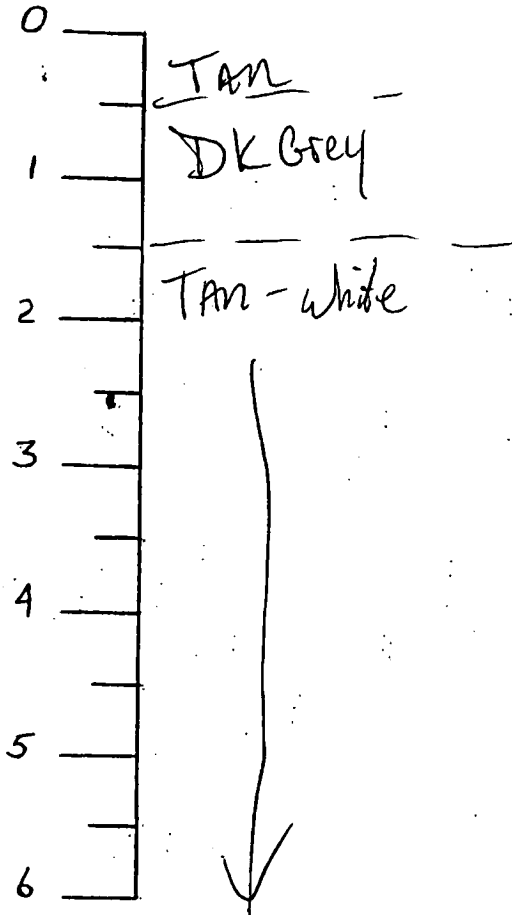
**NOTE:** ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.



MARTIN COUNTY PUBLIC HEALTH UNIT  
131 East 7th Street  
Stuart, Florida 33497  
287-2277  
SITE EVALUATION

APPLICANT: Dr. Albert Gardner  
LEGAL DESCRIPTION: Lot 13 Riverview S/O

SOIL PROFILE



USDA SOIL TYPE Paola  
USDA SOIL NUMBER #6

Impervious soils are present  
56' feet below natural  
grade.

Present Water Depth Below Natural Grade 76' Feet.  
Wet Season Range Per Soil Survey \_\_\_\_\_ Feet.  
Estimated Wet Season Water Depth Below Natural Grade 76' Feet.  
Indicator Vegetation Present Disturbed  
Is Benchmark Located on Plot Plan and Present on Site? YES  
Approximate Amount of Fill on Neighboring Lots unknown  
Other Findings:

EVALUATION BY: Josephine D. Bell  
DATE: 3-30-87 C

2111

TOWN OF SEWALL'S POINT, FLORIDA

Application for a Permit to Build a House or Commercial Building

PERMIT NO. \_\_\_\_\_

DATE 4-16-87

The Building Department will not issue a C.O. unless the following are shown on the Flood Insurance map. Certification from a licensed surveyor is required for liability.

- To obtain this permit, the following documents are necessary:
1. Florida certification of Builder and Subcontractors.
  2. Certificate of insurance from Contractor or owner builder for liability and workmen's compensation.
  3. Three sets of building plans which include:
    - 1/4" scale for building drawings, plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable.
  4. Warranty deed to the property.
  5. Septic tank permit and one set of plans with Health Dept. seal.
  6. Energy code calculations.
  7. Notorized copy of the attached affidavit which states that all Brazilian Pepper, Australian Pine, and Melaluca have been permanently removed from the property.
  8. If trees other than in Item 7 are to be removed, a separate tree removal permit.
  9. Designation of the Flood Control Zone in which the property is located as defined by the latest Flood Control Map. If the location is questionable, it must be certified by a licensed surveyor. If in "A" Zone, the proposed slab elevation should be specified. If in "V-13", the proposed elevation of the top of pier or piling is required.
  10. A manufacturer's window schedule with symbols of sizes.

Owner Albert E. & Pamela J. Gardner Present Address 9 North River Road, Sewall's Point  
Phone 287-5919 Stuart, Fl. 33494

General Contractor John J. Hill Construction Address 736 N.W. Buck Hendry Way  
Phone 692-2889 Stuart, Fl. 33494

Where Licensed State of Florida License No. William J. McGraw #CGC024800

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Roofing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Air-Conditioning Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Describe the building, or alteration to existing building Single Family Residence

Name the street on which the building, its front building line and its front yard will face 20 Riverview Drive

Subdivision Riverview Lot No. 13 Area \_\_\_\_\_

Building area, inside walls 5216

Area of garage-carport-porch-square feet 3135

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ ~~312,000~~ 312,370 <sup>36</sup>

Cost of permit \$ ~~1965.00~~ Plans approved as submitted OK or, as marked 312,000 <sup>00</sup>

1965.00

JH

In addition, the following are understood by owner and contractor:

1. The building area inside walls is required to show conformance to the ordinance requiring a minimum of 1500 sq. ft.
2. The contract price is the expected cost of the building including all but land, carpeting, appliances and landscaping. The permit fee is calculated at \$5.00 per thousand of this. If no contract is submitted as proof, it will be based on a cost of \$60.00 per sq.ft. for inside walls; \$25.00 per sq.ft. for any other area. In addition, a \$10.00 fee for each subcontractor is included in the permit fee.
3. Before a C.O. is issued the following are necessary:
  - a. An owner's affidavit of building cost. A standard form is available. Any discrepancy between original permitfee and new fee based on affidavit will be adjusted here.
  - b. If property is in "A" flood zone, an affidavit from a licensed surveyor showing slab elevation.  
If property is in "V" zone, an affidavit from a licensed surveyor showing elevation of top of piers or pilings.  
In addition, certification by a qualified engineer or architect of the structural adequacy of dwelling. Elevation is distance above mean sea level. A standard affidavit form is available.
  - c. Rough grading and clean-up of grounds.
  - d. Approval by the Health Dept. of Septic installation.
4. The South Florida Building Code latest revision is part of the Town's ordinance.
5. Building permits are issued for 1 year's duration. If construction takes longer, a full year's renewal fee is required. Construction must be started within 180 days of issuance or the permit is subject to revocation with the forfeiture of fee.
6. Any changes in plan must be approved by the Building Inspector.
7. Work hours are from 8:00 AM to 5:00 PM Monday through Saturday.
8. Portable toilet must be provided.
9. The grounds should be policed each day to clean up trash and scrap building material. A dumpster should be provided to contain these.
10. Inspections are performed from Monday through Friday from 8:00 AM to Noon. Twenty-four hours notice is required.
11. To facilitate set-back inspection at the start of the project, lines shall be strung along the property lines of the lot.
12. Within 90 days after a C.O. is issued, the grounds must be landscaped to be compatible with the neighborhood.
13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDNANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR BUILDER FROM COMPLIANCE WITH TOWN ORDNANCES.

Signed Contractor

Owner

Approved by Building Inspector

Approved by Commissioner

Certificate of Occupancy issued

John J. Hill  
Alvin E. Tucker  
Dale Brown      Samela G. Gardner  
J. C. Strubell  
Dale Brown

Date 4/21/87  
Date 4/21/87  
Date 2/18/88

*Date - File*

# TOWN of SEWALL'S POINT

**COMMISSIONERS:**

WILLIAM H. BEDELL, MAYOR  
SEWARD R. CHARDAVOYNE, VICE MAYOR  
B.J. ESCUE, COMMISSIONER  
ERIC B. HOLLY, COMMISSIONER  
JOAN PERRY WILCOX, COMMISSIONER



TELEPHONE: (407) 287-2455  
FAX (407) 220-4765

TOWN CLERK  
JOAN H. BARROW

CHIEF OF POLICE  
LOUIS J. SAVINI

*FILE*

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34996

March 10, 1993

Mr. W. Martin Bonan  
Kohl, Bobko, McKey, McManus, Higgins  
P. O. Box 869  
Stuart, Florida 34995-0869

Re: Lot 13, Riverview Subdivision

Dear Mr. Bonan:

In response to your letter of March 5, 1993, I have reviewed the permit issued on ~~April 22, 1987~~, to Dr. Gardner to construct a home on Lot 13, Riverview Subdivision.

It is apparent that the building officials at that time determined that the lot in question did not average 120 ft. in width. Therefore, they accepted the 15 ft. side setbacks.

The detached garage was required to have 15 ft. side setbacks and 35 ft. setback from the street (cul-de-sac).

We, of course, have no as-built survey, but the original survey and the site plan both show the garage conforms to the code.

Sincerely,  
TOWN OF SEWALL'S POINT

*S. R. Chardavoyne*  
S. R. Chardavoyne,  
Building Commissioner

SRC/vm

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 2/18/88

This is to request that a Certificate of Approval for Occupancy be issued to A. Gardner  
For property built under Permit No. 2111 Dated 4/22/87 when completed in  
conformance with the Approved Plans.

John J. Hill  
Signed

Approved by

Item	
1. LOT STAKES/SET BACKS	
2. TERMITE PROTECTION	<u>6/10/87</u>
3. FOOTING - SLAB	<u>6/11/87 DB</u>
4. ROUGH PLUMBING	<u>6/15/87 DB</u>
5. ROUGH ELECTRIC	<u>10/16/87 DB</u>
6. LINTEL	
7. ROOF	<u>10/16/87 DB</u>
8. FRAMING	<u>10/16/87 DB</u>
9. INSULATION	<u>10/26/87 DB</u>
10. A/C DUCTS	<u>10/16/87 DB</u>
11. FINAL ELECTRIC	<u>2/18/88 DB</u>
12. FINAL PLUMBING	<u>2/18/88 DB</u>
13. FINAL CONSTRUCTION	<u>2/18/88 DB</u>

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 2/18/88 date

Approved by Building Commissioner \_\_\_\_\_ date

Utilities notified F. P. L 2/18/88 date

Original Copy sent to Albert Gardner

(Keep carbon copy for Town files)



**2121**

**POOL**

Permit No. 2021

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Al Gardner Present Address 9 N. RIVER ROAD

Phone 287 5919 Sewells Point Fla.

Contractor Allen Pools Inc Address 10110 S. USF

Phone 335 5300 PT. ST. LUCIE FLA. 33452

Where licensed State of Florida License number CPCO 29630

Electrical contractor N/A License number

Plumbing contractor N/A License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool

20 RIVERVIEW DRIVE

State the street address at which the proposed structure will be built:

Subdivision Riverview Lot number 13 Block number

Contract price \$ 18,000 Cost of permit \$

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted Approved: [Signature]

Building Inspector Date

Approved: Commissioner Date Final Approval given: Date

Certificate of Occupancy issued (if applicable) Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

ACORD CERTIFICATE OF INSURANCE (ACORD 25 - 2/84)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

NAME AND ADDRESS OF AGENCY:

COMPANIES AFFORDING COVERAGES:

INSURANCE BY KEN BROWN INC  
 1339 ARLINGTON ST  
 P O BOX 540569  
 ORLANDO, FL 32854-0569

COMPANY A: GULF INSURANCE GROUP

COMPANY B:

COMPANY C:

COMPANY D:

COMPANY E:

NAME AND ADDRESS OF INSURED:

ALLEN POOLS INC  
 10110 SOUTH U S 41  
 FORT ST LUCIE  
 FLORIDA 33452

THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES.

COMP LETTER	TYPE OF INSURANCE	POLICY NUMBER EFFECTIVE/EXPIRATION DATE	LIMITS OF LIABILITY IN THOUSANDS (\$00) EA. OCCUR./AGGREGATE
	GENERAL LIABILITY		
	COMPREHENSIVE FORM	TO	
	PREMISES-OPERATIONS		BODILY INJURY:
	UNDERGROUND EXPLOSION & COLLAPSE HAZARD		PROPERTY DAMAGE:
	PRODUCTS COMPLETED OP.		BI & PD COMBINED:
	CONTRACTUAL		
	BROAD FORM PROP. DAMAGE		
	INDEP. CONTRACTORS		
	PERSONAL INJURY		PERSONAL INJURY:
	AUTOMOBILE LIABILITY		
	ANY AUTO	TO	BI: (EACH PERSON)
	ALL OWNED AUTOS (PRIV. PASSENGER)		BI: (EACH ACCIDENT)
	ALL OWNED AUTOS (NON PRIV. PASSENGER)		
	HIRED		PROPERTY DAMAGE:
	NON-OWNED AUTOS		BI & PD COMBINED:
	GARAGE LIABILITY		

LIMITS OF LIABILITY  
IN THOUSANDS (000)  
EG. ACCUR./AGGREGATE

COMP LETTER      TYPE OF INSURANCE      POLICY NUMBER  
EFFECTIVE/EXPIRATION DATE

EXCESS LIABILITY  
UMBRELLA FORM      TO

OTHER THAN UMBRELLA FORM      BI & FD COMBINED

A WORKERS' COMPENSATION  
AND TO BE DETERMINED  
EMPLOYERS' LIABILITY 04/17/87 TO 04/17/88

\*STATUTORY\*

EACH ACCIDENT: \$ 100  
DISEASE POLICY LIMIT: \$ 500  
DISEASE EACH EMPLOYEE: \$ 100

OTHER TO

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS:

CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE BELOW NAMED CERTIFICATE HOLDER, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

Coverage is provided in the Company designated below:

- ← SOUTH CAROLINA INSURANCE COMPANY
- ← CONSOLIDATED AMERICAN INSURANCE COMPANY
- ← CATAWBA INSURANCE COMPANY

THIS DECLARATIONS PAGE WITH SPECIAL MULTI-PERIL CONDITIONS AND DEFINITIONS AND FORMS AND ENDORSEMENTS, IF ANY, ISSUED TO FORM A PART THEREOF, CONSTITUTES THE BELOW NUMBERED POLICY

**SEIBELS BRUCE GROUP**  
P.O. BOX 1, COLUMBIA, SOUTH CAROLINA 29202



**DECLARATIONS**

Policy No. **SMP 461 08 60**

POLICY PERIOD:			PREVIOUS COVERAGE:		AGENCY:	
FROM	TO		CO.	POLICY NO.	NO.	P
5 21 85	5 21 88		05	NEW	2929	
MO. DA. YR.	MO. DA. YR.					

**SPECIAL MULTI-PERIL POLICY**

Item 1. Named Insured and Mailing Address (No., Street, Town, County, State, Zip)

- Allen Pools, Inc.
- 20500 South U.S. Highway #1
- Port St. Lucie, FL 33452

Item 7. Mortgagee - Servicing Company

- 
- 
- 
- 

Item 2. Policy Period: 12:01 A.M., Standard Time at location of designated premises.

Item 3. The Named Insured is:  Individual  Corporation  Other:

Partnership  Joint Venture

Item 4. Designated Premises (ENTER BELOW)

- No. 1 Same
- No. 2
- No. 3

Occupancy of Premises  
Pool Contractor

Additional buildings or premises as designated on Supplemental Declarations attached.

Item 5. In Consideration of the premium, Insurance is provided the named insured with respect to the designated premises shown in Item 4 above and with respect to those coverages and kinds of property for which a specific limit of liability is shown, subject to all of the terms of this policy including forms and endorsements made a part hereof.

**SECTION I - PROPERTY COVERAGE**

**SECTION II - LIABILITY COVERAGE**

Building(s)	Loc. No.	Bldg. No.	Coinsurance Applicable	LIMITS
			%	\$
			%	\$
			%	\$
Personal Property of the Insured	1	1	80 %	\$ 40,000
Personal Property of Others			%	\$

SMP-LIABILITY INSURANCE	LIMITS
Bodily Injury and Property Damage Liability	\$ each occurrence
Combined Single Limit	\$ aggregate
Premises Medical Payments	\$ each person
	\$ each accident
Bodily Injury Liability	See
Property Damage Liability	MP0471
Premises Medical Payments	See GL0404
Add'l. Cov. (Specify)	IF NO LIMIT SHOWN FOR SMP-LIABILITY INSURANCE REFER TO COVERAGE PART OR ENDORSEMENT

DEDUCTIBLE: each occurrence aggregate each occurrence

\$ \$

If no deductible stated above, the deductible shall be \$100 each occurrence \$1,000 aggregate each occurrence

Comprehensive General Liability  
Broad Form Comprehensive General Liability

SECTION III - CRIME COVERAGE

SECTION IV - BOILER AND MACHINERY COVERAGE

As stated in the endorsement, made part of this Policy, if indicated by

Audit Period: Annual, Un-  Monthly  Semi-Annual

Less Otherwise Stated:  Quarterly  Other:

Item 6. Forms and Endorsements made part of this policy at time of issue:

(INSERT NO. AND EDITION DATE)

Section I -	BJP193(0)-X-A(5-77)MP0014(10-83)MP0090(7-77)IL0125(9-83)MP0420(1-83)MP0127(12-79)MP9950(7-77)GL0026(3-81)GL0027(3-81)GL0032(4-84)L6432g(7-83)GL9919(3-83)IL0018(10-84)
Section II -	GL9905(7-66)MP0093(7-77)MP0471(7-77)MP9991(7-77)GL0404(5-81)GL2104(7-66)L9260(1-73)GL0019(7-78)GL0025(3-81)
Section III -	
Section IV -	

Item 8. The Total Provisional Premium is: \$ 19,839. and is payable \$ 6,613. at inception, and \$ 6,613. at each anniversary.

12-85/MP/es  NOT APPLICABLE Unless indicated by an X in the box as "NOT APPLICABLE", the premium for installments subsequent to the initial installment shall be subject to adjustment on the basis of the rates in effect at each anniversary date.

Agency at Port St. Lucie, Florida

JPA Insurance

DL193-X-A (Spec.)  
Ed.5-79)

AUTHORIZED SIGNATURE

DATE

**2247**

**DOCK**

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number \_\_\_\_\_ Date \_\_\_\_\_

2247

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner D. ALBERT GARDNER Present Address 9. North River Road. S. Point  
Phone 288-5816.

Contractor Hi-TIDE MARINE CONSL. Address 391 S.E. WADE ST. STUART.  
Phone 283-9354.

Where licensed MARTIN COUNTY License number CCCA 11094.

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Roofing contractor \_\_\_\_\_ License number \_\_\_\_\_

Air conditioning contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: TO INSTALL PRIVATE DOCK.

LOT # 13<sup>20</sup> RIVERVIEW DRIVE.

State the street address at which the structure will be built:  
SEWALLS POINT, P.L.# 12-38-41-001-000-00130.

Subdivision RIVERVIEW Lot number 13 Block number \_\_\_\_\_

Contract price \$ 5,000.00 Cost of permit \$ 25.00

Plans approved as submitted approved Feb 1988 Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Dan I. [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

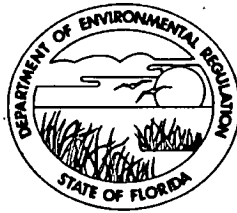
Date submitted \_\_\_\_\_ Approved Dale Brown 2/11/88  
Building Inspector Date

Approved [Signature] 2/11/88 Final Approval given \_\_\_\_\_  
Commissioner Date Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date

STATE OF FLORIDA  
DEPARTMENT OF ENVIRONMENTAL REGULATION

SOUTHEAST FLORIDA DISTRICT  
BRANCH OFFICE  
2745 SOUTHEAST MORNINGSID E BOULEVARD  
PORT ST. LUCIE, FLORIDA 33452



BOB MARTINEZ  
GOVERNOR  
DALE TWACHTMANN  
SECRETARY

RECEIVED DEC 16 1987

December 15, 1987

Dr. Albert Gardner  
c/o Mr. Dan Djack  
Hi-Tide Marine Construction  
3191 SE Waaler Street  
Stuart, Florida 33497

DF - Martin County  
Private Dock  
St. Lucie River

Dear Dr. Gardner:

This is to acknowledge receipt of your application, file number 431422018, for a permit to:

Construct a 720 square foot dock consisting of an 80 foot by 4 foot access pier with a 20 foot by 20 foot terminal "L" platform and emplace two mooring pilings. To be located at Lot 13 on Riverview Drive, Riverview Subdivision, Class III waters of the St. Lucie River, Section 12, Township 38 South, Range 41 East, Town of Sewall's Point, Martin County.

At this time no permit is required for your project by this Department. Any modifications in your plans should be submitted for review, as changes may result in permits being required. This letter does not relieve you from the need to obtain any other permits (local, state or federal) which may be required. This project, as proposed, is exempt from permitting pursuant to 403.813(2)(b), Florida Statutes, in accordance with the five (5) attached stamped drawings.

A copy of your application has also been sent to the Department of Natural Resources for review. Consent of use of State owned lands may be required from the Department of Natural Resources prior to construction. For further information, you may contact Mr. David Roach at (305) 967-6057.

If you have any questions, please contact Susan Davis of this office. When referring to this project, please use the file number indicated.

Sincerely,

John Meyer  
Supervisor, Dredge & Fill Permitting

JM:sdv/12

cc: Army Corp's of Engineers, Miami  
David Roach, D.N.R. (with application)





State of Florida  
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building  
3900 Commonwealth Boulevard  
Tallahassee, Florida 32399

TOM GARDNER  
Executive Director

BOB MARTINEZ  
Governor

JIM SMITH  
Secretary of State

BOB BUTTERWORTH  
Attorney General

GERALD LEWIS  
State Comptroller

BILL GUNTER  
State Treasurer

DOYLE CONNER  
Commissioner of Agriculture

BETTY CASTOR  
Commissioner of Education

December 9, 1987

Dr. Albert Gardner  
c/o Dan Dyack  
Hi-Tide Marine Construction, Inc.  
3191 South East Waaler Street  
Stuart, Florida 33497

PLEASE ADDRESS REPLY TO:

Division of State Lands  
Southeast Florida Field Office  
The 1900 Building  
1900 South Congress Avenue  
West Palm Beach, Florida 33406

Dear Dr. Gardner:

Re: 431422018  
Applicant: Dr. Albert Gardner

This Department is in receipt of the above referenced application for construction on sovereignty submerged lands. Attached is the application and our criteria for a Consent by Rule. If you revise your application to meet these criteria, you are authorized to construct your project.

Should you not want to revise your application, please resubmit the application with an explanation as to why the project needs to exceed the Consent by Rule criteria. The Department will then consider the matter and approve or deny the application.

I will hold this application open until 1/8/88, should you want to pursue a project larger than allowed pursuant to the Consent by Rule criteria. Please respond to this letter by that date.

Should you have questions, please feel free to contact me.

Sincerely,

David K. Roach  
Division of State Lands  
Southeast Florida District Office

DKR/bs  
Attachment



DEPARTMENT OF THE ARMY

SOUTH FLORIDA AREA OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS  
P. O. BOX 1327  
CLEWISTON, FLORIDA 33440

December 29, 1987

REPLY TO  
ATTENTION OF

Regulatory Section  
Miami  
87GP30633  
SAJ-20

RECEIVED JAN 6 1988

Dr. Albert Gardner  
c/o HI-TIDE MARINE CONSTRUCTION, Inc.  
3191 SE Waaler Street  
Stuart, Florida 33497

Dear Dr. Gardner:

Reference is made to your application for a Department of the Army permit concerning:

construction of a 100 foot long dock 4 feet wide in the St. Lucie River at Lot 13 Riverview Drive, Sewalls Point, in Section 12, Township 38 South, Range 41 East, Martin County, Florida.

The project as proposed is authorized by General Permit SAJ-20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

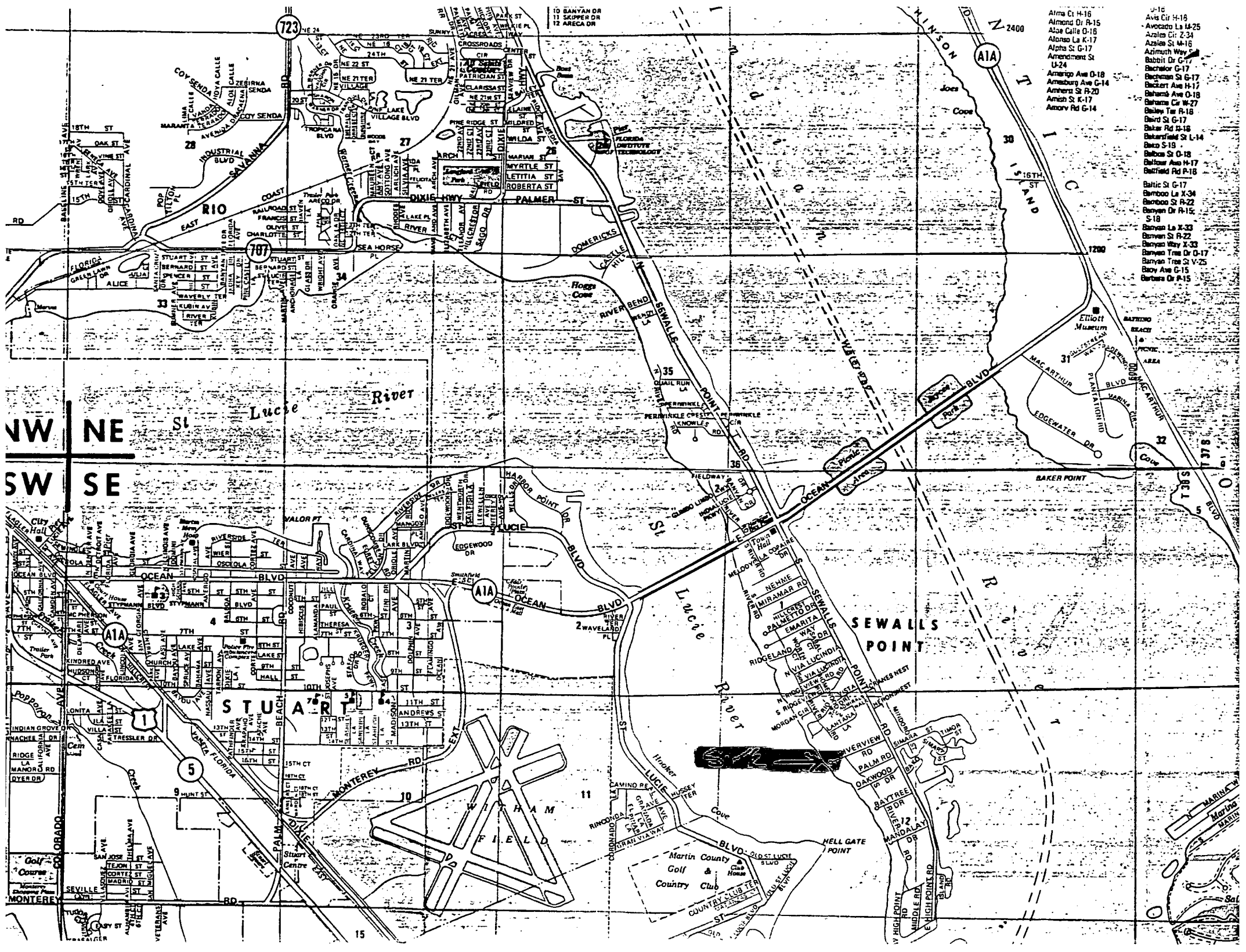
This letter of authorization does not obviate the necessity to obtain any other Federal, state or local permits which may be required.

Thank you for your cooperation with the Corps permit program.

Sincerely,

*Charles A. Schnepel*  
Charles A. Schnepel  
Chief, Regulatory Section

Enclosures



- Alma Ct H-16
- Almond Dr R-15
- Altoa Calle O-18
- Altona La K-17
- Alpha St G-17
- Amendment St U-24
- Amersop Ave O-18
- Amersop Ave G-14
- Amherst St R-20
- Amish St K-17
- Amory Rd G-14
- Avis Cir H-16
- Avocado La M-25
- Azalea Cir Z-34
- Azalea St M-16
- Azimuth Way
- Babbitt Dr C-17
- Bachelor G-17
- Bachman St G-17
- Backet Ave H-17
- Barham Ave O-18
- Barham Cir W-27
- Barney Ter R-18
- Barry St G-17
- Barry Rd H-18
- Bartholomew St L-14
- Bato S-18
- Barlow St O-18
- Barlow Ave H-17
- Barfield Rd P-18
- Batic St G-17
- Barroco La X-34
- Barrow St R-22
- Barrow Dr R-15
- S-18
- Barrow La X-33
- Barrow St R-22
- Barrow Way X-33
- Barrow Tree Dr O-17
- Barrow Tree St V-25
- Bay Ave G-15
- Barbara Dr P-15

NW NE  
SW SE

STUART

SEWALLS POINT

Martin County  
Golf &  
Country Club

MARINA  
MARTIN

TO WHOM IT MAY CONCERN:

I/We NORBERT H. & JANIS E. ROHL,

the owner/owners of LOT 14, RIVERVIEW SUBDIVISION,  
adjacent to LOT 13, RIVERVIEW SUBDIVISION, TOWN OF SEWALL'S POINT  
owned by ALBERT & PAMELA GARDNER  
have examined the drawings for the proposed project and have  
no objection to the project.

Norbert H. Rohl  
Janis E. Rohl

Notary:

STATE OF FLORIDA

COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, as officer duly  
authorized in the State aforesaid and in the county aforesaid to  
take acknowledgments, personally appeared  
to me known to be the person/persons described in and who executed  
the foregoing instrument and acknowledged before that  
executed the same.

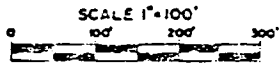
WITNESS my hand and official seal in the County and State last  
aforesaid this 16<sup>th</sup> day of January A.D. 1988.

Shan H. Barrow  
Notary Public,  
my commission expires

# RIVERVIEW SUBDIVISION

BEING A REPLAT OF LOT 26 OF PLAT OF ARBELA, AS RECORDED IN PLAT BOOK 3, PAGE 26, FORMER PALM BEACH COUNTY RECORDS, LYING AND BEING IN SECTION 12, TOWNSHIP 38 SOUTH, RANGE 41 EAST, TOWN OF SEWALL'S POINT, MARTIN COUNTY, FLORIDA.

HUTCHEON ENGINEERS  
INCORPORATED  
WEST PALM BEACH - BELLE GLADE



APRIL 1974

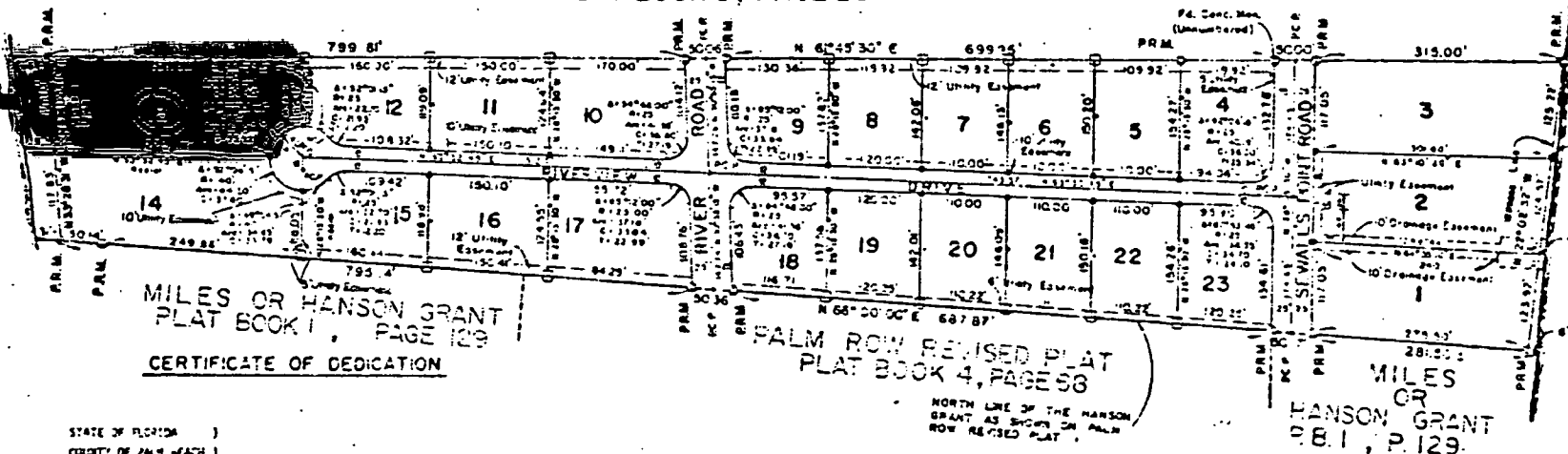
LOT 25 ARBELA  
PLAT BOOK 3, PAGE 29

1. MARTIN B. FRANKS, Clerk of the Circuit Court, Palm Beach County, Florida, hereby certifies that this plat was recorded in Plat Book 3, Page 26, Martin County Public Records, with the City of Seawall, Florida.

LOUIS E. HAY  
Circuit Clerk  
Martin County

FILE NO. 123231

RECORDED



**HITIDE MARINE CONST., INC.**  
- 3191 S.E. Waaler Street  
Stuart, FL 33497  
Ph: (305) 283-9354

NOTE:  
Bearings used are from a true line of Lot 26 of ARBELA, P.B. 3, Palm Beach County Public Records, as being a 28'00" line.  
Lots 1, 2 and 3 are bounded on the east by a highwater line of the Indian River. Lots 12 bounded on the east by the line of the Indian River. All lots shown on this plat were set corners to them and an original survey of the same.

STATE OF FLORIDA )  
COUNTY OF PALM BEACH )

DOOM ALL MEN BY THESE PRESENTS THAT SEWELL SECURITIES CORPORATION, a corporation organized and existing under the State of Delaware and duly authorized to transact business in the State of Florida, the owner of the tract of land lying and being in Martin County, Florida, and more particularly described as follows:

Lot 26 of ARBELA, a subdivision of lands now in the title of Sewall's Point, as recorded in Plat Book 3, at page 29, Public Records of Palm Beach County, Florida, said lands then being in Palm Beach County, and lying and being in Section 12, Township 38 South, Range 41 East, and presently in the Town of Sewall's Point, Martin County, Florida.

Has caused the same to be surveyed and platted as shown herein and named RIVERVIEW SUBDIVISION, and does hereby certify to the perpetual use of the public as public highways, the streets shown thereon as Riverway Drive, River East and Sewall's Point Road, together with, and also, its successors, assigns or legal representatives, the reversion or reversioners of the same of Riverway Drive and River Road, upon the same shall be determined by the Public or as determined by law, the utility easements as shown in this plat of Riverview Subdivision may be used for utility purposes by any utility in compliance with such ordinances and regulations as may be adopted from time to time by the Board of Town Law Officers of Sewall's Point. The drainage easement as shown in this plat shall exist for the drainage of surface water to and into the Indian River.

IN WITNESS WHEREOF, it has caused these presents to be signed by its Vice-President, attested by its Assistant Secretary, and its Corporation Seal to be hereunto set, and with the authority of its Board of Directors, this 3 day of FEBRUARY, 1974.

### ACKNOWLEDGEMENT

STATE OF FLORIDA )  
COUNTY OF PALM BEACH )

I HEREBY CERTIFY that on this day personally appearing before me, an officer duly authorized to administer oaths and take acknowledgments, and MARTIN B. FRANKS, Clerk of the Circuit Court and County Secretary, respectively, of SEWELL SECURITIES CORPORATION, upon whom and whom to be the validly made described in and who executed the foregoing plat and affidavits, and that they acknowledged before me that they executed the same and having to the same to their officers of said corporation by and with the authority of the Board of Directors of said corporation for the purposes therein expressed and that their act and deed was the act and deed of the said corporation.

WITNESS my hand and seal at Palm Beach, Palm Beach County, Florida, this 3 day of FEBRUARY, 1974.

*Martin B. Franks*  
Clerk of the Circuit Court  
of Palm Beach County

By *[Signature]*  
Assistant Secretary

### SURVEYOR'S CERTIFICATE

I, MARTIN B. FRANKS, do hereby certify that I am a duly qualified and acting Land Surveyor, having Florida Surveyor Registration No. 5411; I further certify that the plat of Riverview Subdivision is a true and correct representation of the land surveyed; that the survey was made under my personal supervision and supervision, and that the survey data used in all of the requirements of Chapter 177, Florida Statutes. I further certify that the amount of surface water shown on the plat to exist have been duly set.

Date of Survey: April 1974

*[Signature]*  
Florida Surveyor Registration No. 5411

Official Seal

### APPROVAL OF TOWN OF SEWALL'S

Witness my hand and seal this 3 day of FEBRUARY, 1974.

*[Signature]*

*[Signature]*

SEWELL SECURITIES CORPORATION

BY: *[Signature]*  
Assistant Secretary

BY: *[Signature]*  
Vice President

VERIFY LOCATION OF 503 GALLON  
UNDERGROUND DIESEL FUEL TANK  
W/ OWNER

1715.  
TREE

ST. LUCIE  
RIVER

NOTE: No  
MANHOLES  
IN DOCK  
AREA.

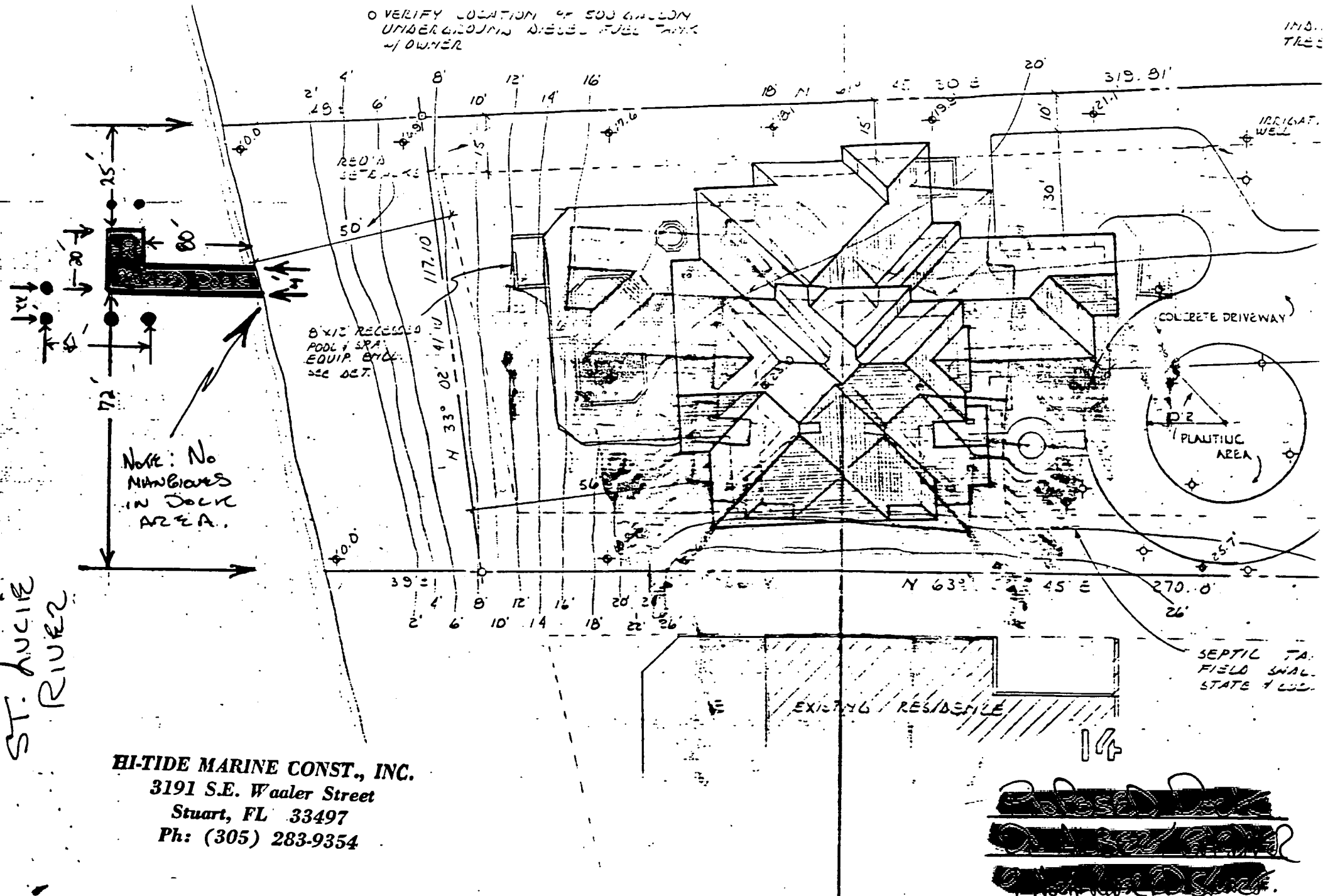
8'x12' RECESSED  
POOL & SPA  
EQUIP. BLDG.  
SEE DET.

