

# **20 North Sewall's Point Road**

**7764**

**SFR**

Renewal: 9/15/06 - 11/15/06 2mo @ 720/mo = \$1440 } 2035.20  
 Final cost \$762,000 } 62 x 960 = 595.20 } 2035.20  
 700,000 } MASTER PERMIT NO. 4684 C

**TOWN OF SEWALL'S POINT**

Date 9-15-05 BUILDING PERMIT NO. 7764  
 Building to be erected for RUCKS Type of Permit SFR  
 Applied for by MASTERPIECE BUILDERS (Contractor) Building Fee 6720.00  
 Subdivision INDIANWIC EAST Lot 7 Block \_\_\_\_\_ Radon Fee 4598.20  
 Address 20 N. SEWALL'S POINT ROAD Impact Fee 47.89  
 Type of structure SFR A/C Fee 120.00  
 PRINT QUAL. NAME: JEFF POWERS Electrical Fee 120.00  
 ST LIC #: CGC 048543 Plumbing Fee 120.00  
 Parcel Control Number: Roofing Fee 120.00  
35374100300000070410000 Other Fees (b% P.R.) 720.00  
 Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ TOTAL Fees 12,566.09  
 Total Construction Cost \$ 700,000

Signed [Signature] Applicant Signed Gene Simmons (DOT) Town Building Official

**MASTERPIECE BUILDERS**  
 408 COLORADO AVE.  
 STUART, FL 34994  
 (772) 283-2096 • CGC 048543

HARBOR FEDERAL  
 789 S. FEDERAL HWY.  
 STUART, FL 34994  
 63-8419/2670

4684

4684

TWO THOUSAND THIRTY FIVE DOLLARS AND 20 CENTS

DATE 10/30/2006 AMOUNT \$2,035.20

PAY TO THE ORDER OF

TOWN OF SEWALLS POINT

Barbara Bowers  
 AUTHORIZED SIGNATURE

C

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 9-15-05

BUILDING PERMIT NO. 7764

Building to be erected for RUCKS

Type of Permit SFR

Applied for by MASTERPIECE BUILDERS (Contractor)

~~\*700 x 9.60/1000~~ Building Fee 6720.00

Subdivision INDIANWIC EAST Lot 7 Block \_\_\_\_\_

Radon Fee 4598.20

Address 20 N. SEWALL'S POINT ROAD

Impact Fee 47.89

Type of structure SFR

A/C Fee 120.00

PRINT QUAL. NAME: JEFF POWERS  
ST Lic # CAC 048543

Electrical Fee 120.00

Parcel Control Number:  
35374100300000070410000

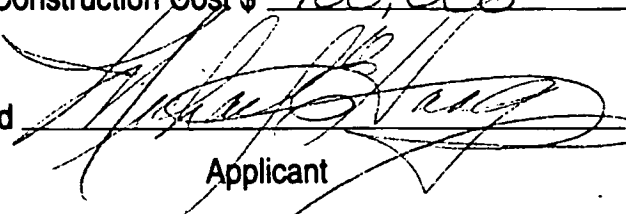
Plumbing Fee 120.00

Roofing Fee 120.00

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees (b90RR) 720.00

Total Construction Cost \$ 700,000

TOTAL Fees 12,566.09

Signed   
Applicant

Signed Gene Summers  
Town Building Official

$\$7200/10\% = 720/mo$       283-2096      + 762,473

9/15/06 - 10/15/06      720      \$1440

10/15/06 - 11/15/06      720      599.74      595.20

2039.74

2035.20

62,473      x 9.60/1000

ADDD fee = 599.74

mhaage@masterpiecebuilders.com

see attached

**TOWN OF SEWALL'S POINT**

Date 9-15-05

BUILDING PERMIT NO. 7764

Building to be erected for RUCKS

Type of Permit SFR

Applied for by MASTERPIECE BUILDERS (Contractor)

Building Fee 6720.00

Subdivision INDIANUCIE EAST Lot 7 Block \_\_\_\_\_

Radon Fee 4598.20

Address 20 N. SEWALL'S POINT ROAD

Impact Fee 47.89

Type of structure SFR

A/C Fee 120.00

PRINT QUAL. NAME: JEFF POWERS

Electrical Fee 120.00

SLIC#: CGC 048543

Plumbing Fee 120.00

Parcel Control Number:

Roofing Fee 120.00

3537410030000007040000

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees (6% P.R.) 720.00

Total Construction Cost \$ 700,000

TOTAL Fees 12,566.09

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- BUILDING SFR
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

**INSPECTIONS**

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED  
8/19/05

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 8/19/05

OWNER/TITLEHOLDER NAME: BRIAN & SANDRA RUCKS Phone (Day) 229-1079 (Fax) \_\_\_\_\_

Job Site Address: 20 N. SEWALLS PT. RD. City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) INDIA LUCE EAST LOT 7 Parcel Number: 35-37-41-003-000-00070-4

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: NEW SINGLE FAMILY RESIDENCE

WILL OWNER BE THE CONTRACTOR?:

YES  NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 700,000.  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ N/A

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: MASTERPIECE BUILDERS Phone: 283-2096 Fax: 283-2770

Street: 408 COLORADO AVE City: STUART State: FL Zip: 34994

State Registration Number: \_\_\_\_\_ State Certification Number: CEC 048543 Martin County License Number: \_\_\_\_\_

SUBCONTRACTOR INFORMATION:

Electrical: Haldane Electric State: FL License Number: EC0001346

Mechanical: NIS AIR State: FL License Number: CAC041199

Plumbing: Southpark Plumbing State: FL License Number: MP00049

Roofing: ALL AMERICAN ROOFING State: FL License Number: CCC058118

ARCHITECT M.A. CORSON & ASSOCIATES Lic.#: AR91665 Phone Number: 223-8227

Street: 844 E. OCEAN BLVD., SUITE C City: STUART State: FL Zip: 34994

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 3416 Garage: 755 Covered Patios: 118 Screened Porch: \_\_\_\_\_

Carpport: \_\_\_\_\_ Total Under Roof 4789 Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Sandra Rucks

State of Florida, County of: MARTIN

This the 5 day of AUGUST, 2005

by SANDRA L. RUCKS who is personally

known to me or produced \_\_\_\_\_

as identification. Jennifer L. Puerto

My Commission Expires: \_\_\_\_\_  
Jennifer L. Puerto  
Commission #DD151454

Expires: Sep 18, 2006

Bonded Thru \_\_\_\_\_  
Atlantic Bonding Co., Inc.

CONTRACTOR SIGNATURE (required)

Jeffery Bowers

On State of Florida, County of: MARTIN

This the 8 day of AUGUST, 2005

by JEFFERY A BOWERS who is personally

known to me or produced \_\_\_\_\_

As identification. Jennifer L. Puerto

My Commission Expires: \_\_\_\_\_  
Jennifer L. Puerto  
Commission #DD151454

Expires: Sep 18, 2006

Bonded Thru \_\_\_\_\_  
Atlantic Bonding Co., Inc.

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LP  
MASTE-4

DATE (MM/DD/YYYY)  
05/02/05

PRODUCER  
R.V. Johnson Agency, Inc.  
2041 SE Ocean Blvd  
Stuart FL 34996  
Phone: 772-287-3366 Fax: 772-287-4255



THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED  
Mastaplane Builders  
Mastaplane Systems, Inc dba  
408 Colorado Avenue  
Stuart FL 34994

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	Owners Insurance Company	32700
INSURER B:	Auto-Owners Insurance Co	18988
INSURER C:	Bridgefield Employers Insuranc	
INSURER D:		
INSURER E:		

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	20587760-05	05/05/05	05/05/06	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 Emp Ben. 1,000,000	
B		<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	4232990400	05/05/05	05/05/06	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$	
		<input type="checkbox"/> GARAGE LIABILITY <input type="checkbox"/> ANY AUTO	NOT COVERED W/THIS AGENCY			AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$	
B		<input checked="" type="checkbox"/> EXCESS/UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$5000	4232990401	05/05/05	05/05/06	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$ \$	
C		<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYER LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	083020848	03/01/05	03/01/06	WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000	
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
 30 days notice of cancellation for workers compensation coverage.  
 Companies have the option to cancel 10 days for non-payment.

CERTIFICATE HOLDER  
 TOWN024  
 Town of Sewalls Point  
 1 S. Sewalls Point Road  
 Stuart FL 34996

CANCELLATION  
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10\* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
 AUTHORIZED REPRESENTATIVE



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

BOWERS, JEFFERY ALLAN  
MASTERPIECE BUILDERS  
408 COLORADO AVENUE  
STUART FL 34994

STATE OF FLORIDA AC# 1511955  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CGC048543 07/29/04 00000000  
 CERTIFIED GENERAL CONTRACTOR  
 BOWERS, JEFFERY ALLAN  
 MASTERPIECE BUILDERS  
 IS CERTIFIED under the provisions of Ch.489 FS.  
 Expiration date: AUG 31, 2006 L04072900492

DETACH HERE

AC# 1511955 STATE OF FLORIDA  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L04072900492

DATE	BATCH NUMBER	LICENSE NBR
07/29/2004	000000000	CGC048543

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

BOWERS, JEFFERY ALLAN  
MASTERPIECE BUILDERS  
408 COLORADO AVENUE  
STUART FL 34994

JEB BUSH  
GOVERNOR

DIANE CARR  
SECRETARY



**SUBCONTRACTORS LIST  
RESIDENTIAL, ADDITIONS, COMMERCIAL**

APPLICANT'S NAME MASTERPIECE BUILDERS BLDG. PERMIT # SFR 7764

MAILING ADDRESS 408 COLORADO AVENUE, STUART, FL 34994

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE INSPECTIONS DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917.

PLEASE INCLUDE ALL MARTIN COUNTY COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM - FINISH	HOLEMAN HOMES	CBC 1250217
CFI		HOLEMAN HOMES -	CBC 1250217
BM	BLOCK MASON	KIRSCH MASONRY	SPO 2771
CB	COLUMNS & BEAMS		
CA	CARPENTRY ROUGH	HOLEMAN HOMES	CBC 1250217
GD	GARAGE DOOR	J.B. MATTHEWS	CBC 1251120
DH	DRYWALL - HANG - FINISH	P.D.C.	SPO 2731
DF		P.D.C.	SPO 2731
IN	INSULATION	LEED	SPO 2474
LA	LATHING	TREASURE COAST	SPO 2404
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS	PROPANE DISCOUNTERS	SIC 422710
PA	PAINTING	TORRES	SPO 2817
PL	PLASTER & STUCCO	TREASURE COAST	SPO 2404
ST	STAIRS & RAILS		
RO	ROOFING	PROFESSIONAL	RC0052013
TM	TILE & MARBLE	HAMWAY	CTM 3548
WD	WINDOWS & DOORS	JAMES DECKER CONST.	MC 02266
PL	* PLUMBING	SOUTH PARK	MP00049
AC	* HARV	NISAIR	CACO 41199
EL	* ELECTRICAL	HALDANE	EO 001346
AL VS	* LOW VOLTAGE BURGLAR ALARM VACUUM SOUND	SVI	EF0000076
		SVI	EF0000076
		SVI	EF0000076
IR	* IRRIGATION	SOUTHERN IRRIGATION	SPO 0734
SH	SHUTTERS	PRECISION SHUTTERS	SPO 3355

\* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MARTIN COUNTY OR STATE LICENSED CONTRACTORS.

I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Jeffery A. Bowers  
SIGNATURE OF CONTRACTOR  
(OR OWNER BUILDER IF APPLICABLE)

STATE OF FLORIDA

COUNTY OF

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27<sup>TH</sup> DAY OF OCTOBER, 2006, BY JEFFERY A. BOWERS, WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED \_\_\_\_\_ AND WHO DID NOT TAKE AN OATH.

Michael E. Haag  
NOTARY SIGNATURE

STAMP:  **Commission # DD531755**  
**Expires: MAR. 22, 2010**  
**Bonded Thru Atlantic Bonding Co., Inc.**

NOTARY PUBLIC-STATE OF FLORIDA  
**Michael E. Haag**  
**Commission # DD531755**  
**Expires: MAR. 22, 2010**  
**Bonded Thru Atlantic Bonding Co., Inc.**

MASTER PERMIT NO. 7764

TOWN OF SEWALL'S POINT

Date 9/15/05

BUILDING PERMIT NO. 7765

Building to be erected for RUCKS

Type of Permit SUB-ELECTRICAL

Applied for by MASTERPIECE/HALDANE ELEC (Contractor)

Building Fee \_\_\_\_\_

Subdivision INDIANWIC EAST Lot 7 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 N. SEWALLS PT RD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

PRINT QUAL. NAME: THOMAS W. HALDANE

Electrical Fee SEE PN 7764

Parcel Control Number: SLIC #: EC 0001346

Plumbing Fee \_\_\_\_\_

3537410030000007040000

Roofing Fee \_\_\_\_\_

Amount Paid  Check # X Cash \_\_\_\_\_

Other Fees (\_\_\_\_\_) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_

TOTAL Fees \_\_\_\_\_

Signed [Signature]

Signed [Signature]

Applicant

Town Building Official

PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING               | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION            | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION      |

INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
12/14/04

<b>PRODUCER</b> Kearns Agency of Florida, Inc. P.O. Box 1849 Jensen Beach, FL 34958	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
	<b>INSURERS AFFORDING COVERAGE</b>
<b>INSURED</b> Haldane Electric, Inc. 2133 SE Bryson Ave. Port St. Lucie, FL 34952	INSURER A: <b>Auto-Owners Insurance</b>
	INSURER B:
	INSURER C:
	INSURER D:
	INSURER E:


## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	20506633	01-01-05	01-01-06	EACH OCCURRENCE	\$1,000,000
					FIRE DAMAGE (Any one fire)	\$ 100,000
					MED EXP (Any one person)	\$ 10,000
					PERSONAL & ADV INJURY	\$1,000,000
					GENERAL AGGREGATE	\$1,000,000
					PRODUCTS - COMP/OP AGG	\$1,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	95-434-642-00	01-01-05	01-01-06	COMBINED SINGLE LIMIT (Ea accident)	\$ 500,000
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$	
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$	
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Electrical Contractor - State of Florida

<b>CERTIFICATE HOLDER</b> Town of Sewall's Point 1 So. Sewall's Point Rd. Sewall's Point, FL 34996	<b>ADDITIONAL INSURED; INSURER LETTER:</b>	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE Lawrence E. Kearns 
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**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon the Certificate Holder other than those provided by this policy. This certificate does not amend, extend, or alter the coverage afforded by the policies described herein.

**Named Insured(s):**

Gevity HR, Inc and its wholly owned subsidiaries including but not limited to Gevity HR, LP; Gevity HR II, LP; Gevity HR III, LP; Gevity HR IV, LP; Gevity HR V, LP; Gevity HR VI, LP; Gevity HR VII, LP; Gevity HR VIII, LP; Gevity HR IX, LP; Gevity HR X, LP; Gevity HR XI, LLC; Gevity HR XII Corp.

600 301 Boulevard West  
Bradenton, Florida 34205

**MARSH**

**Insurer Affording Coverage**

**American Home Assurance Co.,  
Member of American International Group, Inc. (AIG)**

**Coverages:**

This is to certify that the policy(ies) of insurance described herein have been issued to the insured named herein for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which the Certificate may be issued or may pertain, the insurance afforded by the policy(ies) described herein is subject to all the terms, conditions and exclusions of such policy(ies). (Aggregate) Limits shown may have been reduced by paid claims.

Type of Insurance	Certificate Exp. Date	Policy Number	Limits	
Workers' Compensation	1-1-2006	RMWC0330470 RMWC0330495	<b>Employers Liability</b>	
			Bodily Injury By Accident \$2,000,000	Each Accident
			Bodily Injury By Disease \$2,000,000	Policy Limit
			Bodily Injury By Disease \$2,000,000	Each Person

**Other :**

Re: Jane Thompson 179 S River Rd, Stuart FL 34996

**Employees Leased To:**

7885.Haldane Electric Inc

**Effective Date :** 01-JAN-2005

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

**Notice of Cancellation:** Should any of the policies described herein be cancelled before the expiration date thereof, the insurer affording coverage will endeavor to mail 30 days written notice to the certificate holder named herein, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer affording coverage, its agents or representatives.

**Certificate Holder**

Town of Sewalls Point  
1 S Sewalls Point  
Sewalls Point, FL 34996



**Michael C. Weiss**  
Authorized Representative of Marsh USA Inc.

(866)443-8489

Phone

06-JAN-2005

Date Issued



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

ELECTRICAL CONTRACTORS LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

HALDANE, THOMAS W  
HALDANE ELECTRIC INC  
2133 S E BRYSON AVE  
PORT ST LUCIE FL 34952

STATE OF FLORIDA AC# 1455907  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 EC0001346 06/18/04 030734221  
 CERTIFIED ELECTRICAL CONTRACTOR  
 HALDANE, THOMAS W  
 HALDANE ELECTRIC INC  
 IS CERTIFIED under the provisions of Ch.489 FS.  
 Expiration date: AUG 31, 2006 L04061801227

DETACH HERE

AC# 1455907

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L04061801227

DATE	BATCH NUMBER	LICENSE NBR
06/18/2004	030734221	EC0001346

The ELECTRICAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

HALDANE, THOMAS W  
HALDANE ELECTRIC INC  
2133 S E BRYSON AVE  
PORT ST LUCIE FL 34952

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

ACCOUNT 1731-00008298  
EXPIRES SEP 30, 2005

2004-2005

**ST. LUCIE COUNTY OCCUPATIONAL LICENSE**  
BOB DAVIS, CPA, CGFO, OFC. ST. LUCIE COUNTY TAX COLLECTOR

ACILITIES  
OR  
MACHINES  
TYPE OF  
BUSINESS  
BUSINESS  
LOCATION

ROOMS

SEATS

EMPLOYEES 21+

RENEWAL  
NEW LICENSE  
TRANSFER  
ORIGINAL TAX 25.00

1731 ELECTRICAL CONTRACTOR

2130 SW Hayworth Avenue  
City of Ft St Lucie

CO 2806

AMOUNT  
PENALTY  
COLLECTION COST  
TOTAL 25.00

NAME  
MAILING  
ADDRESS

Thomas W Haldane  
Haldane Electric Inc  
Haldane, Thomas W  
2130 SW Hayworth Avenue  
Port St Lucie FL 34953

Please see back for additional information  
PAID BOB DAVIS, TAX COLLECTOR PAID  
MACH 10 21 8/9/04 1:10PM 00001723

2004 1731-00008298  
0400 \$25.00

602004 000000000000 0000173100008298 0000 00000002500 000000000000 0000 6  
CHANGE

MASTER PERMIT NO. 7764

### TOWN OF SEWALL'S POINT

Date 9/13/05

BUILDING PERMIT NO. 7766

Building to be erected for RUCKS

Type of Permit SUB - ALC

Applied for by MASTERPIECE BUDS / NISAIR (Contractor)

Building Fee \_\_\_\_\_

Subdivision INDIAWICK EAST Lot 7 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 N. SEWALL'S POINT ROAD

Impact Fee \_\_\_\_\_

Type of structure STR

AC Fee SEE

PRINT @VAL. NAME: PHIL NISA JR.

Electrical Fee PN 7764

Parcel Control Number: STLC# : CAC041199

Plumbing Fee \_\_\_\_\_

3537 4100300000007040000

Roofing Fee \_\_\_\_\_

Amount Paid  Check # X Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

TOTAL Fees \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_

Signed Joe Penby  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input checked="" type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK         |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                 |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                   |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION            |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION              |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____





# CERTIFICATE OF LIABILITY INSURANCE

OP ID SE  
NISAI-1DATE (MM/DD/YYYY)  
12/20/04

<b>PRODUCER</b>  Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	<b>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.</b>	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b>  Nisair Air Conditioning Personalized Services Inc dba 3497 SE Lional Terrace Stuart FL 34997	INSURER A: <b>Southern Owners</b>	<b>10190</b>
	INSURER B: <b>Auto Owners Insurance Co</b>	<b>18988</b>
	INSURER C:	
	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b>	20609861	12/20/04	12/20/05	EACH OCCURRENCE \$ 1000000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10000
					PERSONAL & ADV INJURY \$ 1000000
					GENERAL AGGREGATE \$ 2000000
					PRODUCTS - COMP/OP AGG \$ 1000000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
B	<b>AUTOMOBILE LIABILITY</b>	96-826-376	12/20/04	12/20/05	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident) \$
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	<b>GARAGE LIABILITY</b>				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	<b>EXCESS/UMBRELLA LIABILITY</b>				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				WC STATU-TORY LIMITS   OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	<b>OTHER</b>				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Air Conditioner Contractor - Florida Employees Only

## CERTIFICATE HOLDER

TOWNS-1

Town of Sewalls Point  
 fax 220-4765  
 1 S Sewalls Point Road  
 Stuart FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Joseph E. Coont*



# CERTIFICATE OF LIABILITY INSURANCE

OP ID J1  
NISAI-1DATE (MM/DD/YYYY)  
12/14/04

<b>PRODUCER</b>  The Plastridge Agency-SO 710 S. E. Ocean Blvd. Stuart FL 34994-2427 Phone: 772-287-5532 Fax: 772-287-5572	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b>  Nisair Air Conditioning Personalized Services Inc. dba 1501 Decker Avenue #D404 Stuart FL 34994-3964	INSURER A: FCCI Insurance Co.	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS												
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$												
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$												
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$												
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$												
<b>A</b>	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below <b>OTHER</b>	44571	01/01/05	01/01/06	<table border="1"> <tr> <td>WC STATU-TORY LIMITS</td> <td>OTH-ER</td> <td></td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td></td> <td>\$ 500000</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td></td> <td>\$ 500000</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td></td> <td>\$ 500000</td> </tr> </table>	WC STATU-TORY LIMITS	OTH-ER		E.L. EACH ACCIDENT		\$ 500000	E.L. DISEASE - EA EMPLOYEE		\$ 500000	E.L. DISEASE - POLICY LIMIT		\$ 500000
WC STATU-TORY LIMITS	OTH-ER																
E.L. EACH ACCIDENT		\$ 500000															
E.L. DISEASE - EA EMPLOYEE		\$ 500000															
E.L. DISEASE - POLICY LIMIT		\$ 500000															

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

<b>CERTIFICATE HOLDER</b>  TOWNSE1  Town of Sewall's Point Dale Brown Building Inspector 1 S Sewall's Point Road Stuart FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Joanne Neetra</i>
--	---

2004-2005 MARTIN COUNTY  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1986-518-989 CERT \_\_\_\_\_

PHONE (772)283-0904 SIC NO 235110

LOCATION:

1501 DECKER AVE MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR	S	<u>.00</u>	LIC. FEE	S	<u>25.00</u>
	S	<u>.00</u>	PENALTY	S	<u>.00</u>
	S	<u>.00</u>	COL. FEE	S	<u>.00</u>
	S	<u>.00</u>	TRANSFER	S	<u>.00</u>
TOTAL					<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OR OCCUPATION

OF A/C CONTR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 DAY OF SEPTEMBER 2004

AND

2005

12 04091403 003120

NISAIR AIR CONDITIONING  
PERSONALIZED SERVICE INC  
CITY LIC  
1501 DECKER AVENUE D-404  
STUART FL 34994

*for Sewalls Point to update my records.*

*(P)*

NO 445650

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SECRET

DATE

BATCH NUMBER

LICENSE NBR

06/11/2004 050718685 - CA061199

The CLASS B AIR CONDITIONING CONTRACTOR  
Named, below, IS CERTIFIED  
Under the provisions of Chapter  
Expiration date: AUG 31, 2006

NISBA PHILIP ANTHONY JR  
NISAIR AIRCONDITIONING  
1501 DECKER AVE  
RD-404  
STUART

PL 34594



GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE LARR  
SECRETARY

MASTER PERMIT NO. 7764

### TOWN OF SEWALL'S POINT

Date 9-13-05

BUILDING PERMIT NO. 7767

Building to be erected for RUCKS Type of Permit SUB-PLUMBING

Applied for by MASTERACE BLDG CONTRACTOR Building Fee \_\_\_\_\_

Subdivision INDIAWIE EAST Lot 7 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 20 N. Sewall's Point Rd Impact Fee \_\_\_\_\_

Type of structure SFR A/C Fee SEE

PRINT OWNER NAME: THOMAS RWINTERCORN Electrical Fee PN 776

Parcel Control Number: St. Lic# : CFC 029690 Plumbing Fee \_\_\_\_\_

353741003000000 Roofing Fee \_\_\_\_\_

Amount Paid ~~\_\_\_\_\_~~ Check # ~~\_\_\_\_\_~~ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Total Construction Cost \$ ~~\_\_\_\_\_~~ TOTAL Fees \_\_\_\_\_

Signed Thomas Wintercorn  
Applicant

Signed Gene Simmons  
Town Building Official

## PERMIT

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> BUILDING            | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT      | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE    | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL        | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SE  
SOUTP-1

DATE (MM/DD/YYYY)  
03/18/05

<b>PRODUCER</b>  Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
<b>INSURED</b>  South Park Plumbing, Inc. of Martin County P. O. Box 768 Port Salerno FL 34992	INSURER A: Assurance Company of America	19305
	INSURER B: Bridgefield Insurance Co	
	INSURER C:	
	INSURER D:	
	INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	SCP32908593	03/20/05	03/20/06	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMP/OP AGG	\$ 2,000,000
						GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
		AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
B		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	830-22064	08/17/04	08/17/05	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 500,000
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 500,000
		OTHER				E.L. DISEASE - POLICY LIMIT	\$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Plumbing / State of Florida

## CERTIFICATE HOLDER

TOWNS-1

Town of Sewalls Point  
220-4765  
1 S Sewalls Point Road  
Stuart FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Chris Holcomb*

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID SE  
SOUTP-1

DATE (MM/DD/YYYY)  
08/16/05

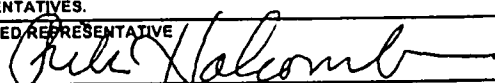
<b>PRODUCER</b>  Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
<b>INSURED</b>  South Park Plumbing, Inc. of Martin County P. O. Box 768 Port Salerno FL 34992	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:80%;">INSURERS AFFORDING COVERAGE</th> <th style="width:20%;">NAIC #</th> </tr> <tr> <td>INSURER A: Assurance Company of America</td> <td>19305</td> </tr> <tr> <td>INSURER B: Old Dominion Insurance Company</td> <td>40231</td> </tr> <tr> <td>INSURER C: Bridgefield Employers Ins. Co.</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: Assurance Company of America	19305	INSURER B: Old Dominion Insurance Company	40231	INSURER C: Bridgefield Employers Ins. Co.		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
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INSURER C: Bridgefield Employers Ins. Co.													
INSURER D:													
INSURER E:													

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADD'L	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		<b>GENERAL LIABILITY</b>	SCP32908593	03/20/05	07/06/05	EACH OCCURRENCE
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)
B		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	MPG71944	07/06/05	07/06/06	MED EXP (Any one person)
						PERSONAL & ADV INJURY
		GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE
		<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG
		<b>AUTOMOBILE LIABILITY</b>				COMBINED SINGLE LIMIT (Ea accident)
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)
		<input type="checkbox"/> HIRED AUTOS				
		<input type="checkbox"/> NON-OWNED AUTOS				
		<b>GARAGE LIABILITY</b>				AUTO ONLY - EA ACCIDENT
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC
						AUTO ONLY: AGG
		<b>EXCESS/UMBRELLA LIABILITY</b>				EACH OCCURRENCE
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE
		<input type="checkbox"/> DEDUCTIBLE				
		RETENTION \$				
C		<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	830-22064	08/17/05	08/17/06	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER
						E.L. EACH ACCIDENT
						E.L. DISEASE - EA EMPLOYEE
		OTHER				E.L. DISEASE - POLICY LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS  
 Plumbing / State of Florida

<b>CERTIFICATE HOLDER</b>  TOWNS-1  Town of Sewalls Point 220-4765 1 S Sewalls Point Road Stuart FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
--	--

AC# 1972011

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L0504070385

DATE BATCH NUMBER LICENSE NBR

04/07/2005 030730450 QB0014990

The BUSINESS ORGANIZATION

Named below IS QUALIFIED

Under the provisions of Chapter 489 FS.

Expiration date: AUG 31, 2005

(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS  
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)

SOUTH PARK PLUMBING INC OF MARTIN COUNTY  
4505 SE DIXIE HIGHWAY  
STUART FL 34997

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

AC# 1968390

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD SEQ# L0504070023

DATE BATCH NUMBER LICENSE NBR

04/07/2005 040818085 CFC1426656

The PLUMBING CONTRACTOR

Named below IS CERTIFIED

Under the provisions of Chapter 489 FS.

Expiration date: AUG 31, 2006

WINTERCORN, JASON THOMAS  
SOUTH PARK PLUMBING INC OF MARTIN COUNTY  
4505 S DIXIE HWY  
STUART FL 34997

JEB BUSH

DIANE CARR

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CFC1426656 04/07/05 040818085

CERTIFIED PLUMBING CONTRACTOR  
WINTERCORN, JASON THOMAS  
SOUTH PARK PLUMBING INC OF MARTIN

IS CERTIFIED under the provisions of Ch.489 FS.  
Expiration date: AUG 31, 2006 L05040700237

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

AC# 1972011

QB0014990 04/07/05 030730450

QUALIFIED BUSINESS ORGANIZATION  
SOUTH PARK PLUMBING INC OF MARTIN

(NOT A LICENSE TO PERFORM WORK.  
ALLOWS COMPANY TO DO BUSINESS IF  
IT HAS A LICENSED QUALIFIER.)

IS QUALIFIED under the provisions of Ch.489 FS.  
Expiration date: AUG 31, 2005 L05040703858



2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1973-524-045 CERT CFC051458  
PHONE (561)287-2548 SIC NO 235110  
LOCATION: 4505 SE DIXIE HWY MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>25.00</u>	

WINTERCORN, THOMAS R  
SOUTH PARK PLUMBING  
PO BOX 768  
PT SALERNO FL 34992

IS HOLDER MEMBER TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF **PLUMBING**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 DAY OF AUGUST 05  
AND ENDING SEPTEMBER 30, 2006 12 05081901 004609

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 9/14/05

BUILDING PERMIT NO. 7768

Building to be erected for RUCKS Type of Permit Sub-Roofing

Applied for by MASTERPIECE/CIRCLE L ROOFING (Contractor) Building Fee \_\_\_\_\_

Subdivision INDIAN CREEK EAST Lot 7 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 20 N. SEWALL'S POINT ROAD Impact Fee 800

Type of structure SFR A/C Fee PN 7764

PRINT QUAL. NAME: Circle Roofing Inc.

Parcel Control Number: SP Lic #: MR057305 Electrical Fee \_\_\_\_\_

3537410030000007040000 Plumbing Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees (\_\_\_\_) \_\_\_\_\_

Total Construction Cost \$ \_\_\_\_\_ Roofing Fee \_\_\_\_\_

Signed \_\_\_\_\_ TOTAL Fees \_\_\_\_\_

Applicant

Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input checked="" type="checkbox"/> ROOFING  | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
11/02/04

**PRODUCER**  
HRH of Southwest Florida  
6771 Professional Parkway West  
Suite 101  
Sarasota, FL 34240

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED**  
Circle L Roofing, Inc.  
6320 Venture Dr. #205  
Bradenton, FL 34202

INSURER A: Illinois National Insurance  
INSURER B: National Union Fire Ins Co  
INSURER C:  
INSURER D:  
INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> \$50,000 SIR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	GL8253109	11/01/04	11/01/05	EACH OCCURRENCE	\$950,000
					FIRE DAMAGE (Any one fire)	\$100,000
					MED EXP (Any one person)	\$5,000
					PERSONAL & ADV INJURY	\$950,000
					GENERAL AGGREGATE	\$1,950,000
					PRODUCTS - COMP/OP AGG	\$1,950,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	AL8261876	11/01/04	11/01/05	COMBINED SINGLE LIMIT (Ea accident)	\$1,000,000
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
B	EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10000	76203	11/01/04	11/01/05	EACH OCCURRENCE	\$5,000,000
					AGGREGATE	\$5,000,000
						\$
						\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC7165990	11/01/04	11/01/05	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
					E.L. EACH ACCIDENT	\$500,000
					E.L. DISEASE - EA EMPLOYEE	\$500,000
					E.L. DISEASE - POLICY LIMIT	\$500,000
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS  
30 Days Notice of Cancellation except 10 Days for Non-Payment of Premium  
Fax to 772-220-4765 Attn: Laura  
Fax to 907-7250 Attn: RaeDean

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED; INSURER LETTER:</b>	<b>CANCELLATION</b>
Town of Sewall's Point 1 South Sewall's Point Rd. Sewall's, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
		AUTHORIZED REPRESENTATIVE <i>Lawrence P. Harding</i>



STATE OF FLORIDA  
LEE COUNTY  
OCCUPATIONAL LICENSE

LICENSE YEAR: 2004-2005  
LICENSE NUMBER: 962909

Location  
11040 PLANTATION RD  
FT MYERS FL 33912

CIRCLE L ROOFING INC  
LYNN JESSE JAMES  
6108 33RD ST E  
BRADENTON FL 34203

**EXPIRES: SEPTEMBER 30, 2005**

is hereby licensed at above address to engage in the business,  
profession or occupation of:  
**ROOFING CONTRACTOR**

**THIS IS NOT A BILL - DO NOT PAY**  
PAID 173779-6-1 08/09/2004 02:19  
WEB \$50.00

**THIS LICENSE VALID ONLY WHEN RECEIPTED BY  
TAX COLLECTOR**



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

LYNN, JESSE JAMES  
CIRCLE L ROOFING INC  
7645 TRALEE WAY  
BRADENTON FL 34202

STATE OF FLORIDA AC# 1454065  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CCC57305 06/17/04 030731842

CERTIFIED ROOFING CONTRACTOR  
LYNN, JESSE JAMES  
CIRCLE L ROOFING INC

IS CERTIFIED under the provisions of Ch. 489 FS.  
Expiration date: AUG 31, 2006 L04061700748

DETACH HERE

\*1454065

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04061700748

DATE	BATCH NUMBER	LICENSE NBR
6/17/2004	030731842	CCC57305

The ROOFING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2006

LYNN, JESSE JAMES  
CIRCLE L ROOFING INC  
5402 1ST STREET  
P O BOX 623  
TALLEVAST FL 34270

THIS INSTRUMENT PREPARED BY: CATHY REDNER  
RIVERSIDE NATIONAL BANK OF FLORIDA  
2211 OKEECHOBEE ROAD  
FORT PIERCE, FLORIDA 34950

LC# 97075357765

PERMIT NUMBER:

TAX I.D. NUMBER:

# NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT:

1. DESCRIPTION OF PROPERTY:

LOT 7 OF INDIALUCIE EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE(S) 11, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

#####

INSTR # 1813488  
OR BK 01981 PG 0082  
RECORDED 02/09/2005 02:03:22 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY S Phoenix

2. GENERAL DESCRIPTION OF IMPROVEMENT: SINGLE FAMILY DWELLING AND ATTENDANT SITE IMPROVEMENTS

3. OWNER INFORMATION

a. NAME AND ADDRESS: BRIAN B. RUCKS AND SANDRA L. RUCKS  
3868 SW ST. LUCIE SHORES DRIVE  
PALM CITY, FL 34990

b. OWNER'S INTEREST IN PROPERTY: FEE SIMPLE

4. CONTRACTOR INFORMATION: MASTERPIECE SYSTEMS INC DBA MASTERPIECE BLDGS  
408 COLORADO AVE  
STUART, FL 34994  
(772) 283-2098

5. SURETY (IF ANY): NONE AMOUNT OF BOND:

6. LENDER: RIVERSIDE NATIONAL BANK OF FLORIDA  
2211 OKEECHOBEE ROAD, FORT PIERCE, FLORIDA 34950  
PHONE NO: 772-464-1000

7. NAME OF PERSON WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICE OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a)7, FLORIDA STATUTES (OWNER'S AGENT):

a. NAME AND ADDRESS: NA

8. IN ADDITION THE OWNER, OWNER DESIGNATES THE FOLLOWING PERSON TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(D), FLORIDA STATUTES:

RIVERSIDE NATIONAL BANK OF FLORIDA  
2211 OKEECHOBEE ROAD, FORT PIERCE, FLORIDA 34950  
PHONE NO: 772-464-1000

OWNER:

Brian B. Rucks  
BRIAN B. RUCKS

DATE

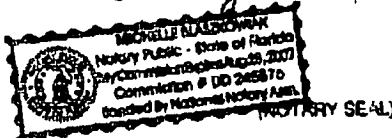
Sandra L. Rucks  
SANDRA L. RUCKS

DATE

SWORN TO AND SUBSCRIBED BEFORE ME THIS

14th DAY OF February, 2005

Michelle Blaszkowiak  
PRINTED NAME: Michelle Blaszkowiak



NOTARY PUBLIC, MY COMMISSION EXPIRES:

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

INSTR # 1813486  
OR BK 01981 PG 0062  
RECORDED 02/09/2005 02:03:22 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
DEED DOC TAX 6,090.00  
RECORDED BY S Phoenix

Prepared by  
Mendi Dunker, an employee of  
First American Title Insurance Company  
729 South Federal Highway, Suite 103  
Stuart, Florida 34994  
(772) 286-0850

Return to: Grantee

File No.: 1071-738613

**CORPORATE WARRANTY DEED**

This indenture made on February 04, 2005 A.D., by

**Renar Waterfront Properties, LLC, a Florida Limited Liability Company**

whose address is: **3350 NW Royal Oak Drive, Jensen Beach, FL 34957**  
hereinafter called the "grantor", to

**Brian B. Rucks and Sandra L. Rucks, husband and wife**

whose address is: **3869 S / Saint Lucie Shores Drive, Palm City, FL 34990**  
hereinafter called the "grantee"

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Martin County, Florida**, to-wit:

**Lot 7 of INDIALUCIE EAST, according to the Plat thereof as recorded in Plat Book 5, Page 11, of the Public Records of Martin County, Florida.**

Parcel Identification Number: **35374100300000070**

**Subject to** all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

**To Have and to Hold**, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2004.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.

Renar Waterfront Properties, LLC, a Florida Limited Liability Company

*Renee M. Doss*  
By: Renee M. Doss, Manager

(Corporate Seal)

Signed, sealed and delivered in our presence:

*Rhonda S. Rowe*  
Witness Signature

Print Name: *Rhonda S. Rowe*

State of Florida

Courty of Martin

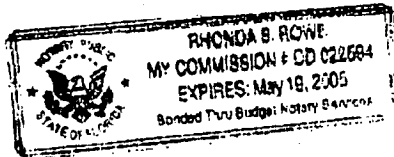
*Rochelle Dwyer*  
Witness Signature

Print Name: *Rochelle Dwyer*

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED before me on February 04, 2005, by Renee M. Doss, as Manager, and, as on behalf of Renar Waterfront Properties, LLC, a Florida Limited Liability Company, existing under the laws of the State of Florida, who is/are personally known to me or who has/have produced a valid drivers license as identification.

*Rhonda S. Rowe*  
NOTARY PUBLIC

*Rhonda S. Rowe*  
Printed Name of Notary  
My Commission Expires: \_\_\_\_\_





## CRITIQUE

Owner: Brain & Sandra Rucks

Date: August 11, 2005

Contractor: Masterpiece Builders

Contractor's Phone Number: 283-2096

Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SINGLE FAMILY RESIDENCE LOCATED AT 20 NORTH SEWALL'S POINT ROAD

#### Submittals (2 copies)

1. Current **Mean High Water Survey (within one year)** containing the following information:
  - a. DEP File number missing
  - b. Certification to the Town of Sewall's Point
  - c. Proposed first living floor elevation
  - d. Survey shows proposed fountain that is indicated on site plan. This fountain must be permitted separately and cannot be put in setback areas as indicated on survey and site plan. Must be removed from survey or taken out of setback area.
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items:
  - a. Single Hung Windows
  - b. Mullions
  - c. Fixed Glass
  - d. Arched Windows
3. Application of Tree Permit shows that you will not reach the required amount of trees per the Town's Habitat Ordinance. You are required to have twelve trees with a minimum caliber of 3 inches and 8 feet tall. Four palm trees only count for 1 tree. Even if you relocate the seven palms you will be short. Indicate on the tree permit that you will be planting additional trees to meet our ordinance.

#### The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Heating/Air Conditioning Plan containing the following information:
  - a. Air Handler locations showing kw rating
  - b. Condensing unit locations
  - c. Duct layout showing sizes of duct and size of diffusers
  - d. CFM per outlet
  - e. Distribution box locations
  - f. Equipment callouts with name of equipment, model numbers and sizes

**Town of Sewall's Point  
Building Department  
772-287-2455 ext 13  
772-220-4765 FAX**

# Fax

**To:** MASTERPIECE      **From:** GENE/LAURA  
**Fax:** 283-2770      **Date:** 8/11/05  
**Phone:**      **Pages:** 2  
**Re:** RUCKS      **CC:**

Urgent       For Review       Please Comment       Please Reply       Please Recycle

HP Fax K1220


Log for  
Town of Sewall's Point  
(772)220-4765  
Aug 11 2005 9:42am

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**Last Transaction**

<u>Date</u>	<u>Time</u>	<u>Type</u>	<u>Identification</u>	<u>Duration</u>	<u>Pages</u>	<u>Result</u>
Aug 11	9:40am	Fax Sent	2832770	1:30	2	OK

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 *Rudd Jones, P.E. & Associates, P.A.*

August 4, 2005

Mr. Gene Simmons, Building Official  
Town of Sewall's Point Building Department  
1 South Sewall's Point Road  
Sewall's Point, FL 34996

**RE: Ruck's Residence; Lot 7, Indialucie East  
Plat Book 5, Page 11, Martin County**

Dear Mr. Simmons:

Jeff Bowers of masterpiece Builders, Inc. has requested that I provide a stormwater plan and calculations to support their application for a building permit on the referenced lot. The following information and calculations and attached drawings were prepared to demonstrate compliance with Section 52-24 of the referenced stormwater ordinance:

According to the site plan shown on a survey prepared by Bloomster PLS, Inc., the proposed construction will result in construction of about 8,227 SF of impervious surface, including roofs, patios and driveways

Per the requirements of the referenced ordinance, it will be required to provide a retention volume on the lot as determined by the following formula:

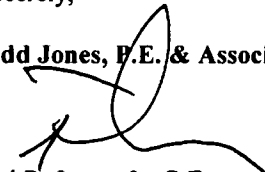
$$\begin{aligned} \text{Ret. Volume (CY)} &= (0.21 \times \text{impervious area}) / 27 \text{ or;} \\ \text{Ret. Volume (CY)} &= (0.21 \times 8,227 \text{ SF}) / 27 = 64 \text{ CY or } 1,728 \text{ cubic-feet.} \end{aligned}$$

We propose to provide this volume in 2 separate retention areas as shown on the attached grading plan. The grading plan also shows general site grading designed to insure that the proposed work does not negatively impact adjacent lots.

It is our professional opinion that implementation of the proposed grading plan will meet the requirements of the Town's Stormwater Ordinance. Should you have any questions, or need any additional information, please call.

Sincerely,

**Rudd Jones, P.E. & Associates, P.A.**

  
Fred R. Jones, Jr., P.E.  
President

**FRED R. JONES JR., P.E.**

Cc: Jeff Bowers

**AUG 04 2005**

**NO. 42614**

2081 SE Ocean Boulevard • Suite 2B • Stuart, FL 34996 • Phone 772-221-8600 • Fax 772-221-9441



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
MARTIN COUNTY HEALTH DEPARTMENT  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
CONSTRUCTION PERMIT

*Owner's copy*

CENTRAX #: 43-SS-07468  
OSTDSNBR: 05-0454-N

CONSTRUCTION PERMIT FOR:

[ X ] New System [ ] Existing System [ ] Holding Tank [ ] Innovative Other  
[ ] Repair [ ] Abandonment [ ] Temporary [ ] \_\_\_\_\_

APPLICANT: MASTERPIECE BUILDERS LOT 7 AGENT: 96-1315, MASTERPIECE

PROPERTY STREET ADDRESS: N SEWALLS POINT Rd STUART FL 34994

LOT: 7 BLOCK: \_\_\_\_\_ SUBDIVISION: INDIA LUCIE EAST

[Section/Township/Range/Parcel No.]

PROPERTY ID #: 35-37-41-00300000704 [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(        EXISTING TANK)

T [ 1200 ] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [ Y ]  
A [ 0 ] Gallons MULTI-CHAMBERED/IN SERIES: [ ]  
N [ 0 ] GALLONS GREASE INTERCEPTOR CAPACITY  
K [ 0 ] GALLONS DOSING TANK CAPACITY [ 0 ] GALLONS @ [ 0 ] DOSES PER 24 HRS # PUMPS [ 0 ]

D [ 625 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *Trench only*  
R [ 0 ] SQUARE FEET SYSTEM

A TYPE SYSTEM: [ N ] STANDARD [ N ] FILLED [ Y ] MOUND [ N ] \_\_\_\_\_  
I CONFIGURATION: [ Y ] TRENCH [ N ] BED [ N ] \_\_\_\_\_

F LOCATION TO BENCHMARK: Nail In Sidewalk 4.77 NGVD  
I ELEVATION OF PROPOSED SYSTEM SITE [ 9.0 ] [ INCHES ] [ BELOW ] BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 5.0 ] [ INCHES ] [ BELOW ] BENCHMARK/REFERENCE POINT

L FILL REQUIRED: [ 22.0 ] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [ 30.0 ] INCHES  
OTHER REMARKS:

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C. See installer's diagram attached. System installation must meet all requirements of Chapter 64E-6 FAC. Fill Required noted above must be of slightly limited quality in the installation area with a minimum 4' shoulder beyond the drainfield sidewall (any unsuitable pad fill in the shoulder & under the drainfield must be removed & replaced with suitable soil). The drainfield must be at least 13 feet from property lines. A minimum of 6" & a maximum of 18" of moderately/slightly limited soil allowed over drainfield. Potable water lines within 10' of system must be sleeved, sealed & cannot be within 2' of the system. The drainfield must be properly graded & sodded prior to final approval. All attached general & special conditions must be completed prior to Final Inspection & Approval.

SPECIFICATIONS BY: MCCOY, DOUG *07-0840 Jy* TITLE: EH Specialist II

APPROVED BY: Washam, Bob TITLE: Env. Manager Martin CHD

DATE ISSUED: 7/18/2005 EXPIRATION DATE: 1/18/2007

\*\* NOTE: See attached Applicant's notice of permitting rights. \*\*

## NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, Bin #A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waive of your right to an administrative hearing, and this order shall become a "Final Order".

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.



Martin County Health Department

SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS- 7468

- If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of 22 inches (above original grade 4.0), please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.
For single-family homes, if the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
Septic system must be installed in unobstructed area as shown on the approved site plan. Alteration of the information or conditions of this permit found to be in non-compliance will be sufficient cause for revocation of this permit. If any information on a permit changes, an amended application and \$50 review fee must be submitted to our office immediately.
Future ponds or surface water created onsite must be greater than 75' from septic system.
The mound area must be sodded prior to a request for final grade inspection.
Non-potable irrigation lines must be separated from the drainfield by two feet unless an approved backflow prevention device is properly installed.
\$70.00 re-inspection fee is required if the well is not installed at time of initial septic system inspection and a \$75.00 re-inspection fee is required if violations are found during the septic system inspection.
If an inspector does not witness the work conducted during a septic abandonment, the contractor must submit a statement that the work was completed.
If a professional engineer designs the septic system, the engineer must certify that the installed system complies with the design and installation requirements.
For commercial operations, occupational approval will not be given until all requirements for an onsite public water system, food operation or institutional establishment are met.

ADDITIONAL CONDITIONS LIST Special conditions marked "X" are in effect

- X 1. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
2. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$ Annual Permit Fee (For Indust./Manuf. Aerobic System Commercial System Performance-Based).

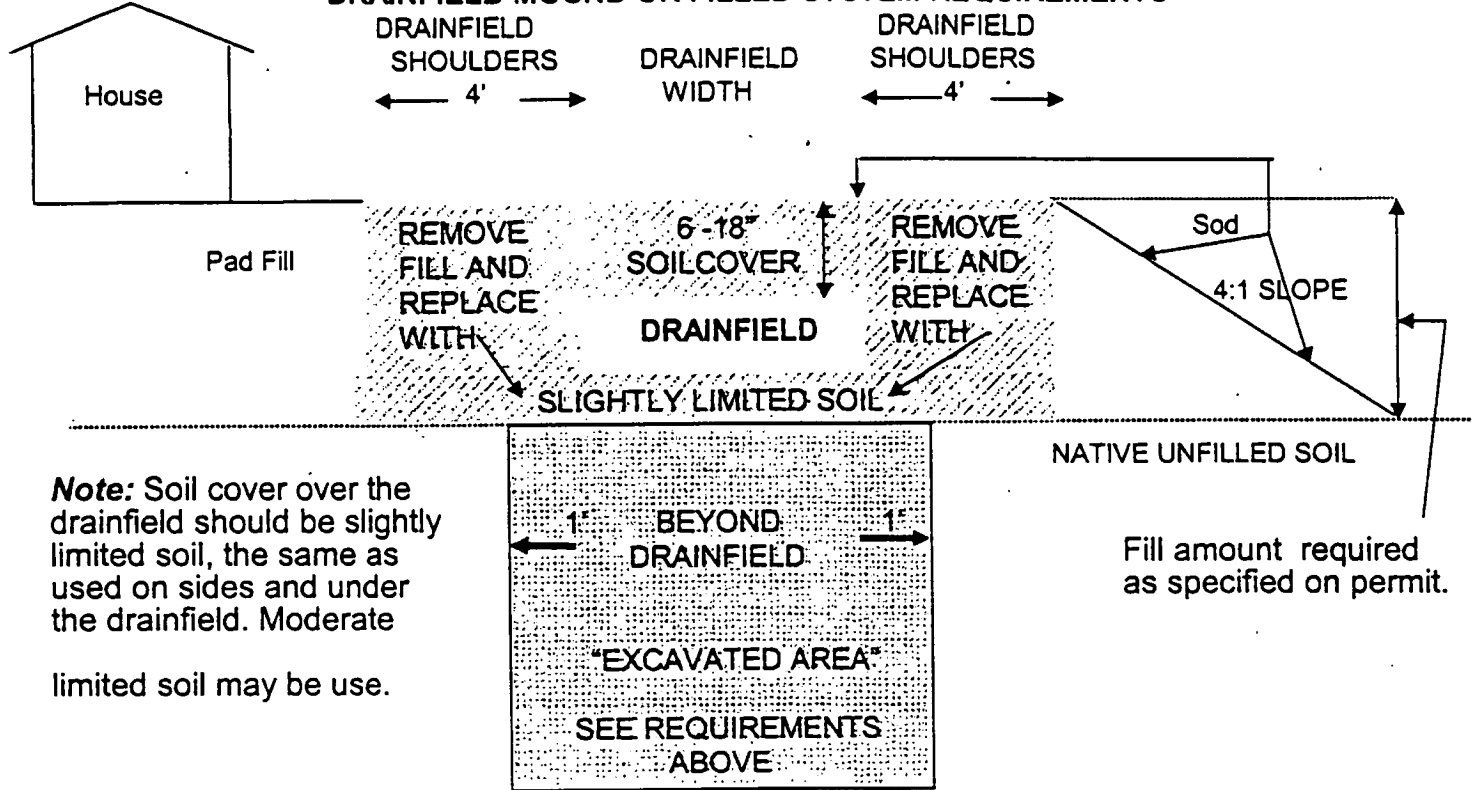
Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)

- 2 1. Excavate one foot beyond drainfield area to a depth of 30 inches below natural/ existing grade elevation of 4.0 feet N.G.V.D. / Assumed. In addition to item #1, 33% of unsuitable soils at depths greater than inches below #1 elevation above must be removed to a depth of slightly limited soils.
2. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
2 3. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

Completed By [Signature] Date 7/18/05

See Reverse Side for Mound or Filled Drainfield Requirements

**DRAINFIELD MOUND OR FILLED SYSTEM REQUIREMENTS**



**Note:** Soil cover over the drainfield should be slightly limited soil, the same as used on sides and under the drainfield. Moderate limited soil may be use.