EXISTING RESIDENCE

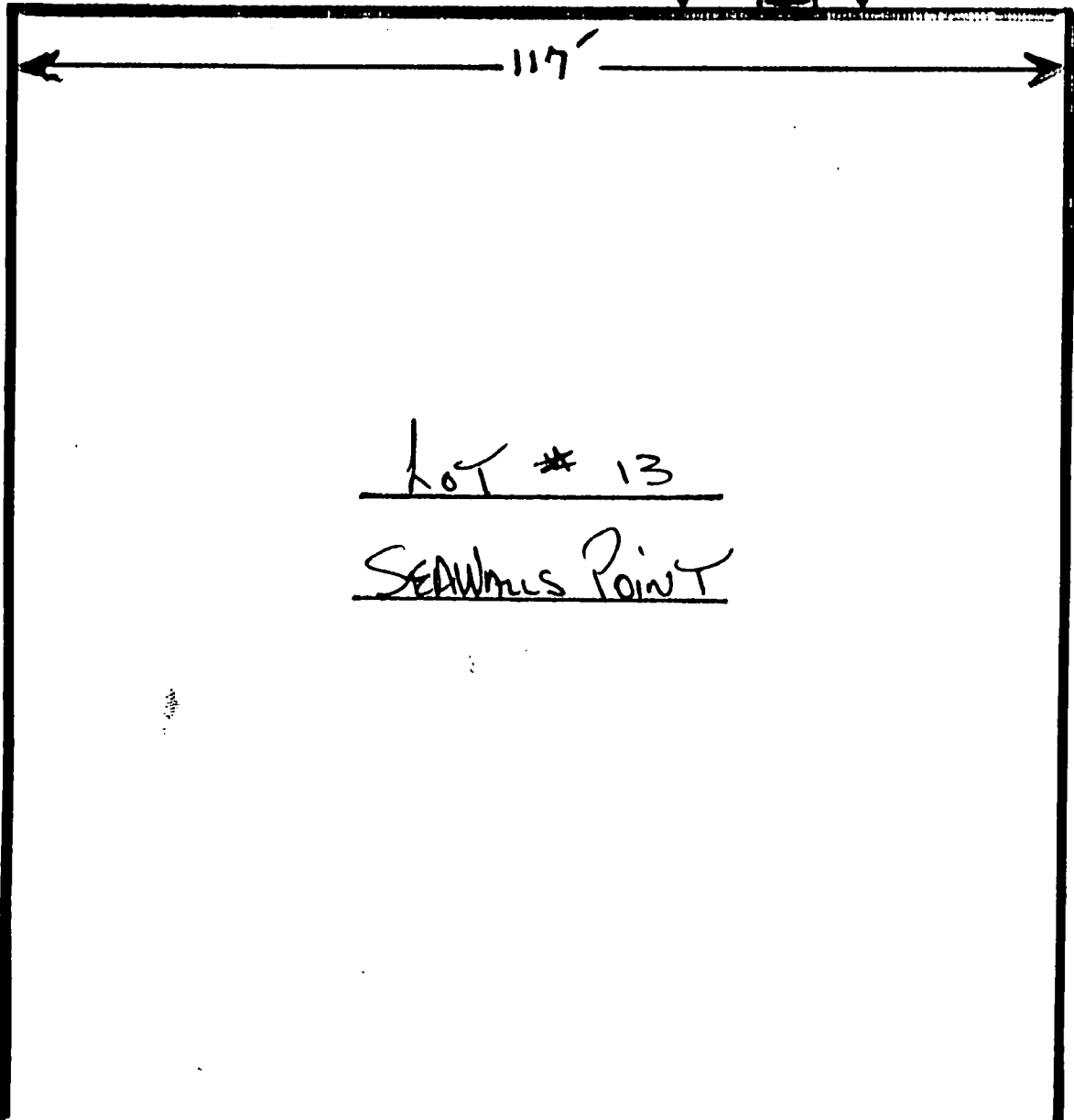
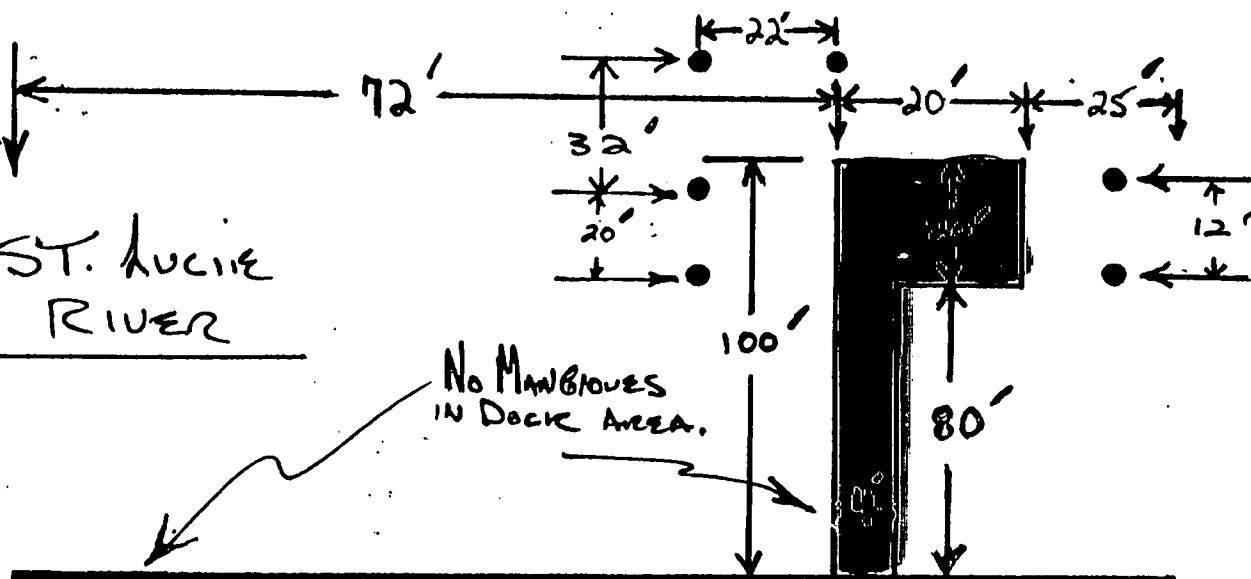
SEPTIC TA.  
FIELD SWAL.  
STATE 4 LUG.

**HI-TIDE MARINE CONST., INC.**  
3191 S.E. Waler Street  
Stuart, FL 33497  
Ph: (305) 283-9354

~~XXXXXXXXXXXXXXXXXXXX~~  
~~XXXXXXXXXXXXXXXXXXXX~~  
~~XXXXXXXXXXXXXXXXXXXX~~  
~~XXXXXXXXXXXXXXXXXXXX~~  
Nov 18/87 DWG. BY J. J. J. J.



ST. LUCIE RIVER



LOT # 13  
SEAWALLS POINT

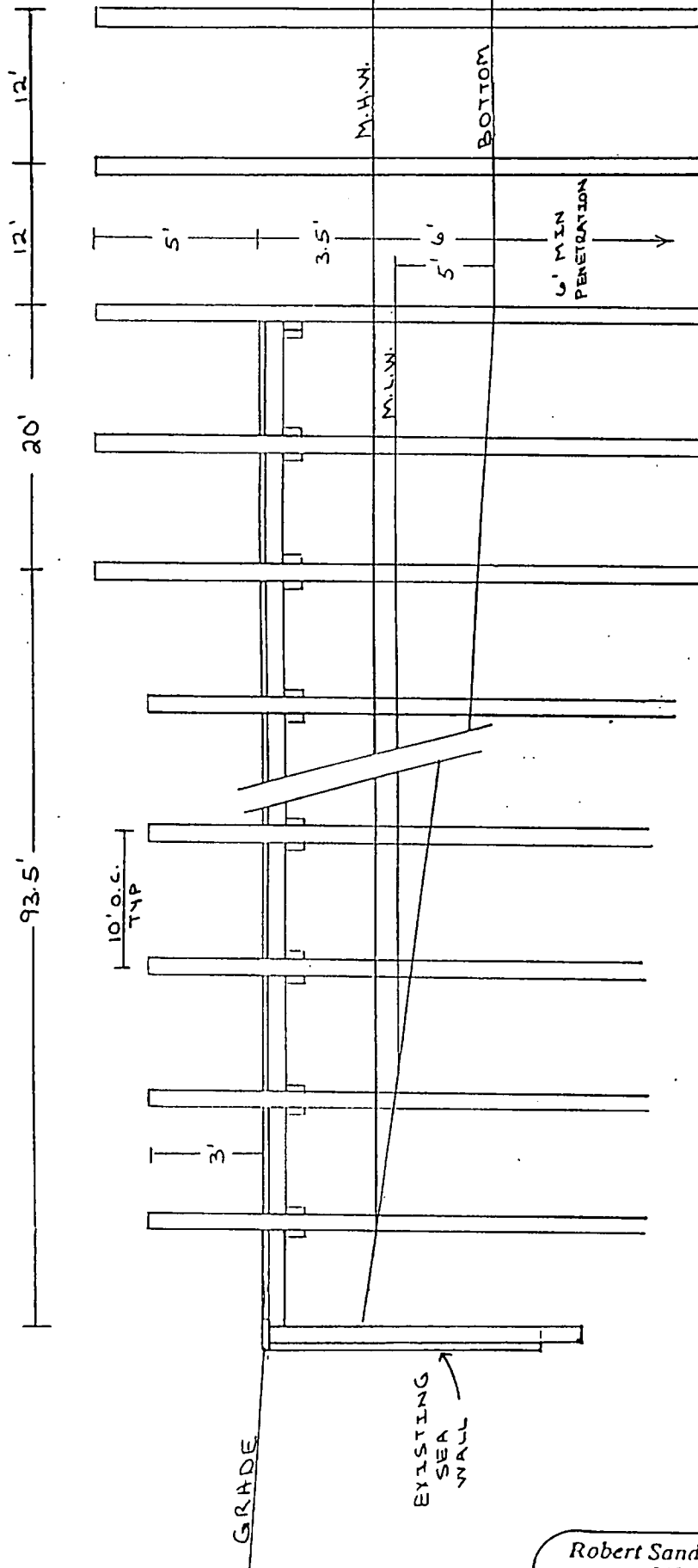
HILTI-MARINE CONST., INC.  
3191 S.E. Wauler Street  
Stuart, FL 33497  
Ph: (305) 283-9354

~~DR. ...~~  
~~...~~  
~~...~~  
~~...~~





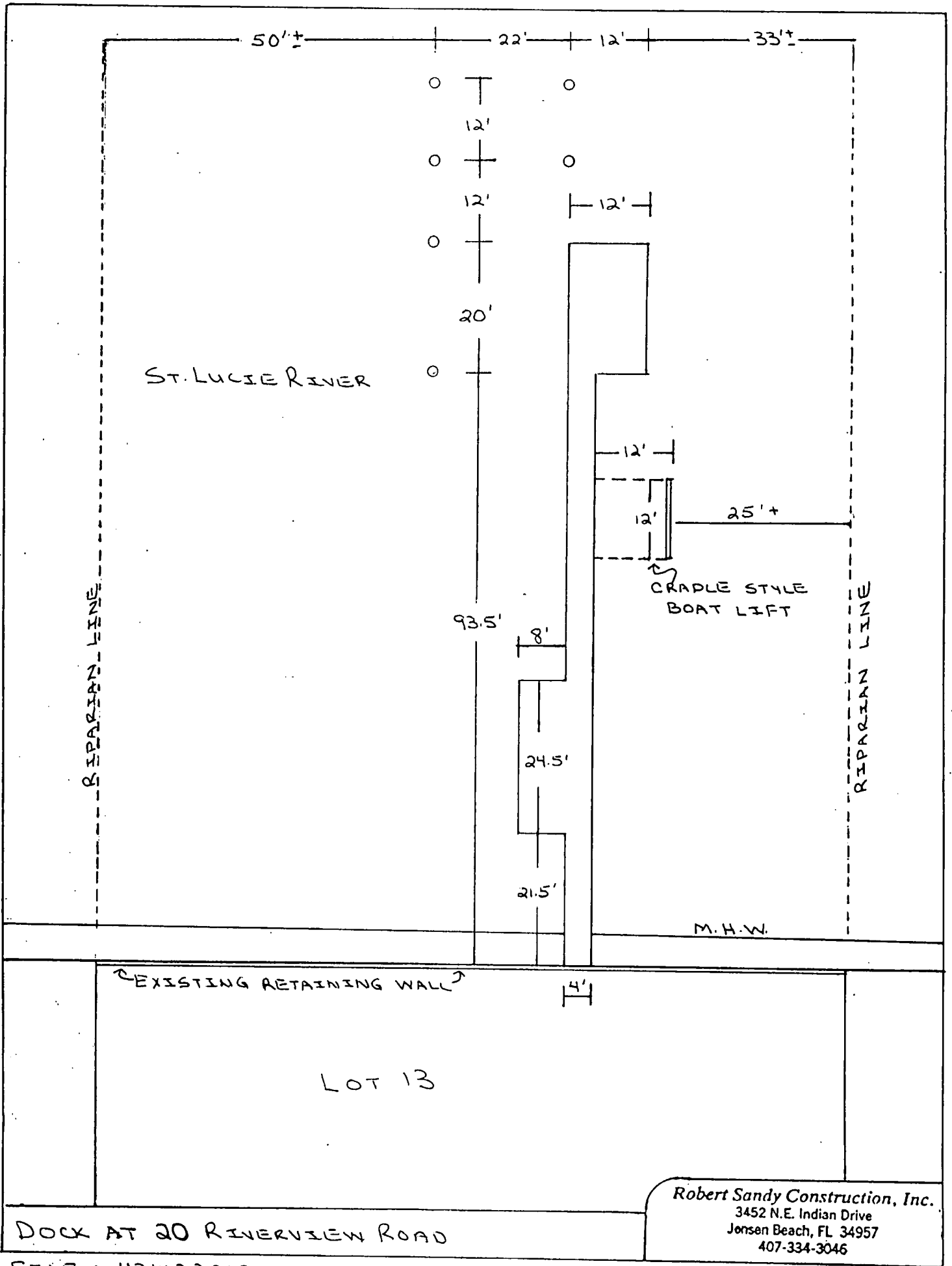
SIDE VIEW



NOT TO SCALE

PROPOSED DOCK FOR GARDNER AT:  
20 RIVERVIEW DRIVE, SEWALLS POINT

Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jonson Beach, FL 34957  
407-334-3046



**2546**

**RETAINING**

**WALL**

Permit No. # 2546

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Albert E Gardner Present Address 20 River View Drive

Phone 287 5919

Contractor Owner Builder Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RETAINING WALL Along Lower Level of

property adjacent to water ABOVE High Mean Tide

State the street address at which the proposed structure will be built: 20 River View Dr Sewalls Pt Street Fl 34996

Subdivision Riverview Lot number 13 Block number 10A

Contract price \$ 3,925.00 Cost of permit \$ 20XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Owner Builder

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Albert E Gardner

TOWN RECORD Approved: Dale Brown 5/12/89  
Building Inspector Date

Date submitted \_\_\_\_\_

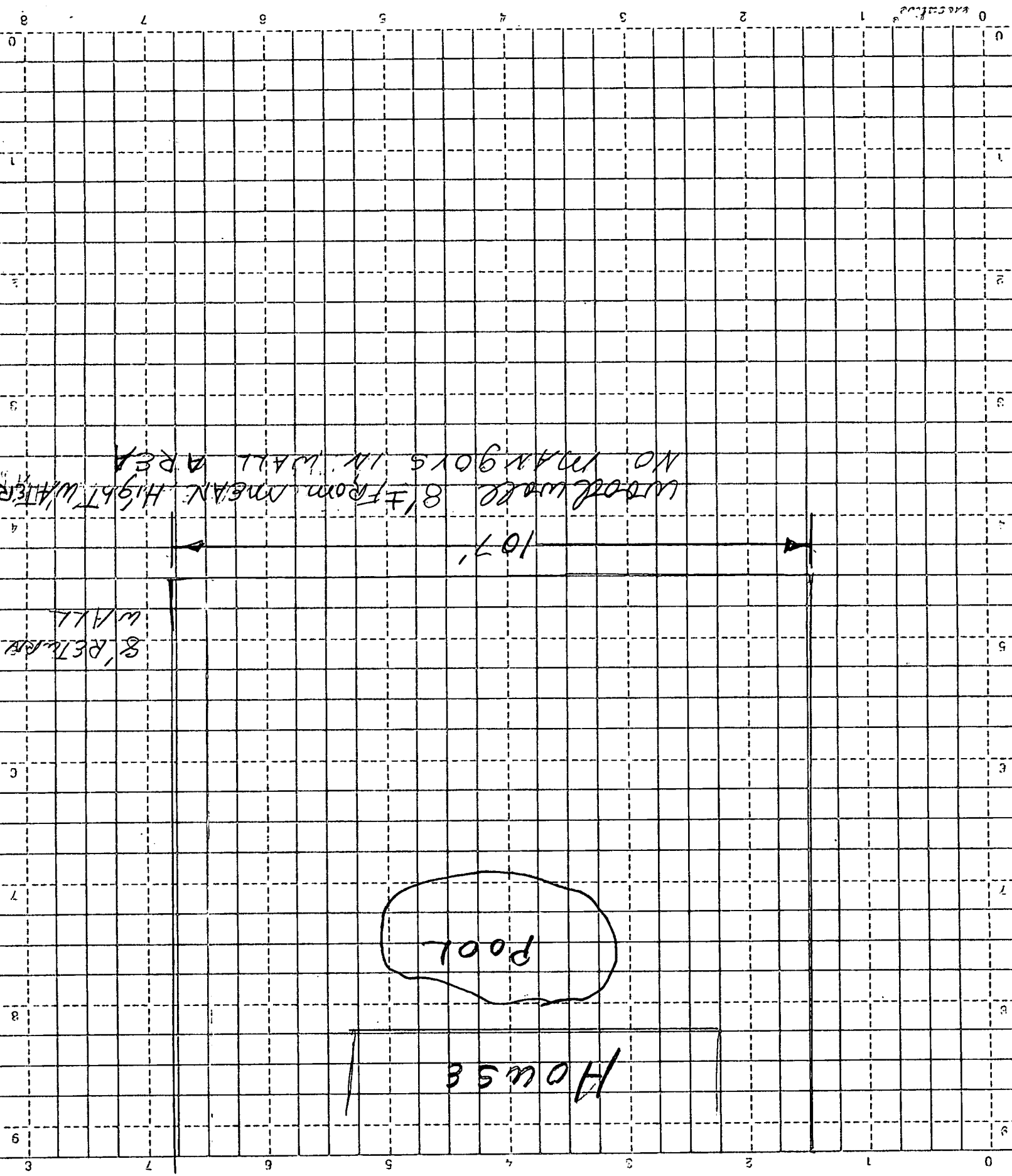
Approved: \_\_\_\_\_ Commissioner Date Final Approval given: \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. # 2546

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



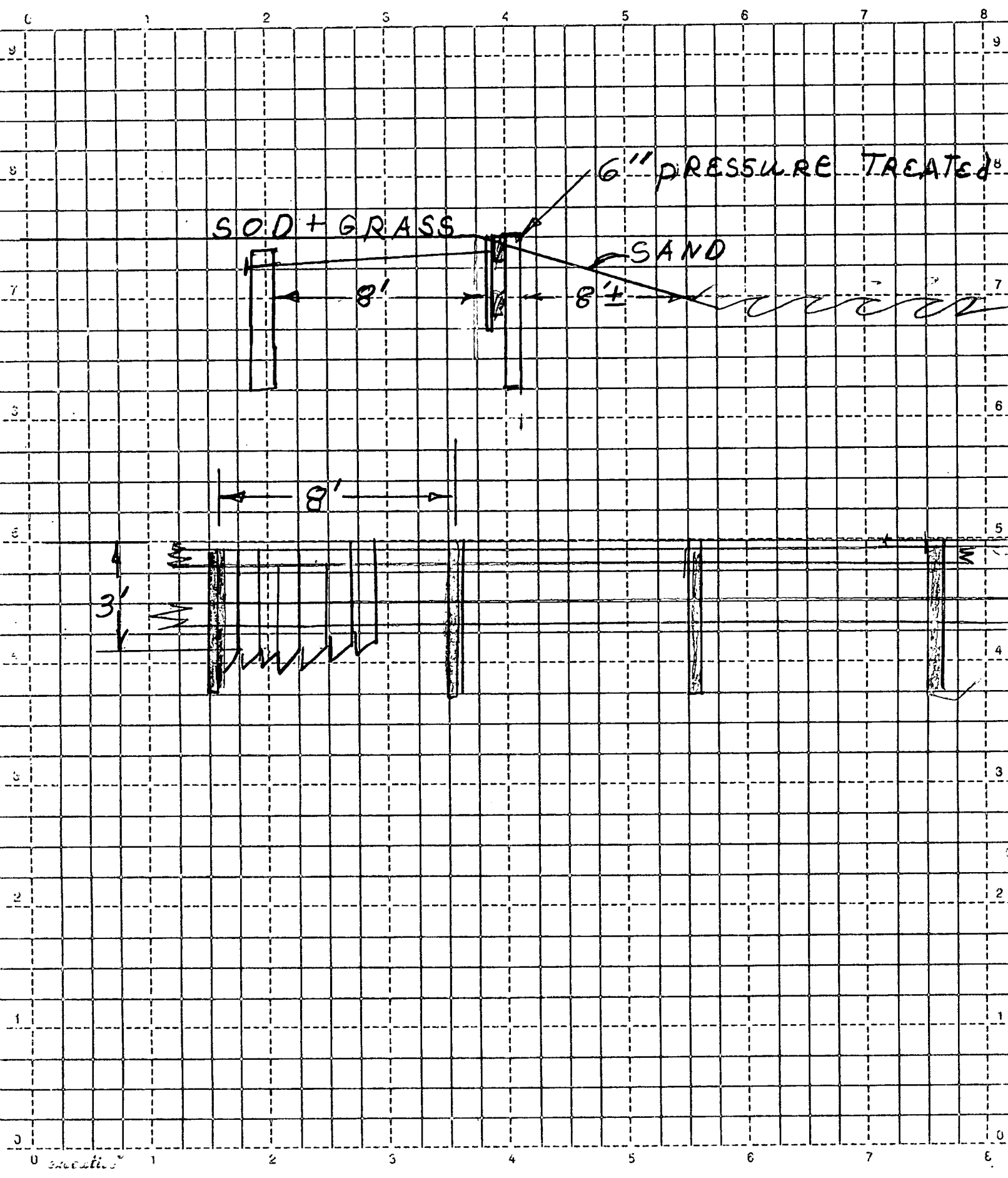
108 = 5' 5-9-89  
LATE

Dr. Norman  
Wood wall

SCALE  
NO.

PREPARED BY  
D/F - 8/11

# cross section wool wall



**3341**

**DOCK**

Permit No. \_\_\_\_\_

TOWN OF SEWALL'S POINT

Date 2-26-93

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Albert Gardner Present Address 20 Riverview Road

Phone \_\_\_\_\_ Sewall's Point

Contractor Robert Sandy Construction, Inc. Address 3452 NE Indian Drive

Phone 407-334-3046 Jensen Beach, FL 34957

Where licensed State of Florida License number CGCO40310

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Construction of a 93.5' X 4' access pier terminating in a 20' X 12' L-shaped platform, with a 24.5' X 8' platform on the south side and a boatlift on the north side.

State the street address at which the proposed structure will be built:

20 Riverview Road

Subdivision Riverview Lot number 13 Block number \_\_\_\_\_

Contract price \$ N/A Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Robert J. Swaff

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Albert E. Gardner

TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 2/26/93

Building Inspector \_\_\_\_\_ Date

Approved: [Signature] 2/26/93 Final Approval given: \_\_\_\_\_ Date

Commissioner

Date

Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

SP1282

Permit No. \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida





DEPARTMENT OF THE ARMY  
TAMPA REGULATORY FIELD OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS  
P. O. BOX 19247  
TAMPA, FLORIDA 33686-9247

REPLY TO  
ATTENTION OF

February 4, 1993

Tampa Regulatory  
Field Office  
199340176  
SAJ20

Dr. Albert Gardner  
c/o Robert Sandy Construction, Inc.  
3452 NE Indian Drive  
Jensen Beach, Florida 34957

Dear Applicant:

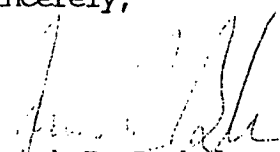
Reference is made to your joint permit application received January 22, 1993, and additional information received February 3, 1993, requesting authorization to construct 137.5' waterward structure consisting of: a 93.5'x4' access pier terminating in a 20'x12' L-shaped platform, instal 6 six mooring pilings, construct a platform 24.5'x8' on the south side of access pier and a 12'x12' boatlift on the north side of the access pier in accordance with the enclosed plans in the St Lucie River at Section 012, Township 38S, Range 41W, Martin County, Florida.

Your proposed work as described above is authorized by General Permit SAJ20, a copy of which is attached for your information and use. You are authorized to proceed with construction subject to all conditions of the permit.

If the work authorized herein is not completed by November 1, 1993, no further work may be undertaken and you should contact this office. A determination of the status of the General Permit will be made and you will be advised. If the General Permit has been reissued with no substantive change(s), a request for an extension of your previous authorization will be considered. If the General Permit has not been reissued or was reissued with new conditions, a new application and drawings may need to be submitted.

Thank you for your cooperation with the permit program.

Sincerely,

  
Joseph R. Bachelier  
Chief, Tampa Regulatory  
Field Office

Enclosures

NOV 1 1988

## GENERAL PERMIT WJ-20

## PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

## SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.

2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.

3. No structures shall be authorized by the general permit in:

a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.

b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).

c. Faka Union Canal in Collier County.

4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.

5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.

6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1821) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).

7. The permittee agrees the contractor shall keep a log detailing sitings, collisions, or injury to manatees which have occurred during the contract period.

8. The permittee agrees that following project completion, a report summarizing the above incidents will be submitted to the Chief, Regulatory Division, Jacksonville District, Corps of Engineers, (P.O. Box 4970, Jacksonville, Florida 32232) and the U.S. Fish and Wildlife Service (3100 University Boulevard South, Suite 120, Jacksonville, Florida 32216-2732).

9. The permittee agrees all vessels associated with the project will operate at "no-wake" speeds at all times while in water where the draft of the vessel provides less than 3 feet clearance from the bottom and that vessels would follow routes of deep water to the maximum extent practicable.

10. The permittee agrees to establish and maintain a permanent educational display at a prominent location of all commercial facilities to increase the awareness of boat operators using the facility, of the presence of manatees, and need to minimize the threat of boats to these animals. The display should include information on the location of the facility with respect to boat speed zones in the area, the threat which boats pose to manatees, the manatee "hotline" number (1-800-342-1821), and other information which may aid in the conservation of the species. The permittee agrees to install and maintain a minimum of one (1) manatee awareness sign on the docks within the facility.

11. Where multiple slip facilities are authorized, the dock must be clumped to minimize shoreline disruption.

12. In the Intracoastal and Okeechobee Waterways, no structure, including mooring piles, authorized under this general permit, will be within 100 feet of the near-bottom edge of the channel unless it is a 5-foot marginal pier.

13. No living, fueling, or storage facilities over navigable waters of the United States are authorized under this general permit.

14. The structure shall not adversely affect or disturb properties listed as eligible for inclusion in the National Register of Historic Places.

15. No structures shall be authorized by this general permit on the following environmentally sensitive areas identified in the Wild and Scenic Rivers Act (16 U.S.C. 1371, et seq.): The Northwest Fork of the Loxahatchee River; and that portion of the Myakka River within the Myakka River State Park. These activities shall require an individual permit.

16. Authorization is contingent upon the issuance of permits from the Florida Department of Environmental Regulation and the Department of Natural Resources as appropriate.

17. A structure authorized under this general permit must not interfere with general navigation.

18. A structure which by its size or location may adversely affect water quality, fish and wildlife habitat, or photosynthetic processes will not be authorized under this general permit.

19. No work shall be performed until after notification of the owner or operator of any marked utilities in the area of the structure.

20. This general permit will be valid until suspended or revoked by issuance of a public notice by the District Engineer. Reviews will be conducted to determine if continuance of the permit is not contrary to the public interest.

21. Conformance with the description contained herein does not necessarily guarantee authorization under this general permit.

22. The District Engineer reserves the right to require that any request for authorization under this general permit be processed as an individual permit.

23. The General Conditions attached hereto are made a part of this permit (Atch 1).

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



Robert L. Herndon  
Colonel, U.S. Army  
District Engineer

SAJRD  
GENERAL PERMIT

GENERAL CONDITIONS

a. That all activities identified and authorized herein shall be consistent with the terms and conditions of this permit; and that any activities not specifically identified and authorized herein shall constitute a violation of the terms and conditions of this permit which may result in the modification, suspension or revocation of this permit, in whole or in part, as set forth more specifically in General Condition j hereto, and in the institution of such legal proceedings as the United States Government may consider appropriate, whether or not this permit has been previously modified, suspended, or revoked in whole or in part.

b. That all activities authorized herein shall, if they involve a discharge or deposit into navigable waters or ocean waters, be at all times consistent with applicable water quality standards, effluent limitations and standards of performance, prohibitions, and pretreatment standards established pursuant to Sections 301, 302, 306, and 307 of the Federal Water Pollution Control Act of 1972 (P.L. 92-500; 86 Stat. 816), or pursuant to applicable State and local law.

c. That when the activity authorized herein involves a discharge or deposit of dredged or fill material into navigable waters, the authorized activity shall, if applicable water quality standards are revised or modified during the term of this permit, be modified if necessary, to conform with such revised or modified water quality standards within 6 months of the effective date of any revision or modification of water quality standards, or as directed by an implementation plan contained in such revised or modified standards, or within such longer period of time as the District Engineer, in consultation with the Regional Administrator of the Environmental Protection Agency, may determine to be reasonable under the circumstances.

d. That the permittee agrees to make every reasonable effort to prosecute the construction or work authorized herein in a manner so as to minimize any adverse impact of the construction or work on fish, wildlife, and natural environmental values.

e. That the permittee(s) agree to prosecute the construction or work authorized herein in a manner so as to minimize any degradation of water quality.

f. That the permittee shall permit the District Engineer or his authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein.

SAJRD  
GENERAL PERMIT

g. That the permittee shall maintain the structure or work authorized herein in good condition and in accordance with the plans and drawings that are approved.

h. That this permit does not convey any property rights, either in real estate or material, or any exclusive privileges; and that it does not authorize any injury to property or invasion of rights or any infringement of Federal, State, or local laws or regulations, nor does it obviate the requirement to obtain State or local assent required by law for the activity authorized herein.

i. That this permit does not authorize the interference with any existing or proposed Federal project and that the permittee shall not be entitled to compensation for damage or injury to the structures or work authorized herein which may be caused by or result from existing or future operations undertaken by the United States in the public interest.

j. That this permit may be either modified, suspended, or revoked in whole or in part if the Secretary of the Army or his authorized representative determines that there has been a violation of any of the terms or conditions of this permit or that such action would otherwise be in the public interest.

k. That in issuing approval to perform work under this permit the Government has relied on the information and data which the permittee has provided in connection with his application. If, subsequent to the issuance of approval, such information and data prove to be false, incomplete, or inaccurate, this permit may be modified, suspended, or revoked, in whole or in part and/or the Government may, in addition, institute appropriate legal proceedings.

l. That any modification, suspension, or revocation of this permit shall not be the basis for any claim for damages against the United States.

m. That no attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to the activity authorized by this permit.

n. That if the display of lights and signals on any structure or work authorized herein is not otherwise provided for by law, such lights and signals as may be prescribed by the United States Coast Guard shall be installed and maintained by and at the expense of the permittee.

o. That this permit does not authorize or approve the construction of particular structures, the authorization or approval of which may require authorization by the Congress or other agencies of the Federal Government.

SAJRD  
GENERAL PERMIT

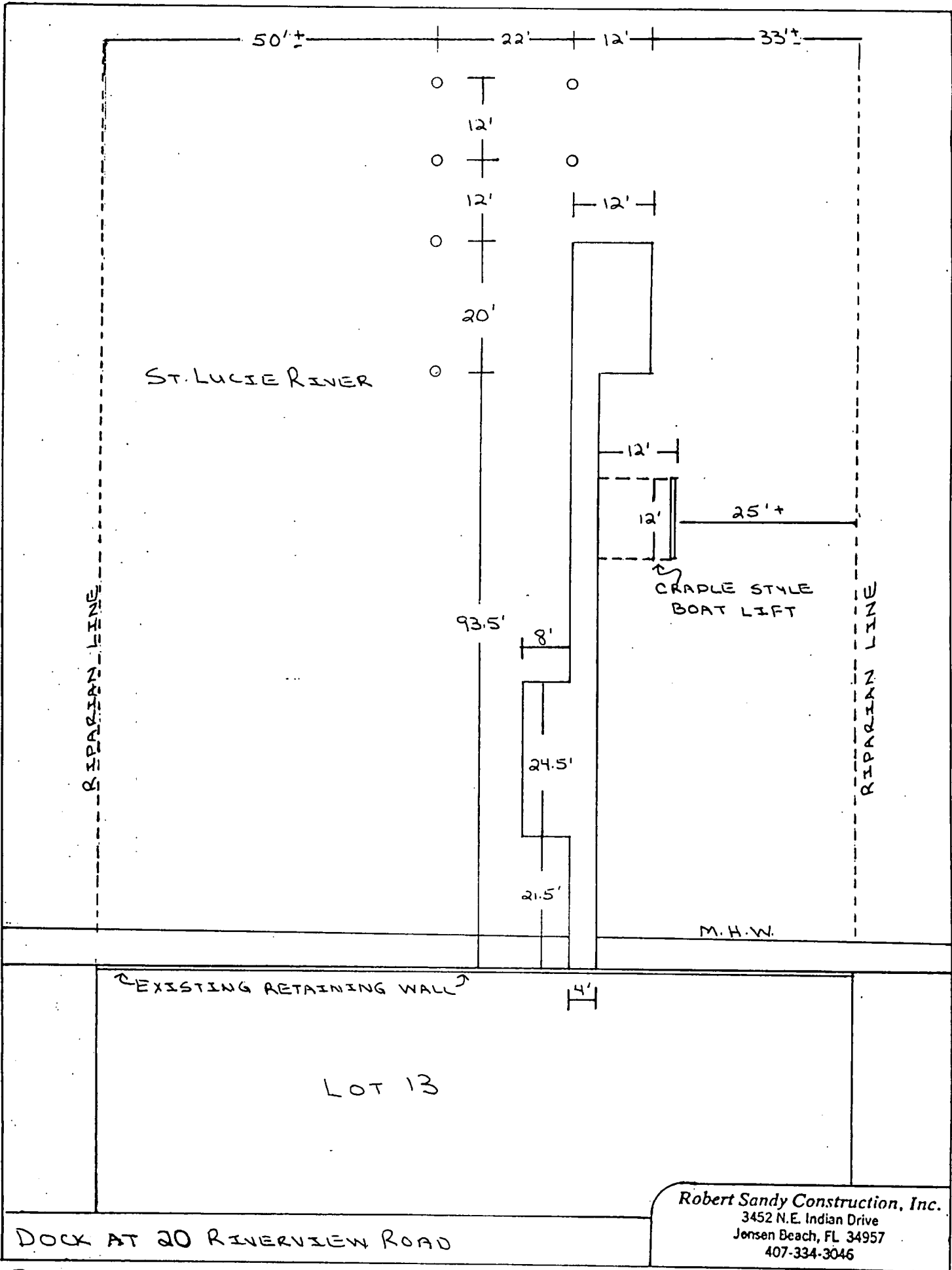
p. That if and when the permittee desires to abandon the activity authorized herein, unless such abandonment is part of a transfer procedure by which the permittee is transferring his interests herein to a third party pursuant to General Conditions hereof, he must restore the area to a condition satisfactory to the District Engineer.

q. That if the recording of this permit is possible under applicable State or local law, the permittee shall take such action as may be necessary to record this permit with the Registrar of Deeds or other appropriate official charged with the responsibility for maintaining records of title to and interests in real property.

r. That there shall be no unreasonable interference with navigation by the existence or use of the activity authorized herein.

s. That authorization under this permit may not be transferred to a third party without prior written notice to the District Engineer by the transferee's written agreement to comply with all terms and conditions of this permit. In addition, if the permittee transfers the interests authorized herein by conveyance of realty, the deed shall reference this permit and the terms and conditions specified herein and this permit shall be recorded along with the deed with the Registrar of Deeds or other appropriate official if law permits.

t. The term "permittee" means the party or parties authorized by the District Engineer to accomplish work under this general permit.



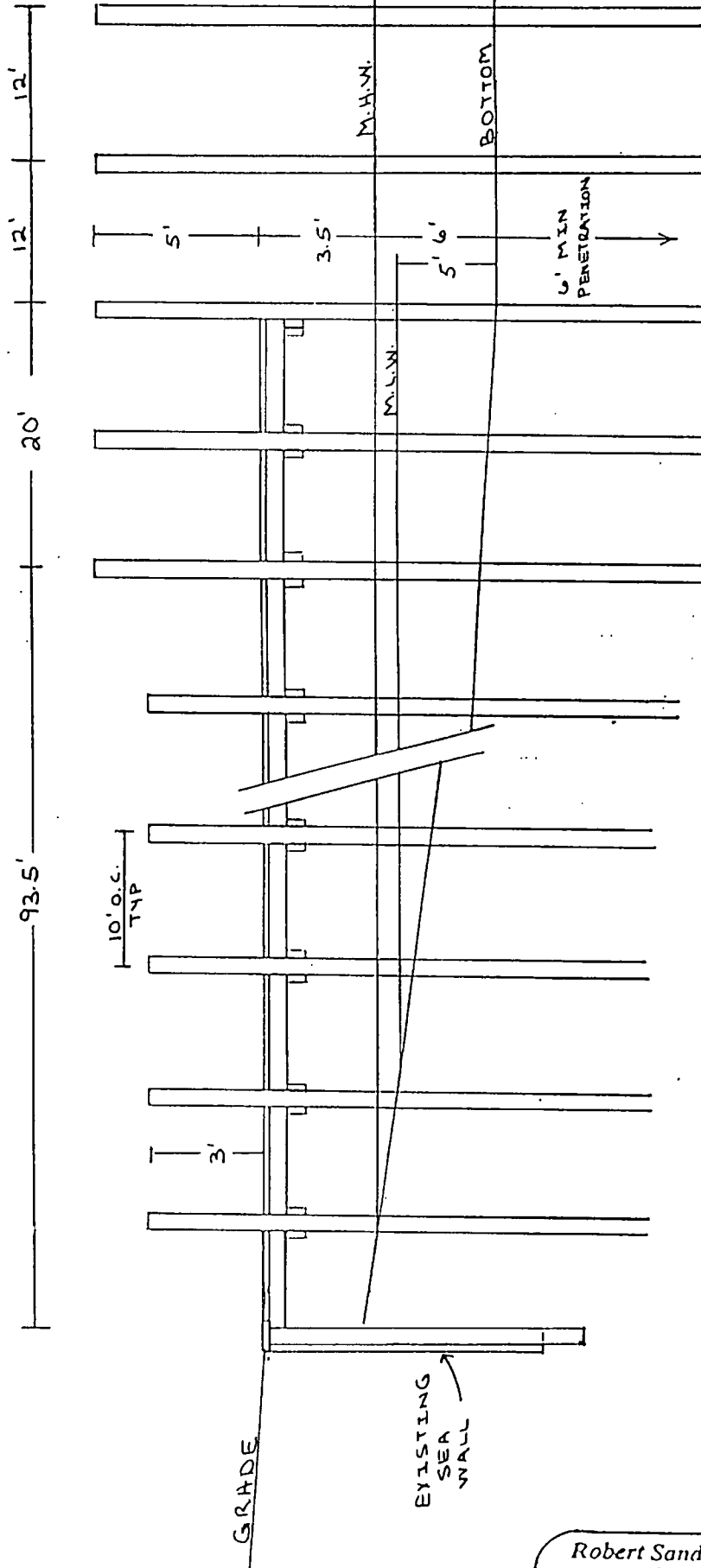
Robert Sandy Construction, Inc.  
 3452 N.E. Indian Drive  
 Jensen Beach, FL 34957  
 407-334-3046

DOCK AT 20 RIVERVIEW ROAD

FILE # 431422018



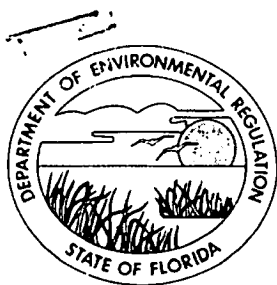
SIDE VIEW



NOT TO SCALE

PROPOSED DOCK FOR GARDNER AT:  
20 RIVERVIEW DRIVE, SEWALLS POINT

Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jensen Beach, FL 34957  
407-334-3046



# Florida Department of Environmental Regulation

Southeast District Branch Office

1801 S.E. Hillmoor, Suite C204

Port St. Lucie, FL 34952

Lawton Chiles, Governor

Carol M. Browner, Secretary

DEC 28 1992

Dr. Albert Gardner  
c/o Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jensen Beach, Florida 34957

Re: File No. 432230448  
County: Martin

Dear Mr. Sandy:

This letter is in response to your application/letter received on December 31, 1992 copy enclosed, to:

Construct an 810 sq. ft. private dock that consists of a 93.5' X 4' access pier terminating in a 20' long X 12' wide L-shaped platform. A 24.5' X 8' platform will be constructed on the south side of the access pier and a boatlift on the north side of the access pier. This project is located at 20 Riverview Road, St. Lucie River, Class III waters, Section 12, Township 38 South, Range 41 East, Sewall's Point, Martin County.

The Department has reviewed the submitted information. Based solely upon the documents submitted to the Department, the project has been determined to qualify as an activity which is exempt from the need for a wetland resource permit pursuant to Rule 17-312.050(1)(d), F.A.C.

This determination is applicable only pursuant to the statutes and rules in effect at the time the application/letter was submitted. This determination may not be valid in the event subsequent changes occur in the applicable statutes and rules of the Department. Activities which qualify for this exemption must be constructed and operated using appropriate best management practices and in a manner which does not cause water quality violations, pursuant to Rule 17-302, F.A.C.

In the event that any of the activities qualifying for this exemption occur on sovereign submerged lands that are not in whole or in part within the boundaries of an aquatic preserve, Monroe County or contiguous to an unbridged, undeveloped coastal barrier island as defined by chapter 18-21, F.A.C., this exemption shall constitute authorization from the Board of Trustees pursuant to a Memorandum of Agreement entered into on November 23, 1992. As such, no additional authorization will be required from the Division of State Lands of the Department of Natural Resources for those specific activities qualifying for this exemption. However, a permit may be required from the Division of Beaches and Shores of the Department of Natural Resources. Any project located in whole or in part in an aquatic preserve, Monroe County or contiguous to an unbridged, undeveloped coastal barrier island must receive authorization from the Division of State Lands.

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Dr. Albert Gardner  
File No. 432230448  
Page Two

The determination that your project qualifies as an exempt activity pursuant to Rule 17-312.050(1)(d), F.A.C. may be revoked if the installation is substantially modified, or if the basis for the exemption is determined to be materially incorrect, or if the installation results in water quality violations. Any changes made in the construction plans or location of the project may necessitate a permit or certification from the Department. Therefore, you are advised to contact the Department before beginning the project and before beginning any work in waters or wetlands which is not specifically described in your submittal.

A person whose substantial interest are affected by the Department's action may petition for an administrative proceeding (hearing) in accordance with Section 120.57, F.S. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400. Petitions filed by the permittee and the parties listed below must be filed within 14 days of receipt of this letter. Petitioner shall mail a copy of the petition to the permittee at the address indicated above at the time of filing. Failure to file a petition within this time period shall constitute a waiver of any right such person may have to request an administrative determination (hearing) under Section 120.57, F.S.

The Petition shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the permittee's name and address, the Department permit file number and the county in which the project is proposed;
- (b) A statement of how and when each petitioner received notice of the Department's action or proposed action;
- (c) A statement of how each petitioner's substantial interests are affected by the Department's action; or proposed action;
- (d) A statement of the material facts disputed by petitioner, if any;
- (e) A statement of facts which petitioner contends warrant reversal or modification of the Department's action or proposed action;

DEC 28 1992

Dr. Albert Gardner  
File No. 432230448  
Page Three

- (f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and
- (g) A statement of the relief sought by petitioner, stating precisely the action petitioner wants the Department to take with respect to the Department's action or proposed action.

If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this letter. Persons whose substantial interests will be affected by any decision of the Department with regard to the permit have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within 14 days of receipt of this notice in the Office of General Counsel at the above address of the Department. Failure to petition within the allowed time frame constitutes a waiver of any right such person has to request a hearing under Section 120.57, F.S., and to participate as a party to this proceeding. Any subsequent intervention will only be at the approval of the presiding officer upon motion filed pursuant to Rule 28-5.207, F.A.C.

This Notice constitutes final agency action unless a petition is filed in accordance with the above paragraphs or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, F.A.C. Upon timely filing of a petition or a request for an extension of time this Notice will not be effective until further Order of the Department.