*ticket # 11556824*

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

4-28-05  
CENTRAX #: 43-SS-07468  
OSTDSNBR : 05-0454-N

APPLICANT: MASTERPIECE BUILDERS LOT 7

AGENT: 96-1315 MASTERPIECE, MASTERPIECE BUILDERS

LOT: 7 BLOCK: \_\_\_\_\_ SUBDIVISION: INDIA LUCIE EAST ID#: 35-37-41-00300000704

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: [  ] YES [  ] NO NET USABLE AREA AVAILABLE: .62 ACRES  
 TOTAL ESTIMATED SEWAGE FLOW: 500 GALLONS PER DAY [64E-6, TABLE 1]  
 AUTHORIZED SEWAGE FLOW: 1550 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]  
 UNOBSTRUCTED AREA AVAILABLE: 1590 SQFT UNOBSTRUCTED AREA REQUIRED: 1200 SQFT

BENCHMARK/REFERENCE POINT LOCATION: 1496  
 ELEVATION OF PROPOSED SYSTEM SITE IS 9 [ INCHES ] [ 4.77 ] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:  
 SURFACE WATER: 145 FT DITCHES/SWALES: 22 FT NORMALLY WET? [  ] YES [  ] NO  
 WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: 212 FT NON-POTABLE: N/A FT  
 BUILDING FOUNDATIONS: 12 FT PROPERTY LINES: 6 FT POTABLE WATER LINES: 75 FT

SITE SUBJECT TO FREQUENT FLOODING: [  ] YES [  ] NO 10 YEAR FLOODING? [  ] YES [  ] NO  
 10 YEAR FLOOD ELEVATION FOR SITE: N/A FT NGVD SITE ELEVATION: 40 FT NGVD

SOIL PROFILE INFORMATION SITE 1		
Munsell #/Color	Texture	Depth
<u>5/2 GRN</u>	<u>LFS/FSU</u>	<u>0 to 30</u>
<u>6/1 GR</u>	<u>SAND</u>	<u>30 to 72</u>
_____	_____	to
_____	_____	to
_____	_____	to
_____	_____	to
_____	_____	to
_____	_____	to
USDA SOIL SERIES:	<u>76 ARENIT</u>	

SOIL PROFILE INFORMATION SITE 2		
Munsell #/Color	Texture	Depth
<u>5/2 GRN</u>	<u>LFS/FSU</u>	<u>0 to 28</u>
<u>6/1 GR</u>	<u>SAND</u>	<u>28 to 72</u>
_____	_____	to
_____	_____	to
_____	_____	to
_____	_____	to
_____	_____	to
_____	_____	to
USDA SOIL SERIES:	<u>76 ARENIT</u>	

OBSERVED WATER TABLE: 48 3/4 INCHES [  ] BELOW [  ] EXISTING GRADE TYPE: [  ] APPARENT [  ]  
 ESTIMATED WET SEASON WATER TABLE ELEVATION: 36 20 INCHES [  ] BELOW [  ] EXISTING GRADE.  
 HIGH WATER TABLE VEGETATION: [  ] YES [  ] NO MOTTLING: [  ] YES [  ] NO DEPTH: 212 INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 0.8/0.85 FS DEPTH OF EXCAVATION: 70 INCHES  
 DRAINFIELD CONFIGURATION: [  ] TRENCH [  ] BED [  ] OTHER (SPECIFY) \_\_\_\_\_  
 REMARKS/ADDITIONAL CRITERIA: \_\_\_\_\_

SITE EVALUATED BY: [Signature] DATE: 5/2/05



STATE OF FLORIDA  
 DEPARTMENT OF HEALTH  
 ONSITE SEWAGE DISPOSAL SYSTEM  
 APPLICATION FOR CONSTRUCTION PERMIT  
 Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # 43.55.07468  
 DATE PAID 4-25-05  
 FEE PAID \$ 330.00  
 RECEIPT # 06/25/33/060343  
05-045-N

APPLICATION FOR:

New System [ ] Existing System [ ] Holding Tank [ ] Temporary/Experimental  
 [ ] Repair [ ] Abandonment [ ] Other (Specify) \_\_\_\_\_

APPLICANT: Masterpiece Builders

TELEPHONE: 283-2096

AGENT: \_\_\_\_\_

MAILING ADDRESS: 408 Colorado Ave. Stuart, FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION (IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED)

LOT: 7 BLOCK: — SUBDIVISION: INDIALUCIE EAST DATE OF SUBDIVISION: 2-1-72

PROPERTY ID #: 35-37-41-003-000-0000-4 [Section/Township/Range/Parcel No.] ZONING: \_\_\_\_\_

PROPERTY SIZE: 0.62 ACRES [Sqft/43560] PROPERTY WATER SUPPLY: [ ] PRIVATE  PUBLIC

PROPERTY STREET ADDRESS: Is sewer available as per 381.0065 FS. Yes (No)  
NORTH SEWALLS POINT ROAD Swalls Pt, 34996

DIRECTIONS TO PROPERTY: EAST Ocean Blvd - EAST TO NORTH  
Sewalls Point Road - NORTH ABOUT 1/4 mile on RIGHT  
South of 22 N. Sewalls Point Rd, North of Drainage Area 106, directly across from 16  
Fieldway Dr.

BUILDING INFORMATION  RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	SINGLE FAMILY	4	3416		
2					
3					
4					

[ ] Garbage Grinders/Disposals [ ] Spas/Hot Tubs [ ] Floor/Equipment Drains  
 [ ] Ultra-low Volume Flush Toilets [ ] Other (Specify) \_\_\_\_\_

APPLICANT'S SIGNATURE: Jennifer Pratts

DATE: 4/19/05

APPLICANT'S NAME: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 7, INDIALUCIE EAST, PLAT BOOK 5,  
PAGE 11, MARTIN COUNTY, FLORIDA**PROPOSED SEPTIC SYSTEM SITE INFORMATION**

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

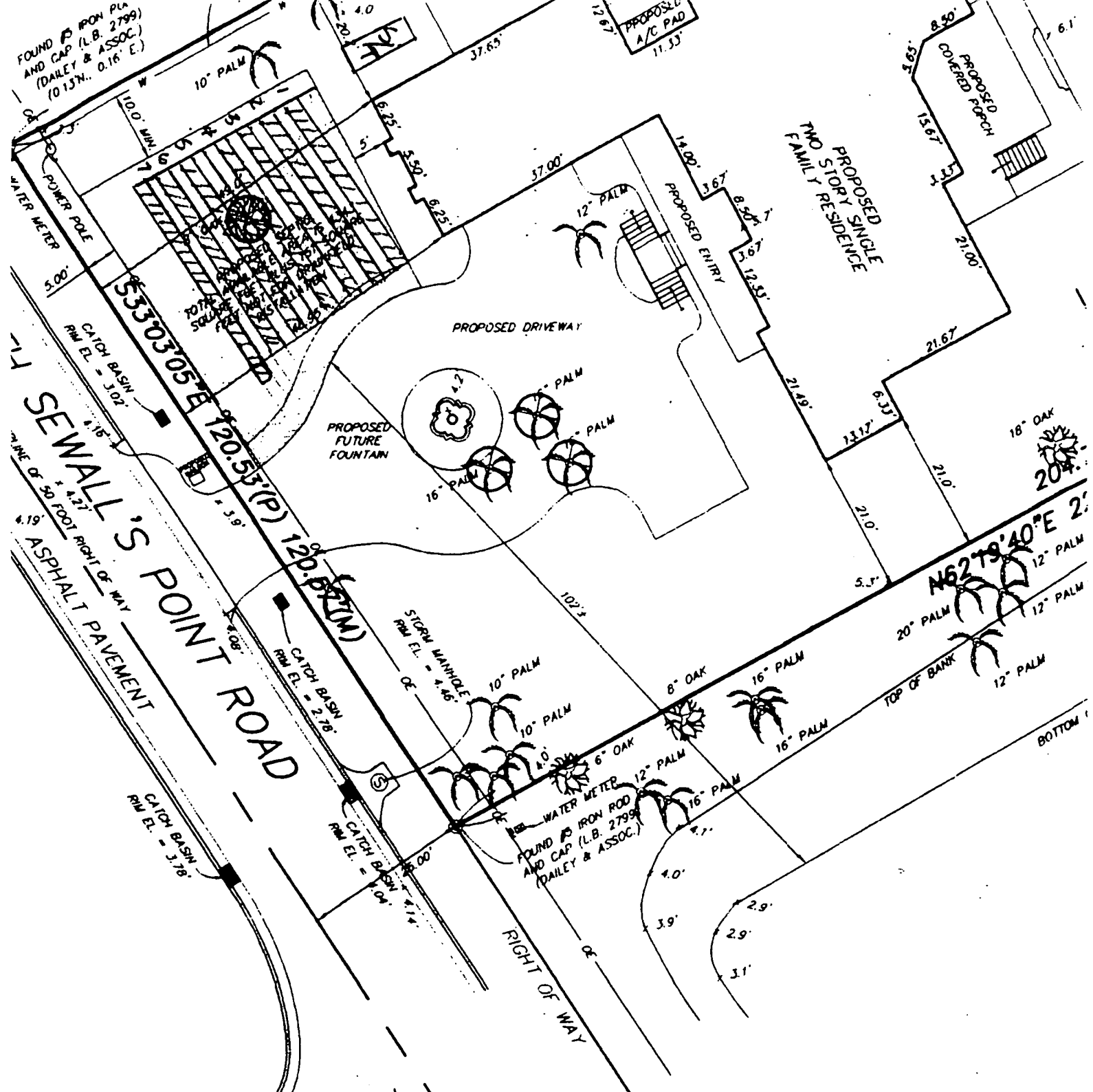
I also certify that all items above that are not shown on the site plan are not present. The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA  
REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: *Carl Bluff*  
FLORIDA PROFESSIONAL NO.: 4134  
DATE: 4/11/05 JOB NO.: 8278

FOUND IRON ROD AND CAP (L.B. 2799) (DAILEY & ASSOC.) (1013N., 0.16' E.)

PROPOSED A/C PAD  
11.33'



SEWALL'S POINT ROAD  
ASPHALT PAVEMENT  
CATCH BASIN RIM EL. - 3.02  
CATCH BASIN RIM EL. - 2.78  
CATCH BASIN RIM EL. - 1.14  
CATCH BASIN RIM EL. - 1.04  
CATCH BASIN RIM EL. - 3.78  
STORM MANHOLE RIM EL. - 2.46

TERMINES	SOFT
1	84
2	84
3	84
4	84
5	96
6	96
7	108

636  
H



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**Monier Lifetile, LLC  
135 NW 20<sup>th</sup> Street  
Boca Raton, FL 33431**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: Flat Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Concrete Roof Tile**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 7.

The submitted documentation was reviewed by Frank Zuloaga, RRC



**NOA No.: 02-1205.06  
Expiration Date: 12/16/07  
Approval Date: 01/02/03  
Page 1 of 7**

## ROOFING ASSEMBLY APPROVAL

**Category:** Roofing  
**Sub-Category:** Flat Profile Roofing Tiles  
**Material:** Concrete

### 1. SCOPE

This renews a system using Monier Lifetile Flat Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Concrete Roof Tile, as manufactured Monier Lifetile LLC and described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code does not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

### 2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Monier Lifetile LLC Flat Shake and Slate Tile	l = 16½" w = 13" 1" thick	PA 112	Flat, interlocking, high pressure extruded concrete shake and slate roof tile equipped with two nail holes. For direct deck or battened nail-on, mortar or adhesive set applications.
Monier Lifetile LLC Sierra Shake™ Tile & Super Shake™ Tile	l = 17" w = 12 3/8" 1" thick	PA 112	Flat, interlocking, high pressure extruded, concrete shake roof tile, with a textured top face, equipped with two nail holes. For direct deck or battened nail-on, mortar or adhesive set applications.
Monier Lifetile LLC Colonial Slate & Shingle Blend Tile	l = 17" w = 12 3/8" 1" thick	PA 112	Flat, interlocking, high pressure extruded, concrete roof tile equipped with two nail holes. For direct deck or battened nail-on, mortar or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	PA 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

#### 2.1 SUBMITTED EVIDENCE:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Redland Technologies	7161-03 Appendix III	Static Uplift Testing PA 102 & PA 102(A)	Dec. 1991
The Center for Applied Engineering, Inc.	94-084	Static Uplift Testing PA 101 (Mortar Set)	May 1994
The Center for Applied Engineering, Inc.	94-060A	Static Uplift Testing PA 101 (Adhesive Set)	March, 1994



NOA No.: 02-1205.06  
 Expiration Date: 12/16/07  
 Approval Date: 01/02/03  
 Page 2 of 7

The Center for Applied Engineering, Inc.	25-7094-2	Static Uplift Testing PA 102 (4" Headlap, Nails, Direct Deck, New Construction)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7094-8	Static Uplift Testing PA 102 (4" Headlap, Nails, Battens)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7094-5	Static Uplift Testing PA 102 (4" Headlap, Nails, Direct Deck, Recover/Reroof)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7183-6	Static Uplift Testing PA 102 (2 Quik-Drive Screws, Direct Deck)	Feb. 1995
The Center for Applied Engineering, Inc.	25-7183-5	Static Uplift Testing PA 102 (2 Quik-Drive Screws, Battens)	Feb. 1995
The Center for Applied Engineering, Inc.	25-7214-1	Static Uplift Testing PA 102 (1 Quik-Drive Screw, Direct Deck)	March, 1995
The Center for Applied Engineering, Inc.	25-7214-5	Static Uplift Testing PA 102 (1 Quik-Drive Screw, Battens)	March, 1995
Redland Technologies	7161-03 Appendix II	Wind Tunnel Testing PA 108 (Nail-On)	Dec. 1991
Redland Technologies	Letter Dated Aug. 1, 1994	Wind Tunnel Testing PA 108 (Nail-On)	Aug. 1994
Redland Technologies	P0631-01	Wind Tunnel Testing PA 108 (Mortar Set)	July 1994
Redland Technologies	P0402	Withdrawal Resistance Testing of screw vs. smooth shank nails	Sept. 1993
The Center for Applied Engineering, Inc.	Project No. 307025 Test #MDC-77	Wind Driven Rain PA 100	Oct. 1994
Atlanta Testing & Engineering, Inc.	R1.894 R2.894 R3.894	Physical Properties PA 112	Aug. 1994
Professional Service Industries, Inc.	224-47099	Physical Properties PA 112	Sept. 1994
Celotex Corporation Testing Service	520109-1 520111-4	Static Uplift Testing PA 101	Dec. 1998
Celotex Corporation Testing Service	520191-1	Static Uplift Testing PA 101	March 1999
Walker Engineering, Inc.	Calculations	Aerodynamic Multiplier	March 1999
Walker Engineering, Inc.	Evaluation Calculations	25-7094	February 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7496	April 1996



Walker Engineering, Inc.	Evaluation Calculations	25-7584 25-7804b-8 25-7804-4 & 5 25-7848-6	December 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7183	March 1995
Walker Engineering, Inc.	Evaluation Calculations	Aerodynamic Multipliers	April 1999
Walker Engineering, Inc.	Calculations	Two Patty Adhesive Set System	April 1999

### 3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

### 4. INSTALLATION

- 4.1 Monier Lifetile Flat Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Concrete Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, RAS 119, and RAS 120.
- 4.2 Data For Attachment Calculations

Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Monier Lifetile Shake & Slate, Tile	10.8	1.38	1.08
Monier Lifetile Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	11.1	1.42	1.03

Tile Profile	$\lambda$ (ft <sup>3</sup> )	
	Batten Application	Direct Deck Application
Monier Lifetile Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	0.267	0.289





Tile Profile	3":12"		4":12"		5":12"		6":12"		7":12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Monier Lifetile Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	6.57	7.52	6.47	7.43	6.33	7.27	6.17	7.09	6.00	6.90

Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Monier Lifetile Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	51.7	51.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails <sup>1</sup>	50.3	65.5	48.3

<sup>1</sup> Installation with a 4" tile headlap and fasteners are located a min. of 2½" from head of tile.

Tile Profile	Tile Application	Minimum Attachment Resistance
Monier Lifetile Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	Adhesive	31.3 <sup>3</sup>

<sup>2</sup> See manufactures component approval for installation requirements.  
<sup>3</sup> Flexible Products Company TileBond Average weight per patty 13.9 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.



Table 5A: Attachment Resistance Expressed as a Moment - $M_r$ (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Monier Lifetile Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	PolyPro™	118.9 <sup>4</sup>
	PolyPro™	40.4 <sup>5</sup>
4 Large paddy placement of 45 grams of PolyPro™.		
5 Medium paddy placement of 24 grams of PolyPro™.		

Table 5B: Attachment Resistance Expressed as a Moment - $M_r$ (ft-lbf) for Mortar or Adhesive Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Monier Lifetile Shake & Slate, Sierra Shake™ & Super Shake™, and Colonial Slate & Shingle Blend Tile	Mortar Set <sup>6</sup>	43.9
6 Tile-Tite Roof Tile Mortar.		

**5. LABELING**

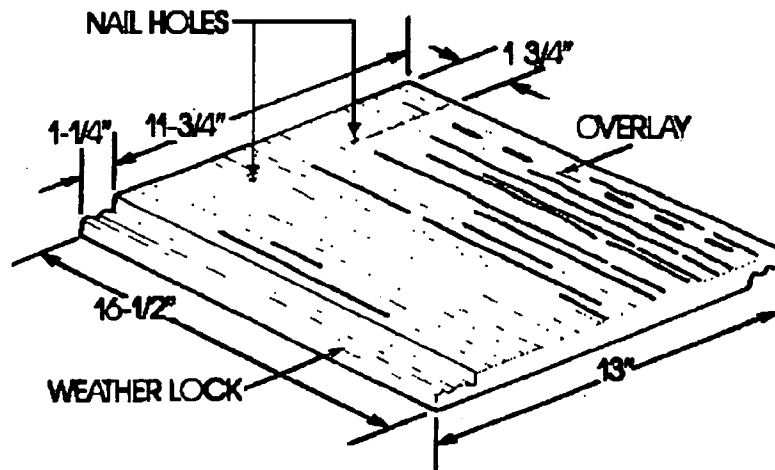
All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

**6. BUILDING PERMIT REQUIREMENTS**

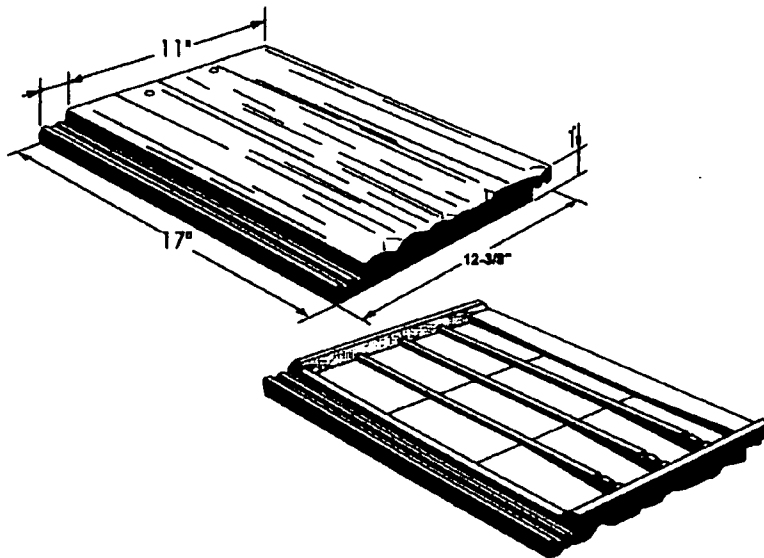
6.1 Application for building permit shall be accompanied by copies of the following:

- 6.1.1 This Notice of Acceptance.
- 6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

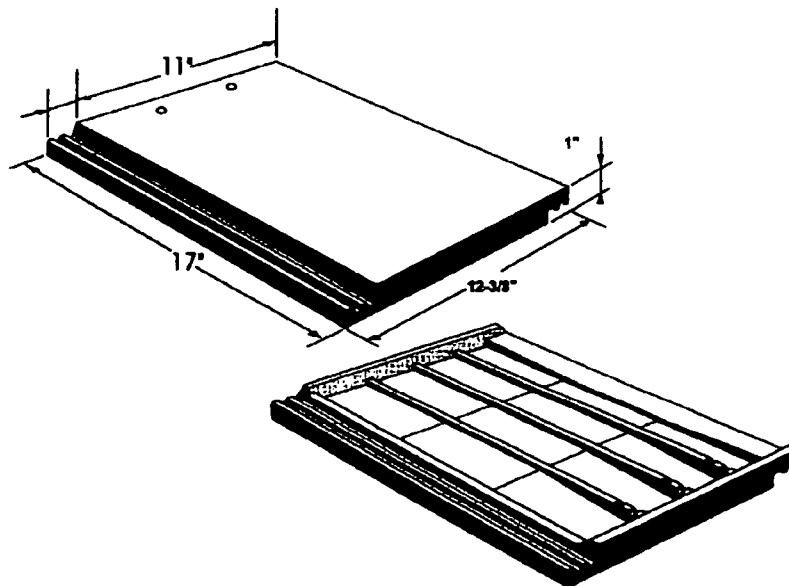
**PROFILE DRAWINGS**



**MONIER LIFETILE SHAKE & SLATE CONCRETE ROOF TILE**



**MONIER LIFETILE SIERRA SHAKE & SUPER SHAKE CONCRETE ROOF TILE**



**MONIER LIFETILE COLONIAL SLATE & SHINGLE BLEND CONCRETE ROOF TILE**

**END OF THIS ACCEPTANCE**



**NOA No.: 02-1205.06**  
**Expiration Date: 12/16/07**  
**Approval Date: 01/02/03**  
**Page 7 of 7**



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

## **NOTICE OF ACCEPTANCE (NOA)**

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**Therma-Tru Corporation  
1687 Woodlands Drive  
Maumee, Ohio 43537**

### **SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: "Classic Craft" 8'0 Outswing Opaque Fiberglass Door w & w/o Sidelites**

**APPROVAL DOCUMENT:** Drawing No. S-2162, titled "Classic Craft Opaque" Single & Double Outswing 8'0 Fiberglass Door, sheets 1 through 7, prepared by RW Building Consultants, Inc., dated 11/10/01, with revision #2 dated 5/27/02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: None**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as approval document mentioned above

The submitted documentation was reviewed by **Manuel Perez, P.E.**



**NOA No 02-0109.05  
Expiration Date: September 19, 2007  
Approval Date: September 19, 2002  
Page 1**



**BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries  
0170 Technology Drive  
Nokomis, FL 34275**

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION: Series "FD-101" Outswing Aluminum French Door**

**APPROVAL DOCUMENT:** Drawing No. 944, titled "Aluminum French Door", sheets 1 through 5, prepared by manufacturer, dated 9/5/97 with revision "G" dated 04/23/04, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING: None**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 02-0625.01 and, consists of this page 1 and evidence page E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Herminio F. Gonzalez, P.E., Director, BCCO**



**NOA No 04-0203.01  
Expiration Date: July 22, 2007  
Approval Date: December 23, 2004  
Page 1**

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. **944**, titled "Aluminum French Door", sheets 1 through 5, prepared by manufacturer, dated 9/5/97 with revision "G" dated 04/23/04, signed and sealed by Robert L. Clark, P.E.

**B. TESTS**

1. Test report on 1) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94 along with marked-up drawings and installation diagram of aluminum out swinging French door, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-3652**, dated December 5, 2002 signed and sealed by Gilbert Diamond, P.E.
2. Test report on 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94.
  - 4) Forced Entry Test, per FBC 2411 3.2.1 (b) and TAS 202-94along with marked-up drawings and installation diagram of an aluminum out swinging French door, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-2333**, dated June 07, 1999, signed and sealed by Gilbert Diamond, P.E.  
*"Submitted under NOA # 02-0625.01"*
3. Additional test report on (submitted for hardware revision qualification)
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 3) Large Missile Impact Test per FBC, TAS 201-94
  - 4) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 5) Water Resistance Test, per FBC, TAS 202-94.
  - 6) Forced Entry Test, per FBC 2411 3.2.1 (b) and TAS 202-94along with marked-up drawings and installation diagram of an aluminum out swinging French door, prepared by Fenestration Testing Laboratory, Inc., Test Report No. **FTL-2612**, dated September 29, 2000, signed and sealed by Aldo P. Gonzales, P.E.  
*"Submitted under NOA # 02-0625.01"*

**C. CALCULATIONS**

1. Anchor Calculations, ASTM-E1300, and structural analysis, prepared, signed and sealed by Robert L. Clark, P.E. dated 11/4/03.
2. Anchor Calculations dated 6/8/1999 and revised on 06/30/1999, prepared, signed and sealed by Robert L. Clark, P.E.  
*"Submitted under NOA # 02-0625.01"*



for **Herminio F. Gonzalez, P.E.**  
**Director, Building Code Compliance Office**  
**NOA No 04-0203.01**  
**Expiration Date: July 22, 2007**  
**Approval Date: December 23, 2004**

PGT Industries

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO).

**E. MATERIAL CERTIFICATIONS**

1. None

**F. STATEMENTS**

1. Revision request letter dated November 5, 2003, issued by PGT Industries, signed by Robert L. Clark, P.E.  
*"Submitted NOA # 02-0625.01"*
2. Statement letter of conformance and "No financial interest", dated June 07, 1999, signed by Robert L. Clark, P.E.  
*"Submitted NOA # 02-0625.01"*
3. Letter of compliance, dated June 07, 1999, prepared by Fenestration Testing Laboratory, Inc., signed and sealed by Gilbert Diamond, P.E.  
*"Submitted NOA # 02-0625.01"*
4. Letter of compliance, dated September 28, 2000, prepared by Fenestration Testing Laboratory, Inc., signed and sealed by Aldo P. Gonzales, P.E.  
*"Submitted NOA # 02-0625.01"*
5. Meeting Summary dated January 26, 1999, issued by BCCO.  
*"Submitted NOA # 02-0625.01"*
6. Revision request letter dated April 13, 2001, issued by PGT Industries, signed by Robert L. Clark, P.E.  
*"Submitted NOA # 02-0625.01"*

**G. OTHER**

1. Letter from the consultant stating that the product is in compliance with the Florida Building Code (FBC).
2. Notice of Acceptance No. 02-0625.01, P.G.T. Industries, "Series "FD-101" Outswing Aluminum French Door", approved on August 22, 2002 and expiring on July 22, 2007.

for



Herminio F. Gonzalez, P.E.  
Director, Building Code Compliance Office  
NOA No 04-0203.01

Expiration Date: July 22, 2007  
Approval Date: December 23, 2004



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Overhead Door Corporation  
1900 Crown Drive  
Farmers Branch ,TX 75234**

**BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908**

**CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558**

**CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908**

**PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339**

Your application for Notice of Acceptance (NOA) of:  
**Sectional Steel Door 16' Wide.**

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

**ACCEPTANCE NO.: 00-1106.06  
EXPIRES: 12/01/2005**

Raul Rodriguez  
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.  
Director  
Miami-Dade County  
Building Code Compliance Office

**APPROVED: 03/22/2001**



Overhead Door Corporation.

ACCEPTANCE NO: 00-1106.06

APPROVED: MAR 22 2001

EXPIRES: 12/01/2005

**NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS**

**1. SCOPE**

- 1.1 This renews the Notice of Acceptance No. 97-0821.01 that was issued on 12/01/97. It approves a Sectional Steel Door 16 ft wide x 7 ft to 8 ft. as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County (SFBC). For the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the design pressure rating values indicated in the approved drawings.

**2. PRODUCT DESCRIPTION**

- 2.1 The Overhead Sectional Steel 16 ft. Door and its components shall be constructed in strict compliance with the following documents: Drawing No. D-408804, titled "Series 180 Residential Steel Door 46.7 psf. Dade County, 16'-0" max width" prepared by Overhead Door Corp., dated 06/22/94 & 07/20/94 with latest revision on 10/29/97, Sheet 1 to 2 of 2, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by Miami-Dade Product Control Division. These documents shall hereinafter be referred to as the approved drawings

**3. LIMITATIONS**

- 3.1 Units with dimensions equal to or smaller than those shown on the approved drawings shall qualify under this approval.
- 3.2 This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County Approved Laboratory selected and paid by the manufacturer. Every 3 months, 4 times a year the manufacturer shall mail to this office a copy of the Test Reports with confirmation that the specimens were selected from coils at the manufacturer's production facilities and a notarized statement from the manufacturer that only coils with a yield strength of 40,000 PSI or more shall be used to make door panels for Dade County under this Notice of Acceptance.

**4. INSTALLATION**

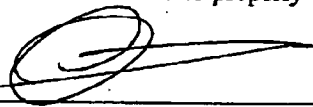
- 4.1 The Sectional Door and its components shall be constructed in strict compliance with the approved drawings.
- 4.2 The installation of this door does not require a Hurricane Protection System

**5. LABELING**

- 5.1 Each door shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved

**6. BUILDING PERMIT**

- 6.1 Building Permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance including duplicate copies of the approved drawings as identified in Section 2 of this Notice of Acceptance.
- 6.1.2 Any other document required by the Building Official or the SFBC in order to properly evaluate the installation of this system.

  
Candido Font, PE, Sr. Product Control Examiner  
Product Control Division

**Overhead Door Corporation.**

**ACCEPTANCE NO: 00-1106.06**

**APPROVED: MAR 22 2001**

**EXPIRES: 12/01/2005**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**  
**(For File ONLY. Not part of NOA)**

**A DRAWINGS**

1. Drawing prepared by Overhead Door Corporation titled "Series 180 Residential Steel Door, 46.7 psf. Dade County, 16'-0" max width", Drawing No. D-408804, dated 06/22/94 & 07/22/94 with latest revision on 10/29/97 Sheets 1 to 2 of 2 signed and sealed by L. G. Krupke PE.

**B TEST**

1. Test Report on Large Missile Impact Test and Cyclic Wind Pressure, "Residential Sectional Garage Door" prepared by Hurricane Engineering & Testing Inc. Report No. HETI 94-337 dated 08/02/94, signed and sealed by H. M. Medina, PE.
2. Test Report on Uniform Static Air Pressure Test, "Residential Sectional Garage Door" prepared by Hurricane Engineering & Testing Inc., report No. HETI 94-225, dated 08/02/94, signed and sealed by H. M. Medina PE.
3. Revision to Test HETI 94-225, dated 09/01/94, Test No. 6066B, signed by A.A. Sakhnovsky

**C CALCULATIONS**


1. Calculations for jamb fasteners, prepared by on Overhead Door on 09/06/94, Sheets 1 & 2 signed and sealed by S. Boucher, PE.

**D MATERIAL CERTIFICATION**

- 1 Tensile Test Report No. 00-T023 prepared by Hurricane Engineering & Testing, Inc. dated 05/25/00, signed and sealed by HM Medina, PE.

**E STATEMENTS**

- 1 Letter of Yield Strenght Compliance by Overhead Door Corporation, dated 06/05/2000 signed by L. Krupke PE, and notarized by J.L. Seymour on 06/09/2000.
- 2 Letter of no change prepared by Overhead Door Corporation, dated 02/13/2001, signed and sealed by L.R. Krupke, PE.

  
Candido Font, PE, Sr. Product Control Examiner  
Product Control Division

E1

**Overhead Door Corporation.**


**ACCEPTANCE NO.: 00-1106.06**

**APPROVED: MAR 22 2001**

**EXPIRES: 12/01/2005**

**NOTICE OF ACCEPTANCE STANDARD CONDITIONS**

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process.
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

  
Candido Font, PE, Sr. Product Control Examiner  
Product Control Division

**END OF THIS ACCEPTANCE**

## NOTICE OF ACCEPTANCE (NOA)

Eastern Metal Supply, Inc.  
4268 Westroads Drive  
Riviera Beach, Florida 33407

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

### DESCRIPTION: 0.050" Solid Bertha Aluminum Storm Panels Shutter

**APPROVAL DOCUMENT:** Drawing No. 03-141, titled "0.050" Solid Bertha Aluminum Storm Panel", sheets 1 through 15 of 15, prepared by Tilteco, Inc., dated July 02, 2003, last revision #1 dated July 02, 2003, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

### MISSILE IMPACT RATING: Large and Small Missile Impact

**LABELING:** Each panel shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises & renews NOA # 01-0516.06 & consists of this page 1 & approval document mentioned above. The submitted documentation was reviewed by Helmy A. Makar, P.E.



*Helmy A. Makar*  
08/21/03

NOA No 03-0707.02  
Expiration Date: 08/07/2008  
Approval Date: 08/21/2003  
Page 1

FORM 600A-2001

EnergyGauge® 3.4

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

<b>Project Name:</b> INDIALUCIE EAST - MB-IE-7 <b>Address:</b> LOT - 7 <b>City, State:</b> SEWALL'S POINT, FL <b>Owner:</b> RUCKS <b>Climate Zone:</b> South	<b>Builder:</b> MASTERPIECE BLDRS. <b>Permitting Office:</b> SEWALL'S POINT <b>Permit Number:</b> <b>Jurisdiction Number:</b> 531300
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<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">1. New construction or existing</td> <td style="width: 20%; text-align: center;">New</td> <td style="width: 30%; text-align: right;">___</td> </tr> <tr> <td>2. Single family or multi-family</td> <td style="text-align: center;">Single family</td> <td style="text-align: right;">___</td> </tr> <tr> <td>3. Number of units, if multi-family</td> <td style="text-align: center;">1</td> <td style="text-align: right;">___</td> </tr> <tr> <td>4. Number of Bedrooms</td> <td style="text-align: center;">4</td> <td style="text-align: right;">___</td> </tr> <tr> <td>5. Is this a worst case?</td> <td style="text-align: center;">Yes</td> <td style="text-align: right;">___</td> </tr> <tr> <td>6. Conditioned floor area (ft²)</td> <td style="text-align: center;">5416 ft²</td> <td style="text-align: right;">___</td> </tr> <tr> <td>7. 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Clear glass, default U-factor	0.0 ft²    0.0 ft²	___	b. Default tint, default U-factor	911.7 ft²    0.0 ft²	___	c. Labeled U-factor or SHGC	0.0 ft²    0.0 ft²	___	8. Floor types		___	a. Raised Concrete	R=11.0, 2216.7 ft²	___	b. Raised Wood, Post or Pier	R=11.0, 98.3 ft²	___	c. Others	64.8 ft²	___	9. Wall types		___	a. Frame, Wood, Adjacent	R=11.0, 313.4 ft²	___	b. Frame, Wood, Exterior	R=19.0, 991.4 ft²	___	c. Concrete, Int Insul, Exterior	R=4.1, 1925.3 ft²	___	d. N/A		___	e. N/A		___	10. Ceiling types		___	a. Under Attic	R=30.0, 3064.4 ft²	___	b. N/A		___	c. N/A		___	11. Ducts		___	a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 193.0 ft	___	b. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 100.0 ft	___	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">12. Cooling systems</td> <td style="width: 50%;"></td> </tr> <tr> <td>  a. Central Unit</td> <td style="text-align: right;">Cap: 80.0 kBtu/hr SEER: 12.00</td> </tr> <tr> <td>  b. 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Glass/Floor Area: 0.27	Total as-built points: 50269	PASS 97
	Total base points: 51881	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** EARTH SMART 5-575-7733


**DATE:** 4 AUG 05 *[Signature]*

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

FORM 600A-2001

EnergyGauge® 3.4

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: LOT - 7, SEWALL'S POINT, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Omt Len Hgt			Area X SPM X SOF = Points			
.18	3416.0	32.50	19983.6	Single, Tint	NW	1.5	6.5	16.2	39.52	0.94	600.1
				Single, Tint	NW	6.3	4.0	5.4	39.52	0.60	127.4
				Single, Tint	NW	6.3	3.0	12.8	39.52	0.57	286.0
				Single, Tint	NW	6.3	8.0	57.2	39.52	0.70	1576.9
				Single, Tint	NW	9.7	2.5	13.1	39.52	0.55	282.2
				Single, Tint	NW	9.7	10.5	27.2	39.52	0.67	723.5
				Single, Tint	NW	1.5	4.5	10.8	39.52	0.68	375.0
				Single, Tint	SW	1.5	7.0	28.1	60.87	0.93	1595.5
				Single, Tint	SW	1.5	8.0	39.0	60.87	0.95	2254.5
				Single, Tint	SW	19.7	5.0	32.4	60.87	0.39	761.8
				Single, Tint	SW	19.7	16.0	31.5	60.87	0.50	972.9
				Single, Tint	SE	1.5	7.0	28.1	66.34	0.93	1740.1
				Single, Tint	SE	1.5	8.0	58.0	66.34	0.95	3659.2
				Single, Tint	SE	9.0	8.0	12.0	66.34	0.48	364.9
				Single, Tint	SE	15.2	7.5	60.4	66.34	0.41	2193.1
				Single, Tint	SE	16.2	18.0	63.6	66.34	0.54	2256.7
				Single, Tint	S	19.0	5.0	23.2	55.34	0.43	549.5
				Single, Tint	S	19.0	16.5	28.0	55.34	0.50	772.2
				Single, Tint	SE	19.7	6.0	69.6	66.34	0.39	1782.7
				Single, Tint	SE	1.5	17.5	84.0	56.34	1.00	5567.0
				Single, Tint	SE	1.5	6.0	23.2	66.34	0.90	1332.8
				Single, Tint	SE	1.5	17.5	28.0	66.34	1.00	1855.7
				Single, Tint	E	1.5	6.0	16.2	55.40	0.92	972.1
				Single, Tint	E	1.5	17.5	19.5	65.40	0.99	1268.4
				Single, Tint	NE	1.5	6.0	23.2	45.70	0.92	977.5
				Single, Tint	NE	1.5	17.5	28.0	45.70	1.00	1274.7
				Single, Tint	NE	1.5	15.5	12.9	45.70	1.00	587.0
				Single, Tint	NE	1.5	2.0	3.0	45.70	0.66	90.6
				Single, Tint	NE	1.5	6.0	23.2	45.70	0.92	977.5
				Single, Tint	NE	4.5	8.0	13.6	45.70	0.74	457.5
				As-Built Total:			911.7	38938.6			
WALL TYPES				Type	R-Value	Area X SPM = Points					
Adjacent	313.4	1.00	313.4	Frame, Wood, Adjacent	11.0	313.4	1.00	313.4			
Exterior	2516.7	2.70	7275.1	Frame, Wood, Exterior	19.0	991.4	1.60	1586.2			
				Concrete, Int Insul, Exterior	4.1	1925.3	2.32	4457.1			
Base Total:	3230.1		8188.5	As-Built Total:		3230.1		6356.7			

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: LOT - 7, SEWALL'S POINT, FL,

PERMIT #:

BASE				AS-BUILT									
<b>DOOR TYPES</b>	Area X BSPM = Points			Type	Area X SPM = Points								
Adjacent	43.2	2.60	112.3	Adjacent Wood	43.2	3.80	164.2						
Exterior	86.8	6.40	555.5	Exterior Wood	86.8	9.40	813.9						
<b>Base Total:</b>	<b>130.0</b>		<b>667.8</b>	<b>As-Built Total:</b>	<b>130.0</b>		<b>980.1</b>						
<b>CEILING TYPES</b>	Area X BSPM = Points			Type	R-Value	Area X SPM X SCM = Points							
Under Attic	2581.1	2.80	7171.1	Under Attic	30.0	3064.4	2.77 X 1.00	8486.4					
<b>Base Total:</b>	<b>2581.1</b>		<b>7171.1</b>	<b>As-Built Total:</b>		<b>3064.4</b>		<b>8486.4</b>					
<b>FLOOR TYPES</b>	Area X BSPM = Points			Type	R-Value	Area X SPM = Points							
Slab	0.0(p)	0.0	0.0	Raised Concrete	11.0	2216.7	-0.50	-1108.3					
Raised	2379.8	-2.16	-5140.4	Raised Wood, Adjacent	11.0	64.8	1.00	64.8					
				Raised Wood, Post or Pier	11.0	98.3	2.08	204.6					
<b>Base Total:</b>			<b>-5140.4</b>	<b>As-Built Total:</b>		<b>2379.8</b>		<b>-839.0</b>					
<b>INFILTRATION</b>	Area X BSPM = Points					Area X SPM = Points							
	3416.0	18.79	64186.6			3416.0	18.79	64186.6					
<b>Summer Base Points:</b>	<b>95057.3</b>			<b>Summer As-Built Points:</b>		<b>117511.4</b>							
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Cooling Points
						(DM x DSM x AHU)							
<b>95057.3</b>		<b>0.4266</b>	<b>40581.4</b>	<b>117511.4</b>	<b>1.000</b>	<b>(1.073 x 1.165 x 1.00)</b>	<b>0.284</b>	<b>1.000</b>	<b>1.000</b>	<b>1.000</b>	<b>1.000</b>	<b>42874.5</b>	
				<b>117511.4</b>	<b>1.00</b>	<b>1.284</b>	<b>0.284</b>	<b>1.000</b>	<b>1.000</b>	<b>1.000</b>	<b>42874.5</b>		

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: LOT - 7, SEWALL'S POINT, FL,	PERMIT #:
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BASE				AS-BUILT								
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang			Area X WPM X WOF = Points				
					Ornt	Len	Hgt					
.18	3416.0	2.38	1451.1	Single, Tint	NW	1.5	6.5	16.2	6.09	0.99	98.0	
				Single, Tint	NW	6.3	4.0	5.4	6.09	0.96	31.6	
				Single, Tint	NW	6.3	3.0	12.8	6.06	0.96	74.5	
				Single, Tint	NW	6.3	8.0	57.2	6.09	0.98	339.7	
				Single, Tint	NW	9.7	2.5	13.1	6.09	0.95	75.9	
				Single, Tint	NW	9.7	10.5	27.2	6.09	0.97	161.0	
				Single, Tint	NW	1.5	4.5	10.8	6.09	0.98	65.1	
				Single, Tint	SW	1.5	7.0	28.1	5.26	1.01	148.7	
				Single, Tint	SW	1.5	8.0	39.0	5.26	1.00	208.0	
				Single, Tint	SW	19.7	5.0	32.4	5.26	1.19	203.0	
				Single, Tint	SW	19.7	18.0	31.8	6.26	1.12	187.6	
				Single, Tint	SE	1.5	7.0	28.1	4.57	1.03	132.8	
				Single, Tint	SE	1.5	8.0	58.0	4.57	1.03	272.8	
				Single, Tint	SE	9.0	8.0	12.0	4.57	1.31	71.9	
				Single, Tint	SE	15.2	7.5	80.4	4.57	1.53	563.0	
				Single, Tint	SE	15.2	18.0	63.6	4.57	1.22	353.0	
				Single, Tint	S	19.0	5.0	23.2	4.79	1.44	160.5	
				Single, Tint	S	19.0	16.5	28.0	4.79	1.37	183.4	
				Single, Tint	SE	19.7	6.0	69.6	4.57	1.65	523.7	
				Single, Tint	SE	1.5	17.5	84.0	4.57	1.01	386.4	
				Single, Tint	SE	1.5	6.0	23.2	4.57	1.04	110.4	
				Single, Tint	SE	1.5	17.5	28.0	4.57	1.01	129.5	
				Single, Tint	E	1.5	6.0	16.2	5.05	1.02	83.6	
				Single, Tint	E	1.5	17.5	19.5	5.06	1.01	98.2	
				Single, Tint	NE	1.5	6.0	23.2	5.96	1.00	137.9	
				Single, Tint	NE	1.5	17.5	28.0	5.96	1.00	166.7	
				Single, Tint	NE	1.5	15.5	12.9	5.96	1.00	76.8	
				Single, Tint	NE	1.5	2.0	3.0	5.96	0.99	17.7	
				Single, Tint	NE	1.5	6.0	23.2	5.96	1.00	137.9	
				Single, Tint	NE	4.5	8.0	13.6	5.96	0.99	80.8	
				As-Built Total:							911.7	5280.5
WALL TYPES Area X BWPM = Points				Type R-Value Area X WPM = Points								
Adjacent	313.4	0.50	156.7	Frame, Wood, Adjacent	11.0	313.4	0.50			156.7		
Exterior	2916.7	0.60	1750.0	Frame, Wood, Exterior	19.0	991.4	0.30			297.4		
				Concrete, Int Insul, Exterior	4.1	1925.3	1.03			1992.7		
Base Total:	3230.1		1906.7	As-Built Total:							3230.1	2446.8



FORM 600A-2001

EnergyGauge® 3.4

**WINTER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: LOT - 7, SEWALL'S POINT, FL,

PERMIT #:

BASE				AS-BUILT					
<b>DOOR TYPES</b>	Area X BWPM = Points			Type	Area X WPM = Points				
Adjacent	43.2	1.30	56.2	Adjacent Wood	43.2	1.80	82.1		
Exterior	86.8	1.80	156.2	Exterior Wood	86.8	2.80	243.0		
<b>Base Total:</b>	<b>130.0</b>		<b>212.4</b>	<b>As-Built Total:</b>	<b>130.0</b>		<b>326.1</b>		
<b>CEILING TYPES</b>	Area X BWPM = Points			Type	R-Value	Area X WPM X WCM = Points			
Under Attic	2561.1	0.10	256.1	Under Attic	30.0	3064.4	0.10 X 1.00 306.4		
<b>Base Total:</b>	<b>2561.1</b>		<b>256.1</b>	<b>As-Built Total:</b>		<b>3064.4</b>	<b>306.4</b>		
<b>FLOOR TYPES</b>	Area X BWPM = Points			Type	R-Value	Area X WPM = Points			
Slab	0.0(p)	0.0	0.0	Raised Concrete	11.0	2216.7	0.00 0.0		
Raised	2379.8	-0.28	-666.3	Raised Wood, Adjacent	11.0	64.8	0.50 32.4		
				Raised Wood, Post or Pier	11.0	98.3	0.12 11.4		
<b>Base Total:</b>			<b>-666.3</b>	<b>As-Built Total:</b>		<b>2379.8</b>	<b>43.8</b>		
<b>INFILTRATION</b>	Area X BWPM = Points				Area X WPM = Points				
	3416.0	-0.06	-205.0		3416.0	-0.06	-205.0		
<b>Winter Base Points:</b>			<b>2955.0</b>	<b>Winter As-Built Points:</b>			<b>8197.7</b>		
Total Winter Points	X System Multiplier	= Heating Points		Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points
					(DM x DSM x AHU)				
<b>2955.0</b>	<b>0.6274</b>	<b>1854.0</b>		<b>8197.7</b>	<b>1.000</b>	<b>(1.088 x 1.137 x 1.00)</b>	<b>0.390</b>	<b>1.000</b>	<b>4185.7</b>
				<b>8197.7</b>	<b>1.00</b>	<b>1.309</b>	<b>0.390</b>	<b>1.000</b>	<b>4185.7</b>

FORM 600A-2001

EnergyGauge® 3.4

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: LOT - 7, SEWALL'S POINT, FL,

PERMIT #:

BASE				AS-BUILT						
<b>WATER HEATING</b>				Tank	EF	Number of	X Tank	X Multiplier	X Credit	= Total
Number of	X	Multiplier	= Total	Volume		Bedrooms	Ratio		Multiplier	
Bedrooms										
4		2369.00	9476.0	1.3	0.99	4	1.00	802.30	1.00	3209.2
<b>As-Built Total:</b>										<b>3209.2</b>

### CODE COMPLIANCE STATUS

BASE				AS-BUILT										
Cooling	+	Heating	+	Hot Water	=	Total		Cooling	+	Heating	+	Hot Water	=	Total
Points		Points		Points		Points		Points		Points		Points		Points
40551		1854		9476		51881		42875		4186		3209		50269

PASS



FORM 600A-2001

EnergyGauge® 3.4

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: LOT - 7, SEWALL'S POINT, FL,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1 ABC.1.1	Maximum: 3 cfm/sq. ft. window area; .5 cfm/sq. ft. door area.	
Exterior & Adjacent Walls	606.1 ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall, foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1 ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joist members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1 ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1 ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1 ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1 ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE \* = 83.1**

The higher the score, the more efficient the home.

RUCKS, LOT - 7, SEWALL'S POINT, FL.