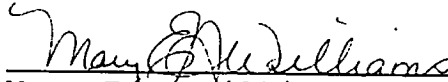
Any party to this letter has the right to seek judicial review of the Order pursuant to Section 120.68, F.S., by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and by filing a copy with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Notice of Exemption is filed with the Clerk of the Department.

DEC 28 1992

Dr. Albert Gardner  
File No. 432230448  
Page Four

This letter does not relieve you from the responsibility of obtaining other permits (federal, State or local) which may be required for the project. If you have any questions concerning this matter, please contact Mary Figueira at (407) 335-4310.

Sincerely,



MESW:mfw

Mary E.S. Williams  
Director of District Management

Enclosure

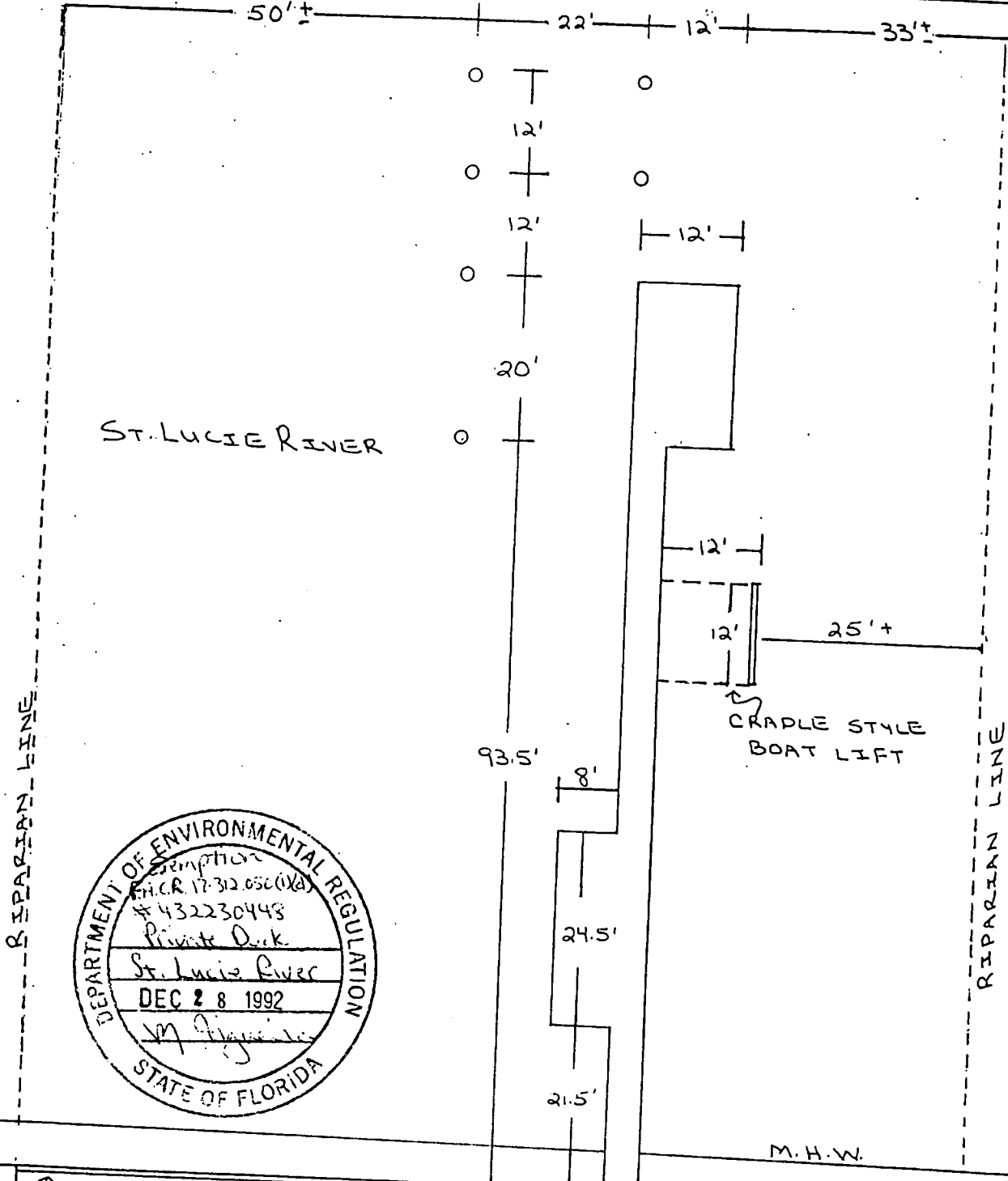
cc: U.S. Army Corps of Engineers w/enclosures  
Leigh O'Shields, DNR, BSLP, Tallahassee w/enclosures

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to 120.52 (9),  
FLorida Statutes, with the designated Department  
Clerk, receipt of which is hereby acknowledged.

Mary L. Skinner  
Clerk

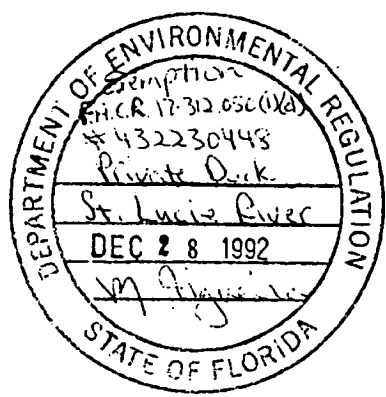
12/28/92  
Date



ST. LUCIE RIVER

RIPARIAN LINE

RIPARIAN LINE



CRADLE STYLE  
BOAT LIFT

M.H.W.

EXISTING RETAINING WALL

LOT 13

DOCK AT 13 RIVERVIEW ROAD

Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jonson Beach, FL 34957  
407-334-3046

FILE # 431422018 - Previously exempt - 12/15/07



DEPARTMENT OF THE ARMY  
TAMPA REGULATORY FIELD OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS  
P. O. BOX 19247  
TAMPA, FLORIDA 33686-9247

REPLY TO  
ATTENTION OF

February 4, 1993

Tampa Regulatory  
Field Office  
199340176  
SAJ20

Dr. Albert Gardner  
c/o Robert Sandy Construction, Inc.  
3452 NE Indian Drive  
Jensen Beach, Florida 34957

Dear Applicant:

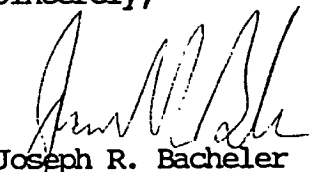
Reference is made to your joint permit application received January 22, 1993, and additional information received February 3, 1993, requesting authorization to construct 137.5' waterward structure consisting of: a 93.5'x4' access pier terminating in a 20'x12' L-shaped platform, instal 6 six mooring pilings, construct a platform 24.5'x8' on the south side of access pier and a 12'x12' boatlift on the north side of the access pier in accordance with the enclosed plans in the St Lucie River at Section 012, Township 38S, Range 41W, Martin County, Florida.

Your proposed work as described above is authorized by General Permit SAJ20, a copy of which is attached for your information and use. You are authorized to proceed with construction subject to all conditions of the permit.

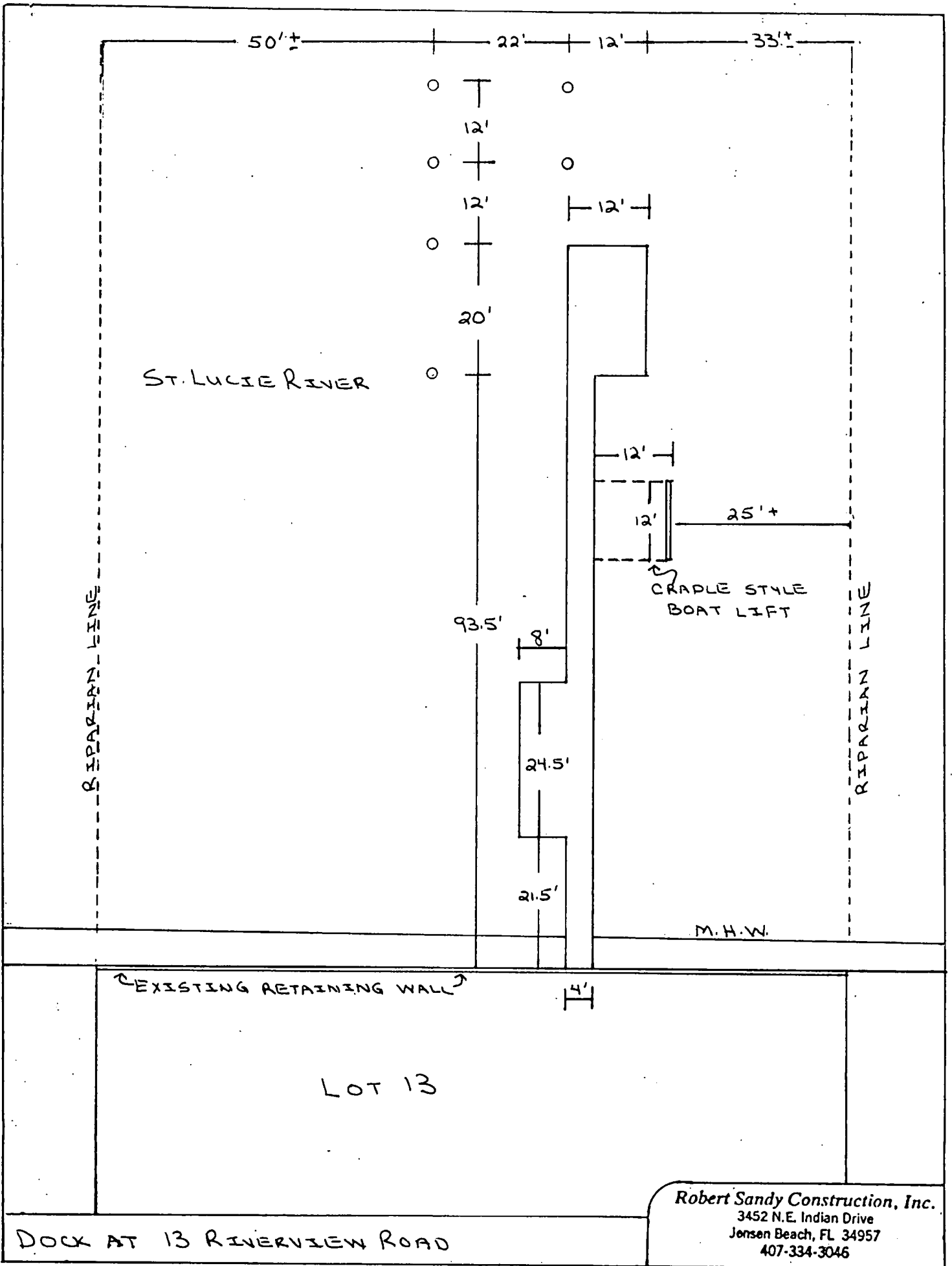
If the work authorized herein is not completed by November 1, 1993, no further work may be undertaken and you should contact this office. A determination of the status of the General Permit will be made and you will be advised. If the General Permit has been reissued with no substantive change(s), a request for an extension of your previous authorization will be considered. If the General Permit has not been reissued or was reissued with new conditions, a new application and drawings may need to be submitted.

Thank you for your cooperation with the permit program.

Sincerely,

  
Joseph R. Bachelier  
Chief, Tampa Regulatory  
Field Office

Enclosures



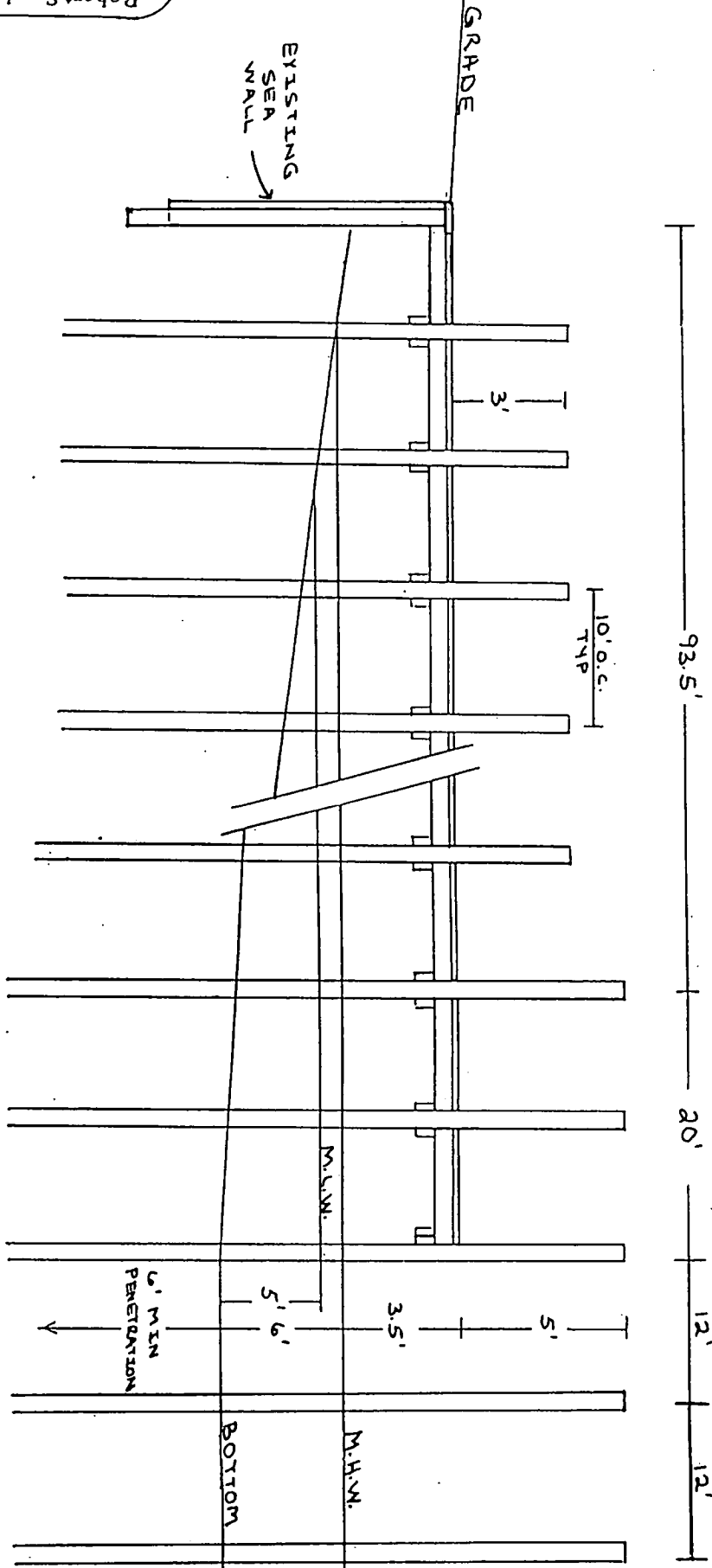
FILE # 431422018



PROPOSED DOCK FOR GARDNER AT:  
20 REVERVIEW DRIVE, SEWALLS POINT

Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jensen Beach, FL 34957  
407-334-3046

SIDE VIEW



NOT TO SCALE

**3769**

**WOOD**

**SEAWALL**

TAX FOLIO NO. \_\_\_\_\_

DATE 3-9-95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. MRS. Michael Dennis Present address 20 River View Drive

Phone 283-6323 Sewalls Pt. Fl. 34996

Contractor Custom Built Marine Const. Inc. Address 3170 S.E. Waaber St.

Phone (407) 288-4254 Stuart, Fl. 34997

Where licensed Martin County SP0118 License number (SP0118) Martin County

Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Replace existing wooden seawall with new wooden seawall.

State the street address at which the proposed structure will be built:

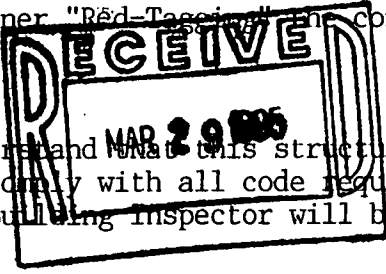
20 River View Drive

Subdivision River View Lot Number 13 Block Number \_\_\_\_\_

Contract price \$ 12,600.00 Cost of permit \$ 104.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor Custom Built Marine, Inc.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Michael Dennis (MD)

TOWN RECORD

Date submitted \_\_\_\_\_

Approved: Dale Brown 3/29/95  
Building Inspector Date

Approved: [Signature]  
Commissioner Date

Final approval given: \_\_\_\_\_  
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

**PRODUCER**

DEAKINS-CARROLL INS AGCY  
P. O. BOX 1597  
PT. SALERNO FL 34992

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

- COMPANY LETTER **A** HARTFORD ACCIDENT & IND
- COMPANY LETTER **B** SCOTTSDALE (CRUMP INS)
- COMPANY LETTER **C**
- COMPANY LETTER **D**
- COMPANY LETTER **E**

**INSURED**

CUSTOM BUILT MARINE  
CONSTRUCTION INC.  
P. O. BOX 3016  
STUART, FL 34995

**COVERAGES**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
B	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR. <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT.	CLS019986	09/30/94	09/30/95	GENERAL AGGREGATE \$ 100,000
					PRODUCTS-COMP/OP AGG. \$ 100,000
					PERSONAL & ADV. INJURY \$ 100,000
					EACH OCCURRENCE \$ 100,000
					FIRE DAMAGE (Any one fire) \$ 50,000
					MED.EXP. (Any one person) \$ 0,000
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY				COMBINED SINGLE LIMIT \$
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$
					AGGREGATE \$
A	<b>WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY</b>	BINDER1674	12/07/94	12/07/95	STATUTORY LIMITS
					EACH ACCIDENT \$ 100,000
					DISEASE-POLICY LIMIT \$ 500,000
					DISEASE-EACH EMPLOYEE \$ 100,000
	OTHER				

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS**

JETTY OR BREAKWATER CONSTRUCTION  
ORIGINAL TO INSURED

**CERTIFICATE HOLDER**

87 CITY OF STUART  
121 SW FLAGLER AVE.  
STUART, FL 34994-2139

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Sewalls Point Building  
FOR Dennis Permit

MARTIN COUNTY  
1994 COUNTY OCCUPATIONAL LICENSE 1995

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE  
SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID.

PENALTY 10% FOR MONTH OF OCTOBER,  
5% ADDITIONAL EACH MONTH THEREAFTER  
AFTER UP TO 25% PLUS COLLECTION COSTS.

LICENSE 34-520-255 CERT SP0111A  
PHONE 07-333-4354 SIC NO. 1629  
LOCATION: 950 COLORADO AVE E 30

00000900 33 52025588 00002100 2

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS  
LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT  
OR PLACE OF BUSINESS.

PREV YR. \$ \_\_\_\_\_ LIC. FEE \$ 9.00  
TRANSFER \$ \_\_\_\_\_ HAZ. WST. \$ 10.00  
DEL. PEN \$ \_\_\_\_\_ COL. FEE \$ 2.00  
SUBTOTAL \$ \_\_\_\_\_ SUBTOTAL \$ 21.00

TOTAL \_\_\_\_\_

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF MARINE CONSTR CONTRAC  
AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

MAKE CHECKS PAYABLE TO:  
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(407) 288-5604

CORRIGAN AND COMPANY  
DBA CUSTOM BUILT MARINE CONST  
P O BOX 3016  
STUART FL 34995

1ST DAY OF OCTOBER 1994 SEC. \_\_\_\_\_  
AND ENDING THE 30TH DAY OF SEPTEMBER 1995

000326 0000002100 002923 0000 09 092594

# NOTICE OF COMMENCEMENT

(PREPARE IN DUPLICATE)

State of Florida  
County of MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) LOT #13 20 RIVERVIEW DRIVE  
SEAWALLS PT. FL. 34996

General description of improvements CONSTRUCT NEW SEAWALL - REBUILD OLD SEAWALL

Owner DR. MRS. MICHAEL DENNIS

Address 20 RIVERVIEW DRIVE SEAWALLS PT., FL. 34996

Owner's interest in site of the improvement OWNER  
Fee Simple Title holder (if other than owner)

Name \_\_\_\_\_

Address \_\_\_\_\_

Contractor CUSTOM BUILT MARINE CONSTRUCTION, INC.

Address 3170 S.E. WAALER ST. STUART, FL. 34997

Surety (if any) \_\_\_\_\_

Address \_\_\_\_\_

Any person making a loan for the construction of the improvements: \_\_\_\_\_

Name \_\_\_\_\_

Address \_\_\_\_\_

Person within the State of Florida designated by owner upon whom notices or other documents may be served: \_\_\_\_\_

Name \_\_\_\_\_

Address \_\_\_\_\_

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (h), Florida Statutes. (Fill in at Owner's option).

Name CUSTOM BUILT MARINE CONSTRUCTION, INC.

Address 3170 S.E. WAALER ST. STUART, FL. 34997

THIS SPACE FOR RECORDER'S USE ONLY

Michael Dennis  
Owner

Sworn to and subscribed before me this \_\_\_\_\_

day of March 1995

Virginia A. Nobles  
Notary Public  
MY COMMISSION EXPIRES  
NOVEMBER 13, 1997  
#CC 329122  
Bonded thru  
Troy Fain-Insurance  
FLORIDA

LAST PAGE

MARSHA STILLER  
CLERK OF CIRCUIT COURT  
MARTIN CO., FL  
01107519

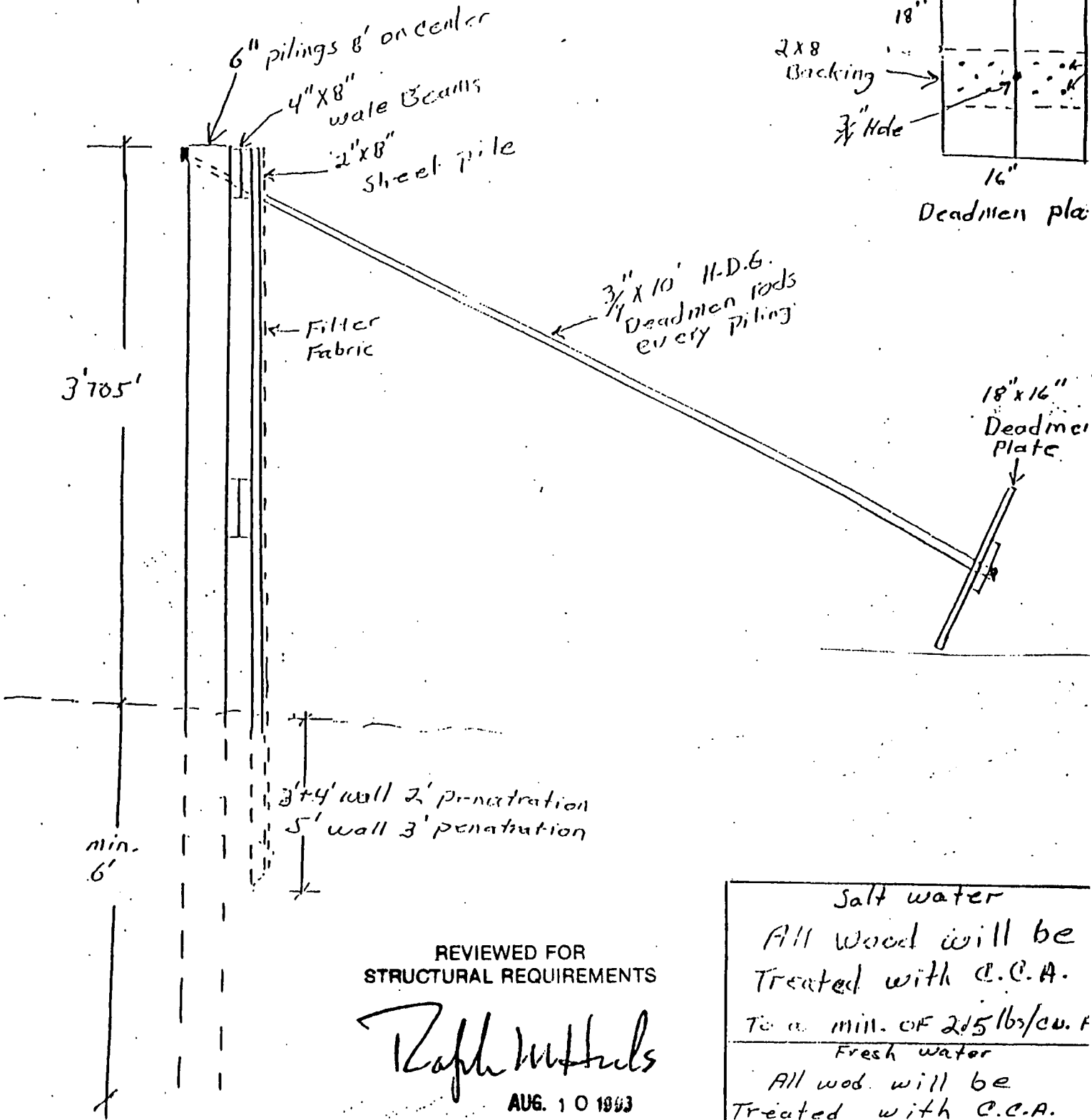
RECORDED & VERIFIED  
BY  
95 MAR 13 AM 9:41

BOAT DOCKS  
BOAT LIFTS  
DECKS • BENCHES  
FISH TABLES

**Custom Built Marine  
Construction, Inc.**  
P.O. Box 3016  
Stuart, Florida 34995  
(407) 288-4254

*Dedicated to Excellence*

EROSION CONTROL  
RETAINING WALLS  
SEAWALLS  
RIP-RAP STONE



REVIEWED FOR  
STRUCTURAL REQUIREMENTS

*Ralph Matthews*  
AUG. 10 1963

Salt water
All wood will be Treated with C.C.A. To a min. of 2.5 lbs/cu. ft
Fresh water
All wood will be Treated with C.C.A. To a min. of .40 lbs/cu. ft.

**3867**

**BEAMS**



TAX FOLIO NO. 1238410010000013010000

DATE 10-01-95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MIKE & MARY DENNIS Present address 20 RIVERVIEW  
Phone \_\_\_\_\_

Contractor FLORIDA'S FINEST CONST. INC. Address P.O. BOX 555 ~~PORT SALERNO, FL~~  
Phone 407 288-1715 PORT SALERNO, FLORIDA 34992

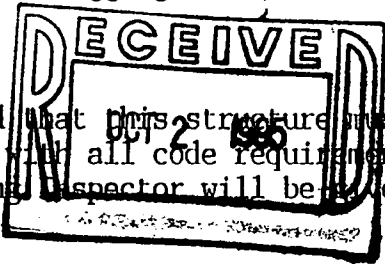
Where licensed STATE CERTIFIED License number LCB 047650  
Electrical Contractor \_\_\_\_\_ License number \_\_\_\_\_  
Plumbing Contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REMOVE AND REPLACE TWO (2) GLUELAM BEAMS  
SUPPORTING SECOND STORY PORCH.

State the street address at which the proposed structure will be built:  
20 RIVERVIEW

Subdivision RIVERVIEW Lot Number 13 Block Number none  
Contract price \$ 8,000.00 Cost of permit \$ 6400  
Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Michael Dennis [Signature]

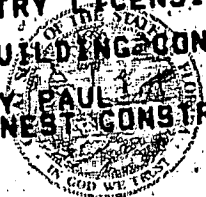
TOWN RECORD

Date submitted \_\_\_\_\_ Approved: Dale Brown 10/2/95  
Building Inspector Date  
Approved: [Signature] Final approval given: 10/6/95  
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) \_\_\_\_\_  
Date

PERMIT NO. \_\_\_\_\_

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD  
 CERTIFIED BUILDING CONTRACTOR  
 KRAEMER, ROY PAUL  
 FLORIDA'S FINEST CONSTRUCTION



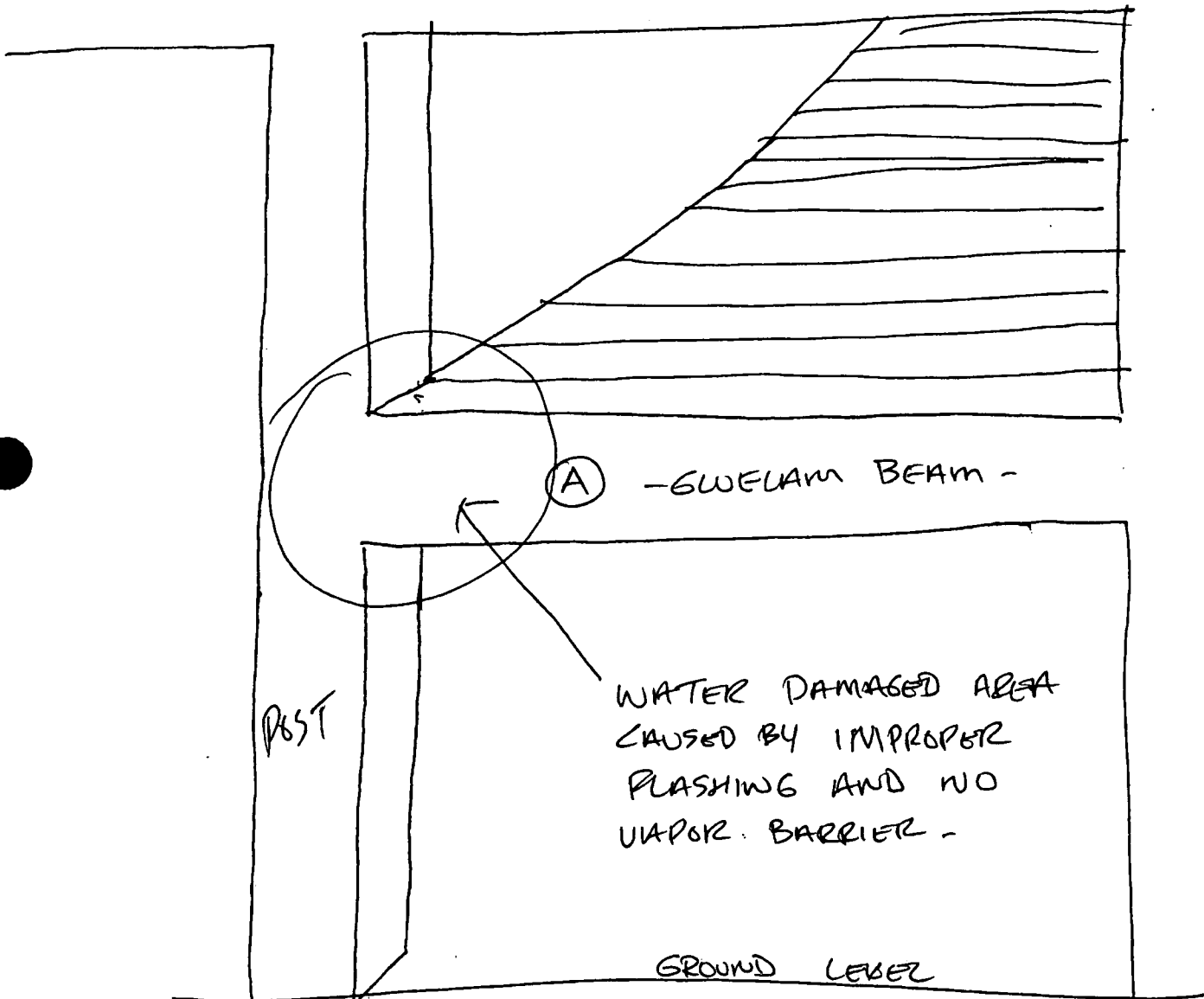
HAS PAID THE FEE REQUIRED BY CHAPTER 489 F.S.  
 FOR THE YEAR EXPIRING AUG 31, 1996

*Lawton Chiles*  
 LAWTON CHILES  
 GOVERNOR

*George Stuart, Jr.*  
 GEORGE STUART, JR.  
 SECRETARY, D.B.P.R.

MIKE AND MARY DENNIS  
20 RIVERVIEW  
STUART FL, 34996

- NOT TO SCALE -



- ★ REMOVE AND REPLACE 3 1/2 X 15" GLUELAM BEAM (A) SUPPORTING SECOND STORY PORCH.
- ★ BRING ALL THE DOWN'S UP TO CODE
- ★ INSTALL VAPOR BARRIER AND NEW WOOD TRIM
- ★ INSTALL NEW 42" HIGH ALUMINUM HANDRAIL SYSTEM.

**5214**

**RE-ROOF**

MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 01/09/01

BUILDING PERMIT NO. 5214

Building to be erected for ROBT. ROHLOFF

Type of Permit REROOF

Applied for by ROOFTILESPECIALISTS, INC. (Contractor)

Building Fee ~~120.00~~

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 RIVERVIEW DR.

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \$120.00

Amount Paid \$120.00 Check # 4368 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 38,745.00

TOTAL Fees \$120.00

Signed Richard Hand  
Applicant

Signed [Signature]  
Town Building Inspector OFFICER

# RE-ROOFING PERMIT

TRUSS MODIF. DRY IN PROGRESS	DATE _____	INSPECTIONS	
	DATE _____	PROGRESS	DATE _____
	DATE _____	FINAL	DATE <u>4/25/01</u>

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

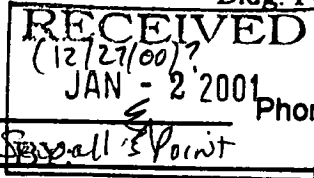
- New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: \_\_\_\_\_



Owner or Titleholder's Name: Robert Rohkoss Phone No. ( ) \_\_\_\_\_  
 Street: 20 River View Drive City: Sewall's Point State: FL Zip: \_\_\_\_\_  
 Legal Description of Property: \_\_\_\_\_

Parcel Number: \_\_\_\_\_  
 Location of Job Site: 20 River View Drive, Sewall's Point

TYPE OF WORK TO BE DONE: ReRoof - 30/90 - Cement Tile w 4' headlap Nail on - Re sheet.

CONTRACTOR/Company Name: Roof Tile Specialist Inc, Palm City Phone No. (861) 221-0323  
 Street: 819 S Federal Hwy City: Stuart State: FL Zip: 34994  
 State Registration: \_\_\_\_\_ State License: CCCO42824

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:  
 Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_  
 Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 New Electrical Service Size: \_\_\_\_\_ AMPS Roof 84 square.

FLOOD HAZARD INFORMATION  
 Flood zone: \_\_\_\_\_ Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD  
 Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
 Estimated cost of construction or Improvement: \$ \$ 38,745<sup>00</sup>/<sub>100</sub>  
 Estimated Fair Market Value (FMV) prior to improvement: \$ \_\_\_\_\_  
 If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
 Method of determining Fair Market Value: \_\_\_\_\_

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)  
 Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_  
 Roofing: Roof Tile Specialists Inc - Palm City State: FL License # CCCO42824

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

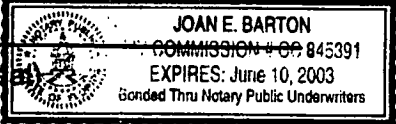
I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)  
 \_\_\_\_\_  
 Owner  
 State of Florida, County of: \_\_\_\_\_ On  
 this the \_\_\_\_\_ day of \_\_\_\_\_, 2000,  
 by \_\_\_\_\_ who is personally  
 known to me or produced \_\_\_\_\_  
 as identification.

CONTRACTOR SIGNATURE (Required)  
 \_\_\_\_\_  
 Contractor  
 State of Florida, County of: Martin On  
 this the 20th day of November, 2000,  
 by Thomas Fick who is personally  
 known to me or produced \_\_\_\_\_  
 as identification.

Notary Public  
 My Commission Expires: \_\_\_\_\_  
 (Seal)

Notary Public  
 My Commission Expires: \_\_\_\_\_  
 (Seal)



**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

1. ALL APPLICATIONS REQUIRE
  - a. Property Appraisers Parcel Number.
  - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - c. Contractors name, address, phone number & license numbers.
  - d. Name all sub-contractors (properly licensed).
  - e. Current Survey
2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
  - a. Floor Plan
  - b. Foundation Details
  - c. Elevation Views - Elevation Certificate due after slab inspection,
  - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e. Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g. Fireplace drawing: If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are:**

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

**NOTICE:** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: \_\_\_\_\_ Date: \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
6/28/00

**PRODUCER**  
Aon Risk Services, Inc of GA  
One Piedmont Center, Bldg. 1  
3565 Piedmont Road NE, STE 70  
Atlanta, GA 30305  
404-264-3005

**INSURED**  
Roof Tile Administration, Inc.  
Roof Tile Specialists, Inc.  
819 South Federal Hwy, Ste 201  
Stuart, FL 34994

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

*Handwritten:* FILE FILE FILE  
*Stamp:* COPY

COMPANIES AFFORDING COVERAGE	
COMPANY A	American Protection Ins Co
COMPANY B	Lumbermen's Mutual Casualty
COMPANY C	
COMPANY D	

*Stamp:* RECEIVED  
JUL 14 2000  
BY: *[Signature]*

**COVERAGES**  
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
B	GENERAL LIABILITY	5AA 045 421-00	7/01/00	7/01/01	GENERAL AGGREGATE \$ 2,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 2,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 1,000,000
					MED EXP (Any one person) \$ 5,000
B	AUTOMOBILE LIABILITY	F5D 007 865-00	7/01/00	7/01/01	COMBINED SINGLE LIMIT \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input checked="" type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE \$
	<input checked="" type="checkbox"/> HIRED AUTOS				
	<input checked="" type="checkbox"/> NON-OWNED AUTOS				
	VANS/PU/TRKS: \$1,000				
	XL TRACTORS: \$5,000				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: \$
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> UMBRELLA FORM				AGGREGATE \$
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	5BR 002 764-00	7/01/00	7/01/01	<input checked="" type="checkbox"/> WC STATUTORY LIMITS
					OTHER \$
	<input type="checkbox"/> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE:				EL EACH ACCIDENT \$ 1,000,000
	<input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL				EL DISEASE - POLICY LIMIT \$ 1,000,000
	OTHER				EL DISEASE - EA EMPLOYEE \$ 1,000,000

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS**  
Re: Roof Tile Administration; Roof Tile Specialists, Inc. - Palm City, Pompano West Palm, Miami, Ft. Myers; Entegra Roof Tile Corporation - Pompano, Indiantown, Miami, Ft. Myers

**CERTIFICATE HOLDER**  
City of Sewall's Point  
1 South Sewall's Point  
Sewall's Point, FL 34996

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE *[Signature]* 105779000





STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD  
 7960 ARLINGTON EXPRESSWAY  
 STE 300  
 JACKSONVILLE FL 32211-7467

(904) 727-6530

FICK, THOMAS MARVIN  
 ROOF TILE SPECIALIST INC PALM CITY  
 819 S FEDERAL HIGHWAY  
 SUITE 201  
 STUART FL 34994

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 AC# 58851  
 CC WCD 22874 06/16/2002 999022  
 CERTIFIED ROOFING CONTRACTOR  
 FICK, THOMAS MARVIN  
 ROOF TILE SPECIALIST INC PALM CITY  
 IS CERTIFIED under the provisions of Ch. 489  
 Expiration Date: AUG 31, 2002

DETACH HERE

STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NO.
08/16/2002	999022	0622874

ROOFING CONTRACTOR  
 FICK, THOMAS MARVIN  
 ROOF TILE SPECIALIST INC PALM CITY  
 819 S FEDERAL HIGHWAY  
 SUITE 201  
 STUART FL 34994

IS CERTIFIED under the provisions of Chapter 489  
 Expiration date: AUG 31, 2002

JEB BUSH GOVERNOR  
 CYNTHIA A. HENDERSON SECRETARY

DISPLAY AS REQUIRED BY LAW

**MARTIN COUNTY ORIGINAL**  
**2000 COUNTY OCCUPATIONAL LICENSE 2001**  
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(561) 288-5604

LICENSE 1999 520 041 CERT Q0011448  
PHONE 561 221 0323 SIC NO 1761

LOCATION:  
3520 SW ARMELLINI AVE  
RICHARD SANZHEZ CGC020591 349908

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV YR. \$	<u>0.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>0.00</u>	COL. FEE \$	<u>0.00</u>
\$		TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **ROOFING & GENERAL CONTRACTOR**

**ROOF TILE SPECIALISTS, INC-PALM**  
**THOMAS FICK CCC042824 (KROOF)**  
**819 S. FEDERAL HWY #201**  
**STUART FL 34994**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1 DAY OF **OCTOBER** 20  
AND ENDING SEPTEMBER 30. **2001 12 90701 3049 PAID**

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

20 RIVERVIEW DRIVE SEWELLS POINT, FLORIDA

**GENERAL DESCRIPTION OF IMPROVEMENT:** REMOVE OLD ROOF AND PUT NEW ROOF ON,

**OWNER:** ROBERT ROHLOFF

**ADDRESS:** 20 RIVERVIEW DRIVE SEWELLS POINT FLORIDA

**PHONE #:** 561-288-1199

**FAX #:** \_\_\_\_\_

**CONTRACTOR:** ROOF TILE SPECIALISTS INC - PALM CITY

**ADDRESS:** 819 S. FEDERAL HWY STUART FL 34994

**PHONE #:** 561-221-0323

**FAX #:** \_\_\_\_\_

**SURETY COMPANY (IF ANY):** NONE

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

**NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_

**FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

**PHONE #:** \_\_\_\_\_

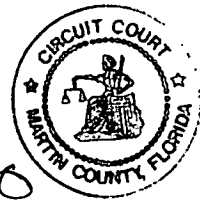
**FAX #:** \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

x Robert J Rohloff  
SIGNATURE OF OWNER

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.  
MARRIYA STILLER, CLERK

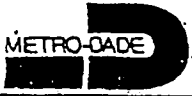


SWORN TO AND SUBSCRIBED BEFORE ME THIS 16 DAY OF NOVEMBER BY Robert J Rohloff D.C. DATE 11.16.00

OR  
PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID DI

Kathleen Vozzella  
NOTARY SIGNATURE





Skandia "FLAT" Tile

METROPOLITAN DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901  
FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Entegra Roof Tile Corporation  
1201 Northwest 18th Street  
Pompano Beach, FL 33069

PRODUCT CONTROL DIVISION  
(305) 375-2902  
FAX (305) 372-6339

Your application for Product Approval of:

Entegra Roof Tile Mechanically Attached, Mortar Set or Adhesive Set "Skandia®" Roofing Tile  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:  
Redland Technologies, The Center for Applied Engineering, Inc., and Professional Service Industries, Inc.  
has been recommended for acceptance by the Building Code Compliance Department to be used in Dade County, Florida under the specific conditions set forth on pages 2 through 17 and the standard conditions set forth on page 18.

The approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time for a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-0221.02

Renews No. 95-0630.05

Raul Rodriguez  
Product Control Supervisor

Expires: 12/16/00

**THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

1/9/01 TOWN OF SEWELL'S POINT  
REVIEW:  
BUILDING OFFICIAL

Charles Danger, P.E.  
Director  
Building Code Compliance Dept.  
Metropolitan Dade County

Approved: 12/16/97

FILE TOWN COPY  
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**PN 5214**



# **FRSA & NTRMA MODEL TILE SPECIFICATIONS**

## **System Two Counter Batten and Direct Nail Applications Only (Standard Flashings)**

### **Mechanically Fastened Tile Specification**

#### **DISCLAIMER NOTICE (PLEASE READ CAREFULLY):**

This mortar or adhesive-set fastened tile specification is a consensus document developed by a joint Task Force of the Florida Roofing, Sheet Metal and Air Conditioning Contractors Association (FRSA) and the Florida Chapter of the National Tile Roofing Manufacturers Association (NTRMA). It is important to recognize that these recommendations are neither warranties, explicit or implicit, nor representative of the only method by which a mortar or adhesive-set tile system can be installed. Rather, they try to summarize for the designer, applicator or developer good roofing practice and some of the industry standards for the installation of mortar or adhesive-set tiles which have been developed over a period of time from actual trade practice and the requirements of various building code agencies. These specifications may not be applicable in all geographical areas. **It is the responsibility of those individuals who are referring to these specifications to independently research and determine which is best for their particular project.**

## System Two

### Counter Batten and Direct Nail Applications Only (Standard Flashings)

#### Mechanically Fastened Tile Specification

**NOTE:** The following specification was developed for use within the jurisdiction of the local building codes. Different or additional standards may be required in other jurisdictions and should be investigated accordingly. The following table provides the contractor with the choices available for underlayment systems. These systems can only be used on pitches designated in the tables below:

Pitch of Roof	Counter Battens or Direct Deck	Choice of Underlayment	Plastic or Compatible Cement at Nails Penetrating Underlayment	Reference
4":12" and greater	Either	1. #74 organic cap sheet directly nailed to deck.	Required	3.02 A
2":12" and greater	Either	2. #30 or #43 organic base nailed to deck, min. #74 organic cap sheet in type IV hot asphalt.	Required	3.02 B & 3.02 C
2":12" and greater	Either	3. #30 or #43 organic base nailed to deck, min. 40 mil, SBS modified cap sheet in type IV hot asphalt.	Required	3.02 D & 3.02 E
2":12" and greater	Either	4. #30 or #43 organic base nailed to deck, min. #74 organic cap sheet in cold applied adhesive.	Required	3.02 F & 3.02 G
4":12" and greater	Either	5. Approved nail-on single ply modified sheet with sealed lap.	See note #3 below	3.02 L
4":12" and greater	Either	6. #30 or #43 organic base nailed to deck, approved modified sheet with sealed lap.	See note #3 below	3.02 H & 3.02 I
2":12" and greater	Either	7. #30 or #43 organic base nailed to deck, approved self-adhered membrane bonded to base ply.	See note #3 below	3.02 K
2":12" and greater	Either	8. Local code approved self-adhered underlayment applied direct to wood deck.	See note #3 below	3.02 J
4":12" and greater	Either	9. Approved one or two ply underlayment system (Proprietary).	See note #3 below	3.02 L
<p><b>NOTE #1:</b> All applications on slopes under 3:12 shall be applied over vertical and horizontal battens.</p> <p><b>NOTE #2:</b> Above 7:12 battens are required unless restricted by product design.</p> <p><b>NOTE #3:</b> Refer to underlayment manufacturer's recommendations.</p>				

**DIVISION 7**

This guide specification covers Flat, Low and High Profile Roof Tile, using a minimum 3" tile headlap, or a designed limited headlap, on minimum 15/32" solid decking nailed in compliance with the requirements of the local building codes.

**NOTE:** Check with local building code for sheathing size requirements.

- 07300 - Shingles and Roofing Tiles.
- 320 - Roofing Tiles - Nail-On Tile Specification

**PART I - GENERAL**

- 1.01 Related Work Specified Elsewhere
  - A. Rough Carpentry - Section 06100
  - B. Roof and Deck Insulation - Section 07220
  - C. Flashing and Deck Insulation - Section 07600
  - D. Roof Accessories - Section 07700
- 1.02 Quality Assurance
  - A. Products
    - 1. Concrete Roof Tile - In compliance with the local building code.
    - 2. Clay Roof Tile - In compliance with ASTM Standard C 1167.
  - B. Requirements of regulatory agency
    - 1. South Florida Building Code Chapter 23 & 34 - 19 \_\_\_\_ Edition.,  
or
    - 2. SBCCI, Chapters 15 & 16 - 19 \_\_\_\_ Edition.
- 1.03 Submittals
  - A. Samples - tile type and color as selected.
  - B. Manufacturer's literature - including product descriptions and recommended installation procedures.
  - C. Tile Compliance Report.
- 1.04 Product Delivery, Storage and Handling
  - A. Distribute stacks of tile uniformly, not in concentrated loads.
  - B. When stacking tile on roof top prior to installation, install battens under nose of tile stacks when required.
  - C. Care shall be taken to protect the underlayment during the tile loading and stacking process.
- 1.05 Job Conditions
  - A. Do not install underlayment or tiles on wet surfaces.
  - B. Ensure other trades are aware of precautions required when loading and stacking of tile, and their responsibility for protection of tile during and upon loading and stacking completion.
  - C. Any punctures or tears in the underlayment which occur during the loading and stacking of tile shall be immediately repaired with like materials.
- 1.06 Warranty
  - A. Materials - manufacturer's limited warranty against defects in roof tile for \_\_\_\_ years.  
(NOTE: Fill in appropriate number of years)

**PART II - PRODUCTS**

- 2.01 Roof tile
  - A. Tile Manufacturer: \_\_\_\_\_
  - B. Tile Type: \_\_\_\_\_
  - C. Accessory Tile Type: \_\_\_\_\_
  - D. Surface Finish: \_\_\_\_\_
  - E. Color: \_\_\_\_\_
  - F. Approximate Weight: \_\_\_\_\_
  - G. Roof tile shall meet or exceed the minimum requirements set forth in local building code for concrete tile and ASTM Standard C 1167 for clay tile.
- 2.02 Asphalt Saturated Roofing Underlayments
  - A. Organic, type II, commonly called No. 30 or 30#, conforming to ASTM Standard D 226, type II organic saturated.
  - B. Organic type I, commonly called No. 43 or 43# base sheet, conforming to ASTM D 2626.
  - C. Mineral surface roll roofing felt minimum 74 lbs. per roll commonly called 90#, conforming to ASTM D 249.
  - D. Modified bitumen single ply membrane minimum 40 mils.
  - E. Self-adhered membrane minimum 40 mils.
  - F. Granular surface SBS modified bitumen membrane, minimum 40 mils at the selvage edge.

- 2.03 Membranes
- A. Organic - Asphalt impregnated cotton membrane, minimum 4" wide.
  - B. Inorganic - Asphalt impregnated fiberglass membrane, minimum 4" wide.
- 2.04 Fasteners
- A. Nails - corrosion resistant meeting ASTM A 641 Class 1 or approved corrosion resistance equal (Electro galvanized, mechanical galvanized, hot dipped galvanized, aluminum, copper or stainless steel) of sufficient length to properly penetrate the deck 3/4" for direct deck application or through thickness of the deck or batten, whichever is less.
  - B. Screw Fasteners - corrosion resistant meeting ASTM A641 class 1 or approved corrosion resistance equal formed from coated or plated steel; silicone bronze brass; aluminum; copper; or stainless steel of sufficient length to properly penetrate the deck a minimum of 3/4" for direct deck application or through thickness of the deck or batten, whichever is less.
  - C. Storm clips and storm clip fasteners- refer to specific manufacturer's recommendations.
- 2.05 Metal Flashing
- A. Flashing shall be minimum 26 ga., G-90 corrosion resistant metal - conforming to ASTM A 525 and A 90, or other metal or composition profile materials which are approved under the local building code.
  - B. Lead for soil stacks shall be minimum 2.5 lbs. per sq. ft. For lead counterflashing requirements follow Lead Association recommendation.
- 2.06 Asphaltic Adhesive
- A. Asphalt plastic roof cement - conforming to ASTM D 4586, type II, non-asbestos, non-running, heavy body material composed of asphalt and other mineral ingredients.
  - B. Cold process modified bitumen roofing mastic - conforming to ASTM D 3019, type II.
  - C. Asphalt - conforming to ASTM D 312, type III and IV (Note slope requirements in the local building code).
- 2.07 Adhesive/Sealer
- A. Structural bonding adhesive - conforming to ASTM C 557 or ASTM D 3498.
- 2.08 Mortar
- A. Materials
    1. Cements - Choose one of the following:
      - a. Blended Cement - Mortars shall be tested and approved bagged premixed unit consisting of ASTM type "M" masonry cement, or equivalent, in combination with ASTM C 332 lightweight aggregate or ASTM C 144 sand.
      - or,
      - b. Portland cement - conforming to ASTM C 150, type I
      - or,
      - c. Masonry cement - conforming to ASTM C 91, type M
    2. Sand - Sand, if added to the mixture shall conform to ASTM C 144, uniformly graded, clean and free from organic materials.
    3. Approved additives as required.
  - B. Mixes - conforming to ASTM C 270, type M mortar (2-1/4 to 2-1/2 : 1 sand to cement ratio). Choose one of the following:
    1. Cement 2.08 A-1-a.
    - or,
    2. Equal combination of cement 2.08 A-1-b and A-1-c.
    - or,
    3. A pre-mix, bagged mortar product.
- 2.09 Eave Closure
- A. Prefabricated EPDM synthetic rubber conforming to ASTM D 1056.
  - B. Prefabricated metal eave closure.
  - C. Prefabricated concrete or clay eave closure.
  - D. Mortar (color optional) on granular surface underlayment only.
- 2.10 Coating
- A. Paint - color coordinated paint for painting tile, flashing and/or accessories (optional).
  - B. Sealer - for point-up mortar (optional).
  - C. Tint Seal - color coordinated sealer for staining tile or accessories as required.
- 2.11 Sheathing - Material shall conform to APA rated sheathing.
- NOTE: Refer to local building code and Wind Load requirements.
- A. Minimum span rated 32/16; 15/32" thick APA rated sheathing.
  - B. Battens - material to be decay resistant or pressure treated in compliance with Wood Preservative Institute, LP-2 or better.
    1. Battens shall not be bowed or twisted



2. Vertical battens shall be a minimum nominal 1" x 4". Horizontal battens shall be a minimum nominal 1" x 4" or 2" x 2".

**PART III - EXECUTION**

3.01 Inspection

- A. Verify that surfaces to receive underlayments and roof tile are uniform, smooth, clean and dry.
- B. Do not start roofing installation until the local building official has inspected and approved the decking installation, where required.

3.02 Underlayment Application - Choose one of the following:

**NOTE:** In reroofing applications, in order to minimize water damage, it is suggested to eliminate phased application (For systems A-F). On any finished underlayments, cut any fishmouths and seal with approved flashing cement and membrane where applicable.

A. Single Ply 90 (See Drawing 1)

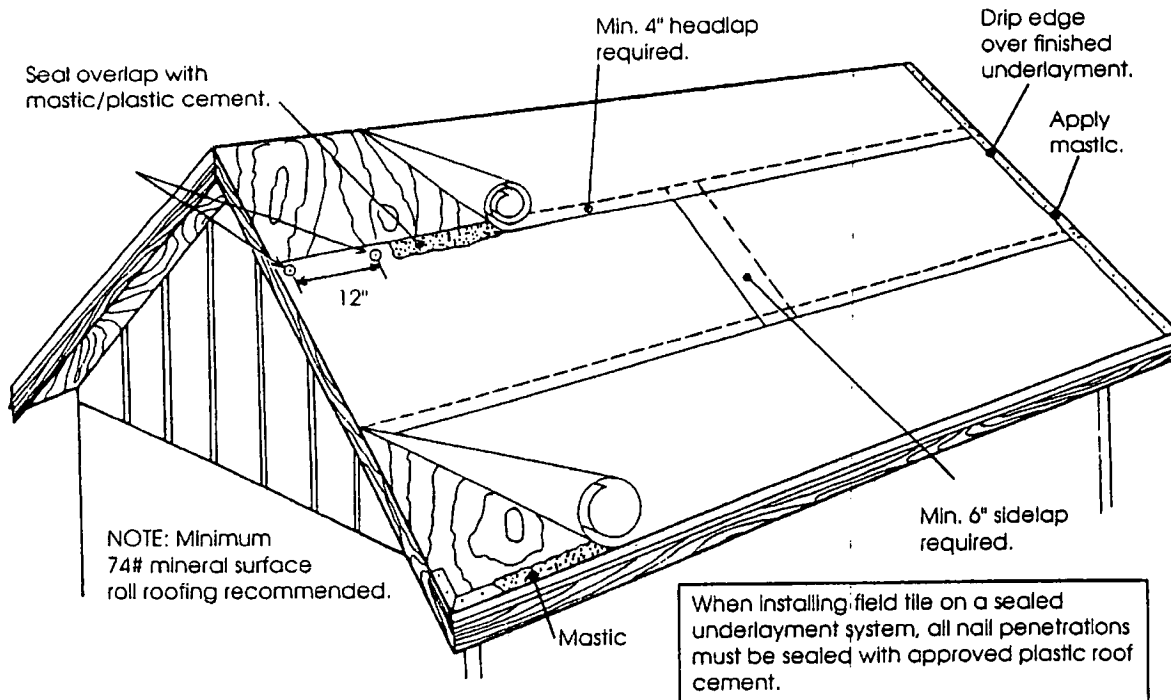
A single ply roof application for a direct deck application. Prior to applying the mineral surface cap sheet (commonly called 90#), attach a 36" wide strip of mineral surface cap sheet, (sweat sheet) down the center of the valley. Secure near the edge of the felt 24" on center. A mineral surface cap sheet, shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced 12" on center near the top edge of the felt. Use a minimum 4" head lap and 6" side laps. Extend anchor sheet up vertical surfaces a minimum 4". Overlap hip and ridges a minimum of 6". Secure near the edge of felt 12" on center at overlaps and side laps of the cap sheet.

**NOTE:** A No. 15, No. 30 or No. 43 can be used as a dry in prior to installing the underlayment with this system.

B. Hot Mop 30/90 (See Drawing 2)

A two ply roof application commonly called a 'Hot Mop' system. The roof cover is terminated at approved metal flashings. A No. 30 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field, and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of mineral surfaced cap sheet in a full 25 lbs./sq. ±15% mopping of asphalt. Asphalt shall be applied uniformly. Side laps shall be a minimum of 6"; head laps shall be a minimum of 3" and backnailed 12" on center, minimum 3/4" from top edge of sheet.

**DRAWING 1**

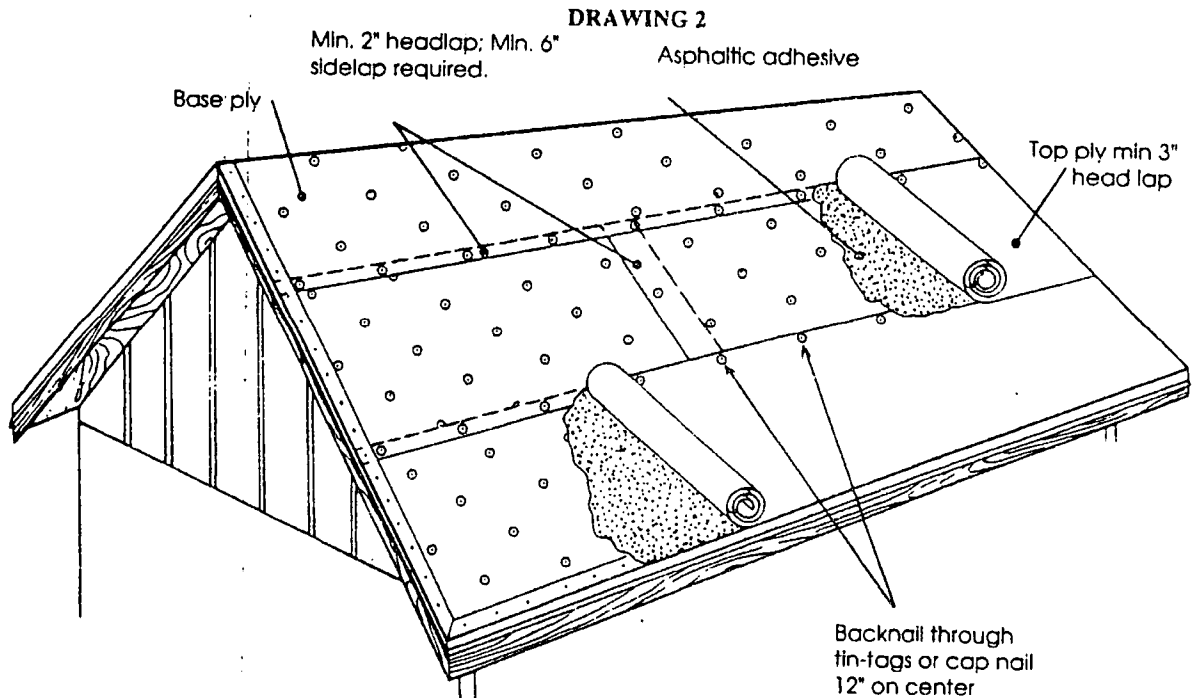


C. Hot Mop 43/90 (See Drawing 2)

A two ply roof application commonly called a 'Hot Mop' system. The roof cover is terminated at approved metal flashings. A No. 43 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field, and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of mineral surfaced cap sheet in a full 25 lbs./sq.  $\pm 15\%$  mopping of asphalt. Asphalt shall be applied uniformly. Side laps shall be a minimum of 6"; head laps shall be a minimum of 3" and backnailed 12" on center, minimum 3/4" from top edge of sheet.

D. Hot Mop 30/Modified Cap (See Drawing 2)

A two ply roof application commonly called a 'Hot Mop' system. The roof cover is terminated at approved metal flashings. A No. 30 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field, and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of modified cap sheet in a full 25 lbs./sq.  $\pm 15\%$  mopping of asphalt. Asphalt shall be applied uniformly. Side laps shall be a minimum of 6"; head laps shall be a minimum of 3" and backnailed 12" on center, minimum 3/4" from top edge of sheet.



E. Hot Mop 43/Modified Cap (See Drawing 2)

A two ply roof application commonly called a 'Hot Mop' system. The roof cover is terminated at approved metal flashings. A No. 43 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field, and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of modified cap sheet in a full 25 lbs./sq.  $\pm 15\%$  mopping of asphalt. Asphalt shall be applied uniformly. Side laps shall be a minimum of 6"; head laps shall be a minimum of 3" and backnailed 12" on center, minimum 3/4" from top edge of sheet.

F. Cold Process 30/90 (See Drawing 2)

A two ply roof application commonly called a 'Cold Process' system. The roof cover is terminated at approved metal flashings. A No. 30 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of mineral surfaced cap sheet in a continuous layer of cold process adhesive at the rate of 1.5 gal/sq. Adhesive shall be applied uniformly with a squeegee or knotted brush. Cap sheet side laps shall be a minimum of 6"; head laps shall be a minimum of 3" and backnailed 12" on center.

**NOTE:** For Cold Process Systems, in windy conditions, it may be necessary to spot nail laps of paper, 3' on center, minimum 3/4" from top edge of sheet.

G. Cold Process 43/90 (See Drawing 2)

A two ply roof application commonly called a 'Cold Process' system. The roof cover is terminated at approved metal flashings. A No. 43 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of mineral surfaced cap sheet in a continuous layer of cold process adhesive at the rate of 1.5 gal/sq. Adhesive shall be applied uniformly with a squeegee or knotted brush. Cap sheet side laps shall be a minimum of 6"; headlaps shall be a minimum of 3" and backnailed 12" on center.

**NOTE:** For Cold Process Systems, in windy conditions, it may be necessary to spot nail laps of paper, 3' on center, minimum 3/4" from top edge of sheet.

**H. 30/Modified Underlayment (See Drawing 2)**

A two ply roof application utilizing a No. 30 anchor sheet and a minimum 40 mil modified underlayment - without hot mopping. The roof cover is terminated at approved metal flashings. A No. 30 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of single ply modified cap sheet. Cap sheet side laps shall be a minimum of 6"; head laps shall be a minimum of 3" and back nailed 12" on center, minimum 3/4" from top edge of sheet.

**I. 43/Modified Underlayment (See Drawing 2)**

A two ply roof application utilizing a No. 43 anchor sheet and a minimum 40 mil modified underlayment - without hot mopping. The roof cover is terminated at approved metal flashings. A No. 43 anchor sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of single ply modified cap sheet. Cap sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 3" and back nailed 12" on center, minimum 3/4" from top edge of sheet.

**J. Self-Adhered Underlayment - Direct Application** NOTE: Where approved by local building code.

A single ply underlayment system utilizing any self-adhered underlayment in compliance with the local building code. The roof cover is terminated at approved metal flashings. Apply one layer of any self-adhered underlayment in compliance with the self-adhered underlayment manufacturers' recommendations.

**K. Self-Adhered Underlayment/Anchor Sheet**

A two ply roof application utilizing a self-adhered single ply underlayment in compliance with the local building code. The roof cover is terminated at approved metal flashings. Any approved No. 30 or No. 43 sheet shall be mechanically attached to the wood deck with approved nails and tin caps, round cap nails or other approved fasteners spaced in a 12" grid staggered in two rows in the field, and 6" on center at the laps. Anchor sheet side laps shall be a minimum of 6" and head laps shall be a minimum of 2". Over properly installed anchor sheet, apply one layer of any approved, self-adhered underlayment in compliance with the self-adhered underlayment manufacturers recommendation.

**L. Alternative/Local Code Approved Membranes**

Any product consisting of one or more water shedding layers applied to a sloped roof prior to the application of a Prepared Roof Covering having been tested in compliance with Local Code Approval guidelines. The primary purpose of an underlayment is defined as a water shedding layer to function in combination with a Prepared Roof Covering.

**3.03 Drip Edge Metal - Choose one of the following:**

(For anti-ponding metal, see Section 3.09 C.2.c)

**A. Single ply underlayment systems**

1. Drip edge metal shall be installed at the eave, over the sheathing. The metal shall be fastened 6" on center with 12 ga. corrosion resistant roofing nails or approved fasteners. All joints shall be lapped a minimum of 2". The metal shall be coated with an 1/8" bed of flashing cement.
2. Apply underlayments as per section 3.02 A for single ply underlayments.
3. Continue from eave up rake/gable in same manner, insuring water shedding capabilities of all metal laps. On gable, the metal and underlayments sheet shall be joined with an 1/8" bed of flashing cement, and a 4" strip of asphalt saturated cotton or fiberglass fabric. The fabric shall be fully embedded in the flashing cement.

or,

**B. 2-ply underlayment systems**

1. Edge metal shall be installed over the anchor sheet at all perimeters fastened 6" on center with 12 ga. corrosion resistant roof nails or other approved fasteners. All joints shall be lapped a minimum of 2". Continue from eave up rake/gable in same manner, insuring water shedding capabilities of all metal laps. The cap sheet shall be bonded to the metal with asphaltic adhesive.
- or,
2. Drip edge metal shall be installed at the eave over the finished cap sheet. The metal shall be fastened 6" on center with 12 ga. corrosion resistant roofing nails, or other approved fasteners. All joints shall be lapped a minimum of 2". The metal and underlayment sheet shall be joined with an 1/8" bed of flashing cement and a 4" strip of asphalt saturated cotton or fiberglass fabric. The fabric shall be fully embedded in the flashing cement.

**3.04 Valleys - Choose one of the following:**

**A. Single Ply System (See Below)**

1. Pre-formed metal without returns 16" wide shall be placed in the valley and shall be installed and fastened 6" on center with 12 ga., corrosion resistant roof nails, or other approved fasteners near the outside edge of the valley metal. All joints shall be lapped a minimum of 6" and apply plastic cement between laps. The underlayment shall be joined with a 1/8" bead of flashing cement and a 4" strip of asphalt saturated cotton or fiberglass fabric. The fabric shall be fully embedded in the flashing cement. An optional 90 # sweat sheet 36" may be applied prior to the installation of the valley metal and cap sheet (See Drawings 3 & 4).

or,

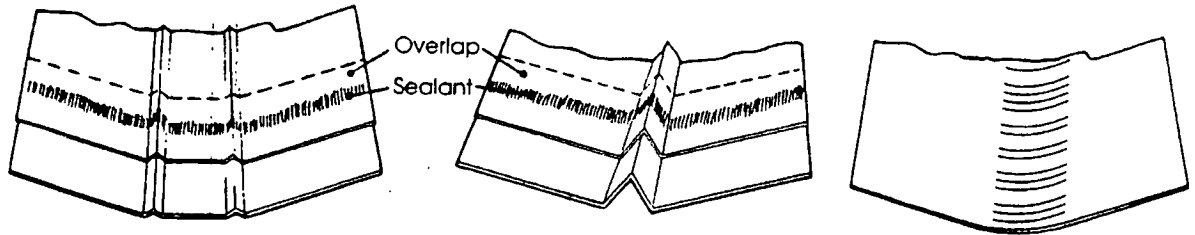
2. Standard roll metal, 16" wide, shall be placed over the cap sheet in the valley and shall be fastened 6" on center with 12 ga. corrosion resistant roof nails, or other approved fasteners near the outside edge of the valley metal. All joints shall be lapped a minimum of 6" in a bead of flashing cement. The underlayment shall be bonded to the metal with asphaltic adhesive (See Drawing 5).

or,

**DRAWING 3  
OPEN VALLEY METAL**

**DRAWING 4  
PREFORMED CLOSED VALLEY METAL**

**DRAWING 5  
ROLL VALLEY METAL**



**B. Two Ply System - Choose one of the following: (See Above)**

1. Standard roll metal, 16" wide, shall be placed over the anchor sheet in the valley and shall be installed and fastened 6" on center with 12 ga. corrosion resistant roof nails, or other approved fasteners near the outside edge of the valley metal. All joints shall be lapped a minimum of 6" in a bed of flashing cement. The cap sheet shall be bonded to the metal with asphaltic adhesive (See Drawings 5 & 6).

or,

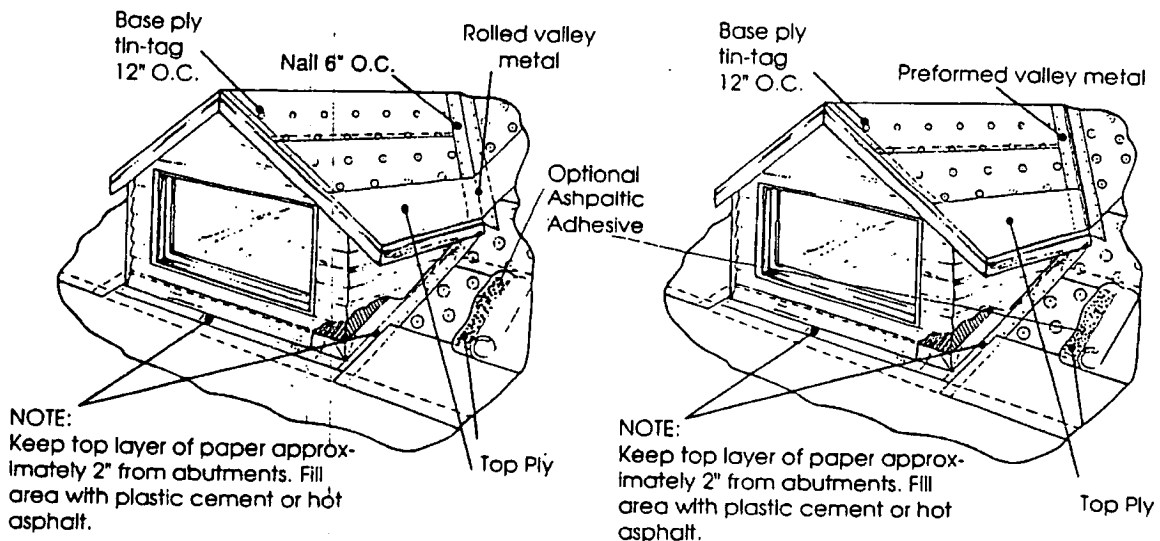
2. Preformed metal without returns, 16" wide shall be placed over the anchor sheet in the valley and shall be installed fastened 6" on center with 12 ga. corrosion resistant roof nails, or other approved fasteners near the outside edge of the valley metal. All joints shall be lapped a minimum of 6" in a bed of flashing cement. The cap sheet shall be bonded to the metal with asphaltic adhesive (See Drawings 3, 4 & 7).

or,

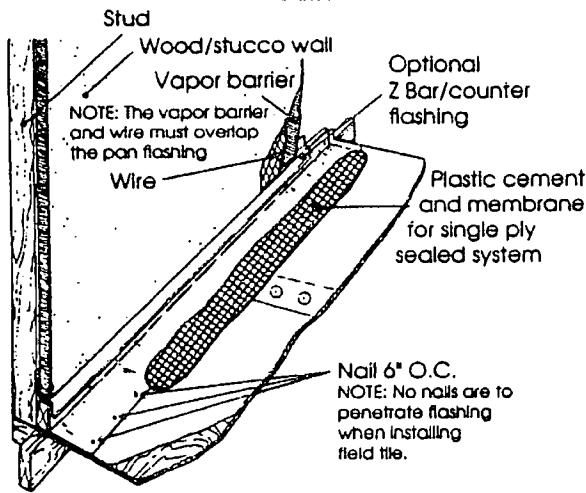
3. Pre-formed metal without returns 16" wide shall be placed in the valley and fastened 6" on center with 12 ga. corrosion resistant roof nails, or other approved fasteners near the outside edge of the valley metal. All joints shall be lapped a minimum of 6" and apply plastic cement between laps. The cap sheet shall be joined with a 1/8" bed of flashing cement and a 4" strip of asphalt saturated cotton or fiberglass fabric. The fabric shall be fully embedded in the flashing cement. An optional sweat sheet may be applied prior to the installation of the valley metal and cap sheet (See Drawings 3 & 4).

**DRAWING 6**

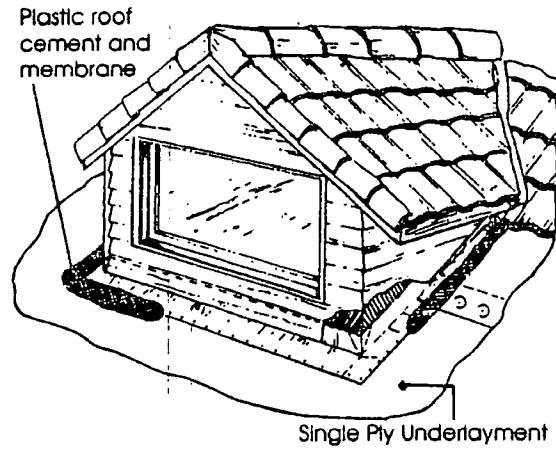
**DRAWING 7**



DRAWING 8



DRAWING 9



3.05 Flashing and Counter Flashings at Wall Abutments

A. Single Ply System (See Drawing 8 and 9)

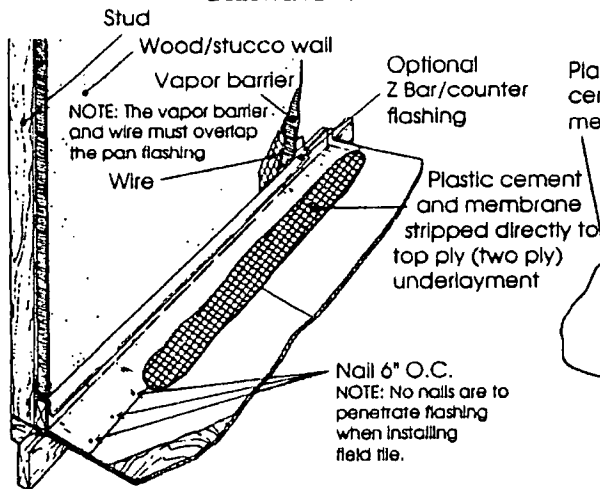
1. Install 4" x 4", "L" metal flush to base of walls with 4" flange on single ply underlayment and nail near the metals edge. Lap joints 4" and apply approved flashing cement between laps. Start at lower portion and work up to ensure water tightness. Nail 6" on center near the edge of the metal.
2. Seal along top edge of vertical flange, covering all nail penetrations with approved flashing cement and membrane where required.
3. When installing optional counter flashing, lap top flange of base flashing minimum 3". Nail metal near the edge a minimum of 6" on center or set into reglets (secured properly) and thoroughly caulk. Lap joints minimum 3" and apply approved flashing cement between laps.
4. All head/apron flashing may be installed on top of the cap sheet (top ply) (See Drawing 11) or sandwiched between plies of underlayment. Ensure the deck flange conforms to the pitch of the roof and extend minimum 4" onto deck. Seal along edge with flashing cement and membrane.

B. Two Ply System - (Choose 1 or 2)

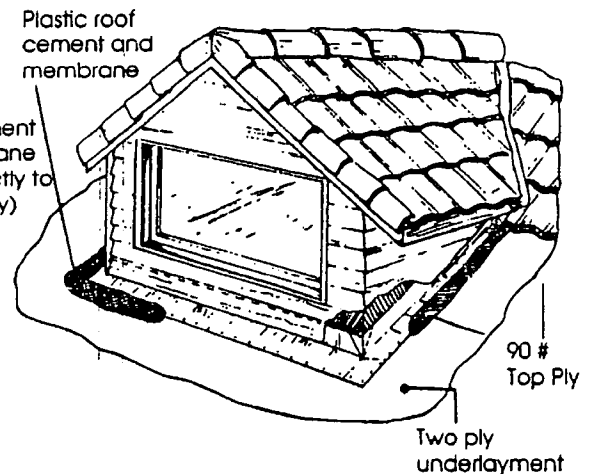
1. Install 4" x 4", "L" metal flush to base of walls with 4" flange on the anchor sheet and nail near the metals edge. Lap joints 4" and apply approved flashing cement between laps. Start at lower portion and work up to insure water tightness. Nail 6" on center near the edge of the metal. The cap sheet shall be bonded to the metal with asphaltic adhesive.

or,

DRAWING 10



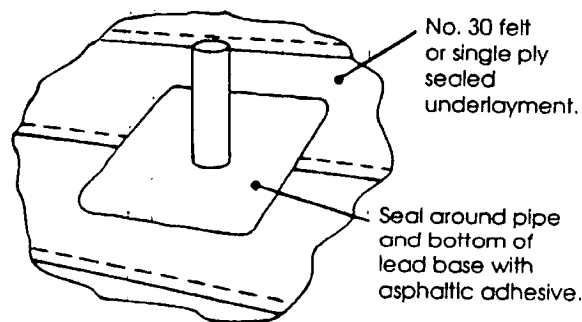
DRAWING 11



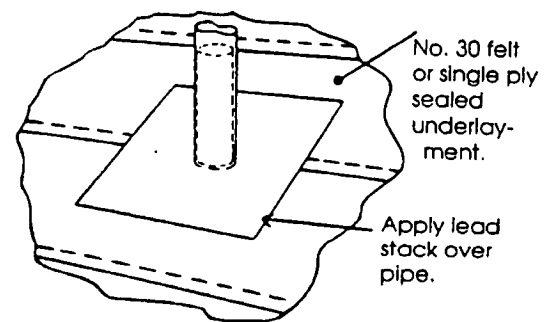
2. Install 4" x 4" "L" metal on the top ply and fastened 6" on center with 12 ga. corrosion resistant roof nails, or other approved fasteners near the outside edge of the metal. All joints shall be lapped a minimum of 4" and apply plastic cement between laps. Cap sheet shall be joined with a 1/8" bed of flashing cement and a 4" strip of asphalt saturated cotton or fiberglass fabric. The fabric shall be fully embedded in the flashing cement. An optional sweat sheet may be applied prior to the installation of the metal and cap sheet (See Drawing 10).

3. Seal along top edge of vertical flange, covering all nail penetrations with approved flashing cement and membrane where required.
  4. When installing optional counter flashing, lap top flange of base flashing minimum 4". Nail metal near the outside edge a minimum of 6" on center or set into reglets (secured properly) and thoroughly caulk. Lap joints minimum 3" and apply approved flashing cement between laps.
- 3.06 Standard Curb Mounted Skylights, Chimneys, Etc. (See 3.05 above)
- A. Install in compliance with regular flashing installation procedures.
- NOTE:** For self curbing or prefabricated skylights, refer to skylight manufacturer's installation instructions.
- 3.07 Pipes, Turbines, Vents, Etc. (See Drawings 12, 13, 14 & 15)
- A. Apply approved flashing cement around base of protrusion and on the bottom side of metal flanges sealing unit base flashing to deck.
  - B. Nail and secure all sides of base flashing near the edge. Make certain base is flush to deck.
- NOTE:** If pipes, vents and/or turbines are installed after finished cap sheet has been applied follow instructions in 3.07 A & B. Cap sheet and metal flange shall be joined with a 1/8" bed of flashing cement and a strip of asphalt saturated cotton or fiberglass fabric. The fabric shall be fully embedded in the flashing cement.

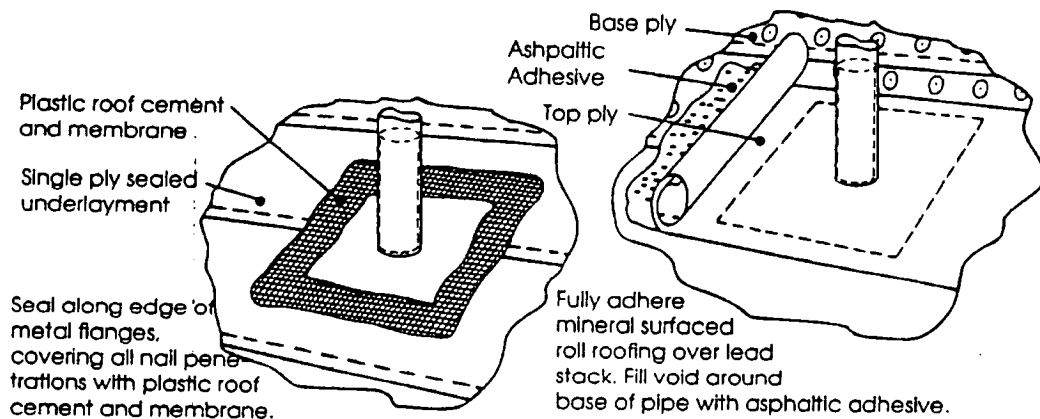
DRAWING 12



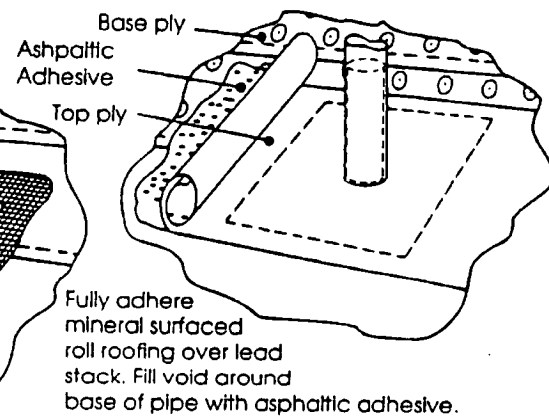
DRAWING 13



DRAWING 14



DRAWING 15



- 3.08 Counter Batten Installation
- Both vertical and horizontal battens are required for roof pitches of 2":12" to 3":12", and are optional up to and including 7":12" pitch. Thereafter, 4" horizontal battens are required unless restricted by product design. When utilizing horizontal battens only, preformed metal flashing with metal edge returns must be used (Refer to System No. 1).
- A. On roof pitches from 2":12" to < 3":12", nominal 1" x 4" vertical battens shall be applied at spacing not greater than 24" on center. Secure at maximum spacing of 24" on center with nails or screws of sufficient length to penetrate the deck sheathing by a minimum of 3/4". Vertical battens shall be placed over the top cord of the roof trusses. Vertical battens may vary in length. When vertical battens can not be installed over top cord of trusses, vertical battens shall be installed with minimum #8 diameter corrosion resistant screw fasteners.
  - B. Install top edge of horizontal batten to horizontal line. Horizontal battens may be minimum nominal 1" x 4" or 2" x 2".
  - C. Fasten and secure maximum 24" on center through vertical battens with nails or screws of sufficient length to penetrate the vertical batten and sheathing a minimum of 3/4".
  - D. On counter batten system, install a batten parallel to the outside edge of the valley.

3.09 Tile Installation

A. Layout - Horizontal

1. Chalk horizontal lines beginning one tile length from eave less desired overhang. Overhang shall be 3/4" to 2", depending on tile type, use of gutter or other functional requirements.
2. For batten installation only, chalk horizontal line 1" to 1 1/2" from ridge.
3. Chalk succeeding lines for a minimum 3" headlap unless restricted by product design.
4. Increase headlap when necessary for equal course spacing, or as needed for unusual application conditions.

B. Layout - Vertical - Choose one of the following:

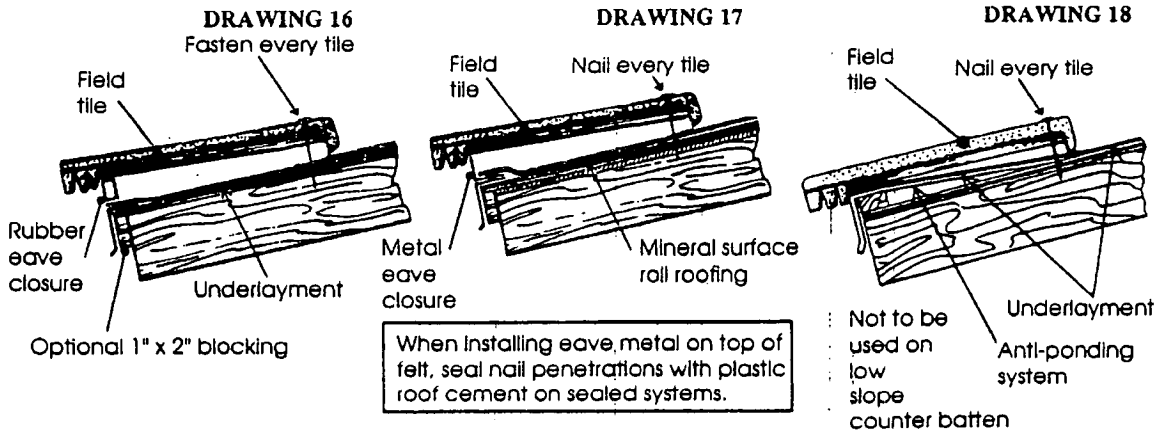
1. Staggered/cross bond tile installation - (Recommended for flat tile)
  - a. Gable end - Choose one of the following:
    - i. Chalk vertical lines one full tile and one half tile width plus 1" to 2" from starting gable to accommodate rake tile.
    - or,
    - ii. Chalk vertical lines one full tile and one half tile width plus 1/4" from starting gable to accommodate flush finish.
    - iii. Chalk additional lines, if necessary, to maintain alignment.
  - b. Hip roof
    - i. Chalk vertical line 90 degrees from eave line.
    - ii. Chalk second line parallel to first to accommodate staggered/cross bonded tile.
    - iii. Chalk additional lines, if necessary, to maintain alignment.
- or,
2. Straight bond tile installation - (Not recommended for flat tile)
  - a. Gable end
    - i. Chalk vertical line one full tile width plus 1" to 2" from starting gable.
    - ii. Chalk additional lines, if necessary, to maintain alignment.
  - b. Hip roof
    - i. Chalk vertical line 90 degrees from eave line.
    - ii. Chalk second line parallel to first to accommodate staggered/cross bonded tile.
    - iii. Chalk additional lines, if necessary, to maintain alignment.

C. Tile Installation

1. Stack tile to facilitate installation and minimize tile movement.
2. Eave treatment - Choose one of the following:
 

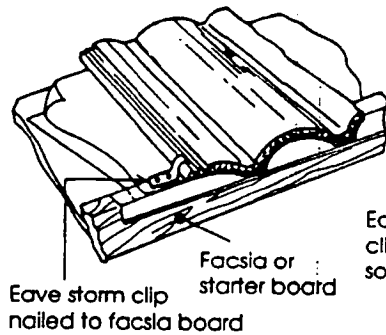
**NOTE:** When using counter batten systems special consideration must be given to eave treatment.

  - a. Prefabricated Rubber Eave Closure - Install closure strip along eave. Fasten with minimum three fasteners per 36" strip (See Drawing 16).
  - or,
  - b. Metal Eave Closure - Install closure strip along eave. Fasten minimum 18" on center. If metal closure is inclusive of the drip edge fasten 6" on center (See Drawing 17).
  - or,
  - c. Raised Fascia/Wood Starter Strip (See Drawing 18)
    - i. Install fascia board approximately 1 1/2" above roof deck or a 2" x 2" wood starter strip at roof edge. - Choose one of the following: (Not to be used below 4:12 when using counter battens)
    - ii. Install 8" tapered cant strip at eave behind fascia and/or starter strip to support metal flashing when using drip edge. Tapered cant strip is optional when using anti-ponding metal.
    - or,
    - iii. Install a minimum 8" wide anti-ponding metal flashing to ensure positive drainage over fascia/starter strip. Nail top edge of flange onto roof.
    - or,
    - iv. Apply underlayment as per Section 3.02.



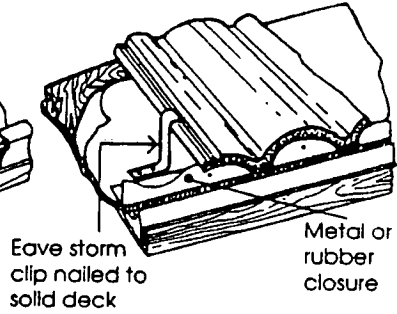
DRAWING 19

EAVE CLIP NAILED TO  
RAISED WOODEN FASCIA

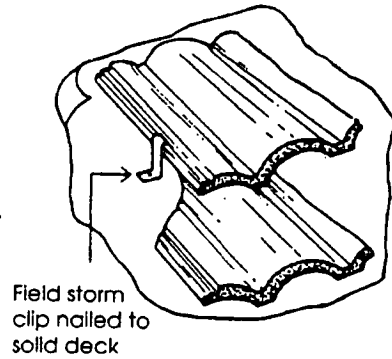


DRAWING 20

EAVE CLIP NAILED TO  
SOLID DECK BEHIND FASCIA



DRAWING 21  
FIELD CLIP NAILED TO SOLID DECK  
WHEN NO BATTENS ARE USED



NOTE: When using storm clips on sealed systems, apply plastic cement at all nail penetrations.

- d. Mortar Application - Install mortar to elevate eave edge.
  - i. Apply mortar along the eave edge, applying enough mortar to elevate the eave end of the tile to be on profile with the remaining roof tile.
  - ii. Point and smooth finish flush to eave line.
  - iii. Apply minimum 3/8" weep hole flush with the roof underlayment shall be formed at the spacing of not less than one weephole per tile.
- 3. Storm clips - Refer to local building codes (See Drawings 19, 20 & 21).

3.10 Flat, Low and High Profile Tile

- A. Starting at lower left corner (facing down roof) install first course of tile. Make certain all tile overhangs drip edge evenly along entire first course.
- B. Secure field, perimeter and corner tile with fasteners as per local building codes.
- C. Cut/break tile for proper staggering of tile courses when using the staggered/cross bond method of installation.
- D. Set tile in stepped course fashion or in a horizontal and/or vertical fashion when utilizing straight bond method.
- E. Lay succeeding courses of field tile in same manner.
- F. Cut/break field tile to form straight edge at center of hip/ridge.

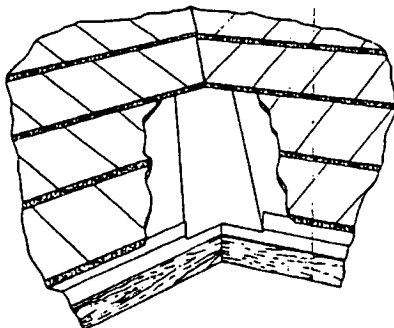
NOTE: Tile shall be attached to resist the aerodynamic moment determined when using the design pressures for the building and the fixing calculations set forth in the local building code.

3.11 Valleys - Choose one of the following:

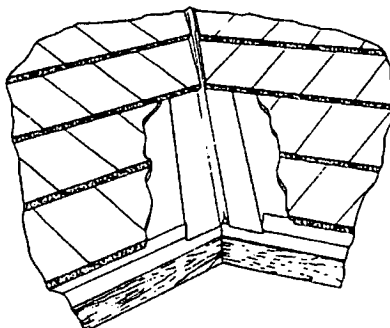
NOTE: It is not recommended to install trim tile in the valleys. It may be necessary to remove the lugs from the field tile at walls and valley flashing for proper positioning of cut field tiles.

- A. Standard Roll Valley (See Drawing 22)
  - 1. Closed Valley - Miter tile to meet at center of valley.
  - 2. Open Valley - Chalk a line minimum 2" on both sides valley center. Place bed of mortar along outside edge of chalk lines. Miter tile to form straight border and point to match tile surface.
- or.
- B. Preformed Metal Without Returns
  - 1. Closed Valley - Miter tile to form straight border on either side of water diverter. (See Drawing 23)
  - 2. Open Valley - Miter tile to form straight border on either side of two water diverters. (See Drawing 24)

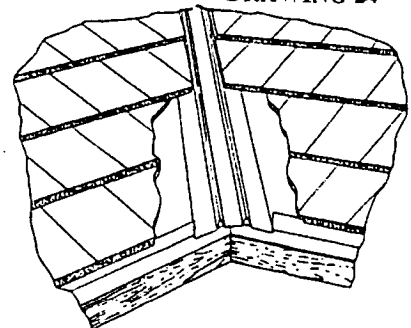
DRAWING 22



DRAWING 23



DRAWING 24





3.12 Hip Starter - Choose one of the following:

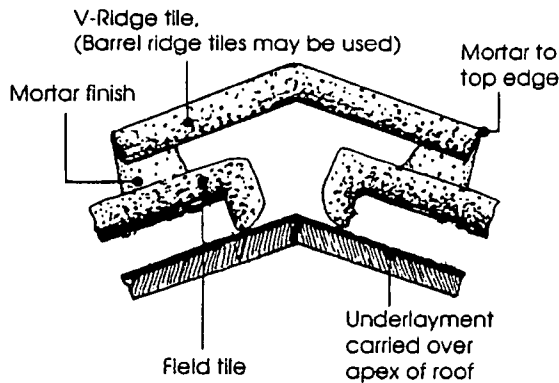
- A. Prefabricated hip starter
  - 1. Miter tile as hip starter to match eave lines.
- or,
- B. Use standard hip tiles as starter.

3.13 Hip and Ridge Installation - Choose one of the following:

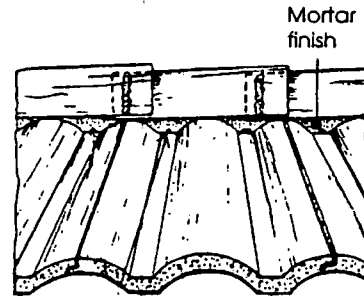
- A. Set hip and ridge tile in a continuous bed of mortar, lapping tile minimum 1". Point mortar and finish to match tile surface (See Drawings 25 & 26).
- or,
- B. Mechanically fasten hip and ridge tiles to nailer board (See section 3.14).

**NOTE:** A ridge vent or venting within 18" of ridge is recommended on all tile applications using self-adhered underlayment direct to deck. Ridge vents shall be installed per vent manufacturers recommendation.

DRAWING 25



DRAWING 26



3.14 Hip and Ridge Nailer Boards - (See Drawing 27)

- A. Install pressure treated nailer boards secured directly to trusses. Fasten with nails or screws of sufficient length to penetrate a minimum of 3/4" into each truss.
- B. Install self-adhered membrane over nailer board and seal to tile surface per membrane manufacturers' recommendation.
- C. Install hip and ridge tiles with nails or screws of sufficient length to penetrate a minimum of 3/4" into nailer board.
- D. Use approved adhesive or clips at overlaps.

3.15 Rake/Gable - Choose one of the following:

- A. Rake/Gable Tile
  - 1. Install first rake tile the exposed length of first course of field tile with factory finish of rake tile towards the eave.
  - 2. Fasten rake tile with minimum two fasteners of sufficient length to penetrate the framing a minimum of 3/4".
  - 3. Abut each succeeding rake tile to the nose of the field tile above and maintain a constant head lap.
- or,
- B. Mortar Finish
  - 1. Place color coordinated mortar bed along roof edge.
  - 2. Point smooth to a straight edge finish.

3.16 Wall Abutments

- A. Cut tile to fit approximately 1/2" to base of walls. Point-up mortar is optional.
- NOTE:** It may be necessary to remove the lugs from the field tile at wall flashing for proper positioning of cut field tiles. For tiles installed at headwalls, tile shall be installed with approved roof tile adhesive.

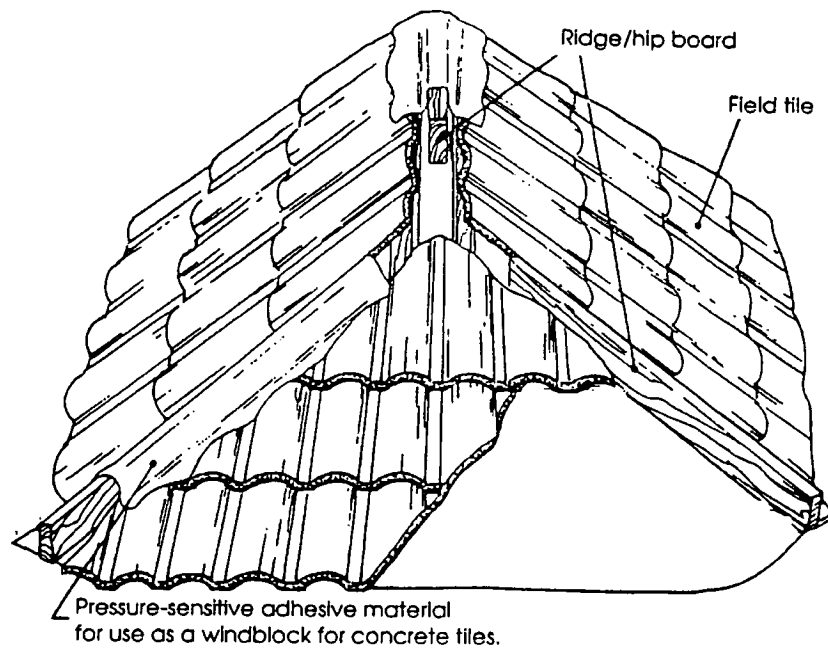
3.17 Plumbing Stacks

- A. Cut tile to fit close to plumbing stack, fill void with mortar and point to match tile surface.

3.18 Coatings - (optional)

- A. Sealer may be applied to exposed mortar.
- B. Color coordinated paint may be applied to all metal flashings.

DRAWING 27



### 3.19 Tile Replacement

#### A. Damaged Tile

1. Break out and replace roof tile. Do not disturb underlayment. Repair underlayment if necessary.
2. When battens are used, drive nail flush to batten with hammer and flat bar.
3. Apply minimum of 3/8" x 2" approved adhesive on tile in course below replacement tile. Conform to what the manufacturer suggests.
4. Immediately set replacement tile in position assuring proper contact.

#### B. Small Valley and Hip Cuts

1. Elevate nose end of tile in course above small cut tile, apply a minimum of 3/8" x 2" bead of approved adhesive at head of cut tile.
2. Immediately set tile in course above in position which assures proper contact.

**NOTE:** For roof pitches above > 7":12" on hip cuts only, mechanical fastening may be required.

### 3.20 Clean-Up

- #### A. Remove all broken tile, debris and excess tile from roof.

### 3.21 Miscellaneous Recommendations

- #### A. Instructions shall be given to all parties involved cautioning against traffic of any kind allowed on finished roof. Damage to roof tiles and/or sub-roof may result.

JOHN F. SHEILS, P.E.  
Engineer · Consultant  
P.O. Box 7544  
West Palm Beach, Florida 33405  
(561) 969-1717

Date: 12/08/00

Subject: Rohloff Residence  
#20 Riverview  
Sewall's Point  
Stuart, FL 34996

To: Mr. Richard Sanchez, Production Manager  
Roof Tile Specialists, Inc.  
810 S. Federal Hwy., Suite 103  
Stuart, FL 34994

RE: Roof truss inspection at said property for RTS, Inc.

Dear Sir:

An inspection was performed at the subject site on 12/04/00. The following conditions were noted.

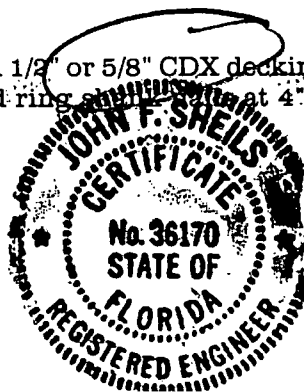
Observed roof construction includes:

1. Existing 1"x 6" boards @ 10" o.c. running perpendicular to trusses.
2. 2" x trusses @ 2 ft. o.c. exist throughout the structure. The existing trusses are in good condition.  
Small areas which are conventionally framed appear to be in good condition.

Conclusions are as follows:

1. The existing design was examined to confirm that it is adequate to accommodate a minimum live load of 20 p.s.f. and a dead load of 25 psf as usually required for a cement tile roof. The sample trusses examined were compared to several model designs having similar dimensions and sections and analyzed by a wood truss frame analysis program. Required modifications for trusses (and similar) are as shown on the attached typical detail sketches.
2. The contractor shall nail 1/2" or 5/8" CDX decking over the existing 1" x 6" boards. Attach with 10d ring shank nails at 4" along edges and at 6" in the field.

*JS* 12/14/00



3. 2x4" min. scabs shall be attached to trusses with overhangs greater than 36" with 16d nails shot at 12" o.c., centered over the exterior bearing wall.
4. An inspection by the local Building Department may be required for the existing decking.
5. The existing trusses may deflect slightly due to the additional dead load. This may cause the adjacent and attached drywall to crack slightly.
6. The adequacy of the existing supporting structure was not checked. It is assumed that it was built as specified and inspected to insure compliance with the design documents as well as adequate code requirements (to include anchorage) at the time of construction.
7. As it is not feasible to sample all the existing trusses, the contractor shall notify the engineer of any damaged trusses observed or any conditions which appear to be unsatisfactory. The contractor shall check all existing hangers once exposed and complete all their nailing if required.

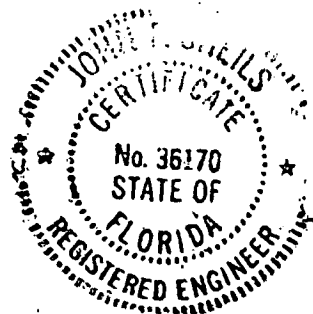
It should be noted that all observations and recommendations are based upon a visual, non-destructive inspection process. Consequently, the recommendations stated within this report may be contradicted by the presence of hidden defects. Therefore, this report should in no way be taken as an implied warranty that there are not hidden defects present that were not accessible or visible at the time of this on-site investigation, and whether or not this structure was originally constructed in accordance with the applicable building codes, the original construction documents, or on sound engineering principles and practices.

If you have any questions regarding the content of this report, please do not hesitate to call.

Sincerely,

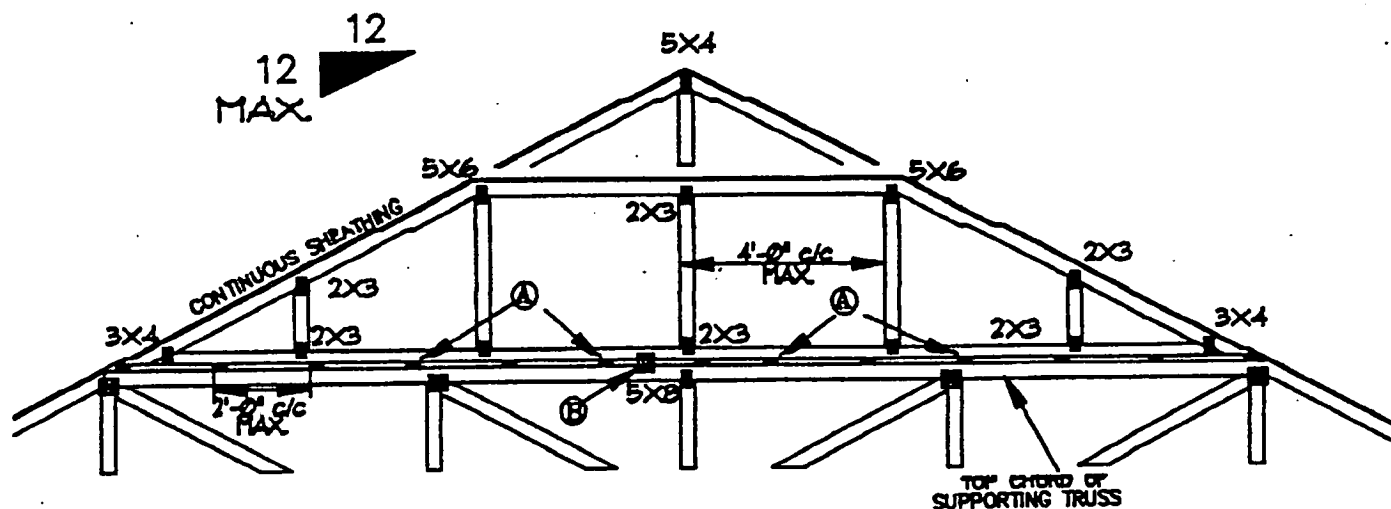


John F. Sheils, P.E.



MAX VERTICAL LENGTH	REQUIRED BRACING	TOP	2X4 #2	8F	<b>PIGGYBACK DETAIL (DETACHED) 12/13/84</b>
7'-0"	NO BRACING REQUIRED.	BOTTOM	2X4 #2	8F	
11'-6"	2X4 #2 HF #1 BRACE W/16d CON. @ 6" O.C.	WEBS	2X4 #2	8F	

NOTE: ATTACH PURLINS TO STRUCTURAL TRUSS WITH 2 16d NAILS AT EACH INTERSECTION. BRACE VERTICALS IN PIGGYBACK TRUSS Laterally WITH 1x4's AT 1/2 POINTS AND CONNECT WITH 2 10d NAILS AT EACH INTERSECTION, IF REQUIRED.



PIGGYBACK LUMBER - TOP CHORD 2X4 #2 SP  
 - VERTICALS 2X4 #3 SP  
 - BOTTOM CHORD 2X4 #2 SP

- Ⓐ 2X4 #2 SP OR HF WITH 2-16d CON. @ TOP CHORD OF EACH SUPPORTING TRUSS, 2X4 BRACING SHALL BE ANCHORED TO THE SUPPORTING STRUCTURE OR ROOF DIAPHRAGM @ A MAX. OF 20'-0" PER STRUCTURAL CONSTRUCTION DOCUMENTS. 2X4 BRACING MAYBE SPLICED BY OVERLAPPING A MIN. OF TWO TRUSSES.
- Ⓑ 5" X 8" X 20 GAGE GALV. PLATE WITH 4-1.5" X 11 GAGE TRUSS NAILS IN EACH MEMBER, EACH SIDE OF TRUSS OR, 6" X 8" X 1/2" EXT. CDX PLYWOOD WITH 4 #5d CON. IN A MEM., EACH SIDE OF TRUSS. (TYPICAL PIGGYBACK BOTTOM CHORD TO TOP CHORD OF SUPPORTING TRUSS CONNECTION.)  
 SPACING = 4' O.C.

**DESIGN CRITERIA**

GRAVITY LOADS		WIND LOADS	
TCLL	P8F	VELOCITY	
TCOL	P8F		MPH
BCLL	P8F	HEIGHT	FT
BCOL	P8F	SPACING	2'-0" O.C.
TOTAL	P8F	TRUSS DESIGN CRT.	
ALLOWABLE STRESS INCR. 15%			

ALL PLATES SHALL BE MITEK 20 GAGE, MANUFACTURED FROM ASTM A446 GRADE A GALVANIZED STEEL, EXCEPT AS SHOWN OTHERWISE. PLATES MUST BE INSTALLED ON BOTH FACES OF JOINTS AND LOCATED SYMMETRICALLY, EXCEPT AS SHOWN OTHERWISE. DESIGN STANDARDS CONFORM TO APPLICABLE PROVISIONS OF NDS AND TPL.

NOTE: TRUSSES SHALL BE HANDLED, ERECTED AND BRACED IN ACCORDANCE WITH "HB-81" AND "HT-86" BY TPL. SEE THIS DESIGN FOR ADDITIONAL SPECIAL PERMANENT BRACING REQUIREMENTS. ALL TOP CHORDS SHALL BE Laterally BRACED WITH PROPERLY ATTACHED PLYWOOD SHEATHING AND BOTTOM CHORDS WITH RIGID CEILING, UNLESS NOTED OTHERWISE.

<b>SOUTHERN TRUSS OF ORLANDO, INC.</b> SANFORD, FL 32773 PHONE - (407) 321-7444 FAX - (407) 321-7445	<b>SOUTHERN TRUSS OF FT. MYERS, INC.</b> FT. MYERS, FL 33907 PHONE - (813) 277-9111 FAX - (813) 277-5263
<b>SOUTHERN TRUSS OF TAMPA, INC.</b> BROOKSHILL, FL 34609 PHONE - (813) 798-8204 FAX - (813) 798-2883 TAMPA - (813) 272-0210	<b>SOUTHERN BUILDING PRODUCTS, INC.</b> WEST PALM BEACH, FL 33407-1016 PHONE - (407) 848-8848 FAX - (407) 842-5678 1-800-222-0029

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ 1/11/12

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 0396	Mc Cartney	final inspect	Passed	J 1/12
✓ S 5702	45 W. High Pt. owner	tree + demo	Passed	needs e/p power
✓ S 5785	Jones	footing	Passed	as early as possible
✓ S 4955	RICA	DRIVEWAY - FINAL	Passed	J 1/12
✓ S 5192	RAO	TEMP POWER	Passed	J 1/12
✓ S 5093	TWOHEY	FENCE - FINAL	Passed	J 1/12 DL shaped fence
✓ S 5161	BRENNAN	TIE BEAM	Passed	J 1/12

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection: ~~Mon~~  Wed  Fri  1/15/01

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 5220	Parmelee	sheathing	Passed	J 1/15
ⓐ	21 S. Ridgeview	in-progress		
	Capps & Huff	q=		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 5013	Dennis	2nd story	2 <sup>nd</sup> Pr.	J 1/15
ⓑ	16 Ridgeland	beam	partial	
	FL. FINISH			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N <del>4275</del>	SEELY	D/W INSP (PTL.)		LATE P.M.
ⓐ	37 NE LOFTING WAY	(PHASE II)		
	GRIBBEN			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S <del>5217</del>	Pohlhoff	<del>sheathing</del>	Passed	re-inspect
ⓐ	<del>20 RIVERVIEW</del>	<del>5<sup>th</sup></del>		(1/12 CANCEL - RAIN)
	Roof Tile Spec.	<del>2<sup>nd</sup> floor off but not yet</del>		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 5219	Amsler	sheathing	Passed	J 1/15
ⓐ	3 Simara St.	1 <sup>st</sup> fl.		
	Pacific	2 <sup>nd</sup> fl in progress		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 5152	Boning	sewall	Passed	No Drg 4x4's
ⓐ	5 St. Lucie Crt.	steel	J 1/15	+ Strirups 24" oc
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5143	Gifford	footing	Passed	J 1/15
ⓐ	85 N.S.P. Rd.			Neto 11 <sup>00</sup>

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun 1/17/01

~~72000~~

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5075	VASQUES	T/T & MTL	Passed	1/17
5 (6)	82 S. SEWALL'S POINT RD GROZA (336-7563 x7)			
S T/R	FOGLIA 102 ABBIE CT	FIELD VERIF.	Passed	BPN 5228 (1/16/01)
(5)	FOGLIA		Ok to re	have as per plan
6	<del>██████████</del> Rohloff	<del>██████████</del>	<del>██████████</del>	1/17
(9)	<del>██████████</del> RTS		Partial	west slope
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Thu 1/11/01, 2000; Page 2 of 2

V  
S

V  
S

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
<del>5138</del>	<del>PROHLOFF</del>	<del>SHED</del>	Passed	1/19
5	ROOF TILE SPEC.			
5138	RIBELLINO	TIE BM.	Passed	1/19
4	18 ISLAND ROAD WILSON BLKS	+ 3 Docks		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Tue  Wed  Thu  Fri  Sat  Sun, 2009 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4877	LOYOLA/OSBORNE	POOL PLUMB'G	Passed	2/24 / Permit?
5618	20 CASTLE HILL WAY			20 PSI
(3)	HARBOR BAY POOLS 878-8800			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5240	ADELPHIA CABLE	FINAL - CABLE	PASSED	HOLD - Q AS TO
(10)	R/O/W KINGSDOM CT & S.V. RD. GARY GIFFORDI, INC.	POWER SUPPLY	↑	OBSTRUCTION TRAFFIC SIGHT LINE (P.D.)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5159?	BRENT	ELECTRICAL	Passed	2/24
(4)	6 KNOWLES RD KRAUSE + CRANE	ROUGH IN		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5192	RAO	FOUNDATION	Passed	COMP. TEST REVD 1/25/09
(2)	30 CASTLE HILL WAY A R MARTIN	FOOTER / STEEL for stem wall	Corner dig to missing check at slab insp	2/24
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4965	DANIELSON	TIN TAG +	Passed	(CALL ROB) when you are going to call me
(7)	161 S. RIVER RD PACIFIC	METAL	2/24	(263-0116)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
T/R	BARON	FIELD VERIFICATION	O.K. to remove	2/24
(5)	25 FIELDWAY DR. O/B		Dead Fall	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	ROH LOFF		Passed	2/24
(8)	JOE SMYDER			

OTHER: (BBA) 12 HERON'S NEST; BAKER (287-5685) - CONSULT. RE: P/L & DOCK CONST. ADJACENT.  
Ed. — REFERENCE 1/26

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thurs~~ ~~Fri~~ ~~Sat~~ ~~Sun~~, 2008, Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S	<del>5212</del> ROHLOFF <del>1000 BIRCHWOOD DR.</del>	<del>1/11/08</del>	<del>Pass</del>	<del>1/26</del>
✓ S	(3) ROOF TILE SPECIALISTS			
✓ S	5209 TRAUTNER (4) 9 MIDDLE ROAD EMMICK CONST.	SHEATHING	wall + roof	1/26
✓ W	4723 KOCH (10) 71 N. RIVER RD. W.B. BROWN	FINAL- REINSF. (VERIFY APPLIANCE) INST. FOR C.O.	Appliances, El panel, jacuzzi all OK.	1/26
✓	5234 <del>McCARTNEY</del> <del>45 W. HIGHWAY</del> <del>WILSON BEANS</del>			
	PERMIT OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	PERMIT OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	PERMIT OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/9/01, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5214	ROHLOFF	HOT MOP ?		260-0622 (JOSE)
7	20 RIVERVIEW DR. C+D ENT.			<del>CALL IF NOT</del> <del>NOTIFIED</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5007	PAGE	TILE-IN	Passed	2/9
6	8 ST. LUCIE CT. WHITE LAKE PRDP.	PROGRESS	Screen	on w. 2 screws near hill crest! S-Tile
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5229	SEELY	FORM + STEEL	Passed	2/9
1	37 NE. LOFTING HARBOR BAY POOLS	Waterfall (wade)		9 <sup>00</sup>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5242	KOCH	GARDEN WALL	Passed	2/9
2	71 N. RIVER RD. W.B. BROWN (CHRS 546-6161)	PTGS.		See 11 <sup>30</sup> if time
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5234	MCCARTNEY	RET. WALL INSP	Passed	2/9
11	45 W. HIGH POINT WILSON BLDG.	Ret wall		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5245	OLNEY	FINAL-	Passed	2/9
8	91 S. SEWALL'S POINT RD K&S INC.	SCREEN ENCL.	Pool final	2/9
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ ~~2/15/16~~ , 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 2209	Tranter 9 Middle Rd. Pacific	TT + Metal	Passed	2/16
✓ S 5068	Winer (285-4600) 19 Ridgeland Loar Jen.	Slab <i>rescheduled cancelled</i>		Call Loar re time 485 3082 11 <sup>00</sup> LAST INSP. IF POSSIBLE
✓ S 5013	DENNIS 16 RIDGELAND DR. FL. FINEST	RAKE BEAM + Header	Passed	2/16
✓ N 5117	BECKHAM 3 OAKHILL WAY POOLS b Greg	FINAL - POOL	Passed HG: 2	2/15 Edge ?? 260 2367 Chip
✓ S T/R	MUSSO 18 S. RIVER RD. HARRY BLUE	FIELD VERI.	Passed 2/16	PN 5262 10 <sup>00</sup> 336 2024
✓ S 5244	BENZING 137 S. RIVER RD O/B (GEE & JENSON) "JERRY" 662-3663	COLUMN STL.	Partial 2/16	Monday 2/19
✓ S [REDACTED]	ROHLOFF [REDACTED] DR ROOF TILE SPIKEFASTS	[REDACTED]	[REDACTED]	2/16

OTHER: \_\_\_\_\_

INSPECTOR (Name/Signature): \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5335	GABRYNOWICZ	FRAMING	PASSED	
N (3)	5 QUAIL RUN TC CARPENTRY JACK - 475-7322	(EXT. COLUMN REPL.)		INSPECTOR: SA
✓ 5328	DAILEY	T/T & MTL.	PASSED	
N (1)	20 PERRIWINKLE LAKE CAPPS & HUFF INC.			INSPECTOR: SA
✓ <del>5311</del>	<del>ROTHLOFF</del>	<del>TRUSS MOD.</del>	<del>PASSED</del>	<del>TRUSS MOD. VERIFIED</del>
S (6)	<del>22 [REDACTED] DR.</del>			
	ROOF TILE SPEC. (JOSE 260-0622) - C&DEMT.			INSPECTOR: SA
✓ T/R	HODDER	FIELD VERIF.	O.K.	PER LANDSCAPE PLAN:
N (2)	63 N. RIVER ROAD COASTLINE LANDSCAPE		OK FOR PERMIT	DAN SIGGS, LANDSCAPE ARCH. INSPECTOR: SA
✓ T/R	HART	FIELD VERIF.	OK FOR PERMIT	
S (4)	25 SIMARA ST. O/B			INSPECTOR: SA
✓ T/R	DONOHUE (BROOME)	FIELD VERIF.	DENIED	REPL/RELOC. REQUIRED - LIVE KNOCKED DOWN DURING FILL.
S (5)	160 S. SEWALL'S POINT RD (VICKI) O/B			INSPECTOR: SA
↓	<del>R. Henry</del>	<del>Shedding</del>		late FRIDAY 4/27
	<del>E High Pt.</del>	<del>to roof</del>		REQUEST
	<del>Horton Roofing</del>			INSPECTOR: _____

OTHER: (5) \* CODE ENFORCEMENT INVESTIGATION INITIATED. TREE APPARENTLY KNOCKED DOWN - PRIOR TO PERMIT; REQUESTED P.D. PHOTOS. OWNER ADVISED OF PERMIT DENIAL.

**5389**

**RETAINING**

**WALL**

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 5/24/01

BUILDING PERMIT NO. 5389

Building to be erected for ROBERT J. ROHLOFF

Type of Permit RETAINING WALLS

Applied for by ~~20 RIVERVIEW DR.~~ ENGINEERED HOMES, INC.  
(Contractor)

Building Fee \$325.00

Subdivision RIVERVIEW Lot 13 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 RIVERVIEW DR.

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

Parcel Control Number:

Electrical Fee \_\_\_\_\_

12-38-41-001-000-00130-10000

Plumbing Fee \_\_\_\_\_

Amount Paid \$357.50 Check # 3726 Cash \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 33,855.00

Other Fees ( PLUMB ) 32.50  
REV

TOTAL Fees \$357.50

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____
COMPACTION TESTS	DATE _____
GROUND ROUGH	DATE _____
SOIL POISONING	DATE _____
FOOTINGS / PIERS	DATE _____
SLAB ON GRADE	DATE _____
TIE-BEAMS & COLUMNS	DATE _____
STRAPS AND ANCHORS	DATE _____
DRIVEWAY	DATE _____
AS-BUILT SURVEY	DATE _____

SHEATHING	DATE _____
FRAMING	DATE _____
INSULATION	DATE _____
ROOF DRY-IN	DATE _____
ROOF FINAL	DATE _____
METER FINAL	DATE _____
AS BUILT SURVEY	DATE _____
STORM PANELS	DATE _____
LANDCAPE & GRADE	DATE _____
FINAL INSPECTION	DATE _____

FLOOD ZONE \_\_\_\_\_

LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

New Construction    Remodel    Addition    Demolition

This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



C

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 5/24/01

BUILDING PERMIT NO. 5389

Building to be erected for ROBERT J. ROHLOFF

Type of Permit RETAINING WALLS

Applied for by ~~20 RIVERVIEW DR.~~ ENGINEERED HOMES, INC.  
(Contractor)

Building Fee \$325.00

Subdivision RIVERVIEW Lot 13 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 RIVERVIEW DR.

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

~~12/3/02 - Renewal \$325.00  
Check #160~~

Electrical Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

12-38-41-001-000-00130-10000

Roofing Fee \_\_\_\_\_

Amount Paid \$357.50 Check # 3726 Cash \_\_\_\_\_

Other Fees ( PLAD REV ) 32.50

Total Construction Cost \$ 33,855.00

TOTAL Fees \$357.50

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAL

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Bldg. Permit Number:

RECEIVED

5389

APR 26 2001

Owner or Titleholder's Name ROBERT J. ROHLOFF Phone No. (561) 288-1199  
Street 90 RIVERVIEW DR. #20 City STUART State: FL Zip 34996  
Legal Description of Property: RIVERVIEW SUBDIVISION LOT 13

Parcel Number: 12-38-41-001-000-00130-10000

Location of Job Site: \_\_\_\_\_

TYPE OF WORK TO BE DONE: GRADING AND SOIL RETENTION WALLS

CONTRACTOR/Company Name: ENGINEERED HOMES, INC Phone No. (561) 283-7870

Street: 15 PALM ROAD City STUART State: FL Zip 34996

State Registration: \_\_\_\_\_ State License: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ Phone No. ( ) \_\_\_\_\_

Street: \_\_\_\_\_ City \_\_\_\_\_ State: \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER: COLLUM ENGINEERING Phone No. (561) 840-9742

Street: 104 EASTWIND DR City N. PALM BEACH State: FL Zip 33408

AREA SQUARE FOOTAGE - SEWER - ELECTRIC: N/A

Living Area: \_\_\_\_\_ Garage Area: \_\_\_\_\_ Carport: \_\_\_\_\_ Accessory Bldg: \_\_\_\_\_

Covered Patio: \_\_\_\_\_ Scr. Porch: \_\_\_\_\_ Wood Deck: \_\_\_\_\_

Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_

New Electrical Service Size: \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION

Flood zone: NONE Minimum Base Flood Elevation (BFE): \_\_\_\_\_ NGVD

Proposed first habitable floor finished elevation: \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES

Estimated cost of construction or improvement: \$ 33,855

Estimated Fair Market Value (FMV) prior to improvement: \$ 1,090,099

If improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO

Method of determining Fair Market Value: COUNTY ASSESSMENT

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)

R. J. Rohloff  
Owner

State of Florida, County of: MARTIN On this the 25 day of APRIL, 2001, by Arthur Burr who is personally known to me or produced KNOWN as identification.

CONTRACTOR SIGNATURE (Required)

Rafael Diaz Jr  
Contractor

State of Florida, County of: MARTIN On this the 26 day of APRIL, 2001, by Rafael Diaz Jr who is personally known to me or produced FL d.L. as identification.

Notary Public

My Commission Expires: LARRY E. MC CARTY  
MY COMMISSION # CC 711235  
EXPIRES: January 26 (Seal)  
Bonded Thru Notary Public Underwriters

LARRY E. MC CARTY  
MY COMMISSION # 1235  
Notary Public  
EXPIRES: January 26 2002  
Bonded Thru Notary Public Underwriters

(Seal)

Number of trees to be removed: NONE Number of trees to be retained: \_\_\_\_\_ Number of trees to be planted: \_\_\_\_\_ Number of Specimen trees removed: \_\_\_\_\_ Fee: \$ \_\_\_\_\_ Authorized/Date: \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies

Approved by Building Official: [Signature] Date: 5/23/09

Approved by Town Engineer \_\_\_\_\_ Date: \_\_\_\_\_  
(If required)

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
05/17/2001

PRODUCER (561)287-2030 FAX (561)288-2481  
Deakins-Carroll Insurance Agency  
www.deakinscarroll.com  
P.O. Box 1597  
Pt. Salerno, FL 34992

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

### INSURERS AFFORDING COVERAGE

INSURED ~~Engineered Homes, Inc.~~  
15 Palm Road  
Stuart, FL 34996-6306

INSURER A: Maryland Casualty Company  
INSURER B: FCCI Insurance Company  
INSURER C:  
INSURER D:  
INSURER E:

**FILE**  
*lec/ur*  
**FILE** *permut* **COPY**

**RECEIVED**  
MAY 21 2001  
BY: *[Signature]*

### COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	<del>GENERAL LIABILITY</del>	<del>00008400703</del>	<del>01/14/2001</del>	<del>01/14/2002</del>	EACH OCCURRENCE	\$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
					PERSONAL & ADV INJURY	\$ 300,000
					GENERAL AGGREGATE	\$ 600,000
					PRODUCTS - COMP/OP AGG	\$ 600,000
		GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	EXCESS LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input type="checkbox"/> RETENTION \$					\$
						\$
B	<del>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</del>	<del>001W000A38410</del>	<del>03/01/2001</del>	<del>03/01/2002</del>	WC STATU-TORY LIMITS	
					OTHER	
					E.L. EACH ACCIDENT	\$ 100,000
					E.L. DISEASE - EA EMPLOYEE	\$ 100,000
	OTHER				E.L. DISEASE - POLICY LIMIT	\$ 500,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

### CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER

### CANCELLATION

~~Sewall's Point, Town of~~  
1 South Sewall's Point Road  
Stuart, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

C. J. Deakins, Jr./BW *[Signature]*

STATE OF FLORIDA AC# 587587  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
QB 0019073 1022671997 99011602  
QUALIFIED BUSINESS ORGANIZATION  
ENGINEERED HOMES INC  
(NOT A LICENSE TO PERFORM WORK  
ALLOWS COMPANY TO DO BUSINESS IF  
IT HAS A LICENSED QUALIFIER)  
IS QUALIFIED under the provisions of Ch. 489 FS.  
Expiration Date: AUG 31, 2001

STATE OF FLORIDA AC# 5883951  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CR 0039458 0621572000 99902226  
CERTIFIED RESIDENTIAL CONTRACTOR  
DIAZ, RAFAEL  
ENGINEERED HOMES INC  
IN GOD WE TRUST  
IS CERTIFIED under the provisions of Ch. 489 FS.  
Expiration Date: AUG -31- 2002

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

**FILE**

RECEIVED  
MAY 24 2001

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FL

COUNTY OF MARLBOROUGH

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

RIVERVIEW S/D LOT 13, 20 RIVERVIEW DR

GENERAL DESCRIPTION OF IMPROVEMENT: GRADING & SOIL RETENTION WALLS

OWNER: ROBERT J. ROHLOFF

ADDRESS: 21 RIVERVIEW DR, SEWALLS POINT

PHONE #: 288-1199 FAX #: \_\_\_\_\_

CONTRACTOR: ENGINEERED HOMES, INC

ADDRESS: 15 PALM ROAD, STUART, FL 34990

PHONE #: (561) 283-7870 FAX #: (561) 283-7870 1564

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX #: \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_

OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_ FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

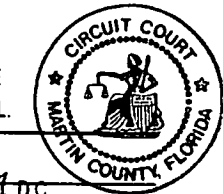
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS INDICATED ABOVE

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25 DAY OF April 2001 BY \_\_\_\_\_

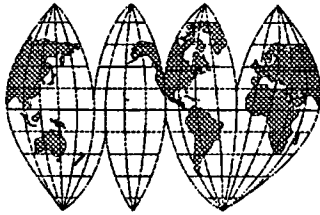
LARRY E. MC CARTY  
MY COMMISSION # CG 11236  
EXPIRES: January 26, 2004  
NOTARY SIGNATURE

PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_



THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.  
MARSHA EWING, CLERK  
BY [Signature] D.C.  
DATE 5-24-01

INSR # 1500451  
OR BKED 01555 PG 0476  
RECORDED 5/24/2001 02:19 PM 05/24/2001  
MARSHA EWING  
RECORDED BY C BURKEY  
12/01/99

**REPORT OF LIMITED TOPOGRAPHIC SURVEY**  
for Robert and Catherine Rohloff  
August 4, 2000**Map of Limited Topographic Survey:**

See Map of Limited Topographic Survey, lands described shown hereon is in accord with the description provided by the Surveyor and Mapper. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

**Legal Description:**

Lot 13, Riverview, as recorded in Plat Book 6, Page 86, Public Records of Martin County, Florida.

**Accuracy:**

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

**Data Sources:**

Recorded adjoining plats were obtained from County repositories.

**Measurement Methods:**

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse indirectly connected the most northerly and southerly property corners and features were found from this traverse by side ties using a redundancy of measurements.

**General:**

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- This Limited Topographic Survey is for the area lying West of the residence.