<p>1. New construction or existing <span style="float: right;">New <input type="checkbox"/></span></p> <p>2. Single family or multi-family <span style="float: right;">Single family <input type="checkbox"/></span></p> <p>3. Number of units, if multi-family <span style="float: right;">1 <input type="checkbox"/></span></p> <p>4. Number of Bedrooms <span style="float: right;">4 <input type="checkbox"/></span></p> <p>5. Is this a worst case? <span style="float: right;">Yes <input type="checkbox"/></span></p> <p>6. Conditioned floor area (ft<sup>2</sup>) <span style="float: right;">3416 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>7. Glass area &amp; type</p> <table border="0" style="width: 100%; margin-left: 20px;"> <tr> <td style="width: 15%;"></td> <td style="width: 15%;">Single Pane</td> <td style="width: 15%;">Double Pane</td> <td style="width: 15%;"></td> </tr> <tr> <td>a. 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Under Attic</td> <td style="width: 15%;">R=30.0, 3064.4 ft<sup>2</sup></td> <td style="width: 15%;"></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> <tr> <td>b. N/A</td> <td></td> <td></td> <td><input type="checkbox"/></td> </tr> <tr> <td>c. N/A</td> <td></td> <td></td> <td><input type="checkbox"/></td> </tr> </table> <p>11. Ducts</p> <table border="0" style="width: 100%; margin-left: 20px;"> <tr> <td style="width: 15%;">a. Sup: Unc. Ret: Unc. AH: Garage</td> <td style="width: 15%;">Sup. R=6.0, 195.0 ft<sup>2</sup></td> <td style="width: 15%;"></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> <tr> <td>b. Sup: Unc. Ret: Unc. AH: Attic</td> <td>Sup. R=6.0, 100.0 ft<sup>2</sup></td> <td></td> <td><input type="checkbox"/></td> </tr> </table>		Single Pane	Double Pane		a. Clear glass, default U-factor	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>	b. Default tint, default U-factor	911.7 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>	c. Labeled U-factor or SHGC	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	<input type="checkbox"/>	a. Raised Concrete	R=11.0, 2216.7 ft <sup>2</sup>		<input type="checkbox"/>	b. Raised Wood, Post or Pier	R=11.0, 98.3 ft <sup>2</sup>		<input type="checkbox"/>	c. 1 Others	64.8 ft <sup>2</sup>		<input type="checkbox"/>	a. Frame, Wood, Adjacent	R=11.0, 313.4 ft <sup>2</sup>		<input type="checkbox"/>	b. Frame, Wood, Exterior	R=19.0, 991.4 ft <sup>2</sup>		<input type="checkbox"/>	c. Concrete, Int Insul, Exterior	R=4.1, 1925.3 ft <sup>2</sup>		<input type="checkbox"/>	d. N/A			<input type="checkbox"/>	e. N/A			<input type="checkbox"/>	a. Under Attic	R=30.0, 3064.4 ft <sup>2</sup>		<input type="checkbox"/>	b. N/A			<input type="checkbox"/>	c. N/A			<input type="checkbox"/>	a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 195.0 ft <sup>2</sup>		<input type="checkbox"/>	b. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 100.0 ft <sup>2</sup>		<input type="checkbox"/>	<p>12. Cooling systems</p> <p>a. Central Unit <span style="float: right;">Cap: 80.0 kBtu/hr <input type="checkbox"/></span></p> <p style="text-align: right;">SEER: 12.00 <input type="checkbox"/></p> <p>b. N/A <input type="checkbox"/></p> <p>c. N/A <input type="checkbox"/></p> <p>13. Heating systems</p> <p>a. Gas Hydronic Space &amp; Water Heat <span style="float: right;">Cap: 51.0 kBtu/hr <input type="checkbox"/></span></p> <p style="text-align: right;">RE: 1.00 <input type="checkbox"/></p> <p>b. N/A <input type="checkbox"/></p> <p>c. N/A <input type="checkbox"/></p> <p>14. Hot water systems</p> <p>a. Natural Gas <span style="float: right;">Cap: 1.3 gallons <input type="checkbox"/></span></p> <p style="text-align: right;">EF: 0.99 <input type="checkbox"/></p> <p>b. N/A <input type="checkbox"/></p> <p>c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 20px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, H<sub>2</sub>-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
	Single Pane	Double Pane																																																																			
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_

City/FL Zip: \_\_\_\_\_



*\*NOTE. The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

EnergyGauge® (Version: FLRCPB v3.4)

\*\*\* MC2 Engineering Software - Program RL5M \*\*\*

Computerized Energy Management

\*\*\*\*\*  
\* < EARTH SMART > \*  
\*\*\*\*\*

501 TOWN HALL AVE.  
JUPITER, FL 33458

Telephone: 561.575.7733  
Contact: THOMAS ABBOTT

Computer Calculated Cooling/Heating Loads  
for

RUCKS

Date of  
Inquiry:  
4 AUG 05

INDIALUCIE E. LT-7  
SEWALL'S POINT, FL, SYSTEM - 1  
Job Number MB-IE-7-1

Date Job  
Calculated:

1\* AIR CONDITIONING \*0

-Total Sensible Gain	36,328 BTUH
-Rating Multiplier	1.00
-Total Adjusted Sensible Load	36,328 BTUH
-Latent Load	4,013 BTUH
-Total Cooling Equipment Sizing Load	38,525 BTUH

1\* HEATING \*0

-Total Heating Load	35,762 BTUH
MANUFACTURER	
CATALOG NUMBER	
CAPACITY	42,000 BTUH

Computerized Energy Management

- LOAD DETAILS -

RUCKS

JUPITER, FL 33458

Job No. MB-IE-7-1

INDIALUCIE E. LT-7  
SEWALL'S POINT, FL

Run date -

Cooling Load

	Load Detail
Glass	24063
Doors	278
Walls	2093
Roof	2118
Floor	0
Infil/Ventil	1173
People/Appli	3300
Duct Gains	3303
<hr/>	
Tot. Sensible	36328
x Rating Mult	36328
Tot. Latent	4013
Tot. Clg. Load	40341
Min Air @390 CFM/T	1311
Preferred Air, CFM	1579

Heating Load

	Load Detail
Glass	25364
Doors	425
Walls	5141
Roof	1590
Floor	0
Infil/Ventil	1540
Duct Losses	1703
<hr/>	
Tot. Sensible	35762
<hr/>	
Htg Air (CFM)	722

\*\*\* MC2 Engineering Software - Program RL5M \*\*\*

Computerized Energy Management

\*\*\*\*\*  
\* < EARTH SMART > \*  
\*\*\*\*\*

901 TOWN HALL AVE.  
JUPITER, FL 33458

Telephone: 561.575.7733  
Contact: THOMAS ABBOTT

Computer Calculated Cooling/Heating Loads  
for

RUCKS

Date of  
Inquiry:  
4 AUG 05

INDIALUCIE E. LT-7  
SEWALL'S POINT, FL, SYSTEM - 2  
Job Number MB-IE-7-2

Date Job  
Calculated:

1\* AIR CONDITIONING \*0

-Total Sensible Gain	15,074 BTUH
-Rating Multiplier	1.00
-Total Adjusted Sensible Load	15,074 BTUH
-Latent Load	2,863 BTUH
-Total Cooling Equipment Sizing Load	17,133 BTUH

1\* HEATING \*0

-Total Heating Load	18,490 BTUH
MANUFACTURER	
CATALOG NUMBER	
CAPACITY	42,000 BTUH

## Computerized Energy Management

- LOAD DETAILS -

RUCKS

JUPITER, FL 33456

Job No. MB-IE-7-2

INDIALUCIE E. LT-7

SEWALL'S POINT, FL

Run date -

## Cooling Load

	Load Detail
Glass	6956
Doors	278
Walls	2579
Roof	2118
Floor	0
Infil/Ventil	1173
People/Appli	600
Duct Gains	1370
Tot. Sensible	<u>15074</u>
x Rating Mult	15074
Tot. Latent	2863
Tot. Clg. Load	17937
Min Air @390 CFM/T	583
Preferred Air, CFM	655

## Heating Load

	Load Detail
Glass	7722
Doors	425
Walls	6333
Roof	1590
Floor	0
Infil/Ventil	1540
Duct Losses	880
Tot. Sensible	<u>18490</u>
Htg Air (CFM)	374



*The Rucks Residence - Z1  
HVAC Load Calculations*

for

Mr. & Mrs. Rucks  
Lot #7, Indialucie East  
Sewall's Point, FI

**Elite Software**

**RHVAC RESIDENTIAL  
HVAC LOADS**

Prepared By:  
Jose  
Nisair Air Conditioning  
3497 SE Lionel Terrace  
Stuart, FI 34997  
772-283-0904  
Friday, August 19, 2005

## Project Report

### General Project Information

Project Filename: C:\Elite\Rhvacw\Projects\RuckZn1.rhv  
 Project Title: The Rucks Residence - Z1  
 Project Date: Tuesday, August 16, 2005  
 Client Name: Mr. & Mrs. Rucks  
 Client Address: Lot #7, Indialucie East  
 Client City: Sewall's Point, Fl  
 Company Name: Nisair Air Conditioning  
 Company Representative: Jose  
 Company Address: 3497 SE Lionel Terrace  
 Company City: Stuart, Fl 34997  
 Company Phone: 772-283-0904

### Design Data

Reference City: West Palm Beach, Florida  
 Daily Temperature Range: Medium  
 Latitude: 26 Degrees  
 Elevation: 15 ft.  
 Altitude Factor: 0.999  
 Elevation Sensible Adj. Factor: 1.000  
 Elevation Total Adj. Factor: 1.000  
 Elevation Heating Adj. Factor: 1.000  
 Elevation Heating Adj. Factor: 1.000

	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel.Hum	Indoor Dry Bulb	Grains Difference
Winter:	45	0	0	72	0
Summer:	91	78	50	75	59

### Check Figures

Total Building Supply CFM: 1,366 (5.0 AC/hr)      CFM Per Square ft.: 0.844  
 Square ft. of Room Area: 1,618      Square ft. Per Ton: 544

### Building Loads

Total Heating Required With Outside Air: 38,582 Btuh      38.582 MBH  
 Total Sensible Gain: 30,044 Btuh      84 %  
 Total Latent Gain: 5,664 Btuh      16 %  
 Total Cooling Required With Outside Air: 35,708 Btuh      2.98 Tons (Based On Sensible + Latent)

### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.

### Miscellaneous Report

System 1 Rucks Res Input Data	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel Humidity	Indoor Dry Bulb	Grains Difference
Winter:	45	0	30	72	-0.42
Summer:	91	78	50	75	59.42

#### Duct Sizing Inputs

	Main Trunk	Runouts
Calculate:	Yes	Yes
Use Schedule:	Yes	Yes
Roughness Factor:	0.00300	0.01000
Pressure Drop:	0.1000 in.wg./100 ft.	0.1000 in.wg./100 ft.
Minimum Velocity:	650 ft./min	450 ft./min
Maximum Velocity:	900 ft./min	750 ft./min
Minimum Height:	0 in.	0 in.
Maximum Height:	0 in.	0 in.

#### Outside Air Data

	Winter	Summer
Infiltration:	0.700 AC/hr	0.400 AC/hr
Volume of Conditioned Space:	X 16360 Cu.ft.	X 16360 Cu.ft.
	11,452 Cu.ft./hr	6,544 Cu.ft./hr
	X 0.0167	X 0.0167
Total Building Infiltration:	191 CFM	109 CFM
Total Building Ventilation:	0 CFM	0 CFM

#### —System 1—

Infiltration & Ventilation Sensible Gain Multiplier:	17.59	= (1.10 X 0.999 X 16.00 Summer Temp. Difference)
Infiltration & Ventilation Latent Gain Multiplier:	40.38	= (0.68 X 0.999 X 59.42 Grains Difference)
Infiltration & Ventilation Sensible Loss Multiplier:	29.68	= (1.10 X 0.999 X 27.00 Winter Temp. Difference)

### Load Preview Report

Scope	Area	Sens Gain	Lat Gain	Net Gain	Sens Loss	Win CFM	Sum CFM	Sys CFM	Duct Size
<b>Building: 2.98 Net Tons, 3.34 Recommended Tons, 485 ft<sup>2</sup>/Ton, 38.58 MBH Heating</b>									
Building	1,618	30,044	5,664	35,708	38,582	501	1,366	1,366	
<b>System 1: 2.98 Net Tons, 3.34 Recommended Tons, 485 ft<sup>2</sup>/Ton, 38.58 MBH Heating</b>									
System 1	1,618	30,044	5,664	35,708	38,582	501	1,366	1,366	16x17
Zone 1	1,618	30,044	5,664	35,708	38,582	501	1,366	1,366	
1-Pantry	30	16	29	45	265	3	1	1	1-4
2-Pdr Rm	77	978	424	1,402	1,567	20	44	44	1-4
3-Liv Rm	460	10,157	727	10,884	11,710	152	462	462	4-6
4-Fam Rm	304	6,738	1,257	7,995	9,806	127	306	306	3-6
5-Kit	247	135	429	564	838	11	6	6	1-4
6-Brk	120	4,907	531	5,438	4,338	56	223	223	2-6
7-Laundry	108	2,281	1,043	3,324	2,864	37	104	104	1-6
8-Din	182	3,436	894	4,330	5,128	67	156	156	2-5
9-Foyer	90	1,396	330	1,726	2,066	27	63	63	1-5

### Total Building Summary Loads

Component Description	Area Quan	Sen Loss	Lat Gain	Sen Gain	Total Gain
10A-m: Glazing-French door, single pane clear glass, metal frame no break, ground reflectance = 0.32, outdoor insect screen with 50% coverage, dark color drapes with loose weave with 25% coverage	184	8,295	0	7,943	7,943
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, outdoor insect screen with 50% coverage, dark color drapes with loose weave with 25% coverage	228	6,650	0	8,576	8,576
10A-m: Glazing-French door, single pane clear glass, metal frame no break, ground reflectance = 0.32, dark color drapes with loose weave with 25% coverage	81.6	3,680	0	3,916	3,916
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, outdoor insect screen with 50% coverage	24	700	0	2,367	2,367
11D: Door-Solid Core	24	253	0	253	253
13A-4ocs: Wall-Block, board insulation only, R-4 board insulation, open core, siding finish	866.4	3,344	0	1,524	1,524
12B-0sw: Wall-Frame, R-11 insulation in 2 x 4 stud cavity, no board insulation, siding finish, wood studs	170	445	0	681	681
16F-30: Roof/Ceiling-Under attic or knee wall, Vented Attic, No Radiant Barrier, White Tile, Slate or Concrete, White Metal or White Membrane, R-30 insulation	1618	1,398	0	827	827
22A-pm: Floor-Slab on grade, No edge insulation, no insulation below floor, any floor cover, passive, heavy dry or light wet soil	181	5,766	0	0	0
<b>Subtotals for structure:</b>		<b>30,531</b>	<b>0</b>	<b>26,087</b>	<b>26,087</b>
People:	0		0	0	0
Equipment:			1,000	0	1,000
Lighting:	0			0	0
Ductwork:		2,385	261	2,039	2,300
Infiltration: Winter CFM: 191, Summer CFM: 109		5,666	4,403	1,918	6,321
Ventilation: Winter CFM: 0, Summer CFM: 0		0	0	0	0
<b>Total Building Load Totals:</b>		<b>38,582</b>	<b>5,664</b>	<b>30,044</b>	<b>35,708</b>

#### Check Figures

Total Building Supply CFM:	1,366 (5.0 AC/hr)	CFM Per Square ft.:	0.844
Square ft. of Room Area:	1,618	Square ft. Per Ton:	544

#### Building Loads

Total Heating Required With Outside Air:	38,582 Btuh	38.582 MBH
Total Sensible Gain:	30,044 Btuh	84 %
Total Latent Gain:	5,664 Btuh	16 %
Total Cooling Required With Outside Air:	35,708 Btuh	2.98 Tons (Based On Sensible + Latent)

#### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.

*The Rucks Residence - Zn2  
HVAC Load Calculations*

for

Mr. & Mrs. Rucks  
Lot #7, Indialucie East  
Sewall's Point, FI

**Elite Software**

**RHVAC RESIDENTIAL  
HVAC LOADS**

Prepared By:  
Jose  
Nisair Air Conditioning  
3497 SE Lionel Terrace  
Stuart, FI 34997  
772-283-0904  
Friday, August 19, 2005

## Project Report

### General Project Information

Project Filename: C:\Elite\Rhvacw\Projects\RuckZn2.rhv  
 Project Title: The Rucks Residence - Zn2  
 Project Date: Tuesday, August 16, 2005  
 Client Name: Mr. & Mrs. Rucks  
 Client Address: Lot #7, Indialucie East  
 Client City: Sewall's Point, Fl  
 Company Name: Nisair Air Conditioning  
 Company Representative: Jose  
 Company Address: 3497 SE Lionel Terrace  
 Company City: Stuart, Fl 34997  
 Company Phone: 772-283-0904

### Design Data

Reference City: West Palm Beach, Florida  
 Daily Temperature Range: Medium  
 Latitude: 26 Degrees  
 Elevation: 15 ft.  
 Altitude Factor: 0.999  
 Elevation Sensible Adj. Factor: 1.000  
 Elevation Total Adj. Factor: 1.000  
 Elevation Heating Adj. Factor: 1.000  
 Elevation Heating Adj. Factor: 1.000

	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel.Hum	Indoor Dry Bulb	Grains Difference
Winter:	45	0	0	72	0
Summer:	91	78	50	75	59

### Check Figures

Total Building Supply CFM:	476 (3.7 AC/hr)	CFM Per Square ft.:	0.611
Square ft. of Room Area:	780	Square ft. Per Ton:	653

### Building Loads

Total Heating Required With Outside Air:	12,441 Btuh	12.441 MBH
Total Sensible Gain:	10,471 Btuh	73 %
Total Latent Gain:	3,864 Btuh	27 %
Total Cooling Required With Outside Air:	14,335 Btuh	1.19 Tons (Based On Sensible + Latent)

### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.

### Miscellaneous Report

System 1 Ruck Residence Input Data	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel Humidity	Indoor Dry Bulb	Grains Difference
Winter:	45	0	30	72	-0.42
Summer:	91	78	50	75	59.42

#### Duct Sizing Inputs

	Main Trunk	Runouts
Calculate:	Yes	Yes
Use Schedule:	Yes	Yes
Roughness Factor:	0.00300	0.01000
Pressure Drop:	0.1000 in.wg./100 ft.	0.1000 in.wg./100 ft.
Minimum Velocity:	650 ft./min	450 ft./min
Maximum Velocity:	900 ft./min	750 ft./min
Minimum Height:	0 in.	0 in.
Maximum Height:	0 in.	0 in.

#### Outside Air Data

	Winter	Summer
Infiltration:	0.700 AC/hr	0.400 AC/hr
Volume of Conditioned Space:	X 7800 Cu.ft.	X 7800 Cu.ft.
	5,460 Cu.ft./hr	3,120 Cu.ft./hr
	X 0.0167	X 0.0167
Total Building Infiltration:	91 CFM	52 CFM
Total Building Ventilation:	0 CFM	0 CFM

—System 1—

Infiltration & Ventilation Sensible Gain Multiplier:	17.59	= (1.10 X 0.999 X 16.00 Summer Temp. Difference)
Infiltration & Ventilation Latent Gain Multiplier:	40.38	= (0.68 X 0.999 X 59.42 Grains Difference)
Infiltration & Ventilation Sensible Loss Multiplier:	29.68	= (1.10 X 0.999 X 27.00 Winter Temp. Difference)



### Load Preview Report

Scope	Area	Sens Gain	Lat Gain	Net Gain	Sens Loss	Win CFM	Sum CFM	Sys CFM	Duct Size
<b>Building: 1.19 Net Tons, 1.29 Recommended Tons, 606 ft<sup>3</sup>/Ton, 12.44 MBH Heating</b>									
Building	780	10,471	3,864	14,335	12,441	162	476	476	
<b>System 1: 1.19 Net Tons, 1.29 Recommended Tons, 606 ft<sup>3</sup>/Ton, 12.44 MBH Heating</b>									
System 1	780	10,471	3,864	14,335	12,441	162	476	476	10x9
Zone 2	780	10,471	3,864	14,335	12,441	162	476	476	
1-Study	182	1,673	670	2,343	3,053	40	76	76	1-5
2-Toilet	42	845	665	1,510	1,327	17	38	38	1-4
3-Mstr Bth	156	85	594	679	574	7	4	4	1-4
4-WIC #2	40	128	229	357	512	7	6	6	1-4
5-WIC #1	60	33	94	127	388	5	2	2	1-4
6-Mstr Ste	300	7,707	1,612	9,319	6,587	86	351	351	3-6

### Total Building Summary Loads

Component Description	Area Quan	Sen Loss	Lat Gain	Sen Gain	Total Gain
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, outdoor insect screen with 50% coverage, dark color drapes with loose weave with 100% coverage	25	730	0	768	768
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, dark color drapes with loose weave with 25% coverage	7.5	219	0	279	279
1B-cm: Glazing-Single pane window, fixed sash, clear, metal frame no break, ground reflectance = 0.32, outdoor insect screen with 50% coverage, dark color drapes with loose weave with 25% coverage	12	366	0	516	516
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, outdoor insect screen with 50% coverage, dark color drapes with loose weave with 25% coverage	90	2,625	0	5,856	5,856
13A-4ocs: Wall-Block, board insulation only, R-4 board insulation, open core, siding finish	485.5	1,875	0	698	698
16F-30: Roof/Ceiling-Under attic or knee wall, Vented Attic, No Radiant Barrier, White Tile, Slate or Concrete, White Metal or White Membrane, R-30 insulation	780	674	0	400	400
22A-pm: Floor-Slab on grade, No edge insulation, no insulation below floor, any floor cover, passive, heavy dry or light wet soil	85	2,708	0	0	0
Subtotals for structure:		9,197	0	8,517	8,517
People:	2		400	460	860
Equipment:			800	0	800
Lighting:	0			0	0
Ductwork:		542	564	579	1,143
Infiltration: Winter CFM: 91, Summer CFM: 52		2,702	2,100	915	3,015
Ventilation: Winter CFM: 0, Summer CFM: 0		0	0	0	0
<b>Total Building Load Totals:</b>		<b>12,441</b>	<b>3,864</b>	<b>10,471</b>	<b>14,335</b>

#### Check Figures

Total Building Supply CFM:	476 (3.7 AC/hr)	CFM Per Square ft.:	0.611
Square ft. of Room Area:	780	Square ft. Per Ton:	653

#### Building Loads

Total Heating Required With Outside Air:	12,441 Btuh	12.441 MBH
Total Sensible Gain:	10,471 Btuh	73 %
Total Latent Gain:	3,864 Btuh	27 %
Total Cooling Required With Outside Air:	14,335 Btuh	1.19 Tons (Based On Sensible + Latent)

#### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.

*The Rucks Residence - Zn 3*  
*HVAC Load Calculations*

for

Mr. & Mrs. Rucks  
Lot #7 Indialucie  
Sewall's Point, Fl

**Elite Software**

**RHVAC RESIDENTIAL  
HVAC LOADS**

Prepared By:  
Jose  
Nisair Air Conditioning  
3497 SE Lionel Terrace  
Stuart, Fl 34997  
772-283-0903  
Friday, August 19, 2005

## Project Report

### General Project Information

Project Filename: C:\Elite\Rhvacw\Projects\RucksZn3.rhv  
Project Title: The Rucks Residence - Zn 3  
Project Date: Thursday, August 18, 2005  
Client Name: Mr. & Mrs. Rucks  
Client Address: Lot #7 Indialucie  
Client City: Sewall's Point, Fl  
Company Name: Nisair Air Conditioning  
Company Representative: Jose  
Company Address: 3497 SE Lionel Terrace  
Company City: Stuart, Fl 34997  
Company Phone: 772-283-0903

### Design Data

Reference City: West Palm Beach, Florida  
Daily Temperature Range: Medium  
Latitude: 26 Degrees  
Elevation: 15 ft.  
Altitude Factor: 0.999  
Elevation Sensible Adj. Factor: 1.000  
Elevation Total Adj. Factor: 1.000  
Elevation Heating Adj. Factor: 1.000  
Elevation Heating Adj. Factor: 1.000

	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel.Hum	Indoor Dry Bulb	Grains Difference
Winter:	45	0	0	72	0
Summer:	91	78	50	75	59

### Check Figures

Total Building Supply CFM: 700 (4.1 AC/hr) CFM Per Square ft.: 0.688  
Square ft. of Room Area: 1,018 Square ft. Per Ton: 615

### Building Loads

Total Heating Required With Outside Air: 14,888 Btuh 14.888 MBH  
Total Sensible Gain: 15,394 Btuh 78 %  
Total Latent Gain: 4,460 Btuh 22 %  
Total Cooling Required With Outside Air: 19,854 Btuh 1.65 Tons (Based On Sensible + Latent)

### Notes

Calculations are based on 8th edition of ACCA Manual J.  
All computed results are estimates as building use and weather may vary.  
Be sure to select a unit that meets both sensible and latent loads.

### Miscellaneous Report

System 1 Input Data	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel Humidity	Indoor Dry Bulb	Grains Difference
Winter:	45	0	30	72	-0.42
Summer:	91	78	50	75	59.42

#### Duct Sizing Inputs

	Main Trunk	Runouts
Calculate:	Yes	Yes
Use Schedule:	Yes	Yes
Roughness Factor:	0.00300	0.01000
Pressure Drop:	0.1000 in.wg./100 ft.	0.1000 in.wg./100 ft.
Minimum Velocity:	650 ft./min	450 ft./min
Maximum Velocity:	900 ft./min	750 ft./min
Minimum Height:	0 in.	0 in.
Maximum Height:	0 in.	0 in.

#### Outside Air Data

	Winter	Summer
Infiltration:	0.700 AC/hr	0.400 AC/hr
Volume of Conditioned Space:	X 10175 Cu.ft.	X 10175 Cu.ft.
	7,123 Cu.ft./hr	4,070 Cu.ft./hr
	X 0.0167	X 0.0167
Total Building Infiltration:	119 CFM	68 CFM
Total Building Ventilation:	0 CFM	0 CFM

—System 1—

Infiltration & Ventilation Sensible Gain Multiplier: 17.59 = (1.10 X 0.999 X 16.00 Summer Temp. Difference)  
 Infiltration & Ventilation Latent Gain Multiplier: 40.38 = (0.68 X 0.999 X 59.42 Grains Difference)  
 Infiltration & Ventilation Sensible Loss Multiplier: 29.68 = (1.10 X 0.999 X 27.00 Winter Temp. Difference)

### Load Preview Report

Scope	Area	Sens Gain	Lat Gain	Net Gain	Sens Loss	Win CFM	Sum CFM	Sys CFM	Duct Size
<b>Building: 1.65 Net Tons, 1.71 Recommended Tons, 595 ft<sup>2</sup>/Ton, 14.89 MBH Heating</b>									
Building	1,018	15,394	4,460	19,854	14,888	193	700	700	
<b>System 1: 1.65 Net Tons, 1.71 Recommended Tons, 595 ft<sup>2</sup>/Ton, 14.89 MBH Heating</b>									
System 1	1,018	15,394	4,460	19,854	14,888	193	700	700	10x12
Zone 3	1,018	15,394	4,460	19,854	14,888	193	700	700	
1-Bdrm #3	182	2,473	776	3,249	2,893	38	112	112	1-6
2-Bth #2	56	144	458	602	241	3	7	7	1-4
3-WIC #3	42	108	58	166	181	2	5	5	1-4
4-Toilet	42	665	431	1,096	634	8	30	30	1-4
5-Loft	252	9,142	1,119	10,261	6,503	85	416	416	3-7
6-Bth #1	42	108	258	366	181	2	5	5	1-4
7-Bdrm #2	182	2,322	924	3,246	2,978	39	106	106	1-6
8-WIC #2	38	190	181	371	424	6	9	9	1-4
9-Storage	182	242	255	497	853	11	11	11	1-4

### Total Building Summary Loads

Component Description	Area Quan	Sen Loss	Lat Gain	Sen Gain	Total Gain
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, outdoor insect screen with 50% coverage, dark color drapes with loose weave with 25% coverage	172	5,013	0	9,192	9,192
1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.32, dark color drapes with loose weave with 25% coverage	3	87	0	322	322
12E-0sw: Wall-Frame, R-19 insulation in 2 x 6 stud cavity, no board insulation, siding finish, wood studs	935	1,716	0	1,204	1,204
16F-30: Roof/Ceiling-Under attic or knee wall, Vented Attic, No Radiant Barrier, White Tile, Slate or Concrete, White Metal or White Membrane, R-30 insulation	1017.5	877	0	522	522
19A-0tp: Floor-Over enclosed unconditioned crawl space, No insulation on exposed walls, sealed or vented space, passive, no floor insulation, tile or vinyl	835.5	2,701	0	1,600	1,600
22A-pm: Floor-Slab on grade, No edge insulation, no insulation below floor, any floor cover, passive, heavy dry or light wet soil	8	255	0	0	0
Subtotals for structure:		10,649	0	12,840	12,840
People:	2		400	460	860
Equipment:			800	0	800
Lighting:	0			0	0
Ductwork:		715	522	901	1,423
Infiltration: Winter CFM: 119, Summer CFM: 68		3,524	2,738	1,193	3,931
Ventilation: Winter CFM: 0, Summer CFM: 0		0	0	0	0
<b>Total Building Load Totals:</b>		<b>14,888</b>	<b>4,460</b>	<b>15,394</b>	<b>19,854</b>

#### Check Figures

Total Building Supply CFM:	700 (4.1 AC/hr)	CFM Per Square ft.:	0.688
Square ft. of Room Area:	1,018	Square ft. Per Ton:	615

#### Building Loads

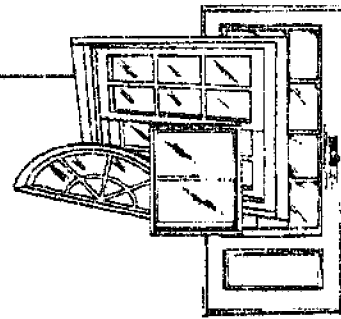
Total Heating Required With Outside Air:	14,888 Btuh	14.888 MBH
Total Sensible Gain:	15,394 Btuh	78 %
Total Latent Gain:	4,460 Btuh	22 %
Total Cooling Required With Outside Air:	19,854 Btuh	1.65 Tons (Based On Sensible + Latent)

#### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.

# CERTIFIED TESTING LABORATORIES

Architectural Division • 7252 Narcoossee Rd. • Orlando, FL 32822  
 (407) 384-7744 • Fax (407) 384-7751  
 Web Site: www.ctlarch.com  
 E-mail: ctlarch.com



**Report Number:** CTLA-830W-2  
**Metro Dade Number:** CTL 02008  
**Report Date:** May 28, 2002  
**Dade Cert. Number:** 99-0105-02

## STRUCTURAL PERFORMANCE TEST REPORT

**Client:** Nuair Aluminum Windows & Doors  
 8105 Anderson Road  
 Tampa, Florida 33634

**Test Specifications:** Metro-Dade Protocol PA 201 Large Missile PA 202 PA 203. (Series 9000 and 975 Fixed Picture Window)

**Re: Proposal File No. 01-0412-Single Hung, Horizontal Rolling, Picture Window and Sliding Glass Doors**

**Specimens:** Specimens # 1,2,2A, 3, 5, and 7. PA202-94. Specimens # 4, 6, and 8. PA201 Large Missile and PA203.

Overall Size:	Specimen #	Description	Dimensions	Design Pressure
	Specimen # 1	Double Configuration Picture Window	(97" x 48")	+ 40 - 40
	Specimen # 2	Double Configuration Picture Window	(122" x 61")	+ 35 - 35
	Specimen #2A	Double Configuration Picture Window	(122" x 61")	+ 80 - 80
	Specimen # 3	Single Picture Window	(61" x 61")	+ 50 - 50
	Specimen # 4	Double Configuration Picture Window	(122" x 60.0")	+ 60 - 60
	Specimen # 5	Double Configuration Picture Window	(147" x 73")	+ 45 - 45
	Specimen # 6	Double Configuration Picture Window	(147" x 73")	+ 60 - 60
	Specimen # 7	Circle Picture Window	(44" x 44")	+ 45 - 45
	Specimen # 8	Arch Top Picture Window	(75" x 73")	+ 60 - 60

**Configuration:**

- Specimen # 1 OO Double Configuration Fin Frame with 1"x 3"x 1/8" Aluminum Mull
- Specimen # 2 OO Double Configuration Flange Frame with 1"x 4"x 1/8" Aluminum Mull.
- Specimen # 2A OO Double Configuration Flange Frame with 1"x 4"x 1/8" Aluminum Mull
- Specimen # 3 O Single Picture Window Flange Frame
- Specimen # 4 OO Double Configuration Fin & Flange Frame with 1"x 4"x 1/8" Aluminum Mull
- Specimen # 5 OO Double Configuration Flange Frame with 2"x 5"x 1/8" Aluminum Mull
- Specimen # 6 OO Double Configuration Flange Frame with 2"x 5"x 1/8" Aluminum Mull
- Specimen # 7 O Circle Picture Window Fin Frame.
- Specimen # 8 O Arch Top Picture Window Flange Frame.

**Size of Panels:**

- Specimen # 1 Both panels measured 48" x 48".
- Specimen # 2&2A Both panels measured 61" x 61".
- Specimen # 3 Single panel measured 61" x 61".
- Specimen # 4 Both panels measured 61" x 61".
- Specimen # 5 Both panels measured 73" x 73".
- Specimen # 6 Both panels measured 73" x 73".
- Specimen # 7 Single panel measured 44" x 44".
- Specimen # 8 Single panel measured 75" x 73".

*Handwritten signature and date:*  
 [Signature]  
 7/8/02



Page: 2 of 11 Nuair Aluminum Windows & Doors  
 Report Number: CTLA-830W-2

**Frame:** The aluminum flange and fin frames were coped and butted corner construction, each corner secured with two (2) # 8 x .750" phillips pan head fasteners.

**Glazing:**

<b>Material:</b>	Specimen # 1.	1/8" Annealed / 1/8" Tempered.
	Specimen # 2.	3/16" Annealed/ 3/16" Tempered
	Specimen # 2A.	3/16" Tempered/ 3/16" Tempered.
	Specimen # 3.	5/16" Laminated. 1/8" Annealed/.090"PVB/1/8" Annealed by Saflex.
	Specimen # 4.	5/16" Laminated 1/8" Annealed/ .090" PVB/ 1/8" Annealed by Safety Plus. 5/16" Laminated 1/8" Annealed/.090"PVB/1/8" Annealed by Saflex
	Specimen # 5.	7/16" Laminated. 3/16" Annealed/ .090" PVB/ 3/16" Annealed by Safety Plus. 7/16" Laminated 3/16" Annealed/.090"PVB/ 3/16" Annealed by Saflex
	Specimen # 6.	7/16" Laminated. 3/16" Annealed/ .090" PVB/ 3/16" Annealed by Safety Plus. 7/16" Laminated. 3/16" Annealed/.090"PVB/ 3/16" Annealed by Saflex
	Specimen # 7.	1/8" Annealed Glass.
	Specimen # 8.	7/16" Laminated. 3/16" Annealed/.090"PVB/ 3/16" Annealed by Saflex

**Method:** Panels: Exterior glazed with Dow Corning 899, Tremco S500, Truseal SG, Schnee- Morehead S731, silicone glazing sealant. as stated by manufacturer. Glazing bite: 1". All specimens were tested without glazing bead.

<b>Daylight Opening:</b>	Specimen # 1 ; 45.0" x 45.0"	Specimens # 2 & 2A; 57.0" x 57.0"
	Specimen # 3 ; 58.25" x 58.25"	Specimen # 4 ; 56.75" x 56.75"
	Specimen # 5 ; 69.25" x 69.25"	Specimen # 6 ; 71.25" x 45.0"
	Specimen # 7 ; 41.0" x 41.0"	Specimen # 8 ; 73.5" x 71.5"

<b>Weatherstripping:</b>	N/A
<b>Hardware &amp; Location:</b>	N/A
<b>Weepholes:</b>	N/A
<b>Reinforcements:</b>	N/A

**Sealant:** A small joint sealant was used on all mechanical joints .

**Screen:** None

**Additional Information:** Picture windows were attached to the mullion with # 10 x 1" phillips pan head fasteners located 2" from each end 18" on center thereafter. Mullion was secured to the wooden test buck with aluminum mull clips, the mull clips were secured with two(2) .1875" x 2.750" tapcons Top and bottom. The mull clips were free floating in mullion.

**Installation:** Specimen # 1. Twenty (20) # 6 x 1.625" long drywall fasteners were used to secure the specimen to the wooden test buck. Six (6) in each of the head and sill located 4", 20.5", 38.5", 55", 72", and 89.5". Four (4) in each jamb located 4", 16", 32", and 44".

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 7/8/05

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Report Number: CTLA-830W-2

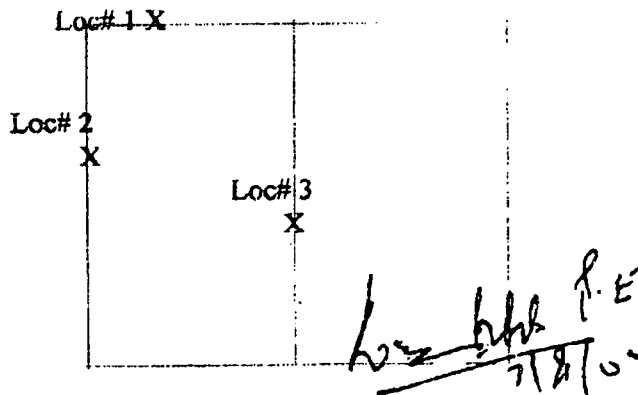
- Installation:**
- Specimens # 2,2A Twenty four(26) # 10 x 1.5" phillips pan head fasteners were used to secure the specimen to the wooden test buck. Eight (8) in each of the head and sill located 4",21",38",55",64",82.5" 100",and 118" Four (4) in each jamb located 4",24.5"40.5"and 56.5".
  - Specimen # 3. Sixteen (16) # 10 x 1.5" phillips pan head fasteners were used to secure the specimen to the wooden test buck. Four(4) in each of the head and sill located 4",21",38",55". Four (4) in each jamb located 4",21",38",and 55".
  - Specimen # 4. Twenty four(26) # 10 x 1.5" phillips pan head fasteners were used to secure the specimen to the wooden test buck. Eight (8) in each of the head and sill located 4",22.25",38.75",56.5",66",83.5" 100.25",and 118". Four (4) in each jamb located 4",21.25",38.5"and 55.5".
  - Specimens # 5,6. Thirty (30) # 10 x 1.5" phillips pan head fasteners were used to secure the specimen to the wooden test buck. Ten (10) in each of the head and sill located 4",19.5",35",50.5",66",81.5",97",112.5",128",and 140". Five (5) in each jamb located 4",20.5",37",51.5",and 67.75".
  - Specimen # 7. Eight (8)# 6 x 1.625" long drywall fasteners were used to secure the specimen to the wooden test buck 17.5" on center .
  - Specimen # 8. Fourteen(14) # 10 x 1.5" phillips pan head fasteners were used to secure the specimen to the wooden test buck . Five (5) in the sill located 4",20",37.5",53.75",and 69.75". Nine (9) in the arch located 4",20.5",36.25",61.25",92.5",125",149.5",165.75",and 181.5".

Surface Finish: White Finish

**Test Results:**

Test Sequence: PA 202  
Deflection Gauges Set At X  
in between fasteners.

- |  |              |
|--|--------------|
| Air Infiltration                         | ASTM-E283-91 |
| 1. 1/2 Test Pressure Positive            | ASTM E330-96 |
| 2. 1/2 Test Pressure Negative            | ASTM E330-96 |
| 3. Design Pressure Positive              | ASTM E330-96 |
| 4. Design Pressure Negative              | ASTM E330-96 |
| 5. Water Infiltration Positive Direction | ASTM E331-96 |
| 6. Full Test pressure Positive           | ASTM E330-96 |
| 7. Full Test Pressure Negative           | ASTM E330-96 |



Deflection was measured with three (3) DynaVision Lasers SN-S1002141,SN-S1002142 and SN-S1002143  
Loc# 1 mid-span of anchor spacing at head. Loc # 2 mid-span of anchor spacing at jamb. Loc # 3 mid-span of mullion.

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 Report Number: CTLA-830W-2

**AIR INFILTRATION**

Air Infiltration Tests were conducted in accordance with DCBCCD PA 202-94

Air at 1.57 psf	Actual	Allowable
Specimen 1	0.01 CFM/SQ FT	.3 CFM/SQ FT
Specimen 2	0.00 CFM/SQ FT	.3 CFM/SQ FT
Specimen 2A	0.00 CFM/SQ FT	.3 CFM/SQ FT
Specimen 3	0.00 CFM/SQ FT	.3 CFM/SQ FT
Specimen 5	0.00 CFM/SQ FT	.3 CFM/SQ FT
Specimen 7	0.06CFM/SQ FT	.3 CFM/SQ FT

**WATER INFILTRATION TEST**

Water Infiltration Test was conducted in accordance with DCBCCD PA 202 - 94

Specimen 1,2,2A,3,5,and 7 Water @ 12 psf for 15 min. Result: passed

No water penetration.

Static Tests were conducted in accordance with DCBCCD PA 202-94

**Design Loads + 40 psf, - 40 psf. Specimen 1**

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
1/2 Test	30	30.0						
Design	30	40.0			.048"			.018"
Test	30	60.0	.157"	.130"	.261"	.007"	.009"	.012"

Range of test	time (seconds)	actual load psf	deflection			penn. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
1/2 Test	30	30.0						
Design	30	40.0			.064"			.033"
Test	30	60.0	.161"	.163"	.390"	.028"	.033"	.081"

Mullion - max allowable deflection at design is  $(L / 180) 45" / 180 = 0.250"$

Mullion - max allowable set after test load is  $(.4\% \times L) .004 \times 45" = 0.180"$

Loc # 1 Max. allowable Perm. Set at test load  $(0.4\% \text{ of } 17.5\text{' span}) = 0.070"$

Loc # 2 Max. allowable Perm. Set at test load  $(0.4\% \text{ of } 17.5\text{' span}) = 0.070"$

Deflection was measured with three (3) Dynavision Lasers

Loc # 1 mid-span of anchor spacing at head; Loc # 2 mid-span of anchor spacing at jamb.

Loc # 3 mid-span of mullion.

Visual inspection of specimen revealed no glass breakage or damage to anchors.

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 7/2/05

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Report Number: CTLA-830W-2

Static Tests were conducted in accordance with DCBCCD PA 202-94

**Design Loads + 35 psf, - 35 psf. Specimen 2**

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
Positive loads								
1/2 Test	30	26.25						
Design	30	35.0			.067"			.014"
Test	30	52.5	.103"	.096"	.231"	.011"	.010"	.018"

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
Negative loads								
1/2 Test	30	26.25						
Design	30	35.0			.074"			.009"
Test	30	52.5	.101"	.090"	.242"	.009"	.006"	.017"

Mullion – max allowable deflection at design is  $(L / 180) 58" / 180 = 0.322"$

Mullion – max allowable set after test load is  $(.4\% \times L) .004 \times 58" = 0.232"$

Loc # 1 Max. allowable Perm. Set at test load  $(0.4\% \text{ of } 17.5'' \text{ span}) = 0.070"$

Loc # 2 Max. allowable Perm. Set at test load  $(0.4\% \text{ of } 17.5'' \text{ span}) = 0.070"$

Deflection was measured with three (3) Dynavision Lasers

Loc # 1 mid-span of anchor spacing at head; Loc # 2 mid-span of anchor spacing at jamb.

Loc # 3 mid-span of mullion.

Visual inspection of specimen revealed no glass breakage or damage to anchors.

Static Tests were conducted in accordance with DCBCCD PA 202-94

**Design Loads + 80 psf, - 80 psf. Specimen 2A**

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
Positive loads								
1/2 Test	30	60.0						
Design	30	80.0			.172"			.065"
Test	30	120.0	.286"	.293"	.584"	.015"	.012"	.083"

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
Negative loads								
1/2 Test	30	60.0						
Design	30	80.0			.169"			.033"
Test	30	120.0	.303"	.200"	.652"	.026"	.012"	.038"

Mullion – max allowable deflection at design is  $(L / 180) 58" / 180 = 0.322"$

Mullion – max allowable set after test load is  $(.4\% \times L) .004 \times 58" = 0.232"$

Loc # 1 Max. allowable Perm. Set at test load  $(0.4\% \text{ of } 17.5'' \text{ span}) = 0.070"$

Loc # 2 Max. allowable Perm. Set at test load  $(0.4\% \text{ of } 17.5'' \text{ span}) = 0.070"$

Deflection was measured with three (3) Dynavision Lasers

Loc # 1 mid-span of anchor spacing at head; Loc # 2 mid-span of anchor spacing at jamb.

Loc # 3 mid-span of mullion.

Visual inspection of specimen revealed no glass breakage or damage to anchors.

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7/2/02

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Static Tests were conducted in accordance with DCBCCD PA 202-94

**Design Loads + 50 psf, - 50psf. Specimen 3**

Range of test	time (seconds)	actual load psf	deflection		perm. set	
			Loc#1	Loc#2	Loc#1	Loc#2
Positive loads						
1/2 Test	30	37.5				
Design	30	50.0				
Test	30	75.0	.108"	.106"	.010"	.008"

Range of test	time (seconds)	actual load psf	deflection		perm. set	
			Loc#1	Loc#2	Loc#1	Loc#2
Negative loads						
1/2 Test	30	37.5				
Design	30	50.0				
Test	30	75.0	.287"	.222"	.054"	.064"

Max. allowable Perm. Set at head (0.4% of 17" span) = 0.068"

Max. allowable Perm. Set at jamb (0.4% of 17" span) = 0.068"

Deflection was measured with two (2) Dynavision Lasers

Loc # 1 mid-span of anchor spacing at head; Loc # 2 mid-span of anchor spacing at jamb.

Visual inspection of specimen revealed no glass breakage or damage to anchors.

Static Tests were conducted in accordance with DCBCCD PA 202-94

**Design Loads + 45 psf, - 45 psf. Specimen 5**

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
Positive loads								
1/2 Test	30	33.75						
Design	30	45.0			.048"			.139"
Test	30	67.5	.127"	.059"	.128"	.020"	.013"	.045"

Range of test	time (seconds)	actual load psf	deflection			perm. set		
			Loc#1	Loc#2	Loc#3	Loc#1	Loc#2	Loc#3
Negative loads								
1/2 Test	30	33.75						
Design	30	45.0			.082"			.027"
Test	30	67.5	.302"	.149"	.130"	.047"	.030"	.101"

Mullion - max allowable deflection at design is  $(L / 180) 70" / 180 = 0.388"$

Mullion - max allowable set after test load is  $(.4\% \times L) .004 \times 70" = 0.280"$

Loc # 1 Max. allowable Perm. Set at test load (0.4% of 17.5" span) = 0.070"

Loc # 2 Max. allowable Perm. Set at test load (0.4% of 17.5" span) = 0.070"

Deflection was measured with three (3) Dynavision Lasers

Loc # 1 mid-span of anchor spacing at head; Loc # 2 mid-span of anchor spacing at jamb.

Loc # 3 mid-span of mullion.

Visual inspection of specimen revealed no glass breakage or damage to anchors.

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7/2/02

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Static Tests were conducted in accordance with DCBCCD PA 202-94

**Design Loads + 45 psf, - 45 psf. Specimen 7**

Range of test	time	actual load	deflection		perm. set	
			Loc#1	Loc#2	Loc#1	Loc#2
Positive loads	(seconds)	psf				
1/2 Test	30	33.75				
Design	30	45.0				
Test	30	67.5	.174"	.111"	.026"	.017"
Range of test	time	actual load	deflection		perm. set	
			Loc#1	Loc#2	Loc#1	Loc#2
Negative loads	(seconds)	psf				
1/2 Test	30	33.75				
Design	30	45.0				
Test	30	67.5	.197"	.205"	.011"	.009"

Loc # 1 Max. allowable Perm. Set at test load (0.4% of 17.5" span) = 0.070"  
 Loc # 2 Max. allowable Perm. Set at test load (0.4% of 17.5" span) = 0.070"  
 Deflection was measured with two (2) Dynavision Lasers  
 Loc # 1 mid-span of anchor spacing at head; Loc # 2 mid-span of anchor spacing at jamb.

Visual inspection of specimen revealed no glass breakage or damage to anchors.

**Performance Test Results Specimen # 4 PA 201 (Large missile)**

The specimen was impacted with a 8ft. long, 9lb., 2" x 4" at the following locations:

Loc # 1 X	Loc# 3 X	Loc #1 Impacted at 50.0 ft per second, Mid-span of panel. No missile penetration . Loc #2 Impacted at 50.2 ft per second, Bottom right corner of panel. No missile penetration Loc #3 Impacted at 50.0 ft per second, Mid-span of panel. No missile penetration . Loc #4 Impacted at 50.1 ft per second, Bottom right corner of panel. No missile penetration .
Loc# 2 X	Loc# 4 X	

**Note:**

X measurement from left edge of specimen.  
 Y measurement from top edge of test specimen.

Specimen No.4	Impact No	Impact Loc.	Speed Ft/Sec.	X Meas.	Y Meas
	1	1	50.0	32.0"	31.0"
	2	2	50.2	55.5"	56.0"
	3	3	50.0	92.0"	31.5"
	4	4	50.1	114.0"	55.5"

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 7/8/02

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**Performance Test Results Specimen # 4 PA 203**

Cycle tests were conducted in accordance with DCBCCD PA 203

Design Load + 60.0 psf , - 60.0 psf

<u>Range of test</u>	<u>actual load psf</u>	<u># of cycles</u>	<u>cycles/min</u>
<b>Positive loads</b>			
+ .2 - .5	12.0 30.0	3500	56
+ .0 - .6	0.0 36.0	300	56
+ .5 - .8	30.0 48.0	600	56
+ .3 - 1.0	18.0 60.0	100	56

**DEF SET**  
1.875" .250"

**Total: 4500 cycles**

**Negative Loads**

<u>Range of test</u>	<u>actual load psf</u>	<u># of cycles</u>	<u>cycles/min</u>
- .3 - 1.0	18.0 60.0	50	56
- .5 - .8	30.0 48.0	1050	56
- .0 - .6	0.0 36.0	50	56
- .2 - .5	12.0 30.0	3350	56

**DEF SET**  
8.250" 7.5"

**Completed: 9000 cycles**

Specimen showed no resultant failure or duress after cycle test. No failure of fasteners and there were no cracks longer than 5" x 1/16" through which air could pass observed.

**Performance Test Results Specimen #6 PA 201 (Large missile)**

The specimen was impacted with a 8ft. long, 9lb., 2" x 4" at the following locations:

Loc# 1 X	Loc# 3 X	Loc# 4 X	Loc #1 Impacted at 50.3 ft per second, Mid-span of panel. No missile penetration. Loc #2 Impacted at 50.1 ft per second, bottom right corner of panel. No missile penetration Loc #3 Impacted at 50.0 ft per second, mid-span of mullion. No missile penetration Loc #4 Impacted at 50.2 ft per second, bottom right corner of panel. No missile penetration Loc #5 Impacted at 50.1 ft per second, bottom right corner of panel. No missile penetration
	Loc# 2 X	Loc# 5 X	

**Note:**

X measurement from left edge of specimen.