**Limitations:**

- This Survey was last surveyed in the field on August 4, 2000 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground encroachments were noted by this survey, unless depicted or stated hereon.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The parcel as shown hereon has not been surveyed for determination of jurisdictional wetlands as defined by any governmental entity. Any acreage shown hereon is calculated without regard to any such jurisdiction.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the end user to determine the scale indicated hereon as reliable for the intended uses. Certification is made only to the original scale so indicated.
- Address: 20 Riverview Drive, Stuart, Florida 34996

**Robert and Catherine Rohloff  
Report of Limited Topographic Survey  
Page 2 of 2**

***Prepared for:***

Robert and Catherine Rohloff  
20 Riverview Drive  
Sewall's Point, FL 34996

***Certified to:***

This survey is prepared for the sole and exclusive benefit of Robert and Catherine Rohloff and The Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

***Surveyor and Mapper in Responsible Charge:***

Eric B. Holly, P.S.M.  
Registration No. LS 3336

***DLN, inc.***

P.O. Box 1500, Stuart, FL 34995-1500  
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994  
(561) 288-4880  
Registration No. LB 5715

Signed. \_\_\_\_\_

Date: April 19, 2001



Typical 3  
4" Cap And

Creative Solutions to Civil Engineering Needs



**COLLUM**  
ENGINEERING, INC



704 Eastwind Drive  
N.P.B., Florida 33408  
Phone 561-840-9742  
Fax 561-840-1009

Mr. Ed Arnold, Building Official  
Sewall's Point  
1 South Sewall's Point Road  
Stewart, Fl. 34996

**FILE**  
*Handwritten signature*

May 19, 2001

RECEIVED  
MAY 23 2001  
BY: *[Signature]*

Re: Segmented Retaining Wall  
Burr and Rohloff residences  
20 and 21 Riverview Dr.  
Sewall's Point

Dear Sir:

This letter is to clarify my letter dated May 17, 2001. I have been contracted by Mr. Burr and Mr. Rohloff to inspect the construction of the segmented retaining walls which are described in plans dated 4/23/01 for referenced addresses.

As part of the certification process, I will hold a preconstruction conference with the contractor to clarify items of construction. I will inspect the progress at specific points during the construction. These will include the foundation, geogrid inspection as to strength, layout and proper placement. I will check for soil compaction as required to assure the density are met. The Keystone Segmented Retaining Wall requires proper placement of shear pins. These will be spot checked at interim and final inspection during the construction.

If further is required, please let me know.

Sincerely,

Lee W. Collum, P. E.

Copy: Mr. Burr  
Mr. Rohloff  
Mr. Diaz

704 Eastwind Drive  
N.P.B., Florida 33408  
Phone 561-840-9742  
Fax 561-840-1009

COPY

May 17, 2001

Mr. Ed Arnold, Building Official  
Sewall's Point  
1 South Sewall's Point Road  
Stewart, Fl. 34996

**FILE**

*ready  
appl.*

RECEIVED  
MAY 18 2001  
BY: *[Signature]*

Re: Segmented Retaining Wall  
Burr and Rohloff residences  
20 and 21 Riverview Dr.  
Sewall's Point

**FILE**

*REVIEW W/BAAR (PIC)  
WILL RESUBMIT VERIFYING  
IN PROGRESS & FINAL 12/01*

Dear Sir:

This letter is to confirm that I have been contracted by Mr. Burr and Mr. Rohloff to inspect the construction of the segmented retaining walls which are described in plans dated 4/23/01 for referenced addresses.

I will certify the wall was constructed in substantial conformance with plans and specifications only after observing such successful completion by the contractor. The certification will bear the seal below.

If further is required, please let me know.

Sincerely,



Lee W. Collum, P. E.

# Specification Guidelines

## KEYSTONE Concrete Modular Retaining Wall Section 02276

### Part 1: General

#### 1.01 Description

- A. Work includes furnishing and installing concrete modular block retaining wall units to the lines and grades shown on the construction drawings and as specified herein.
- B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and backfill to the lines and grades shown on the construction drawings.
- C. Work includes furnishing and installing all related materials required for construction of the retaining wall as shown on the construction drawings.

#### 1.02 Related work

- A. Section 02200 - Earthwork
- B. Section 02246 - Geogrid soil reinforcement.

#### 1.03 Reference standards

- A. ASTM C-90 Load Bearing Concrete Masonry Units.
- B. ASTM C-140 Sampling and Testing Concrete Masonry Units.
- C. ASTM D-448 Sizes of Aggregate for Road and Bridge Construction.
- D. ASTM D-698 Laboratory Compaction Characteristics using Standard Effort.

#### 1.04 Delivery, storage and handling

- A. Contractor shall check the materials upon delivery to assure that proper materials have been received.
- B. Contractor shall prevent excessive mud, wet cement, epoxy, and similar materials (which may affix themselves) from coming in contact with the materials.
- C. Contractor shall protect the materials from damage. Damaged materials shall not be incorporated into the retaining wall structure.

#### 1.05 Submittals

- A. Samples of all product used in the work of this section.
- B. Manufacturer's specifications (latest edition) for proposed materials, method of installation and list of materials proposed for use.
- C. Design information establishing the stability of the proposed structure(s).

#### 1.06 Quality assurance

- A. Owner will be responsible for soil testing and inspection quality control during earthwork operations.

### Part 2: Products

#### 2.01 Definitions

- A. Modular Concrete Units - a KEYSTONE modular concrete facing unit, machine made from portland cement, water and mineral aggregates.
- B. Structural Geogrid - a structural geogrid formed by a regular network of integrally connected tensile elements with apertures of sufficient size to allow interlocking with surrounding soil, rock, or earth and function primarily as reinforcement.

- C. Unit Fill - drainage aggregate which is placed within and immediately behind the modular concrete units.
- D. Reinforced Backfill - Compacted soil which is within the reinforced soil volume as shown on the plans.

### **2.02 Concrete units**

- A. Modular wall units shall be KEYSTONE® Retaining Wall Units as manufactured by \_\_\_\_\_ in accordance with ASTM C-90 and ASTM C-140.
- B. Concrete wall units shall have a minimum 28-day compressive strength of 3,000 psi. Standard weight concrete shall have a maximum moisture absorption of 8%.
- C. Dimensional tolerances shall be in accordance with ASTM C-90 except those measured to the split face which varies. Standard and Compac units shall have a minimum of 1 sq. ft. face area each. Mini units shall have a minimum 1/2 sq.ft. face area each.
- D. KEYSTONE modular units shall provide an in-place weight of 130 pcf. including the unit fill which is contained within the nominal dimension of the unit.
- E. Units shall have angled sides capable of concave and convex alignment curves with a minimum radius of 3.5 feet (Where applicable, for straight walls, use non-angled straight side cap units.)

### **2.03 Fiberglass connecting pins**

- A. Connecting pins shall be 1/2" diameter thermoset isophthalic polyester resin-pultruded fiberglass reinforcement rods supplied by the unit manufacturer.
- B. Pins shall have a minimum flexural strength of 128,000 psi and short beam shear of 6,400 psi.

### **2.04 KEYSTONE KapSeal™ construction adhesive**

- A. Material shall conform to ASTM 2339 and shall be supplied by the KEYSTONE unit supplier.

### **2.05 Base levelling and pad material**

- A. Material shall consist of compacted crushed stone or unreinforced concrete as shown on the construction drawing. "Pea gravel" or any other poorly graded stone shall not be permitted.

### **2.06 Unit fill**

- A. Fill for units shall be free draining crushed stone or gravel, 1/2" to 3/4", with no more than 5% passing the No. 50 sieve and conforming to ASTM D448. Gradation of the fill shall be approved by the engineer. "Pea gravel" shall not be used.

### **2.07 Backfill**

- A. Material may be site excavated soils when approved by the Engineer or otherwise specified in the design drawings. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the backfill or in the reinforced soil mass.
- B. Where borrow or imported fill is required, contractor shall submit samples and material specifications to the Engineer for approval.

## **Part 3: Execution**

### **3.01 Excavation**

- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Contractor shall be careful not to disturb embankment and foundation materials beyond lines shown.

### **3.02 Foundation soil preparation**

- A. Foundation soil shall be excavated as required for leveling pad dimensions shown on the construction drawings, or as directed by the Engineer.
- B. Foundation soil shall be approved by the Engineer to confirm that the actual foundation soil conditions meet or exceed assumed design conditions.
- C. Unsuitable soils shall be removed and replaced with acceptable material.
- D. Over-excavated areas shall be backfilled with approved compacted backfill material.

### **3.03 Base leveling pad**

- A. Leveling pad materials shall be placed upon an approved foundation as shown on the construction drawings to a minimum thickness of 6".
- B. Aggregate material shall be compacted to provide a dense, level surface on which to place the first course of modular units. Compaction shall be to 95% of Standard Proctor Density as determined in accordance with ASTM D698. For crushed rock, material shall be densely compacted as determined by visual observation.
- C. Leveling pad shall be prepared and levelled to ensure complete contact of retaining wall unit with base.
- D. Contractor may use a reduced depth of gravel or crushed rock in conjunction with a concrete topping. Concrete shall be unreinforced and a minimum of 3" thick.

### **3.04 Unit Installation**

- A. The first course of concrete modular wall units shall be carefully placed on the base leveling pad. Each unit shall be checked for level and alignment.
- B. Ensure that all units are in full contact with base and properly seated.
- C. Units are placed side by side for full length of wall alignment. Alignment may be done by means of a string line or offset from a base line.
- D. Install fiberglass connecting pins and fill all voids in and around the modular units with unit fill material. Tamp or rod unit fill to insure that all voids are completely filled.
- E. Sweep excess material from top of units and install the next course. Ensure that each course is completely unit filled, backfilled and compacted prior to proceeding to next course.
- F. Place each subsequent course ensuring that pins protrude into adjoining courses a minimum of 1". Two pins are required per unit. Pull each unit forward, away from the fill zone, locking against the pins in the previous course and backfill as the course is completed. Repeat procedure to the extent of wall height.
- G. Follow wall erection and unit fill placement closely with any other backfilling required. Compaction of all soils shall be to 95% of Standard Proctor Density as determined in accordance with ASTM D698. The top 8" of the structure fill shall be a low permeability soil to minimize surface water runoff from directly entering the unit fill or reinforced soil zones.
- H. As appropriate where the wall changes elevation, units can be stepped with the grade or turned into the embankment with a convex return end. Provide appropriate buried units on compacted leveling pad in area of convex return end.

### **3.05 Cap Installation**

- A. Place KEYSTONE Cap units over projecting pins from units below. Pull forward to setback position. Backfill and compact to finished grade with low permeability soil.
- B. As required, provide permanent mechanical connection to wall units with KEYSTONE KapSeal™ construction adhesive. Apply adhesive to top surface of unit below and place cap unit into position.

### **3.06 Geogrid Installation**

- A. Follow the requirements of Section 02246, Geogrid Soil Reinforcement.

## **Geogrid Soil Reinforcement Section 02246**

### **Part 1: General**

#### **1.01 Description**

- A. Work includes furnishing and installing geogrid reinforcement and backfill to the lines and grades designated on the construction drawings.
- B. Work includes furnishing and installing all related materials required for construction of the geogrid reinforced soil retaining wall as shown on the construction drawings.

**1.02 Related work**

- A. Section 02276: KEYSTONE Concrete Modular Retaining Wall.

**1.03 Reference standards**

- A. See specific geogrid manufacturer's reference standards.

**1.04 Delivery, storage and handling**

- A. Contractor shall check the geogrid upon delivery to assure the proper material has been received.
- B. Geogrids shall be stored above -20°F.
- C. Contractor shall prevent excessive mud, wet cement, epoxy and similar materials (which may affix themselves to the gridwork) from coming in contact with the geogrid material.
- D. Rolled geogrid material may be laid flat or stood on end for storage.

**1.05 Submittals**

- A. Samples of all products used in the work of this section.
- B. Manufacturer's specifications (latest edition) for proposed materials, method of installation and list of materials proposed for use.

**1.06 Quality assurance**

- A. Owner will be responsible for soil testing and inspection quality control during earthwork operations.

## **Part 2: Products**

**2.01 Definitions**

- A. Geogrid products shall be high-density polyethylene or polypropylene expanded sheet or polyester woven fiber materials, specifically fabricated for use as soil reinforcement.
- B. Structural Geogrid - a structural geogrid formed by a regular network of integrally connected tensile elements with apertures of sufficient size to allow interlocking with surrounding soil, rock, or earth and function primarily as reinforcement.
- C. Modular Concrete Units - a KEYSTONE segmental concrete facing unit, machine made from portland cement, water and mineral aggregates.
- D. Unit Fill - drainage aggregate which is placed within and immediately behind the modular concrete units.
- E. Reinforced Backfill - Compacted soil which is within the reinforced soil volume as shown on the plans.

**2.02 Geogrid**

- A. Geogrid shall be the type as shown on the drawings having the property requirements described within the manufacturer's specifications and required by the design.

**2.03 Acceptable manufacturers**

- A. A manufacturer's product shall be approved by the Engineer.

## **Part 3: Execution**

**3.01 Excavation**

- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Contractor shall be careful not to disturb embankment and foundation materials beyond lines shown.

### **3.02 Foundation soil preparation**

- A. Foundation soil shall be excavated as required for leveling pad dimensions shown on the construction drawings, or as directed by the Engineer.
- B. Foundation soil shall be approved by the Engineer to confirm that the actual foundation soil conditions meet or exceed assumed design conditions. Unsuitable soils shall be removed and replaced with acceptable material.
- C. Over-excavated areas shall be backfilled with approved compacted backfill material.
- D. Foundation soil shall be proof rolled prior to fill and geogrid placement.

### **3.02 Wall erection**

- A. Wall erection shall be as specified under Section 02276: KEYSTONE Concrete Modular Retaining Wall.

### **3.03 Geogrid Installation**

- A. Geogrid shall be laid at the proper elevations and orientation as shown on the construction drawings or as directed by the Engineer.
- B. Correct orientation (roll direction) of the geogrid shall be verified by the contractor.
- C. The geogrid soil reinforcement shall be connected to the modular wall units by placing the geogrid over fiberglass pins and laying the grid back to the fill side.
- D. The geogrid shall be pulled taut (50lbs/ft±) to eliminate loose folds and pretension the reinforcement. Stake or secure back edge of geogrid prior to and during backfill and compaction.
- E. Follow manufacturer's guidelines relative to overlap requirements of uniaxial and biaxial geogrids.

### **3.04 Fill placement**

- A. Backfill material shall be placed in 8" lifts and compacted to 95% of Standard Proctor density as determined in accordance with ASTM D698. The in-place moisture content shall not exceed the optimum moisture content as determined in accordance with ASTM D698 and be no lower than 2% below optimum moisture content
- B. Backfill shall be placed, spread and compacted in such a manner that minimizes the development of slack or loss of pretension of the geogrid.
- C. Only hand-operated compaction equipment shall be allowed within 3' of the back surface of the KEYSTONE units.
- D. Backfill shall be placed from the wall back towards the embankment to ensure that the geogrid remains taut.
- E. Tracked construction equipment shall not be operated directly on the geogrid. A minimum backfill thickness of 6" is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
- F. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, [less than 10 mph.] Avoid sudden braking and sharp turning.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12-4-02, 2001; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5631	HART	BLDG C.O.		Reg to be load one of
<small>ALSO 578543M pay 3.81</small>	61 S. River Rd WM CHAP.	(a) (b) STEVE 528 1002	Pass	one dupl etc day 11:00 INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	STORCK	TREE	Pass	
(4)	27 W. River Rd			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6010	FASANO	Final	Pass	
(6)	12 Ridgeview Rd STONUMS	(wood deck repair)		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5983	Doss	Boathr/Piling	?	Deck 8' w/d 7'
(7)	85 S. River Rd Bella Marine	FINAL		Length ?? cuts 142' INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>5389</del>	<del>Rehloff</del>	<del>Retaining Walls</del>	<del>Pass</del>	<del>1st thing - if possible</del>
(1)	20 Riverview Dr. ENGINEERED HOMES	FINAL		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5390	Burr	Retaining Walls		1st thing - if possible
(2)	21 Riverview Dr. ENGINEERED HOMES	Final	Pass	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5008	WENNER	FENCE FINAL	Pass	
6055	19 RIVERLAND DR. LEBA	BLDG FINAL		→ dupl etc INSPECTOR:

OTHER: \_\_\_\_\_



**6039**

**MOORING**

**PILES**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 11-18-02

BUILDING PERMIT NO. 6039

Building to be erected for Robert + Catherine Rohhoff Type of Permit Mooring Piles

Applied for by Dredge + Marine Const. (Contractor) Building Fee 35.00

Subdivision Riverview Lot 13 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 20 Riverview Dr Impact Fee \_\_\_\_\_

Type of structure SFR A/C Fee \_\_\_\_\_

Parcel Control Number: \_\_\_\_\_ Electrical Fee \_\_\_\_\_

12-384,001 060 0130 10000 Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 4322 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_ Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 2400.00 TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL          |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK       |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE               |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                 |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION          |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input checked="" type="checkbox"/> ADDITION |
|   |  | <u>Mooring Piles</u>                         |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: ROBERT & CATHERINE ROHLOFF City: SEWALL'S PT. State: FL Zip: 34996
Legal Description of Property: 20 RIVERVIEW DR Parcel Number: 12-38-41-001-00000-130-10000
Location of Job Site: 20 RIVERVIEW DR Type of Work To Be Done: ADD MOORING PILES

CONTRACTOR/Company Name: DREDGED MARINE CONST. Phone Number: (772) 288-1199
Street: PO Box 399 City: PT SALERNO State: FL Zip: 34992
State Registration Number: State Certification Number: CGC 015805 Martin County License Number:

ARCHITECT: Phone Number:
Street: City: State: Zip:

ENGINEER: Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:
Carpport: Total Under Roof Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE):

COST AND VALUES Estimated Cost of Construction or Improvements: \$ 2400 Estimated Fair Market Value (FMV) Prior
To Improvements If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION NONE
Electrical State License Number:
Mechanical State License Number:
Plumbing State License Number:
Roofing State License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS,
HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE
REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION
Florida Building Code (Structural, Mechanical, Plumbing, Gas) South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code Florida Energy Code
Florida Accessibility Code

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required)
State of Florida, County of: Robert J. Rohloff
This the 30th day of August, 2002
by Robert J. Rohloff who is personally
known to me or produced F.L.D.I.
as identification. Joan H. Barrow
Notary Public

My Commission Expires: Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

CONTRACTOR SIGNATURE (Required)
On State of Florida, County of: Merton
This the 29th day of August, 2002
by M. Kremsler who is personally
known to me or produced
As identification. Joan H. Barrow
Notary Public

My Commission Expires: Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC. Seal



# ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR BQ  
DREDG-1

DATE (MM/DD/YY)  
02/26/02

**PRODUCER**  
C & L Insurance, Inc.  
7301 W. Palmetto Pk. Rd. 101C  
Boca Raton FL 33433  
Phone: 561-395-3730 Fax: 561-395-4239

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED**  
Dredge & Marine Construction  
Inc.  
P.O. Box 399  
Port Salerno FL 34992

INSURER A: **St. Paul Fire & Marine**  
INSURER B:  
INSURER C:  
INSURER D:  
INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	368FA0906	02/15/02	02/15/03	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
					PRODUCTS - COMP/OP AGG	\$ 1,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC AGG	\$
	EXCESS LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
	<input type="checkbox"/> DEDUCTIBLE					\$
	<input type="checkbox"/> RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS	OTH-ER
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE - EA EMPLOYEE	\$
					E.L. DISEASE - POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER  N ADDITIONAL INSURED; INSURER LETTER: \_\_\_\_\_ CANCELLATION

**TSEWALL**  
  
Town of Sewalls Point  
Fax 561-220-4765  
13 Sewalls Point  
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT ~~THE INSURER~~ SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

Hill Underwood *Hill Underwood*

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NUMBER
07/15/2000	000001	CG-C-015805

The GENERAL CONTRACTOR  
License No. CG-C-015805  
was issued to  
Under the provisions of Chapter 489  
Expiration date: AUG 31 2002



KREMSER, DAVID A.  
DREDGE & MARINE CONSTRUCTION CO.  
PO BOX 399  
6631 SE POMPANO TERRACE  
PORT SALERNO, FL 34992

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON  
SECRETARY

CG-C-015805

12-27-2001

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW

**FILE**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 01/28/2002  
EXPIRATION DATE 01/28/2004  
EXEMPTED INDIVIDUAL NAME KREMSER DAVID M  
S.S. 261-13-3593  
BUSINESS NAME DREDGE & MARINE CONSTRUCTION CO INC  
FEIN 650389186  
BUSINESS ADDRESS P O BOX 399 PT SALERNO FL 34992

NOTE: Pursuant to Chapter 440.10(1)(g), 2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE 01/28/2002  
EXPIRATION DATE 01/28/2004  
EXEMPTED PERSON LAST NAME KREMSER  
FIRST NAME DAVID M  
SOCIAL SECURITY NUMBER 261-13-3593  
BUSINESS NAME DREDGE & MARINE CONSTRUCTION C  
FEDERAL IDENTIFICATION NUMBER 650389186  
BUSINESS ADDRESS P O BOX 399  
PT SALERNO FL 34992

F  
O  
L  
D  
  
H  
E  
R  
E

NOTE: Pursuant to chapter 440.10(1)(g), 2 F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

**2001-2002 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE**

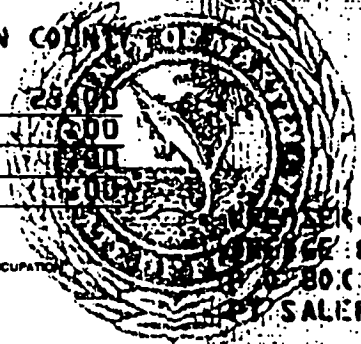
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(888) 288-5804

LIC. NO. 1790-513-178 CERT. CG 015805  
PHONE (888) 283-2521 LIC. NO. 01521  
LOCATION: \_\_\_\_\_

**5845 SE GENERAL LEE TER MART**

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>0.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **GENERAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

29 DAY OF AUGUST 2001  
AND ENDING SEPTEMBER 30, 2002

**DAVID M  
& MARINE CONSTRUCTION CO  
P.O. BOX 399  
SALERNO FL 34792**

12 01082401002344

20 Riverview Drive  
Stuart FL 34996  
October 20, 2002

Thomas O. McCarthy  
336 Robert Street N Suite 1124  
St. Paul, MN 55101

Dear Mr McCarthy,

My name is Robert Rohloff and I own the property immediately south of you on the St. Lucie river, Sewall's Point in Stuart Florida. I've purchased a new boat which is larger than my previous boat and wish to add some pilings for mooring the larger boat to the existing warf. I've acquired the necessary permits as per the attachment but still require approval from the town of Sewall's Point. The town's by-laws require that adjacent property owners be petitioned to see if there is any objection to the proposed changes. Also enclosed is a plat which shows the placement of the additional pilings.

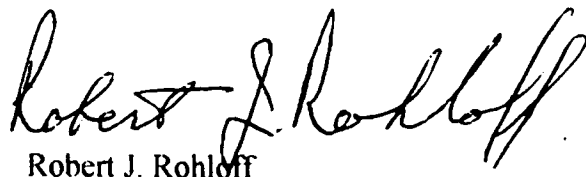
This letter is to respectfully request that you complete the enclosed "Letter of no Objection" and return it to Mr. Gene Simmons in the enclosed addressed envelope. The supplied envelope has been addressed as follows:

Town of Sewall's Point  
One South Sewall's Point Road  
Sewall's Point, FL 34996

Attn.: Gene Simmons - Building Dept.

Your property is truly beautiful with many valuable mature trees. However, some of them appear to sustaining damage because of an abundance of vine growth. You may consider it to your advantage to look into this matter. If I can be of any help to you please feel free to call me at (772)288-1199.

Sincerely,

  
Robert J. Rohloff



# DOCK PERMIT

## LETTER OF NO OBJECTION

We, ARTHUR A. BURR and MARILYN BURR  
being the owner (s) of certain property adjacent to and abutting the  
property of ROBERT J. KOHLLOFF who have applied for a  
dock permit for construction, have read and reviewed the drawing of  
the dock and We (I) have no objection to the proposed dock pursuant  
to the plan attached herein.

*Arthur A. Burr*  
Signature

*Marilyn Burr*  
Signature

STATE OF Florida

COUNTY OF Martin

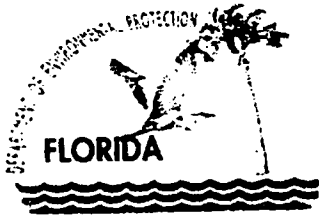
SWORN TO AND SUBSCRIBED before me this 25<sup>th</sup> day  
of October, 20 02

*Joan H. Barrow*  
NOTARY PUBLIC



Joan H. Barrow  
MY COMMISSION # CC763645 EXPIRES  
November 30, 2002  
BONDED THRU TROY FAIR INSURANCE, INC.

MY COMMISSION EXPIRES: \_\_\_\_\_



Jeb Bush  
Governor

# Department of Environmental Protection

Port St. Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St. Lucie, FL 34952  
(772)398-2806 Fax (772)398-2815

David B. Struhs  
Secretary

JUN 19 2002

Robert and Catherine Rohloff  
20 Riverview Drive  
Stuart, FL 34996

File Number: 43-0199813-001  
Martin County

Dear Mr. and Mrs. Rohloff:

On May 24, 2002, we received your application for an exemption to perform the following activities: install additional mooring pilings for an existing dock, as indicated in the approved plans in the St. Lucie River, Class III Waters of the State, located at 20 Riverview Drive (Section 12, Township 38 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

## 1. Regulatory Review - EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(a), F.A.C.

## 2. Proprietary Review (related to state-owned lands) - GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (B.O.T.) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapter 253, F.S., Chapter 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereign submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project.

*"More Protection, Less Process"*

Printed on recycled paper.

**3. Federal Review (State Programmatic General Permit) - AUTHORIZATION GRANTED**

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) General conditions apply to your project, as attached. **No further permitting for this activity is required by the Corps.** The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

**NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS**

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(a), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(a), F.A.C.

Robert and Catherine Rohloff  
File Number: 43-0199813-001  
Page Three

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

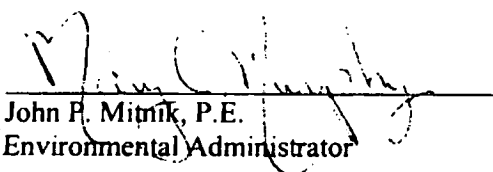
If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection, Southeast District - Port St. Lucie Branch Office  
Submerged Lands & Environmental Resources Program, 1801 SE Hillmoor Drive Suite C-204  
Port St. Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program. If you have questions regarding this matter, please contact **Mark Youmans** of this office, at telephone (772)398-2806.

Sincerely,



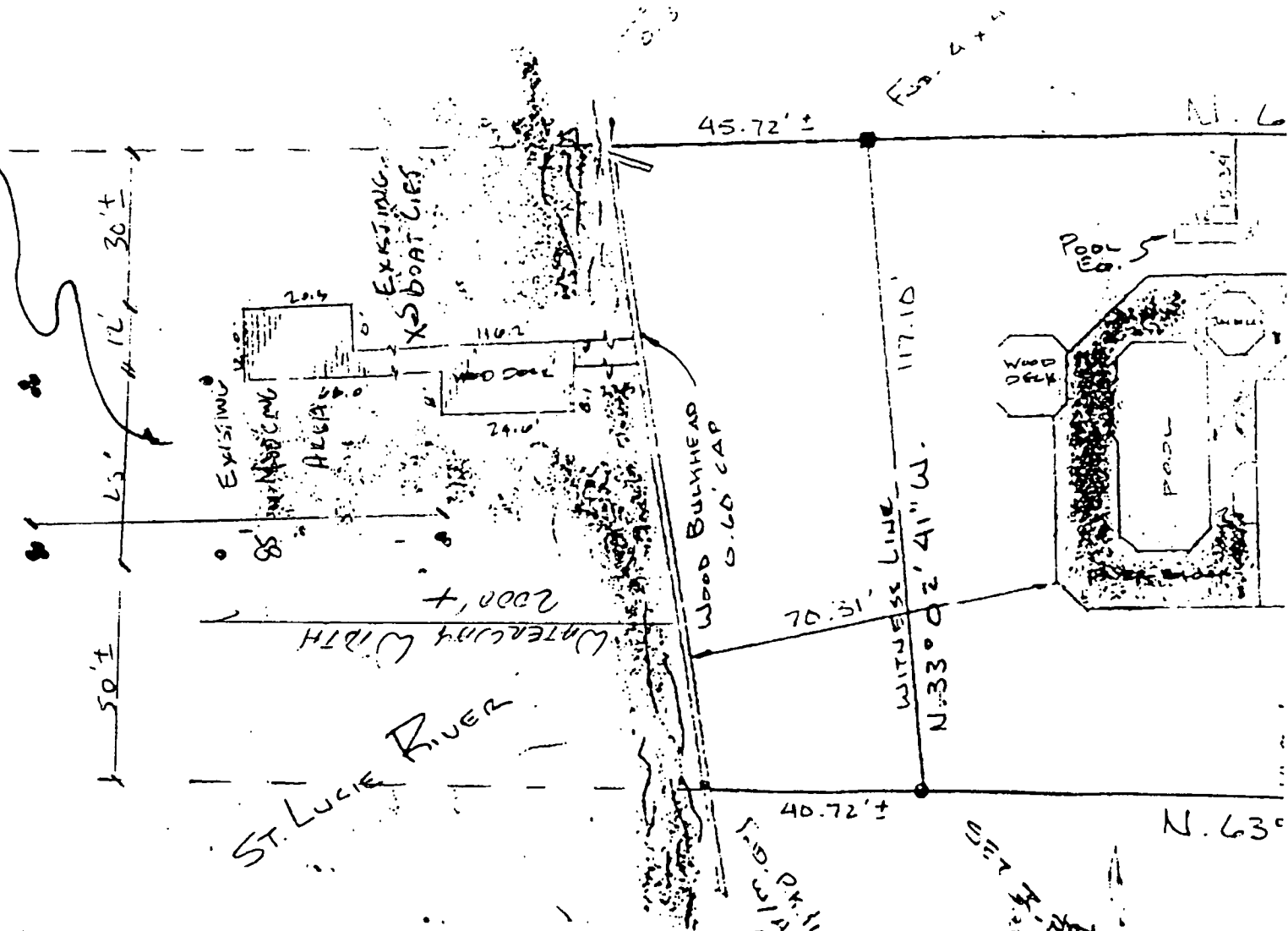
John P. Mitnik, P.E.  
Environmental Administrator

JPM/ML  
XL

Enclosures: General Consent Conditions  
Federal Manatee Conditions, Federal General Conditions for SPGP III- R1 and Transfer Request  
Attachment A- Notice of Determination of Qualification for Exemption  
Attachment D- General Single-Family Dock Information

cc: U.S. Army Corps of Engineers, Stuart [without enclosures]  
Dredge Marine Construction, Inc. (Agent) [without enclosures]

MOORING AREA IS EXISTING-  
 PROPOSED ADDITION OF  
 MORE PILING TO ACCOMMODATE  
 LARGER VESSEL



ST. LUCIE RIVER

AC ACRE  
 A/C AIR CONDITIONER  
 ALUM ALUMINUM  
 ANC ANCHOR  
 AVE AVENUE  
 BRG BEARING  
 BLK BLOCK  
 BLVD BOULEVARD  
 BE BUFFER EASEMENT  
 BLDG BUILDING

CHD CHORD DISTANCE  
 CONC CONCRETE  
 CBS CONC. BLOCK STRUCTURE  
 CM CONCRETE MONUMENT  
 CNR COULD NOT READ  
 CPP CONCRETE POWER POLE  
 COR CORNER  
 COV COVERED  
 CMP CORRUGATED METAL PIPE  
 CVG CONCRETE VALLEY GUTTER



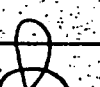
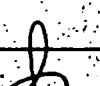

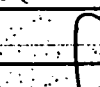

EW EDGE OF WATER  
 EM ELECTRIC METER  
 ES ELECTRIC SERVICE  
 ELEV ELEVATION  
 ENCL ENCLOSURE  
 ENCRO ENCROACHMENT  
 X 17.00 EXISTING ELEVATION  
 FT FEET  
 F FIELD MEASUREMENT  
 FNC FENCE

431 2013 004  
 JUN 19 2013

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1-24, 2004, 3 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>6032</del>	<del>ROTTLOFF</del>	<del>MOVING DR</del>	<del>Passed</del>	<del>Close file</del>
(1)	20 RIVERVIEW DR DREDGE + MARINE	FINAL		INSPECTOR: 
6083	MISER	BOATLIFT	Passed	Close file
(5)	21 ISLAND ROAD J&B BOATLIFT		Final	INSPECTOR: 
5700	D'Alessandro	INSULATION	Passed	
(4)	107 ABBIE COURT FRASIER	(walls only)		INSPECTOR: 
6097	RISEDORPH	TIN TAG + METAL	Passed	
(2)	17 S. VIA LUCINDIA MARC PROVENCHER			INSPECTOR: 
5734	ABESADA-TURK	TIE BEAM	Passed	
(3)	8 MORGAN CIRCLE CONWAY			INSPECTOR: 
5905	MERKIN	ELECTRICAL	Passed	Close file
(6)	93 1/2 N. SEWALLS PT RD FIRST QUALITY ELEC	FINAL ? FOR BOAT LIFT	Final	INSPECTOR: 
6022	MERKIN	BOAT LIFT FINAL	Passed	Close file
(7)	9 1/2 N. SEWALLS PT. RD. SANDY		Final	INSPECTOR: 

OTHER: \_\_\_\_\_

**6231**

**PAVERS**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 4/22/03

BUILDING PERMIT NO. 6231

Building to be erected for ROHL OFF

Type of Permit PAVER DRIVEWAY

Applied for by CHITWOOD + CO

(Contractor) Building Fee 15,000 x 9.60/1000 = 144.00

Subdivision RIVERVIEW Lot 13 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 RIVERVIEW DRIVE

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number:

Plumbing Fee \_\_\_\_\_

1238410010000013010000

Roofing Fee \_\_\_\_\_

Amount Paid 3579 Check # 144.00 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 15,000.00

TOTAL Fees 144.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- PAVEMENT DRIVE

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_



Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: MR ROBERT ROHLOFF Phone (Home) \_\_\_\_\_ (Work) \_\_\_\_\_

Job Site Address: 20 RIVERVIEW DRIVE City: SEWALL'S PT State: FL Zip: 34996

Legal Description of Property: RIVERVIEW LOT 13 Parcel Number: 123841 001 00000 1301 0000

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALL PAVED DRIVEWAY

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Name: CHITWOOD COMPANY Phone Number: 220 1767

Street: 545 S.E. CENTRAL PARKWAY City: STUART State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: SPO1859

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 15,000 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
R. J. Rohloff

State of Florida, County of: MARTIN

This the 11 day of April, 2003

by Robert John Rohloff who is personally

known to me or produced 2410770.304040/FLD.

as identification. [Signature]

Notary Public

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)  
M. Chitwood

On State of Florida, County of: Martin

This the 21 day of April, 2003

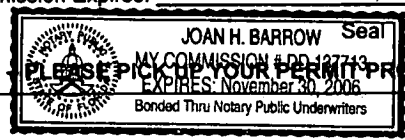
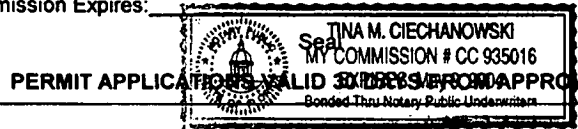
by M. Chitwood who is personally

known to me or produced Fl. d. l.

As identification [Signature]

Notary Public

My Commission Expires: \_\_\_\_\_



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

ROHLF

**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

**Named Insured(s):**

Gevity HR, Inc and its wholly owned subsidiaries including Gevity HR, LP; Gevity HR IV, LP; Gevity HR IX, LP; Gevity HR X, LP

600 301 Boulevard West  
Bradenton, Florida 34205

**MARSH**

**Insurer Affording Coverage**

American Home Assurance Co.,  
Member of American International Group, Inc. (AIG)

**Coverages:**

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits	
			Employers Liability	
Workers' Compensation	1-1-2004	RMWC0977182 RMWC0977183 RMWC0977184 RMWC0977185 RMWC0977186	Bodily Injury By Accident	Each Accident
			\$ 1,000,000	
			Bodily Injury By Disease	Policy Limit
			\$ 1,000,000	
			Bodily Injury By Disease	Each Person
			\$ 1,000,000	

**Other:**

**Employees Leased To:**

**Effective Date: 1/1/03**

9322 Chitwood & Company  
Marvin Chitwood DBA

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail **30** days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

**Certificate Holder:**

Town of Sewall Point  
1 S Sewalls Point Rd  
Stuart, FL 34996-6736



**Michael C. Weiss**  
Authorized Representative of Marsh USA Inc.

(866) 443-8489  
Phone

12/9/2002  
Date Issued

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SB  
CHITM-1

DATE (MM/DD/YYYY)  
03/06/03

**PRODUCER**  
Stuart Insurance, Inc.  
3070 S W Mapp  
Palm City FL 34990  
Phone: 772-286-4334 Fax: 772-286-9389

**INSURED**  
Marvin Chitwood dba Chitwood & Company  
545 SE Central Parkway  
Stuart FL 34994

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

INSURER A: Hanover Insurance Company	NAIC # 22292
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR' ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <b>Contractual Liability</b>	ODJ5741536	03/08/03	03/08/04	EACH OCCURRENCE \$ 1,000,000
					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
					MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU-TORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
Driveways Installation / State of Florida

**CERTIFICATE HOLDER**

**CANCELLATION**

TOWSP-1

Town of Sewalls Point  
1 South Sewalls Point Road  
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE  
*Carroll J. [Signature]*

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):**

20 RIVERVIEW DRIVE, SEWALL'S POINT, FL 34996

**GENERAL DESCRIPTION OF IMPROVEMENT:** INSTALL PAVED DRIVEWAY

**OWNER:** MR. ROBERT KOHLLOFF

**ADDRESS:** 20 RIVERVIEW DRIVE, SEWALL'S POINT, FL 34996

**PHONE #:** 219 8451 **FAX #:** \_\_\_\_\_

**CONTRACTOR:** CHITWOOD & COMPANY

**ADDRESS:** 545 SE CENTRAL PARKWAY, STUART, FL 34994

**PHONE #:** (772) 220 1767 **FAX #:** (772) 781 1357

**SURETY COMPANY(IF ANY):** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**BOND AMOUNT:** \_\_\_\_\_

**LENDER:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

**NAME:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

**PHONE #:** \_\_\_\_\_ **FAX #:** \_\_\_\_\_

**EXPIRATION DATE OF NOTICE OF COMMENCEMENT:** \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

\_\_\_\_\_  
**SIGNATURE OF OWNER**

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
19\_\_\_\_ BY \_\_\_\_\_

OR  
PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

\_\_\_\_\_  
**NOTARY SIGNATURE**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/26, 2003 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6429	ROBERTS 12 N. RIDGEVIEW GLEN MACK	SLAB	PASS	
				INSPECTOR:
6131	PFEIFFER 104 HENRY SEWALL WAY BUFORD	INSULATION	PASS	
				INSPECTOR:
6289	M. STE 21 ISLAND ROAD GULICK & McLAUGHLIN	DRIVEWAY, GATE COLUMNS + FOOTERS	PASS	GATE FOOTERS
				INSPECTOR:
6388	GOVEL 5 RIVERVIEW O/B	CONCRETE PAR	PASS	PARADE DECK
				INSPECTOR:
7288	CLEMENTS 11 W. HIGH POINT	TREE		RESET FOR 9/29/03
				INSPECTOR:
6232	MOORE 5 OAK HILL ARC HOMES	TIE BEAM	PASS	HOUSE BUILT BY WALL CAP
				INSPECTOR:
<del>6231</del>	<del>ROLL OFF</del> 20 RIVERVIEW CHITWOOD	<del>FUNERAL HOME</del> DRIVEWAY	<del>PASS</del>	<del>CLOSE</del> FILE
				INSPECTOR:
OTHER:	11 RIVERVIEW	CONTR. CHECK		

**6958**

**DOCK**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 10/19/04

BUILDING PERMIT NO. 6958

Building to be erected for ROHLFF

Type of Permit REPAIR DOCK

Applied for by O/B

(Contractor)

Building Fee \_\_\_\_\_

Subdivision RIVERVIEW Lot 13 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 RIVERVIEW DR

Impact Fee \_\_\_\_\_

Type of structure DOCK

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Parcel Control Number:

123841001 0000013010000

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 5000.

TOTAL Fees \_\_\_\_\_

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> BUILDING                | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input checked="" type="checkbox"/> PLUMBING                | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/ <del>SCREEN</del> | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE                   | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                               | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL                       | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____



Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date: 9/21/04

Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: ROBERT J. LOHLOFF Phone (Day) (772) 288-1199 (Fax) \_\_\_\_\_

Job Site Address: 20 RIVERVIEW DRIVE City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): SAME City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPLACE DOCK

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5,000.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ N/A

Is improvement cost 50% or more of Fair Market Value? YES  NO

Method of Determining Fair Market Value: N/A

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Robert J. Lohloff

State of Florida, County of: MARTIN

This the 22nd day of SEPTEMBER, 2004

by ROBERT JOHN LOHLOFF who is personally

known to me or produced ELC R140 870-30-404-0

as identification. [Signature] x 11/4/05

My Commission Expires: \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: \_\_\_\_\_

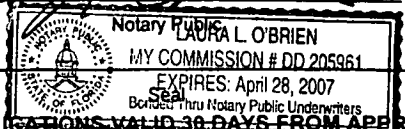
This the \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification. \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



Notary Public

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

# TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

## TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

### DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: ROBERT J. KOHLLOFF Date: 9/22/04

Signature: *R. Kohloff*

Address: 20 RIVERVIEW DR.