Y measurement from top edge of test specimen.

*Kevin Stahl, P.E.*  
7/21/02

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 Report Number: CTLA-830W-2

Specimen No.6	Impact No	Impact Loc.	Speed Ft/Sec.	X Meas.	Y Meas
	1	1	50.3	32.0"	36.25"
	2	2	50.1	63.0"	62.0"
	3	3	50.0	73.0"	34.5"
	4	4	50.2	30.0"	38.25"
	5	5	50.1	49.75"	62.0"

**Performance Test Results Specimen # 6 PA 203**

Cycle tests were conducted in accordance with DCBCCD PA 203

Design Load +60.0 psf, - 60.0 psf

<u>Range of test</u>	<u>actual load psf</u>	<u># of cycles</u>	<u>cycles/min</u>
<b>Positive loads</b>			
+ .2 - .5	12.0 30.0	3500	56
+ .0 - .6	0.0 36.0	300	56
+ .5 - .8	30.0 48.0	600	56
+ .3 - 1.0	18.0 60.0	100	56
Total: 4500 Cycles			<b>DEF SET</b> 1.750" .125"

**Negative Loads**

<u>Range of test</u>	<u>actual load psf</u>	<u># of cycles</u>	<u>cycles/min</u>
- .3 - 1.0	18.0 60.0	50	56
- .5 - .8	30.0 48.0	1050	56
- .0 - .6	0.0 36.0	50	56
- .2 - .5	12.0 30.0	3350	56
Completed: 9000 cycles			<b>DEF SET</b> 9.250" 8.0"

**Performance Test Results Specimen # 8 PA 201 (Large missile)**

The specimen was impacted with a 8ft. long, 9lb., 2" x 4" at the following locations:

<p style="text-align: center;">Loc#1 X</p> <p style="text-align: right;">Loc# 2 X</p>	<p>Loc #1 Impacted at 50.1 ft per second, Mid-span of panel. No missile penetration.</p> <p>Loc #2 Impacted at 50.2 ft per second, Bottom right corner of panel. No missile penetration</p> <p style="text-align: right;"><i>[Signature]</i> 7/8/05</p>
---	---



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**Note:**

X measurement from left edge of specimen.

Y measurement from top edge of test specimen.

Specimen No.8	Impact No	Impact Loc.	Speed Ft/Sec.	X Meas.	Y Meas
	1	1	50.1	35.5"	35.0"
	2	2	50.2	68.5"	68.0"

**Performance Test Results Specimen # 8 PA 203**

Cycle tests were conducted in accordance with DCBCCD PA 203

Design Load + 60 psf, - 60 psf

<u>Range of test</u>	<u>actual load psf</u>		<u># of cycles</u>	<u>cycles/min</u>	
<b>Positive loads</b>					
+ .2 - .5	12.0	30.0	3500	56	
+ .0 - .6	0.0	36.0	300	56	
+ .5 - .8	30.0	48.0	600	56	
+ .3 - 1.0	18.0	60.0	100	56	
					<b>DEF SET</b>
					1.125" .0625"
<b>Total: 4500 cycles</b>					
<b>Negative Loads</b>					
<u>Range of test</u>	<u>actual load psf</u>		<u># of cycles</u>	<u>cycles/min</u>	
- .3 - 1.0	90.0	300.0	50	56	
- .5 - .8	150.0	240.0	1050	56	
- .0 - .6	0.0	180.0	50	56	
- .2 - .5	60.0	150.0	3350	56	
					<b>DEF SET</b>
					6.750" 5.750"
<b>Completed: 9000 cycles</b>					

**Comment:** Nominal 2 mil polyethylene film was used to seal against air leakage during structural loads.  
 The film was used in a manner that did not influence the test results.

Submittal drawings with the CTL stamp and video are a part of this report.

*Handwritten signature: D. H. P. E.*  
 7/8/02

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Report Number: CTLA-830W-2

**Remarks:** Detailed drawings were available for laboratory records and comparison to the test specimen at the time of this report. A copy of this report along with representative sections of the test specimen will be retained by CTL for a period of ten (10) years. The results obtained apply only to the specimen tested.

This test report does not constitute certification of this product, but only that the above test results were obtained using the designated test methods and they indicate compliance with the performance requirements (paragraphs as listed) of the above referenced specifications

Certified Testing Laboratories assumes that all information provided by the client is accurate and that the physical and chemical properties of the components are as stated by the manufacturer.

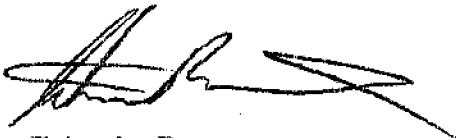
Observers:

Jens Rosowski Nuair  
Ken Moran Nuair

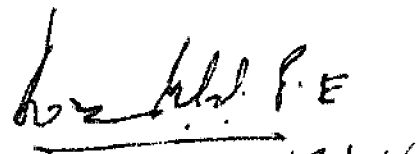
All Tests Witnessed by:

Ramesh Patel, P.E.  
Chris Bennett, CTL  
Ted Scanlon, CTL

Certified Testing Laboratories, Inc.



Christopher Bennett  
Lab Manager  
Architectural Division

  
R. PATEL P.E. 7/8/04  
Fl. Str. Eng.  
NO. 20224

C.C. Nuair (3)  
Dade County (1)  
Ramesh Patel (1)  
File



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 20 N.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TEMPOLARY POWER

SYSTEM GROUND WIRE IS  
NOT GROUNDED PROPERLY

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/21

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/21, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7782	SCHOPPE	STEEL-POOL	PASS	
5	9 PALM ROAD RDSCHILLER POOLS			INSPECTOR: <i>QW</i>
7387	BELL	FINAL ROOF	PASS	CLOSE
6	34 S. SEWALLS PT STUART ROOFING			INSPECTOR: <i>QW</i>
7772	WEBER	DRY-IN	RESCHEDULE FOR	
7	12 RIDGELAND MARZO			9/23 (RAIN) INSPECTOR: <i>QW</i>
	MUFSON	FINAL SFR	FAIL	
13	17 S. RIVER BUFORD		LAST PLEASE	INSPECTOR: <i>QW</i>
TREE	JOHNSON	TREE	PASS	
12	2 OAK HILL WAY			INSPECTOR: <i>QW</i>
<del>7765</del>	<del>RUCC</del>	<del>TEMP POOL</del>	<del>FAIL</del>	
11	20 N. SEWALLS PT MASTERPIECE BUDS			INSPECTOR: <i>QW</i>
6589	LASKY	BOAT LIFTS & DOCK EXTENSION	PASS	CLOSE
1A	27 W HIGH POINT TROPIC MARINE			INSPECTOR: <i>QW</i>

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/26, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6965	FENSTERER	COURTESY INSP.		CONFERRED W/OWNER
8	71 S. SEWALL'S O/B			FRONT DR. REPLACEMENT INSPECTOR: <i>OM</i>
		Work w/o		ISSUED STOP WORK
	29 FIELDWAY DR.	PERMIT		ORDER INSPECTOR: <i>OM</i>
		ROOF WORK		ISSUED STOP WORK.
	24 FIELDWAY	W/O PERMIT.		ORDER INSPECTOR: <i>OM</i>
		<del>TEMP POWER PASS</del>		
	20 N. SP.R. HOLDANE	POLE		INSPECTOR: <i>OM</i>
	MURSON	FINAL SPR	FAIL	
	173. RIVER DUFORD			INSPECTOR: <i>OM</i>
				INSPECTOR:
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20 N. S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FOOTING

- MISSING COMPACTION TEST
- REMOVE WATER (3") FROM FOOTING DITCHES -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/5

OM  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/5, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0753	RADER	FINAL SFR	RECHECK	SCHEDULE FOR
12	5 HERITAGE	LAST	10/7	FRIDAY 1ST THING
	ADP CONSTRUCTION	POWER RELEASE		INSPECTOR: <i>OM</i>
<del>7764</del>	<del>BUCKS</del>	<del>FOOTERS</del>	<del>PASS</del>	<del>REINSPECTED</del>
11	20 N. SEWALL ST		PASS	LATE MORNING
	MASTERPIECE	FIRST PLEASE		INSPECTOR: <i>OM</i>
7447	DIMITRIOU	WINDOWS FINAL		NO ACCESS
2	6 BANYAN			
	AK SYSTEMS	8:30 Please		INSPECTOR: <i>OM</i>
TREE	TAYLOR	TREE	PASS	
3A	22 E. HIGHPOINT			INSPECTOR: <i>OM</i>
7699	COOPER	GENERATOR + Elec	PASS	CLOSE
4	33 W. HIGH POINT			
	DIETR ELECTRIC			INSPECTOR: <i>OM</i>
7635	ENGLE	FENCE FINAL	PASS	CLOSE
7	14 PALM ROAD			
	ADRON FENCE			INSPECTOR: <i>OM</i>
7774	MALONE	REEROOF	PASS	CLOSE
10	14 S. VIA LUCINDIA	FINAL		
	STUART ROOFING			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_

**A. M. ENGINEERING AND TESTING, INC.**860 JUPITER PARK DRIVE, UNIT #1  
JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

**REPORT OF FOUNDATION PAD COMPACTION**Client: **Masterpiece Builders**  
408 Colorado Avenue  
Stuart, Florida 34994Site: **20 North Sewall's Point Road, Sewall's Point,**  
Martin County, Florida  
Stem Wall FootingsReport Date: October 5, 2005  
Project No: 1000  
Report No: 41  
Permit No: 7764  
Page No.: 2 of 2*FILE #7764 RUCKS / MASTERPIECE*

Based on the locations and depths tested, we verify that the soil beneath the footings has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The footings for the proposed structure should be designed in accordance with the referenced building code using a maximum net soil bearing pressure of 2,000 pounds per square foot (psf), considering maximum column and wall loads of 25 kips and three kips per linear foot, respectively.

Additional compaction tests are required for the stem wall backfill beneath the slab. A final verification statement will be issued after the density tests indicate compliance with the requirements.

Distribution:  
Client (3)

KF/mo

Submitted by:

A. M. ENGINEERING AND TESTING, INC.

*Kevin Ferguson*

Kevin Ferguson, P.E.

Florida Registration No. 60712





# A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

## REPORT OF STEM WALL BACKFILL COMPACTION

Client: **Masterpiece Builders**  
**408 Colorado Avenue**  
**Stuart, Florida 34994**

Site: **20 North Sewall's Point Road, Sewall's Point,**  
**Martin County, Florida**  
**Front Porch and Back Footings for Staircase**

Report Date: December 21, 2005

Project No: 1000

Report No: 44

Permit No: 7764

*FILE* → This statement shall serve as verification that the geotechnical report prepared by Professional Engineering and Inspection Company, Inc., dated January 13, 2005, indicated that their exploration was performed in accordance with chapter 18 of the 2001 Florida Building Code.

In our previous report dated October 5, 2005, we indicated that the soil compaction beneath the stem wall footings was in compliance with the requirements. Subsequently, density tests and Hand Cone Penetrometer (HCP) readings were made in the stem wall backfill (slab area) to a depth of two to three feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	12/16/05	Northeast Corner, Front Porch	0-1	105.0	109.8	95.6
2		Center Area, Front Porch	0-1	105.8	109.8	96.4
3		Southwest Corner, Front Porch	0-1	105.6	109.8	96.2
4		Staircase Footing, Center Area North Half	**0-1	105.2	109.8	95.8
5		Staircase Footing, Center Area South Half	**0-1	104.5	109.8	95.2

\* All elevations are below slab grade.

\*\* All elevations are below footing grade.

Based on the locations and depths tested, we verify that the stem wall backfill (slab area) has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The footings for the proposed structure should be designed in accordance with the referenced building code using a maximum net soil bearing pressure of 2,000 pounds per square foot (psf), considering maximum column and wall loads of 25 kips and three kips per linear foot, respectively.

### Distribution:

Client (3)

KF/sc

### Submitted by:

A. M. ENGINEERING AND TESTING, INC.

*Kevin Ferguson* 12/22/05.

Kevin Ferguson, P.E.

Florida Registration No. 60712

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10/19, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6812	MADER	TRUSS-ENG	FAILED	<sup>37</sup> 40
1	106 ABBIE COURT BUFORD			INSPECTOR: <i>m</i>
7710	BONIFACE	POOL PUMPING	PASSED	
2	63 S. RIVER RD ADV. POOLS			INSPECTOR: <i>m</i>
<del>7710</del>	<del>RUCKS.</del>	<del>COLUMN</del>	<del>PASSED?</del>	
3	20 N. SOUPLIS PI RD. MASTER POOL			INSPECTOR: <i>m</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20. N. S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SUSP. SLAB STEEL.

MISSING HOOK BARS AT  
4" DROP SLAB AREAS -

MISSING 1-#6 BOTTOM BAR  
@ ALL INTERIOR THICKENED  
~~AREAS~~, SLAB AREAS.

MISSING 1# ~~7~~ IN ALL  
LINTEL ~~7~~ BLOCKS INTERIOR &  
EXTERIOR.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/14

  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/14, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6857	Pressman	FINAL RENOVATIONS	FAIL	
6	28 Rio Vista			
	OIB			INSPECTOR: <i>OM</i>
7613	Pressman	FINAL RAISED ENTRY	PASS	CLOSE
6	28 Rio Vista	LANDSCAPE + HARDSCAPE		
	WINCH, P CONSTR.			INSPECTOR: <i>OM</i>
7951	Desantis	DRY-IN	PASS	
5	73 S. RIVER RD			
	REGENCY ROOFING			INSPECTOR: <i>OM</i>
<del>7764</del>	<del>RUCKS</del>	<del>SLAB</del>	<del>FAIL</del>	
2	20 N. Sewall's Pt			
	MASTERPIECE BLDG	260-7724 9am PLEASE		INSPECTOR: <i>OM</i>
7908	Martin	Perimeter Pump	PASS	
1A	4 Fieldway Drive			
	AQUATIC SURFACES			INSPECTOR: <i>OM</i>
7813	PARUS	POREX SLAB	FAIL	
9.	3 MINDORO ST			
	OIB			INSPECTOR: <i>OM</i>
7657	HB Assoc - Kemp Shoes	FINAL SIGN	PASS	CLOSE
1	3754 OCEAN #A&C			
	GOULD SIGNS			INSPECTOR: <i>OM</i>

OTHER: \_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20. N. S. P. R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SLAB / FOOTERS

NEED COMPACTION TEST  
FOR BAR. SLAB &  
FOOTERS ON EAST & WEST  
SIDE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/16

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/16, 2005 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7719	SCOPPE	TRE BEAM	FAIL	
3	Palm Road A&P CONSTRUCT.			INSPECTOR: <i>[Signature]</i>
<del>7380</del>	<del>BOATFAC</del>	<del>MSR TUB</del>		<del><i>[Signature]</i></del>
	635. River Rd WILSON BLDG			INSPECTOR:
7764	ROCKS	SLAB	FAIL	NEEDS COMP. TEST. / BYT CAN
1	20 N. SEWALL ST MASTERPIECE BLDG	FIRST		INSPECTOR: <i>[Signature]</i>
6513	DUNN	FINAL SER	FAIL	
2	31 N. RIVER RD FIRST FLORIDA			INSPECTOR: <i>[Signature]</i>
7934	PARKS	POOL SP & DRAIN	FAIL	\$40 FEE
6	3 MINOULO ST OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>
7034	JONES	FINAL DOOR REPAIR	FAIL	
7	14 HERON'S NEST OIB			INSPECTOR: <i>[Signature]</i>
7841	THOMAS	<del>POD</del> FENCE FINAL	PASS	CLOSE
5	10 Palm Road OIB			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



## A. M. ENGINEERING AND TESTING, INC.

860 JUPITER PARK DRIVE, UNIT #1

JUPITER, FLORIDA 33458

LOCAL OFFICE: (561) 745-1060 FAX: (561) 745-0981

### REPORT OF STEM WALL BACKFILL COMPACTION

Client: **Masterpiece Builders**  
**408 Colorado Avenue**  
**Stuart, Florida 34994**

Site: **20 North Sewall's Point Road, Sewall's Point,**  
**Martin County, Florida**  
**Front Porch and Back Footings for Staircase**

Report Date: December 21, 2005

Project No: 1000

Report No: 44

Permit No: 7764

*FILE*  
 This statement shall serve as verification that the geotechnical report prepared by Professional Engineering and Inspection Company, Inc., dated January 13, 2005, indicated that their exploration was performed in accordance with chapter 18 of the 2001 Florida Building Code.

In our previous report dated October 5, 2005, we indicated that the soil compaction beneath the stem wall footings was in compliance with the requirements. Subsequently, density tests and Hand Cone Penetrometer (HCP) readings were made in the stem wall backfill (slab area) to a depth of two to three feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 2922. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	12/16/05	Northeast Corner, Front Porch	0-1	105.0	109.8	95.6
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3		Southwest Corner, Front Porch	0-1	105.6	109.8	96.2
4		Staircase Footing, Center Area North Half	**0-1	105.2	109.8	95.8
5		Staircase Footing, Center Area South Half	**0-1	104.5	109.8	95.2

\* All elevations are below slab grade.

\*\* All elevations are below footing grade.

Based on the locations and depths tested, we verify that the stem wall backfill (slab area) has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The footings for the proposed structure should be designed in accordance with the referenced building code using a maximum net soil bearing pressure of 2,000 pounds per square foot (psf), considering maximum column and wall loads of 25 kips and three kips per linear foot, respectively.

#### Distribution:

Client (3)

KF/sc

#### Submitted by:

A. M. ENGINEERING AND TESTING, INC.

Kevin Ferguson, P.E.

Florida Registration No. 60712

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/11, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7764</del>	<del>RUCKS</del>	TIE BEAM	—	CANCEL
8	20 N. SEWALL'S Pt	LAST		WILL RESCHEDULE
	MASTERPIECE			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7823	NOHEYL	ROOF SHEATHING	PASS	
1	26 W. HART Pt			
	O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_





## TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20. N. SPR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM

ADD #5 BARS @ INTERSECTION  
OF STAIR LANDING AND  
STAIRS.

MISSING (2) PIVOTED CELLS EAST OF GAR. DR.  
B-3 HAS #6 IN LIEU OF  
#5 -

B-1 @ FRONT ENTRY HAS #5  
IN LIEU OF #6.

WALLS IN GAR. NOT RUNNING BOND  
FROM FLOOR TO TIE BEAM.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/13

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

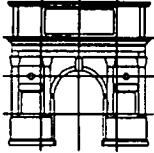
# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/13, 2006 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7985	TRUITT	FINAL ROOF	PASS	CLOSE
9	39 S. RIVER RD JA TAYLOR			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>   </del>	RUCKS	TIE BEAM	FAIL	
1	20 N. SEWALLS MASTERPIECE BLDG			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7971	BUSSEY	STEEL + DRAIN	FAIL	
8	1 PALMETTO DR OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7727	SLATER	INSULATION	PASS	
2	4 LAGOON ISL CT CONWAY			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7576	SILAS	INT. FRAMING	PASS	<del>   </del>
<del>   </del>	10 CASTLE HILL WY	ALC MBSUITE	PASS	
<del>   </del>	STATEWIDE	PLUMB "	FAIL	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
		ELECTR. "	FAIL	
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7984	LEWIS	FOOTING	FAIL	\$40 PEE
7	43 RIO VISTA DR Comm. CONTRACTING	CONC. FENCE (REAR YARD)		INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



**M.A. CORSON & ASSOCIATES, Inc.**  
ARCHITECTURE      STRUCTURAL DESIGN

To: Sewall's Point Building Department

Date: 1/13/06

Re: Rucks Residence  
Lot #7 Indialucie East, Sewall's Point  
Permit # 7704

FILE

This office approves of the following:

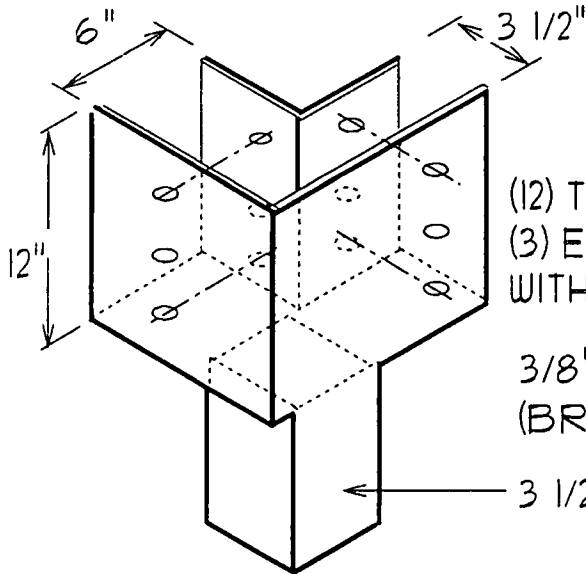
1. It is acceptable that the steel in the B3 beams over the summer kitchen area have #6 bars in lieu of #5 bars as shown on the permitted plans.
2. It is acceptable the three rear porch columns are round instead of square. The vertical steel remains the same.
3. It is acceptable that there is a #7 bar in lieu of a #6 bar in the top course of the composite tie beam to the right of the entry door.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,

Mark A. Corson A.I.A.

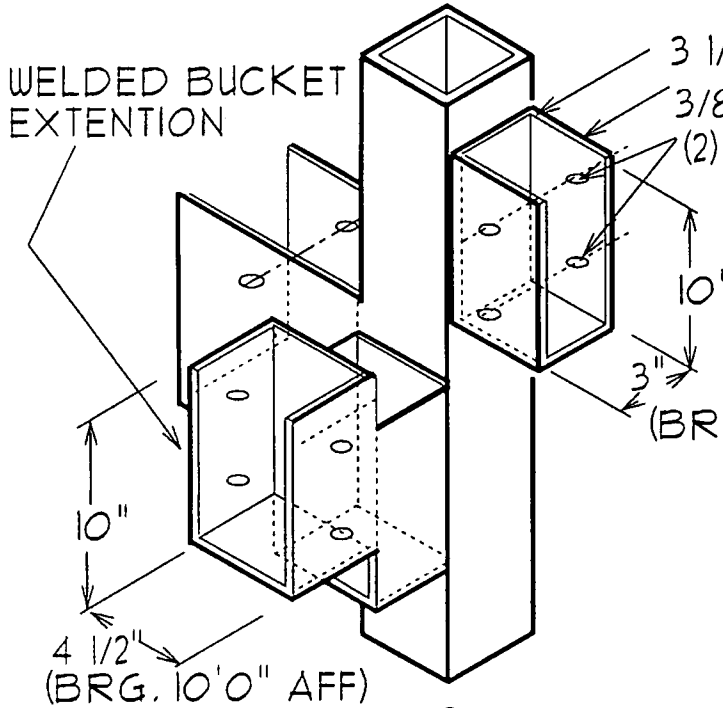
cc: file



(12) TWELVE 1/2" BOLT HOLES  
(3) EACH SIDE, LINED UP  
WITH OPPOSITE 3

3/8" THICK WELDED CAP  
(BRG. 19'8" AFF)

3 1/2" x 3 1/2" x 1/4" STEEL TUBE COLUMN



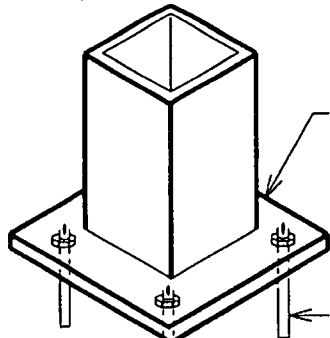
WELDED BUCKET  
EXTENTION

3 1/2" x 3 1/2" x 1/4" STEEL TUBE COLUMN

3/8" THICK WELDED BEAM BRACKET  
(2) TWO 1/2" BOLTS AT EACH BEAM

(BRG. 11'0" AFF)

(BRG. 10'0" AFF)



10" X 10" X 5/8" WELDED STEEL  
BASE PLATE

(4) FOUR 5/8" REDHEAD ANCHORS

# STEEL COLUMN DETAIL

(AT DINING ROOM)

1" = 1'-0"

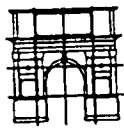
*RICKS RESIDENCE*  
*LOT #7 HPLALUCIE EAST*

7764 RUCKS

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE: 3/15/06

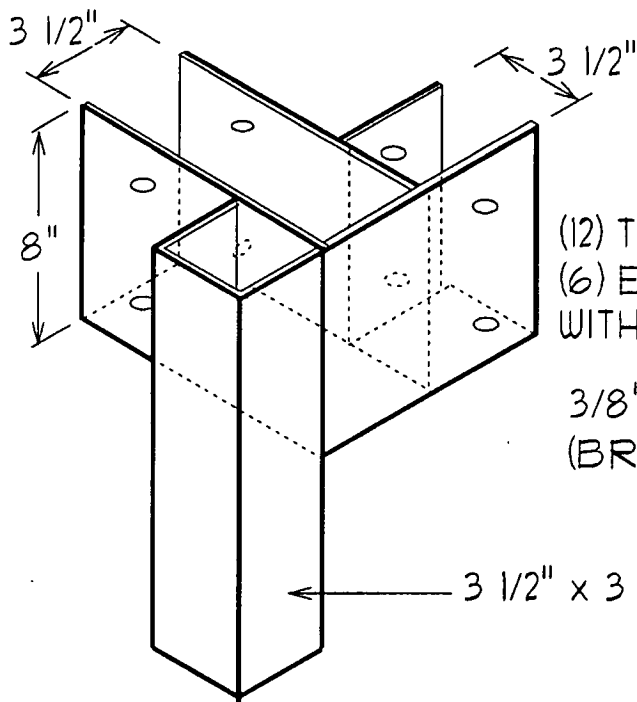
*Gene Simmons*  
BUILDING OFFICIAL  
Gene Simmons

*M.A. Corson*



M.A. CORSON & ASSOCIATES, INC.  
ARCHITECTURE • STRUCTURAL DESIGN  
844 E. Ocean Blvd. Suite C Stuart, FL. 34994  
(772) 223-8227 - Fax 223-8234

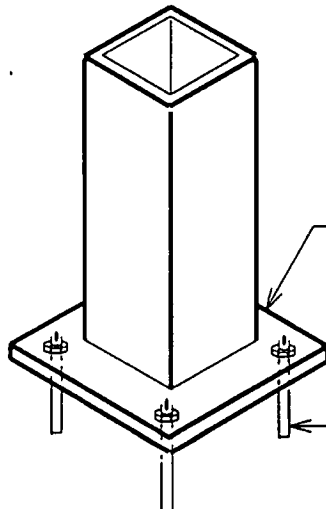
3/14/06



(12) TWELVE 5/8" BOLT HOLES  
(6) EACH SIDE, LINED UP  
WITH OPPOSITE 6

3/8" THICK WELDED CAP  
(BRG. 10'0" AFF)

3 1/2" x 3 1/2" x 1/4" STEEL TUBE COLUMN



10" x 10" x 5/8" WELDED STEEL  
BASE PLATE

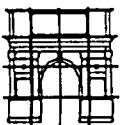
(4) FOUR 5/8" REDHEAD ANCHORS

# STEEL COLUMN DETAIL

(AT WET BAR)

1" = 1'-0"

*M.A.C.*



M.A. CORSON & ASSOCIATES, INC.  
ARCHITECTURE • STRUCTURAL DESIGN

844 E. Ocean Blvd. Suite C Stuart, FL. 34994  
(772) 223-8227 • Fax 223-8234

3/14/06

FLOCKS RESIDENCE  
#7 IPDIALHUE EAST

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/16, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7764	RUCKS	TIE BEAM	PASS	WELL DROP OF
1	20 N. SEWALL'S PT MASTERPIECE BROS			ARCH. LTD W/ CHANGES INSPECTOR: <i>[Signature]</i>
7741	BARRY	FINAL KITCHEN	FAIL	
3	97 S. SEWALL ST O/B	CABINETS, COUNTERS & LIGHTS (After 9 please?)		INSPECTOR: <i>[Signature]</i>
TREE	KOCH	TREE	FAIL	
2	71 N. RIVER RD			INSPECTOR: <i>[Signature]</i>
7984	LEWIS	FOOTING	PASS	
4	43 RIO VISTA DR COMM CONTRACTING	(LONG FENCE) (CLEAR YARD)		INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



7764

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20 N. SEWALL'S PT RD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF SHEATHING

NEED BLOCKING ALONG EDGES  
BOTH SIDE OF ALL PLYWOOD  
~~BE~~ LESS THAN 16" WIDE  
SAW CUT EDGES OF PLYWOOD  
WHERE BUTTED TOGETHER.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/24

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2/24, 2006

Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7988	CHONTOS	RAVE OVER DECK	PASS	CLOSE
9	835. SEWALLS PT O/B	FINAL		INSPECTOR: <i>[Signature]</i>
7795	HOLLAND	WINDOWS FINAL	FAIL	
5	9 MANDALAY GULFSTREAM AVM			INSPECTOR: <i>[Signature]</i>
<del>7764</del>	<del>BUCKS</del>	<del>POOL STEERING</del>	<del>FAIL</del>	<del>PASS - REINSPECTED</del>
3	20 N. SEWALLS PT MASTERPIECE BUCKS	<sup>CLOSE TO 9AM</sup> (EARLY PLEASE)		INSPECTOR: <i>[Signature]</i>
8011	GABRYNOWICZ	FENCE FINAL	PASS	CLOSE
2	5 QUAIL RUN STUART FENCE			INSPECTOR: <i>[Signature]</i>
7900	HART	FRAMING	PASS	
11	61 S. RIVER RD WINCHIP			INSPECTOR: <i>[Signature]</i>
7925	DAINS	DEY-IN	PASS	
8	102 S. SEWALLS PT O/B			INSPECTOR: <i>[Signature]</i>
7971	BUSSEY	POOL PLUMBING	PASS	
12	1 PALMETTO OLYMPIC POOLS			INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_

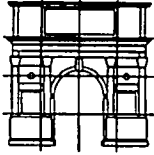


# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/3, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7851	MORAN	PLUMBING BOILER	PASS	
4	2 PALM ROAD	STRAPPING	PASS	
	DRIEWOOD HOMES	<del>ALCANTARA</del>	FAIL	INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	McCORMICK	FOOTING	---	RESCHEDULE -
14	59 N. RIVER RD			FIRST MONDAY 3/6
	PINE ORCHARD			INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BRUNER	TREE	PASS	
5	19 RIVERVIEW			
				INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7764</del>	<del>POOL</del>	SUBSIDING - 2nd fl	PASS	
13	20 N. Seaman's Pt			
	MASTERPIECE			INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8021	YAMPOLSKY	FINAL ROOFING	PASS	CLOSE
10	117 HULCREST			
	ALL AREA ROOFING			INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8057	DUNN	POOL PLUMBING	PASS	
11	31 N. RIVER RD			
	OLYMPIC POOLS			INSPECTOR: <i>ON</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7837	KVAPIL	WINDOW + DOOR	PASS	
6	4 RIO VISTA DR			
	ADVANCED CONCRETE			INSPECTOR: <i>ON</i>
OTHER: _____				



**M.A. CORSON & ASSOCIATES, Inc.**  
ARCHITECTURE      STRUCTURAL DESIGN

To: Sewall's Point Building Department

Date: 3/7/06

Re: Rucks Residence  
Lot #7 Indialucie East, Sewall's Point  
Permit #

*FILE*

This office approves of the following:

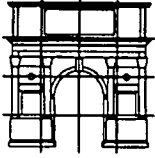
1. It is acceptable that roof girder FG-5 is anchored at the front end with a steel column and at the rear frame wall with two (2) Simpson FGTR's and two (2) Simpson MTS12 straps.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,

  
Mark A. Corson A.I.A.

cc: file



**M.A. CORSON & ASSOCIATES, Inc.**  
ARCHITECTURE      STRUCTURAL DESIGN

To: Sewall's Point Building Department

Date: 3/7/06

Re: Rucks Residence  
Lot #7 Indialucie East, Sewall's Point  
Permit #

This office approves of the following:

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Sincerely,

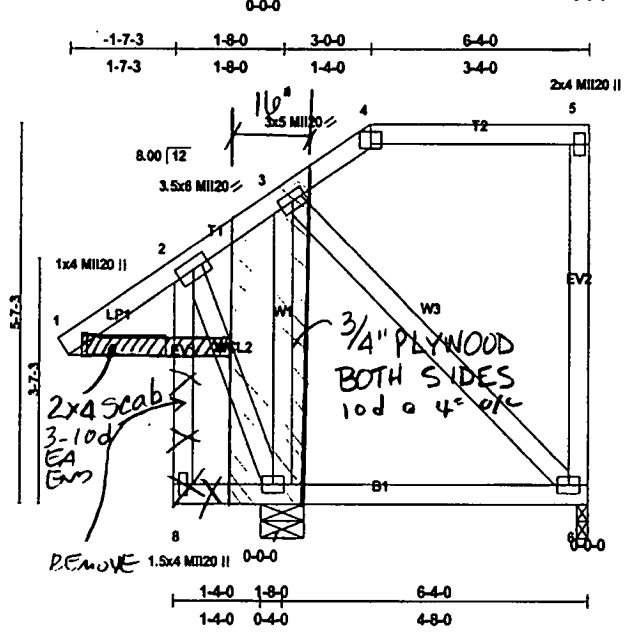


Mark A. Corson A.I.A.

cc: file

Job	Truss	Truss Type	Qty	Ply	MASTERPIECE / RUCKS - GARAGE
05-1863G	T58	ROOF TRUSS	2	1	Job Reference (optional)

Universal Forest Product, Inc. #359, Ft. Pierce, FL 34946, wa 6.300 s Dec 1 2005 MIT Industries, Inc. Thu Feb 16 14:24:28 2006 Page 1



Stub Truss 8"

Plate Offsets (X,Y): [4:0-2-0,0-2-3], [9:0-2-2,0-0-8]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.00	TC 0.41	Vert(LL)	-0.01 6-7	>999	360	MII20	249/190
TCDL 15.0	Lumber Increase	1.25	BC 0.13	Vert(TL)	-0.02 6-7	>999	180		
BCLL 10.0	Rep Stress Incr	YES	WB 0.13	Horz(TL)	-0.00 6	n/a	n/a		
BCDL 10.0	Code	FBC2004/TPI2002	(Matrix)						
								Weight: 57 lb	

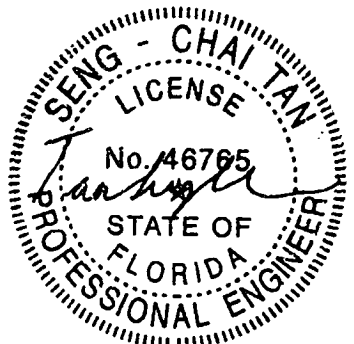
LUMBER	BRACING
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins, except end verticals.
BOT CHORD 2 X 4 SYP No.2	BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
WEBS 2 X 4 SYP No.3	
OTHERS 2 X 4 SYP No.3	

REACTIONS (lb/size) 6=152/Mechanical, 7=641/0-8-0  
 Max Horz 7=272(load case 4)  
 Max Uplift 6=253(load case 5), 7=369(load case 4)  
 Max Grav 6=193(load case 9), 7=641(load case 1)

FORCES (lb) - Maximum Compression/Maximum Tension  
 TOP CHORD 1-2=0/71, 2-3=-13/115, 3-4=-114/67, 4-5=-24/16, 5-6=-150/157, 2-8=-35/8  
 BOT CHORD 7-8=-22/39, 6-7=-132/5  
 WEBS 3-7=-362/110, 3-6=-27/161, 2-7=-104/297

- NOTES
- 1) Unbalanced roof live loads have been considered for this design.
  - 2) Wind: ASCE 7-02; 140mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS automatic zone; cantilever left and right exposed ; Lumber DOL=1.33 plate grip DOL=1.33.
  - 3) Provide adequate drainage to prevent water ponding.
  - 4) All plates are 3x4 MII20 unless otherwise indicated.
  - 5) Refer to girder(s) for truss to truss connections.
  - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 253 lb uplift at joint 6 and 369 lb uplift at joint 7.

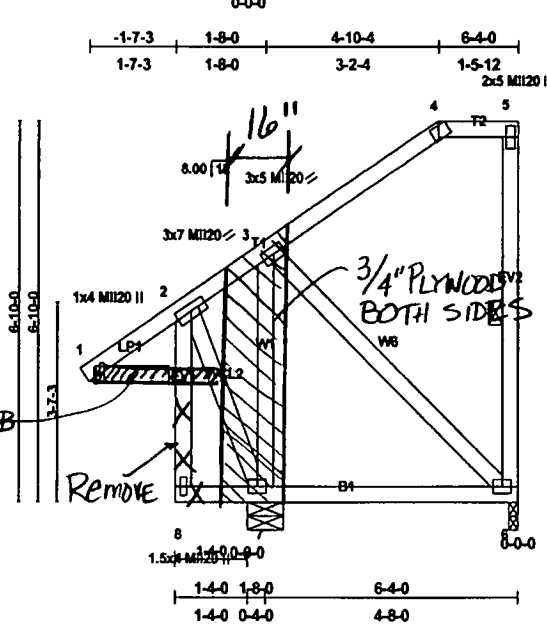
LOAD CASE(S) Standard



MAR 02 2006

Job 05-1863G	Truss T57	Truss Type ROOF TRUSS	Qty 1	Ply 1	MASTERPIECE / RUCKS - GARAGE
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Universal Forest Product, Inc. #359, Ft. Pierce, Fl. 34946, wa 6.300 s Dec 1 2005 Mitek Industries, Inc. Thu Feb 16 14:24:34 2006 Page 1



Stub Truss 8"

10d  
4" o/c

2x4 SCAB  
3-10 d  
EA  
END

REMOVE

Plate Offsets (X,Y): [4:0-2-0,0-0-12], [9:0-2-2,0-0-8]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.00	TC 0.41	Vert(LL)	-0.01 6-7	>999	360	MII20	249/190
TCDL 15.0	Lumber Increase	1.25	BC 0.13	Vert(TL)	-0.02 6-7	>999	180		
BCLL 10.0	Rep Stress Incr	YES	WB 0.13	Horz(TL)	-0.00 6	n/a	n/a		
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)						Weight: 60 lb

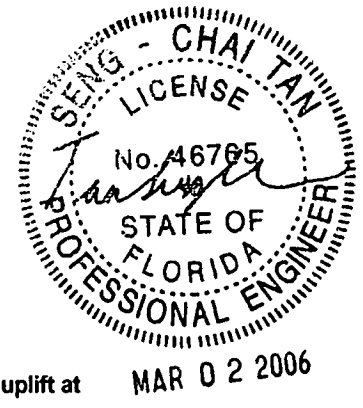
LUMBER	BRACING
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins, except end verticals.
BOT CHORD 2 X 4 SYP No.2	BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
WEBS 2 X 4 SYP No.3	WEBS 1 Row at midpt 5-6
OTHERS 2 X 4 SYP No.3	

REACTIONS (lb/size) 6=152/Mechanical, 7=641/0-8-0  
 Max Horz 7=364(load case 4)  
 Max Uplift 6=373(load case 5), 7=248(load case 4)  
 Max Grav 6=156(load case 9), 7=641(load case 1)

FORCES (lb) - Maximum Compression/Maximum Tension  
 TOP CHORD 1-2=0/71, 2-3=1/116, 3-4=112/19, 4-5=18/16, 5-6=143/168, 2-8=33/6  
 BOT CHORD 7-8=23/42, 6-7=232/29  
 WEBS 3-7=368/0, 2-7=94/269, 3-6=42/301

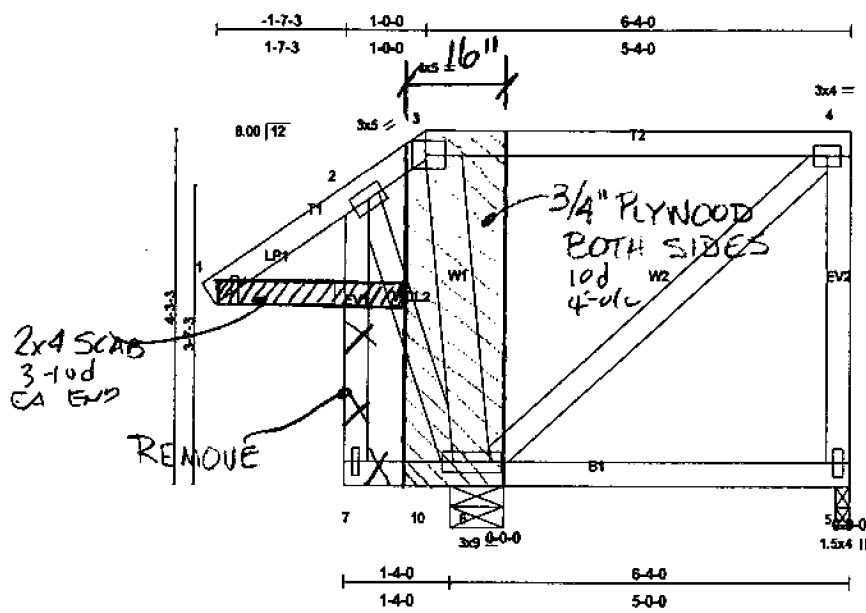
- NOTES
- 1) Unbalanced roof live loads have been considered for this design.
  - 2) Wind: ASCE 7-02; 140mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS automatic zone; cantilever left and right exposed ; Lumber DOL=1.33 plate grip DOL=1.33.
  - 3) Provide adequate drainage to prevent water ponding.
  - 4) All plates are 3x4 MII20 unless otherwise indicated.
  - 5) Refer to girder(s) for truss to truss connections.
  - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 373 lb uplift at joint 6 and 248 lb uplift at joint 7.

LOAD CASE(S) Standard



Job 05-1863G	Truss T59	Truss Type ROOF TRUSS	Qty 2	Ply 1	MASTERPIECE / RUCKS - GARAGE Job Reference (optional)
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Universal Forest Product, Inc. #359, Ft. Pierce, Fl. 34946, wa 6.300 s Dec 1 2005 MiTek Industries, Inc. Thu Feb 16 14:24:20 2006 Page 1



STUB TRUSS 8"

Plate Offsets (X,Y): [3:0-3-0,0-2-0], [8:0-2-2,0-0-8]

LOADING (psf)	SPACING	CSI	DEFL	In (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase 1.00	TC 0.53	Vert(LL) -0.01	5-6	>999	360	MT20	244/190
TCDL 15.0	Lumber Increase 1.25	BC 0.17	Vert(TL) -0.03	5-6	>999	180		
BCLL 10.0	Rep Stress Incr NO	WB 0.17	Horz(TL) 0.00		n/a	n/a		
BCDL 10.0	Code FBC2004/TPI2002	(Matrix)						Weight: 57 lb

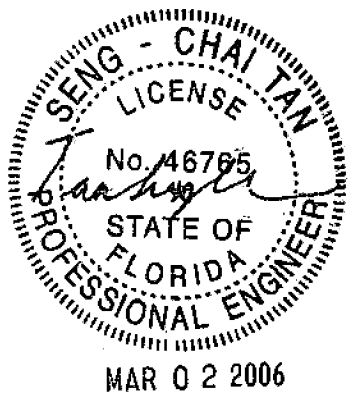
LUMBER	BRACING
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 6-4-0 oc purlins, except end verticals.
BOT CHORD 2 X 4 SYP No.2	BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
WEBS 2 X 4 SYP No.3 *Except* W1 2 X 6 SYP No.2D	
OTHERS 2 X 4 SYP No.3	

REACTIONS (lb/size) 5=162/Mechanical, 6=605/0-8-0  
 Max Horz 6=172(load case 4)  
 Max Uplift5=135(load case 2), 6=681(load case 4)

FORCES (lb) - Maximum Compression/Maximum Tension  
 TOP CHORD 1-2=0/71, 2-3=11/65, 3-4=65/108, 4-5=89/150, 2-7=-93/0  
 BOT CHORD 7-10=0/0, 6-10=0/0, 5-6=0/0  
 WEBS 3-6=-135/170, 4-6=-142/86, 2-6=-216/566

- NOTES
- 1) Wind: ASCE 7-02; 140mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS automatic zone; cantilever left and right exposed ; Lumber DOL=1.33 plate grip DOL=1.33.
  - 2) Provide adequate drainage to prevent water ponding.
  - 3) All plates are 1x4 MT20 unless otherwise indicated.
  - 4) Refer to girder(s) for truss to truss connections.
  - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 135 lb uplift at joint 5 and 681 lb uplift at joint 6.
  - 6) Hanger(s) or other connection device(s) shall be provided sufficient to support concentrated load(s) 69 lb up at 1-0-0 on top chord, and 221 lb up at 1-0-0 on bottom chord. The design/selection of such connection device(s) is the responsibility of others.
  - 7) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).

LOAD CASE(S) Standard  
 1) Regular: Lumber Increase=1.25, Plate Increase=1.00  
 Uniform Loads (plf)  
 Vert: 1-2=-70, 2-3=-70, 3-4=-70, 5-7=-40  
 Concentrated Loads (lb)  
 Vert: 10=25(B)





## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20 N. SP. D.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TRUSS ENGR.

F65 HAS MISSING CONNECTORS @

EAST END. F65 @ FIRST FLOOR

NEEDS SEPARATION FROM BLOCK BEARING  
POINT,

NEED ENGR. DETAIL OF BRACKETS @ WEST  
END OF F65 & EAST SIDE T39,

F68 NOT NAILED (2 PLY)

F610 NOT NAILED (3 PLY)

MISSING LEDGER @ F14 SOUTH END-

NOT READY FOR INSPECTION

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/10

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/10, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7901	ALLMAN	FINAL WINDOWS	FAIL	
8	45 RIO VISTA O/B			INSPECTOR: <i>OM</i>
8073	SHAW	SCREEN RM REPAIR FINAL	PASS	CLOSE
12	78 N SEWALLS Pt STRUCTURE CON			INSPECTOR: <i>OM</i>
6812	MADER	INSULATION	PASS	
4	106 ABBIE COURT BUFORD			INSPECTOR: <i>OM</i>
<del>7904</del>	<del>BUCKS</del>	<del>SUB-STRUC</del>	<del>PASS</del>	
13	20 N. SEWALLS PT. MASTER PIECES	WINDOW + DOOR BUCKS TRUSS EN	FAIL FAIL	INSPECTOR: <i>OM</i>
7883	DENNLSON	IN PROGRESS	PASS	
3	49 W HIGH POINT SQUARE ROOFING			INSPECTOR: <i>OM</i>
8070	ENGELSTAD	FINAL GARAGE DOOR	FAIL	
9	23 LANRANA LA O/B			INSPECTOR: <i>OM</i>
7209	MOSCATELLO	FINAL ROOF	PASS	CLOSE
6	6 PINEAPPLE LA ENERGY COATINGS			INSPECTOR: <i>OM</i>

OTHER: 12. S. S. Pt. PERMIT NOT TO BE  
129 S. S. Pt. WAIVED TO TREE  
FINAL ELEC. PASS *OM*





7764

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 20 N.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TRUSS ENGR. / WOOD BUCKS

NEED ADDITIONAL CONNECTORS  
AT TRUSS AT MAIN ENTRY  
REAR PORCH & WEST SIDE  
OF L.R. ON SOUTH END.

NEED LETTER FROM WDW MANU.  
ADDRESSING LACK OF FASTENERS  
@ WDW SILLS.

NEED TRUSS ENGR LTD ADDRESSING GAP  
@ TOP CHORD BEARING OF F-15 TRUSSES NORMEN.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/15

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/15, 2006 Page D of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	McCormick	Sheathing	PASS	
7	59 N. River Rd	Footing	PASS	EXTENSION SOUTH RETAINING WALL INSPECTOR: <i>OW</i>
	Pine Orchard Blvd			
<del>7764</del>	<del>RUEKES</del>	<del>TRUSSING</del>	<del>FAIL</del>	
5	20 N. Sewall's Pt	Subsiding	PASS	INSPECTOR: <i>OW</i>
	Masterpiece Bldgs			
7876	Silas	Footer	PASS	FOR WATERFALL FEATURE
6	10 Castle Hill Way			INSPECTOR: <i>OW</i>
	Statewide			
7819	T. D. Vics	PILING TRANS.		POSTPONE TO FU
	12 Crane's Nest	(PARTIAL) CAPS		
	Advanced Concepts			INSPECTOR:
7948	Fredrick	Subsiding	FAIL	
2	32 S. Sewall's Pt			INSPECTOR: <i>OW</i>
	O/B			
7964	Burgalis	Final Rd Rap	PASS	CLOSE
8	2 Peewinkle			INSPECTOR: <i>OW</i>
	Custom Built			
7917	Lewinger	Framing	PASS	
1	8 N. Via Lucania			INSPECTOR: <i>OW</i>
	Stall Construction			

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/17, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7819	T. DIKLS	PARTIAL PLUMB		
1	12 CRANES NEST ADVANCED CONCRETE	CAPS		INSPECTOR:
<del>7764</del>	<del>ROCKS</del>	STRAPPING	PASS	
7	70 N. SEWALLS Pt MASTERPIECE BLDGS	AFTER 10:00 TRUSS ENGR.	PASS	INSPECTOR: <i>OW</i>
8075	MORROW	FINAL SEAWALL	PASS	CLOSE
5	24 S. SEWALLS Pt HARBOR BAY MARINE			INSPECTOR: <i>OW</i>
TREE	FETNER	TREE		
2	2 HIGH POINTE RD			INSPECTOR:
7993	GIACHINO	PARTIAL TIE BEAM	PASS	CAR/1ST FL. SW
8	11 WENDY LANE SEA GATE BLDGS			INSPECTOR: <i>OW</i>
8066	WARNER (ROD BRACKET)	TINTAG & METAL		
<del>7764</del>	4 DELANO AN AMER ROOFING	IN PROGRESS LATE MORN.		INSPECTOR:
8103	BONIFACE	TIE BACK	FAIL	
6	63 S. RIVER RD BWE WATER MARINE			INSPECTOR: <i>OW</i>

OTHER: \_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20 N. S. P. R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

A/C ROUGH - NEED CONTRACTOR LAYOUT  
ELEC ROUGH - NEED GROUNDING  
FOR COPPER WATER PIPING &  
GAS PIPING.


PLUMBING ROUGH - PASSED.

GAS ROUGH - NEED GAS PERMIT  
& LAYOUT ON SITE.

FRAMING - RESCHEDULE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/19



INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/19, 2006 Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7764</del>	<del>ROCKS</del>	<del>FRAMING</del>	<del>FAIL</del>	
4	20 N. SEWALLS PT	A/C ROUGH	FAIL	INSPECTOR: <i>OW</i>
	MASTERPIECE	ELEC ROUGH	FAIL	
7764	11	PUMBINA RAIL	PASS	
4	11			INSPECTOR: <i>OW</i>
	11			
3099	ROCKS	GAS ROUGH	FAIL	
4	20 N. SEWALLS PT			INSPECTOR: <i>OW</i>
	PROPANE DISCOUNTERS			
8115	SMITH	FINAL GEN ELEC	FAIL	
3	7 LOFTING WAY		PASS	REINSPECTED INSPECTOR: <i>OW</i>
	ALFRED BRESSAN			
8155	SCHECODNIC	ROUGH GAS	FAIL	
11	12 S. SEWALLS PT			INSPECTOR: <i>OW</i>
	FERRER GAS			
7938	Bonifac	FINAL POOL	PASS	CLOSE
10	63 S. River Rd.	FOUNTAIN		INSPECTOR: <i>OW</i>
	ADVANTAGE POOL	LATE MORN		
7710	Bonifac	Final Pool	PASS	CLOSE
10	63 S River Rd			INSPECTOR: <i>OW</i>
	ADVANTAGE	LATE MORN		

OTHER: \_\_\_\_\_



7764

# TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

## CORRECTION NOTICE

ADDRESS: 20 N.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same:

ELEC. ROUGH - PASSED  
A/C ROUGH

FRAMING


PINCHED DUCT AT 2<sup>ND</sup> FL. - RETURN AIR FROM N.E. BR.

FRAME IN FOR ATTIC ACCESS - MASTER SIDE PLATFORM FOR AHU SERVICE - MASTER ENGR. LTR - ADDRESSING AHU DEAD LOAD ON SOUTH SIDE.

TIGHTEN ALL ANCHOR BOLT NUTS/PLATES/LEVER WAS - ROUGH - STRAP & SECURE WAS PIPING IN ATTIC.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/24

  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/24, 2006

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8161	RIMER	FOOTING RET WALL	PASS	
<del>71</del> 1	29 S RIVER RD BEAR DEV.	FIRST PLEASE		INSPECTOR: <i>OM</i>
796	Elliott	Final window	PASS	CLOSE
5	8 Lagoon Is. Ct Gulfstream Al			INSPECTOR: <i>OM</i>
6833	FOSTER	SEAWALL CAP	FAIL	
3	7 TIMOR ST. CUSTOM BUILT.			INSPECTOR: <i>OM</i>
7386	McCormick	Footing Steel Inc.		
6	59 N. River Rd Pine Orchard Bldg			INSPECTOR:
7016	McCormick	Demo HOUSE	PASS	CLOSE
6	59 N River Pine Orchard			INSPECTOR: <i>OM</i>
1584	Schecodnic	Plumb + Framing	FAIL	
2	12 S Sewalls Pt Driftwood Homes	ELEC. ROUGH FIRST PLEASE	PASS	INSPECTOR: <i>OM</i>
<del>7161</del>	<del>Rucker</del>	<del>Plumb + Framing</del>	<del>FAIL</del> <del>FAIL</del>	
4	20 N Sewalls Pt Masterpiece	GAS ROUGH ELEC. ROUGH	FAIL PASS	INSPECTOR: <i>OM</i>
OTHER: _____				



7764

## TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

## CORRECTION NOTICE

ADDRESS: 20. N. SPL.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

SOFFIT.  
ENGINEER  
PROVIDE LETTER ADDRESSING  
DELETION OF CONT. SOFFIT  
VENT

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/28

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**

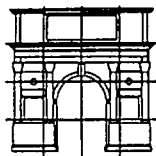


# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/28, 2006 Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7959	MCCORMICK	Dock ONLY	PASS	
14	59 N. RIVER RD WILCO CONST.			INSPECTOR: <i>[Signature]</i>
7386	McCormick	Ret. Wall Final	PASS	CLOSE
14	59 N. River Rd Pine Orchard			INSPECTOR: <i>[Signature]</i>
<del>7118</del>	<del>STOPPE</del> <del>Palms St</del> <del>Stuart Road</del>	<del>Drainage Insp.</del>	<del>Cancel</del>	
6067	Town Hall	final fence	PASS	CLOSE
12	Park across street Stuart Fence			INSPECTOR: <i>[Signature]</i>
6194	McSweeney	Final flat roof	PASS	CLOSE
11	16 Miramar A+P			INSPECTOR: <i>[Signature]</i>
<del>7761</del>	<del>PUCES</del>	<del>Partial left</del> <del>stucco insp.</del>	<del>PASS</del>	<del>(PARTIAL)</del>
15	20 N. Sewall Pt Masterpiece	INSULATION	PASS	INSPECTOR: <i>[Signature]</i>
7819	Tidikis	Column Steel	PASS	
1	12 Crane's Nest Advanced Concepts	<i>(Please see letter)</i>		INSPECTOR: <i>[Signature]</i>
OTHER: _____				



**M.A. CORSON & ASSOCIATES, Inc.**  
ARCHITECTURE      STRUCTURAL DESIGN

To: Sewall's Point Building Department

Date: 4/28/06

Re: Rucks Residence

Lot #7 Indialucie East, Sewall's Point

Permit #

#7764

20 N. SPR.

This office approves of the following:

1. It is acceptable that the soffit venting is eliminated and no additional attic venting is required.

Thank you for your time and consideration. If you have any questions please call.

Sincerely,

Mark A. Corson A.I.A.

cc: file

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5-17, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1801	Cummings	Tie beam	FAIL	
4	83 S. River Rd Elias Mgmt			INSPECTOR: <i>OM</i>
<del>1184</del>	<del>River</del>	<del>Back wrap</del>	<del>FAIL</del>	<del>INSPECTOR: <i>OM</i></del>
8	20 N. SPR Masterpiece	Partial front line <small>Call John if questions 215-9614</small>		INSPECTOR: <i>OM</i>
8226	Tschanner	Rintab	PASS	
6	15 Emancipa Way Denmark	Nail shooting		INSPECTOR: <i>OM</i>
<del>718</del>	<del>Raab</del>	<del>Final dock</del>	<del>DUPLICATE</del>	<del>INSPECTOR: <i>OM</i></del>
<del>    </del>	<del>22 Simons St</del>	<del>    </del>	<del>    </del>	<del>    </del>
7380	Bonface	Final	PASS	WAITING FOR FINAL # CLOSE
4A	635 River Rd Wilson 288-2000-			INSPECTOR: <i>OM</i>
Tree	Dominica	Tree	PASS	
9A	6 Feldway Dr Carlos			INSPECTOR: <i>OM</i>
777	Cathy	Re-inspect <small>Driveway</small>	PASS	
4B	47 S. Sprd Driftwood			INSPECTOR: <i>OM</i>

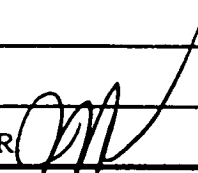

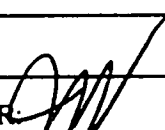
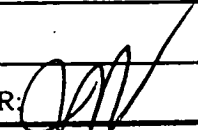

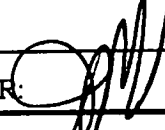
OTHER: \_\_\_\_\_

*16 RIDGEVIEW*

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5-22, 2006 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8105	Galinas	Column		
1	26 S SR Duftwood	(AM)		INSPECTOR:
7718	Schoppe	Insulation	PASS	
2	9 Palm Rd A+P			INSPECTOR: 
8229	McCormick	Hot mop	PASS	
7	59 N River Rd Heaton Roofing			INSPECTOR: 
<del>7718</del>	<del>Rucker</del>	<del>Partial Latch</del>	<del>PASS</del>	
6	20 N S Rd Masterpiece			INSPECTOR: 
8095	Cary	Electrical	PASS	
3	76 SR Rd (LEE CHASE) Demorest	Plumbing FRAMING	PASS FAIL	INSPECTOR: 
8197	Schoppe	Rough interior	PASS	
2	9 Palm Rd Propane Sew			INSPECTOR: 
8165	GREIST	Underground plumb.	PASS	
5	10 Emmita Way OB	sink		INSPECTOR: 
OTHER:				
MC	19 N. VIA LUCINDA	DRY-IN	FAIL	
4				

39 N. RIVER DICK REPAIR?  
ROOF?

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5-24, 2006 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>764</del>	<del>Ruck</del>	<del>Ruck</del>	<del>PASS</del>	
9	20 NSPR Masterpiece			INSPECTOR: <i>OM</i>
8123	Lulok	Underground Plumbing	PASS	
1	20 E. High Pt Rd Seagate	Beam insp.	FAIL	INSPECTOR: <i>OM</i>
8158	Engelstad	Tin-tag final	PASS	CLOSE
5	23 Lantern Rd Pacific Roofing	Free Pdr ROOF FINAL	PASS	INSPECTOR: <i>OM</i>
8104	Miraglia	Final	FAIL	
10	66 N. SPR Pacific Roofing	Free Pdr		INSPECTOR: <i>OM</i>
Tree	Lamb	Tree	PASS	
4	110 S SPR			INSPECTOR: <i>OM</i>
7576	Silas	Driveway Pour	PASS	(PARTIAL)
11	10 Castle Hill Way Statewide - Gene 473-0271		call before	INSPECTOR: <i>OM</i>
<del>8100</del>	<del>PASS</del>	<del>CANCEL</del>		
	<del>5 WORTH CT.</del>			
	<del>ALL-AMERICAN</del>			INSPECTOR:

OTHER:

39 N. RIVER

DOOR FIXED?



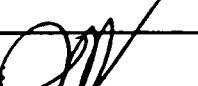

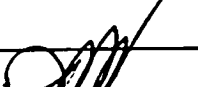
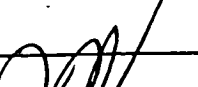
YES WILL SEE  
VALUABLE TO PAY FOR  
PERMIT -

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 5-26, 2006

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7964</del>	<del>Kirk</del>	<del>Final Lotts</del>	<del>PASS</del>	
10	20 NSP Rd Masterspiece			INSPECTOR: 
Tree	Hammock	Tree	PASS	
6	25 Rio Vista Dr Bernies			INSPECTOR: 
8130	GREINER	Final fence	PASS	CLOSE
3	37 E High St Shurt Fence			INSPECTOR: 
7837	KVAPIL	Elec rough	FAIL	
6	4 Rio Vista Dr Advanced			INSPECTOR: 
8226	Schanner	Final roof.	FAIL	
7	15 <sup>th</sup> Marita Way Denmark			INSPECTOR: 
MC 0002		FINAL ROOF	FAIL	
6A	19 N. VIA LUCINDIA SEASIDE ROOFING			INSPECTOR: 
				INSPECTOR:

OTHER: \_\_\_\_\_



7764

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 20 N. SPR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

Dry-IN

MISSING DAKE FLASHING @  
1ST LEVEL ROOF ON SOUTH  
SIDE PORCH

MISSING VALLEY FLASHING @  
INTERSECTION OF GAR. NORTH  
SIDE,

NEED CRICKET AT INTERSECTION  
OF NORTH ROOF GARAGE AT  
RAISED ENTRY

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/2

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri JUNE 2, 2006

Page 1 of     

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8216	CARY	UG TANK & LINES	FAIL	
4	76 S. RIVER PROP. DIST.			INSPECTOR: <i>OM</i>
<del>1714</del>	<del>Rudes</del>	<del>Drain</del>	<del>FAIL</del>	
9	20 N. SPR Masterpiece	John 215-9014		INSPECTOR: <i>OM</i>
8227	Armstrong	Fence repair	PASS	CLOSE
2	3 Bridgeland Dr O/B			INSPECTOR: <i>OM</i>
8226	Behenan	Final Roof	PASS	CLOSE
7	15 Emarita Way Denmark			INSPECTOR: <i>OM</i>
1944	Rivera	Fence	FAIL	NO PERMIT
6	3 Emarita Way O/B			NOT READY INSPECTOR: <i>OM</i>
1946	Rivera	Driveway Pavers	FAIL	NO PERMIT
6	3 Emarita Way O/B			NOT READY INSPECTOR: <i>OM</i>
1830	DeSantis	generator <sup>FINAL</sup> elec	PASS	CLOSE
10	82 S. Sewalls Pt O/B			INSPECTOR: <i>OM</i>

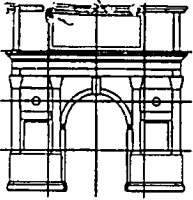
OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

6/5





*M.A.C.*

RECEIVED  
JUN 12 2008  
BY: \_\_\_\_\_

20 NSPR. FILE

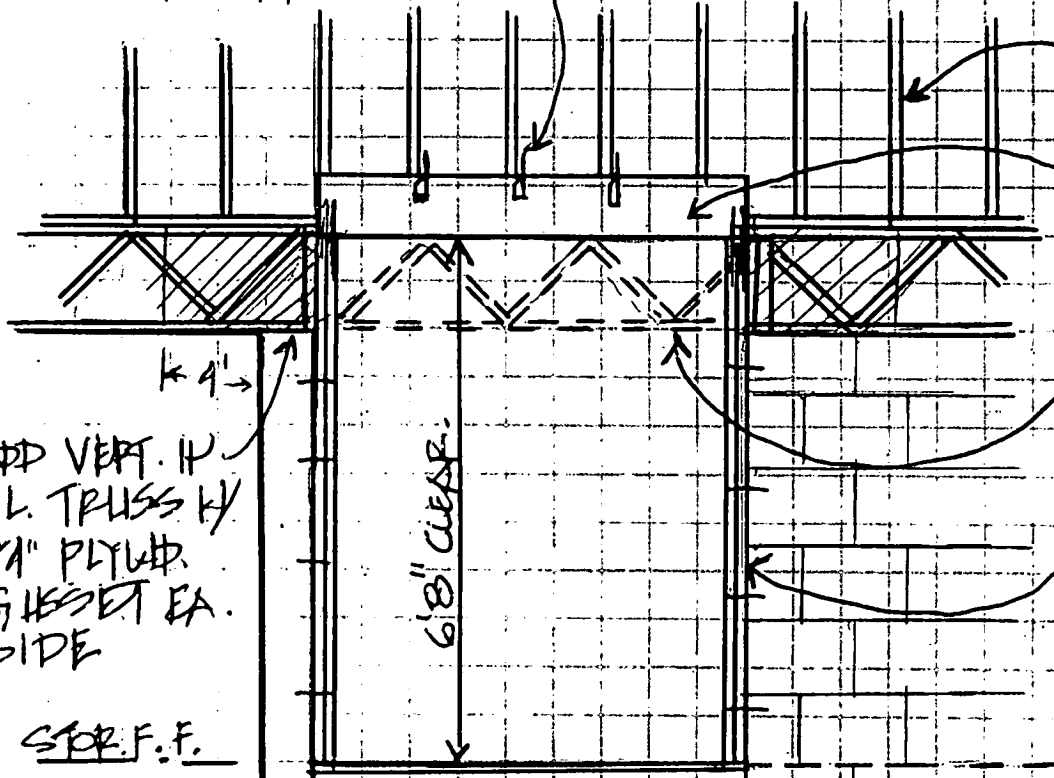
FUCKS RESIDENCE

#1 INDIA WALKIE EAST

6/8/06

M.A. CORSON & ASSOCIATES, Inc.  
ARCHITECTURE • STRUCTURAL DESIGNS

SIMPSON HZ.5 CLIPS  
SUD P HDR.



EXIST. 2ND FL. FRAME  
WALL & BOT. PLATE

NEW (3) 2x8 HDR.  
UNDER EXIST. WALL

REMOVE PORTION OF  
EXIST. FL. TRUSS

ADD VERT. 1/2  
FL. TRUSS BY  
3/4\" PLYWOOD  
GUSSET EA.  
SIDE

DBL. 2x6 SUPPORT  
STUDS FROM NEW  
HDR. TO CONC. 1ST  
FL. W/ (2) LSTAIRS  
STRAPS EA END

STOR. F.F.

BLK WALL BEYOND

TAPCONS (3/16\" x 6\")  
@ 24\" O.C. (SUPPORT  
STUDS TO WALL)

0\" F.F.

9 R. @ 6.8\"  
(STEPS TO ATTIC  
STOR. OVER GARAGE)

FLOOR TRUSS REPAIR DETAIL

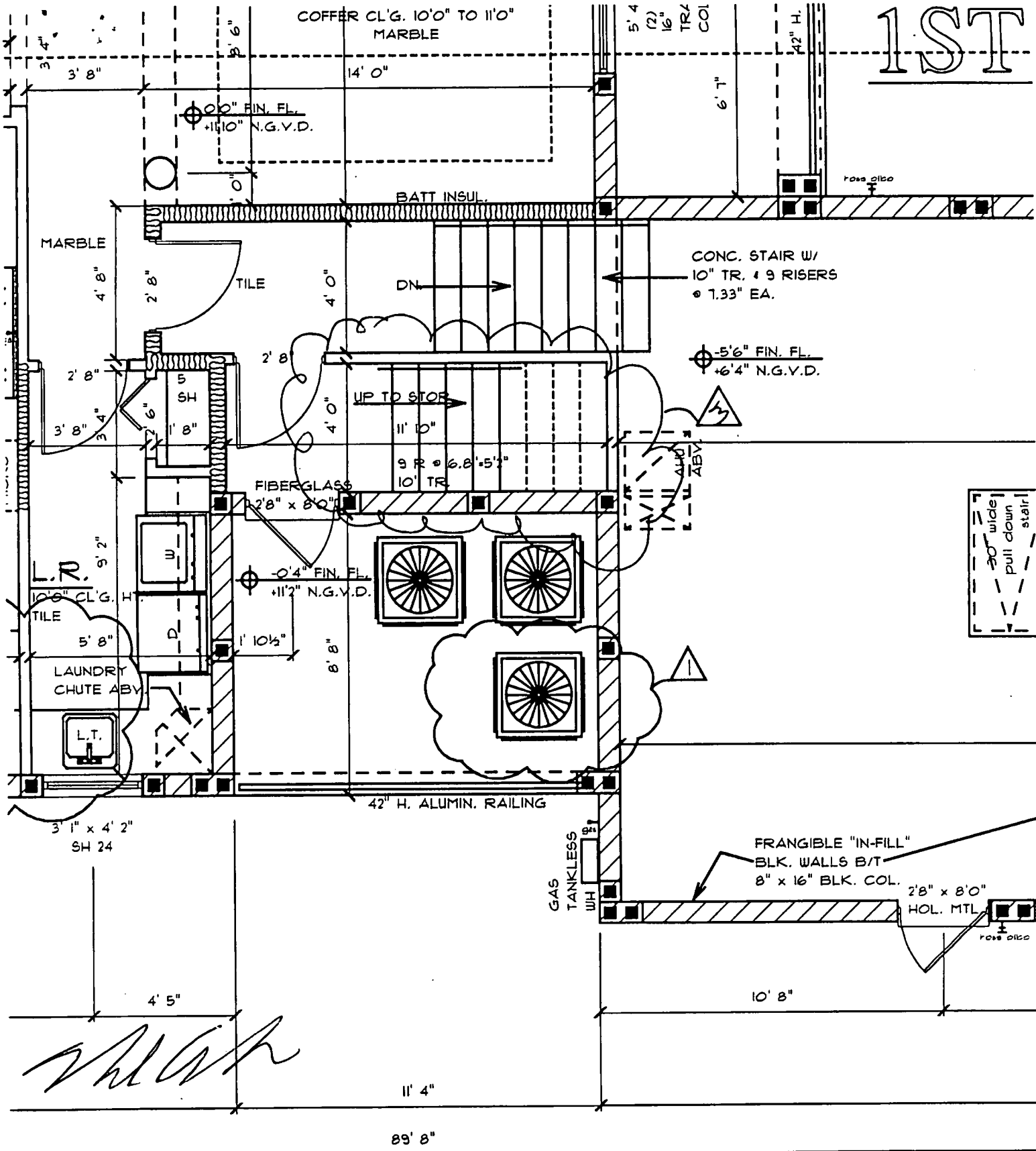
9.06.8

NO SCALE

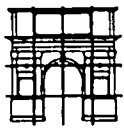
1ST

COFFER CL'G. 10'0" TO 11'0"  
MARBLE

5'4 (2) 16" TR/ COL



*Handwritten signature*



**M.A. CORSON & ASSOCIATES, INC.**  
 ARCHITECTURE • STRUCTURAL DESIGN  
 844 E. Ocean Blvd. Suite C Stuart, FL. 34994  
 (772) 223-8227 - Fax 223-8234

PICKS RESIDENCE

3 REV. 6/8/06

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-14, 2006 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<i>Tree</i>	<i>Miele</i>	<i>Tree</i>	<i>PASS</i>	
<i>2</i>	<i>6 E. High Pt Rd</i> <i>Prof. Tree</i>			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7154</del>	<del>EVCS</del>	<del>DRY-IN</del>	<del>PASS</del>	
<i>9</i>	<i>20 N. S.P.R.</i> <i>MASTERPIECE</i>			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<i>8123</i>	<i>Luloh</i>	<i>REINSPECT</i>	<i>PASS</i>	<i>SLAB WAS POURED</i> <i>DID NOT INSPECT</i> <i>FORM MISSING TOP</i> <i>STEEL ON EDGE ON</i>
	<i>20 E. HIGH PT</i> <i>SEABATE</i>	<i>PORCH SLAB</i>		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	<del>66-5-5A</del>			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

8278



# Department of Environmental Protection

Jeb Bush  
Governor

Marjorie Stoneman Douglas Building  
3900 Commonwealth Boulevard  
Tallahassee, Florida 32399-3000  
Ms 105  
Phone 850-245-2606  
Fax 850-245-2645

David B. Struhs  
Secretary

## Notice of Mean High Water Survey Filing

The Mean High Water Survey noted below has been filed in the Bureau of Surveying and Mapping public repository. The Mean High Water Survey File Number: **3678**

Survey Date: 6/30/2005 County: MARTIN

Waterbody INDIAN RIVER

Job Number **8278**

Project: SEWALLS POINT

SEC: 36 TWP: 37S RNG:41E

USGS 7.5 Minute Quad Map Name ST LUCIE INLET

Surveyor's Name Robert Bloomster , PSM

PSM # 4134

Business Name: Bloomster Prof.Land Surveyors, Inc.

Mailing Address: 791 NE Dixie Highway

Jensen Beach, FL 34957-000

Phone (772) 334-0868

FAX: (772) 334-5283

For the Bureau of Surveying and Mapping

8/23/2005

Date of Filing

"Protect, Conserve and Manage Florida's Environment and Natural Resources"

[www.dep.state.fl.us](http://www.dep.state.fl.us)  
Printed on recycled paper.



7764

# TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

## CORRECTION NOTICE

ADDRESS: 20 N.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

### POWER RELEASE

- NEED POWER RELEASE FORM,
- TRIM OUT ALL V. BOXES, FIXTURES  
ETC WITHIN 7' OF FLOOR,
- WIRE NOT TAPE ALL OTHERS.
- TRIM RECEPT IN STOR. OVER GAR,
- " LIGHT FIXTURE ATTIL OVER  
MASTER -
- INSTALL PLATFORM ON SERVICE  
SIDE OF AHU'S,
- WATERPROOF BOX @ SOUTH AHU  
RELENT,

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

CKT BREAKERS FOR A/C OVENIZED.  
EQUIP ON

DATE: 7/17

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-17, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8186</del>	<del>Kiplinger</del>	<del>INSULATION TO BOAT HOUSE</del>		<del>CANCEL</del>
2	143 S River Rd Driftwood			INSPECTOR: <i>[Signature]</i>
7118	Scheppe	AC Fan		
5	9 Palm Rd Asp	POWER RELEASE FAIL		INSPECTOR: <i>[Signature]</i>
<del>3086</del>	<del>Cary</del>	<del>tank in line</del>	<del>PASS</del>	<del>PASSED ON 8/17</del>
7	116 S River Rd Propane Disc.			INSPECTOR: <i>[Signature]</i>
<del>776</del>	<del>Puchon</del>	<del>Musky</del>	<del>FAIL</del>	
11	20 NS Pld Masterpiece			INSPECTOR: <i>[Signature]</i>
8137	Harte	Final - door window	PASS	CLOSE
1	39 High Pt 1st Fl. Devel			INSPECTOR: <i>[Signature]</i>
7975	Shaw	Fp Progress Fail	FAIL	
4	15 Island Rd all am roof.			INSPECTOR: <i>[Signature]</i>
		FENCE ON NORTH		
	133 S. RIVER RD			INSPECTOR:

OTHER: \_\_\_\_\_



7764

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 20 N. S. P. R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POWER RELEASE

TRIM RECEPTACLE 2ND FL.  
N.W. BEDROOM.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/17

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-19, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8186</del>	<del>Kiplinger 113 Silver Rd Driftwood</del>	<del>INSULATION IN BOATHOUSE</del>		<del>Called to Friday</del>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7975	Shaw	tile in progress	PASS	
2	15 Island Rd All Am Roof.			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8010	Dempsey	piling	PASS	CLOSE
7	38 S Sewall St OB			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8088	Mader	UG TANK & LINE	PASS	40 hrs sp fee paid
3	106 Abbie Ct Terrell Gas			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7764</del>	<del>Ruckes</del>	<del>Meter</del>	<del>FAIL</del>	
9	20 NS Rd Master piece			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7718	Schoppe	Temp etc	PASS	CALL P.L.
1	9 Palm Rd APP Meter	POWER TEL.		INSTALL METER
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
			DONE	STOP WORK
8	8 RIO VISTA (DIRTY POOL)			ORDER
				INSPECTOR: <i>OM</i>
OTHER:				
12	92 N.S.P.L.	STOP WORK ORDER		



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 7-21, 2006

Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8186	Kiplinger	INSULATION IN BOATHOUSE	PASS	
3	143 S River Rd Dunthorpe			INSPECTOR: <i>[Signature]</i>
7934	Parks	Pool final	FAIL	
4	3 Mindow St			INSPECTOR:
7813	Parks	Pool wall - Porch level	PASS	
4	3 Mindow St D.B. (Parks)	Porch & addition		INSPECTOR:
6798	Parks	Concrete Deck	PASS	Permit is expired
4	3 MINDORO St OB			CLOSE INSPECTOR:
0007	O'Neil	Final - elec	FAIL	
MC	9 Lofting Way Reiner			INSPECTOR: <i>[Signature]</i>
<del>1165</del>	<del>Parks</del>	<del>Meter</del>	<del>PASS</del>	<del>We have power felt</del>
10	20 NS Rd Masterpiece			INSPECTOR: <i>[Signature]</i>
7786	Walker	Slab inspection	FAIL	
1	Le Cranes Nest Janiero	(#) AM please		INSPECTOR: <i>[Signature]</i>

OTHER:

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-18, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7164</del>	<del>Bucks</del>	<del>Final</del>	<del>PASS</del>	<del>Close</del>
4	20 N. Sewalls Pt Masterpiece			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8216	Cary	Final gas	PASS	Close
3	76 S. River Rd Propane DISC.			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7764</del>	<del>Bucks</del>	<del>Finals Electric</del>	<del>CANCEL</del>	
	<del>20 N. Sewalls Pt Masterpiece</del>	<del>plumbing A/C</del>		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7819</del>	<del>Tidikis</del>	<del>tie beam</del>	<del>Cancel</del>	
<del>LAST</del>	<del>12 Crane Nest Artaxied</del>			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7584	Scheednid	tin tag metal	PASS	PER ENBR LTD SUBMITTED TO APPROVING DAY-IN & METAL.
	12 S. Sewalls Pt Pacific Roof.			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0081		POOL ENCLOSURE	FAIL	
	118 N.S.P.R.			INSPECTOR: <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20. N.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL SFR

GROUT BASE TOILETS

FINISH LAUNDRY CHUTE.

FINISH HANDRAIL & RAILINGS

NEED GARAGE FLOOD RELIEF VENTS.

NEED ELEVATION CERTIFICATE.

NEED GFCI AT ISLAND RECEPT. (EAST SIDE)

MISSING RAILING REAR KIT. STAIRS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/23

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-23, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
C.O	Silas	railing final	PASS	ISSUE C.O.
155	10 Castle Hill Gene Eichelberger			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7670	Elder	Pool final	PASS	CLOSE
4	4 Marguerita Way O/B	475-5067 <sup>CELL</sup>		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8217	Elder	Fence final	PASS	CLOSE
4	4 Marguerita Way O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7670</del>	<del>Rucks</del>	<del>Final</del>	<del>PASS</del>	
3	20 N. Sewalls Pt Masterpiece			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8402	Muir	Final	PASS	CLOSE
2	14 Peruvinkle La Folding Shutter			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8099	Rucks	Final-reins	PASS	CLOSE.
3	20 N. Sewalls Propane Disc			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7819	Tidikis	tie beam	PASS	
6	12 Cranes Nest Advanced	LAST 11:30		INSPECTOR: <i>[Signature]</i>

OTHER:

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-25, 2006 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8409	VAN FOSSEN	PPY-IN	FAIL	
1	158 S. RIVER RD.	(FIRST THING)	283-7683	
	PACIFIC	<del>485-8993</del>		INSPECTOR: <i>[Signature]</i>
8404	Danigan	uban, SPA	FAIL	
8	27 N River Rd			
	SDH			INSPECTOR: <i>[Signature]</i>
<del>6080</del>		<del>ROOF REMOVAL FINAL</del>	<del>CANCEL</del>	
2	615. ROAD			
	PACIFIC			INSPECTOR: <i>[Signature]</i>
8162	McCormick	Pool deck	FAIL	
7	59 N. River Rd			
	Advantage			INSPECTOR: <i>[Signature]</i>
Tree	Williams	Tree	PASS	
3	110 Henry Sewall Way			
	OB			INSPECTOR: <i>[Signature]</i>
<del>1112</del>	<del>Wick</del>	<del>Final</del>	<del>Final</del>	<del>Final</del>
5	20 N. Sewalls Pt	215-9012		
	Masterpiece	BOB		INSPECTOR: <i>[Signature]</i>
<del>8163</del>	3 OAKWOOD	ROOF FINAL	PASS	CLOSE
4	<del>19</del>			
	TAYLOR			INSPECTOR: <i>[Signature]</i>
OTHER:		POOL ENCLOSURE		
UC 0081	118 N.S. P.R.		FAIL	
6				<i>[Signature]</i>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-27, 2006 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7338	McCormick	Elec rough	FAIL	
4	59 N River Rd Pipe opening forward Elec			INSPECTOR: <i>AM</i>
<del>8203</del>	<del>Van Vonne</del>	<del>tile in progress</del>	<del>CANCEL</del>	
	<del>15 S. Ridgewood Rd</del>			INSPECTOR:
	<del>All Am Roof. Contr</del>			
8201	Reib	Final	FAIL	
10	4 Baker St Coastal Plum			INSPECTOR: <i>AM</i>
0089		DRY-IN	PASS	
12	1 RIDGELAND CT.	ROOF REPAIR		INSPECTOR: <i>AM</i>
0093		FENCE FINAL	PASS	CLOSE
9	133 SOUTH RIVER			INSPECTOR: <i>AM</i>
<del>0102</del> <del>0088</del>	TEPLITZ	ROOF IN PROGRESS	PASS	
1	25 N. RIVER <del>to 15. ROAD</del>			INSPECTOR: <i>AM</i>
0081		POOL ENCL.	PASS	
2	118 N. S.P.R.			INSPECTOR: <i>AM</i>

OTHER: ~~FINAL~~ ~~MISS~~ ~~READY FOR C.O.~~  
 7764 20 N. S. P.R.  
*AM*

FRANK 529-8903  
 FTZ PATRICK

**TOWN OF SEWALL'S POINT**  
**Building Department**  
**One South Sewall's Point Road**  
**Sewall's Point, Florida 34996**

**POWER RELEASE AGREEMENT: PN: SFR-7764**  
**(To be submitted at final electrical inspection in order to turn on electric service)**

Owner: Brian & Sandy Rucks Address: 20 N. Sewall's Point Road Stuart FL 34996  
Project Address: 20 N. Sewall's Point Rd. Legal: Lot: 7 Block:        Subdivision: India Lucie East  
General Contractor: Masterpiece Builders Lic/Cert. No.: CGC048543  
Address: 408 Colorado Ave Stuart FL 34994 Tel: (772) 283-2096 Fax: (772) 283-2770  
Electrical Contractor: Haldane Electric Lic/Cert. No.: EC0001346  
Address: 2130 SW Hayworth Ave Tel: (772) 336-2233 Fax: (772) 336-1414  
Port St. Lucie FL 34953

**WHEREAS**, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

**WHEREAS**, the above named responsible persons, firms or corporations have requested an electrical hook-up of meter for the purpose of hot checking house at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

**NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:**

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this 17<sup>th</sup> day of July, 2006.

Jeffrey Bewers  
SIGNATURE OF GENERAL CONTRACTOR

Sandy Rucks  
SIGNATURE OF OWNER

Gene Simmons  
SIGNATURE OF ELECTRICAL CONTRACTOR

Gene Simmons  
GENE SIMMONS, BUILDING OFFICIAL



**FINAL**

# Radio Dispatched

"24-Hour Service"

Corporate Center

P.O. Box 220928, West Palm Beach, FL 33422-0928

**1-800-285-PEST (7378)**

## CERTIFICATION OF PREVENTIVE SUBTERRANEAN TERMITE TREATMENT

Owner		Block	Bldg.#
Lot	7		
Sub-Division	SEWELLS POINTE		
Street Address	20 N SEWALLS POINT RD		
City	STUART, FL 34996-6639		
General Contractor	MASTERPIECE BUILDERS		
Sub Contractor			
			Date
			10/18/06

Comments ACCOUNT #313240

During the term of your service agreement, any further treatment necessary due to infestation of subterranean termites (including Formosan Termites) will be performed free of charge. Any structural damage necessitating repairs (up to \$1,000,000, see details on subterranean termite service agreement) that is caused by the subterranean termites (*Reticulitermes flavipes*, *Reticulitermes virginicus*, *Reticulitermes hageni*, *Prohinotermes simplex*, and *Coptotermes formosanus-Formosan Termite*) excluding *Nasutitermes costalis* (Tree Termite) will be paid for by Hulett Environmental Services. Hulett Environmental Services will annually reinspect the property only at your request. The service agreement term shall be one (1) year from the initial date of treatment. The homeowner shall have the option of extending the service agreement annually (after the first year) for no less than four (4) additional years with payment of annual renewal fee. Please contact our office for further details.

Your agreement covers all materials, labor, and service needed to control an active infestation of subterranean termites including Formosan Termites. A service agreement holder can request consultation and advice concerning termites or other pests at no additional charge. This service agreement is transferable to the new owner should the property be sold. Hulett Environmental Services must be notified in writing of new ownership of the property. Your service agreement has a \$0.00 deductible. Should you require any additional information, please contact our termite renewal department. This building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.



CERTIFICATION SIGNED

*Samuel M. Hulett*

[www.bugs.com](http://www.bugs.com)







PN 7764

Martin County Health Department  
(772) 221-4090 Fax. (772) 221-4967

FILE

TO BUILDING DEPARTMENT INSPECTIONS:

\_\_\_ MARTIN COUNTY (772) 288-5916 FAX: (772) 288-5911 \_\_\_ CITY OF STUART (772) 288-5326 FAX: (772) 288-5388

\_\_\_ JUPITER ISLAND (772) 545-0150 FAX: (772) 545-0188  SEWALLS POINT (772) 287-2455 FAX: (772) 220-4765

FROM: Ray Cross DATE: 10/17/08

SUBJECT: FINAL CONSTRUCTION APPROVAL FOR SEPTIC SYSTEMS

<u>HEALTH DEPT. SEPTIC PERMIT#</u>	<u>BUILDING DEPT. PERMIT #</u>	<u>LOCATION</u>
------------------------------------	--------------------------------	-----------------

• 43-SS-0 <u>7168</u>	<u>8099</u>	<u>20 N SEWALLS PT RD</u>
	<u>MASTER PIECE</u>	<u>LOT 7</u>

• 43-SS-0 \_\_\_\_\_

• 43-SS-0 \_\_\_\_\_

• 43-SS-0 \_\_\_\_\_

• 43-SS-0 \_\_\_\_\_



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**ELEVATION CERTIFICATE MEMO OF REVIEW FOR CORRECTNESS AND COMPLETION**

In accordance with participation in the NFIP/CRS program, all elevation certificates are required to be reviewed for correctness and completion prior to acceptance by the community. This completed form shall be attached to all elevation certificates maintained on file and provided with requested copies of elevation certificates.

- The attached elevation certificate requires corrections by the surveyor of section(s) \_\_\_\_\_ prior to acceptance by the community.
- The attached elevation certificated is complete and correct.
- Minor corrections have been made in the below marked sections by the authorized Community Official.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	<u>20 N. SEWALLS Pt. Rd</u>	Company NAIC Number
City	State	ZIP Code
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)		
A5. Latitude/Longitude: Lat. _____ Long. _____	Horizontal Datum: <input checked="" type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number _____		
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) _____ sq ft		a) Square footage of attached garage _____ sq ft
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____
c) Total net area of flood openings in A8.b _____ sq in		c) Total net area of flood openings in A9.b _____ sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number		B2. County Name		B3. State	
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7. Benchmark Utilized _____ Vertical Datum _____ Conversion/Comments _____	
Check the measurement used.	
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	_____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

COMMENTS:

HORIZONTAL DATUM NAD 1927 FROM SURVEY / LEGAL DESCRIPTION

Date of Review: 5-18-09

Building Official: [Signature]

# ELEVATION CERTIFICATE

U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

Important: Read the instructions on pages 1-8.

For Insurance Company Use:  
Policy Number  
Company NAIC Number

## SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name **BRAIN & SANDY RUCKS**

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
**20 NORTH SEWALLS POINT RD**  
City **SEWALLS POINT** State **FL** ZIP Code \_\_\_\_\_

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
**LOTS 7 INDIA LUCIE EAST PLAT BOOK PAGE 11**

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) **RESIDENTIAL**

A5. Latitude/Longitude: Lat. **N 27 12' 20"** Long. **W 080 12' 06"**

Horizontal Datum:  NAD 1927  NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number **6**

A8. For a building with a crawl space or enclosure(s), provide

a) Square footage of crawl space or enclosure(s) \_\_\_\_\_ sq ft

b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade \_\_\_\_\_

c) Total net area of flood openings in A8.b \_\_\_\_\_ sq in

A9. For a building with an attached garage, provide:

a) Square footage of attached garage **749** sq ft

b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade **3**

c) Total net area of flood openings in A9.b **843** sq in

Complete →

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <b>TOWN OF SEWALLS POINT 120164</b>		B2. County Name <b>MARTIN</b>		B3. State <b>FL</b>	
B4. Map/Panel Number <b>12085C-0154</b>	B5. Suffix <b>F</b>	B6. FIRM Index Date <b>10/4/02</b>	B7. FIRM Panel Effective/Revised Date <b>10/4/02</b>	B8. Flood Zone(s) <b>VE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>10.0</b>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  
Designation Date \_\_\_\_\_  CBRS  OPA

Yes  No

COMPLETE

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.

Benchmark Utilized \_\_\_\_\_ Vertical Datum \_\_\_\_\_

Conversion/Comments \_\_\_\_\_

Check the measurement used.

a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>12.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>23.78</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>11.0</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>6.31</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>11.73</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.5</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>6.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name **ROBERT BLOOMSTER, JR**

License Number **4134**

Title **PRESIDENT/OWNER**

Company Name **ROBERT Bloomster Prof. Land Surveying, Inc.**

Address **791 NE DIXIE HIGHWAY**

City **JENSEN BEACH**

State **FL**

ZIP Code **34957**

Signature *Robert Bloomster*

Date **10/16/06**

Telephone **772-334-0868**

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
 Expires February 28, 2009

Important: Read the instructions on pages 1-8.

<b>SECTION A - PROPERTY INFORMATION</b>		For Insurance Company Use:
A1. Building Owner's Name <b>BRAIN &amp; SANDY RUCKS</b>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>20 NORTH SEWALLS POINT RD</b>		Company NAIC Number
City <b>SEWALLS POINT</b> State <b>FL</b> ZIP Code		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>LOTS 7 INDIA LUCIE EAST PLAT BOOK PAGE 11</b>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>		
A5. Latitude/Longitude: Lat. <b>N 27 12' 20"</b> Long. <b>W 080 12' 06"</b>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <b>6</b>		
A8. For a building with a crawl space or enclosure(s), provide		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) _____ sq ft		a) Square footage of attached garage <b>749</b> sq ft
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <b>3</b>
c) Total net area of flood openings in A8.b _____ sq in		c) Total net area of flood openings in A9.b <b>843</b> sq in

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <b>TOWN OF SEWALLS POINT 120164</b>		B2. County Name <b>MARTIN</b>		B3. State <b>FL</b>	
B4. Map/Panel Number <b>12085C-0154</b>	B5. Suffix <b>F</b>	B6. FIRM Index Date <b>10/4/02</b>	B7. FIRM Panel Effective/Revised Date <b>10/4/02</b>	B8. Flood Zone(s) <b>VE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>10.0</b>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:     Construction Drawings\*     Building Under Construction\*     Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.  
 Benchmark Utilized \_\_\_\_\_ Vertical Datum \_\_\_\_\_  
 Conversion/Comments \_\_\_\_\_


Check the measurement used.

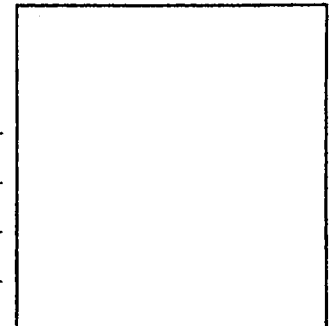
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>12.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>23.78</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>11.0</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>6.31</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>11.73</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>5.5</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>6.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <b>ROBERT BLOOMSTER, JR</b>		License Number <b>4134</b>	
Title <b>PRESIDENT/OWNER</b>		Company Name <b>ROBERT Bloomster Prof. Land Surveying, Inc.</b>	
Address <b>791 NE DIXIE HIGHWAY</b>		City <b>JENSEN BEACH</b>	State <b>FL</b> ZIP Code <b>34957</b>
Signature 	Date <b>10/16/06</b>	Telephone <b>772-334-0868</b>	



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 20 N. SEWALLS POINT ROAD	Policy Number
City SEWALLS POINT State FL ZIP Code	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments

Signature

Date

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

- a) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.  
 b) Top of bottom floor (including basement, crawl space, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.

E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address

City

State

ZIP Code

Signature

Date

Telephone

Comments

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8. and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)  
 G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.  
 G3.  The following information (Items G4.-G9.) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name

Title

Community Name

Telephone

Signature

Date

Comments

Check here if attachments

# Building Photographs

Continuation Page

Building Street Address (including Apt, Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.		For Insurance Company Use:	
20 N. Sewalls Point Rd.		Policy Number	
City	State	ZIP Code	Company NAIC Number
Sewalls Point	FL		

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."



Front View



Rear View



OFFICIAL RECEIPT  
(FOR MONEY RECEIVED)

No. 536504

DATE 9-15, 2005

Legal SCHOOL

RECEIVED FROM Mastpiece Builders \$ 1516.10  
(NAME OR ORGANIZATION)

FOR 20 N. Sewall's Pt Road - Bucks

FOR DEPOSIT IN \_\_\_\_\_ FUND(S)

W. Falls  
PRINCIPAL OR RESPONSIBLE OFFICER

**OWNER'S AFFIDAVIT OF BUILDING COSTS**

**(To be submitted at time of final inspection for Certificate of Occupancy)**

**STATE OF FLORIDA  
MARTIN COUNTY**

**BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:**

- 1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
- 2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
- 3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 762,000.00.
- 4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Sandra Rucker

Property Address:

20 N SEWALLS PT. ROAD  
STUART FL 34996

SWORN TO and subscribed before me this 27 day of OCTOBER 2009, by

Sandra Rucker who is personally known to me or produced \_\_\_\_\_ as identification.

Michael E. Haag  
\_\_\_\_\_  
Notary Public  
My commission expires: 3/22/2010

(Notary Seal)

NOTARY PUBLIC-STATE OF FLORIDA  
Michael E. Haag  
Commission # DD531755  
Expires: MAR. 22, 2010  
Bonded Thru Atlantic Bonding Co., Inc.



# NISAIR AIR CONDITIONING

3497 SE LIONEL TERRACE  
STUART, FL 34997  
TELEPHONE: (772) 283-0904  
FAX: (772) 283-7229

## HVAC EFFICIENCY CARD

Res: Ruck's Residence  
20 North Stowall's Point Road  
Stowall's Point, FL 34998

MANUFACTURER'S NAME: LENNOX

BRAND NAME: LENNOX

MODEL NUMBERS:

AC13-018-230

13ACD-024-230

~~13ACD036-2301~~ AC#1

~~CB29M-46-4P1~~

CB29M21/26-4P1

EFFICIENCY RATING OF COMBINED EQUIPMENT: 13 SEER

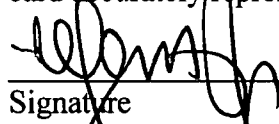
### Air Conditioning and heating Contractor:

NISAIR AIR CONDITIONING

3700 So. Us Highway One

Fort Pierce, FL 34982

With the Authorization of the installing contractor, I certify that the information entered on the card accurately represents the system installed.

  
\_\_\_\_\_  
Signature

October 18, 2006  
\_\_\_\_\_  
Date Signed

Rump N. A. Jr  
\_\_\_\_\_  
Printed Name

As the building official or the representative of the building official I certify that the information entered on this card accurately represents the system installed.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date Signed

\_\_\_\_\_  
Printed Name

# NISAIR AIR CONDITIONING

3497 SE LIONEL TERRACE  
STUART, FL 34997  
TELEPHONE: (772) 283-0904  
FAX: (772) 283-7229

## HVAC EFFICIENCY CARD

Re: Rucks Residence  
20 North Sewall's Point Road  
Sewall's Point, FL 34996

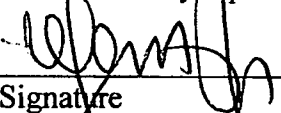
MANUFACTURER'S NAME: LENNOX  
BRAND NAME: LENNOX  
MODEL NUMBERS:

AC13-018-230  
~~13ACD024-230~~ AC # 2  
13ACD036-2301  
CB29M-46-4P1  
~~CB29M21/26-4P1~~

EFFICIENCY RATING OF COMBINED EQUIPMENT: 13 SEER

Air Conditioning and heating Contractor:  
NISAIR AIR CONDITIONING  
3700 So. Us Highway One  
Fort Pierce, FL 34982

With the Authorization of the installing contractor, I certify that the information entered on the card accurately represents the system installed.

  
\_\_\_\_\_  
Signature

October 18, 2006  
\_\_\_\_\_  
Date Signed

Pump Master  
\_\_\_\_\_  
Printed Name

As the building official or the representative of the building official I certify that the information entered on this card accurately represents the system installed.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date Signed

\_\_\_\_\_  
Printed Name

# NISAIR AIR CONDITIONING

3497 SE LIONEL TERRACE  
STUART, FL 34997  
TELEPHONE: (772) 283-0904  
FAX: (772) 283-7229

## INVADE EFFICIENCY CARD

Rec: Ruckes Residence  
20 North Sewall's Point Road  
Sewall's Point, FL 34996

MANUFACTURER'S NAME: LENNOX

BRAND NAME: LENNOX

MODEL NUMBERS:

AC13-018-230 AC#3  
13ACD-024-230  
13ACD036-2301  
CB29M-46-4P1  
CB29M21/26-4PP

EFFICIENCY RATING OF COMBINED EQUIPMENT: 13 SEER

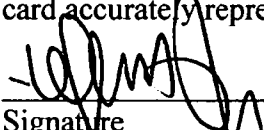
### Air Conditioning and heating Contractor:

NISAIR AIR CONDITIONING

3700 So. Us Highway One

Fort Pierce, FL 34982

With the Authorization of the installing contractor, I certify that the information entered on the card accurately represents the system installed.

  
\_\_\_\_\_  
Signature

10-18-2006  
\_\_\_\_\_  
Date Signed

PHILIPPA NISA  
\_\_\_\_\_  
Printed Name

As the building official or the representative of the building official I certify that the information entered on this card accurately represents the system installed.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date Signed

\_\_\_\_\_  
Printed Name

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 83.1**

The higher the score, the more efficient the home.

RUCKS, LOT - 7, SEWALL'S POINT, FL.

<p>1. New construction or existing <span style="float: right;">New <input type="checkbox"/></span></p> <p>2. Single family or multi-family <span style="float: right;">Single family <input type="checkbox"/></span></p> <p>3. Number of units, if multi-family <span style="float: right;">1 <input type="checkbox"/></span></p> <p>4. Number of Bedrooms <span style="float: right;">4 <input type="checkbox"/></span></p> <p>5. Is this a worst case? <span style="float: right;">Yes <input type="checkbox"/></span></p> <p>6. Conditioned floor area (ft<sup>2</sup>) <span style="float: right;">3416 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>7. Glass area &amp; type <span style="float: right;">Single Pane <input type="checkbox"/> Double Pane <input type="checkbox"/></span></p> <p style="margin-left: 20px;">a. Clear glass, default U-factor <span style="float: right;">0.0 ft<sup>2</sup> <input type="checkbox"/> 0.0 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">b. Default tint, default U-factor <span style="float: right;">911.7 ft<sup>2</sup> <input type="checkbox"/> 0.6 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">c. Labeled U-factor or SHGC <span style="float: right;">0.0 ft<sup>2</sup> <input type="checkbox"/> 0.6 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>8. Floor types</p> <p style="margin-left: 20px;">a. Raised Concrete <span style="float: right;">R=11.0, 2216.7 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">b. Raised Wood, Post or Pier <span style="float: right;">R=11.0, 98.3 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">c. Others <span style="float: right;">64.8 ft<sup>2</sup> <input type="checkbox"/></span></p> <p>9. Wall types</p> <p style="margin-left: 20px;">a. Frame, Wood, Adjacent <span style="float: right;">R=11.0, 313.4 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">b. Frame, Wood, Exterior <span style="float: right;">R=19.0, 991.4 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">c. Concrete, Int Insul, Exterior <span style="float: right;">R=4.1, 1925.3 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types</p> <p style="margin-left: 20px;">a. Under Attic <span style="float: right;">R=30.0, 3064.4 ft<sup>2</sup> <input type="checkbox"/></span></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts</p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Garage <span style="float: right;">Sup. R=6.0, 195.0 ft <input type="checkbox"/></span></p> <p style="margin-left: 20px;">b. Sup: Unc. Ret: Unc. AH: Attic <span style="float: right;">Sup. R=6.0, 100.0 ft <input type="checkbox"/></span></p>	<p>12. Cooling systems</p> <p style="margin-left: 20px;">a. Central Unit <span style="float: right;">Cap: 80.0 kBtu/hr <input type="checkbox"/></span></p> <p style="margin-left: 40px;">SEER: 12.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems</p> <p style="margin-left: 20px;">a. Gas Hydronic Space &amp; Water Heat <span style="float: right;">Cap: 51.0 kBtu/hr <input type="checkbox"/></span></p> <p style="margin-left: 40px;">RE: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems</p> <p style="margin-left: 20px;">a. Natural Gas <span style="float: right;">Cap: 1.3 gallons <input type="checkbox"/></span></p> <p style="margin-left: 40px;">EF: 0.99 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
--	---

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: J. Bowers Date: 10/18/06

Address of New Home: 20 N. Sewalls Pt. Rd. City/FL Zip: Stuart, FL 34996



*\*NOTE. The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www/flsec.ucf.edu](http://www/flsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

Southern Irrigation, Inc.  
5207 SW Moore Street  
Palm City, FL 34990  
772-288-1883  
772-288-1894 fax

October 17, 2006

Town Of Sewalls Point  
15 Sewalls Point Road  
Sewalls Point, FL 34996

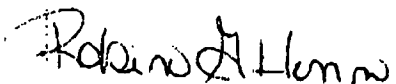
RE: 20 N Sewall's Point Road

Mr. Gene Simmons:

As per section 22-146, the irrigation is installed as a low volume irrigation system with a rain sensor devise.