City & State: STUART, FL 34996

Permit No. \_\_\_\_\_

PERMIT # 6958

TAX FOLIO # 12-38-41-001-000-00130-1

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

RIVERVIEW S/D LOT 13

GENERAL DESCRIPTION OF IMPROVEMENT: REPLACE DOCK

OWNER: ROBERT J. KOHLER

ADDRESS: 20 RIVERVIEW DRIVE, STUART, FL 34996

PHONE #: (772) 288-1199 FAX #: N/A

CONTRACTOR: DREDGE & MARINE CONSTRUCTION CO., INC

ADDRESS: P.O. Box 399, PORT SALERNO, FL 34992-0399

PHONE #: (772) 223-0165 FAX #: ~~(772) 288-1199~~ (772) 283-2521

SURETY COMPANY (IF ANY) N/A

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: N/A Robert J. Kohler

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Robert J. Kohler  
SIGNATURE OF OWNER

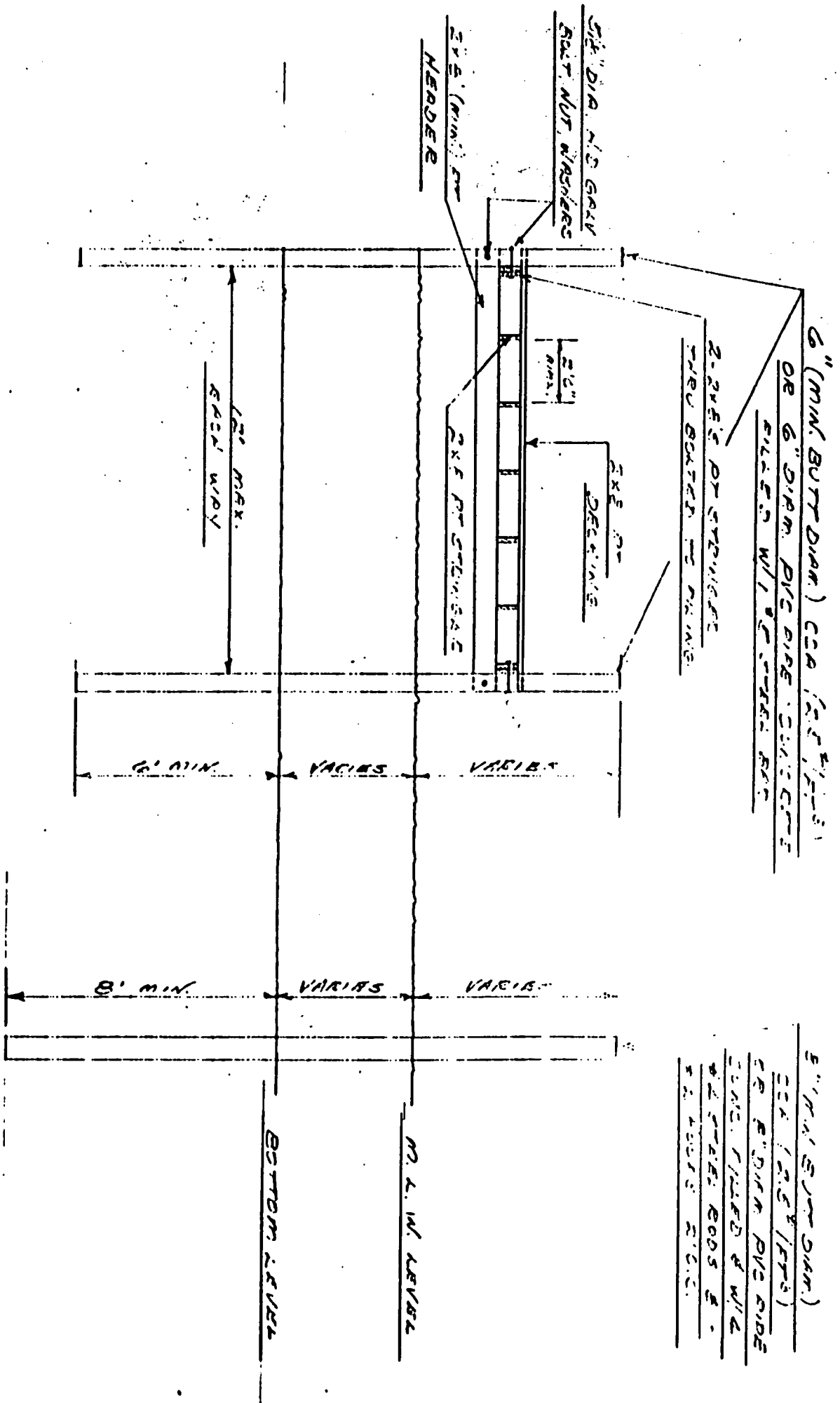
SWORN TO AND SUBSCRIBED BEFORE ME THIS 13 DAY OF December 2004 BY Robert S. Kohler

Talisa Sandow  
NOTARY SIGNATURE



PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED BY Drivers license  
TYPE OF ID \_\_\_\_\_

INSTR # 1798725 OR BK 01963 PG 0396 RECD 12/13/2004 01:16:02 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L WOOD



6" (MIN. BUT DIA) COA 1/2" DIA  
 OR 6" DIA. PILE SIDE CONNECTION  
 FILLER WILL BE USED FOR

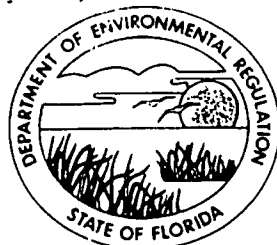
5" (MIN. BUT DIA)  
 COA 1/2" DIA  
 OR 5" DIA. PILE SIDE  
 CONNECTION WILL  
 BE USED FOR PILING

Deck Section  
 1/2" DIA

TIE PILING

Deck Section  
 Deck Section  
 1/2" DIA  
 1/2" DIA

N.T. TIDE MARINE CONST.  
 PIER & PILING SECT.



*Florida Department of Environmental Regulation*

Southeast District Branch Office

Lawton Chiles, Governor

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

10/16/84  
1801 S.E. Hillmoor, Suite C204

Port St. Lucie, FL 34952

BUILDING OFFICIAL  
Gene Simmons  
John A. Browner, Secretary

DEC 28 1992

Dr. Albert Gardner  
c/o Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jensen Beach, Florida 34957

Re: File No. 432230448  
County: Martin

Dear Mr. Sandy:

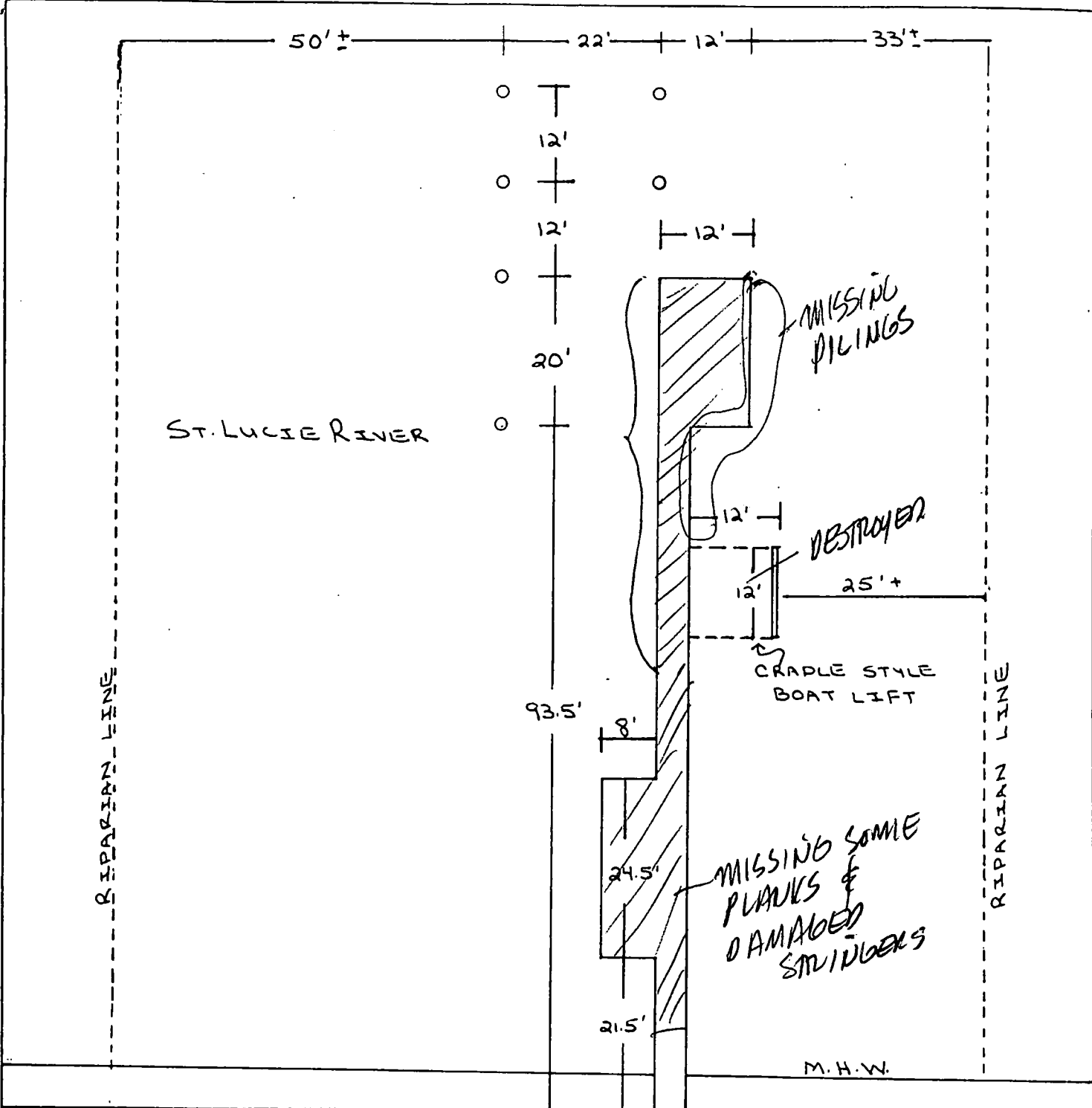
This letter is in response to your application/letter received on December 31, 1992 copy enclosed, to:

Construct an 810 sq. ft. private dock that consists of a 93.5' X 4' access pier terminating in a 20' long X 12' wide L-shaped platform. A 24.5' X 8' platform will be constructed on the south side of the access pier and a boatlift on the north side of the access pier. This project is located at 20 Riverview Road, St. Lucie River, Class III waters, Section 12, Township 38 South, Range 41 East, Sewall's Point, Martin County.

The Department has reviewed the submitted information. Based solely upon the documents submitted to the Department, the project has been determined to qualify as an activity which is exempt from the need for a wetland resource permit pursuant to Rule 17-312.050(1)(d), F.A.C.

This determination is applicable only pursuant to the statutes and rules in effect at the time the application/letter was submitted. This determination may not be valid in the event subsequent changes occur in the applicable statutes and rules of the Department. Activities which qualify for this exemption must be constructed and operated using appropriate best management practices and in a manner which does not cause water quality violations, pursuant to Rule 17-302, F.A.C.

In the event that any of the activities qualifying for this exemption occur on sovereign submerged lands that are not in whole or in part within the boundaries of an aquatic preserve, Monroe County or contiguous to an unbridged, undeveloped coastal barrier island as defined by chapter 18-21, F.A.C., this exemption shall constitute authorization from the Board of Trustees pursuant to a Memorandum of Agreement entered into on November 23, 1992. As such, no additional authorization will be required from the Division of State Lands of the Department of Natural Resources for those specific activities qualifying for this exemption. However, a permit may be required from the Division of Beaches and Shores of the Department of Natural Resources. Any project located in whole or in part in an aquatic preserve, Monroe County or contiguous to an unbridged, undeveloped coastal barrier island must receive authorization from the Division of State Lands.



ST. LUCIE RIVER

RIPARIAN LINE

RIPARIAN LINE

MISSING PILINGS

DESTROYED

CRADLE STYLE BOAT LIFT

MISSING SOME PLANKS & DAMAGED STRUTTERS

M.H.W.

EXISTING RETAINING WALL

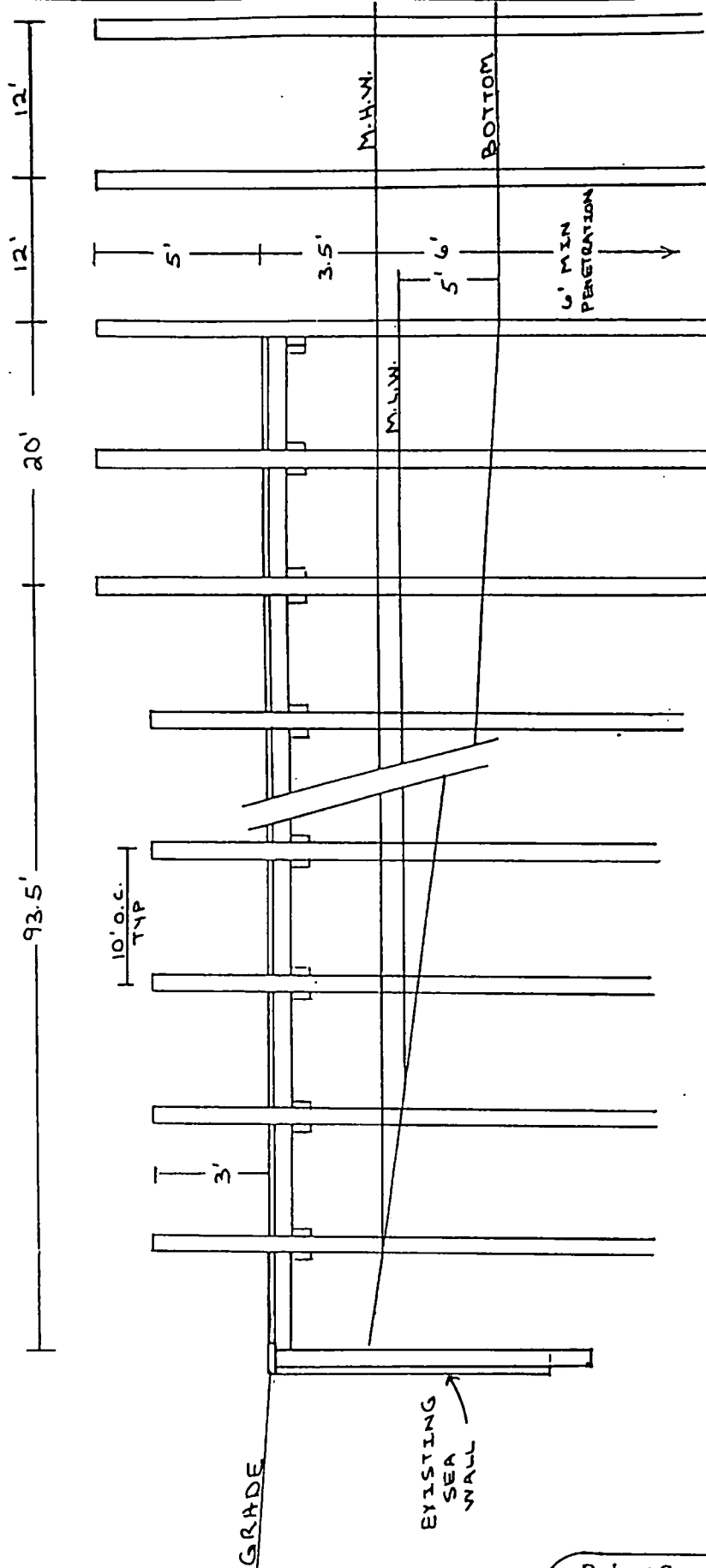
LOT 13

Robert Sandy Construction, Inc.  
 3452 N.E. Indian Drive  
 Jonsen Beach, FL 34957  
 407-334-3046

DOCK AT 13 RIVERVIEW ROAD

FILE # 431422018

SIDE VIEW



NOT TO SCALE

PROPOSED DOCK FOR GARDNER AT:  
20 RIVERVIEW DRIVE, SEWALLS POINT

Robert Sandy Construction, Inc.  
3452 N.E. Indian Drive  
Jensen Beach, FL 34957  
407-334-3046

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/6, 20024 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6911	PRESSMAN	ROUGH GAS	FAIL	
4	28 RIO VISTA	(TEMP TANK)	PASS	REINSPECTED SAME DT
	FERRER GAS			INSPECTOR: <i>[Signature]</i>
6886	O'CONNOR	DRIVEWAY	PASS	CLOSE
10	16 FIELDWAY DRIVE			
	O/B			INSPECTOR: <i>[Signature]</i>
643	POWERS	GARAGE FLOOR	—	RECHECK 10/8
7	70 S. SEWALL'S PT	PRE FOUR		FIRST THING
	FLORIDA'S FINEST	offer ID please		INSPECTOR: <i>[Signature]</i>
				CLOSE
5	<del>20 RIVERVIEW DR.</del>	<del>CHECK DOOR</del>	<del>PASS</del>	<del>SAME FOOTPRINT</del>
				INSPECTOR: <i>[Signature]</i>
5	21 PALM ROAD	CHECK DOOR	PASS	SAME FOOTPRINT
				INSPECTOR: <i>[Signature]</i>
	PLYMALE		FAIL	
12	24 FIELDWAY DR.	CHECK DRYWALL		
		REMOVAL		INSPECTOR: <i>[Signature]</i>
				REMOVE METER
2	20. E. HIGH POINT	CONDEMN	FAIL	
		BLDG-		INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE	
6285	Harte	3 E. High Pt.	Driveway	AM 7/12	✓
7661	Litchey	5 Middle Rd	AC changeout	AM 7/12	✓
6313		5 Middle Rd	Fence	AM 7/12	✓
7254	Carelli	4 Middle Rd	Fence repair	AM 7/12	✓
6730	Carelli	4 Middle Rd	Fence	AM 7/12	✓
7603	Becker	16 E High Pt	Reroof	AM 7/12	✓
7061	Taylor	22 E High Pt	Dock repair - <sup>one</sup> piling	AM 7/12	✓
7531	Granfield	15 W. High Pt	Int + ext. gas lines	NO ACCESS	✓
7124	McKeige	31 W. High Pt	Panel driveway	AM 7/12	✓
7194	Greiner	37 E. High Pt	Reroof	AM 7/12	✓
7125	McCartney	45 W High Pt	Dock repair	WORK NOT DONE	✓
7142	Shaughnessy	3 Delano La	Layers on pool deck + patio	AM 7/12	✓
7033	Tidikis	6 Kingston Ct	Fence repair	AM 7/12	✓
7212	Kimmelman	108 Abbie Ct	Fence	AM 7/12	✓
7633	Thomas	10 Palm Rd	Replace windows	NO ACCESS	✓
7485	Engle	14 Palm Rd	Reroof (final)	AM 7/12	✓
7086	Kohloff	20 Riverview	Repair retaining wall	AM 8/27	
7007	Analer	3 Simara St	Water repair	AM 8/27	
<del>6958</del>	<del>Kohloff</del>	<del>20 Riverview</del>	<del>Repair dock</del>	<del>AM 8/27</del>	

**7086**

**RETAINING**

**WALL**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 11/29/04

BUILDING PERMIT NO. 7.086

Building to be erected for ROHLLOFF

Type of Permit REPAIR REMAINING WALL

Applied for by O/B

(Contractor) Building Fee 120.00  
*240 x 50 ft =*

Subdivision RIVERVIEW Lot 13 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 RIVERVIEW

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

1238410010000013010000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 120.00 Check # \_\_\_\_\_ Cash

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 5,000.00

TOTAL Fees 120.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

#### PERMITS

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

#### INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

RECEIVED

NOV 10 2004

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 11-10-04

BY: OWNER/TITLEHOLDER NAME: ROBERT J. ROHLOFF Phone (Day) 288-1199 (Fax) \_\_\_\_\_

Job Site Address: 20 RIVERVIEW DR. City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): N/A City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: REPAIR LOWER SECTION OF WALL DAMAGED BY HURRICANE

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5,000.00 (Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 60,000.00

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: BOUND COST 2 YRS. AGO

(If no, fill out the Contractor & Subcontractor sections below) (If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

[Signature]

State of Florida, County of: MARTIN

This the 10th day of November, 2004

by ROBERT JOHN ROHLOFF who is personally

known to me or produced

as identification [Signature] Notary Public

My Commission Expires:

CONTRACTOR SIGNATURE (required)

\_\_\_\_\_

On State of Florida, County of: \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

as identification. \_\_\_\_\_

Notary Public

My Commission Expires: \_\_\_\_\_

Seal



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # \_\_\_\_\_

TAX FOLIO # Parcel ID 1238410010000013010000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

RIVERVIEW LOT 13

GENERAL DESCRIPTION OF IMPROVEMENT: REPAIR LANDSCAPE WALLS

OWNER: ROBERT J. ROHLLOFF

ADDRESS: 20 RIVERVIEW DR. STUART FL 34996

PHONE #: 772-288-1199

FAX #: \_\_\_\_\_

CONTRACTOR: C&D ENTERPRISES OF THE TREASURE COAST INC.

ADDRESS: 209 NE ALICE JENSEN BEACH FL 34957

PHONE #: 250-5157

FAX #: \_\_\_\_\_

SURETY COMPANY (IF ANY) NONE

STATE OF FLORIDA  
MARTIN COUNTY

ADDRESS: \_\_\_\_\_

THIS IS TO CERTIFY THAT THE

PHONE # \_\_\_\_\_

FOREGOING 1 PAGES IS A TRUE

BOND AMOUNT: \_\_\_\_\_

FAX #: \_\_\_\_\_ AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

LENDER: NONE

BY [Signature] D.C.

DATE 1-10-05

ADDRESS: \_\_\_\_\_

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: ROBERT J. ROHLLOFF

ADDRESS: 20 RIVERVIEW DR. STUART FL 34996

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_

OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: \_\_\_\_\_

FAX #: \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: \_\_\_\_\_

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 10TH DAY OF JANUARY 2005 BY ROBERT JOHN ROHLLOFF

PERSONALLY KNOWN  
OR PRODUCED ID XFLD R410-770-30-404-0  
TYPE OF ID X 1/10/05

[Signature]  
NOTARY SIGNATURE



INSTR # 1805005 OR BK 01971 PG 0490 RECD 01/10/2005 10:22:38 AM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix

# INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE	
6285	Harte	3 E. High Pt	Driveway	QW 7/12	✓
7661	Litchey	5 Middle Rd	AC changeout	QW 7/12	✓
6313		5 Middle Rd	Fence	QW 7/12	✓
7254	Carelli	4 Middle Rd	Fence repair	QW 7/12	✓
6730	Carelli	4 Middle Rd	Fence	QW 7/12	✓
7603	Becker	16 E High Pt	Reroof	QW 7/12	✓
7061	Taylor	22 E High Pt	Dock repair - <sup>one</sup> piling	QW 7/12	✓
7531	Grahamfield	15 W. High Pt	Int + ext gas lines	NO ACCESS	✓
7124	McKeige	31 W. High Pt	Panel driveway	QW 7/12	✓
7194	Greiner	37 E. High Pt	Reroof	QW 7/12	✓
7125	McCortney	45 W High Pt	Dock repair	WORK NOT DONE	✓
7142	Shaughnessy	3 Delano La	panels on pool deck + patio	QW 7/12	✓
7033	Tidikis	6 Kingston Ct	Fence repair	QW 7/12	✓
7212	Kimmelman	108 Abbie Ct	Fence	QW 7/12	✓
7633	Thomas	10 Palm Rd	Replace windows	NO ACCESS	✓
7485	Engle	14 Palm Rd	Reroof - (final)	QW 7/12	✓
<del>7686</del>	<del>Rothoff</del>	<del>20 Riverview</del>	<del>Repair and painting</del>	<del>QW 8/27</del>	<del>✓</del>
7007	Amoler	3 Simara St	Water repair	QW 8/27	✓
1.95A	Pindohl	21 Riverview	Repair dock	QW 8/27	✓

**8835**

**GARAGE**

**DOOR**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8835	DATE ISSUED:	MARCH 5, 2008
SCOPE OF WORK:	REPLACE GARAGE DOORS		
CONDITIONS:			
CONTRACTOR:	D&D GARAGE DOORS		
PARCEL CONTROL NUMBER:	123841001000001301	SUBDIVISION	RIVERVIEW - LOT 13
CONSTRUCTION ADDRESS:	20 RIVERVIEW DR		
OWNER NAME:	ROHLOFF		
QUALIFIER:	DENVER MILLER	CONTACT PHONE NUMBER:	772-460-7630

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



RECEIVED  
3-4-08  
TOWN OF SEWALL'S POINT

### Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_ OWNER/TITLEHOLDER NAME: Robert Rohloff Phone (Day) 288-1199 (Fax) \_\_\_\_\_

Job Site Address: 20 Riverview Dr City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) 13 Parcel Number: 12-38-41-001-000-0030-1

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work: Tear down and replace 18x7 + 6x7 garage door

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO

**COST AND VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 1800.00  
(Notice of Commencement required when over \$2500 prior to first inspection)  
Is subject property located in flood hazard area? V A9 A8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
Fair Market Value of the Primary Structure only (Minus the land value)  
\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION\*\*\*

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

CONTRACTOR/Company: D+D Garage Doors OF PSL 772- Phone: 460-7630 Fax: 460-7635

Street: 500 Kitterman Rd City: Port St Lucie State: FL Zip: 34952

State Registration Number: \_\_\_\_\_ State Certification Number: \_\_\_\_\_ Municipality License Number: SP03359

PROJECT SUPERINTENDANT: Connie CONTACT NUMBER: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.#: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQ. FOOTAGE (W /SEWER & ELECTRIC): Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

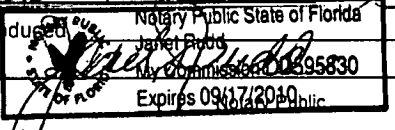
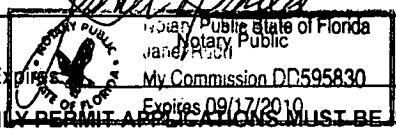
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT FOR THIS APPLICATION: Florida Building Code - Res., Build, Mech., Plmb., Fuel Gas: 2004 (W/2006 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Prevention Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50.05

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.  
I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*  
OWNER SIGNATURE (required) \_\_\_\_\_ CONTRACTOR SIGNATURE (required) \_\_\_\_\_  
State of Florida, County of: St Lucie On State of Florida, County of: St Lucie  
This the 29 day of Feb, 2008 This the 29 day of Feb, 2008  
by \_\_\_\_\_ who is personally \_\_\_\_\_ by DAVID MILLER who is personally \_\_\_\_\_  
known to me or produced \_\_\_\_\_ known to me or produced \_\_\_\_\_  
as identification. \_\_\_\_\_ as identification. \_\_\_\_\_  
My Commission Expires \_\_\_\_\_ My Commission Expires: \_\_\_\_\_



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
governmentmax.com T1.11

**Summary**

print [navigation icons] Owner 2 of 2

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	SerialIndex ID Order	Commercial	Residential
12-38-41-001-000-00130-1	20 RIVERVIEW DR	27503Owner	0	1

**Summary**

**Property Location** 20 RIVERVIEW DR  
**Tax District** 2200 Sewall's Point  
**Account #** 27503  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193170  
**Acres** 0.957

**Legal Description**  
**Property Information**  
 RIVERVIEW S/D LOT 13

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 ROHLOFF, ROBERT

**Mail Information**  
 20 RIVERVIEW DR  
 STUART FL 34996-6315

**Assessment Info**  
**Front Ft.** 1.00

**Market Land Value** \$1,474,200  
**Market Impr Value** \$862,380  
**Market Total Value** \$2,336,580

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$1,350,000

**Sale Date** 3/8/1999  
**Book/Page** 1376 1419

[Print](#) | [Back to List](#) | [<< First](#) | [< Previous](#) | [Next >](#) | [Last >>](#)

[Legal disclaimer](#) / [Privacy Statement](#)

Data updated on 03/03/2008



**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 3/5/06  
**BUILDING OFFICIAL**

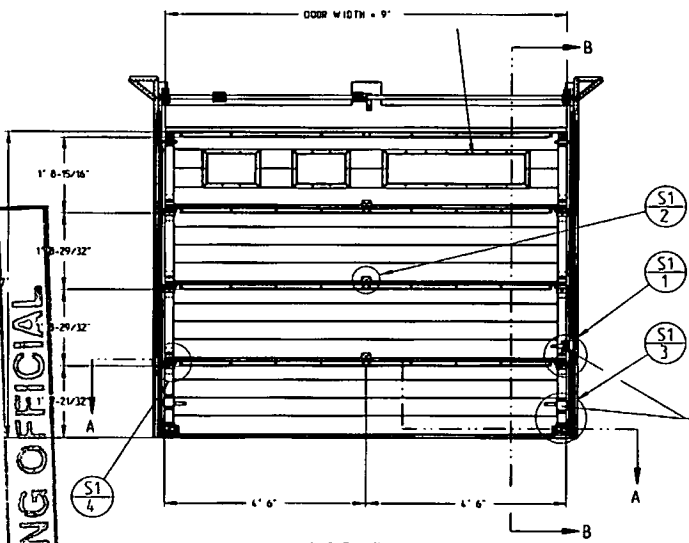
PANEL WINDOW CONSISTING OF AN INSIDE AND OUTSIDE FRAME. GLAZING 0.63" AND OPTIONAL 0.118" AND DECORATIVE INLAYS OPTIONAL (NO STATIC INFLUENCE)

LATCH LOCK ONLY FOR MANUAL OPERATION OPTIONAL INSTEAD OF SLIDE BOLT LOCK SEE DETAIL (S1 3)

7/16" DIA. BOLT RETAINER  
 19 GA. GALV. STEEL END STILE

14 GA. GALV. STEEL ROLLER HINGES ATTACHED WITH (5) 1/4"x5/8" HEX HEAD SCREWS PER HINGE

14 GA. GALV. STEEL INTERMEDIATE HINGES ATTACHED WITH (6) 1/4"x5/8" HEX HEAD SCREWS PER HINGE



ROLLER HINGE + LATCH LOCK 2"=1" (S1 1)

HINGE CONNECTION 2"=1" (S1 2)

DOOR LOCK IS ONLY FOR MANUAL OPERATION! FOR ELECTRICALLY OPERATED DOORS SEE SHEET 3

REINFORCEMENT TRUSS

SLIDE BOLT LOCK ONLY FOR MANUAL OPERATION OPTIONAL INSTEAD OF LATCH LOCK SEE DETAIL (S1 1)

ANTI-DROP-DEVICE

REINFORCEMENT TRUSS 2"=1" (S1 4)

SLIDE BOLT LOCK + ANTI-DROP-DEVICE 2"=1" (S1 3)

STOP Moulding WITH FLEXIBLE SEAL (SUPPLIED BY INSTALLER)

14 GA. GALV. STEEL INTERMEDIATE HINGES ATTACHED WITH (6) 1/4"x5/8" HEX HEAD SCREWS PER HINGE

19 GA. GALV. STEEL END STILE

11 BALL NYLON ROLLERS WITH 4-11/16" ROLLER STEMS

12 GA. GALV. STEEL ANTI-DROP-DEVICE ATTACHED WITH (4) 1/4"x5/8" HEX HEAD SCREWS

(1) 5/16" DIA. x 1-5/8" LAG BOLT ATTACHED TO JAMB AT EACH JAMB BRACKET

12 GA. GALV. JAMB BRACKET ATTACHED WITH (1) 5/16"x1/2" BOLT & NUT PER BRACKET

14 GA. GALV. STEEL TRACK

7/16" DIA. BOLT RETAINER

REINFORCEMENT TRUSS

SIDEROOM 3-1/2"

SECTION A-A SCALE 4"=1"

THIS DRAWING IS VALID FOR THE DESIGNS DFP, DSP, DLP, DCP-S, DCP-L

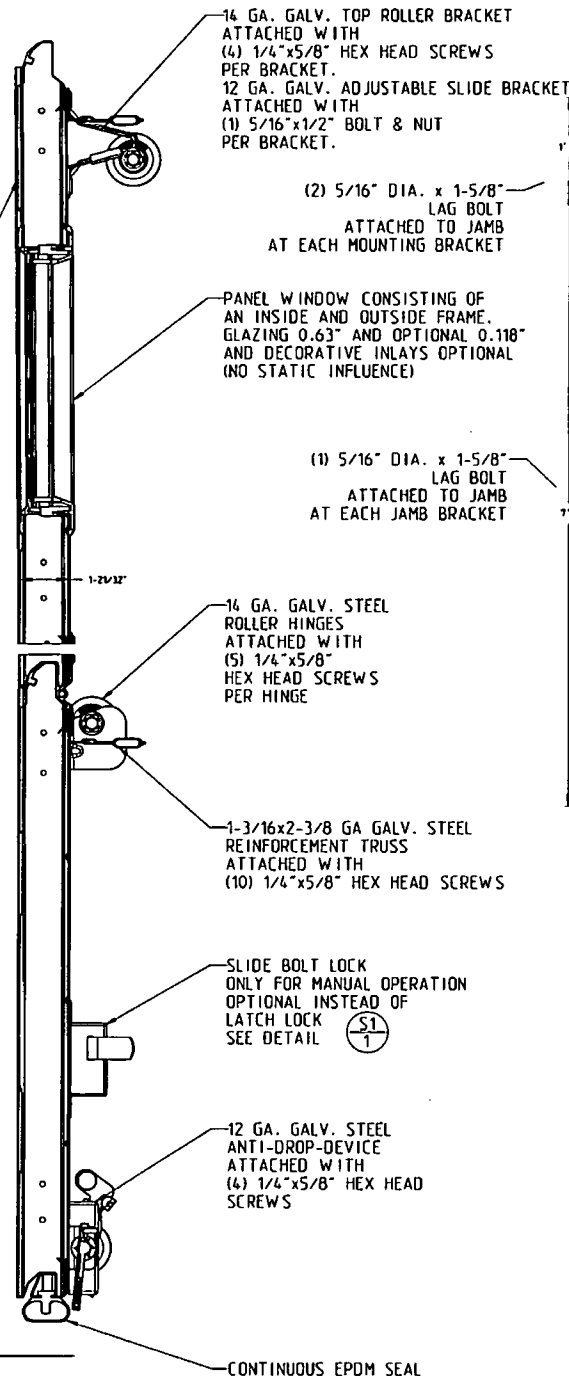
SPECIFICATIONS AND NOTES  
 DOOR SECTIONS ARE OF 26 GA. (0.0159") ROLL FORMED STEEL AND FEATURING AN EVENLY FILLED POLYURETHANE CORE.

Douglas R. Barkley, P.E.  
 F.P.E. # 49090  
 Phone # 850-297-0440  
 Fax # 850-297-0697

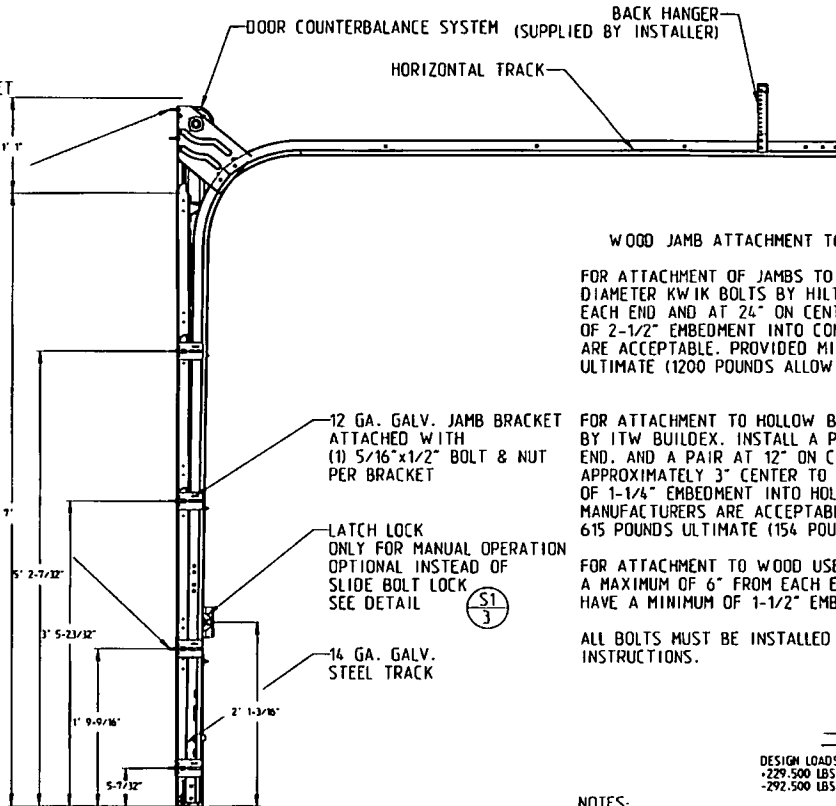
763.500  
 663.000  
 663.000  
 763.500  
 663.000

HORMANN INC. 23 EXCELLENCE WAY, MONROE, TENNESSEE 37055		DOUBLE SKINNED DOOR 51 PSF DOOR WIDTH 9' HURRICANE		
		SIZE A2 DRAWN BY BOTHE CHECKED BY PROBSE	DATE APR 03 2003 DATE DEC 15 2003	DRAWING NUMBER Z3049658 SHEET 1 OF 3
		DESCRIPTION OF REVISIONS DATE BY		

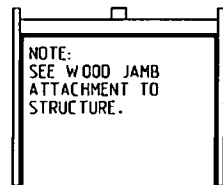
26 GA. MIN. EXTERIOR SKIN WITH G-10 GALV. POLYESTER TOP COAT (MIN. 0.000984")



SECTION B-B  
SCALE 4"=1'



TRACK CONFIGURATION FOR 4 SECTIONS  
TRACK CONFIGURATION  
SCALE 1"=1'



JAMB AND HEADER CONFIGURATION  
SCALE 1/4"=1'

Douglas R. Barkley, P.E.  
F.P.E. # 49090  
Phone # 850-297-0440  
Fax # 850-297-0697

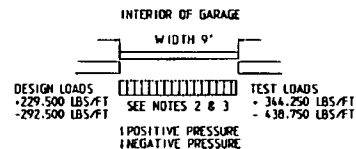
WOOD JAMB ATTACHMENT TO STRUCTURE

FOR ATTACHMENT OF JAMBS TO CAST IN PLACE CONCRETE, USE 3/8" DIAMETER KWIK BOLTS BY HILTI. INSTALL BOLTS A MAXIMUM OF 6" FROM EACH END AND AT 24" ON CENTER. ANCHORS MUST HAVE A MINIMUM OF 2-1/2" EMBEDMENT INTO CONCRETE. ANCHORS BY OTHER MANUFACTURERS ARE ACCEPTABLE, PROVIDED MINIMUM PULLOUT CAPACITY IS 4500 POUNDS ULTIMATE (1200 POUNDS ALLOWABLE) IN f'c=2000 PSI CONCRETE.

FOR ATTACHMENT TO HOLLOW BLOCK, USE 1/4" DIAMETER TAPCON ANCHORS BY ITW BUILDEX. INSTALL A PAIR OF ANCHORS A MAXIMUM OF 6" FROM EACH END, AND A PAIR AT 12" ON CENTER. THE PAIR OF ANCHORS SHOULD BE APPROXIMATELY 3" CENTER TO CENTER. ANCHORS MUST HAVE A MINIMUM OF 1-1/4" EMBEDMENT INTO HOLLOW BLOCK. ANCHORS BY OTHER MANUFACTURERS ARE ACCEPTABLE, PROVIDED MINIMUM PULLOUT CAPACITY IS 615 POUNDS ULTIMATE (154 POUNDS ALLOWABLE).

FOR ATTACHMENT TO WOOD USE 5/16" DIAMETER LAG BOLTS. INSTALL BOLTS A MAXIMUM OF 6" FROM EACH END, AND AT 12" ON CENTER. ANCHORS MUST HAVE A MINIMUM OF 1-1/2" EMBEDMENT INTO WOOD STRUCTURE.

ALL BOLTS MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



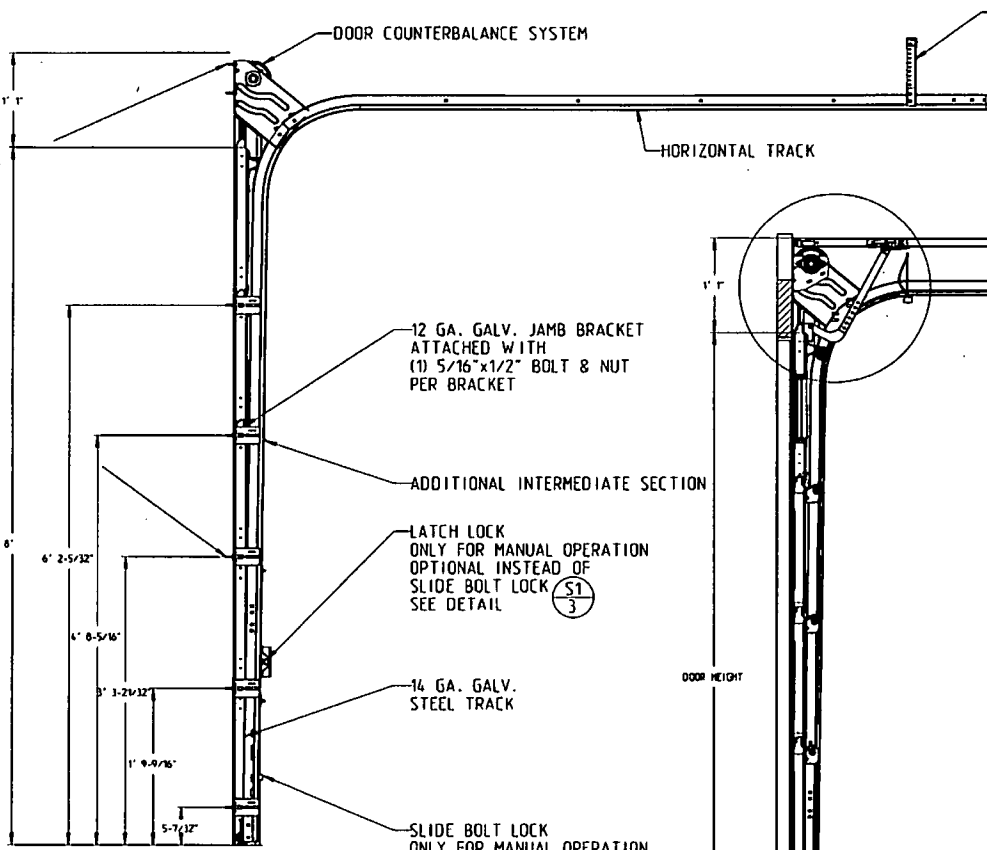
NOTES:

1. ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK. FROM THE TRACK THE LOAD IS TRANSFERRED TO THE VERTICAL JAMBS AND MOUNTING BRACKET. THE HORIZONTAL JAMB OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
2. EACH VERTICAL JAMB RECEIVES MAXIMUM DESIGN LOAD OF:  
+229.500 LBS/FT & -292.500 LBS/FT
3. EACH VERTICAL JAMB RECEIVES MAXIMUM TEST LOAD OF:  
+344.250 LBS/FT & -438.750 LBS/FT
4. ALL FASTENERS USED TO SECURE JAMBS MUST BE COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.
5. SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.