Martin County Competency #SP00734

Sincerely,



Robin G. Henn  
Sec. / Tres.



TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**CERTIFICATE OF:  OCCUPANCY  COMPLETION**

Single Family Residence  Other \_\_\_\_\_

Temporary: Expiration Date \_\_\_\_\_

Partial (Area description) \_\_\_\_\_

BUILDING PERMIT NO: \_\_\_\_\_ DATE OF ISSUE: \_\_\_\_\_

OWNER(S): \_\_\_\_\_ PROPERTY ADDRESS: \_\_\_\_\_

LEGAL DESCRIPTION: LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

GENERAL CONTRACTOR: \_\_\_\_\_ LIC/CERT NO: \_\_\_\_\_

ARCHITECT OR ENGINEER: \_\_\_\_\_ LIC/CERT NO: \_\_\_\_\_

CODE EDITION: \_\_\_\_\_ CONST. TYPE: \_\_\_\_\_ USE: \_\_\_\_\_ OCCUPANCY: \_\_\_\_\_

OCCUPANT LOAD: \_\_\_\_\_ SPRINKLERS REQUIRED: \_\_\_\_\_ SPRINKLERS USED: \_\_\_\_\_

**INSPECTION RECORDS**

Inspection Type	Date Approved	Inspection Type	Date Approved
UNDERGROUND PLUMBING	_____	<del>STRAPPING</del> UNDERGROUND GAS	3-17-06
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	10-5-05 + 12/16/05
SLAB	12-16-05	TIE BEAM/COLUMNS	1-16-06 / 10-19-05 + 3/15/06
ROOF SHEATHING	2-24-06	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	3-17-06	INSULATION	_____
WINDOW/DOOR BUCKS	_____	PARTIAL LATH-STUCCO	4-28-06
ROOF DRY-IN/METAL	6-14-06	LATH	5-17-06 + 5/22/06 + 5/24/06
PLUMBING ROUGH-IN	_____	ROOF TILE IN-PROGRESS	5/26/06
MECHANICAL ROUGH-IN	_____	ELECTRICAL ROUGH-IN	4-24-06
FRAMING	_____	GAS ROUGH-IN	_____
FINAL PLUMBING	_____	METER FINAL	7-21-06
FINAL MECHANICAL	_____	FINAL ELECTRICAL	_____
FINAL ROOF	10-18-06	FINAL GAS	_____
subsidizing 2nd F	3-3-06	BUILDING FINAL	10-25-06 + 10-27-06
subsidizing	3-10-06 + 3-15-06	INSULATION	4-28-06

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

John R. Adams, CBO  
 Building Official, Town of Sewall's Point

# TOWN OF SEWALL'S POINT

E. DANIEL MORRIS  
Mayor

PAMELA M. BUSHA  
Vice Mayor

THOMAS P. BAUSCH  
Commissioner

NEIL SUBIN  
Commissioner

DON OSTEEN  
Commissioner



ROBERT KELLOGG  
Town Manager

JOAN H. BARROW  
Town Clerk  
Chief of Police

JOHN ADAMS  
Building Official

## CERTIFICATE OF OCCUPANCY

Single Family Residence       Other \_\_\_\_\_

OWNER: BRIAN/SANDRA RICKS      PROPERTY ADDRESS: 20 N.S.P.R.

LEGAL DESCRIPTION: LOT 7      BLOCK \_\_\_\_\_      SUBDIVISION INDIALOCIE EAST

GENERAL CONTRACTOR: MASTERPIECE BLDGS      LIC/CERT NO: C6C 048543

ARCHITECT OR ENGINEER: M. A. CORSON & ASSOC.      LIC/CERT NO: AR 91665

PERMIT NO: 7764; DATE OF ISSUE: 9-15-05; RENEWAL PERMIT NO: \_\_\_\_\_; DATE OF ISSUE: \_\_\_\_\_


CODE ADDITION: 2004 F.B.C. TYPE: RES.      USE: HA      OCCUPANCY: N/A

OCCUPANT LOAD: N/A      SPRINKLERS REQUIRED: N/A      SPRINKLERS USED: N/A

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 15<sup>th</sup> day of NOVEMBER, 2006.

  
\_\_\_\_\_  
John R. Adams, CBO  
Building Official, Town of Sewall's Point



Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: [police@sewallspoint.org](mailto:police@sewallspoint.org)

**JEFF G. HOOPER, CGC, BN**

**CGC057376, BN0003806  
11622 HACKBERRY STREET  
Palm Beach Gardens, FL. 33410  
A FULL SERVICE INSPECTION COMPANY  
561-307-1327**

**INSPECTION REPORT AND SUMMARY :**

**The Rucks Residence**

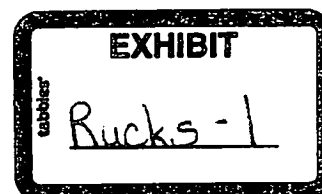
<b>INSPECTION ADDRESS:</b>	Lot #7 Indialucie East 20 Sewalls Point Road Stuart, Florida 34996 Built by Masterpiece Builders
<b>DATE OF ORIGINAL INSPECTION:</b>	November 13 <sup>th</sup> , 2008
<b>TIME:</b>	9:30 AM TO 12:00 PM
<b>INSPECTOR:</b>	JEFF G. HOOPER CGC, BN.

A large number of photographs were taken by us at the time of inspection. These photos may contain additional information or items not specifically noted in this report. These photos are hereby incorporated into and made part of this inspection report.

For the purpose of orientation it is assumed that the front entry of the building faces EAST. All directions in this report are given with this orientation.

REPORT #08-3791 \_\_\_\_\_ TYPED PAGES.

We determined that the Building Codes that were in effect at the time of construction were the following. All items contained in boxes are directly pasted from these codes. An item followed by a box indicates that the item does not appear to meet the building code that was in place at the time of the installation and needs to be remedied in our opinion. These codes are not optional, as the codes are the minimum standard and code allowed in this state of Florida per State Law. Building Departments no longer have the option, or ability, to change





## ***Rucks Report by Jeff G Hooper***

any part of the codes, except as specified below. Chapter 1 which deals with administration of the codes may be changed without posting or submittal to the Board. These codes are all inclusive and are required to be followed for buildings and structures, regardless of whether a permit is required for construction, alterations or maintenance:

1. FLORIDA BUILDING CODE 2001 EDITION WITH 2002 AND 2003 ADDITIONS.
2. FLORIDA MECHANICAL CODE 2001 EDITION WITH 2002 AND 2003 ADDITIONS.
3. FLORIDA GAS CODE 2001 EDITION WITH 2002 AND 2003 ADDITIONS.
4. FLORIDA PLUMBING CODE 2001 EDITION WITH 2002 AND 2003 ADDITIONS.
5. NATIONAL ELECTRICAL CODE 1999 EDITION.
6. FLORIDA ENERGY EFFICIENCY CODE 1997 EDITION. AND 2001 EDITION WITH 2002 AND 2003 ADDITIONS IN THE FLORIDA BUILDING CODE.

It is important to note that when reading the building codes one will find conflicts in the different sections of the codes. The codes address this issue and direct you to follow the most stringent of the code sections when a conflict exist. The code sections in this report have very few conflict issues, if any, and are generally very straight foreword. After March 1, 2002 the Jurisdiction having Authority can no longer change the building codes without submitting the changes to the Board or posting the changes. If the change is accepted the change now happens State wide. In essence there is only one code for the entire State as mandated by Statute, which was the intent and purpose of making a State Building Code.

On November 13th, 2008 I personally visited the residence located at 20 North Sewalls Point Road. FL. 34996, for the purpose of conducting a site visit and rendering a report on deficiencies, if any, that were found in conjunction with the property.

In conjunction with making my own site observations, and rendering this report, I reviewed, at the time of my site visit, the engineering documents and product approvals for this installation and specifications and the blueprint drawings.

I will first note each of my observations from my visit to the site in the section named DEFICIENCIES NOTED AT SITE VISIT. In the next section named SUMMARY I will provide my opinion as to a remedy to correct the conditions observed.

*Rucks Report by Jeff G Hooper*

This report is for the sole use of our client (s) and is limited to the conditions noted. No other items were inspected or asked to be inspected at this time. Architectural Construction Technologies, Inc. makes no other representations about the subject property noted above. The use by others without this company's and our written permission is strictly prohibited.

My observations are as follows:

**DEFICIENCIES NOTED AT SITE VISIT:**

THE FOLLOWING SECTION ARE AREAS OR ITEMS THAT WE DETERMINED ARE IN NEED OF REPAIR OR REPLACEMENT AT THIS TIME.

**GENERAL INFORMATION:**

1. M. A. Corson and Associates were the Architects who finished the plans we reviewed on August 4<sup>th</sup>, 2005.
2. The permitted set of plans was drawn/complete on August 4<sup>th</sup>, 2005. The 2001 Florida Building Code applied at that time and included the 2002 and 2003 revisions. These are the code sites that I have include in this report.
3. The entrance of the home faces west. The home is located on the Intracoastal water way and is in a high hazard flood zone. The home has two habitable stories above the BFE, base flood elevation, and is built on piles.
4. The final treatment that is required for a CO of the termidicide was performed on October the 19<sup>th</sup>, of 2006. This date should be close to the issue date of the CO.

**CRAWL SPACE, COLUMNS AND BEAMS:**

1. This structure is built on columns or piles with mass footings and beams. The first floor is poured concrete and is supported by beams and lintels. We found very significant items wrong with these columns, beams and lintels. Given the overall condition of the beams and lintels we do not

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believe that it is economically feasible to repair the structure. The cost will exceed the improvement amount that is allowed for a structure in the Existing Building Code for Florida. The following are some of the specific items that we found wrong with the support and foundation of this structure. In most, if not all, instances we found each of these items at numerous locations. You must view the photographs to see just how often these conditions occur. We reviewed an engineering report on this structure and agree with the findings. If anything, the engineering report did not go far enough. We performed destructive testing in one area. We picked a location for this testing at random and in an area that was consistent with the other areas under the crawl space. The following issues were common and typical;

- a. We found numerous pre cast lintels under the crawl space that have been cut. These engineered beams should not be cut. The beams can be ordered to the proper length. The steel is now exposed and subjected to salt air given the close proximity to the water way and ocean. The steel is rusting and will spall the concrete beam compromising the structure.
- b. Numerous large cracks exist in the precast lintels or beams. The cracks were found at all areas however they were more prevalent at the bearing points over the columns. This indicates stress and movement.
- c. The maximum allowed bed joint thickness specified in the codes is  $\frac{3}{8}$  of one inch + or -  $\frac{1}{8}$  of an inch. Numerous grout joints were found to be in excess of 2 inches in thickness or 7 times the thickness of what is allowed. This may explain why so many columns did not get poured as it would have been next to impossible to prevent the excess grout from blocking the cell when placed in such a large amount and then loaded with the weight of the lintel.
- d. The floor was cast in place. The concrete in many areas was not consolidated correctly leaving large air pockets and holes. Many of these have exposed steel bars that are corroding and rusting. We found cold joints in the concrete pours for the floor slabs. The concrete was not placed and consolidated correctly at these locations leaving large air pockets and holes. Many of these have exposed steel bars that are corroding and rusting. A cold joint is an area where one truckload was placed and then another was placed at a later date or after the concrete had already started to set.

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- e. We found large gaps of missing grout between the columns and the lintels. Small pieces of broken block were found to have been used as shims for the spacing. These shims should never occur as the grout, all grout, shrinks when it is curing and the shims will prevent the mechanical bond from occurring and cause cracks that were apparent at almost all locations. Block layers are not allowed to use shims.
- f. We used a 7 inch long gutter nail to determine if the cells and beams were properly filled. We placed the nail in openings that should not be there. We also sounded the columns and lintels with a hammer to listen for a hollow sound indicating missing concrete grout fill in the cells.
- g. We could see under several of the beams and into the column cells. The steel was visible. Neither the beam or the cell was filled in the photos. We placed the 7" nail into the cavity and moved it all around inside the cavity to see if any concrete was present inside. No concrete was present in the cells we could check.
- h. The end of one beam is visible in the photos and has no support. The beam is required to have a minimum of 4 full inches the width of the beam for support. This beam only has ½ of the required bearing as specified in the codes. The opening for the poured cell that supports this beam is visible. The face shell of the block is 1 and 1/8" thick. The beam needs a full 6" x 6" poured cell for proper support and tie down. One half of this amount is visible under the beam. An additional 1 1/8" is resting on the non structural face shell. That leaves less than a one half of a 4" x 4" poured column of support because of the angle. Or less than 8 square inches of support when a total of 36 square inches is required. The column to beam connection is less than one fourth of what it is required to be.
- i. The blocks were laid wrong and not filled at this column that supports two lintels and or beams. The previous 3 photos and next 4 photos are of this connection and support.
- j. One of the lintels or beams only has 3" of bearing on one of the columns. What is more concerning is that this column is not poured so the entire weight of this beam and what is supports above is resting on the face shells of the block only. The face shells are not a structural element in and of themselves.

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- k. The adjacent beam to the beam in photo 29 has 4 ½" of bearing on the column; however, the column is not filled. The cell is empty. The mason laid pieces of broken block instead of full or half block to form the cell. This practice does not allow for a full pored cell or column.
  - l. Numerous areas of the poured floor above have exposed steel that did not receive the proper amount of concrete cover. The steel is rusting and will spall causing damage and cracking of the poured floor. The steel in the poured floors was not properly placed and the concrete was not properly consolidated.
  - m. Numerous large patched areas of the tops of the columns were found. Had the columns been properly poured these areas would not have had to be patched in this manner. The patching material is filling in the areas where the concrete should have filled when the sills were poured. We were able to remove some of the patching material and view large voids in the pour.
  - n. Cracks indicating movement and shearing have occurred. An attempt to cover up, because they cannot be repaired, the cracks was noted. This crack extends through the bond beam and down through the lintel beam at an angle starting at the edge of the column below. The crack is V shaped indicating movement.
  - o. Horizontal cracks that imply movement were observed at several column and beam connections and along the tops of some of the lintels as shown here.
  - p. One of the lintels in the front of the house is completely broken off along the bottom edge where it contacts the column.
  - q. One of the front columns south of the entrance does not have the beam setting directly over it. This prevents the opening in the lintel beam from lining up over the cell on the column. The cell can not fill properly and provide support as required.
2. We picked out one of the columns for the purpose of performing destructive testing to verify and to see if any attempt was made to pour the columns. What was found inside this column was shocking to say the least. If all of the columns were poured, or more specifically not poured

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like this one, there is nothing holding up the structure. We removed the outside face shell of the column shown in photo # 70, bottom left on this page, to reveal and expose the inside of the column cell that is supposed to be poured. Opening the cavity exposed construction debris that was placed in the cell. This is not allowed. Loose pieces of broken block were found inside the cell. Even if the contractor tried to pour this cell it would have been impossible as the construction debris and scrap block would have prevented the cell from being poured. Note the steel bar just behind the scraps that is exposed and the hole up through the beam. After removing all the pieces by hand it is apparent that no attempt to pour this cell was made. Numerous of these cells were found and probed by us with the gutter nail noted earlier. There is absolutely no support or tie down for this column and beam or any of the columns and beams that are not poured. Hence, the face shells of the non structural block are the only thing holding up this structure. The pieces that we removed were left on the ground near the column. Looking upward at the inside of the beam and lintel you can see the steel that is exposed. This entire area should have been poured concrete. The beam at this location was not filled.

3. We recommend that ALL of the columns and beams be cored and checked given the amount of missing concrete that was found. The missing concrete and improperly ties concrete and steel needs to be fully exposed and corrected. Again, the cost of this procedure may exceed the 25% rule and cause the entire building to be raised or torn down.

Estimated cost      \$250,000.00 to \$350,000.00

**GENERAL EXTERIOR:**

1. One of the larger holes up through the floor was filled in with cellular foam that receives indirect UV light. This foam is not approved for exposure of any kind. The hole should have been filled with non shrinking grout. Rodents can simply chew through this foam. This foam is not a fire barrier for the exterior envelope. Non shrinking grout needs to be installed.

Estimated cost      \$150.00 to \$230.00

§1205.1.2.2 Foundation and exterior wall openings (except those used for doors and screened windows), such as those openings around pipes, electric cables and conduits, and openings resulting from deteriorated walls, broken masonry or concrete, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or noncorrodible metal.  
Source      Florida Building Code 2001 as revised 2002 & 2003

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2. The plumbing line supports under the house are not corrosion resistant and are the type used for interior applications. The hangers, all of the hangers are rusting so significantly that they soon will not be able to support the plumbing lines. All of the plumbing lines need to be properly supported as required using approved materials for the coastal zone and for exterior use. The hanger that are being used are for interior applications.

Estimated cost      \$450.00 to \$530.00

§P308.3 Materials. Hangers, anchors and supports shall support the piping and the contents of the piping. Hangers and strapping material shall be of approved material that will not promote galvanic action.

§P308.4 Structural attachment. Hangers and anchors shall be attached to the building construction in an approved manner.

Source      Florida Plumbing Code 2001 as revised 2002 & 2003

3. The Architect drew in the locations for the condenser units for the HVAC system. The systems are not located as per plan. In a way this is good as the Architect did not correctly place the units as the required work space is not obtainable for the units as shown on the plans. One of the three HVAC condenser units that were shown on the plans was moved over the south side of the structure and placed in the location indicated in photo 69. We did not see any revision for this change in the plans. All of the other equipment pads and floors of this structure were poured concrete. This one for the moved HVAC condenser is not as it is constructed out of wood. The wood platform does not have joist hangers or straps. Therefore strapping the condenser to an unsecured platform did nothing to secure the condenser as the platform is not secured.

Estimated cost      \$175.00 to \$225.00

§M301.13 Wind resistance. Mechanical equipment, appliances and supports that are exposed to wind shall be designed and installed to resist the wind pressures on the equipment and the supports as determined in accordance with the Florida Building Code, Building. This may be accomplished by design or by application of §M301.13.1.

§M301.13.1 Ground-mounted units. Ground-mounted units for R3 residential

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applications may be anchored with #14 screws with gasketed washers according to the following.

1. For units with sides less than 12 inches, one screw shall be used at each side of the unit.
2. For units between 12 and 24 inches, two screws shall be used per side.
3. For units between 24 and 36 inches, three screws shall be used per side.
4. For units greater than 36 inches or 5 tons, anchorage shall be designed in accordance with §M301.13.

#### **NOTES:**

1. Corrosion protection. Buildings located within 3,000 feet of the ocean should utilize non-ferrous metal, stainless steel or steel with minimum G-90 hot-dip galvanized coating for equipment stands and anchors and stainless steel screws.
2. Strapping. Job site strengthening of fan cowlings and vent hoods is recommended. Two or four stainless steel cables are recommended, depending on design wind conditions. Alternatively, additional, heavy straps can be screwed to the cowling and curb.

Source Florida Mechanical Code 2001 as revised 2002 & 2003

4. We used a straight edge to determine that there is not enough stucco on the exterior walls at locations. The walls are cupped out to meet the mud rings of electrical and to meet the corner beads that are designed to provide a flush straight wall with a minimum of 5/8" of stucco applied. This stucco application will not meet the ASTM requirements or the requirements shown on the plans.

Estimated cost See Next Item for Price

5. The upper second story walls are wood frame stucco construction and the first floor walls are CBS. There are no expansion joints or weep screeds installed at the transition area as is required by ASTM 1067 and 926. There are areas where the transition from wood frame stucco to masonry stucco occur. These areas require an expansion joint that is not present. The vertical expansion joints need to be installed. The bottom stucco screed is not sloped or has the required weep holes for weep screed. This is not an approved weep screed. The stucco application will not conform to ASTM 926 at these areas and will leak. There are no vertical expansion joints installed at the upper second floor mass stucco installation. ASTM 926 and ASTM 1063 require the vertical joints. Expansion joints need to be installed as required.

Estimated cost \$ 20,000.00 to \$ 25,000.00



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**§1403.8 Stucco.** Stucco or exterior plaster shall conform to requirements of §2504.

**§2504.2 Exterior lathing and plastering**

**§2504.2.1** Exterior use of portland cement plaster shall comply with the application requirements of ASTM C 926.

**§2504.2.2** Installation of exterior lathing and framing shall comply with ASTM C 1063.

**Source** Florida Building Code 2001 as revised

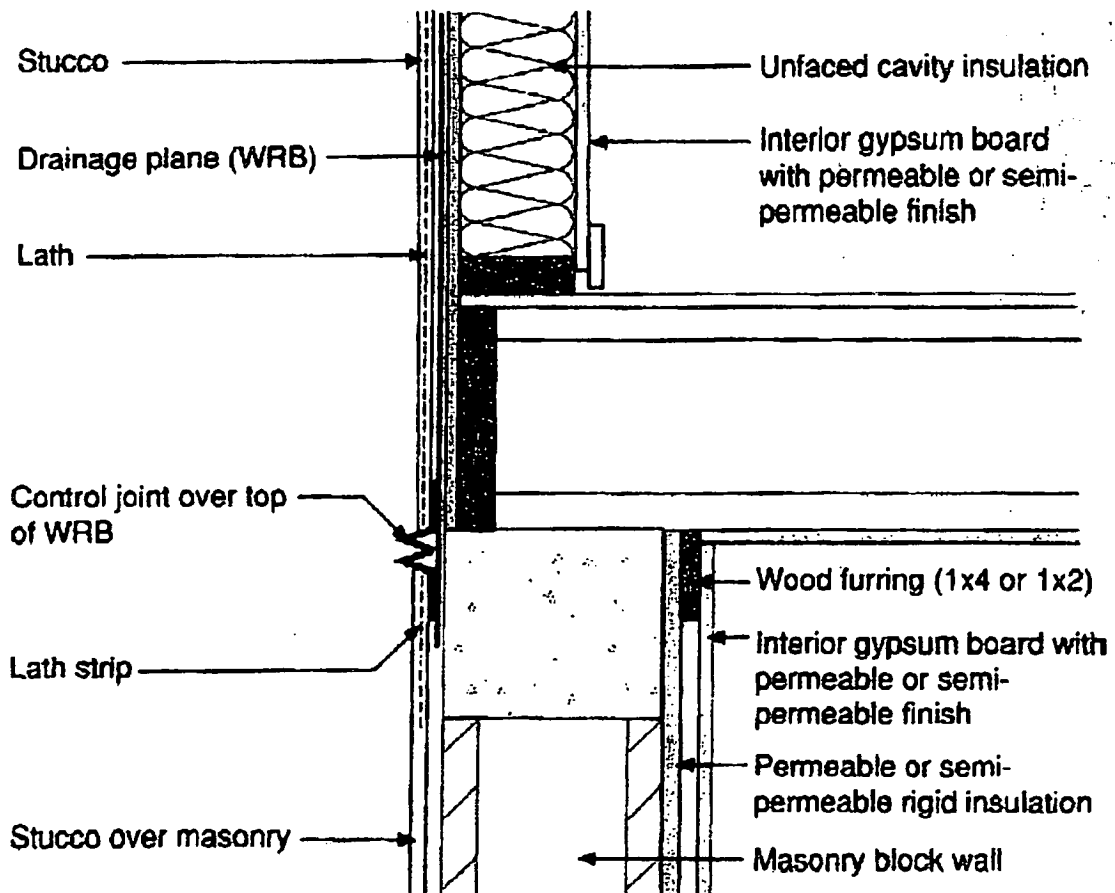
**2512.1.2 Weep screeds.** A minimum 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage), corrosion-resistant weep screed with a minimum vertical attachment flange of 3½ inches (89 mm) shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4 inches (102 mm) above the earth or 2 inches (51 mm) above paved areas and be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed.

Water and moisture can penetrate an exterior plaster wall for a variety of reasons and in a number of ways. It is expected that some moisture will penetrate the plaster in an exterior wall; therefore, the design of the wall should include a weep screed, which will provide a way to release the moisture (see Figure 2512.1.2). Once water or moisture penetrates the plaster, it will migrate down the exterior wall face of the weather-resistant barrier until it reaches the sill plate or mud sill. At this point, the water will seek a way out of the wall. If the exterior plaster system is not detailed and constructed with provisions to allow the moisture to escape to the exterior, it will find its own way out. This exit will almost certainly be through the interior of the wall and cause leaking, and damage to the interior of the building. For this reason, the code requires a continuous weep screed at the bottom of exterior walls to permit the moisture to escape to the exterior of the building. Weep or drip screeds are also among the acceptable methods for

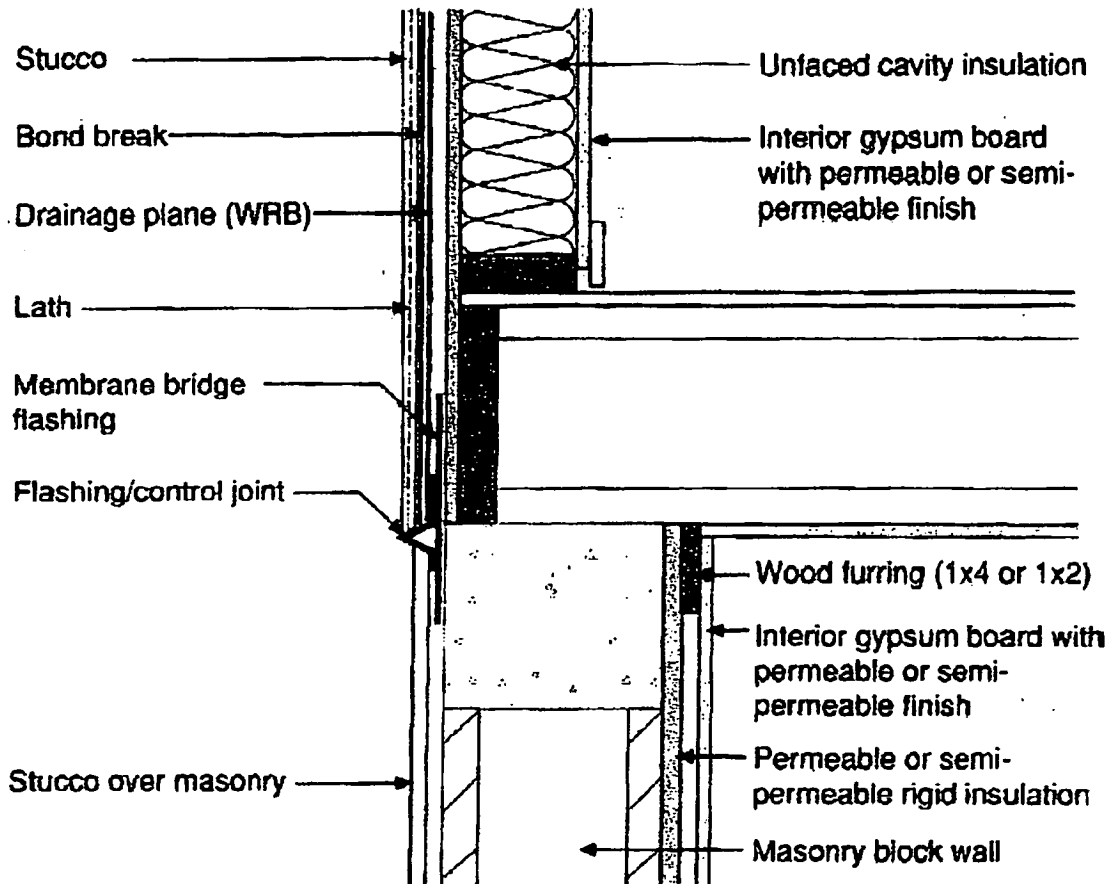
2004 FLORIDA BUILDING CODE, COMMENTARY 25-21  
GYPSUM BOARD AND PLASTER  
25-22 2004 FLORIDA BUILDING CODE, COMMENTARY  
GYPSUM BOARD AND PLASTER  
releasing moisture from plastered walls where two dissimilar materials meet, such as the second story wood

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frame construction and a first story masonry block wall. ASTM C 926 suggests three methods to handle design conditions where the exterior plaster coat will be continuous across two dissimilar base materials. Expansion joints are another of the methods.



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6. There are rust spots surfacing and staining the stucco. It appears that the Tee nails that were used to install the form boards were not removed prior to the application of the stucco siding. This condition will worsen and intensify over time until the area is removed and the steel is removed and the stucco repaired. This is poor workmanship not consistent with homes in this price range or area and does not meet industry standards.

Estimated cost See Previous Item

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7. Water is being trapped under the stone that was set on the concrete stairs. There is no drainage plane installed under the stone. Efflorescence is present. This trapped water will migrate into the concrete and destroy the steel causing spalling. The stone needs to be removed. The concrete needs a water proof coating and a drainage plane installed.  
Estimated cost \$ 8,000.00 to \$ 9,000.00
8. Steps and stairs are considered life safety hazards and must meet the building codes. The staircase installed at this residence does not meet the minimum Building Code at the time it was constructed and is a non conforming staircase. (Potential Life Safety Hazard) The front entry porch stairs do not conform to the building codes. The maximum allowed difference in the heights of stair risers that is allowed is 3/8 of an inch. This stair has greater differences in the flight as well as the adjacent risers. This bottom riser measures 7" high. This second from the bottom riser measures 6 3/8" high. This top riser measures 7" high.  
Estimated cost to replace \$7,500.00 to \$9,500.00.

§1007.3 Treads and risers

§1007.3.1 Risers shall be a maximum height of 7 in. (17.8 cm) and a minimum height of 4 in. (10.2 cm). Treads shall be a minimum of 11 in.

EXCEPTIONS:

1. In one-and two-family dwellings and within dwelling units, treads and risers of stairs shall be permitted to be so proportioned that the sum of two risers and a tread, exclusive of projection of nosing, is not less than 24 inches (610 mm) nor more than 25 inches (635 mm). The height of risers shall not exceed 7-3/4 inches (197 mm), and treads, exclusive of nosing, shall be not less than 9 inches (229 mm) wide. Every tread less than 10 inches (254 mm) wide shall have a nosing, or effective projection, of approximately 1 inch (25.4 mm) over the level immediately below that tread.

§1007.3.3 Treads shall be of uniform depth and risers of uniform height in any stairway between two floors. There shall be no variation exceeding 3/16 inch (4.8 mm) in the depth of adjacent treads or in the height of adjacent risers and the tolerance between the largest and smallest riser or between the largest and smallest tread shall not exceed 3/8 inch (9.5 mm) in any flight. The uniformity of winders and other tapered treads complying with §1007.8.1, §1007.8.2 and §1007.8.3 shall be measured at consistent distances from the narrower end of the treads.

Source Florida Building Code 2001 as revised

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9. The French doors are not installed correctly at the back of the home. The frames are not plumb, level and square. This causes the doors to be difficult to operate and the reveals around the doors, spaces between the door slabs and the frames, to be uneven. This causes the doors to not seal correctly and to leak. The doors have leaked and are leaking now. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost      \$120.00 to \$230.00

606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.

Source      Florida Energy Efficiency Code

§13-606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board

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or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

7. Between walls and floor where the floor penetrates the wall.

Source Florida Building Code 2001 as revised

13-606.1.ABC.1.2.1 Exterior and adjacent walls. Exterior and adjacent walls shall be sealed at the following locations:

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3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.
8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

10. The threshold connections to the stucco sills were not caulked and sealed at all at the side doors. Water is being trapped under the sills and algae growth is evident. The thresholds were required to be set in a bead of sealant and were not. These doors are leaking. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost \$120.00 to \$230.00

606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such

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as utility services and plumbing;

6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

Source Florida Energy Efficiency Code

§13-606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;

2. Between windows and door frames and the surrounding wall;

3. Between the foundation and wall assembly sill-plates;

4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;

5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;

6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

Source Florida Building Code 2001 as revised

13-606.1.ABC.1.2.1 Exterior and adjacent walls. Exterior and adjacent walls shall be sealed at the following locations:

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2. Between windows and door frames and the surrounding wall;

3. Between the foundation and wall assembly sill-plates;

4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;

5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;

6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

7. Between walls and floor where the floor penetrates the wall.

8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

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11. We were able to place a gutter nail under the garage pedestrian door threshold. There is no sealant under the door. The connection was not sealed either. The concrete sill slopes the wrong direction causing water to run back to and under the door threshold. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost \$120.00 to \$230.00

**606.1.ABC.1.2.1 Exterior and Adjacent Walls.** Exterior and adjacent walls shall be sealed at the following locations:

- 1. Between windows and doors and their frames;**
- 2. Between windows and door frames and the surrounding wall;**
- 3. Between the foundation and wall assembly sill-plates;**
- 4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;**
- 5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;**
- 6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and**
- 7. Between walls and floor where the floor penetrates the wall.**

Source Florida Energy Efficiency Code

**§13-606.1.ABC.1.2.1 Exterior and Adjacent Walls.** Exterior and adjacent walls shall be sealed at the following locations:

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- 3. Between the foundation and wall assembly sill-plates;**
- 4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;**
- 5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;**
- 6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and**



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7. Between walls and floor where the floor penetrates the wall.

Source Florida Building Code 2001 as revised

13-606.1.ABC.1.2.1 Exterior and adjacent walls. Exterior and adjacent walls shall be sealed at the following locations:

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5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.
8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

12. The changes in plane and connections of the banding to the stucco walls were not caulked as required at all. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost \$120.00 to \$230.00

606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

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4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board

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or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

7. Between walls and floor where the floor penetrates the wall.

Source Florida Energy Efficiency Code

§13-606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

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5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
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1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.
8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

*Rucks Report by Jeff G Hooper*

13. There are pipes extending up through the floor from the crawl space. These are direct conduits for moisture and air infiltration through the floor slab. The penetrations were not sealed as required and where they were sealed the wrong material was used. The space around the pipes and between the pipes and sleeves are not sealed. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost \$20.00 to \$30.00

**606.1.ABC.1.2.1 Exterior and Adjacent Walls.** Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

Source Florida Energy Efficiency Code

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5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.

Source Florida Building Code 2001 as revised

*Rucks Report by Jeff G Hooper*

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5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.
8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

14. The wall penetrations around the door bell are not sealed as required by the codes. All openings in the envelope are required to be sealed and are not. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost \$20.00 to \$30.00

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1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
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4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
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*Rucks Report by Jeff G Hooper*

be sealed to the floor; and

7. Between walls and floor where the floor penetrates the wall.

Source Florida Energy Efficiency Code

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Source Florida Building Code 2001 as revised

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7. Between walls and floor where the floor penetrates the wall.
8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

*Rucks Report by Jeff G Hooper*

15. Openings were found around the pipes that were placed through the exterior walls. All of these penetrations were required to be sealed and were not. We could not find protection for the copper pipes that were placed through the masonry walls that is required. Openings are evidence of leaks by their very nature of being open. Therefore caulking of the exterior envelope is not a cosmetic condition, and is in fact is a building code requirement. The openings need to be sealed as required.

Estimated cost \$120.00 to \$230.00

606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.

Source Florida Energy Efficiency Code

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Source Florida Building Code 2001 as revised

*Rucks Report by Jeff G Hooper*

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7. Between walls and floor where the floor penetrates the wall.
8. Log walls shall meet the criteria contained in Section 4.2 of Appendix 13-C of this chapter.

Source Florida Building Code 2004

**GENERAL INTERIOR:**

1. The overhead garage door installer could not find the framing for the door rail bracket. The holes he made in the ceiling were never filled or repaired. This is very poor workmanship. The holes need to be repaired and filled. The ceiling needs to be painted.  
Estimated cost \$50.00 to \$75.00
2. The garage windows are leaking. Visible water stains and marks were found. A moisture meter was used to confirm that the leaks are active at this time. The doors and windows were supposed to be impact glass. So why are there hurricane panel fasteners and rails on the garage windows? Some of the garage windows were found to not be impact glass. These windows need to be replaced with the proper windows.  
Estimated cost \$5,200.00 to \$6,300.00

***Rucks Report by Jeff G Hooper***

3. There are very large cracks that have developed in the garage slab. While most of these are shrink cracks and of little concern, several are very large and V shaped with signs of rotation of the slab and settlement. The engineer of record needs to prescribe a correction. A soils test needs to be performed under the slab to make sure that all organics and muck was removed for the building site prior to construction. We checked for slab rotation. The slab or floor is higher on one side of the cracks than it is on the other side indicating movement.

Estimated cost \$5,000.00 to Get a firm price after engineering

4. There is a very large crack with movement in the garage floor near the stairs to the house and at the bottom of the stairs. The engineer of record needs to prescribe a correction. A soils test needs to be performed under the slab to make sure that all organics and muck was removed for the building site prior to construction. The concrete is under stress at this location as evidenced by the blowouts that are present.

Estimated cost See Previous Item for price.

5. There are large reflecting cracks in the marble floors of the interior. Many have blow outs and differential settlement. These cracks are present in the poured floor below. The improperly supported floor system and improperly poured beams, lintels and columns are creating these cracks. We found these cracks throughout the house on the first floor. The cost to correct this and the remedy can only be ascertained after the repairs or replacement of the columns and slab have occurred. All of the floors may have to be completely removed and new floor coverings installed.

Estimated cost \$26,500.00 to \$32,000.00

6. The front entry doors are sagging as they are not installed correctly. The securing bolt at the bottom of the right panel in this photo no longer lines up with the strike plate for the bolt. The locking mechanism does not work and the door cannot be secured. The front entry doors are binding and not operating properly. The thresholds are not sealed as required and are not secured as required. The doors need to be removed and the frames properly installed.

Estimated cost \$800.00 to \$1,300.00



*Rucks Report by Jeff G Hooper*

7. The screws that secure the upper windows and lower windows are not sealed as required. Many of the screws were found to not be drawn tight and the heads were sticking out. The wrong screws were used to install the upper windows. The screws were too short. The bucks are ¾" deep and the screws are required to penetrate the framing, or block a minimum of 1 ½" for wood framing and 1 ¾" for masonry. These screws cannot make the required embedment and have enough length to accommodate both the window frame and shim thickness. The window installations do not meet the NOA's, (Notice of Acceptance), or product approvals. See next item in this report for further.

§1403.1.4 Flashing shall be provided as necessary to prevent the entrance of water at openings in or projections through veneered walls. Flashing shall be provided at intersections of veneered walls of different materials unless such materials provide a self-flashing joint and at other points subject to the entrance of water. Caulking shall be provided where such flashing is determined by the building official to be impractical.

§1707.4 Exterior Window and Door Assemblies. This section defines performance and construction requirements for exterior window and door assemblies installed in wall systems. Waterproofing, sealing and flashing systems are not included in the scope of this section.

§1707.4.4.3 Wood or Other Approved Framing Material. Where the framing material is wood or other approved framing material, window and glass door assemblies shall be anchored through the jamb or by jamb clip or through the flange. Shims shall be made from materials capable of sustaining applicable loads, located and applied in a thickness capable of sustaining applicable loads. Anchors shall be provided to transfer load from the window or door frame to the rough opening substrate.

Source Florida Building Code 2001 as revised 2002 & 2003

*Rucks Report by Jeff G Hooper*

8. Water that has leaked at the upper windows has bubbled the paint and caulking at the base board level. The upper back east windows are leaking. The upper windows are set back into the upper wood framed walls. There is no approval for this to occur. This is why the windows are leaking. Only in masonry walls can they be recessed in this manner. All wood walls required a flush finned window application. There are no visible pans or flashing for this installation. The proper type of windows need to be installed or these windows need to be removed and all required flashings installed.

Estimated cost      \$5,000.00 to \$6,200.00

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Source      Florida Building Code 2001 as revised 2002 & 2003

9. The plans called for fire egress windows in the bedrooms. There are none. No fire pins were found. The window openings are not large enough for fire egress. The windows are not per the plans. The travel distance to exits is not long enough that the rooms would have required fire egress at the windows; however, the approved plans that were used for the permit and for the contract specify the fire egress windows, and therefore they need to be installed. .

Estimated cost      \$3,300.00 to \$4,200.00

*Rucks Report by Jeff G. Hooper*

10. The upper closet that was used for a chase is not sealed at the ceiling as is required. Openings and gaps were found around the Flex duct and duct board. Loose fiberglass insulation was found as well as expandable cellular foam. This ceiling is required to be sealed at this location and is not.

Estimated cost \$100.00 to \$200.00

**606.1.ABC.1.2.3 Ceilings. Ceilings shall be sealed at the following locations:**

1. Between walls and ceilings.
2. At penetrations of the ceiling plane of the top floor of the building (such as chimneys, vent pipes, ceiling fixtures, registers, open shafts, or chases) so that air flow between the attic or unconditioned space and conditioned space is stopped.
3. Large openings, such as shafts, chases soffits, opening around chimneys, and dropped ceiling spaces (such as above kitchen cabinets, bathroom vanities, shower stalls, and closets), shall be sealed with an airtight panel or sheeting material and sealed to adjacent top plates (or other framing members) so that a continuous air barrier separates the spaces below and above the ceiling plane.
4. Gaps between ceiling gypsum board and the top plate shall be sealed with a sealant to stop air flow between the attic and the interior of wall cavities.
5. The attic access hatch, if located in the conditioned space shall have an airtight seal.

**EXCEPTION:** Where an infiltration barrier is installed in the ceiling plane of the top floor of the house. The infiltration barrier shall: create a continuous air barrier across the entire ceiling plane, be continuous across the tops of interior and exterior walls, and be sealed at the perimeter, at openings in the ceiling plane (grills, registers, attic accesses, plumbing penetrations, vent pipes, chimneys, etc.), and at seams between sections of infiltration barrier material.

Source Florida Energy Efficiency Code 1997

**§13-606.1.ABC.1.2.3 Ceilings. Ceilings shall be sealed at the following locations:**

1. Between walls and ceilings.
2. At penetrations of the ceiling plane of the top floor of the building (such as chimneys, vent pipes, ceiling fixtures, registers, open shafts, or chases) so that air flow between the attic or unconditioned space and conditioned space is

*Rucks Report by Jeff G Hooper*

stopped.

3. Large openings, such as shafts, chases soffits, opening around chimneys, and dropped ceiling spaces (such as above kitchen cabinets, bathroom vanities, shower stalls, and closets), shall be sealed with an airtight panel or sheeting material and sealed to adjacent top plates (or other framing members) so that a continuous air barrier separates the spaces below and above the ceiling plane.

4. Gaps between ceiling gypsum board and the top plate shall be sealed with a sealant to stop air flow between the attic and the interior of wall cavities.

5. The attic access hatch, if located in the conditioned space shall have an airtight seal.

**EXCEPTION:** Where an infiltration barrier is installed in the ceiling plane of the top floor of the house. The infiltration barrier shall: create a continuous air barrier across the entire ceiling plane, be continuous across the tops of interior and exterior walls, and be sealed at the perimeter, at openings in the ceiling plane (grills, registers, attic accesses, plumbing penetrations, vent pipes, chimneys, etc.), and at seams between sections of infiltration barrier material.

Source Florida Building Code 2001 as revised 2002 & 2003

§2305.2.1 Draftstopping shall be provided in wood frame construction in the locations listed in §2305.2.2 through §2305.2.4.

§2305.2.2 Floor/Ceiling assemblies

1. Single family dwellings. In floor/ceiling assemblies separating useable spaces into two or more approximate areas with no area greater than 500 sq ft (46.5 m<sup>2</sup>). Draftstopping shall be provided parallel to the main framing members.

**EXCEPTION:** Floor/ceiling assemblies 500 sq ft (46.5 m<sup>2</sup>) or less need not be separated into two areas.

2. Multifamily (two or more) dwellings, motels, hotels. In the floor/ceiling assemblies above and in line with the tenant separation, when tenant separation walls do not extend to the floor sheathing above.

3. Other buildings. In floor/ceiling assemblies so that horizontal areas do not exceed 1,000 sq ft (92.9 m<sup>2</sup>).

§2305.2.3 Attics

1. Single family dwellings. None required.

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2. Multifamily (two or more) dwellings, motels, hotels. In the attic, mansard, overhang, or other concealed roof space above and in line with the tenant separation when tenant separation walls do not extend to the roof sheathing above.

**EXCEPTIONS:**

1. Where corridor walls provide a tenant separation, draftstopping shall be required above only one of the corridor walls.
2. Where flat roofs with solid joist construction are used, draftstopping over tenant separation walls is not required.
3. Where approved sprinklers are provided, draftstopping shall be required for areas over 9,000 sq ft (836 m<sup>2</sup>).
3. Other buildings. In attic spaces so that horizontal areas do not exceed 3,000 sq ft (279 m<sup>2</sup>).

**EXCEPTIONS:**

1. Where flat roofs with solid joist construction are used, draftstopping over tenant separation walls is not required.
2. Where approved sprinklers are provided, the area may be tripled.

§2305.2.4 Continuous exterior cornices of wood, or of wood frames, shall be draftstopped at intervals not exceeding 20 ft (6.1 m).

Source Florida Building Code 2001 as revised 2002 & 2003

11. The contractor sealed around the ducts at the floor of the upper closet that was used for a chase with expandable foam. This will be a next to impossible surface to clean and is very unsightly. There was no reason to seal this area as the space below is conditioned space.

*Rucks Report by Jeff G Hooper*

**HVAC:**

1. The range hood vent terminal terminates too close to a window. This is not allowed. The vent terminal hood is not sealed at the wall or properly flashed and is leaking. The window is a natural vent system as defined in the building codes. This vent needs to be moved.

Estimated cost \$1,250.00 to \$1,600.00

§M501.3 Outdoor discharge. The air removed by every mechanical exhaust system shall be discharged outdoors at a point where it will not cause a nuisance and from which it cannot again be readily drawn in by a ventilating system. Air shall not be exhausted into an attic or crawl space.

§M804.3.3 Termination. The termination of chimneys or vents equipped with power exhausters shall be located a minimum of 10 feet (3048 mm) from the lot line or from adjacent buildings. The exhaust shall be directed away from the building.

§M804.3.4 Horizontal terminations. Horizontal terminations shall comply with the following requirements:

3. The vent system shall terminate at least 4 feet (1219 mm) below, 4 feet (1219 mm) horizontally from or 1 foot (305 mm) above any door, window or gravity air inlet into the building.

Source Florida Mechanical Code 2001\* as revised 2002 & 2003

§1203.1.1 Every habitable room of buildings hereafter erected shall have one or more windows, unless otherwise specifically provided herein, to afford adequate light **and ventilation**. The requirements specified in this section shall be considered as minimum requirements supplementary to all state laws regulating light and ventilation.

Source Florida Building Code 2001\* as revised 2002 & 2003

2. The HVAC condensate drain lines do not terminate 12" away from the structure as is required. All of the condensate lines closer than 12" need to be moved.

Estimated cost \$120.00 to \$225.00

§1503.4.4 Protection against decay and termites. Condensate lines and roof downspouts shall discharge at least 1 foot (305 mm) away from the structure sidewall, whether by underground piping, tail extensions, or splash blocks.

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Gutters with downspouts are required on all buildings with eaves of less than 6 inches (152 mm) horizontal projection except for gable end rakes or on a roof above another roof.

Source Florida Building Code 2001\* as revised 2002 & 2003

3. One of the three HVAC condenser units that were shown on the plans was moved over the south side of the structure and placed in another location not shown on the plans. We did not see any revision for this change in the plans.
  
4. The attic A/C ducts outside jackets have zip ties, draw bands, that are crushing the insulation. The zip ties are allowed on the inner core, but not the exterior jacket as it causes condensation problems. The building code and the manufacturer are very specific as to how these ducts are to be sealed. The HVAC contractor incorrectly sealed these ducts. We are aware that at one point in time in the past back in the early 1990's the Building Officials and HVAC contractors in three counties in this area had an agreement as to being able to seal these ducts in this manner, however, this agreement was made invalid by the 2001 State mandated Code and has never been approved by the manufacturer. The ceilings, walls and all areas where duct work is located will have to be opened so that all of the connections can be properly connected, sealed and insulated. The inner core is to be mechanically fastened and then sealed. Then the insulation and outer jacket is to be pulled over the connection and sealed to the duct with an approved closure system. The zip tie on the exterior of the jacket is not an approved closure system for this jacket. All of the ducts will need to be properly attached and sealed as required.

Estimated cost \$15,600.00 to \$22,000.00

**610.1.ABC.3.3.1 Duct Core to Duct Fitting, Mechanical**

Attachment. The reinforced core shall be mechanically attached to the duct fitting by a drawband installed directly over the wire-reinforced core and the duct fitting. The duct fitting shall extend a minimum of 2 inches into each section of duct core. When the flexible duct is larger than 12 inches in diameter or the design pressure exceeds 1 inch water gauge, the drawband shall be secured by a raised bead or indented groove on the fitting.

**610.1.ABC.3.3.2 Duct Core to Duct Fitting, Approved Closure Systems.** The reinforced lining shall be sealed to the duct fitting using one of the following

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sealing materials which conforms to the approved closure and mechanical attachment requirements of 610.1.ABC.3.0:

1. Gasketing.
2. Mastic, mastics-plus-embedded fabric, or mastic ribbons.
3. Pressure-sensitive tape.
4. Aerosol sealants, provided that their use is consistent with UL 181.

610.1.ABC.3.3.3 Duct Outer Jacket to Duct Collar Fitting. The outer jacket of a flexible duct section shall be secured at the juncture of the air distribution system component and intermediate or terminal fitting in such a way as to prevent excess condensation. The outer jacket of a flexible duct section shall not be interposed between the flange of the duct fitting and the flexible duct, rigid fibrous glass duct board, or sheet metal to which it is mated.

Source Florida Energy Efficiency Code all versions

**§13-610.1.ABC.3.3.1 Duct Core to Duct Fitting, Mechanical**

**Attachment.** The reinforced core shall be mechanically attached to the duct fitting by a drawband installed directly over the wire-reinforced core and the duct fitting. The duct fitting shall extend a minimum of 2 inches into each section of duct core. When the flexible duct is larger than 12 inches in diameter or the design pressure exceeds 1 inch water gauge, the drawband shall be secured by a raised bead or indented groove on the fitting.

**§13-610.1.ABC.3.3.2 Duct Core to Duct Fitting, Approved Closure Systems.** The reinforced lining shall be sealed to the duct fitting using one of the following sealing materials which conforms to the approved closure and mechanical attachment requirements of §13-610.1.ABC.3.0:

1. Gasketing.
2. Mastic, mastics-plus-embedded fabric, or mastic ribbons.
3. Pressure-sensitive tape.
4. Aerosol sealants, provided that their use is consistent with UL 181.

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Source Florida Building Code 2001 as revised 2002 & 2003



*Rucks Report by Jeff G Hooper*

5. The flex ducts that are installed in the upper closet that was used for a chase are not strapped and supported as required. The ducts need to be properly supported and secured as required.

Estimated cost \$50.00 to \$70.00

**610.1.ABC.3.3.6 Flexible Duct Installation and Support.** Flexible ducts shall be configured and supported so as to prevent the use of excess duct material, prevent duct dislocation or damage, and prevent constriction of the duct below the rated duct diameter in accordance with the following requirements:

1. Ducts shall be installed fully extended. The total extended length of duct material shall not exceed 5 percent of the minimum required length for that run.
2. Bends shall maintain a center line radius of not less than one duct diameter.
3. Terminal devices shall be supported independently of the flexible duct.
4. Horizontal duct shall be supported at intervals not greater than 5 feet. Duct sag between supports shall not exceed 1/2 inch per foot of length. Supports shall be provided within 1.5 feet of intermediate fittings and between intermediate fittings and bends. Ceiling joists and rigid duct or equipment may be considered to be supports.
5. Vertical duct shall be stabilized with support straps at intervals not greater than 6 feet.
6. Hangers, saddles and other supports shall meet the duct manufacturer's recommendations and shall be of sufficient width to prevent restriction of the internal duct diameter. In no case shall the material supporting flexible duct that is in direct contact with it be less than 1-1/2 inches wide.

Source Florida Energy Efficiency Code all versions

**§13-610.1.ABC.3.3.6 Flexible Duct Installation and Support.** Flexible ducts shall be configured and supported so as to prevent the use of excess duct material, prevent duct dislocation or damage, and prevent constriction of the duct below the rated duct diameter in accordance with the following requirements:

1. Ducts shall be installed fully extended. The total extended length of duct material shall not exceed 5 percent of the minimum required length for that run.
2. Bends shall maintain a center line radius of not less than one duct diameter.
3. Terminal devices shall be supported independently of the flexible duct.
4. Horizontal duct shall be supported at intervals not greater than 5 feet. Duct sag between supports shall not exceed 1/2 inch per foot of length.

*Rucks Report by Jeff G Hooper*

Supports shall be provided within 1.5 feet of intermediate fittings and between intermediate fittings and bends. Ceiling joists and rigid duct or equipment may be considered to be supports.

5. Vertical duct shall be stabilized with support straps at intervals not greater than 6 feet.
6. Hangers, saddles and other supports shall meet the duct manufacturer's recommendations and shall be of sufficient width to prevent restriction of the internal duct diameter. In no case shall the material supporting flexible duct that is in direct contact with it be less than 1-1/2 inches wide.

Source Florida Building Code 2001 as revised 2002 & 2003

6. The conduits and pipes for the HVAC system are not supported or secured as is required. The proper supports and securing need to be installed for these pipes and conduits..

Estimated cost \$110.00 to \$120.00

§M305.4 Interval of support. Piping shall be supported at distances not exceeding the spacing specified in Table M305.4, or piping shall be supported in accordance with MSS SP-69.

Source Florida Mechanical Code 2001 as revised 2002 & 2003

§P308.5 Interval of support. Pipe shall be supported in accordance with Table P308.5.

Source Florida Plumbing Code 2001 as revised 2002 & 2003

**300-11. Securing and Supporting.**

(a) Secured in Place. Raceways, cable assemblies, boxes, cabinets, and fittings shall be securely fastened in place. Support wires that do not provide secure support shall not be permitted as the sole support.

Source National Electrical Code 1993 1998

**300.11 Securing and Supporting.**

(A) Secured in Place. Raceways, cable assemblies, boxes, cabinets, and fittings shall be securely fastened in place. Support wires that do not provide secure support shall not be permitted as the sole support. Support wires and associated fittings that provide secure support and that are installed in addition to the ceiling grid support wires shall be permitted as the sole support. Where independent support wires are used, they shall be secured at both ends. Cables and raceways shall not be supported by ceiling grids.

Source National Electrical Code 1999 2002

*Rucks Report by Jeff G Hooper*

7. The A/C chase for the lines is sealed with cellular expandable foam that receives UV light. This foam is not approved for either UV light or to be placed in weather. The foam needs to be protected from both weather and UV light. The penetration needs to be properly sealed with approved materials for air infiltration and subsequent moisture. The dark orange color of the foam is UV burn.

Estimated cost \$ 30.00 to \$ 50.00

**§1205.1.2.2 Foundation and exterior wall openings (except those used for doors and screened windows), such as those openings around pipes, electric cables and conduits, and openings resulting from deteriorated walls, broken masonry or concrete, shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or noncorrodible metal.**  
Source Florida Building Code 2001 as revised 2002 & 2003

**606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:**

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.

Source Florida Energy Efficiency Code All versions

**§13-606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:**

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such

***Rucks Report by Jeff G Hooper***

as utility services and plumbing;

6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

7. Between walls and floor where the floor penetrates the wall.

Source Florida Building Code 2001 as revised 2002 & 2003

8. The dryer vent is not sealed inside the wall to the vent connectors. An old vent terminal was busted out rather than removed to install the vent improperly. The dryer vent and terminal is improperly installed. Not only is this an unsightly installation, it is an incorrect installation. The wall was not sealed. The pipe is not supported properly. The wrong type of terminal was used. The dryer vent and terminal is improperly installed. Not only is this an unsightly installation, it is an incorrect installation. The wall was not sealed. The pipe is not supported properly. The wrong type of terminal was used.

Estimated cost \$ 450.00 to \$ 500.00

§M802.1 General. All vent systems shall be listed and labeled. Type L vents and pellet vents shall be tested in accordance with UL 641.

§M802.3 Installation. Vent systems shall be sized, installed and terminated in accordance with the vent and appliance manufacturer's installation instructions.

Source Florida Mechanical Code 2001 as revised 2002 & 2003

606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;

5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;

6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and

7. Between walls and floor where the floor penetrates the wall.

Source Florida Energy Efficiency Code All versions

*Rucks Report by Jeff G Hooper*

§13-606.1.ABC.1.2.1 Exterior and Adjacent Walls. Exterior and adjacent walls shall be sealed at the following locations:

1. Between windows and doors and their frames;
2. Between windows and door frames and the surrounding wall;
3. Between the foundation and wall assembly sill-plates;
4. Joints between exterior wall panels at changes in plane, such as with exterior sheathing at corners and changes in orientation;
5. Openings and cracks around all penetrations through the wall envelope such as utility services and plumbing;
6. Between the wall panels and top and bottom plates in exterior and adjacent walls. In frame construction, the crack between exterior and adjacent wall bottom plates and floors shall be sealed with caulking or gasket material. Gypsum board or other wall paneling on the interior surface of exterior and adjacent walls shall be sealed to the floor; and
7. Between walls and floor where the floor penetrates the wall.

Source Florida Building Code 2001 as revised 2002 & 2003

9. There is a 22,000 BTU gas dryer installed in the laundry room. This is a confined space as defined by the codes and requires combustion air as well as make up air because the room is less than 1.100 cubic foot in size. Combustion and make up air needs to be installed. Either the doors to this room need to be permanently removed to include the adjoining room sizes for the required space to not be confined, or make up, combustion air needs to be installed as prescribed. (Potential Life Safety Hazard)

Estimated cost \$250.00 to \$600.00

**CONFINED SPACES.** A space having a volume less than 50 cubic feet per 1,000 British thermal units per hour (Btu/h) (4.8 m<sup>3</sup>/kW) of the aggregate input rating of all appliances installed in that space.

**SECTION M701 GENERAL**

The provisions of Chapter M7 shall apply to fuel burning equipment installed in buildings and that require air for combustion, ventilation, and dilution of flue gases from within the building.

**EXCEPTION NO. 1:** Direct vent equipment that is constructed and installed so that all air for combustion is obtained from the outside atmosphere and all flue gases are discharged to the outside atmosphere.

§M703.1 All Air From Inside the Building. The confined space shall be provided

*Rucks Report by Jeff G Hooper*

with two permanent openings communicating directly with an additional room(s) of sufficient volume so that the combined volume of all spaces meets the criteria for an unconfined space. The total input of all gas utilization equipment installed in the combined space shall be considered in making this determination. Each opening shall have a minimum free area of 1 square inch per 1,000 Btu per hour (22 cm<sup>2</sup> per kW) of the total input rating of all gas utilization equipment in the confined space, but not less than 100 square inches (645 cm<sup>2</sup>). One opening shall commence within 12 inches (30 cm) of the top, and one opening shall commence within 12 inches (30 cm) of the bottom, of the enclosure (see Figure M703.1). The minimum dimension of air openings shall be not less than 3 inches (8 cm).

Source Florida Mechanical Code 2001 as revised 2002 & 2003, also see Gas Code

**ELECTRICAL:**

1. The trims for many of the recessed light fixtures are not adjusted or installed correctly. The trims are hanging down and loose. The trims need to be properly supported and attached. This is poor workmanship not consistent with homes in this price range or area.  
Estimated cost \$ 500.00 to \$700.00
  
2. The main load centers, electrical panels, in the garage are manufactured by Cutler Hammer. Only Cutler Hammer breakers should be used in this panel. Square D breakers were found and need to be replaced. This is not a UL listed assembly with mixed breakers.  
Estimated cost \$ 100.00 to \$150.00

**110-2. Approval.**

The conductors and equipment required or permitted by this Code shall be acceptable only if approved.

(FPN): See Examination of Equipment for Safety, Section 90-7, and Examination, Identification, Installation, and Use of Equipment, Section 110-3. See definitions of "Approved," "Identified," "Labeled," and "Listed."

**110-3. Examination, Identification, Installation, and Use of Equipment.**

(a) Examination. In judging equipment, considerations such as the following shall be evaluated:

*Rucks Report by Jeff G Hooper*

(b) Installation and Use. Listed or labeled equipment shall be installed, used, or both, in accordance with any instructions included in the listing or labeling.  
Source: National Electrical Code 1990 1993 1996

**110.2 Approval.**

The conductors and equipment required or permitted by this Code shall be acceptable only if approved.

FPN: See 90.7, Examination of Equipment for Safety, and 110.3, Examination, Identification, Installation, and Use of Equipment. See definitions of Approved, Identified, Labeled, and Listed.

**110.3 Examination, Identification, Installation, and Use of Equipment.**

(A) Examination. In judging equipment, considerations such as the following shall be evaluated:

(1) Suitability for installation and use in conformity with the provisions of this Code

FPN: Suitability of equipment use may be identified by a description marked on or provided with a product to identify the suitability of the product for a specific purpose, environment, or application. Suitability of equipment may be evidenced by listing or labeling.

(B) Installation and Use. Listed or labeled equipment shall be installed and used in accordance with any instructions included in the listing or labeling.

Source National Electrical Code 1999 2002

3. There are three circuit breakers in the garage load centers that are not identified as is required. These breakers need to be identified as required.  
Estimated cost \$ 5.00 to \$7.00

**384-13. General.**

All panelboards shall have a rating not less than the minimum feeder capacity required for the load computed in accordance with Article 220. Panelboards shall be durably marked by the manufacturer with the voltage and the current rating and the number of phases for which they are designed and with the manufacturer's name or trademark in such a manner as to be visible after installation, without disturbing the interior parts or wiring. All panelboard circuits and circuit modifications shall be legibly identified as to purpose or use on a circuit directory located on the face or inside of the panel doors.

Source: National Electrical Code 1990 1993 1996 1999

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**408.4 Circuit Directory.**

All circuits and circuit modifications shall be legibly identified as to purpose or use on a circuit directory located on the face or inside of the panel door in the case of a panelboard, and at each switch on a switchboard.

Source National Electrical Code 2002

4. This north side electrical disconnect panel for the home is located well below the floor elevation and therefore the BFE. This does not conform to the FEMA requirements in this area. We measured from the existing grade and found the devices were only 28" above grade. This panel, and no part of this panel, can be located below the DFE or the BFE. The panel needs to be raised.

Estimated cost \$ 1,600.00 to \$2,200.00

5. This west side electrical receptacle for the home is located well below the floor elevation and therefore the BFE. This does not conform to the FEMA requirements in this area. We measured from the existing grade and found the devices were only 36" above grade. This receptacle cannot be located below the DFE or the BFE. The receptacle needs to be raised.

Estimated cost \$ 100.00 to \$125.00

**PLUMBING:**

1. The first floor finished floor elevation is at or above the BFE, base flood elevation. There can be no open utilities or open electrical devices below this elevation. Many were found below this elevation including all of the pool equipment. This is a FEMA requirement for windstorm and flood pamphlet 348 as required in this area. The floor height is 60" above the finished grade, + or -.

2. The outside shower head and valve is located well below the floor elevation and therefore the BFE. This is a cross contamination hazard and does not conform to the FEMA requirements in this area. We measured from the existing grade and found the devices were only 44" above grade. Both need to be elevated above the flood elevation as required.

Estimated cost \$ 500.00 to \$700.00



*Rucks Report by Jeff G Hooper*

3. The south east hose Bibb is located well below the floor elevation and therefore the BFE. We measured from the existing grade and found the devices were only 24" above grade. The north hose Bibb is located well below the floor elevation and therefore the BFE. We measured from the existing grade and found the devices were only 20" above grade. There is another north hose Bibb further to the west by the garage that is located well below the floor elevation and therefore the BFE. We measured from the existing grade and found the devices were only 18" above grade. All hose Bibbs that are below the base flood elevation need to be raised as required.

Estimated cost \$ 450.00 to \$750.00

4. The north side water heater is located well below the floor elevation and therefore the BFE. This is a cross contamination hazard and does not conform to the FEMA requirements in this area. We measured from the existing grade and found the devices were only 36" above grade. The water heater needs to be raised to above the flood elevation.

Estimated cost \$ 600.00 to \$800.00

5. The north gas supply and regulator by the garage is located well below the floor elevation and therefore the BFE. This does not conform to the FEMA requirements in this area. We measured from the existing grade and found the devices were only 18" above grade. The lines need to be raised to above the flood elevation.

Estimated cost \$ 150.00 to \$200.00

**ATTIC:**

1. The attic is not ventilated. This would be ok if the insulation envelope was placed out on the roof sheathing such as what happens with Icenene foam insulation. Attic ventilation needs to be installed as is required. The required ventilation needs to be provided as required by opening the area and installing chutes.

Estimated cost \$ 1,500.00 to \$2,000.00

§2309.7.1 For gabled and hipped roofs, ventilation shall be provided to furnish cross ventilation of each separate attic space with weather protected vents. All vents shall be screened to protect the interior from intrusion of birds. The ratio of total net free ventilating area to the area of the ceiling shall be not less than 1/150. That ratio may be reduced to 1/300 provided:

Source Florida Building Code 2001 as revised 2002 & 2003

*Rucks Report by Jeff G Hooper*

2. There are numerous altered and field repaired trusses at the area over the garage. These repairs require engineering. The Engineer needs to prescribe a correction that needs to be followed and inspected by the Engineer and signed off as required.

Estimated cost      \$2,500.00 to \$4,000.00

§2309.2.4 Truss members and components shall not be cut, notched, drilled, spliced or otherwise altered in any way without written concurrence and approval of the design engineer. No additional loading of any member (e.g., HVAC equipment, water heater) shall be permitted without such additional load being incorporated in the engineering design.

Source      Florida Building Code 2001 as revised

3. The wrong type of wood was used to repair trusses in the attic. White wood, or SPF was used instead of Fir, Larch or Southern Yellow Pine. There are very few if any fasteners in this framing in some locations.

§2309.2.4 Truss members and components shall not be cut, notched, drilled, spliced or otherwise altered in any way without written concurrence and approval of the design engineer. No additional loading of any member (e.g., HVAC equipment, water heater) shall be permitted without such additional load being incorporated in the engineering design.

Source      Florida Building Code 2001 as revised

4. The nails that were used for the truss straps were the wrong nails as they are not hanger strap stub nails and are not 16 penny nails. All of the straps we observed had the wrong nails. There are several slack straps, (offset truss anchors), in the attic over the garage in excess of the 1/8" allowed by the manufacturer without being shimmed. There may be other areas similar at the house walls, however the insulation is blocking our view. It has been our experience that if we find this condition in one location, the condition generally exists throughout the attic areas. See attached letters from the manufacturers of the truss anchors for proper shimming requirements. The straps are allowed to be offset up to 1/8" without shimming from the point of embedment. Between 1/8" and 1 1/2" the straps are allowed to be shimmed as prescribed by the manufactures engineer. All straps offset over 1 1/2" require re-strapping. See attached from manufacturer. The straps are not properly embedded as there are areas where the bond beam was not fully filled.

Estimated cost      \$300.00 to \$500.00

*Rucks Report by Jeff G Hooper*

**§2306.2 Other fastenings. Where framing anchors, clips, staples, glues or other methods of fastening are used, they shall be labeled, listed and installed in accordance with their listing.**

**Source Florida Building Code 2001 as revised**

5. In some areas 30 lb felt was used under the trusses. This was not done in all areas. Shims that were used in other locations are the wrong type of shims or are not large enough or are improperly placed. All trusses in direct contact with the masonry wall need to be separated from the wall with protection by installing steel plates of felt paper. Some of the straps over the garage were applied later. No protection from the masonry was found at several trusses that are in direct contact with the poured tie beam or bond beam.

Estimated cost \$1,300.00 to \$1,500.00

6. There is a missing piece of framing in the attic over the garage at the peak and valley set installation. The plans call for hand field framing in this location. The frame member is missing that ties the peak to the common truss and the valley set of trusses. The framing needs to be completed.

Estimated cost \$ 130.00 to \$ 155.00

7. The attic access panels in the house are not weather stripped or gasketed as is required. Weather stripping or a gasket needs to be installed as this access is located in conditioned space and separates conditioned space from the non conditioned attic space.

Estimated cost \$ 30.00 to \$ 35.00

**606.1.ABC.1.2 Exterior Joints or Openings in the Envelope. Exterior joints, cracks, or openings in the building envelope that are sources of air leakage shall be caulked gasketed, weather stripped or otherwise sealed in accordance with the criteria in 606.1.ABC.1.2.1 through 606.1.ABC.1.2.5.**

**606.1.ABC.1.2.3 Ceilings. Ceilings shall be sealed at the following locations:  
5. The attic access hatch, if located in the conditioned space shall have an airtight seal.**

**Source: Florida Energy Efficiency Code, All versions**

*Rucks Report by Jeff G Hooper*

**§13-606.1.ABC.1.2 Exterior Joints or Openings in the Envelope.** Exterior joints, cracks, or openings in the building envelope that are sources of air leakage shall be caulked gasketed, weather stripped or otherwise sealed in accordance with the criteria in §13-606.1.ABC.1.2.1 through §13-606.1.ABC.1.2.5.

**§13-606.1.ABC.1.2.3 Ceilings.** Ceilings shall be sealed at the following locations:  
5. The attic access hatch, if located in the conditioned space shall have an airtight seal.

Source Florida Building Code 2001 as revised 2002 & 2003

**POOLS:**

1. The pool is located entirely below the base floor elevation. The pool and yard are just a few feet above the water line.

**SUMMARY:**

1. For the purpose of this report the following definition from the Florida Building Code is applicable and needs to be followed.

**DANGEROUS.** Any building or structure or any individual member with any of the structural conditions or defects described below shall be deemed dangerous:

1. The stress in a member or portion thereof due to all factored dead and live loads is more than one and one third the nominal strength allowed in the Florida Building Code, Building for new buildings of similar structure, purpose, or location.
2. Any portion, member, or appurtenance thereof likely to fail, or to become detached or dislodged, or to collapse and thereby injure persons.
3. Any portion of a building, or any member, appurtenance, or ornamentation on the exterior thereof is not of sufficient strength or stability, or is not anchored, attached, or fastened in place so as to be capable of resisting a wind pressure of two thirds of that specified in the Florida Building Code, Building for new buildings of similar structure, purpose, or location without exceeding the nominal strength permitted in the Florida Building Code, Building for such buildings.

*Rucks Report by Jeff G Hooper*

4. The building, or any portion thereof, is likely to collapse partially or completely because of dilapidation, deterioration or decay; construction in violation of the Florida Building Code, Building; the removal, movement or instability of any portion of the ground necessary for the purpose of supporting such building; the deterioration, decay or inadequacy of its foundation; damage due to fire, wind or flood; or any other similar cause.
5. The exterior walls or other vertical structural members list, lean, or buckle to such an extent that a plumb line passing through the center of gravity does not fall inside the middle one third of the base.

Source THE FLORIDA BUILDING CODE

Based on the above definition this structure falls into two of the five categories noted in the code. The structure only needed to fall into one of the five to be considered dangerous. The fact that the structure falls into two of the five shows just how dangerous the structure actually is.

2. It is not in our professional opinion economically feasible to repair this structure due to the amount of damage there is to the building. The new building codes that were developed will require that this entire structure be brought up to today's code should a repair be attempted. It quiet frankly would cost more to repair this building than it would cost to replace it. We believe that it would be economic waste to attempt a repair. The structure needs to be raised and removed from the property.

**SECTION 305  
ALTERATION-LEVEL 3**

**305.1 Scope.**

Level 3 alterations apply where the work area exceeds 50 percent of the aggregate area of the building and made within any 12-month period.

Exception: Work areas in which the alteration work is exclusively plumbing, mechanical or electrical shall not be included in the computation of total area of all work areas.

**305.2 Application.**

Level 3 alterations shall comply with the provisions of Chapters 5 and 6 for Level 1 and 2 alterations, respectively, as well as the provisions of Chapter 7.

**101.1 Title.**

*Rucks Report by Jeff G Hooper*

These regulations shall be known as the Florida Existing Building Code, hereinafter referred to as "this code." In addition to the provisions of this chapter, the provisions of Chapter 1, Florida Building Code, Building, shall govern the administration and enforcement of this code.

**101.2 Scope.**

The provisions of the Florida Existing Building Code shall apply to the repair, alteration, change of occupancy, addition, and relocation of existing buildings. A building or portion of a building that has not been previously occupied or used for its intended purpose shall comply with the provisions of the Florida Building Code for new construction. Repairs, alterations, change of occupancy, existing buildings to which additions are made, historic buildings, and relocated buildings complying with the provisions of the Florida Building Code, Building; the Florida Building Code, Plumbing; the Florida Building Code, Mechanical; the Florida Building Code, Fuel Gas; the Florida Building Code, Residential; and the Florida Fire Prevention Code as applicable shall be considered in compliance with the provisions of this code.

Exception: For the purpose of public educational facilities and state licensed facilities, see Chapter 4, Special Occupancy, of the Florida Building Code, Building.

**STRUCTURAL DETERMINATION.** For purposes of this code, "structural" shall mean any part, material or assembly of a building or structure which affects the safety of such building or structure and/or which supports any dead or designed live load and the removal of which part, material or assembly could cause, or be expected to cause, all or any portion to collapse or fail.

**SUBSTANTIAL DAMAGE.** See Section 3110 of the Florida Building Code, Building.

**SUBSTANTIAL STRUCTURAL DAMAGE.** A condition where:

1. In any story, the vertical elements of the lateral-force-resisting system, in any direction and taken as a whole, have suffered damage such that the lateral load-carrying capacity has been reduced by more than 20 percent from its pre-damaged condition, or
2. The vertical load-carrying components supporting more than 30 percent of the structure's floor or roof area have suffered a reduction in vertical load-carrying capacity to below 75 percent of the Florida Building Code, Building required strength levels calculated by either the strength or allowable stress method.

Source THE FLORIDA BUILDING CODE

***Rucks Report by Jeff G Hooper***

Signed Electronically,

*Jeffrey G. Hooper*



date DEC 12, 2008

JEFF G. HOOPER,  
STATE OF FLORIDA CERTIFIED GENERAL CONTRACTOR CGC #057376  
STATE OF FLORIDA CERTIFIED BUILDING INSPECTOR BN #0003806  
ICC CERTIFIED BUILDING INSPECTOR CI #5186339-B5  
ICC CERTIFIED MECHANICAL AND GAS INSPECTOR CI #5186339-M5  
ICC CERTIFIED PLUMBING INSPECTOR CI #5186339-P5  
SBCCI CERTIFIED BUILDING INSPECTOR CI #7254  
SBCCI CERTIFIED MECHANICAL AND GAS INSPECTOR CI #2226  
SBCCI CERTIFIED PLUMBING INSPECTOR CI #3317  
FABI REGISTERED PROFESSIONAL INSPECTOR RPI #0138

**8099**

**GAS TANK**

**W/LINES**



MASTER PERMIT NO. \_\_\_\_\_

# TOWN OF SEWALL'S POINT

Date 3/9/06

BUILDING PERMIT NO. 8099

Building to be erected for RUCKS

Type of Permit GAS TANK LINES

Applied for by PROPANE DISCOUNTERS (Contractor)

Building Fee 35.00

Subdivision INDIALUCIE EAST Lot 7 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 N. Sewall's Pt Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number: 353741003000000704  
~~138410010020001050000~~

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 2095 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ )

Roofing Fee \_\_\_\_\_

Total Construction Cost \$ 2300.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL     |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK  |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE          |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input checked="" type="checkbox"/> GAS |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION     |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION       |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

RECEIVED  
3/8/06

35-R 2764  
Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 2-13-06

OWNER/TITLEHOLDER NAME: Brian Rucks Phone (Day) 283-2770 (Fax) \_\_\_\_\_

Job Site Address: 20 N Sewalls Point Rd City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Description of Work To Be Done: INSTALL SCOUR TAKE HOME TO APPLICANT

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2300.00  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_

(If no, fill out the Contractor & Subcontractor sections below)

Is Improvement cost 50% or more of Fair Market Value? YES NO

(If yes, Owner Builder Affidavit must accompany application)

Method of Determining Fair Market Value: \_\_\_\_\_

CONTRACTOR/Company: PREPARE DISCOUNTED Phone: 468-0870 Fax: 468-0208

Street: 904 S. MARKET ST City: Fort Pierce State: FL Zip: 34982

State Registration Number: 15540 State Certification Number: 2024320-006 Martin County License Number: 13389

SUBCONTRACTOR INFORMATION:

Electrical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Plumbing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_  
Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

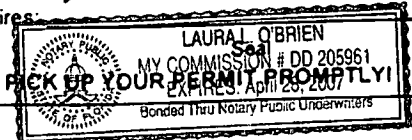
OWNER OR AGENT SIGNATURE (required)  
Robert Graunke  
State of Florida, County of: MARTIN  
This the 6 day of MARCH, 2006  
by ROBERT GRAUNKE who is personally  
known to me or produced  
as identification. Barbara J Bowers  
Notary Public

CONTRACTOR SIGNATURE (required)  
James Smith  
On State of Florida, County of: MARTIN  
This the 6th day of MARCH, 2006  
by JAMES SMITH who is personally  
known to me or produced  
As identification. Barbara J Bowers  
Notary Public

My Commission Expires: \_\_\_\_\_  
Barbara J Bowers

My Commission Expires: \_\_\_\_\_

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
Expires January 03, 2007



# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JO  
PROPAND

DATE (MM/DD/YYYY)  
01/31/06

**PRODUCER**  
MORRIS & REYNOLDS INSURANCE  
14821 South Dixie Highway  
MIAMI FL 33176-7928  
Phone: 305-238-1000 Fax: 305-255-9643

**INSURED**  
Propane Discounters, L.C.  
Mr. Jayce Smith  
1108 NE Industrial Blvd  
Jensen Beach FL 34957

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	St. Paul Fire and Marine InsCo	24767
INSURER B:	Commerce and Industry	19410
INSURER C:		
INSURER D:		
INSURER E:		

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY	X6601013C38ATIL05	11/14/05	11/14/06	EACH OCCURRENCE	\$ 1,000,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMPI/OP AGG	\$ 2,000,000
						GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
A		AUTOMOBILE LIABILITY	BA2077C85705GRP	11/14/05	11/14/06	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
		<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
		<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident)	\$
<input checked="" type="checkbox"/> NON-OWNED AUTOS							
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
		EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		<input type="checkbox"/> DEDUCTIBLE					\$
		<input type="checkbox"/> RETENTION \$					\$
							\$
B		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC2926072	01/01/06	01/01/07	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 100,000
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 100,000
						E.L. DISEASE - POLICY LIMIT	\$ 500,000
A		Property Section	X6601013C38ATIL05	11/14/05	11/14/06	Contents	50,000
		Special Form				REPLACEMENT COST	Equipment

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Propane Distributor

## CERTIFICATE HOLDER

TOWNSEW

Town of Sewall's Point  
Town Hall  
One S. Sewall's Point Road  
Sewall's Point FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

TOM GALLAGHER  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

• • CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW • •

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 08/18/2005

• • EXPIRATION DATE: 08/18/2007

PERSON: SMITH JAYCE

FEIN: 050570266

BUSINESS NAME AND ADDRESS: PROPANE DISCOUNTERS L C  
1108 NE INDUSTRIAL BLVD  
JENSEN BEACH FL 34957

REISSUANCE REQUIREMENT

SCOPE OF BUSINESS OR TRADE: 1- GAS MAIN / METER INSTALLATION

IMPORTANT: Pursuant to Chapter 440 . 05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION  
CONSTRUCTION INDUSTRY  
CERTIFICATE OF EXEMPTION FROM FLORIDA  
WORKERS' COMPENSATION LAW



EFFECTIVE: 08/18/2005

• • EXPIRATION DATE: 08/18/2007

PERSON: JAYCE SMITH

FEIN: 050570266

BUSINESS NAME AND ADDRESS: PROPANE DISCOUNTERS L C  
1108 NE INDUSTRIAL BLVD  
JENSEN BEACH, FL 34957

SCOPE OF BUSINESS OR TRADE:  
1- GAS MAIN / METER INSTALLATION

F  
O  
L  
D  
  
H  
E  
R  
E

IMPORTANT

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1609

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

2005-2006 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 2004-320-006 CERT \_\_\_\_\_  
PHONE (772) 225-7980 SIC NO 422710

LOCATION:  
1108 NE INDUSTRIAL BLVD J

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF  
**WHOLESALE DISTRIBUTION OF PROPANE**  
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

**SMITH, JAYCE A**  
**PROPANE DISCOUNTERS L.C**  
**1108 NE INDUSTRIAL BLVD**  
**JENSEN BEACH, FL 34957**

27 DAY OF SEPTEMBER 2005  
AND ENDING SEPTEMBER 30 2006

RECEIPT of PAYMENT  
LARRY C. O'STEEN 6810  
99 09/30/2005 OCC. NORMAL  
200432000000000  
0220050930000520CK



POST LICENSE  
CONSPICUOUSLY

State of Florida  
Department of Agriculture and Consumer Services

Division of Standards  
Bureau of Liquefied Petroleum Gas  
(850) 921-8001  
Tallahassee, Florida

License Number: 15540  
Expiration Date: August 31, 2006  
Date of Issue: September 1, 2005  
License Fee: \$425.00  
Type and Class: 0601

**Liquefied Petroleum Gas License**  
**CATEGORY I LP GAS DEALER**

GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

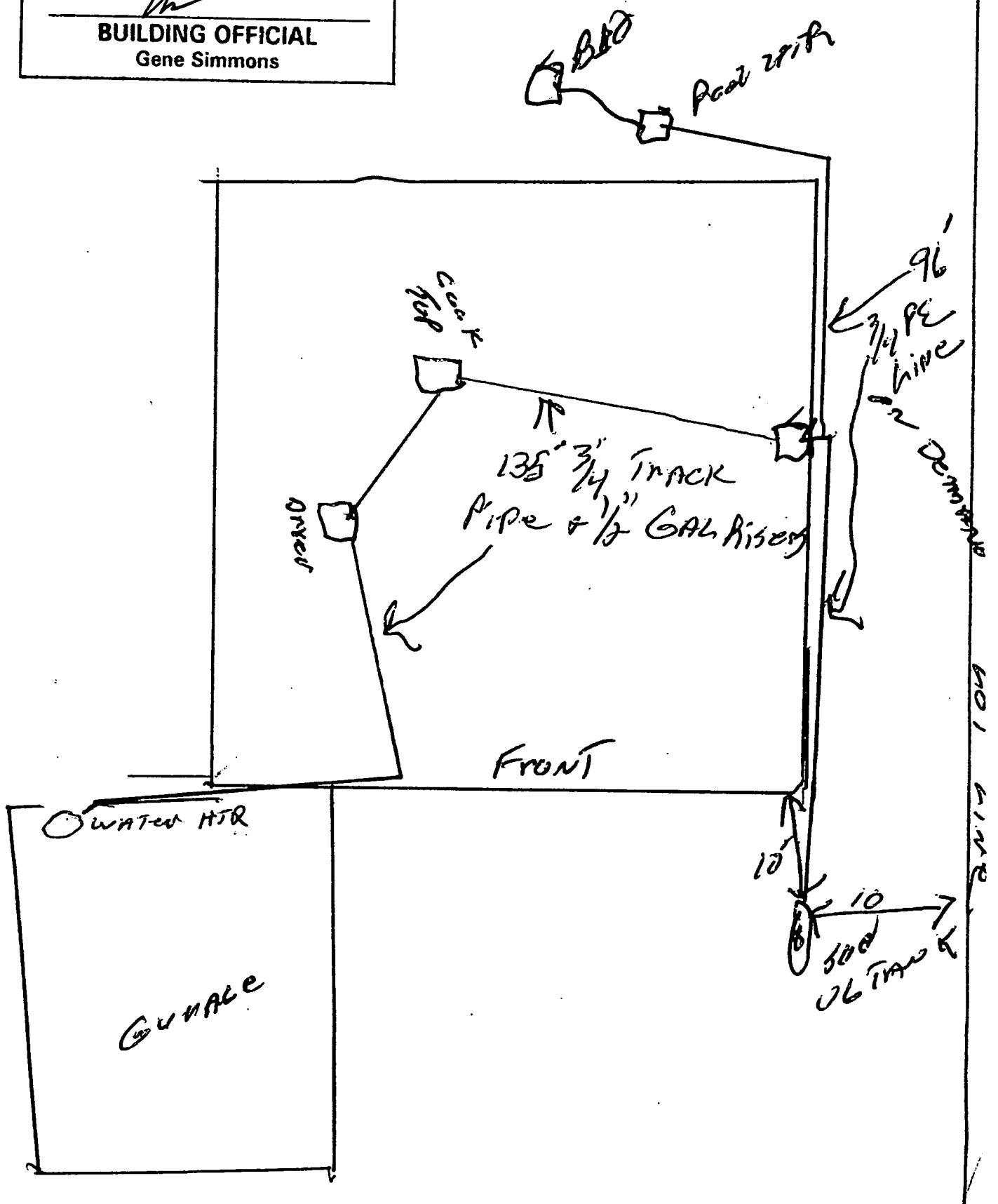
PROPANE DISCOUNTERS, L.C.  
739 NE DIXIE HWY  
JENSEN BEACH, FL 34957-6105

*Charles H. Bronson*  
CHARLES H. BRONSON  
COMMISSIONER OF AGRICULTURE

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: 3/8/06

  
BUILDING OFFICIAL  
Gene Simmons





8099

### TOWN OF SEWALL'S POINT

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20 N. S P R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

GAS TROUGH

GAS PIPING IN CRAWL SPACE  
NEEDS ADDITION SUPPORTS  
ON ~~THE~~ NORTH SIDE

PRESSURE GAUGE READS 0<sup>1</sup>

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/19

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/19, 2006 Page 1 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7764	RUCKS	FRAMING	FAIL	
4	20 N. SEWALLS PT	A/C ROUGH	FAIL	INSPECTOR: <i>OW</i>
	MASTERPIECE	ELEC ROUGH	FAIL	
7764	11	PUMBINA RAIL	PASS	
4	11			INSPECTOR: <i>OW</i>
7764	<del>RUCKS</del>	<del>GAS ROUGH</del>	<del>FAIL</del>	
4	20 N. SEWALLS PT			INSPECTOR: <i>OW</i>
	PROPANE DISCOUNTERS			
8115	SMITH	FINAL GEN ELEC	FAIL	
3	7 LOFTING WAY		PASS	REINSPECTED
	ALFRED BRESSAN			INSPECTOR: <i>OW</i>
8155	SCHECODNIC	ROUGH GAS	FAIL	
11	12 S. SEWALLS PT			INSPECTOR: <i>OW</i>
	FERRER GAS			
7938	Bonifac	FINAL POOL	PASS	CLOSE
10	63 S. River Rd.	FOUNTAIN		INSPECTOR: <i>OW</i>
	ADVANTAGE POOL	LATE MORN		
7710	Bonifac	Final Pool	PASS	CLOSE
10	63 S River Rd			INSPECTOR: <i>OW</i>
	ADVANTAGE	LATE MORN		

OTHER: \_\_\_\_\_



8099

**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 20 N SPR

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

GAS TRUETT.

SECURE GAS PIPE FEED TO  
COOK TOP IN KITCHEN.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/11

[Signature]

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~Wed~~ <sup>THURS</sup>  Fri 5-11, 2006 Page 1 of    

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7380	Boniface	Final <del>SKETCH</del>	<del>PASS</del> FAIL	
1	61 S River Rd Wilson Bldg.	POOL FENCE SE GAS	PASS PASS PASS	INSPECTOR: <i>OM</i>
7718	Schoppe	Framing <del>AC</del>	FAIL	
2	9 Palm Rd A+P Const	<del>AC</del> PLUMBING ELEC.	PASS WILL PASS	RESCHEDULE. INSPECTOR: <i>OM</i>
8218	Gulick	Dry-In	PASS	
3	10 Island Rd L+W Roofing	Am		INSPECTOR: <i>OM</i>
7993	Rachino	Partial roof	leaking	
4	11 Wendy Ln Sea Gate Bldg.	REINSPECTION	PASS	INSPECTOR: <i>OM</i>
<del>8193</del>	<del>CABELLA</del>	<del>PLYWOOD TRIPOL.</del>	<del>CANCEL</del>	
5	<del>B.N. SPR.</del> CHARLOT 283-1505			INSPECTOR:
<del>8099</del>	<del>REVIC</del>	<del>CAS POUCH</del>	<del>FAIL</del>	
6	20 N. SPR. PROPANE DISC.	772-468-0040		INSPECTOR: <i>OM</i>
8228	Ingo	Underground gas	PASS	
7	11 Heritage Way CFC Diversified	tank		INSPECTOR: <i>OM</i>
OTHER:				
7938	BONIFACE	FOUNTAIN	PASS	CLOSE <i>OM</i>



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS: 20. N. S. P. R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

U.G. TANK & LINES

TANK MUST BE 10' FROM  
SIDE PROPERTY LINE

RESUBMIT REVISED TANK  
LOCATION.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/11

AM  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-11, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8087	Wolcott	Final dock	FAIL	
7	32 Riv Vista Dr O/B			INSPECTOR: <i>[Signature]</i>
Tree	H & L Mariner Dr	Tree	PASS	
6	12 Palm Ct Worrell			INSPECTOR: <i>[Signature]</i>
8408	Laormino	In. <sup>POOL</sup> progress	PASS	
4	26 Feldway Dr Stein & W			INSPECTOR: <i>[Signature]</i>
<del>8099</del>	<del>Lucho</del>	<del>deck in line</del>	<del>FAIL</del>	<del>INSPECTOR: [Signature]</del>
1	20 N Sewalls Pt Inocare Disc.	215-9014 JOHN		INSPECTOR: <i>[Signature]</i>
8178	Vitale	Elec final	PASS	CLOSE
LAST	13 Knowles Rd Winter Haven Elec			INSPECTOR: <i>[Signature]</i>
1999	Mader	Pool final	PASS	CLOSE
5	106 Abbiel Ct Advantage			INSPECTOR: <i>[Signature]</i>
8203	Van Vonno	dry-in metal	PASS	
LAST	15 S. Ridgview All American	11:30		INSPECTOR: <i>[Signature]</i>

OTHER: \_\_\_\_\_



## TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

### CORRECTION NOTICE

ADDRESS: 20 N. S. P. R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

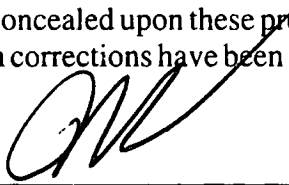
GAS FINAL

NO ACCESSIBLE SHUT OFF @  
RANGE -

DOOR OF GAS LEAK @ RANGE  
MUST BE ADDRESSED ASAP.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 10/20



INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-20, 2006

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>2099</del>	<del>fuchs</del>	<del>final</del>	<del>FAIL</del>	<del></del>
2	20 N Sewall St Propane b/c.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7619	Tidikis	tie beam	FAIL	
Early 4	12 Crane West Advanced Concepts			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
1801	Cummings	beam/column	PASS	
8	335. River Rd Ebas Mngmt			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
0082		ROOF FINAL	FAIL	
7	68 S.S.P.R.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 10-23, 2006

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
C.O	Silas	railing final	PASS	ISSUE C.O.
155	10 Castle Hill Gene Eichelberg			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7670	Elder	pool final	PASS	CLOSE
4	4 Marguerita Way O/B	475-5067 <sup>CELL</sup>		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8217	Elder	Fence final	PASS	CLOSE
4	4 Marguerita Way O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
764	Rucks	Final	FAIL	
3	20 N. Sewalls Pt Masterpiece			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
86402	Muir	Final	PASS	CLOSE
2	14 Pennwinkle La Folding Shutter			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8099</del>	<del>Rucks</del>	<del>Final-rump</del>	<del>PASS</del>	<del>CLOSE</del>
3	20 N. Sewalls Propane Disc			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7819	Tidipis	tie beam	PASS	
6	12 Cranes Nest Advanced	LAST 11:30		INSPECTOR: <i>[Signature]</i>

OTHER:



**8132**

**POOL**

MASTER PERMIT NO. \_\_\_\_\_

**TOWN OF SEWALL'S POINT**

Date 3-24-06

BUILDING PERMIT NO. **8132**

Building to be erected for RUCKS

Type of Permit Pool + Deck

Applied for by HARBOR BAY POOLS (Contractor)

Building Fee 240.00

Subdivision INDIAWICIE E Lot 7 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 20 N. SEWALL'S POINT RD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

3537410030000007040000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 264.00 Check # 25987 Cash \_\_\_\_\_

Other Fees (10% PR) 24.00

Total Construction Cost \$ ~~51,150~~ \_\_\_\_\_

TOTAL Fees 264.00

Signed [Signature] 3/24/06  
Applicant

Signed [Signature]  
Town Building Official

**PERMIT**

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL               |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input checked="" type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE                    |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS                      |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION               |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION                 |

**INSPECTIONS**

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Date: REC'D R. 3/1/06

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Brian + Sandra Rucks Phone (Day) 286-3167 (Fax) \_\_\_\_\_

Job Site Address: 20 SEWALL'S POINT RD. City: STUART State: FL Zip: 34994

Legal Desc. Property (Subd/Lot/Block) LOT 7, INDIALUCIE EAST Parcel Number: 35-37-41-003-000-00070-4

Owner Address (if different): 508 SW CALIFORNIA AVE. City: STUART State: FL Zip: 34994

Description of Work To Be Done: CONSTRUCTION OF POOL + DECK

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: HARBOR BAY POOLS, INC. Phone: 878-8806 Fax: 878-8859

Street: 1919 SW S. MACEDO BLVD. City: PORT ST. LUCIE State: FL Zip: 34984

State Registration Number: RP0067256 State Certification Number: \_\_\_\_\_ Martin County License Number: SP02391

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 51,150 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION:

Electrical: HALDANE ELECTRIC State: FL License Number: EC0001346

Mechanical: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

Plumbing: HARBOR BAY POOLS, INC. State: FL License Number: RP0067256

Roofing: \_\_\_\_\_ State: \_\_\_\_\_ License Number: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ENGINEER SENG-CHAI TAN Phone Number: 561-301-0321

Street: 345 ALHAMBRA PL. City: WEST PALM BEACH State: FL Zip: 33405

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_  
Carpport: \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001  
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)  
Sandra Rucks  
State of Florida, County of: ST. LUCIE  
This the 28 day of Feb., 2006  
by SANDRA L. RUCKS who is personally  
known to me or produced IN PERSON  
as identification. Karen L. Swinson

CONTRACTOR SIGNATURE (required)  
WaDEM CLARKE  
On State of Florida, County of: ST. LUCIE  
This the 28 day of Feb., 2006  
by WADEM M. CLARKE who is personally  
known to me or produced \_\_\_\_\_  
As identification. Karen L. Swinson

Notary Public  
Karen L. Swinson  
My Commission Expires \_\_\_\_\_  
★ My Commission CC991758  
Expires Jan 3, 2009

Notary Public  
Karen L. Swinson  
My Commission Expires \_\_\_\_\_  
★ My Commission CC991758  
Expires Jan 3, 2009

CERTIFICATE OF INSURANCE

The company indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy numbered and described below.

CERTIFICATE HOLDER:

TOWN OF SEWALLS POINT  
 TOWN HALL  
 ATTN GENE/LAURA  
 1 SOUTH SEWALLS POINT ROAD  
 SEWALLS POINT, FL 34996

INSURED:

HARBOR BAY POOLS INC  
 1919 SW SOUTH MACEDO BLVD  
 PORT ST LUCIE, FL 34984-4346

TYPE OF INSURANCE	POLICY NUMBER & ISSUING CO.	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS OF LIABILITY (*LIMITS AT INCEPTION)
LIABILITY	77-PR-708391-3001	12-21-06	12-21-07	
<input checked="" type="checkbox"/> Liability and Medical Expense	NATIONWIDE MUTUAL INSURANCE CO.			Any One Occurrence..... \$ 1,000,000
<input checked="" type="checkbox"/> Personal and Advertising Injury				Any One Person/Org ..... \$ 1,000,000
<input checked="" type="checkbox"/> Medical Expenses				ANY ONE PERSON ..... \$ 5,000
<input checked="" type="checkbox"/> Fire Legal Liability				Any One Fire or Explosion \$ 100,000
				General Aggregate* ..... \$ 2,000,000
				Prod/Comp Ops Aggregate* . \$ 2,000,000
<input type="checkbox"/> Other Liability				
<b>AUTOMOBILE LIABILITY</b>				
<input type="checkbox"/> BUSINESS AUTO				Bodily Injury (Each Person) ..... \$ (Each Accident) ..... \$
<input type="checkbox"/> Owned				Property Damage (Each Accident) ..... \$
<input type="checkbox"/> Hired				Combined Single Limit .... \$
<input type="checkbox"/> Non-Owned				
<b>EXCESS LIABILITY</b>				
	77-CU-708391-Nationwide Insurance Co.	12-21-06	12-21-07	Each Occurrence ..... \$ 1,000,000
<input checked="" type="checkbox"/> Umbrella Form				Prod/Comp Ops/Disease Aggregate* ..... \$ 1,000,000
<b>STATUTORY LIMITS</b>				
<input type="checkbox"/> Workers' Compensation and Employers' Liability				BODILY INJURY/ACCIDENT ... \$ Bodily Injury by Disease EACH EMPLOYEE ..... \$ Bodily Injury by Disease POLICY LIMIT ..... \$

Should any of the above described policies be cancelled before the expiration date, the insurance company will endeavor to mail written notice to the above named certificate holder, but failure to mail such notice shall impose no obligation or liability upon the company, its agents, or representatives.

DESCRIPTION OF OPERATIONS/LOCATIONS  
 VEHICLES/RESTRICTIONS/SPECIAL ITEMS

Effective Date of Certificate: 12-21-2005  
 Date Certificate Issued: 03-02-2006

Authorized Representative: *O.R. Post*  
 Countersigned at: O. R. POST AGENCY  
 146 NW CENTRAL PARK PLZ  
 SUITE 102

DATE	BATCH NUMBER	LICENSE NBR
06/10/2005	040977371	QB0013740

The BUSINESS ORGANIZATION  
Named below IS QUALIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2007  
(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS  
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)  
HARBOR BAY POOLS INC  
694 SW BAYSHORE BLVD  
PORT ST LUCIE FL 34983

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

DATE	BATCH NUMBER	LICENSE NBR
06/11/2005	040981816	RP0067256

The RESIDENTIAL POOL/SPA CONTRACTOR  
Named below HAS REGISTERED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2007  
(INDIVIDUAL MUST MEET ALL LOCAL LICENSING  
REQUIREMENTS PRIOR TO CONTRACTING IN ANY AREA)  
CLARKE, WADE MALCOLM  
HARBOR BAY POOLS INC  
694 SW BAYSHORE BLVD  
PORT ST LUCIE FL 34983

JEB BUSH  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR  
SECRETARY

**ST. LUCIE COUNTY**  
**CONTRACTOR**  
**IDENTIFICATION CARD**

County Certificate Number: 18227  
 Class Code: Pool / Spa Residential - Registered

This is to certify that CLARKE WADE M DBA HARBOR BAY POOLS INC has been issued a County Certificate in St. Lucie County, beginning on 10/01/2006 and ending on 09/30/2008, unless license is revoked


*Bob C. J. Longmeyer*  
Authorized Licensing Official

**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

**COMMERCIAL POOL/SPA**

License Number SP02391 Expires: 30-SEP-07  
 CLARKE, WADE M  
 HARBOR BAY POOLS INC  
 694 SW BAYSHORE BLVD  
 PORT ST LUCIE, FL 34983

**City of Fort Pierce, Florida**  
**Contractor Licensing**  
 P. O. Box 1480  
 Fort Pierce, Florida 34964  
 Local License: CONT438 - 06  
 Expiration: 9/30/2006  
 Type: SWIMMING POOL REGISTERED  
 HARBOR BAY POOL, INC.  
 Qualifier WADE MALCOLM CLARKE



**CITY OF PORT ST. LUCIE 104520**  
**CONTRACTORS**  
**CERTIFICATE OF COMPETENCY**  
**EXPIRES SEPTEMBER 30, 2008**

NAME: CLARKE WADE MALCOLM  
 FIRM: HARBOR BAY POOLS INC  
 1928 SW BAYSHORE BLVD  
 PORT ST LUCIE FL 34984

TYPE: RESID. POOL/SPA  
 STATE: FL 0067256-01 CITY: 88806-8574

**LICENSING BOARD OF OKEECHOBEE COUNTY**  
 Contractor License Number: RP0067256-01

This CERTIFICATE OF COMPETENCY certifies that  
**WADE CLARKE**  
 d/b/a **HARBOR BAY POOLS, INC.**

Has complied with all requirements for this Board of Recognition as a  
**POOL/SPA RESIDENTIAL REGISTERED Contractor**  
 Subject to all ordinances and regulations of Okeechobee County, Florida  
 EXPIRES: 09/30/07

*[Signature]*  
Building Official

<b>ACORD™ CERTIFICATE OF LIABILITY INSURANCE</b>						Date <b>2/15/2006</b>																
<b>Producer:</b> Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone: 727-938-5562 Fax: 727-837-2138			This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.																			
<b>Insured:</b> South East Personnel Leasing, Inc. 2739 U.S. Highway 19 N. Holiday, FL 34691 Phone : (727)938-5562			Insurers Affording Coverage		NAIC #																	
			Insurer A:	Lion Insurance Company	11075																	
			Insurer B:																			
			Insurer C:																			
			Insurer D:																			
<b>Coverages</b> The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.																						
INSR LTR	ADDL NSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Compl/Op Agg \$																
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> Any Auto				Auto Only - Ea Accident \$ Other Than EA Acc \$ Autos Only. ACC. \$																
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence Aggregate																
A		<b>Workers Compensation and Employers' Liability</b> Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	01/01/2006	01/01/2007	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">X</td> <td style="text-align: center;">WC Statutory Limits</td> <td style="text-align: center;">OTHER</td> <td></td> </tr> <tr> <td colspan="2">E.L. Each Accident</td> <td></td> <td>\$1000000</td> </tr> <tr> <td colspan="2">E.L. Disease - Ea Employee</td> <td></td> <td>\$1000000</td> </tr> <tr> <td colspan="2">E.L. Disease - Policy Limits</td> <td></td> <td>\$1000000</td> </tr> </table>	X	WC Statutory Limits	OTHER		E.L. Each Accident			\$1000000	E.L. Disease - Ea Employee			\$1000000	E.L. Disease - Policy Limits			\$1000000
X	WC Statutory Limits	OTHER																				
E.L. Each Accident			\$1000000																			
E.L. Disease - Ea Employee			\$1000000																			
E.L. Disease - Policy Limits			\$1000000																			
	Other 3484011 Harbor Bay Pools, Inc.	COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.																				
Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsements/Special Provisions: ADD ON DATE: 4/29/2004 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Harbor Bay Pools, Inc. * FAX: 772-878-8859 & 772-220-4765 / ISSUE 02-15-06 (TD)																						
<b>Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616</b>																						
CERTIFICATE HOLDER			CANCELLATION																			
TOWN OF SEWALL'S POINT  ONE SOUTH SEWELL'S POINT ROAD SEWALLS POINT FL 34988			Should any of the above described policies be canceled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.  																			

NOTICE OF COMMENCEMENT

PERMIT NO. \_\_\_\_\_  
STATE OF FLORIDA

TAX I.D. NO. 35-37-41-003-000-00070-4  
COUNTY OF MARTIN

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and street address, if available \_\_\_\_\_  
LOT 7, INDIALUCIE EAST  
20 N. SEWALL'S POINT RD.

General description of improvements POOL, DECK  
Owner SANDRA L. RUCKS  
Address 508 SW CALIFORNIA AVE., STUART 34994  
Owner's interest in site of improvement RESIDENCE  
Fee simple title holder if other than owner \_\_\_\_\_  
Address N/A

RETURN TO →

Contractor HARBOR BAY POOLS, INC.  
Address 1919 SW S. MACEDO BLVD., PSL, FL 34984

Phone # (772) 878-8806  
Fax # (772) 878-8859

Surety \_\_\_\_\_  
Address N/A  
Amount of Bond \$ \_\_\_\_\_

Phone # \_\_\_\_\_  
Fax # \_\_\_\_\_

Lender \_\_\_\_\_  
Address N/A

Phone # \_\_\_\_\_  
Fax # \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be Served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name \_\_\_\_\_  
Address N/A

Phone # \_\_\_\_\_  
Fax # \_\_\_\_\_

In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. \_\_\_\_\_ (Date)

Sandra L. Rucks  
OWNER'S SIGNATURE

STATE OF FLORIDA, COUNTY OF St. Lucie  
Sworn to and subscribed before me this 6 day of Feb., 2006, by SANDRA L. RUCKS  
Is personally known to me or who has produced IN PERSON as identification.

(seal)

Karen L. Swinson  
Signature of Notary

KAREN L. SWINSON  
Type or Print Name of Notary  
Notary Public Title Commission No. \_\_\_\_\_



Karen L. Swinson  
My Commission CC991758  
Expires Jan 3, 2009

INSTR # 1909740 OR BK 02111 PG 0331 RECD 02/10/2006 09:24:53 AM  
Pg 0331 (1pg)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (asst mrt)



# SWIMMING POOL AND SPA SUBCONTRACTORS LIST

APPLICANT'S NAME HARBOR BAY POOLS, INC. PERMIT # \_\_\_\_\_

MAILING ADDRESS 1919 SW S. MACEDO BLVD. CITY PSL STATE FL ZIP 34984

PLEASE PROVIDE A SUBCONTRACTORS LIST FOR VERIFICATION. ANY CHANGES TO THIS LIST MUST BE PROVIDED PRIOR TO FINAL INSPECTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR FURTHER INFORMATION PLEASE CONTACT THE CONTRACTORS' LICENSING OFFICE AT (561) 288-5482 OR 288-5917..

PLEASE INCLUDE ALL MARTIN COUNTY COMPETENCY CARD NUMBERS OR STATE CERIFICATION NUMBERS. DO NOT USE OCCUPATIONAL LICENSE NUMBERS.

	CO. NAME	LICENSE #
CONCRETE POOL DECK	HARBOR BAY POOLS	SP02391
DECK FINISH	HARBOR BAY POOLS	SP02391
*MASTER ELECTRICIAN	HALDANE ELECTRIC	EC0001346
POOL GUNITE	PRESTIGE GUNITE	CPCA56953
INTERIOR POOL FINISH	PRESTIGE POOL PLASTERING	CPC056953
POOL STEEL	HARBOR BAY POOLS	SP02391

\*REQUIRES SEPARATE VERIFICATION FORM

I CERTIFY THAT THE ABOVE INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MARTIN COUNTY OR STATE LICENSED CONTRACTORS.

I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO FINAL INSPECTION.


Wade M. Clarke PRES  
SIGNATURE OF APPLICANT

SWORN TO AND SUBSCRIBED BEFORE ME THIS 6 DAY OF FEB.

2006 BY WADE M. CLARKE

Karen L. Swinson  
NOTARY PUBLIC, STATE OF FLORIDA

PERSONALLY KNOWN X  
PRODUCED ID \_\_\_\_\_  
TYPE: \_\_\_\_\_

 Karen L. Swinson  
My Commission CC991758  
Expires Jan 3, 2009

## CRITIQUE

Owner: Brian & Sandra Rucks

Date: March 2, 2006

Contractor: Harbor Bay Pools

Contractor's Phone Number: 878-8806

Plan Reviewer: Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR POOL AND DECK LOCATED AT 20 NORTH SEWALL'S POINT ROAD

#### Submittals (2 copies)

1. Current **Mean High Water** survey (**within one year**) containing the following information:
  - a. Survey has to be signed and sealed by surveyor.
  - b. Pool and deck cannot encroach 50 feet from mean high water.
2. Proof of Ownership
3. Copy of State, Martin County Licenses
4. Copy of Liability Insurance
5. Copy of Workmen's Compensation

**Town of Sewall's Point  
Building Department  
772-287-2455 ext 13  
772-220-4765 FAX**

# Fax

**To:** HARBOR BAY POOLS      **From:** GENE/LAURA  
**Fax:** 878-8859      **Date:** 3/2/06  
**Phone:** 878-8806      **Pages:** 2  
**Re:** RUCKS      **CC:** \_\_\_\_\_

**Urgent**       **For Review**       **Please Comment**       **Please Reply**       **Please Recycle**

---

**HP Fax K1220**

**Log for**  
**Town of Sewall's Point**  
**(772)220-4765**  
**Mar 02 2006 9:40am**

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**Last Transaction**

<u>Date</u>	<u>Time</u>	<u>Type</u>	<u>Identification</u>	<u>Duration</u>	<u>Pages</u>	<u>Result</u>
Mar 2	9:40am	Fax Sent	8788859	0:30	2	OK

---

# TOWN OF SEWALL'S POINT

## RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT

### AFFIDAVIT OF REQUIREMENT COMPLINACE

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at 2200 SEWALL'S Pt. RO., and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statues.

The pool is isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statue 515.29

The pool is equipped with an approved safety pool cover that complies with ASTM F1346-91 (Stand Performance Specification for Safety Covers for Swimming Pool, Spas, and Hot Tubs)

All doors and windows providing direct access from the home to the pool are equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet

All doors providing direct access from the home to the pool are equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

[Signature] 2-28-06  
CONTRACTOR'S SIGNATURE & DATE

[Signature] 2/21/06  
OWNER'S SIGNATURE & DATE


[Signature]  
NOTARY PUBLIC, STATE OF FLORIDA


[Signature]  
NOTARY PUBLIC, STATE OF FLORIDA

AS TO CONTRACTOR PERSONALLY KNOWN  
OR PRODUCED ID   
TYPE \_\_\_\_\_

AS TO OWNER PERSONALLY KNOWN  
OR PRODUCED ID   
TYPE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION**

 Karen L. Swinson  
★ My Commission CC991758  
Expires Jan 3, 2009

 Karen L. Swinson  
★ My Commission CC991758  
Expires Jan 3, 2009

# KSM

## KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.

MARTIN (772) 337-7755  
PALM BEACH (561) 845-7445  
FAX (561) 845-8876

P.O. BOX 78-1377, SEBASTIAN, FL 32978-1377  
C.A.: 5693 PE.: 37293 S.I.: 860

SEBASTIAN (772) 589-0712  
MELBOURNE (321) 768-8488  
ST. LUCIE (772) 229-9093  
FAX (772) 589-6469

### SOIL COMPACTION REPORT ASTM D 1557 and ASTM D 2922

DATE TESTED : April 28, 2006  
PERMIT # : 8132  
CONTRACTOR : Harbor Bay Pools  
JOB LOCATION : 20 N. Sewall's Point Road  
Stuart, Florida

JOB # : 603059-1pd/JL/clm

P.O. #: Rucks

8132  
FILE

ITEM TESTED : Pool Deck Backfill

TEST LOCATION OF SAMPLE	DEPTH	* PEN READ	DRY DENSITY	MAX. DRY PROCTOR VALUE	PERCENT COMPACTION
1 South	0' - 1'	175	107.4	109.9	97.7
2	1' - 2'	200+			95.0+
3	2' - 3'	200+			95.0+
4					
5 North	0' - 1'	185	108.5	109.9	98.7
6	1' - 2'	200+			95.0+
7	2' - 3'	200+			95.0+
8					
9 East	0' - 1'	180	107.9	109.9	98.2
10	1' - 2'	200+			95.0+
11	2' - 3'	200+			95.0+
12					

Soil Description:  
Brown Slightly Clayed Fine Sand

In Place Moisture:  
11.3 Percent

Optimum Moisture:  
11.6 Percent

Max. Dry Density:  
109.9 P.C.F.

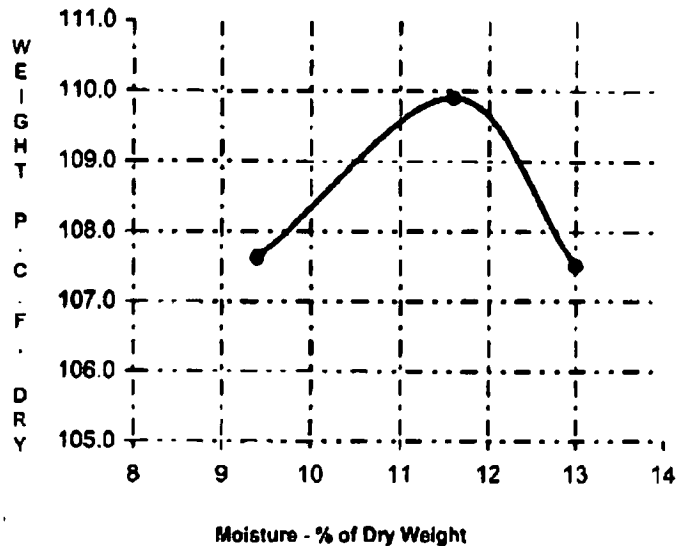
@ Test Locations the Density & Penetrometer Readings Indicate the Degree of Compaction Meets Minimum Required.

\* Pen. Readings Taken to Natural Grade.

Respectfully Submitted:

Ronald G. Keller, P.E.  
Fax To: Sewall's Point Bldg, Dept. 772-220-4765

5-1-06



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-19-06, 2006 Page 3 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7960	ROBERT AUTESLAVEN	DOCK repair	FAIL	
5	7 N. River Rd			INSPECTOR: <i>[Signature]</i>
	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TR-8	Kubert <del>Self</del>	Tree	PASS	
8	15 ISLAND RD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7380	Boniface	gas	FAIL	
10	603 S River Rd	LATE MORN		INSPECTOR: <i>[Signature]</i>
	Wilm Bldg			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7819	Tidikis	Piling transition	FAIL	
1A	12 Cranes Nest	cap steel FOUNDATION		INSPECTOR: <i>[Signature]</i>
	Advanced Concepts	1ST PLEASE		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>7822</del>	<del>...</del>	<del>FOUNDATION</del>	<del>PASS</del>	
4	20 N. Sewalls Pt	Steel Inspection		INSPECTOR: <i>[Signature]</i>
	Harbor Bay Pools	(578-8806 SANDY)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9/22, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8131	Slater	Final	FAIL	
9	4 Lagoon Isl. Elite Elect <sup>340-</sup> <sub>3797</sub>	Val-call w/ results		INSPECTOR: <i>[Signature]</i>
8133	Slater	Final	FAIL	
9	4 Lagoon Isl O/B (Elite)			INSPECTOR: <i>[Signature]</i>
Tree	Clyde	Tree	PASS	
5	7 Ridgeland Dr O/B			INSPECTOR: <i>[Signature]</i>
<del>8132</del>	<del>Richie</del>	<del>Footer for panel</del>	<del>PASS</del>	
8	20 N Sewall St Harbor Bay Pools	deck		INSPECTOR: <i>[Signature]</i>
<del>8136</del>	<del>Cummings</del>	<del>Steel bonding structure</del>	<del>RESCHEDULE MONDAY.</del>	
6	83 S. River Rd Elias			INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 11-6, 2006 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
<del>8132</del>	<del>[REDACTED]</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
6	20 N. Sewalls Pt Harbor Bay Pool			INSPECTOR: <i>[Signature]</i>
8428	Caplan/Merlotz	Final	PASS	CLOSE
2	10 E High Pt Elite Elec.			INSPECTOR: <i>[Signature]</i>
7974	Lazarus	Final-dock repair	PASS	CLOSE
5	31 S. River Rd O/B			INSPECTOR: <i>[Signature]</i>
8031	Lazarus	boatlift final	PASS	CLOSE
5	31 S River Rd O/B			INSPECTOR: <i>[Signature]</i>
Tree	Govel	Tree	PASS	
7	24 Castle Hill Way Nail Balance			INSPECTOR: <i>[Signature]</i>
8087	Wulcott	Final-dock	PASS	CLOSE
3	32 Rio Vista O/B			INSPECTOR: <i>[Signature]</i>
7801	Cummings	beam/column	PASS	2ND FL. T.B. ELEVATOR T.B.
4	835 River Rd Elias			INSPECTOR: <i>[Signature]</i>
OTHER: _____				

**11005**

**FENCE**

**W/MASONRY**

**COLUMNS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	11005	DATE ISSUED:	September 9, 2014
SCOPE OF WORK:	Fence / with Masonry Columns		
CONTRACTOR:	Stuart Fence		
PARCEL CONTROL NUMBER:	35-37-41-003-000-00070-4	SUBDIVISION:	Indialucie East Lot 7
CONSTRUCTION ADDRESS:	20 N Sewall's Point Road		
OWNER NAME:	Blanchard		
QUALIFIER:	Chester Richmond	CONTACT PHONE NUMBER:	288-1151

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM**

**INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.**



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

<b>PERMIT NUMBER:</b>	11005		
<b>ADDRESS:</b>	20 N Sewall's Point Road		
<b>DATE ISSUED:</b>	9/9/2014	<b>SCOPE OF WORK:</b>	Fence / with Masonry Columns

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>	Declared Value	\$	
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Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
<b>TOTAL BUILDING PERMIT FEE:</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value:	\$	\$ 54,640.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 4.00	\$ 400.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 6.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 6.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	21.86
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	433.86

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Date: 8/12/14

Permit Number: 11605

OWNER/LESSEE NAME: Blanchard Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_  
 Job Site Address: 20 n Sewall's Point Rd City: Stuart State: FL Zip: 34996  
 Legal Description: India Lucie East Parcel Control Number: 35-37-41-003-000000704  
 Fee Simple Holder Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Telephone: \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):** Fence

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO \_\_\_\_\_  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES: (Required on ALL permit applications)**  
 Estimated Value of Improvements: \$ 54,640  
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:**  
 Estimated Fair Market Value prior to improvement: \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only, Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Stuart Fence Company Inc Phone: 772-288-1151 Fax: 772-288-3035  
 Qualifiers name: Chester J. Richmond Street: PO box 2636 City: Stuart State: FL Zip: 34995  
 State License Number: X OR: Municipality: Martin License Number: MCFE 3584  
 LOCAL CONTACT: office Tina Bojt Phone Number: 772-288-1151  
 DESIGN PROFESSIONAL: \_\_\_\_\_ Fla. License# \_\_\_\_\_  
 Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Phone Number: \_\_\_\_\_

**AREAS SQUARE FOOTAGE:** Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
 Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

**CODE EDITIONS IN EFFECT THIS APPLICATION:** Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010  
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

**AFFIDAVIT:** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:**  
George Blanchard  
 State of Florida, County of: Martin  
 On This the 12 day of August, 20 14  
 by George Blanchard who is personally  
 known to me or produced MSL 74102 CA  
 As identification: \_\_\_\_\_

**CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:**  
Chester J. Richmond  
 State of Florida, County of: \_\_\_\_\_  
 On This the 12 day of aug, 20 14  
 by Chester J. Richmond who is personally  
 known to me or produced \_\_\_\_\_  
 As identification: \_\_\_\_\_

Notary Public: Tina Marie Bojt My Commission Expires: 06/29/18  
 Notary Public: Tina Marie Bojt My Commission Expires: 06/29/18

**SINGLE FAMILY PERMIT APPLICATIONS MUST BE RECORDED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!**



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
8/11/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> RICK CARROLL INSURANCE AGENCY 2160 NE Dixie Highway PO Box 877 Jensen Beach FL 34958-0877		<b>CONTACT NAME:</b> Carla Green <b>PHONE (A/C No. Ext):</b> (772) 334-3181 <b>FAX (A/C. No.):</b> (772) 334-7742 <b>E-MAIL ADDRESS:</b> carla@rickcarroll.com	
<b>INSURED</b> Stuart Fence Company Inc. and Stuart Retail PO Box 2636 Stuart FL 34995		<b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A:</b> First National Ins Co of Amer <b>INSURER B:</b> American States Ins Co <b>INSURER C:</b> American States Insurance 19704 <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>	

**COVERAGES**      **CERTIFICATE NUMBER:** CL1481106514      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

NSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY			25CC1663018	8/18/2014	8/18/2015	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 200,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$ 10,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
B	AUTOMOBILE LIABILITY			01CH3769389	8/18/2014	8/18/2015	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS						PROPERTY DAMAGE (Per accident)	\$
							Uninsured motorist combined	\$ 100,000
C	UMBRELLA LIAB			01SU41496660	8/18/2014	8/18/2015	EACH OCCURRENCE	\$ 1,000,000
	EXCESS LIAB						AGGREGATE	\$ 1,000,000
	DED <input checked="" type="checkbox"/> RETENTION \$ 10,000							\$
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATUTORY LIMITS	OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)  
 THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY. THE GENERAL LIABILITY POLICY CONTAINS ADDITIONAL INSURED PRIMARY NON-CONTRIBUTORY ENDT CG7680 10/02, ADDITIONAL INSURED-COMplete OPERATIONS CG8672 10/01, WAIVER OF TRANSFER OF RIGHTS CG2404 05/09, DESIGNATED PROJECTS GENERAL AGGREGATE CG2503 5/09

<b>CERTIFICATE HOLDER</b>  Town of Sewalls Point 1 S Sewalls Point Road Sewalls Point, FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE  Melissa D'Andola/CDG <i>Melissa D'Andola</i>

# CERTIFICATE OF LIABILITY INSURANCE

Date  
1/21/2014

<b>Producer:</b> Lion Insurance Company 2739 U.S. Highway 19 N. Holiday, FL 34691 (727) 938-5562	This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.												
<b>Insured:</b> South East Personnel Leasing, Inc. & Subsidiaries 2739 U.S. Highway 19 N. Holiday, FL 34691	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 70%;">Insurers Affording Coverage</th> <th style="width: 30%;">NAIC #</th> </tr> <tr> <td>Insurer A: Lion Insurance Company</td> <td style="text-align: center;">11075</td> </tr> <tr> <td>Insurer B:</td> <td></td> </tr> <tr> <td>Insurer C:</td> <td></td> </tr> <tr> <td>Insurer D:</td> <td></td> </tr> <tr> <td>Insurer E:</td> <td></td> </tr> </table>	Insurers Affording Coverage	NAIC #	Insurer A: Lion Insurance Company	11075	Insurer B:		Insurer C:		Insurer D:		Insurer E:	
Insurers Affording Coverage	NAIC #												
Insurer A: Lion Insurance Company	11075												
Insurer B:													
Insurer C:													
Insurer D:													
Insurer E:													

**Coverages**  
 The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																				
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$																				
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																				
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made Deductible				Each Occurrence Aggregate																				
A		<b>Workers Compensation and Employers' Liability</b> Any proprietor/partner/executive officer/member excluded? <b>NO</b> If Yes, describe under special provisions below.	WC 71949	01/01/2014	01/01/2015	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%; text-align: center;"><input checked="" type="checkbox"/></td> <td style="width: 15%;">WC Statutory Limits</td> <td style="width: 5%;"></td> <td style="width: 15%;">OTH-ER</td> <td style="width: 60%;"></td> </tr> <tr> <td></td> <td>E.L. Each Accident</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td></td> <td>E.L. Disease - Ea Employee</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td></td> <td>E.L. Disease - Policy Limits</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> </table>	<input checked="" type="checkbox"/>	WC Statutory Limits		OTH-ER			E.L. Each Accident			\$1,000,000		E.L. Disease - Ea Employee			\$1,000,000		E.L. Disease - Policy Limits			\$1,000,000
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**Other**      **Lion Insurance Company is A.M. Best Company rated A- (Excellent). AMB # 12616**

**Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions:** Client ID: 34-65-485  
 Coverage only applies to active employee(s) of South East Personnel Leasing, Inc. & Subsidiaries that are leased to the following "Client Company":  
**Stuart Fence Company, Inc.**  
 Coverage only applies to injuries incurred by South East Personnel Leasing, Inc. & Subsidiaries active employee(s), while working in: FL.  
 Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity.  
 A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562.  
**Project Name:**  
 FAX: (772) 220-4765 / ISSUE 12-23-13 (ND)/ REISSUE 01-03-14 (TLD)

**Begin Date 5/10/2004**

<b>CERTIFICATE HOLDER</b> TOWN OF SEAWALLS POINT  1 S SEAWALLS POINTROAD STUART, FL 34996	<b>CANCELLATION</b> Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.
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*John G. Brown*



**MARTIN COUNTY, FLORIDA**  
**Contractor's Licensing**  
**Certificate of Competency**

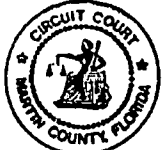
**FENCE ERECTION - MC**

License #: MCFE3584 Expires: 09/30/2016

RICHMOND, CHESTER J III  
STUART FENCE COMPANY INC  
P.O. BOX 2636  
STUART, FL 34995

STUART, FL 34995





**NOTICE OF COMMENCEMENT**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00  
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 35 37 41 003 000 0000 BY CAROLYN TIMMANN, CLERK  
STATE OF FLORIDA COUNTY OF MARTIN DATE 9/2/14 DC

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):  
20 n Sewall's Point Road India Lucie East lot 7

GENERAL DESCRIPTION OF IMPROVEMENT: install fence

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT  
NAME: George - Waitraud Blanchard  
ADDRESS: 3860 Valley Quail drive Loomis CA 95650  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_  
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):  
n/a

CONTRACTOR: Stuart Fence Company, Inc.  
ADDRESS: PO box 2636 Stuart FL 34995  
PHONE NUMBER: 772-288-1151 FAX NUMBER: 772-288-3035

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: n/a FAX NUMBER: \_\_\_\_\_  
BOND AMOUNT: \_\_\_\_\_

LENDER/MORTGAGE COMPANY:  
ADDRESS: n/a  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: n/a  
ADDRESS: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: 8/12/14  
**EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED**

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

George Blanchard  
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

X SIGNATORY'S TITLE/OFFICE owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF aug, 2014

BY: George Blanchard AS owner FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION  TYPE OF IDENTIFICATION PRODUCED Lic. N 8674102 CA

Tina Marie Bojt  
NOTARY SIGNATURE/ SEAL

NOTARY PUBLIC  
TINA MARIE BOJT  
MY COMMISSION # FF 127164  
EXPIRES: June 29, 2018  
Bonded Thru Budget Notary Services

INSR + 2473857 DR BK 2738 PG 877 RECD 09/02/2014 02:57:40 PM  
CAROLYN TIMMANN MARTIN COUNTY CLERK  
DEED DOC \$0.00, INTANGIBLE \$0.00



Martin County, Florida  
Laurel Kelly, C.F.A

Site Provided by...  
governmax.com 1.13

**Summary**



**Tabs**

**Summary**

- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Notice of Prop.
- Taxes →

Parcel ID	Account #	Unit Address	Market Total Value	Webs Upda
35-37-41-003-000-00070-4	9495	20 N SEWALL'S POINT RD, STUART	\$1,010,840	8/9/2014

Owner Information	
<b>Owner(Current)</b>	BLANCHARD GEORGE & WALTRAUD CO-1
<b>Owner/Mail Address</b>	3860 VALLEY QUAIL DR LOOMIS CA 95650
<b>Sale Date</b>	7/25/2014
<b>Document Book/Page</b>	2732 1462
<b>Document No.</b>	2468801
<b>Sale Price</b>	1200000

**Searches**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Navigator
- Maps →

Location/Description			
<b>Account #</b>	9495	<b>Map Page No.</b>	SP-02
<b>Tax District</b>	2200	<b>Legal Description</b>	INDIAL EAST I 7
<b>Parcel Address</b>	20 N SEWALL'S POINT RD, STUART		
<b>Acres</b>	.6500		

Parcel Type	
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193000 N. Sewall Pt Indialucie East,

**Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Assessment Information	
<b>Market Land Value</b>	\$600,000
<b>Market Improvement Value</b>	\$410,840
<b>Market Total Value</b>	\$1,010,840

[Print](#) [Back to List](#) [First](#) [Previous](#) [Next](#) [Last](#)

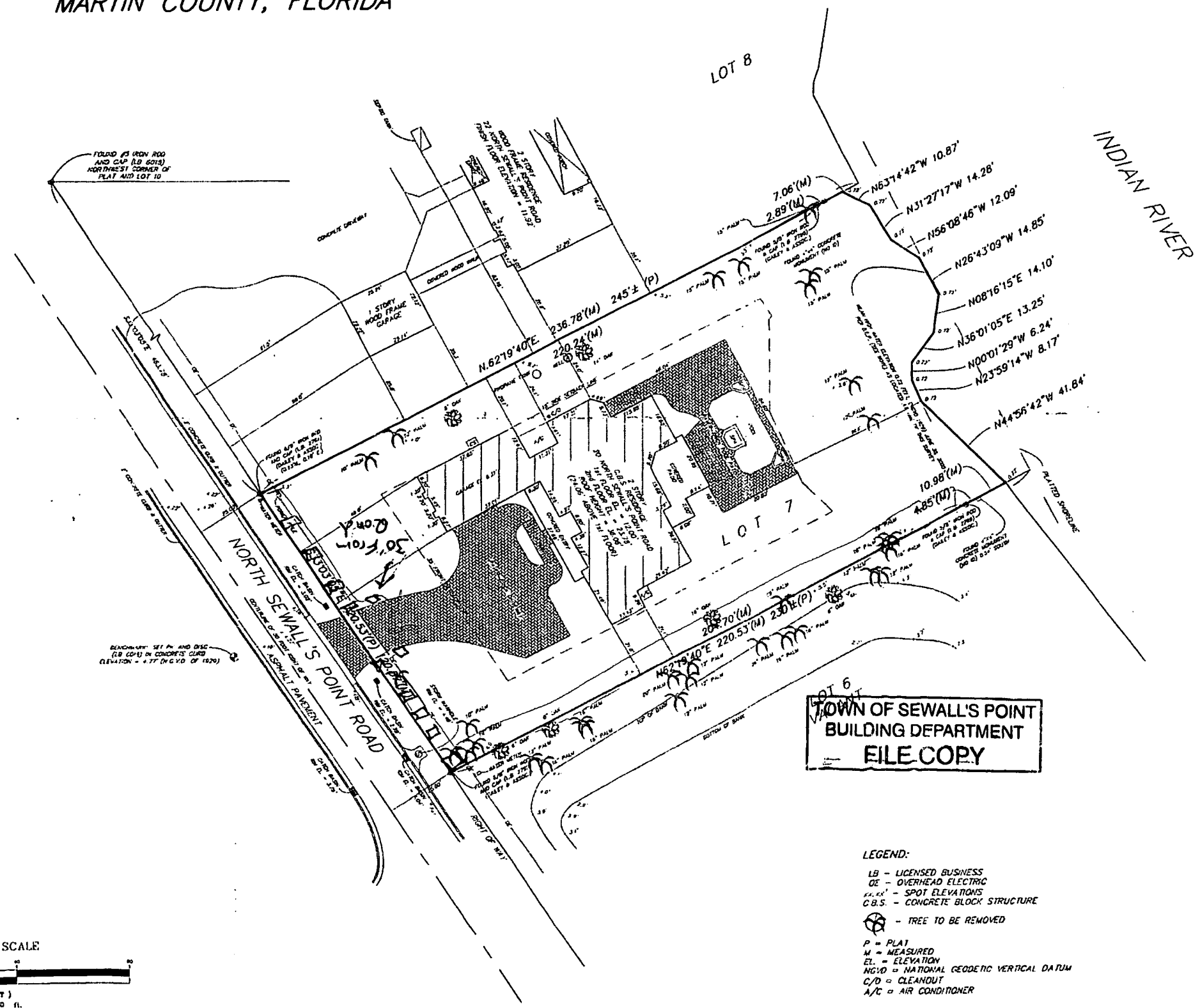
*Legal Disclaimer / Privacy Statement*



20 N. Sewalls Point Rd.

**BOUNDARY SURVEY  
AND  
MEAN HIGH WATER SURVEY  
LOT 7, INDIALUCIE EAST  
PLAT BOOK 5, PAGE 11  
MARTIN COUNTY, FLORIDA**

**LEGAL DESCRIPTION:**  
LOT 7, INDIALUCIE EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 11, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.



- SURVEYOR'S NOTES:**
1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
  2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/OR ADJACENT TO THIS SITE.
  3. LANDS SHOWN HEREON WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.
  4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF S.33°03'05\"/>

- CERTIFICATIONS:**
1. BRIAN AND SANDY RUCKS
  2. RIVERSIDE NATIONAL BANK OF FLORIDA, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTEREST MAY APPEAR
  3. FIRST AMERICAN TITLE INSURANCE COMPANY
  4. MASTERPIECE BUILDERS
  5. TOWN OF SEWALL'S POINT

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

*Robert Bloomster*  
ROBERT BLOOMSTER  
PROFESSIONAL LAND SURVEYOR  
NO. 4134 STATE OF FLORIDA

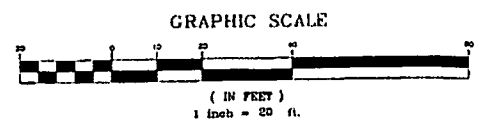
TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

- LEGEND:**
- LB - LICENSED BUSINESS
  - OE - OVERHEAD ELECTRIC
  - EL. ELEV. - SPOT ELEVATIONS
  - C.B.S. - CONCRETE BLOCK STRUCTURE
  - (Tree symbol) - TREE TO BE REMOVED
  - P - PLAT
  - M - MEASURED
  - EL. - ELEVATION
  - NGVD - NATIONAL GEODETIC VERTICAL DATUM
  - C/D - CLEANOUT
  - A/C - AIR CONDITIONER

**BLOOMSTER**  
PROFESSIONAL LAND SURVEYORS, INC.  
L.B. #6018  
791 NORTHEAST DIXIE HIGHWAY  
JENSEN BEACH, FLORIDA 34957  
PHONE 772-334-0868

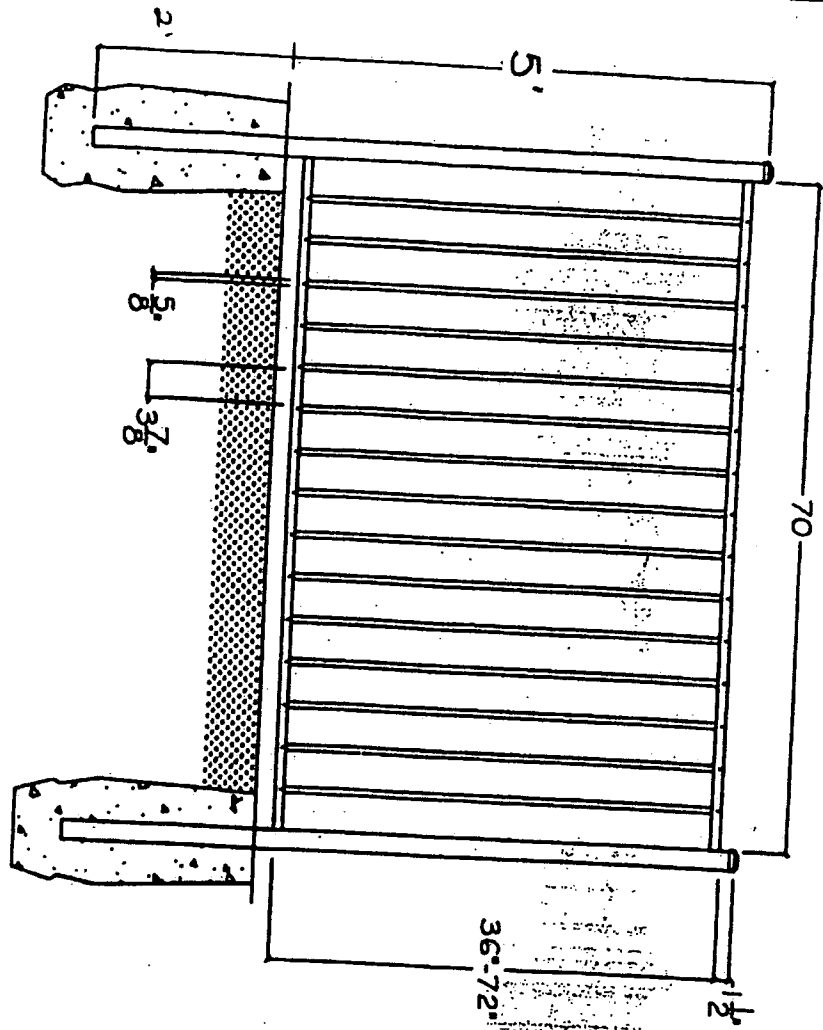
10/18/08 FINAL ASSEMBLY		
SHEET 1 OF 1		
DRAWN BY:	A.C.	
SCALE:	1" = 20'	
FIELD WORK COMPLETED:	01/25/2005	
FIELD BOOK:	473/488	
BOOK NO.:	6278	
DATE:	DESCRIPTION:	BY:
2-23-05	FIELD LOCATION	A.C.
4-11-05	SITE PLAN	A.C.
6/09/05	REVISED SEPTIC AREA	A.C.
8/11/05	LOW SUBMITTAL	A.C.
9/24/05	UTILITY NUMBER	DPK
10/20/05	STEM WALL TILE ON	A.C.

PREPARED FOR: BRIAN & SANDY RUCKS  
NORTH SEWALL'S POINT ROAD  
SEWALL'S POINT, MARTIN COUNTY, FLORIDA

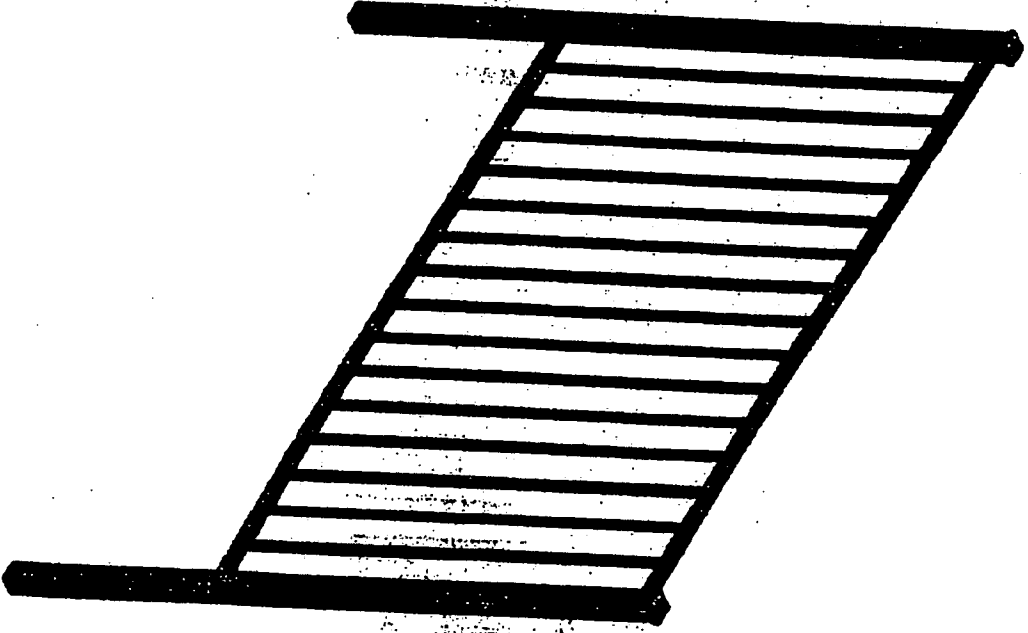


200 Feet of 5 Feet tall  
Black aluminum.

ITEM	QTY	DESCRIPTION
1	15	5/8" PRESS POINT POCKET W/ .050" THICKNESS
2	5	1" X 1" HORIZONTAL RAIL W/ .0625" O.T.F. THICKNESS
3	2	2" POST CAP
4	2	2" SQ. POST W/ .062" THICKNESS
5	45	SCREWS
6		
7		
8		



TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY



**IDEAL**  
Manufacturing Products

2000 BRUNSWICK LANE  
DELAWARE, N.J. 08724  
PHONE: 856-736-1700  
FAX: 856-822-4950

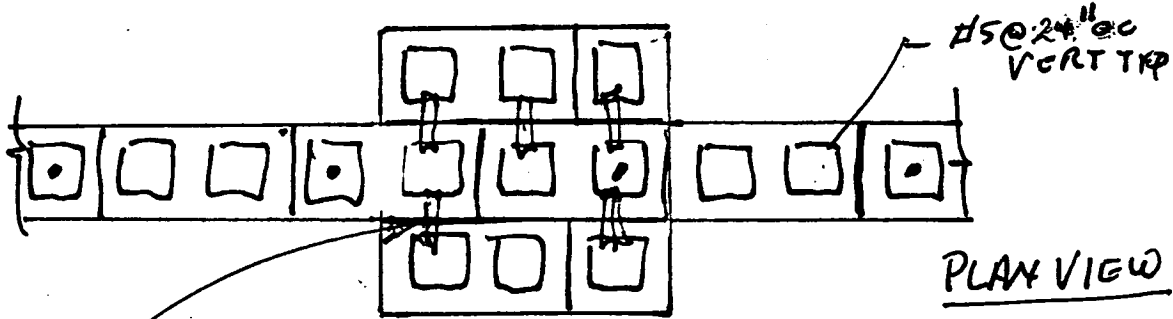
DRAWING: 4400 RESIDENTIAL

DWG. NO: 500-72-46

REV

WIEDER ENGINEERING, INC.  
 11718 S.E. Federal Hwy. #373  
 Hobe Sound, FL 33455  
 Office: 772-546-5823  
 Fax: 772-545-3734  
 License #28036

JOB BLANCHARD RESIDENCE  
 SHEET NO \_\_\_\_\_ OF \_\_\_\_\_  
 CALCULATED BY AW DATE 2/21/14  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE 2 ON SEWALL'S POINT STUART FL 34996



PLAN VIEW

20GA. Galv corrugated  
 MASONRY TIE @ 8" OC  
 EACH END OF ADDED  
 MASONRY TO FOR  
 PILASTER (TYPICAL)

4" Hook on VERT  
 REINF.

4" HIGH STONE  
 CAP BY OTHERS

8" x 8" CIP  
 TIE BEAM W/ (1) #5  
 CONT (RUN THRU  
 PIERS) AT  
 PIERS INCREASE  
 WIDTH TO 24"  
 to Cap Pilaster

(2) #5 EW CENTERED  
 @ PILASTER CONCRETE  
 TAP PLACE MONO-  
 LITHICLY W/ WALL  
 TIE BEAM

5'-0" MAX.

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

\* Provide CORNER  
 Bars FOR EA. CONT.  
 BAR TYPICAL

#5 @ 24" OC VERT  
 W/ MIN 30" LAP W/  
 DOWELS FROM FOUNDATION

SOIL  
 DIFFERENTIAL 0" TO 6"  
 MAX

SITE WALL DETAIL

\* (4) #5 CONT @  
 #5 @ 24" OC TRANSVERSE  
 BOTTOM

3'-4" 3" CLR COVER TYP.

12" MIN  
 14" MIN

*AW*

**WIEDER ENGINEERING, INC.**

11718 S.E. Federal Hwy. #373  
Hobe Sound, FL 33455  
Office: 772-546-5823  
Fax: 772-545-3734  
License #28036

JOB BLANCHARD RESIDENCE  
SHEET NO \_\_\_\_\_ OF 2  
CALCULATED BY AW DATE 8/22/14  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE 20 N SEWALL'S POINT RD, STUART FL

**STRUCTURAL NOTES**

**CONTRACTOR NOTE:**

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. WIEDER ENGINEERING, INC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS.

**CODES AND STANDARDS**

1. WIND LOADS ARE PER ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, FOR A 151 MPH ULTIMATE WIND SPEED (117 MPH NOMINAL WIND SPEED), EXPOSURE D, OTHER STRUCTURES AND RISK CATEGORY I (DESIGN WIND PRESSURE = +/-49.3 PSF)
2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:
  - A. FLORIDA BUILDING CODE 2010 EDITION
  - B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-02)
  - C. SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-05)
  - D. MANUAL OF STD PRACTICE FOR DETAILING REINF'D CONCRETE STRUCTURES (ACI 315-99)
  - E. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530, 530.1/ASCE 5, 6/TMS 402, 602/ 2002 EDITIONS)

**FOUNDATION**

1. ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS ON SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED TESTING LABORATORY PRIOR TO FOUNDATION WORK.
2. BOTTOM OF FOOTINGS ASSUMED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 2000 PSF
3. SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
4. TOP OF FOOTING SHALL BE MINIMUM 12 INCHES BELOW FINISH GRADE ON THE LOWEST SIDE OF THE WALL
5. ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES, PIPING, ETC.
6. PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
7. CENTERLINE OF FOOTINGS: SHALL COINCIDE WITH CENTERLINE OF WALL UNO

**CONCRETE**

1. ALL CONCRETE SHALL BE READY MIX AND MEET THE FOLLOWING REQUIREMENTS:
  - A. A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS
  - B. SLUMPS SHALL BE 4" MINIMUM AND 6" MAXIMUM
  - C. CONCRETE SHALL HAVE 3.5% +/-1.5% ENTRAPPED AIR
  - D. ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55
  - E. JOBSITE WATER SHALL NOT BE ADDED.
2. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY ACI SPECIFICATIONS.
3. LAP ALL BARS PER ACI MINIMUM REQUIREMENTS FOR TENSION LAP SPLICE BUT NOT LESS THAN 48 BAR DIAMETERS
4. ALL HOOKS SHOWN IN STEEL REINFORCING BARS SHALL BE PER ACI RECOMMENDATIONS (NOT LESS THAN 12 BAR DIAMETERS PAST BEND) UNO
5. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615 GRADE 60.
6. AT CORNERS OF CONCRETE TIE BEAM AND CONTINUOUS FOOTINGS, PROVIDE (1) #5 HORIZONTAL BAR X 5'-0" BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FULL COPY

**MASONRY**

1. MASONRY UNITS SHALL BE, LOAD BEARING ASTM C90, NORMAL WEIGHT AND SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND
2. THE COMPRESSIVE STRENGTH OF MASONRY (F'M) SHALL BE 1,500 PSI AS CALCULATED IN ACCORDANCE WITH ASTM C1314.
3. ALL MORTAR SHALL BE TYPE M OR S ONLY, IN ACCORDANCE WITH ASTM C270
4. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM C476 AND HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI, A MAXIMUM w/c RATIO OF 0.83 AND SLUMP OF 8" +/- 1"
5. PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT (9 GA.) AT 16" ON CENTER VERTICAL IN MASONRY WALL

*[Signature]*  
8/22/14

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 10/14/14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
10827	De Rosa 16 N SPR JB Innerio	Insulation	PASS	INSPECTOR <i>[Signature]</i>
11021	1 Banyan Road For Him Plumbing	Underground plumbing	PASS	INSPECTOR <i>[Signature]</i>
11044 <del>11049</del>	Gould 48 S SPR Florida Exotic	Landscaping sod	PASS	CLOSE INSPECTOR <i>[Signature]</i>
<del>11005</del>	Blanchard <del>20 N SPR</del> Stuart Fence	Footer Inspection	<del>PASS</del>	INSPECTOR <i>[Signature]</i>
10907	Mc Mann 57 S SPR Code Red Roofers	Final Roof	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10627	Elder 110 S SPR O/B	Concrete Form Inspection Driveway	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR

# TOWN OF SEWALL'S POINT

## Building Department – Inspection Log

Date of Inspection  Mon  Tue  Wed  Thur  Fri 2/3/15 Page 1 of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
<del>11025</del>	Blanchard	Fence Final		
	<del>20 N Sewall Pt Rd</del>		<del>Pass</del>	<del>Close</del>
	Stuart Fence			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11143	Moscatello	Dry-in +		
	1 Worth Ct	Metal	Pass	
	Elite Roofing			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11101	Barnes	Underground		
	7 Marguerita Rd	Plumbing	Pass	
	Dw Rich			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11160	Gaydos	Gas		
	15 W High Pt. Rd.	Rough-in	Pass	
	Martin County Propane			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11071	Resnick	Rear Paver		# 6 COND
PM Requested	14 Middle Rd	Stem Walls	Fail	IN BEAM MISSING
	Celentano Dev Group			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11133	Bills	Window		
	3 N. Via Lucindia	FINAL	Pass	Close
	Home Depot @ Home Services			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



TOWN OF SEWALL'S POINT, FLORIDA

Date SEPT 15 2005 TREE REMOVAL PERMIT No 2571

APPLIED FOR BY RUCKS (Contractor or Owner)

Owner 20 N. Sewall's Point Road

Sub-division INDIANCE EAST, Lot 7, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No. Of Trees: REMOVE 7 CABBAGE PALMS

No. Of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE 11 WITHIN 30 DAYS 9 CABBAGE PALMS  
2 OAK TREES

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 15.00

Signed, \_\_\_\_\_ Applicant

Signed Jane Simmons (Signature)  
Town Clerk  
BUNDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspec  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION \_\_\_\_\_

Horizontal lines for project description details.

REMARKS \_\_\_\_\_

Horizontal lines for remarks.

TOWN OF SEWALL'S POINT  
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

**Tree Defined:** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

**No permit required for:**

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

**Permit Fee:**

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeve, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

1. Fill out application information below to include:
  - a. applicant information
  - b. written statement giving reasons for removal, relocation, or replacement if necessary
  - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
  - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner RUCKS, BRIAN'S SANDY Address LOT #7 N. SEWALLS PT Phone 229-1079

Contractor MASTERPIECE BLDRS Address 408 COLORADO AVE Phone 283-2096

No. of Trees: REMOVE 7 Type: CABBAGE PALMS

No. of Trees: RELOCATE \_\_\_\_\_ WITHIN 30 DAYS Type: \_\_\_\_\_

No. of Trees: REPLACE 11 WITHIN 30 DAYS Type: 9-CABBAGE PALMS  
2-OAK TREES

Written statement giving reasons: LOCATION OF PROPOSED RESIDENCE

Signature of Property Owner [Signature] Date 8/2/05

Approved by Building Inspector: [Signature] Date 9-15-05 Fee: 15.00

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked: \_\_\_\_\_