				<b>HURLMANN INC.</b>	
				23 EXCELLENCE WAY, VANDER, TENNESSEE 37005	
				<b>DOUBLE SKINNED DOOR 51 PSF</b>	
				<b>DOOR WIDTH 9'</b>	
				<b>HURRICANE</b>	
SIZE	DRAWN BY	DATE	CHECKED BY	DATE	DRAWING NUMBER
A2	BOYD	APR 03 2003	PROBSE	DEC 15 2003	Z3049658
REV	DESCRIPTION OF REVISIONS	DATE	BY		

(2) 5/16" DIA. x 1-5/8" LAG BOLT ATTACHED TO JAMB AT EACH MOUNTING BRACKET

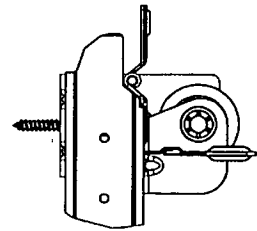
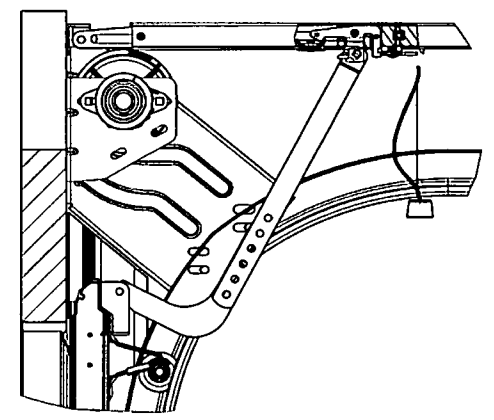
(1) 5/16" DIA. x 1-5/8" LAG BOLT ATTACHED TO JAMB AT EACH JAMB BRACKET



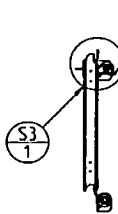
TRACK CONFIGURATION FOR 5 SECTIONS

TRACK CONFIGURATION SCALE 1"=1'

DRIVE SCALE 3"=1"  
ELECTRICALLY OPERATED DOOR WITH HORMANN SUPRAMATIC A NO EXTRA LOCK IS REQUIRED



REINFORCEMENT TRUSS SCALE 6"=1' (S3/1)



ADDITIONAL INTERMEDIATE SECTION SCALE 1"=1' (S3/1)

THIS CONFIGURATION AT EACH ADDITIONAL INTERMEDIATE SECTION

Douglas R. Barkley, P.E.  
F.P.E. # 49090  
Phone # 850-297-0440  
Fax # 850-297-0697

<b>HORMANN INC.</b> 23 EXCELLENCE WAY., VANDORE, TENNESSEE 37095			
SIZE	DRAWN BY	DATE	DRAWING NUMBER
A2	BOHME	APR 03 2003	Z3049658
REV	DESCRIPTION OF REVISIONS	DATE	BY
1	CHECKED BY FROBöse	DEC 15 2003	
			SHEET 3 OF 3

**TABLE 1609.6D  
ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (A)**

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8 mm.

**TABLE 1609.6E  
GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)**

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
<b>Roof Angle 0 - 10 degrees</b>									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
<b>Roof Angle &gt; 10</b>									
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm, 1 mph = 0.447 m/s, 1 psf = 47.88 N/sqm.

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

**1609.6.5.1 Garage doors.** Pressures from Table 1609.6E. for wind loading actions on garage doors for buildings designed as enclosed shall be permitted.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3-28, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8835</del>	<del>[REDACTED]</del>	<del>[REDACTED]</del>	<del>[REDACTED]</del>	<del>[REDACTED]</del>
2	20 Riverview Dr Garage Door Dept			INSPECTOR: <i>[Signature]</i>
8788	Farrott	deadman	PASS	
1	1 Island Rd T.C. Barge	tieback		INSPECTOR: <i>[Signature]</i>
<del>8513</del>	<del>Heppner</del>	<del>Eng trans</del>	<del>---</del>	<del>MONDAY MORNING</del>
<del>LAST</del>	<del>3 Riverview</del> <del>Sand Castle</del>	<del>---</del>	<del>---</del>	<del>RESCHEDULE</del> INSPECTOR: <i>[Signature]</i>
8561	Sharfi	Final	PASS	CLOSE
3	73 N Sewalls Kevin Carter	(Push call button)		INSPECTOR: <i>[Signature]</i>
8820	DESCHANE	ELAB	PASS	RECEIVED
	64 S.R.R. JMC CONST.			COMP. TEST. INSPECTOR: <i>[Signature]</i>
<del>8850</del>		Final		
	3727 E Ocean Gretchen Elect		PASS	Contact FPL (meter) Close INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

**11074**

**A/C CHANGE**

**OUT**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11074	DATE ISSUED:	November 5, 2014
SCOPE OF WORK:	A/C Change Out		
CONTRACTOR:	Seacoast A/C		
PARCEL CONTROL NUMBER:	12-38-41-001-000-00130-1	SUBDIVISION:	Riverview S/D Lot 13
CONSTRUCTION ADDRESS:	20 Riverview Drive		
OWNER NAME:	Rohloff		
QUALIFIER:	John C Longel	CONTACT PHONE NUMBER:	466-2400

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM**

**INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	11074		
<b>ADDRESS:</b>	20 Riverview Drive		
<b>DATE ISSUED:</b>	11/5/2014	<b>SCOPE OF WORK:</b>	A/C Change Out

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>		<b>Declared Value</b>	\$	
---	--	-----------------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
<b>Total Construction Value:</b>		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	<b>Declared Value:</b>	\$	\$ 7,375.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$	100.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	5.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	109.00

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 11074

Date:
OWNER/LESSEE NAME: Robert Rohoff
Job Site Address: 20 Riverview Dr.
Legal Description: Riverview 50 lot B
Parcel Control Number:
Fee Simple Holder Name:
Address:
City: State: Zip: Telephone:

\*SCOPE OF WORK (PLEASE BE SPECIFIC):

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES [ ] NO [X]
Has a Zoning Variance ever been granted on this property?
YES [ ] (YEAR) NO [ ]
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 7325
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Sea Coast
Qualifiers name: John V. Tangel
Street: 2001 Industrial Ave. # 1000
State: FL Zip: 34964
OR: Municipality: License Number:

LOCAL CONTACT:
DESIGN PROFESSIONAL:
Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:
Carpport: Total under Roof: Elevated Deck: Enclosed area below BFE\*
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND TO CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: St. Lucie
On This the 28 day of Oct, 2014
by Robert Behloff who is personally known to me or produced
As identification: [Signature]

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: St. Lucie
On This the 28 day of Oct, 2014
by John Tangel who is personally known to me or produced
As identification: [Signature]

My Commission Expires: TRACY KAY LANGEL
SINGLE FAMILY PERMITS AND AFFIDAVITS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY
EXPIRES August 30, 2018
(407) 398-0153 FloridaNotaryService.com

My Commission Expires: TRACY KAY LANGEL
MY COMMISSION #FF148072
EXPIRES August 30, 2018
(407) 398-0153 FloridaNotaryService.com

Sewall's Point Town Hall

DL#



# CERTIFICATE OF LIABILITY INSURANCE

SEACOAS-01

MUNOZI

DATE (MM/DD/YYYY)  
10/23/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

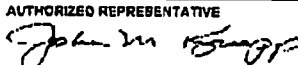
Insured: <b>Town of Seawalls Point</b> Abaco Town Center 1200 University Blvd, Suite 200 Jupiter, FL 33458	CONTACT NAME: <b>Teresa Barwick</b> PHONE (A/C No., Ext.): <b>(561) 776-0680</b>	FAX (A/C No.): <b>(561) 776-0671</b>
	E-MAIL ADDRESS: <b>Teresa.Barwick@joausa.com</b>	
INSURER(S) AFFORDING COVERAGE		
INSURER A:	<b>Southern-Owners Insurance Company</b>	<b>10190</b>
INSURER B:	<b>Owners Insurance Company</b>	<b>32700</b>
INSURER C:	<b>Auto-Owners Insurance Company</b>	<b>18888</b>
INSURER D:	<b>Bridgeland Employers Insurance Company</b>	<b>10761</b>
INSURER E:		
INSURER F:		

COVERAGES      CERTIFICATE NUMBER:      REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL RBR (INS) / WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> CITY OTHER		72704759-14 (AC)	01/17/2014	01/17/2015	EACH OCCURRENCE \$ 1,000.00 DAMAGE TO RENTED PREMISES (Per occurrence) \$ 300.00 MED EXP (Any one person) \$ 10.00 PERSONAL & ADV INJURY \$ 1,000.00 GENERAL AGGREGATE \$ 2,000.00 PRODUCTS - COMP/OP AGG \$ 2,000.00
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY ANY AUTO: <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> HIRED AUTOS		9542458203	01/17/2014	01/17/2015	COMBINED SINGLE LIMIT (Per accident) \$ 1,000.00 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB CLAIMS MADE <input type="checkbox"/> OCCUR RETENTIVE \$ 50,000		9542458201	01/17/2014	01/17/2015	EACH OCCURRENCE \$ 1,000.00 AGGREGATE \$ 1,000.00
D	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY EMPLOYEE (EMPLOYEE'S CONTRIBUTION OF 10% MEMBERS EXCLUDED) (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS BELOW		83038868	01/17/2014	01/17/2015	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500.00 E.L. DISEASE - EA EMPLOYEE \$ 500.00 E.L. DISEASE - POLICY LIMIT \$ 500.00
A	Equipment Floater		72704759-14 (AC)	01/17/2014	01/17/2015	Scheduled Equipment 28,000

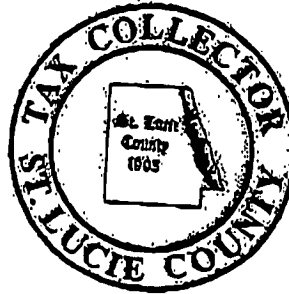
DESCRIPTION OF OPERATIONS / LOCATIONS: VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  TOWN OF SEWALLS POINT ONE S SEWALLS POINT RD Seawalls Point, FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
--	--

2014 / 2015 ST. LUCIE COUNTY LOCAL BUSINESS TAX RECEIPT RECEIPT # 1711-00020605  
CHRIS CRAFT, ST. LUCIE COUNTY TAX COLLECTOR

FACILITIES OR MACHINES / ROOMS SEATS EMPLOYEES 29 EXPIRES SEPTEMBER 30, 2015  
TYPE OF BUSINESS 1711 AIR COND/PLUMBING CONTRACTOR (AIR CONDITIONING)

BUSINESS/ John V Langel



RENEWAL ORIGINAL TAX \$27  
PENALTY  
COLLECTION COST  
TOTAL \$27.

DBA NAME Sea Coast AC & Sheet Metal  
MAILING Sea Coast AC & Sheet Metal  
ADDRESS 2601 Industrial Ave Ste 3  
Fort Pierce, FL 34946

BUSINESS LOCATION 2601 Industrial Ave Ste 3  
Ft Pierce, FL 34946  
St Lucie County

CO 8283

Paid 08/25/2014 27.55

0004-20140825-003738

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY

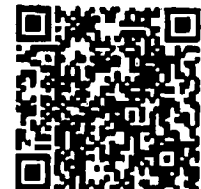
STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

LICENSE NUMBER	CAC016446
----------------	-----------

The CLASS A AIR-CONDITIONING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489-FS.  
Expiration date: AUG 31, 2016



LANGEL, JOHN V  
SEA COAST AC & SHEET METAL, INC.  
2601 INDUSTRIAL AVENUE  
FORT PIERCE, FL 34946



ISSUED: 07/17/2014

DISPLAY AS REQUIRED BY LAW

SEQ # L1407170000895

**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 10/23/2014 2:40:48 PM EDT*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
12-38-41-001-000-00130-1	27503	20 RIVERVIEW DR, SEWALL'S POINT	\$1,620,930	10/18/2014

**Owner Information**

<b>Owner(Current)</b>	ROHLOFF MICHAEL TR ROHLOFF MICHAEL TR
<b>Owner/Mail Address</b>	20 RIVERVIEW DR STUART FL 34996
<b>Sale Date</b>	12/28/2012
<b>Document Book/Page</b>	<u>2622 1914</u>
<b>Document No.</b>	2370123
<b>Sale Price</b>	100

**Location/Description**

<b>Account #</b>	27503	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIVERVIEW S/D LOT 13
<b>Parcel Address</b>	20 RIVERVIEW DR, SEWALL'S POINT		
<b>Acres</b>	.9570		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193170 Lucindia,Riverview ST LUC.RVR

**Assessment Information**

<b>Market Land Value</b>	\$1,053,000
<b>Market Improvement Value</b>	\$567,930
<b>Market Total Value</b>	\$1,620,930



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Air Conditioning Change out Affidavit

Residential  Commercial

Package Unit  Yes  No (Use Condenser side of form below for equipment listing)

Duct Replacement  Yes  No - Refrigerant line replacement  Yes  No

Flushing Existing Refrigerant lines  Yes  No - Adding Refrigerant Drier  Yes  No

Rooftop A/C Stand Installation  Yes  No - Curb Installation  Yes  No

Smoke Detector in Supply (over 2000 CFM)  Yes  No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg Lennox Model# AB40041024  
 Volts 240 CFM's \_\_\_\_\_ Heat Strip 4 Kw \_\_\_\_\_  
 Min. Circuit Amps 20 Wire gauge 10  
 Max. Breaker size 30 Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-410A  
 Location: Existing  New   
 Attic/Garage/Closet (specify) \_\_\_\_\_  
 Access: \_\_\_\_\_

Condenser: Mfg Lennox Model# KC25024  
 Volts 240 SEER/EER 25 BTU's \_\_\_\_\_  
 Min. Circuit Amps 14.9 Wire gauge 12  
 Max. Breaker size 25 Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R410A  
 Location: Existing  New   
Left/Right/Rear/Front/Roof \_\_\_\_\_  
 Condensate Location \_\_\_\_\_

**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: \_\_\_\_\_ Model# \_\_\_\_\_  
 Volts 240 CFM's \_\_\_\_\_ Heat Strip 4 Kw \_\_\_\_\_  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge 10  
 Max. Breaker size 30 Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-22  
 Location: Ext.  New   
 Attic/Garage/Closet (specify) \_\_\_\_\_  
 Access: \_\_\_\_\_

Condenser: Mfg \_\_\_\_\_ Model# \_\_\_\_\_  
 Volts 240 SEER/EER \_\_\_\_\_ BTU's \_\_\_\_\_  
 Min. Circuit Amps \_\_\_\_\_ Wire gauge 12  
 Max. Breaker size 25 Min. Breaker size \_\_\_\_\_  
 Ref. line size: Liquid 3/8 Suction 3/4  
 Refrigerant type R-22  
 Location: Ext.  New   
Left/Right/Rear/Front/Roof \_\_\_\_\_  
 Condensate Location \_\_\_\_\_

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R(N)1107 & 1108

Signature

Date

*[Handwritten Signature]*

*9/26/14*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: 772-287-2455 Fax: 772-220-4765

### FLORIDA ENERGY CONSERVATION CODE

#### Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: M. Rohloff Contractor name: J. Langel Sea Coast A/c  
Street address: 20 Riverview Dr. Jurisdiction: \_\_\_\_\_  
City: Stuart FL 34994 Permit No.: \_\_\_\_\_  
Zip: 34994 Final inspection date: \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: [Signature] Date: 9/22/14  
Printed Name: John Langel  
Contractor License #: CA0016444

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_





This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2013.

# Certificate of Product Ratings

AHRI Certified Reference Number: 7042643

Date: 9/26/2014

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: XC25-024-230-02

Indoor Unit Model Number: CBX40UHV-024\*+TDR

Manufacturer: LENNOX INDUSTRIES, INC.

Trade/Brand name: DAVE LENNOX SIGNATURE

Series name: XC25 SERIES

Manufacturer responsible for the rating of this system combination is LENNOX INDUSTRIES, INC.

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	23000
EER Rating (Cooling):	16.50
SEER Rating (Cooling):	26.00
IEER Rating (Cooling):	

FootNote 11 - The AHRI 210/240 certified EER ratings are calculated under the same methodology as the EER ratings at T1 conditions of ISO 5151:2010 and ISO 13253:2011.

\* Ratings followed by an asterisk (\*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

#### DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at [www.ahridirectory.org](http://www.ahridirectory.org).

#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed at bottom right.

©2014 Air-Conditioning, Heating, and Refrigeration Institute



AIR-CONDITIONING, HEATING, & REFRIGERATION INSTITUTE

we make life better™

CERTIFICATE NO.:

130562091448871341

## SPECIFICATIONS



General Data		Model No.	XC25-024	XC25-036	XC25-048	XC25-060
		Nominal Tonnage	2	3	4	5
Connections (sweat)	Liquid line (o.d.) - in.		3/8	3/8	3/8	3/8
	Suction line (o.d.) - in.		7/8	7/8	7/8	1-1/8
Refrigerant		<sup>1</sup> R-410A charge furnished	13 lbs. 10 oz.	10 lbs. 12 oz.	14 lbs. 8 oz.	14 lbs. 8 oz.
Outdoor Coil	Net face area - sq. ft.	Outer coil	27.21	27.21	27.21	27.21
		Inner coil	26.36	26.36	26.36	26.36
		Tube diameter - in.	5/16	5/16	5/16	5/16
		No. of rows	2	2	2	2
		Fins per inch	22	22	22	22
Outdoor Fan	Diameter - in.		26	26	26	26
	No. of blades		5	5	5	5
	Motor hp		1/3	1/3	1/3	1/3
	Cfm - Max. Speed		2925	4100	4220	4385
	Min. Speed		1950	1950	3020	3020
	Rpm - Max. Speed		490	650	675	700
	Min. Speed		350	350	500	500
	Watts - Max. Speed		75	157	185	212
Min. Speed		32	32	82	82	
Shipping Data - lbs. - 1 pkg.			303	303	330	330
<b>ELECTRICAL DATA</b>						
Line voltage data - 60hz			208/230V-1ph	208/230V-1ph	208/230V-1ph	208/230V-1ph
<sup>2</sup> Maximum overcurrent protection (amps)			25	30	50	50
<sup>3</sup> Minimum circuit ampacity			14.9	19.5	32.9	34.1
Compressor	Rated load amps		10.3	14.0	24.7	25.7
	Locked rotor amps		18	18	29	29
	Power factor		0.97	0.98	0.99	0.99
Outdoor Fan Motor - Full load amps			2.0	2.0	2.0	2.0
<b>REQUIRED COMPONENTS - ORDER SEPARATELY</b>						
iComfort Wi-Fi <sup>®</sup> Thermostat			10F81	10F81	10F81	10F81
<sup>4</sup> Discharge Air Temperature Sensor			88K38	88K38	88K38	88K38
<b>OPTIONAL ACCESSORIES - ORDER SEPARATELY</b>						
<sup>6</sup> Freezestat	3/8 in. tubing	93G35	.	.	.	.
	5/8 in. tubing	50A93	.	.	.	.
<sup>6</sup> Refrigerant Line Sets	L15-65-30		.	.	.	.
	L15-65-40		.	.	.	.
	L15-65-50		.	.	.	.
		Field Fabricate				.

NOTE - Extremes of operating range are plus 10% and minus 5% of line voltage.

<sup>1</sup> Refrigerant charge sufficient for 15 ft. length of refrigerant lines. For longer line set requirements see the Installation Instructions for information about line set length and additional refrigerant charge required.

<sup>2</sup> HACR type breaker or fuse.

<sup>3</sup> Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements.

<sup>4</sup> Optional for service diagnostics.

<sup>5</sup> Freezestat is recommended for low ambient operation.

<sup>6</sup> Refer to the Installation Instructions or Service Literature for Line Set Requirements and Refrigerant Piping Guidelines.

# SPECIFICATIONS



General Data		Model Number	CBX40UHV -024	CBX40UHV -030	CBX40UHV -036	CBX40UHV -042	CBX40UHV -048	CBX40UHV -060
Nominal tonnage			2	2.5	3	3.5	4	5
Refrigerant			R-410A	R-410A	R-410A	R-410A	R-410A	R-410A
Connections	Suction / vapor (o.d.) line - sweat in.		5/8	3/4	3/4	7/8	7/8	7/8
	Liquid line (o.d.) - sweat		3/8	3/8	3/8	3/8	3/8	3/8
	Condensate drain - in. (fpt)		(2) 3/4	(2) 3/4	(2) 3/4	(2) 3/4	(2) 3/4	(2) 3/4
Indoor Coil	Net face area - ft. <sup>2</sup>		5.0	5.0	5.0	7.22	7.22	7.22
	Tube outside diameter - in.		3/8	3/8	3/8	3/8	3/8	3/8
	Number of rows		3	3	3	3	3	3
	Fins per inch		12	12	12	12	12	12
Blower Data	Wheel nominal diameter x width - in.		11 x 8	11 x 8	11 x 8	11-1/2 x 9	11-1/2 x 9	11-1/2 x 9
	Motor output - hp		1/2	1/2	3/4	1	1	1
Filters MERV 16	Size - in.		20 x 20 x 5	20 x 20 x 5	20 x 20 x 5	20 x 25 x 5	20 x 25 x 5	20 x 25 x 5
Shipping Data - 1 Package - lbs.			165	167	172	214	216	216

## ELECTRICAL DATA

Voltage - phase - 60hz		208/230V-1ph					
<sup>2</sup> Maximum overcurrent protection (unit only)		15	15	15	20	20	20
<sup>3</sup> Minimum circuit ampacity (unit only)		5	5	10	10	10	10

## CONTROLS

iComfort Wi-Fi <sup>®</sup> Thermostat		10F81	10F81	10F81	10F81	10F81	10F81
<sup>4</sup> Remote Outdoor Sensor (for dual fuel and Humiditrol <sup>®</sup> )		X2658	X2658	X2658	X2658	X2658	X2658
<sup>5</sup> Discharge Temperature Sensor		88K38	88K38	88K38	88K38	88K38	88K38
ComfortSense <sup>®</sup> 7000 Thermostat		Y0349	Y0349	Y0349	Y0349	Y0349	Y0349
Remote Outdoor Sensor (for dual fuel and Humiditrol <sup>®</sup> )		X2658	X2658	X2658	X2658	X2658	X2658

## OPTIONAL ACCESSORIES - ORDER SEPARATELY

Circuit Breaker Cover Kit		82W01	82W01	82W01	82W01	82W01	82W01
Downflow Combustible Flooring Base		44K15	44K15	44K15	44K15	44K15	44K15
Downflow Conversion Kit		83M57	83M57	83M57	43W10	43W10	43W10
Electric Heat		2.5 to 25 kW - See Electric Heat Data tables					
Healthy Climate UVC-24V (24V)		X9423	X9423	X9423	X9423	X9423	X9423
Germicidal Light Shielding Baffle (required) 16 in. lamp		Y5171	Y5171	Y5171	Y5171	Y5171	Y5171
	Shielding Baffle (required) optional 14 in. lamp	Y5172	Y5172	Y5172	Y5172	Y5172	Y5172
UVC-41W-S (110/230v-1 ph)		X9424	X9424	X9424	X9424	X9424	X9424
Shielding Baffle (required) 16 in.		Y5171	Y5171	Y5171	Y5171	Y5171	Y5171
Horizontal Support Frame Kit		56J18	56J18	56J18	56J18	56J18	56J18
Hot Water Heat Kit		90W84	90W84	90W84	90W84	90W84	90W84
Side Return Unit Stand (Upflow)		45K31	45K32	45K32	45K31	45K31	45K32
Single-Point Power Source Control Box		21H39	21H39	21H39	21H39	21H39	21H39
Wall Hanging Bracket Kit (Upflow)		45K30	45K30	45K30	45K30	45K30	45K30

<sup>1</sup> Disposable frame type filter.

<sup>2</sup> HACR type circuit breaker or fuse.

<sup>3</sup> Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements. Use wires suitable for at least 167°F.

<sup>4</sup> Remote Outdoor Sensor may be used with an iComfort<sup>™</sup>-enabled outdoor unit for a secondary (alternate) sensor reading. Sensor may also be used with a conventional outdoor unit.

<sup>5</sup> Optional for EvenHeater<sup>®</sup> electric heat operation and service diagnostics.

## REPLACEMENT CIRCUIT BREAKERS

Voltage	Description	Catalog No.
208/240V - 1 Phase	25 amp, 2 pole	41K13
	30 amp, 2 pole	17K70
	35 amp, 2 pole	72K07
	40 amp, 2 pole	49K14
	45 amp, 2 pole	17K71
	50 amp, 2 pole	41K12
	60 amp, 2 pole	17K72
208/240V - 3 Phase	30 amp, 3 pole	64W47
	35 amp, 3 pole	41K14
	40 amp, 3 pole	41K16
	45 amp, 3 pole	18M86
	50 amp, 3 pole	41K15
	60 amp, 3 pole	41K17

## INSTALLATION CLEARANCES

### WITH ELECTRIC HEAT

Cabinet	0 inch (0 mm)
To Plenum	1 inch (25 mm)
To Outlet Duct within 3 feet (914 mm)	1 inch (25 mm)
Floor	See Note #1
Service / Maintenance	See Note #2

<sup>1</sup> Units installed on combustible floors in the downflow position with electric heat require optional downflow combustible flooring base.

<sup>2</sup> Front service access - 24 inches (610 mm) minimum.

NOTE - If cabinet depth is more than 24 inches (610 mm), allow a minimum of the cabinet depth plus 2 inches (51 mm).

## ELECTRIC HEAT DATA - CBX40UHV-024

Model Number	No. of Stages	Volts Input	kW Input	<sup>1</sup> Btuh Input	<sup>2</sup> Blower Motor Full Load Amps	<sup>3</sup> Minimum Circuit Ampacity	<sup>5</sup> Maximum Overcurrent Protection	
<b>SINGLE PHASE</b>								
2.5 kW 4 lbs.	ECB40-2.5 (34W86) Terminal Block	1	208	1.9	6,400	4.0	17	20
			220	2.1	7,200	4.0	17	20
			230	2.3	7,800	4.0	18	20
			240	2.5	8,500	4.0	18	20
4 kW 4 lbs.	ECB40-4 (55W89) Terminal Block ECB40-4CB (55W90) 30A Circuit breaker	1	208	3.0	10,250	4.0	23	<sup>4</sup> 25
			220	3.4	11,450	4.0	24	<sup>4</sup> 25
			230	3.7	12,550	4.0	25	<sup>4</sup> 25
			240	4.0	13,650	4.0	26	30
5 kW 4 lbs.	ECB40-5 (34W87) Terminal Block ECB40-5CB (34W90) 35A Circuit breaker	1	208	3.8	12,800	4.0	28	<sup>4</sup> 30
			220	4.2	14,300	4.0	29	<sup>4</sup> 30
			230	4.6	15,700	4.0	30	<sup>4</sup> 30
			240	5.0	17,100	4.0	31	35
6 kW 4 lbs.	ECB40-6 (34W88) Terminal Block ECB40-6CB (34W91) 40A Circuit breaker	1	208	4.5	15,400	4.0	32	<sup>4</sup> 35
			220	5.0	17,100	4.0	33	<sup>4</sup> 35
			230	5.5	18,800	4.0	35	<sup>4</sup> 35
			240	6.0	20,500	4.0	37	40
8 kW 5 lbs.	ECB40-8 (34W89) Terminal Block ECB40-8CB (34W92) 50A Circuit breaker	1	208	6.0	20,500	4.0	41	<sup>4</sup> 45
			220	6.7	22,900	4.0	43	<sup>4</sup> 45
			230	7.3	25,100	4.0	45	<sup>4</sup> 45
			240	8.0	27,300	4.0	47	50
9 kW 5 lbs.	ECB40-9CB (34W93) 60A Circuit breaker	2	208	6.8	23,100	4.0	46	<sup>4</sup> 50
			220	7.6	25,800	4.0	48	<sup>4</sup> 50
			230	8.3	28,200	4.0	50	60
			240	9.0	30,700	4.0	52	60

NOTE - Circuit 1 Minimum Circuit Ampacity includes the Blower Motor Full Load Amps.

<sup>1</sup> Electric heater capacity only - does not include additional blower motor heat capacity.

<sup>2</sup> Amps shown are for blower motor only.

<sup>3</sup> Refer to National or Canadian Electrical Code manual to determine wire, fuse and disconnect size requirements. Use wires suitable for at least 167°F.

<sup>4</sup> Bold text indicates that the circuit breaker on "CB" circuit breaker models must be replaced with size noted. See Table on Page 6.

<sup>5</sup> HACR type circuit breaker or fuse.



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by...  
 governmax.com 1.11

**Summary**



**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Web Upd.
12-38-41-001-000-00130-1	27503	20 RIVERVIEW DR, SEWALL'S POINT	\$1,620,930	10/1

**Owner Information**

<b>Owner(Current)</b>	ROHLOFF MICHAEL TR ROHLOFF MICHAEL TR
<b>Owner/Mail Address</b>	20 RIVERVIEW DR STUART FL 34996
<b>Sale Date</b>	12/28/2012
<b>Document Book/Page</b>	<u>2622 1914</u>
<b>Document No.</b>	2370123
<b>Sale Price</b>	100

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Account #	Location/Description	Map Page No.	SP-01
27503			
<b>Tax District</b>	2200	<b>Legal Description</b>	RIVEI
<b>Parcel Address</b>	20 RIVERVIEW DR, SEWALL'S POINT		S/D L
<b>Acres</b>	.9570		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193170 Lucindia,Riverview ST LUC.RVR

**Functions**

- Property Search
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Assessment Information**

<b>Market Land Value</b>	\$1,053,000
<b>Market Improvement Value</b>	\$567,930
<b>Market Total Value</b>	\$1,620,930

[Print](#) [Back to List](#) [First](#) [Previous](#) [Next](#) [Last](#)

*Legal Disclaimer / Privacy Statement*

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 10/10/14 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10489	Guerriero	Mechanical		SUPPLY & RETURN
Am Requested	130 N SPR	Final	FAIL	RETURN DUCTS NOT SEALED
	Aspen Air	(Expired)		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10934	Fabricky	Insulation,	7 <i>[Signature]</i>	
	6 Oak Hill Way	Roof in Progress		
	Seagate	Lath		
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
Tree Permit	Di Sciullo	Tree Removal		
	15 Lantana Lane	Permit	OK	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11024</del>	Rohloff	Mechanical		
	20 Riverview	<del>Final</del>	<del>NO COMMENTS</del>	
	Seacoast			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10688	Stejskal	Meter		E-MAIL FPL
	108 S SPR	Final	PASS	
	Alan Morse			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11065	Oliviera	Final Stairs		CHECK HAND RAIL
	118 S SPR	+ Railing	PASS	CLOSE
	Mel-Ry Construction			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
Tree Permit	Frohlich	Tree Removal		
	9 Palm Rd	Permit	OK	
				INSPECTOR

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11/13/14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>10884</del>	Rohloff	Final		Homeowner phone # 772-485-9008
Am Requested	<del>20 Rivernew Drive</del> Seacoast A/C	Mechanical	<del>Pass</del>	<del>close</del> INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10884	Creeden	Final		
Am Requested	176 S Sewalls Point Rd Advantage Air	Mechanical	Pass	close INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11050	Duke	Steel, Bond		
	25 Island Rd Alexander Pools	Main Drain Niche	Pass	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10917	Castoro	Final Retaining	Fail	Stairs don't meet code
	22 S Sewall's Point Rd Roe Construction	wall + Paver Pool Deck	Pass	Handrails don't meet code INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10710	Darrow	Temporary		E-mail
	7 Oak Hill way JMC	Meter	Pass.	FPL INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**11186**

**CHANGE**

**OUT**

**BATHTUB**

**EXPIRED**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11186	DATE ISSUED:	June 17, 2015
SCOPE OF WORK:	CHANGE OUT BATHTUB		
CONTRACTOR:	FAVORITE PLUMBING		
PARCEL CONTROL NUMBER:	12-38-41-001-000-00130-1	SUBDIVISION:	RIVERVIEW S/D Lot 13
CONSTRUCTION ADDRESS:	20 Riverview Drive		
OWNER NAME:	Rohloff		
QUALIFIER:	Eric Robbins	CONTACT PHONE NUMBER:	209-2154

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM                      INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

<b>PERMIT NUMBER:</b>	11186		
<b>ADDRESS:</b>	20 Riverview Drive		
<b>DATE ISSUED:</b>	6/17/2015	<b>SCOPE OF WORK:</b>	CHANGE OUT BATHTUB

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, Remodel >\$200K)		\$	
Plan Submittal Fee (175.00 Remodel <\$200K, Tennant Improvement)		\$	
Plan Submittal Fee (100.00 Remodel <\$100k)		\$	
Total square feet air-conditioned spa @ per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: @ per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Total number of inspections (Value < \$200K) \$ 150.00 per insp. # insp		\$	-
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Technology Fee: (0.04% of Construction Value - \$5 min)			n/a
Road impact assessment: (0.4% of construction value - \$20 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 2,300.00
Total number of inspections: @ \$ 150.00 per insp. # insp	1	\$	150.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 2.25
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 2.25
Technology Fee (0.04% of Construction Value - \$5 min.)		\$	5.00
Road impact assessment: (0.4% of construction value - \$20 min.)		\$	20.00
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>179.50</b>

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER/LESSEE NAME: Rohloff Bob Phone (Day) 702 288 1194 (Fax) \_\_\_\_\_

Job Site Address: 20 Riverwood Dr City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Legal Description: 12-38-41-001-000-00 Parcel Control Number: 12-38-41-001-000-0000-1

Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

\*SCOPE OF WORK (PLEASE BE SPECIFIC): Change tub in Hall Bath

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES  NO

Has a Zoning Variance ever been granted on this property?

YES  (YEAR) \_\_\_\_\_ NO

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 2300

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10  AE9  AE8  X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Favourite Plumbing Phone: 702 209 2184 Fax: \_\_\_\_\_

Qualifiers name: Eric Robbins Street: 1293 NW South City: Jensen Beach State: FL Zip: 34957

State License Number: CAC 056760 OR: Municipality: \_\_\_\_\_ License Number: \_\_\_\_\_

LOCAL CONTACT: \_\_\_\_\_ Phone Number: \_\_\_\_\_

DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_

Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X \_\_\_\_\_

State of Florida, County of: \_\_\_\_\_

On This the 23 day of February, 2015

by Eric Robbins who is personally

known to me or produced \_\_\_\_\_

As identification, Eric Robbins

My Commission Expires: \_\_\_\_\_

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X Eric Robbins

State of Florida, County of: Martin

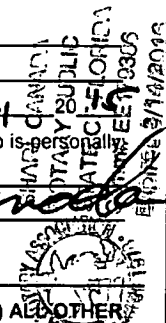
On This the 23 day of February, 2015

by Eric Lynn Robbins who is personally

known to me or produced \_\_\_\_\_

As identification, Eric Robbins

My Commission Expires: 03/14/2016



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Fountain Plumbers

ES Trade

Invoice

SOLD TO	Bob Rahlhoff	SHIPPED TO		VIA	
ADDRESS	20 Riverwever	ADDRESS			
CITY, STATE, ZIP	Sewall Point Fl 34906	CITY, STATE, ZIP			
CUSTOMER ORDER NO.		SOLD BY		TERMS	
				F.O.B.	
				DATE	

Replace tub and Shower Valve

2300<sup>00</sup>

Sign Robert J. Rahlhoff

PLEASE CUT OUT CARD BELOW AND RETAIN FOR FUTURE REFERENCE

**STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION  
CONSTRUCTION INDUSTRY EXEMPTION**



CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA  
WORKERS' COMPENSATION LAW

EFFECTIVE DATE: 4/18/2014      EXPIRATION DATE: 4/17/2016

PERSON: ROBBINS      ERIC      L

FEIN: 611686616

BUSINESS NAME AND ADDRESS:

FAVORITE PLUMBING INC

FAVORITE PLUMBING INC

JENSEN BEACH      FL      34957

SCOPES OF BUSINESS OR TRA

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**IMPORTANT**

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt.

Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

LICENSED PLUMBING  
CONTRACTOR

A large, stylized handwritten signature in black ink, located at the bottom center of the page.



**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783**

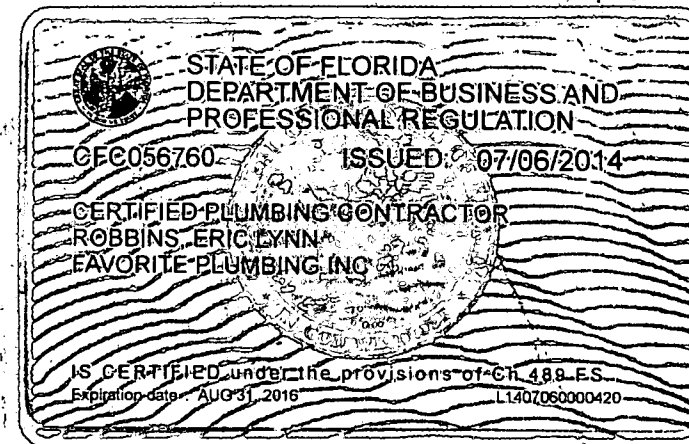
**(850) 487-1395**

**ROBBINS, ERIC LYNN  
FAVORITE PLUMBING INC  
1293 NE SOUTH STREET  
JENSEN BEACH FL 34957**

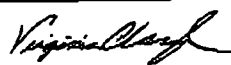
Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto [www.myfloridalicense.com](http://www.myfloridalicense.com). There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



DETACH HERE

<b>CERTIFICATE OF INSURANCE</b>				ISSUE DATE		2/23/2015	
<p><b>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.</b></p> <p><b>IMPORTANT: IF THE CERTIFICATE HOLDER IS AN ADDITIONAL INSURED, THE POLICY(IES) MUST BE ENDORSED. IF SUBROGATION IS WAIVED, SUBJECT TO THE TERMS AND CONDITIONS OF THE POLICY, CERTAIN POLICIES MAY REQUIRE AN ENDORSEMENT. A STATEMENT ON THIS CERTIFICATE DOES NOT CONFER RIGHTS TO THE CERTIFICATE HOLDER IN LIEU OF SUCH ENDORSEMENT(S).</b></p>							
<b>PRODUCER</b> Great Florida Insurance of Jensen Beach, Inc 1514 NE Jensen Beach Blvd Jensen Beach, FL 34957				<b>INSURER(S) AFFORDING COVERAGE</b>			
				INSURER A: Western World Insurance Company			
<b>INSURED</b> Robbins, Eric DBA , Favorite Plumbing Inc 1293 NE South Street Jensen Beach, FL 34957				INSURER B: N/A			
				INSURER C:			
				INSURER D:			
				INSURER E: N/A			
<p><b>COVERAGES</b></p> <p><b>THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.</b></p>							
INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS		
A	GENERAL LIABILITY	NPP1384768	7/22/2014	7/22/2015	GENERAL AGGREGATE	2,000,000	
					PRODUCTS-COM/OP AGG.	1,000,000	
					PERSONAL & ADV. INJURY	1,000,000	
					EACH OCCURRENCE	1,000,000	
					DAMAGE PREM RENTED TO YOU	100,000	
					MED EXPENSE (Any one person)	5,000	
B	PERSONAL LIABILITY				COMBINED SINGLE LIMIT		
					MEDICAL PAYMENTS TO OTHERS		
C	EXCESS LIABILITY				EACH OCCURRENCE		
					AGGREGATE		
D							
E	PROPERTY				BUILDING		
					CONTENTS		
					BUSINESS INCOME		
<p><b>THIS INSURANCE IS ISSUED PURSUANT TO THE FLORIDA SURPLUS LINES LAW. PERSONS INSURED BY SURPLUS LINES CARRIERS DO NOT HAVE THE PROTECTION OF THE FLORIDA GUARANTY ACT TO THE EXTENT OF ANY RIGHT OF RECOVERY FOR THE OBLIGATION OF AN INSOLVENT UNLICENSED INSURER.</b></p> <p><b>SURPLUS LINES INSURERS' POLICY RATES AND FORMS ARE NOT APPROVED BY ANY FLORIDA REGULATORY AGENCY.</b></p>							
<p><b>DESCRIPTION OF OPERATIONS / SPECIALTY ITEMS</b>                  Plumbing commercial &amp; Industrial, Plumbing residential or domestic</p>							
<p><b>SURPLUS LINES AGENT VIRGINIA CLANCY LICENSE# A206695</b>                  13677 FEATHERSOUND DRIVE PO BOX 17069 CLEARWATER, FLORIDA 33762</p>							
<p><b>CERTIFICATE HOLDER</b>                  The Town of Sewall's Point Building Department                  One South Sewall's Point Rd                  Sewall's Point, FL 34996</p>				<p><b>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.</b></p>			
				<p><b>AUTHORIZED SIGNATURE</b>  </p>			

**Martin County, Florida**  
**Laurel Kelly, C.F.A**

*generated on 2/26/2015 3:21:56 PM EST*

**Summary**

<b>Parcel ID</b>	<b>Account #</b>	<b>Unit Address</b>	<b>Market Total Value</b>	<b>Website Updated</b>
12-38-41-001-000-00130-1	27503	20 RIVERVIEW DR, SEWALL'S POINT	\$1,620,930	2/21/2015

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<b>Owner Information</b>	
<b>Owner(Current)</b>	ROHLOFF MICHAEL TR ROHLOFF MICHAEL TR
<b>Owner/Mail Address</b>	20 RIVERVIEW DR STUART FL 34996
<b>Sale Date</b>	12/28/2012
<b>Document Book/Page</b>	<u>2622 1914</u>
<b>Document No.</b>	2370123
<b>Sale Price</b>	100

---

<b>Location/Description</b>			
<b>Account #</b>	27503	<b>Map Page No.</b>	SP-05
<b>Tax District</b>	2200	<b>Legal Description</b>	RIVERVIEW S/D LOT 13
<b>Parcel Address</b>	20 RIVERVIEW DR, SEWALL'S POINT		
<b>Acres</b>	.9570		

---

<b>Parcel Type</b>	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193170 Lucindia,Riverview ST LUC.RVR

---

<b>Assessment Information</b>	
<b>Market Land Value</b>	\$1,053,000
<b>Market Improvement Value</b>	\$567,930
<b>Market Total Value</b>	\$1,620,930



0210

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # 0210

Date Issued 4-27-87

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc..

Owner GARDNER Address 20 River View Phone \_\_\_\_\_

Contractor John Hill Address 736 Duck Highway Phone 692-2889

Number of trees to be removed (list kinds of trees) 20

OAK - PARADISE - PALM - Gumbo Limbo

Number of trees to be relocated within 30 days (no fee) (list kinds of trees) None

Number of trees to be replaced within 30 days (list kinds of trees) None

Permit Fee: \$ 25<sup>00</sup> (\$5. for first tree plus \$1. for each additional tree - not to exceed \$25.)

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted  Plans approved as marked

Permit good for one year. Fee for renewal of expired permit \$5.

Signature of applicant John J. Hill Date submitted 4-27-87

Approved by Building Inspector Dale Brown Date 4/27/87

Approved by Building Commissioner \_\_\_\_\_ Date \_\_\_\_\_

Completed \_\_\_\_\_  
Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSES OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.  
THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA.