

# **74 North Sewall's Point Road**

**418**

**SFR**

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 418

Date 7-31-73

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner FRED TAYLOR Present Address P.O. Box 1528 Ph 287-0000

General Contractor LOWERY CONST Address P.O. Box 10 Palm City Ph 287-4076

Where licensed MARTIN CO License No. 102

Plumbing Contractor DAVES PLUMBING License No. \_\_\_\_\_

Electrical Contractor TAYLOR ELECT License No. \_\_\_\_\_

Street building will front on SEWELL Pt. Rd

Subdivision X - Lot No. X Area 1.07 ACRES

Building area, inside walls (excluding garage, carport, porches) Sq ft 2100

Other Construction (Pools, additions, etc.) \_\_\_\_\_

Contract Price (excluding land, rugs, appliances, landscaping) \$ 73,000.00

Total cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

David Lowery  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

[Signature]  
Signed by Owner

7/27/76

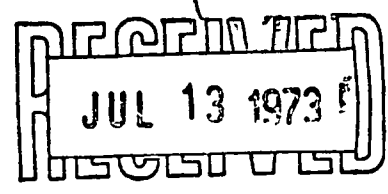
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

SFR

Date submitted \_\_\_\_\_

Date approved 7/26/73



Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

SEPTIC TANK PERMIT No. HD 73-6

418

Starting at the intersection of the north line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the center line of Sewall's Point Road, run South  $29^{\circ}47'$  East along the center line of Sewall's Point Road 117.77 feet for a point of beginning; thence continue South  $29^{\circ}47'$  East along said center line a distance of 117.77 feet to the South line of the lands now owned by E. Clinton Towl; thence run South  $89^{\circ}26'$  East along the South line of the lands of E. Clinton Towl a distance of 500 feet more or less to the waters of the Indian River; thence run Northwesterly along the waters of the Indian River to the intersection thereof with a line running South  $89^{\circ}21'48''$  East from the point of beginning; thence run North  $89^{\circ}21'48''$  West a distance of 500 feet more or less to the point and place of beginning.

TOGETHER with any and all riparian rights there unto belonging or in anywise appertaining.

SUBJECT, nevertheless, to existing road, town zoning laws and restrictions, and light and power easement.

SUBJECT, also, to restrictions set forth in Warranty Deed recorded in Official Records Book 348, page 1237, public records of Martin County, Florida.

**460**

**DOCK**

TOWN OF SEWALL'S POINT, FLORIDA

Please Call  
283-6363  
When Approved

APPLICATION FOR BUILDING PERMIT

Iss. 4-3-74

Permit No. 460  
Date 3/26/74

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Mr & Mrs Fred Taylor Present Address 501 Sewalls Pt Rd Ph 283-3554

General Contractor Martin Co Custom Pools Address P.O. Box 1799 Ph 283-6363

Where licensed Martin County License No. \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on Sewalls Pt. Rd.

Subdivision Sec 35 Lot No. 3 Area Range 41 East

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) Swimming Pool

Contract Price (excluding land, rugs, appliances, landscaping) \$ 6,788

Total cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within the month period.

Martin County Custom Pools, Inc.

Signed by General Contractor

Jay Davies

Clay P. Lambeth, Jr.  
4/2/74

C. K. K... 5-29-74

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

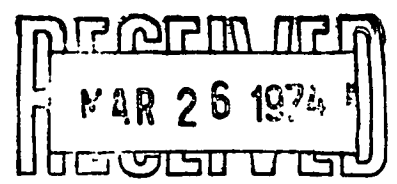
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved \_\_\_\_\_



Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

#460

460

**553**

**DOCK**

RECEIVED  
AUG 19 1975

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

553

Permit No. 43-57

Date 9/24/75

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Wm. Fero Taylor Present Address 74 W. Sewall's Pt. Ph 283-3554

General Contractor Doss MARINE Address \_\_\_\_\_ Ph \_\_\_\_\_

Where licensed MARINE Co. License No. \_\_\_\_\_

Plumbing Contractor None License No. \_\_\_\_\_

Electrical Contractor None License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot No. \_\_\_\_\_ Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft \_\_\_\_\_

Other Construction (Pools, additions, etc.) Dock

Contract Price (excluding land, rugs, appliances, landscaping)	\$	5,200.00
		* DOUBLE
		30.00
		30.00
		<u>60.00</u>

Total cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor \_\_\_\_\_

*no electric or plumbing*

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner Wm Fero Taylor

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved 9/12/75 *Chas A. Dungey* #553

Certificate of Occupancy issued \_\_\_\_\_ Date

\* JOB WAS FINISHED BEFORE PERMIT ISSUED

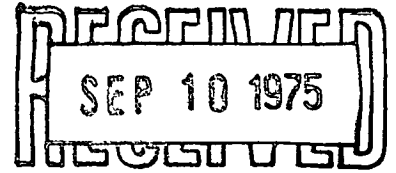




JOSEPH W LANDERS JR  
SECRETARY

STATE OF FLORIDA  
DEPARTMENT OF ENVIRONMENTAL REGULATION

COURTHOUSE SQUARE BUILDING, SUITE 504  
200 SOUTHEAST 6TH STREET  
FORT LAUDERDALE, FLORIDA 33301



September 5, 1975

Mr. William Frederick Taylor  
74 North Seawalls Point Road  
Jensen Beach, Florida 33457

Dear Mr. Taylor:

Re: Private dock - Permit Number 43-57

This letter is your authorization for a 180 day extension for State dock permit no. 43-57. Please attach this letter to your original permit and sketch.

If this office can be of further assistance, please contact Mr. T. A. Wittkamp of our Dredge and Fill Section.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter P. Baljet".

Peter P. Baljet  
District Manager

PPB:wbb



STATE OF FLORIDA  
BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND  
200 Southeast Sixth Street Fort Lauderdale, Florida 33301

Joseph W. Lenders, Jr.  
Executive Director

TELEPHONE 305-  
525-7238

October 14, 1974

Mr. and Mrs. William Frederick Taylor  
74 N. Seawalls Point Road  
Jensen Beach, Florida 33457

Dear Mr. and Mrs. Taylor:

We are enclosing State Dock Permit No. 43-57 issued to you. If we can be of further assistance, please let us know.

Sincerely,

A handwritten signature in cursive script that reads "J. D. Barker".

J. D. Barker  
Area VI Supervisor

Enclosure

cc: Department of Natural Resources - Marine Patrol Captain  
Field Inspector  
Field Operations, Tallahassee  
Land Management, Tallahassee  
Zoning Department

LARSON, O'NEILL & BAGGETT, INC  
CONSULTING ENGINEERS  
30 EAST OCEAN BOULEVARD  
STUART FLORIDA 33494  
TEL (308) 287 3733

SUBDIVISION DEVELOPMENT  
STRUCTURAL DESIGN  
SEWAGE TREATMENT  
PERCOLATION TESTS  
WATER SUPPLY SYSTEMS  
ENGINEERING INSPECTION

K G LARSON P E  
J J O NEILL P E  
M R BAGGETT P E

July 23, 1973

Town Commission  
Town of Sewalls Point  
Town Hall  
Sewalls Point, Florida 33457

Re: Application for permit to construct dock and dredge  
channel - Fred Taylor -

Gentlemen:

We are enclosing 6 copies of our permit application drawing  
in behalf of our client, Mr. Fred Taylor. We also enclose  
copies of letters of no objection from the adjacent riparian  
property owners.

We are requesting a permit or letter of no objection which  
we must forward to the State Trustees as part of our application  
to them.

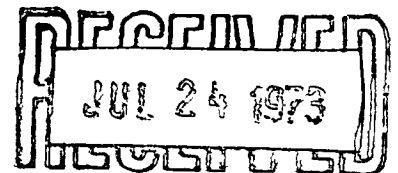
We would appreciate your consideration of this project and  
will be happy to answer any questions which the Commissioners  
may have.

Sincerely,



M.R. Baggett, P.E.

MRB:tlb  
Encls.  
cc: Fred Taylor



August 9, 1973

Mr. M. R. Baggett, P.F.  
30 East Ocean Blvd.  
Stuart, Florida 33494

Re: Dock - Fred Taylor

Dear Mr. Baggett:

As per our telephone conversation August 9th, enclosed are the letters of no objections along with two sketches of the dock which Mr. Taylor wishes to construct.

I believe this will suffice for your application to Tallahassee.

Sincerely yours,

TOWN OF SEWALL'S POINT

---

Anna L. Bundshuh  
Town Clerk

ALB/

Enc:

*Permit # 553  
9/26/75*

August 9, 1973

Internal Improvement Fund  
Eliot Building  
Tallahassee, Florida 32304

Re: Proposed Dock  
(Fred Taylor)

Gentlemen:

Please be advised that at a Regular Meeting of the Town Commission of Sewall's Point on Wednesday, August 8, 1973, they have no objections to the plans for a proposed dock on the property of Mr. Fred Taylor, as per sketch submitted July 24, 1973.

TOWN OF SEWALL'S POINT  
BOARD OF COMMISSIONERS

BY \_\_\_\_\_  
Anna I. Dundshuh  
Town Clerk

ALE/

Enc:

BESSEMER PROPERTIES  
A DIVISION OF  
BESSEMER SECURITIES CORPORATION  
ROYAL POINCIANA PLAZA  
PALM BEACH, FLORIDA 33480

July 13, 1973

Mr. M. R. Baggett  
Larson, O'Neill & Baggett, Inc.  
30 East Ocean Boulevard  
Stuart, Florida 33494

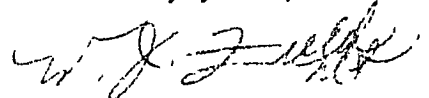
Re: Dock and Channel Permit  
Fred Taylor

Dear Mr. Baggett:

I return herewith the Letter of no  
Objection as the adjacent property owner  
concerning the permit to construct a dock  
and a 4' deep channel to Mr. Taylor's  
property.

I notice that the drawing shows that  
the spoil will be deposited on the upland  
property. If for some reason there is  
some excess material I would be very happy  
to receive it on our property.

Sincerely yours,

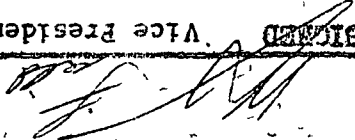


W. Julian Field

WJF:ms  
Enclosure

BESSEMER SECURITIES CORPORATION

SIGNED Vice President



DATE  
April 13, 1973

As adjacent property owner, I have no objection to the construction of a dock and channel into the Indian River by Mr. Fred Taylor on his property at Sewalls Point as shown on the drawing prepared by Larson, O'Neill & Baggett, Inc. dated April, 1973.

To whom it may concern:

LETTER OF NO OBJECTION

LETTER OF NO OBJECTION

To Whom it May Concern:

As adjacent property owner, I have no objection to the construction of a dock and channel into the Indian River by Mr. Fred Taylor on his property at Sewalls Point as shown on the drawings prepared by Larson, O'Neill & Baggett, Inc. dated April, 1973.

July 16 1973  
DATE

L. C. ...  
SIGNED



EXHIBIT SHEET

Processing fee for Private Dock Construction Permit - \$25

LOCATION: T.M. Small Pl. Rd.  
town of Small Pl. Martin Co.

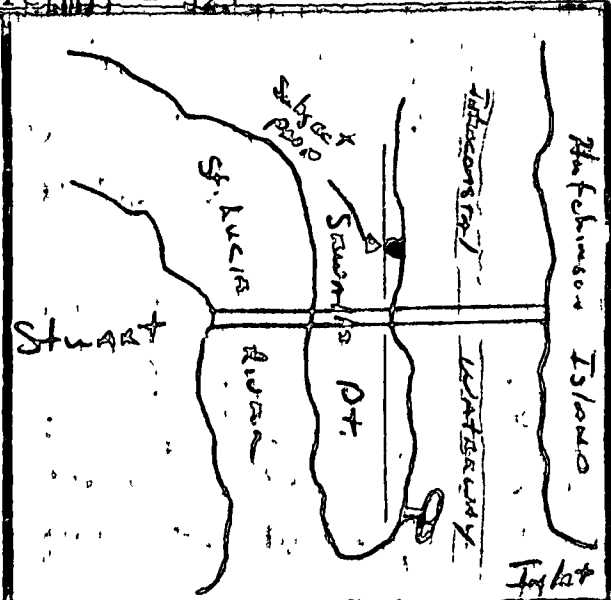
SEC: TWP TWP: AGE AGE: SP-2  
5 1/2 of Sect Lot 8 (Plus SW 10 25.7')

LOT:        BLOCK:       

PB: SP AGE: SP-2

COUNTY: MARTIN

BODY OF WATER: Truman Bay



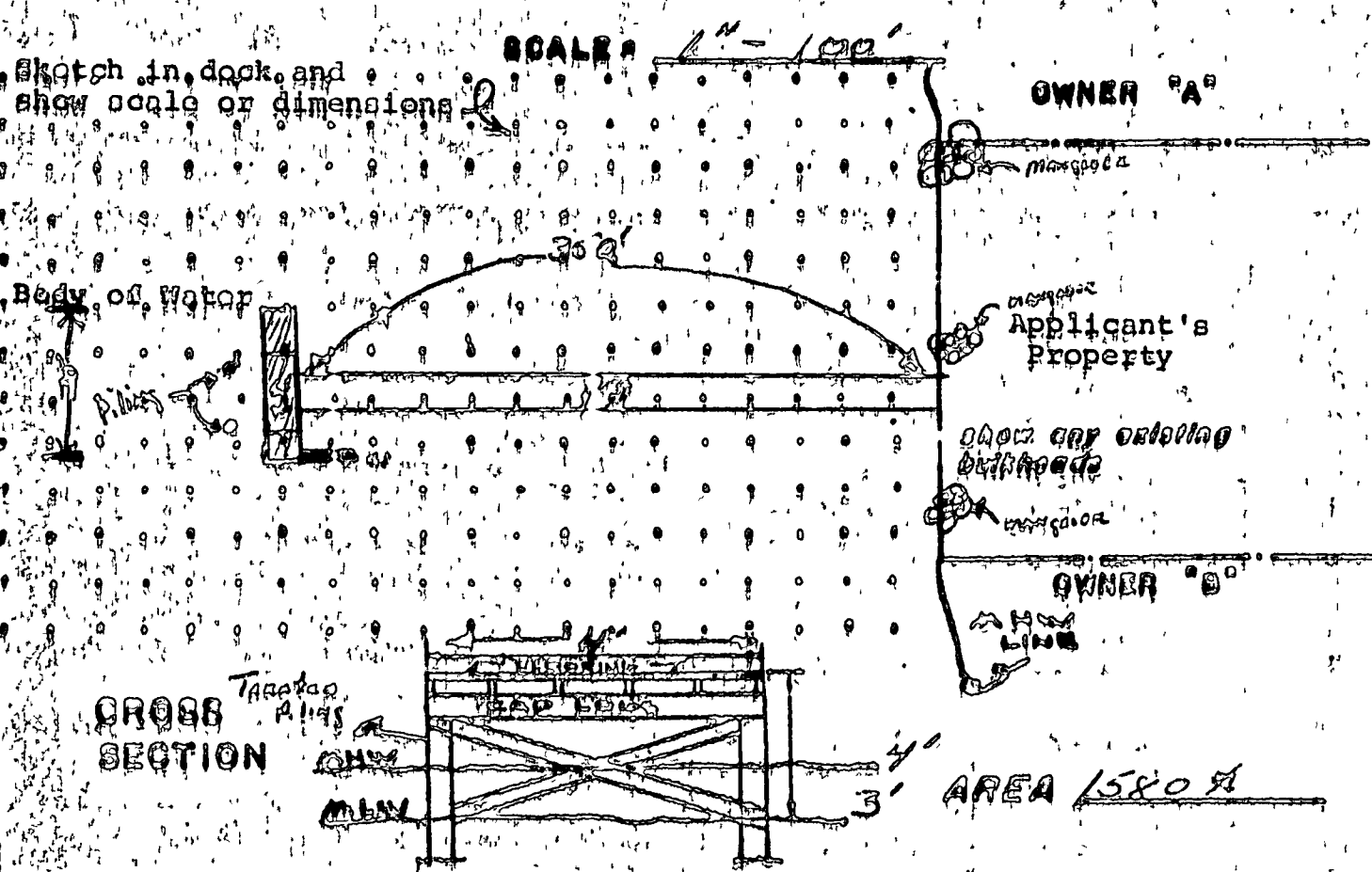
LOCATION MAP (PLEASE PROVIDE)

ADJACENT OWNERS APPROVAL

WE, THE UNDERSIGNED, HAVE REVIEWED THE PLANS FOR THE PROPOSED STRUCTURE AS SHOWN BELOW AND HAVE NO OBJECTIONS. (objections should be outlined and attached to application)

OWNER "A" Alagay in F/25  
ADDRESS:       

OWNER "B" Alagay in F/25  
ADDRESS:       



OFFICE USE ONLY

CLASS OF STRUCTURE: private dock

FIELD INSPECTION: 12/0/14 INSPECTOR: M. Slight

RECOMMENDATIONS: approval yes disapproval       

COMMENTS: none - reading 6' x 20'

RECVD by F.O.D. 8-26-74 PERMIT NO. 43-54

For office use:  
 Permit No. 43-54 BOARD  
 Date 2-26-74 JUN 29

STATE OF FLORIDA  
 BOARD OF TRUSTEES OF THE  
 INTERNAL IMPROVEMENT TRUST FUND  
 Elliot Building  
 TALLAHASSEE, FLORIDA 32304  
 STATE CONSTRUCTION PERMIT

53-47  
 10-9-74

State permits are required for construction of docks, piers, seawalls, wharves, marinas, boat slips, boat houses, accessions, loading and unloading facilities extending into or in the navigable waters and upon all sovereignty lands covered by salt or fresh water. This Permit shall not become effective until this form has been signed by the applicant and approved by the State of Florida Board of Trustees of the Internal Improvement Trust Fund.

I. TO BE COMPLETED: (Please type or print in ink)

- A. Applicant (If other than individual, indicate state in which incorporated or type of organization) \_\_\_\_\_  
Mr. & Mrs. William Forrester Taylor
- B. Mailing address 24 M. Swartz Rd. SE  
Tallahassee, Fla 32302
- C. Class of proposed structure: Commercial \_\_\_\_\_ N/A Private   
(dock, pier, etc., other) (dock, pier, etc., other)  
 A private dock is one which will be used by the owner, his family and, occasionally, by guests. A dock for any other use (including wharf, dock, and pier facilities for tenants of hotels, motels, apartment houses, and for members of organizations or clubs) would be classified as a commercial structure.
- D. Intended use Dockage
- E. Location: Section 34 Township 37 S Range 51 E County Martin

II. THIS PERMIT WILL BE GRANTED UPON THE FOLLOWING CONDITIONS:

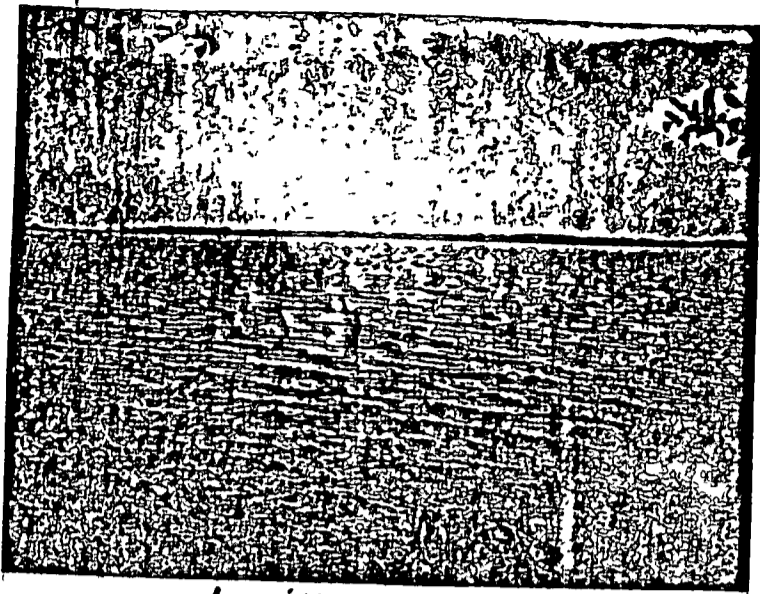
- A. This permit does not authorize construction of living quarters or dwelling type structures constructed in conjunction with the facility authorized under this permit.
- B. The proposed installation shall not infringe upon nor interfere with any public rights or rights of other waterfront owners.
- C. The Permittee shall in no way obstruct or impair the free traffic of the general public along any barge in the area outside of and below the mean high water line.
- D. The construction shall be in strict adherence with the attached plan. In the event a structure is converted to commercial use after issuance of this Permit without a new state permit or written approval by the State of Florida Board of Trustees of the Internal Improvement Trust Fund, this Permit shall automatically terminate and all structures may be subject to removal by the State of Florida Board of Trustees of the Internal Improvement Trust Fund at Permittee's expense.
- E. This authorization shall not be considered as a waiver of the rights of the State of Florida Board of Trustees of the Internal Improvement Trust Fund or the Permittee in the submerged lands affected by this Permit.
- F. This Permit does not relieve the Permittee from requirements of permits from the U.S. Army Corps of Engineers nor from necessity of compliance with all applicable local laws, ordinances, and zoning or other regulations.
- G. The work covered in this Permit shall be completed within 180 days from date of approval by the State of Florida Board of Trustees of the Internal Improvement Trust Fund.
- H. The undersigned Permittee, or his assignee(s) or transferee(s), agrees to pay harmless the State of Florida Board of Trustees of the Internal Improvement Trust Fund from damages or claims arising from issuance of this permit or use thereof.

THIS PERMIT HAS BEEN GRANTED AND IS HEREBY ACCEPTED THIS 27 DAY OF June 1974

Lay Sherba  
 Executive Director, State of Florida Board of Trustees of the Internal Improvement Trust Fund

[Signature]  
 Signature of Permittee

ANY DEVIATION OR MODIFICATION OF PLANS OR STRUCTURE MUST BE AUTHORIZED BY A LETTER FROM THE STATE OF FLORIDA BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND



Looking East

8/19/49  
1:50pm  
M. S.

State of Florida - Board of Trustees  
of the I. I. Trust Fund

Photo made 8/19 19 49

Time 1:50pm high

Location 74 N. Sewell Pt Rd

M. S. Grant  
Photo Taken by M. S. Grant

H 31 577 1 D

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date \_\_\_\_\_

This is to request that a Certificate of Approval for Occupancy be issued to JAYLON DOCK

For property built under Permit No. 553 Dated 9/26/75

when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

Item \_\_\_\_\_ Date \_\_\_\_\_ Approved by \_\_\_\_\_

Footings  
Rough plumbing  
Perimeter beam  
Rough electric  
Close in  
Final plumbing  
Final electric

10/6/75 *Chad Tange*

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**1614**

**FENCE**

TOWN OF SEWALL'S POINT FLORIDA

1614

Permit No. \_\_\_\_\_

Date 9-19-83

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two elevations, as applicable

Owner DR. GREENE Present address 74 NO. SEWELL PT. RD.

Phone 286-3852 286-1200

Contractor MARTIN FENCE CO. Address 1125 OLD DIXIE HWY.

Phone 334-0000

Where licensed MARTIN COUNTY License number 00056

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: FENCE

State the street address at which the proposed structure will be built

74 NO. SEWELL PT. RD."

Subdivision SEWALL POINT RD. Lot No. 3

Contract price \$ 1775.00 Cost of Permit \$ 10.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "red-tagging" the construction project.

Contractor Robert Greene

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Dr. Greene

TOWN RECORD

Date submitted 9/21/83

Approved: J. Mazurca Building Inspector Date 9/22/83

Approved John P. G... .. Commissioner Date 22 September 1983

Final Approval given: \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued None required Date \_\_\_\_\_

SP/1-79

Final Inspection 10/3/83 OK  
Jan

RECEIVED  
SEP 22 1983  
Ans'd.....

LEGAL DESCRIPTION

Starting at the intersection of the north line of Government Lot 3, Section 35, Township 37 south, Range 41 east, with the center line of Sewall's Point Road, run south 29 degrees 47' east along the center line of Sewall's Point Road 117.77 feet for a point of beginning; thence continue south 29 degrees 47' east along said center line a distance of 117.77 feet to the south line of the lands now owned by E. Clinton Towl, thence run south 89 degrees 26' east along the south line of the lands of E. Clinton Towl a distance of 500 feet more or less to the waters of the Indian River, thence run northwesterly along the waters of the Indian River to the intersection thereof with a line running south 89 degrees 21' 48" east from the point of beginning, thence run north 89 degrees 21' 48" west a distance of 500 feet more or less to the point and place of beginning,

TOGETHER WITH any and all riparian rights thereunto belonging or in anywise appertaining,

AND the mortgagor trustee covenants that neither he nor any member of his family reside on said land or any lands contiguous thereto, and that his residence address is 615 Hibiscus Avenue, Stuart, Florida.

# MARTIN FENCE CO.

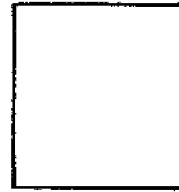
Serving Martin, Palm Beach, St Lucie Counties

1125 OLD DIXIE HWY., LAKE PARK, FLORIDA 33403

Palm Beach 848-2666  
Martin/St Lucie 334-0000

Plans drawn by: Christiane Curran

Name of Property Owner: DR. GREENE

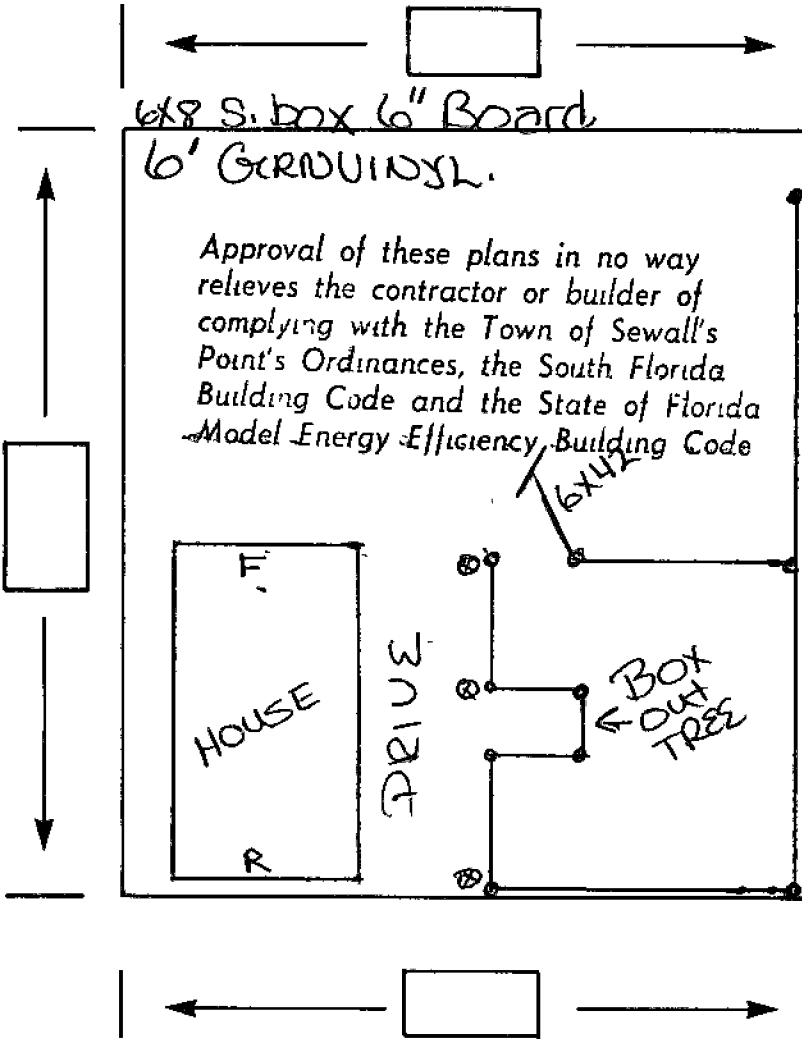


North Arrow

RECEIVED  
SEP 22 1983  
Ans'd.....

BUILDING & ZONING ADMINISTRATION  
Plot Plan

RECEIVED  
SEP 22 1983  
Ans'd.....



JAM 9/22/83  
RGG 22 Sep '83

74 No. Sewall's Pt. Rd. ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. See attached Block No. \_\_\_\_\_

Subdivision \_\_\_\_\_

Section \_\_\_\_\_

Plat Book and Page No. \_\_\_\_\_

- Note.
1. Show existing buildings and additions.
  2. Show distance from property lines to buildings and/or new additions.



**3190**

**RE-ROOF**

Permit No. \_\_\_\_\_

Date 6/2/92

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3190

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Andrew F. Greene, MD Present Address 74 Sewells Pt. Rd

Phone 280-1200

Contractor J.A. Taylor & Assoc, Inc Address 302 Hutton Dr

Phone 466-4040 Ft Pierce, FL 34982

Where licensed State of Fla License number CCC0351024

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought Re-roof - Installing pine shakes

State the street address at which the proposed structure will be built \_\_\_\_\_

Subdivision Gov Lot Sewells Point Lot number 26 Block number 00

Contract price \$ 16,000 Cost of permit \$ \_\_\_\_\_

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor G. Bruce DeWine

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given

Owner [Signature]

TOWN RECORD Approved Rale Brown 6/2/92 Building Inspector Date

Date submitted 6/2/92

Approved [Signature] Commissioner Date 6/2/92

Final Approval given \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code

**3215**

**WOOD DECKS,**

**WALK WAYS**

**RENOVATE**

**UTILITY ROOM**

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable

3215

Owner DR. ANDREW GREENE Present Address 74 NE SEWALLS Pt. RD

Phone 286-3852 (Home) SEWALLS POINT

Contractor MOSLEY & SON CONSTRUCTION Address 1400 SE MONTEREY RD  
INC

Phone 287-6962 STUART, FL 34994

Where licensed FLORIDA License number CGC 036047

Electrical contractor FORWARD ELECT License number ME 00092

Plumbing contractor DAVES PLUMBING License number MP 00030

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought REPLACE & ADD WOOD DECKS & WALKWAYS, RENOVATE

UTILITY ROOM AREA — NO STRUCTURAL WORK

State the street address at which the proposed structure will be built

74 NE SEWALLS POINT RD

Subdivision SOUTH 135' OF NORTH 2007' OF GOVERNMENT LOT 3 EAST OF SEWALLS RD Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ 75,000.00 Cost of permit \$ 600.00

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Philip W. Wynn, Jr. Building Inspector

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

*[Signature]*  
Owner \_\_\_\_\_  
TOWN RECORD  
Approved Dale Brown 7/13/92  
Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Date submitted \_\_\_\_\_ Approved \_\_\_\_\_  
*[Signature]* Commissioner 7/13/92 Date Final Approval given \_\_\_\_\_ Date

Certificate of Occupancy issued (if applicable) \_\_\_\_\_  
Date \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

**6038**

**RE-ROOF**

### TOWN OF SEWALL'S POINT

Date 11-19-02

BUILDING PERMIT NO. 6038

Building to be erected for Nancy Hess

Type of Permit R3-ROOF

Applied for by J.A. Taylor Roofing

(Contractor) Building Fee 120.00

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 74 N. Sewall's Pt Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Parcel Control Number.  
3537410000000024160000

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 120.00 Check # 21441 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 15,650.00

TOTAL Fees 120.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

### Town of Sewall's Point

#### BUILDING PERMIT APPLICATION

Building Permit Number \_\_\_\_\_  
 Owner or Titleholder Name Nancy Hess City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Legal Description of Property Comm N/W Govt Lot 3 + C/W Parcel Number 353741000000002616  
 Location of Job Site 74 N Sewalls Pt Rd Type of Work To Be Done ReRoof/  
Install Metal system To House + Garage  
 CONTRACTOR/Company Name J.A. Taylor Roofing Inc Phone Number 772 466 4040  
 Street 302 Melton Dr City Pierce State FL Zip 34982  
 State Registration Number CCC057019 State Certification Number \_\_\_\_\_ Martin County License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living 2900 Garage 800 Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
 Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_  
 Type Sewage \_\_\_\_\_ Septic Tank Permit Number From Health Depart. \_\_\_\_\_ Well Permit Number \_\_\_\_\_

FLOOD HAZARD INFORMATION Flood Zone \_\_\_\_\_ Minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
 Proposed First Floor Habitable Floor Finished Elevation \_\_\_\_\_ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements 15,650.00 Estimated Fair Market Value (FMV) Prior  
 To Improvements \_\_\_\_\_ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

#### SUBCONTRACTOR INFORMATION

Electrical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
 Mechanical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
 Plumbing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
 Roofing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS WELLS POOLS, FURNANCE, BOILERS, HEATERS TANKS, AIR CONDITIONERS DOCKS SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS

#### CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical Plumbing Gas) 2001 South Florida Building Code (Structural Mechanical Plumbing, Gas) \_\_\_\_\_  
 National Electrical Code 2002 Florida Energy Code 2001  
 Florida Accessibility Code 2001

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AGENT SIGNATURE (Required) Nancy Hess  
 State of Florida County of Martin  
 This the 6 day of Nov, 2002  
 by Nancy Hess who is personally  
 known to me or produced

CONTRACTOR SIGNATURE (Required) [Signature]  
 On State of Florida County of Martin  
 This the 14 day of Nov, 2002  
 by T. Mager who is personally  
 known to me or produced Fla. L.  
 As identification Joan H. Barrow  
 Notary Public

as identification [Signature]  
 My Commission Expires Nov 28, 2004  
 Notary Public  
 MARGARET GRIEZE  
 MY COMMISSION # CC 951146  
 Notary Public  
 State of Florida  
 Expires NOVARY 28, 2004 Notary Service & Bonding Inc

My Commission Expires \_\_\_\_\_  
 Joan H. Barrow  
 MY COMMISSION # CC763645 EXPIRES  
 November 30, 2002  
 BONDED THRU TROY FAIR INSURANCE, INC

Seal



# ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR WG  
CATAY-1

DATE (MM/DD/YY)  
05/14/02

**PRODUCER**

**HARBOR INSURANCE AGENCY**  
2222 Colonial Road, Suite 100  
Fort Pierce FL 34950-5309  
Phone 772-461-6040 Fax 772-460-2315

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURERS AFFORDING COVERAGE**

**INSURED**

~~J.A. Taylor Roofing Inc~~  
~~Taylor Made Metals~~  
302 Melton Drive  
Fort Pierce FL 34982

INSURER A: **Continental Casualty Company**  
INSURER B: **American Casualty Company**  
INSURER C: **FCCI Insurance Group**  
INSURER D:  
INSURER E:

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
<b>A</b> <input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Broad Form PD <input checked="" type="checkbox"/> Contractual Lia GENT. AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	C1099367753	01/01/02	01/01/03	EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
<b>B</b> <input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS	C2023169942	01/01/02	01/01/03	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$
<b>C</b> <input type="checkbox"/> EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
<b>C</b> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	001WC02A46147	05/19/02	05/19/03	<input checked="" type="checkbox"/> WC STATU TORY LIMITS <input type="checkbox"/> OTR-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 300,000
<b>A</b> OTHER Equipment	C1099367753	01/01/02	01/01/03	JCB + \$80,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

**CERTIFICATE HOLDER**

ADDITIONAL INSURED; INSURER LETTER:

**CANCELLATION**

~~Town of Sewalls Point~~  
Fax: 561 220 4765  
1 South Sewalls Point Road  
Stuart FL 34996

SEWAL-1

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Candy McCall



DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE-NBR
06/30/2000	99902896	CC -C057019

The **ROOFING CONTRACTOR**  
 named below IS CERTIFIED  
 Under the provisions of Chapter 489  
 Expiration date: AUG 31, 2002

FS.

MAGER, TERRENCE JOHN  
 J A TAYLOR ROOFING INC  
 1062 S.W. WILLOW LANE  
 PALM CITY FL 34990

*FILE*  
*Hebert*

RECEIVED  
 MAY 1 1 2001  
 BY: *[Signature]*

JFB BUSH  
 GOVERNOR

CYNTHIA A. HENDERSON  
 SECRETARY

DISPLAY AS REQUIRED BY LAW

ALL LICENSES MUST BE POSTED IN A CONSPICUOUS PLACE  
 (CERTIFICATE OF REGULATION NEED NOT BE POSTED)  
 GENERALLY THE SOLE REQUIREMENT TO OBTAIN A LICENSE  
 IS THE PAYMENT OF THE REQUIRED TAX. ISSUANCE DOES  
 NOT MEAN THE USE AT THE BUSINESS ADDRESS IS LEGAL.

TERM OCTOBER 1, 2000 TO SEPTEMBER 30, 2001



CITY OF LAKE WORTH

7 NORTH DIXIE HIGHWAY  
 LAKE WORTH, FLORIDA 33460 3-87  
 (PHONE) 561-586-1618

PHONE NO: 561-586-4041  
 BUSINESS ADDRESS: J A TAYLOR ROOFING INC  
 1062 WILLOW DRIVE

CATEGORY

MAILING ADDRESS: J A TAYLOR ROOFING INC  
 1062 WILLOW DRIVE

FEE \$

*[Signature]*

NON-TRANSFERABLE

2000-2001

FACILITIES OR MACHINES TYPE OF BUSINESS BUSINESS LOCATION NAME MAILING ADDRESS

ST. LUCIE COUNTY OCCUPATIONAL LICENSE STATE OF FLORIDA

ROOMS SEATS EMPLOYEES 11-20

1761 ROOFING CONSTRCTOR

302 MELTON DRIVE C - ST LUCIE COUNTY

MAGER, TERRENCE AFFIL J A TAYLOR ROOFING INC  
 MAGER, TERRENCE  
 302 MELTON DRIVE  
 FORT PIERCE FL 34982

CC C057019

ACCOUNT 1761-00930004  
 EXPIRES SEP 30, 2001

X RENEWAL NEW LICENSE TRANSFER- ORIGINAL TAX 18.0

AMOUNT PENALTY COLLECTION COST TOTAL 18.0

THIS LICENSE BECOMES NULL AND VOID IF BUSINESS NAME  
 CLASSIFICATION OWNERSHIP OR ADDRESS IS CHANGED UNLESS  
 LICENSEE APPLIES TO TAX COLLECTOR FOR CORRECTION

SUBJECT TO SUSPENSION OR REVOCATION IN ACCORDANCE WITH ORDINANCES OF ST. LUCIE COUNTY

PAID PAID D J CONRAD, TAX COLLECTOR  
 reg10 8/22/00 4:09PM  
 2000-1761-00930004

# PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

**IMPORTANT NOTICE** All items listed below must accompany your permit application. No application will be accepted unless all items that are applicable are submitted.

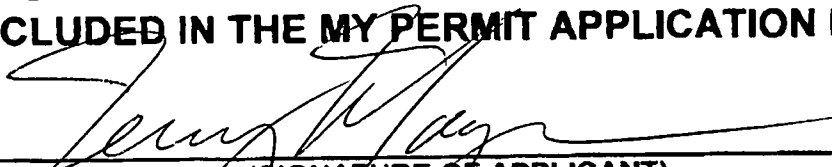
**Application form must contain the following information:**

- 1 Property Appraisers Parcel Number or Property Control Number
- 2 Legal Description of property (Can be found on your deed survey or Tax Bill)
- 3 Contractors name, address, phone number and license numbers
- 4 Name all sub-contractors (properly licensed)
- 5 Estimated cost of construction
- 6 Original signature of owner and notarized
- 7 Original signature of Contractor and notarized

### Submittals (2 copies)

- 1 Product approvals from Miami/Dade for the following items
  - a Roofing
- 2 Statement of Fact (owner/builder affidavit)
- 3 Proof of ownership (deed or tax recpt )
- 4 A certified copy of the Notice of Commencement for any work over \$2500 00
- 5 Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
- 6 Copy of Workmen's Compensation
- 7 Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**

  
 \_\_\_\_\_  
 (SIGNATURE OF APPLICANT)

DATE SUBMITTED 11-17-02

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500 00

PERMIT# \_\_\_\_\_ TAX FOLIO # 35-37-41-000-000-0026-1-6

**NOTICE OF COMMENCEMENT**

State of FLA County of Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

**LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):**

Com N/LN GOLF LOT 3 + C/LN Sewalls Pt Rd, SEIV AIG C/LN

**GENERAL DESCRIPTION OF IMPROVEMENT:** Replace old Roof - Leaks + Ro A

OWNER: Nancy Hess

ADDRESS 74 N. Sewalls Pt. Rd.  
PHONE# 463-5118 FAX# \_\_\_\_\_

CONTRACTOR: J.A. Taylor Roofing Inc  
ADDRESS 302 Melton Dr Ft Pierce FL 34980  
PHONE# 772 466 4040 FAX# 772 468 8397

SURETY COMPANY (IF ANY): \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
PHONE# \_\_\_\_\_ FAX# \_\_\_\_\_  
BOND AMOUNT \_\_\_\_\_

LENDER \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
PHONE# \_\_\_\_\_ FAX# \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13(1)(A)7, FLORIDA STATUTES  
NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
PHONE# \_\_\_\_\_ FAX# \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_  
OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1) (B), FLORIDA STATUTES  
PHONE# \_\_\_\_\_ FAX# \_\_\_\_\_

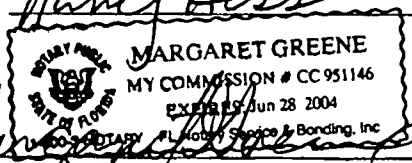
EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

Nancy Hess  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 6 DAY OF Nov.

2008, BY Nancy Hess

Margaret Greene  
NOTARY SIGNATURE

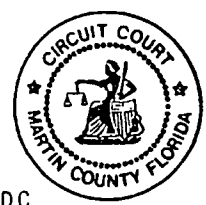


OR PERSONALLY KNOWN   
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING, CLERK

BY Sandra Pimen DC  
DATE 11-14-02



MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION  
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 372-6339

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Southeastern Metals Manufacturing Co., Inc  
11801 Industry Drive  
Jacksonville FL 32226

Your application for Product Approval of *Sem-Lok Snap-Lok Standing Seam Metal Roofing Panel* under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 00-0201.03

Expires: 03/24/2003




Raul Rodriguez  
Chief Product Control Division

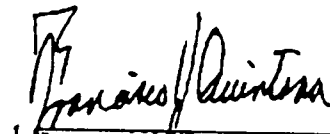
**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**

**BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above

Approved 03/24/2000

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE <u>1 of 5 11/15/02</u>

BUILDING CODE OFFICIAL
385



Francisco Quintana, R A  
Director  
Miami-Dade County  
Building Code Compliance Office





**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

**CORRECTION NOTICE**

6038

ADDRESS

74 N. Sewall's Pt. Rd.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

Shocking / Tin Tag / Mel

Parlod :

Specs require metal fin  
tass

Also insufficient spacing

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE

3/25/3

INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of inspection:  Mon  Wed  Fri 3/28, 2002 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
Tree	Corelli	Tree	Pass	
(8)	18 RIVERVIEW DR			INSPECTOR
6131	PFEIFFER	Plumb Ground	Pass	
(6)	104 HENRY SEWALL WAY BUFORD	ROUGH		INSPECTOR
6678	Hoss	Shedding		
(3)	74 N Sewall's Pt. Taylor Roofing	Dry / in TT+M	Fail	INSPECTOR
6196	Scharfi	Tea off Dry		late
(4)	73 N Sewall's Pt. See above	(Emergency, Bad water leak)	→	will call for Monday INSPECTOR
6146	Conroy	rough in	Pass	
(9)	12 Palmetto Dr. O/R	Plumbg.		INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR

OTHER:

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/31 200203 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6196	SHARFI	SHEATHING +	Passal	
(1)	73 N. SEWALLS PKRD ALL AMERICAN	METAL TINTING	Passal	INSPECTOR [Signature]
6197	PARROTT	ELEC - FINAL		
(5)	1 N. ISLAND RD JIMMY ROWELL			INSPECTOR [Signature]
6038	HESS	SHEATHING	Passal	
(2)	74 N SEWALLS PKRD TAYLOR ROOFING	DRY IN	Passal	INSPECTOR [Signature]
6102	DUNN	REPL BEAM - FINAL	Passal	Close
(8)	21 PALMETTO RD PVD CONST.			INSPECTOR [Signature]
6183	KVAPIL	PAVER DRIVE	Failed	(Remove a pole)
(7)	4 RIO VISTA DR GRAND ENTRY	FINAL		INSPECTOR [Signature]
6170	THOMPSON	DEMO POOL - FINAL	Passal	
(6)	179 S. RIVER RD O'CONNEL			INSPECTOR [Signature]
TREE	HESS	TREE	Passal	
(3)	74 N. SEWALLS PKRD			INSPECTOR [Signature]
OTHER: 5879	CLARKE 33 FIELDWAY	TIE BEAM	Passal	
(4)	PAR ONE			[Signature]

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-16 2003 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6038	Hess	FINAL-ROOF	Passed	close
(5)	74 N. SEWALLS PT J. TAYLOR ROOFING			INSPECTOR: [Signature]
6217	PLUTT	SHATHING		Good job
(2)	12 HERON'S NEST	METAL TINING		→ down down?
				INSPECTOR:
6013	FABINSKY	Insulation		→ cancel
	10 MANDALAY RD Florida's Finest			INSPECTOR:
5908	WILBERDING	TIN TAIL METAL	Failed	
(2)	2 PALAMA WAY O/P			INSPECTOR: [Signature]
6131	PFEIFFER	FRONT+BACK	Passed	
(9)	104 HENRY SEWALLS BUFORD CONST	Porcht SLAB	Passed	INSPECTOR: [Signature]
	De Graaf	CO Final	Passed	
	9 Castle Hill			INSPECTOR: [Signature]
				INSPECTOR:

OTHER:



**6155**

**GAS TANK**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 2/24/03

BUILDING PERMIT NO. 6155

Building to be erected for Hess

Type of Permit GAS TANK

Applied for by MARTIN COUNTY PROPANE (Contractor)

Building Fee 35.00

Subdivision GOVT LOTS Lot 2 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 74 N. SEWALL'S POINT ROAD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:

3537410000000026160000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Amount Paid 35.00 Check # 2971 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 500.00

TOTAL Fees 35.00

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL     |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK  |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE          |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input checked="" type="checkbox"/> GAS |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION     |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION       |

## INSPECTIONS

- |                             |       |                        |       |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING        | _____ | UNDERGROUND GAS        | _____ |
| UNDERGROUND MECHANICAL      | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING            | _____ | FOOTING                | _____ |
| SLAB                        | _____ | TIE BEAM/COLUMNS       | _____ |
| ROOF SHEATHING              | _____ | WALL SHEATHING         | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH                   | _____ |
| ROOF TIN TAG/METAL          | _____ | ROOF-IN-PROGRESS       | _____ |
| PLUMBING ROUGH-IN           | _____ | ELECTRICAL ROUGH-IN    | _____ |
| MECHANICAL ROUGH-IN         | _____ | GAS ROUGH-IN           | _____ |
| FRAMING                     | _____ | EARLY POWER RELEASE    | _____ |
| FINAL PLUMBING              | _____ | FINAL ELECTRICAL       | _____ |
| FINAL MECHANICAL            | _____ | FINAL GAS              | _____ |
| FINAL ROOF                  | _____ | BUILDING FINAL         | _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Building Permit Number \_\_\_\_\_

Owner or Titleholder Name NANCY HESS City Stuart State FLA Zip 34996

Legal Description of Property \_\_\_\_\_ Parcel Number \_\_\_\_\_

Location of Job Site 74 N SEWALL'S Pt. ROAD Type of Work To Be Done BURRY 250 GAL TANK RUN  
1/2" GAS LINE TO EXISTING LINE FOR STOVE & BBQ

CONTRACTOR/Company Name MARTIN COUNTY PROPANE Phone Number 771-287-1900

Street 2586 S.W. MARTIN HWY City Palm City State FLA Zip 34990

State Registration Number \_\_\_\_\_ State Certification Number 05594 Martin County License Number \_\_\_\_\_

ARCHITECT N/A Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER N/A Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_

Carpport \_\_\_\_\_ Total Under Roof N/A Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

Type Sewage \_\_\_\_\_ Septic Tank Permit Number From Health Dept \_\_\_\_\_ Well Permit Number \_\_\_\_\_

FLOOD HAZARD INFORMATION Flood Zone N/A Minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD

Proposed First Floor Habitable Floor Finished Elevation \_\_\_\_\_ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements 7500 Estimated Fair Market Value (FMV) Prior

To Improvements \_\_\_\_\_ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES \_\_\_\_\_ NO \_\_\_\_\_

SUBCONTRACTOR INFORMATION

Electrical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

Mechanical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

Plumbing N/A State \_\_\_\_\_ License Number \_\_\_\_\_

Roofing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNANCE BOILERS, HEATERS TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001 South Florida Building Code (Structural, Mechanical, Plumbing, Gas) \_\_\_\_\_

National Electrical Code 2002 Florida Energy Code 2001 Florida Accessibility Code 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES LAWS AND ORDINANCES DURING THE BUILDING PROCESS  
OWNER OR AGENT SIGNATURE (required) \_\_\_\_\_ CONTRACTOR SIGNATURE (required) \_\_\_\_\_

State of Florida, County of \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 2003

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

as identification \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

Seal

On State of Florida, County of Martin

This the 17th day of Feb, 2003

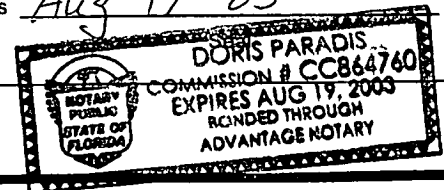
by Frank Kovacs who is personally

known to me or produced \_\_\_\_\_

As identification Doris Paradis

Notary Public

My Commission Expires Aug 19 03



<b>ACORD CERTIFICATE OF LIABILITY INSURANCE</b>		OP ID 8B MCPET-1	DATE (MM/DD/YYYY) 02/21/03
<b>PRODUCER</b>  Stuart Insurance, Inc 3070 S W Mapp Palm City FL 34990 Phone 772-286-4334 Fax 772-286-9389		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
<b>INSURED</b>  Como Oil Company of Florida dba Martin County Petroleum & Propane P O Box 386 Palm City FL 34991		<b>INSURERS AFFORDING COVERAGE</b> INSURER A <b>RLI Insurance Co</b> INSURER B <b>AIG Group</b> INSURER C <b>Lexington Insurance Company</b> INSURER D <b>National Fire &amp; Marine</b> INSURER E	<b>NAIC #</b>     

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS


LINE	ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> <b>incl pollution</b> GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	CPJ000001585	01/02/03	01/02/04	EACH OCCURRENCE \$ <b>1,000,000</b> DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>50,000</b> MED EXP (Any one person) \$ <b>5,000</b> PERSONAL & ADV INJURY \$ <b>1,000,000</b> GENERAL AGGREGATE \$ <b>2,000,000</b> PRODUCTS COMP/OP AGG \$ <b>2,000,000</b>
A		<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/> <b>incl pollution</b> (MCS-90)	CPJ000001585	01/02/03	01/02/04	COMBINED SINGLE LIMIT (Ea accident) \$ <b>1,000,000</b> BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY EA ACCIDENT \$ OTHER THAN EAACC \$ AUTO ONLY AGG \$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN EAACC \$ AUTO ONLY AGG \$
B		<b>EXCESS/UMBRELLA LIABILITY</b> <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$	7021315	01/02/03	01/02/04	EACH OCCURRENCE \$ <b>3,000,000</b> AGGREGATE \$ <b>3,000,000</b> \$ \$ \$
		<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes describe under SPECIAL PROVISIONS below OTHER				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E L EACH ACCIDENT \$ E L DISEASE EA EMPLOYEE \$ E L DISEASE POLICY LIMIT \$
C		<b>POLLUTION LIAB</b>	02T000007794	01/01/03	01/01/04	1,000,000
D		<b>GEN LIAB/MARINE</b>	72LPE683047	01/02/03	01/02/04	2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Gasoline Distributor / State of Florida

**CERTIFICATE HOLDER**

**CANCELLATION**

TOWNS-1  Town of Sewalls Point FAX 220-4765 1 S Sewalls Point Road Stuart FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE 
---	---

<b>ACORD</b>		<b>DATE (MM/DD/YY)</b> 02/21/2003
<b>PRODUCER</b>  AON RISK SERVICES OF FLORIDA 1001 BRICKELL BAY DRIVE, SUITE 1100 MIAMI, FL 33131 (305) 372-9950	Serial # 603821	<b>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW</b>
<b>COMPANIES AFFORDING COVERAGE</b>		
<b>INSURED</b>  Oasis Outsourcing, Inc , Alt. Emp Como Oil Co Of Fla Dbm Martin County Propane 4400 N Congress Ave , Suite 250 West Palm Beach, Fl 33407-3288	COMPANY <b>A</b>	ZURICH AMERICAN INSURANCE COMPANY
	COMPANY <b>B</b>	
	COMPANY <b>C</b>	
	COMPANY <b>D</b>	

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

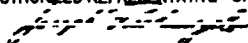
CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS												
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNERS & CONTRACTOR'S PROT <input type="checkbox"/> _____ <input type="checkbox"/> _____				GENERAL AGGREGATE \$ _____ PRODUCTS COMP/OP AGG \$ _____ PERSONAL & ADV INJURY \$ _____ EACH OCCURRENCE \$ _____ PIPE DAMAGE (Any one fire) \$ _____ MED EXP (Any one person) \$ _____												
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> _____ <input type="checkbox"/> _____				COMBINED SINGLE LIMIT \$ _____ BODILY INJURY (Per person) \$ _____ BODILY INJURY (Per accident) \$ _____ PROPERTY DAMAGE \$ _____												
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> _____ <input type="checkbox"/> _____				AUTO ONLY EA ACCIDENT \$ _____ OTHER THAN AUTO ONLY EACH ACCIDENT \$ _____ AGGREGATE \$ _____												
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ _____ AGGREGATE \$ _____ \$ _____												
<b>A</b>	<b>WORKER S COMPENSATION AND EMPLOYERS LIABILITY</b>  THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WC 29-38-687-00	06/01/02	06/01/03	<table border="1" style="width:100%; border-collapse: collapse; font-size: x-small;"> <tr> <td><input checked="" type="checkbox"/> WC STATUTORY LIMITS</td> <td><input type="checkbox"/> OTHER</td> <td></td> </tr> <tr> <td>EL EACH ACCIDENT</td> <td>\$</td> <td>1000000</td> </tr> <tr> <td>EL DISEASE POLICY LIMIT</td> <td>\$</td> <td>1000000</td> </tr> <tr> <td>EL DISEASE EA EMPLOYEE</td> <td>\$</td> <td>1000000</td> </tr> </table>	<input checked="" type="checkbox"/> WC STATUTORY LIMITS	<input type="checkbox"/> OTHER		EL EACH ACCIDENT	\$	1000000	EL DISEASE POLICY LIMIT	\$	1000000	EL DISEASE EA EMPLOYEE	\$	1000000
<input checked="" type="checkbox"/> WC STATUTORY LIMITS	<input type="checkbox"/> OTHER																
EL EACH ACCIDENT	\$	1000000															
EL DISEASE POLICY LIMIT	\$	1000000															
EL DISEASE EA EMPLOYEE	\$	1000000															
	<b>OTHER</b>																

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS  
 ONLY THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF  
 COMO OIL COMPANY OF FLORIDA DBA MARTIN COUNTY PROPANE

TOWN OF SEWELLS POINT  
 1 S SEWELLS POINT RD  
 SEWELLS POINT, FL 31956

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE OF INDEPENDENT INSURANCE AGENCY





POST LICENSE  
CONSPICUOUSLY

**State of Florida**  
**Department of Agriculture and Consumer Services**

Division of Standards  
Bureau of Liquefied Petroleum Gas  
(850) 921-8001  
Tallahassee, Florida

License Number: 05594  
Expiration Date: August 31 2003  
Date of Issue: September 1 2002  
License Fee: \$425.00  
Type and Class: 0601

**Liquefied Petroleum Gas License**  
**CATEGORY I LP GAS DEALER**

**GOOD FOR ONE LOCATION**

This license is issued under authority of Section 527.02, Florida Statutes, to:

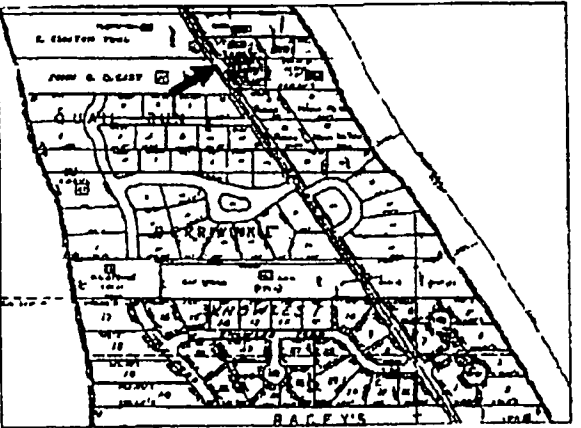
**MARTIN COUNTY PROPANE**  
**3586 S.W. MARTIN HWY**  
**PALM CITY, FL 34990**

*Charles H. Bronson*  
CHARLES H. BRONSON  
COMMISSIONER OF AGRICULTURE

NO.	
1	
2	
3	
4	
5	
6	
7	
8	

STEPHEN J. BROWN, INC.  
 SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS  
 60 EAST WYOMING STREET, SUITE 1120, TAMPA, FLORIDA 33604  
 (813) 288-7100

BOUNDARY SURVEY  
 PREPARED FOR HESS



LOCATION MAP

- \*RIPPLE LOAD
- STONE 60,000
- CS-42,000
- JACOPO
- EXHAUSTOR GAS LINE
- 25" W. COPPER
- TERRAZZO GAS LINES
- 30" W. COPPER

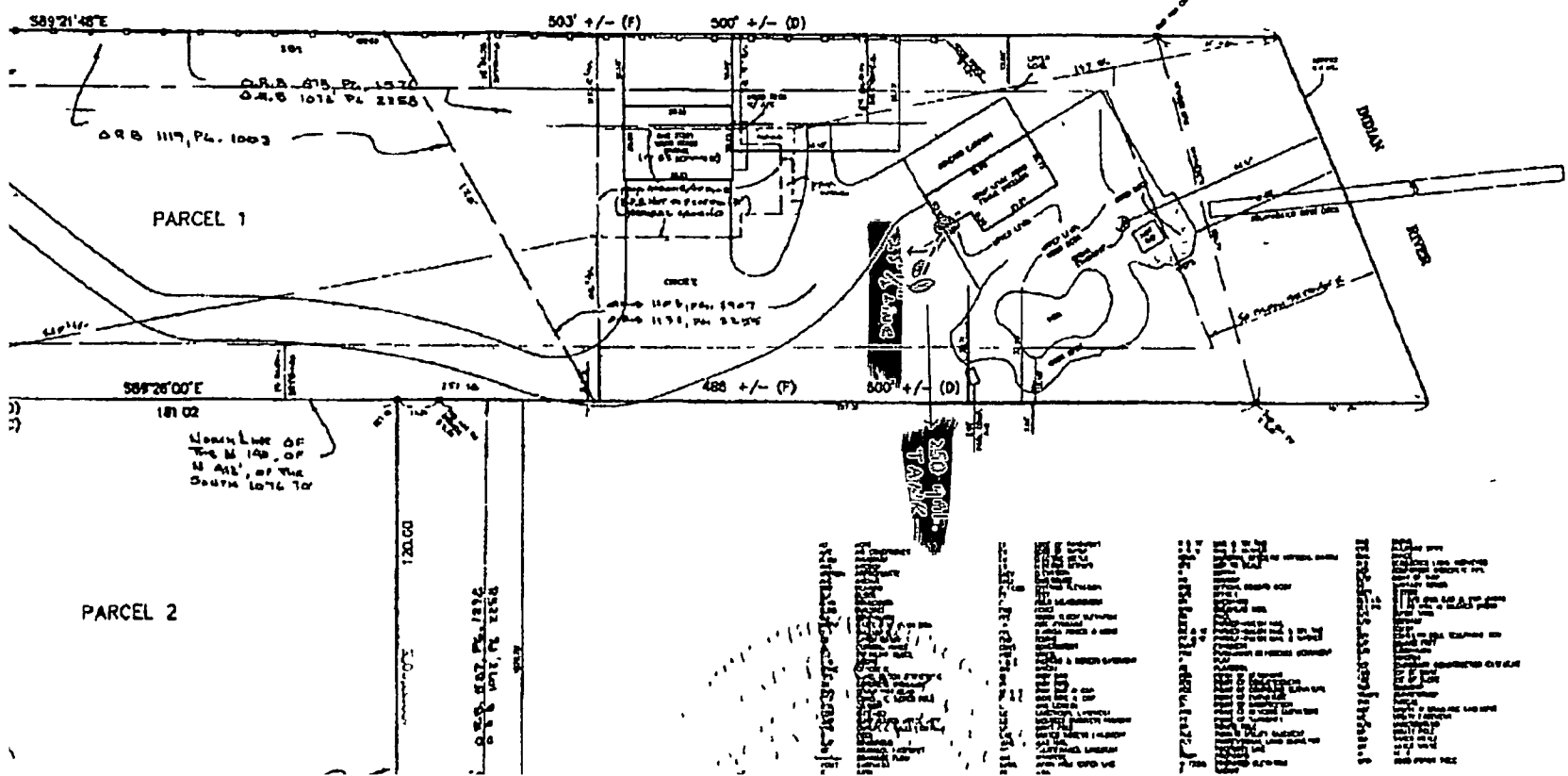
Lot Area (sq. ft.)	10,000	100%
Area reserved	1,500	15%
Pool Deck	2,500	25%
DRIVE WALK WAY	2,500	25%
TOTAL SURFACE (CIRCULAR)	10,000	100%
Impervious surface/area	1,500	15%
Area reserved/area	1,500	15%
total impervious coverage	12,000	100%

DESCRIPTION

FILE COPY  
 TOWN OF SEWALL'S POINT  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE

DATE 12/24/03

OFFICIAL  
 Simmons



PARCEL 2

PARCEL 1



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(561) 287-2455

**CORRECTION NOTICE**

ADDRESS \_\_\_\_\_

74 N Sewalls Pt.

*Revised 2/23*

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

Gas Tank

P. advise :

1) Is yellow tape buried above line YOS

2) Do we need ground to tank  
NO : green wire, tail is a good connection  
(not repaired)

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE \_\_\_\_\_

2/26/13

INSPECTOR \_\_\_\_\_

**DO NOT REMOVE THIS TAG**



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 2-26, 2004; Page 3 of     

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6155	Hess 74 N. SEWALLS PT RD MARTIN COUNTY PROPANE	GAS TANK	Failed	Contractor to advise → Garage re-roof ?? Passed: final
6102	DUNN 21 PALMETTO DR PVD DEVELOPMENT	STRAPPING	Passal	9+ INSPECTOR
5700	D'ALESSANDRO 107 ABBIE COURT FRASIER	SEPTIC TANK LINE Pool Plumbing	Passal Passal	INSPECTOR
6140	ATHOS 3 GUMBO LIMBO WAY O/B	GARAGE DOOR	Failed	No access INSPECTOR
6158	DONNATELLI 19 BANYAN ROAD TREASURE COAST A/C	REPLACE AC FINAL El rough Plumb rough	Failed Passed Passed	Att 30A to AC 25/20 INSPECTOR
6158	DONATELLI 19 BANYAN RD O/B	DUCT WORK FOR STONE HOOD + ELEC + PLUMBING + FRAMING	Failed Passed Passed	215-4779 220-1506 INSPECTOR
5986	SCHOPPE 8 PALM ROAD COASTAL ALUM.	POOL ENCLOSURE	Passed	INSPECTOR

OTHER LUCAS ROOF PLYWOOD Passed  
6028 | MANDALAY SHEATHING NAILING  
EMMICK CONST

146 N SQ. → Stop

**6377**

**SIDING AND**

**RAILING**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 8/15/03

BUILDING PERMIT NO. 6377

Building to be erected for Hess

Type of Permit Siding + RAILING

Applied for by O/B

(Contractor) Building Fee 70.00  
*#35x2 after the fact*

Subdivision GOVT LOT Lot PART OF 3 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 74 N. SEWALL'S POINT RD

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number:  
3537410000000026160000

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid 70.00 Check # 1035 Cash \_\_\_\_\_

Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 2000.00

TOTAL Fees 70.00

Signed Nancy Hess  
Applicant

Signed Glenn Simmons (JOB)  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> BUILDING RESIDING | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING                     | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT               | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE             | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                         | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL                 | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                                   |                              |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____        | UNDERGROUND GAS _____        |
| UNDERGROUND MECHANICAL _____      | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____            | FOOTING _____                |
| SLAB _____                        | TIE BEAM/COLUMNS _____       |
| ROOF SHEATHING _____              | WALL SHEATHING _____         |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____                   |
| ROOF TIN TAG/METAL _____          | ROOF-IN-PROGRESS _____       |
| PLUMBING ROUGH-IN _____           | ELECTRICAL ROUGH-IN _____    |
| MECHANICAL ROUGH-IN _____         | GAS ROUGH-IN _____           |
| FRAMING _____                     | EARLY POWER RELEASE _____    |
| FINAL PLUMBING _____              | FINAL ELECTRICAL _____       |
| FINAL MECHANICAL _____            | FINAL GAS _____              |
| FINAL ROOF _____                  | BUILDING FINAL _____         |

Permit Number 6377

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME Nancy Hess Phone (Day) 463 5118 (Fax) \_\_\_\_\_

Job Site Address 74 N. Sewalls Pt City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Legal Description of Property COM N/HW GOOD Parcel Number \_\_\_\_\_

Owner Address (if different) 74 N. Sewalls Pt City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Description of Work To Be Done Siding (PARTIAL) + GUARDRAIL REPLACEMENT

WILL OWNER BE THE CONTRACTOR?:  Yes  No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

State Registration Number \_\_\_\_\_ State Certification Number \_\_\_\_\_ Martin County License Number \_\_\_\_\_

COST AND VALUES Estimated Cost of Construction or Improvements \$ 2,000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION

Electrical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

Mechanical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

Plumbing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

Roofing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_

Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001  
National Electrical Code 2002 Florida Energy Code 2001 Florida Accessibility Code 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Nancy Hess

State of Florida, County of MARTIN

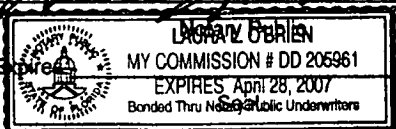
This the 15th day of AUGUST, 2003

by NANCY HESS who is personally

known to me or produced

as identification Nancy Hess

My Commission Expires April 28, 2007



CONTRACTOR SIGNATURE (required) \_\_\_\_\_

On State of Florida, County of \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200  

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification \_\_\_\_\_

My Commission Expires \_\_\_\_\_  
Notary Public Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(561) 287-2455

**CORRECTION NOTICE**

ADDRESS 74 N Sewall's Point Rd

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

working without permit

replacing siding and parapet wall

Stopped work until permit issued

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE 8/15/17

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log


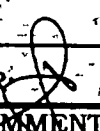
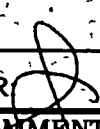



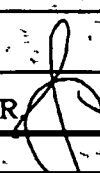
Date of Inspection:  Mon  Wed  Fri 8/15, 20013 Page        of       

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	BURKARD 176 S. RIVER RD	TREE	Passed	
				INSPECTOR <i>[Signature]</i>
5022	SMITH 133 S. RIVER RD MACARI	DRIVEWAY (SWALE)	Passed	
				INSPECTOR <i>[Signature]</i>
6082	CAETWEIGHT 10 PEERWINKLE CIR PACIFIC	ROOF FINAL	Passed	
				INSPECTOR <i>[Signature]</i>
1327	Wobler 4 Madalay Fritz	Irrigation	Passed	done
				INSPECTOR <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
OTHER:	<del>74 N. SEWALLS DRIVE</del> Stopped work → get permit			
	116 E. HIGH POINT	CONCRETE/	8/15	42" Ornamental Bal.
	JACK HAMMERS			Replaces Alu railing

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8/22, 2008 Page 3 of     

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6377	<del>HESS</del>	<del>FINAL</del>	Passed	close
	74 N SEWALL'S PT	SIDING & RAIL		
	O/B			INSPECTOR 
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	LAPIKAS	TREE	Passed	
	3 INDIA LUCIE PKWY			
				INSPECTOR 
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6378	OLENY	FRAME (DOOR)	Passed	to close
	91 S. SEWALL'S PT			
	A&P			INSPECTOR 
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6322	BYERS	COLUMNS	Passed	close
	32 N. SEWALL'S PT	FINAL		
	GRAND ENTRY			INSPECTOR 
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6363	BYERS	LIGHTS	Passed	close
	32 N. SEWALL'S PT	FINAL		
	O/B			INSPECTOR 
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6154	BYERS	LANDSCAPING	Passed	close
	32 N. SEWALL'S PT RD	FINAL	Note:	Rip Rap cancelled
	O/B			INSPECTOR 
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6222	Morris	Plbg. u. gra.	Passed	
	5 Oakhill Way	223 8688		
	Dr. Martin			INSPECTOR 
OTHER: _____				

**6521**

**REPAIR &**

**EXTEND DOCK**



MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 12/4/03

BUILDING PERMIT NO. 6521  
Type of Permit REPAIR + EXTEND EXISTING DOCK

Building to be erected for HESS

Applied for by BELLA MARINE (Contractor) Building Fee 240.00

Subdivision GOVT LOT Lot PART OF 3 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 74 N. SEWALL'S POINT ROAD Impact Fee \_\_\_\_\_

Type of structure DOCK A/C Fee \_\_\_\_\_

Parcel Control Number \_\_\_\_\_ Electrical Fee \_\_\_\_\_

35-37-41-000900002616000 Plumbing Fee \_\_\_\_\_

Amount Paid 264.00 Check # 1128 Cash \_\_\_\_\_ Other Fees (10% PLAN REVIEW) 24.00

Total Construction Cost \$ 18,000. TOTAL Fees \_\_\_\_\_

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING                           | <input type="checkbox"/> ELECTRICAL          | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING                           | <input type="checkbox"/> ROOFING             | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/ <del>SCREEN</del> | <input type="checkbox"/> DEMOLITION          | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE                   | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL                               | <input type="checkbox"/> HURRICANE SHUTTERS  | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL                       | <input type="checkbox"/> STEMWALL            | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Permit Number: \_\_\_\_\_

### Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME Gary + Nancy Hess Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_  
 Job Site Address 74 N Sewalls Pt. Rd. City Sewall Pt. State FL Zip 34997  
 Legal Description of Property 74 N Sewalls Pt. Rd. Parcel Number 35-37-41-000000002616000  
 Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Description of Work To Be Done Redeck existing Dock +

WILL OWNER BE THE CONTRACTOR?: Yes  No  (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company Bella Marine Inc. Phone 220-3625 Fax 220-6816  
 Street 1200 W to FF Rd. City Stuart State FL Zip 34994  
 State Registration Number \_\_\_\_\_ State Certification Number \_\_\_\_\_ Martin County License Number SP01585

COST AND VALUES Estimated Cost of Construction or Improvements \$ 18,000.00 (Notice of Commencement needed over \$2500)

#### SUBCONTRACTOR INFORMATION

Electrical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
 Mechanical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
 Plumbing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
 Roofing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
 Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL AND TREE REMOVAL AND RELOCATIONS

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001  
 National Electrical Code 2002 Florida Energy Code 2001 Florida Accessibility Code 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

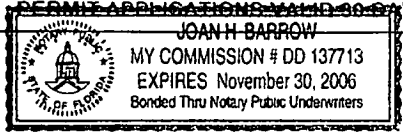
OWNER OR AGENT SIGNATURE (required) Nancy Hess  
 State of Florida, County of Martin  
 This the 26<sup>th</sup> day of November 2003  
 by Nancy Hess who is personally known to me or produced Fl. d. l. as identification \_\_\_\_\_

Notary Public Joan H. Barrow  
 My Commission Expires \_\_\_\_\_

CONTRACTOR SIGNATURE (required) Robert Johnson Jr.  
 On State of Florida, County of \_\_\_\_\_  
 This the \_\_\_\_\_ day of \_\_\_\_\_ 200\_\_\_\_\_  
 by \_\_\_\_\_ who is personally known to me or produced \_\_\_\_\_ as identification \_\_\_\_\_

Notary Public \_\_\_\_\_  
 My Commission Expires \_\_\_\_\_

PERMIT APPLICATIONS VALID 90 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



**RECEIVED**  
DEC 07 2003

**ACORD - CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)  
**12/1/2003**

<b>PRODUCER</b> Paul Lynch & Associates, Inc. 3388 NE Sugarhill Ave., Suite 201 Jensen Beach, FL 34957 772-232-2552		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
<b>INSURED</b> Bella Marine, Inc.  1295 SE Cutoff Road Stuart, FL 34994 (772) 220-3625		<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC#</b>
		INSURER A: <b>National Fire &amp; Marine Ins.</b>	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	MODEL NO	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	72LP158696	09/11/03	09/11/04	EACH OCCURRENCE \$ <b>1,000,000</b>
		GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>50,000</b> MED EXP (Any one person) \$ <b>5,000</b> PERSONAL & ADV INJURY \$ <b>1,000,000</b> GENERAL AGGREGATE \$ <b>2,000,000</b> PRODUCTS COMP/OP AGG \$ <b>1,000,000</b>
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROVISIONS OF THE WORKERS COMPENSATION ACT OR OTHER APPLICABLE LAWS OR REGULATIONS ARE INCLUDED If yes, describe below SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER \$ E.L. EACH ACCIDENT \$ E.L. DISEASE EA EMPLOYEE \$ E.L. DISEASE POLICY LIMIT \$
		OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS


**Marine Contractor.**

**CERTIFICATE HOLDER**

**CANCELLATION**

Town of Sewall's Point Building Department 1 South Sewalls Point Road Sewalls Point, Florida 34996 Fax: 220-4765	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
--	--

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

<p>STATE OF FLORIDA DEPARTMENT OF INSURANCE DIVISION OF WORKERS' COMPENSATION</p> <p>CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW</p> <p>EFFECTIVE: 08/15/2002 EXPIRATION: 08/14/2004</p> <p>PERSON: JULIANO SALVATORE SSN: 148-74-3667</p> <p>FED: 650561536</p> <p>BUSINESS: BELLA MARIE INC 1200 S E CUTOFF ROAD STUART FL 34994</p>		<p style="text-align: center;">F O L D H E R E</p> <p>NOTE: Pursuant to chapter 440 10(1)(g), 2, F.S., a sole proprietor, partner, or officer of an corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440</p>
--	---	--

CUT HERE

\* Carry bottom portion on the job, keep upper portion for your records



MARTIN COUNTY, FLORIDA  
Construction Industry Lic Bd  
Certificate of Competency  
License: SP01585  
Expires September 30, 2004

Name: SALVATORE JULIANO  
Company: BELLA MARINE INC  
Address: 1200 SE Cutoff Rd  
City, ST: Stuart FL 34994  
License Type: MARINE CONTRACTOR

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500 00

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 74 N Sewalls Pt Rd.  
*M N/LN GOVT LOTS 3 & 4  
Sewalls Pt Rd 1/2 1/4 AC L/2A  
135' 54' ELY 25' 13' TC PCB  
NW 1/4 120' E 25' NW TC WATER  
TV PL WITH LIKSTH  
13 EAST FROM PCB  
245' MIC TO PCB*

GENERAL DESCRIPTION OF IMPROVEMENT Reelock existing Dock + Lift

OWNER Nancy Hess

ADDRESS 74 N Sewalls Pt. Rd.

PHONE # 463 5118 FAX # \_\_\_\_\_

CONTRACTOR Bella Marine

ADDRESS 1200 Cutoff Rd. Stuart, FL 34994

PHONE # 270 3025 FAX # 270-6816

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS \_\_\_\_\_ STATE OF FLORIDA  
MARTIN COUNTY

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

BOND AMOUNT \_\_\_\_\_

LENDER \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13(1)(A)7, FLORIDA STATUTES

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B), FLORIDA STATUTES

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

Nancy Hess  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 26th DAY OF November 2003 BY NANCY MOSS HESS

Laura L. O'Brien  
NOTARY SIGNATURE

OR PERSONALLY KNOWN  
PRODUCED ID FLDL #200633 49 791-0  
TYPE OF ID \_\_\_\_\_

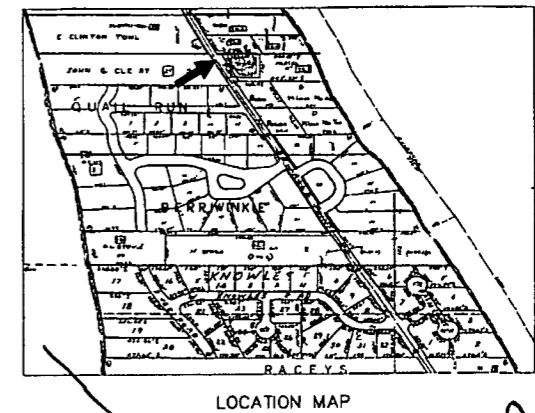


To - Bella Marianne  
from - Nancy Hess

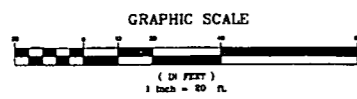
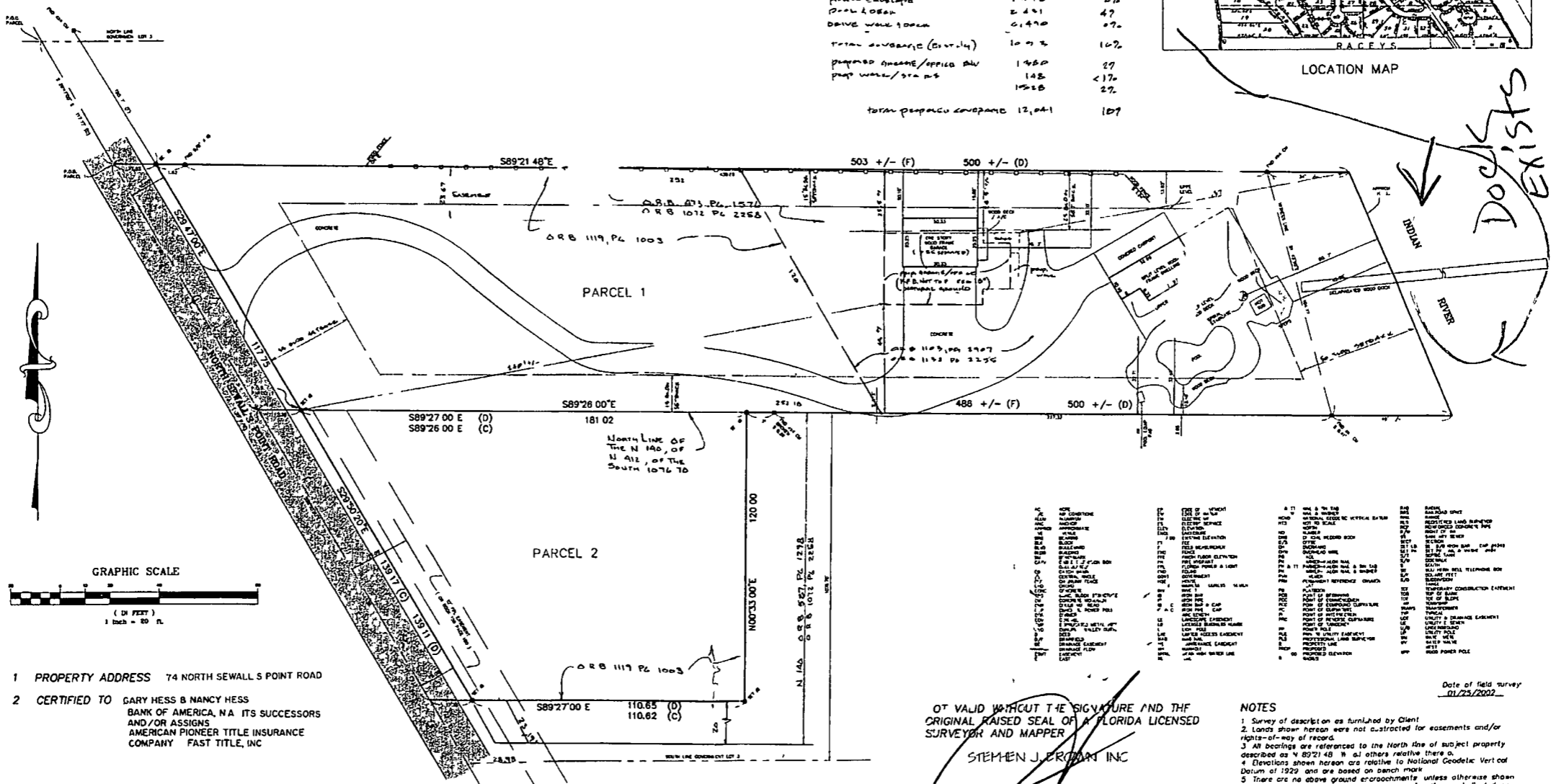
LEGAL DESCRIPTION

PARCEL 1: Starting at the intersection of the North line of Government Lot 3 SECTION 35 TOWNSHIP 37 RANGE 41 EAST with the centerline of Sewall's Point Road run South 29° 57' 00" East along the centerline of Sewall's Point Road 117.77 feet for a Point-of-Beginning thence continue South 29° 57' 00" East along said centerline a distance of 117.77 feet to the South line of the lands now owned by E. Clinton Towl thence run South 89° 28' 00" East along the South line of the lands of E. Clinton Towl a distance of 200.00 feet more or less to the center of the Indian River thence run Northwesterly along the center of the Indian River to the 1st fraction thereof with a line running South 89° 21' 48" East from the Point-of-Beginning thence run North 89° 21' 48" West a distance of 500.00 feet more or less to the Point and Place-of-Beginning.

PARCEL 2: Start at the point of intersection of the North line of the North 140.00 feet of the North 412.00 feet of the North 174.70 feet of Government Lot 3 SECTION 35 TOWNSHIP 37 RANGE 41 EAST Harris County Florida and the westerly right-of-way line of Sewall's Point Road for the Point-of-Beginning thence run South 89° 21' 00" East along said North line of the North 140.00 feet a distance of 181.00 feet; thence run South 07° 33' 00" West a distance of 110.00 feet; thence run North 89° 21' 00" West a distance of 110.00 feet to the point of intersection with the westerly right-of-way line of Sewall's Point Road thence run North 29° 50' 30" West along said right-of-way line a distance of 176.11 feet to the Point-of-Beginning.



AREAS	SQ FT	PERCENTAGE
Lot Area (Parcel 1 & 2)	46,000	100%
House envelope	1,492	3%
Pool & deck	2,401	5%
DRIVE WALK YARDS	6,470	14%
TOTAL SQUARE (Est. 14)	52,363	113%
Prepared Acreage/Assessed Acreage	1,350	2%
Prep Walk/Drains	148	<1%
	1,508	3%
TOTAL PREPARED ACREAGE	12,841	107%



1 PROPERTY ADDRESS 74 NORTH SEWALL S POINT ROAD  
 2 CERTIFIED TO GARY HESS & NANCY HESS  
 BANK OF AMERICA, N.A. ITS SUCCESSORS  
 AND/OR ASSIGNS  
 AMERICAN PIONEER TITLE INSURANCE  
 COMPANY FAST TITLE, INC

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN J. BROWN INC  
 SURVEYOR & MAPPER  
 REGISTRATION NO. 4049 STATE OF FLORIDA

NOTES  
 1. Survey of description as furnished by Client.  
 2. Locals shown herein were not abstracted for easements and/or rights-of-way of record.  
 3. All bearings are referenced to the North line of subject property described as 89°21'48" N or others relative thereto.  
 4. Elevations shown herein are relative to National Geodetic Vertical Datum of 1929 and are based on bench mark.  
 5. There are no above ground encroachments unless otherwise shown.  
 6. The National Flood Insurance Program designation as indicated on the F.E.M.A. Map Panel No. 120164-0201-E, dated 08/16/1998, locates the parcel in Zones A-10 & V-13 base flood elevations 8.9 & 10 feet, subject to any scaling and interpretation factors associated with mapping of this accuracy.  
 7. Underground foundations & utilities not located unless shown.

DOCKS EXIST

REVISION	DATE

STEPHEN J. BROWN INC  
 SURVEYORS DESIGNERS LANDPLANNERS CONSULTANTS  
 850 WEST 11 STREET SUITE 1100 FLORIDA 32114  
 PHONE 386.238.6100 FAX 386.238.6101  
 C-06370697-176

BOUNDARY SURVEY  
 PREPARED FOR HESS

DATE	SHEET
01/28/2002	ONE
1 = 20	
1994-190-01	
ONE	

## CRITIQUE

Owner Gary & Nancy Hess

Contractor: Bella Marine

Contractor's Phone Number. 220-3625

Date March 26, 2003

Contact Person:

Plan Reviewer. Gene Simmons

### PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR REPAIR AND EXTENSION OF EXISTING DOCK LOCATED AT 74 N. SEWALL'S POINT ROAD

#### Submittals (2 copies)

- 1 Current Mean High Water Survey (**within one year**) containing the following information
  - a Location of existing and proposed extension of dock and all mooring pilings
  - b Distance for existing dock and existing mooring piles and proposed extension and mooring piling from mean high water
  - c Distance from existing and proposed dock and mooring pilings to riparian lines and to adjacent docks on adjoining properties
  - d Certification to the Town of Sewall's Point
  - e Mean High Water DEP File Number
- 2 Letters of No Objection from all adjoining properties or certificates for return receipts from post office
- 3 If dock is longer than 250 feet application will have to go before the Town Commission for approval



# DOCK PERMIT

## LETTER OF NO OBJECTION

We, George and Sally Sachs  
 being the owner (s) of certain property adjacent to and abutting the  
 property of Gary + Nancy Hess 740 Seawalls Pt who have applied for a  
 dock permit for construction, have read and reviewed the drawing of  
 the dock and We (I) have no objection to the proposed dock pursuant  
 to the plan attached herein.

h  
 2

George Sachs  
 Signature

Sally Sachs  
 Signature

STATE OF FLORIDA  
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 24<sup>th</sup> day  
 of March, 2003

Sally A Ford  
 NOTARY PUBLIC

MY COMMISSION EXPIRES: April 9<sup>th</sup> 2003



Gary + Nancy Hess

**DOCK PERMIT**

**LETTER OF NO OBJECTION**

We, VINCENT P MIRAGLIA and BILLYE P. MIRAGLIA  
being the owner (s) of certain property adjacent to and abutting the  
property of 74 N. Swalls Point Rd who have applied for a  
dock permit for construction, have read and reviewed the drawing of  
the dock and We (I) have no objection to the proposed dock pursuant  
to the plan attached herein.

Vincent P. Miraglia  
Signature

Billye P. Miraglia  
Signature

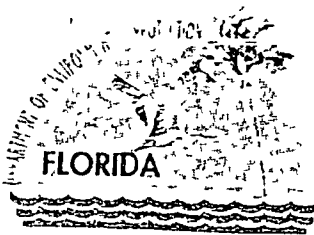
STATE OF Florida  
COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 3rd day  
of April, 2003

Sara Hurtt  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

 Sara Hurtt  
Commission # CC 925854  
Expires May 22, 2004  
Bonded Thru  
Atlantic Bonding Co., Inc.



Jeb Bush  
Governor

# Department of Environmental Protection

Port St. Lucie Branch Office  
1801 SE Hillmoor Drive, Suite C-204  
Port St Lucie, FL 34952  
(772)398-2806 Fax # (772)398-2815

David B. Struhs  
Secretary

JAN 02 2003  
CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

7000 0600 0022 8538 2102

Gary and Nancy Hess  
74 N Sewall's Point Road  
Stuart, FL 34996

Dear Mr and Mrs Hess

Enclosed is Standard General Permit Number 43-0201004-001 issued pursuant to Part IV of Chapter 373, Florida Statutes (F S ), and Title 62, Florida Administrative Code

Appeal rights for you as the permittee and for any affected third party are described in the text of the permit along with conditions which must be met when permitted activities are undertaken. Please review this document carefully to ensure compliance with both the general and specific conditions contained herein. As the permittee, you are responsible for compliance with these conditions. **Please ensure that all construction personnel associated with your activity review and understand the approved drawings and conditions.** Failure to comply with this permit may result in liability for damages and restoration, and the imposition of civil penalties up to \$10,000 per violation per day, pursuant to Sections 403.141 and 403.161, F S

In addition, please ensure the construction commencement notice and all other reporting conditions are forwarded to the appropriate office as indicated in the specific conditions. A permit review checklist is enclosed to assist you in tracking the monitoring and reporting requirements outlined in the permit.

If you have any questions about this document, please contact me at the phone number listed above.

Sincerely,

Danna Small  
Environmental Supervisor  
Submerged Lands and Environmental Resources Program

Enclosure



# Department of Environmental Protection

Jeb Bush  
Governor

Port St Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St Lucie, FL 34952  
(772)398-2806 Fax # (772)398-2815

David B. Struhs  
Secretary

## CONSOLIDATED ENVIRONMENTAL RESOURCE PERMIT AND SOVEREIGN SUBMERGED LANDS AUTHORIZATION

### PERMITTEE/AUTHORIZED ENTITY

Gary and Nancy Hess  
74 N Sewall's Point Road  
Stuart, FL 34996

Permit/Authorization No 43-0201004-001  
Date of Issue January 2, 2003  
Expiration Date of January 2, 2008  
County Martin County  
Project Private single family dock

This permit is issued under the authority of Part IV of Chapter 373, Florida Statutes (F S ), and Title 62, Florida Administrative Code (F A C ) The activity is not exempt from the requirement to obtain an Environmental Resource Permit Pursuant to Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F A C , the Department is responsible for reviewing and taking final agency action on this activity

### ACTIVITY DESCRIPTION

The purpose of the project is to ~~redeck the existing dock and construct a dock extension and platform~~ The access shall measure 416' long by 4' wide from top of bank, ending in a 4' by 20' platform for a total of 1,744 square feet with one associated mooring area which can accommodate a boatlift The entire access walkway shall be constructed with handrails and at an elevation of at least 5' above mean high water

### ACTIVITY LOCATION

The project is located at 74 N Sewall's Point Road, in the Jensen Beach to Jupiter Inlet Aquatic Preserve (O F W ), Class III Waters of the State (Section 35, Township 37 South, Range 41 East), Stuart, Martin County, Latitude 27° 12' 42 20"N, Longitude 80° 12' 19 03"W

This permit also constitutes certification of compliance with water quality standards under Section 401 of the Clean Water Act, 33 U S C 1341

### PROPRIETARY REVIEW: GRANTED

This activity also requires a proprietary authorization, as the activity is located on sovereign submerged lands owned by the Board of Trustees of the Internal Improvement Trust Fund, pursuant to Article X, Section 11 of the Florida Constitution, and Sections 253 002 and 253 77, F S The activity is not exempt from the need to obtain a proprietary authorization The Department has the responsibility to review and take final action on this request for proprietary authorization in accordance with Section 18-21 0051, and the Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F A C In addition to the above, this proprietary authorization has been reviewed in accordance with Chapter 253 and 258 F S , Chapter 18-20, 18-21, and Section 62-343 075, F A C

As staff to the Board of Trustees, the Department has reviewed the activity described above, and has determined that the activity qualifies for a consent to use sovereign, submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein

- All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual, A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
- (4) The permittee shall notify the Department of the anticipated construction start date within 30 days of the date that this permit is issued. **At least 48 hours prior to commencement** of activity authorized by this permit, the permittee shall submit to the Department an "Environmental Resource Permit Construction Commencement" notice (Form No 62-343 900(3), F A C ) indicating the actual start date and the expected completion date.
  - (5) When the duration of construction will exceed one year, the permittee shall submit construction status reports to the Department on an annual basis utilizing an "Annual Status Report Form" (Form No 62-343 900(4), F A C ) Status Report Forms shall be submitted the following June of each year.
  - (6) **Within 30 days after completion of construction** of the permitted activity, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, utilizing the supplied "Environmental Resource Permit As-Built Certification by a Registered Professional" (Form No 62-343 900(5), F A C ) The statement of completion and certification shall be based on on-site observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the Department that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor.
  - (7) The operation phase of this permit shall not become effective until the permittee has complied with the requirements of condition (6) above, has submitted a **"Request for Transfer of Environmental Resource Permit Construction Phase to Operation Phase"** (Form No 62-343.900(7), F A C ), the Department determines the system to be in compliance with the permitted plans and specifications, and the entity approved by the Department in accordance with Sections 9 0 and 10 0 of the Basis of Review for Environmental Resource Permit Applications Within the South Florida Water Management District - August 1995, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the Department, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 62-343 110(1)(d), F A C , the permittee shall be liable for compliance with the terms of the permit.
  - (8) Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
  - (9) For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the Department along with any other final operation and maintenance documents required by sections 9 0 and 10 0 of the Basis of Review for Environmental Resource Permit Applications Within the South Florida Water Management District - August 1995, prior to lot or unit sales or prior to the completion of the system, whichever occurs first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State where appropriate. For those systems which are proposed to be maintained by the county or municipal entities, final operation and maintenance documents must be received by the Department when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.

- (3) Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances or illegal operations of any kind on the premises
- (4) Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time
- (5) Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent
- (6) No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board to enforce the same in the event of subsequent breach
- (7) Grantee binds itself and its successors and assigns to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have thirty (30) days in which to correct the violation. Failure to correct the violations within this period shall result in the automatic revocation of this Letter of Consent
- (8) All costs, including attorneys' fees, incurred by the Board in enforcing the terms and conditions of this consent shall be paid by the Grantee. Grantee agrees to accept service by certified mail of any notice required by Chapter 18-14, Florida Administrative Code, at the address shown on page one of this Agreement and further agrees to notify the Board in writing of any change of address at least ten days before the change becomes effective
- (9) Grantee agrees to assume responsibility for all liabilities that accrue to the sovereignty submerged land or to the improvements thereon, including any and all drainage or special assessments or taxes of every kind and description which are now or may be hereafter lawfully assessed and levied against the property during the effective period of this consent
- (10) Grantee agrees that any dispute arising from matters relating to this consent shall be governed by the laws of Florida and initiated only in Leon County, Florida
- (11) The Letter of Consent associated with these General Consent Conditions as well as these conditions themselves are subject to modification after 5 years in order to reflect any applicable changes in statutes, rule or policies of the Board or its designated agent
- (12) In the event that any part of the structure(s) consented to herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent riparian rights, Grantee agrees to either obtain written consent for the offending structure from the affected riparian owner or to remove the interference or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this consent and shall be grounds for its immediate termination

#### SPECIFIC CONDITIONS

- (1) The project drawings, sheets 1 through 4, the 1-page Permit Review Checklist, the 3-page Manatee Exhibit, and DEP forms 62 343 900(3), (4), (5), and (7) are attached to and become part of this permit
- (2) Prior to commencement of construction the permittee shall field stake the corners of the terminal platform and mooring areas and contact the Southeast District Branch Office for a pre-construction meeting
- (3) Best management practices for erosion control shall be implemented and maintained at all times during construction to prevent siltation and turbid discharges in excess of state water quality standards pursuant to Rule 62-302, F A C. Methods shall include, but are not limited to the use of staked hay bales, staked filter cloth, sodding, seeding, and mulching staged construction, and the installation of turbidity screens around the immediate project site. The permittee shall be responsible for ensuring that erosion control devices/procedures are inspected and maintained daily during all phases of construction authorized by this permit until all areas that were disturbed during construction are sufficiently stabilized to prevent erosion, siltation, and turbid discharges

### RIGHTS OF AFFECTED PARTIES

This permit and consent to use sovereign submerged lands is hereby granted. This action is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120 569 and 120 57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this action automatically becomes only proposed agency action on the application, subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because an administrative hearing may result in the reversal or substantial modification of this action, the applicant is advised not to commence construction or other activities until the deadlines noted below for filing a petition for an administrative hearing or request for an extension of time have expired.

Mediation is not available.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120 569 and 120 57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under rule 62-110 106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. If a request is filed late, the Department may still grant it upon a motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106 205 of the Florida Administrative Code.

In accordance with rules 28-106 111(2) and 62-110 106(3)(a)(4), petitions for an administrative hearing by the applicant must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under section 120 60(3) of the Florida Statutes must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. Under section 120 60(3) of the Florida Statutes, however, any person who has asked the Department for notice of agency action may file a petition within 14 days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under sections 120 569 and 120 57 of the Florida Statutes.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known,

Permittee Gary and Nancy Hess  
File Number 43-0201004-001  
Page Nine

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this permit and authorization to use sovereign submerged lands, including all copies, were mailed before the close of business on 12/12/05, to the above listed persons

FILING AND ACKNOWLEDGMENT

FILED, on this date, under 120 52(7) of the Florida Statutes, with the designated Department Clerk, receipt of which is hereby acknowledged

Larissa L. Hernandez      12/12/05  
Clerk                              Date

Prepared by Danna Small

11 pages attached



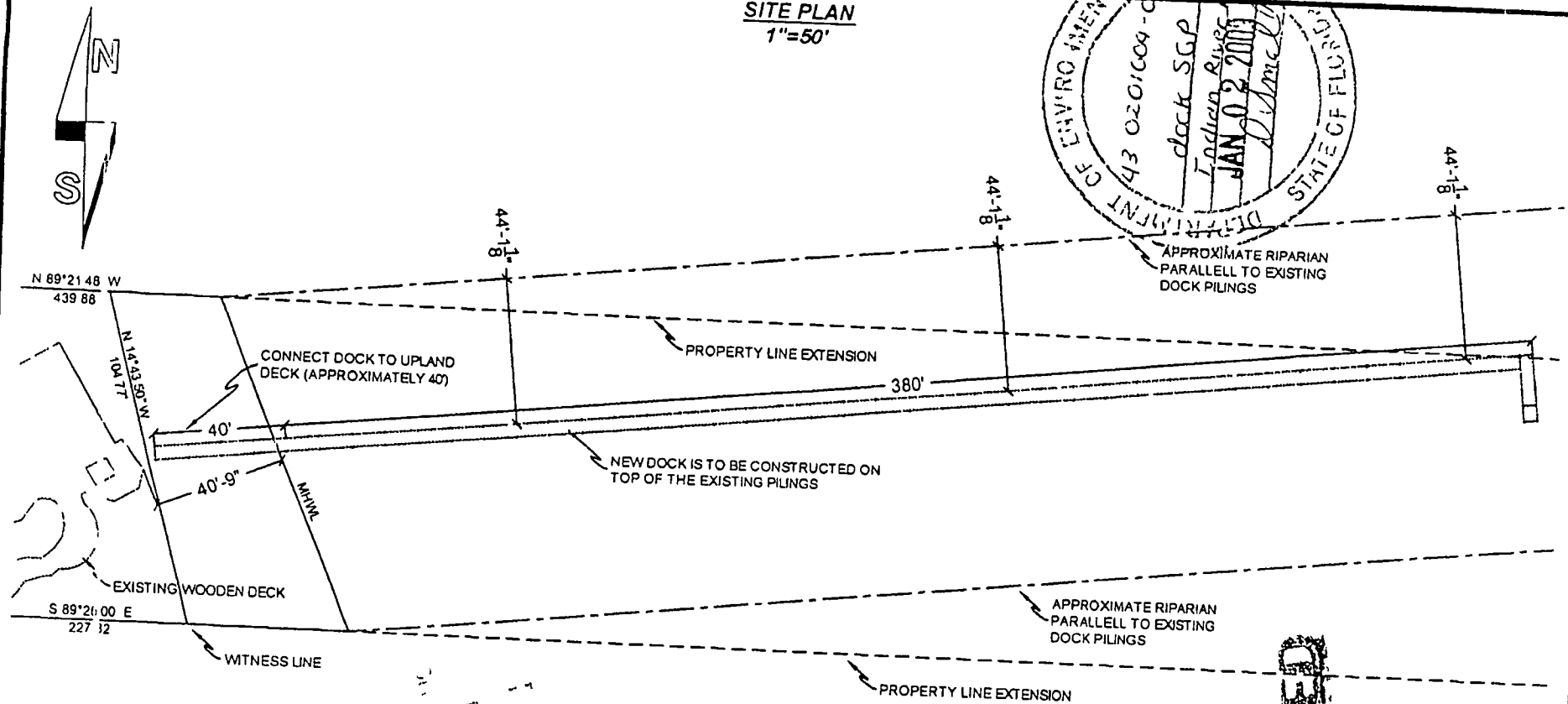
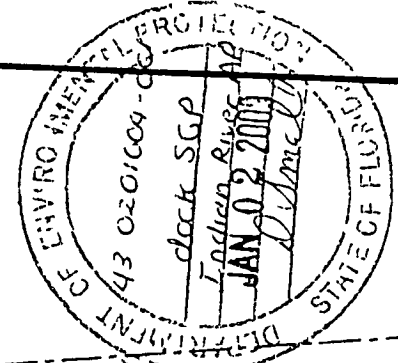
## Standard Manatee Construction Conditions Temporary Signs

The permittee shall comply with the following manatee protection construction conditions

- A The permittee shall instruct all personnel associated with the project of the potential presence of manatees and the need to avoid collisions with manatees. All construction personnel are responsible for observing water-related activities for the presence of manatee(s).
- B The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act of 1972, the Endangered Species Act of 1973, and the Florida Manatee Sanctuary Act
- C Siltation barriers shall be made of material in which manatees cannot become entangled, are properly secured, and are regularly monitored to avoid manatee entrapment. Barriers must not block manatee entry to or exit from essential habitat
- D All vessels associated with the construction project shall operate at "no wake/idle" speeds at all times while in the construction area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible
- E If manatee(s) are seen within 100 yards of the active daily construction/dredging operation or vessel movement, all appropriate precautions shall be implemented to ensure protection of the manatee. These precautions shall include the operation of all moving equipment no closer than 50 feet of a manatee. Operation of any equipment closer than 50 feet to a manatee shall necessitate immediate shutdown of that equipment. Activities will not resume until the manatee(s) has departed the project area of its own volition
- F Any collision with and/or injury to a manatee shall be reported immediately to the Florida Marine Patrol at 1-800-DIAL-FMP (1-800-342-5367). Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-232-2580) for north Florida or Vero Beach (1-407-562-3909) in south Florida
- G Temporary signs concerning manatees shall be posted prior to and during all construction/dredging activities. All signs are to be removed by the permittee upon completion of the project. A sign measuring at least 3 ft by 4 ft which reads *Caution Manatee Area* will be posted in a location prominently visible to water related construction crews. A second sign should be posted if vessels are associated with the construction, and should be placed visible to the vessel operator. The second sign should be at least 8 1/2" by 11" which reads *Caution. Manatee Habitat. Idle speed is required if operating a vessel in the construction area. All equipment must be shutdown if a manatee comes within 50 feet of operation. A collision with and/or injury to a manatee shall be reported immediately to the Florida Marine Patrol at 1-800-DIAL FMP (1-800-342-5367). The U.S. Fish and Wildlife Service should also be contacted in Jacksonville (1-904-232-2580) for north Florida or in Vero Beach (1-407-562-3909) for south Florida*



**SITE PLAN**  
1"=50'



DOCK AREA = 1584 SQFT

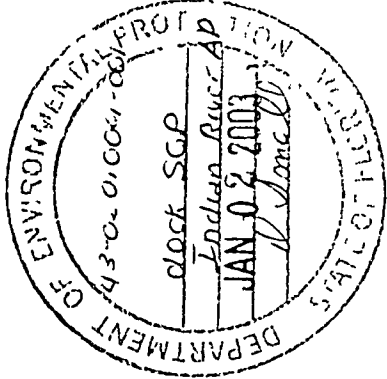
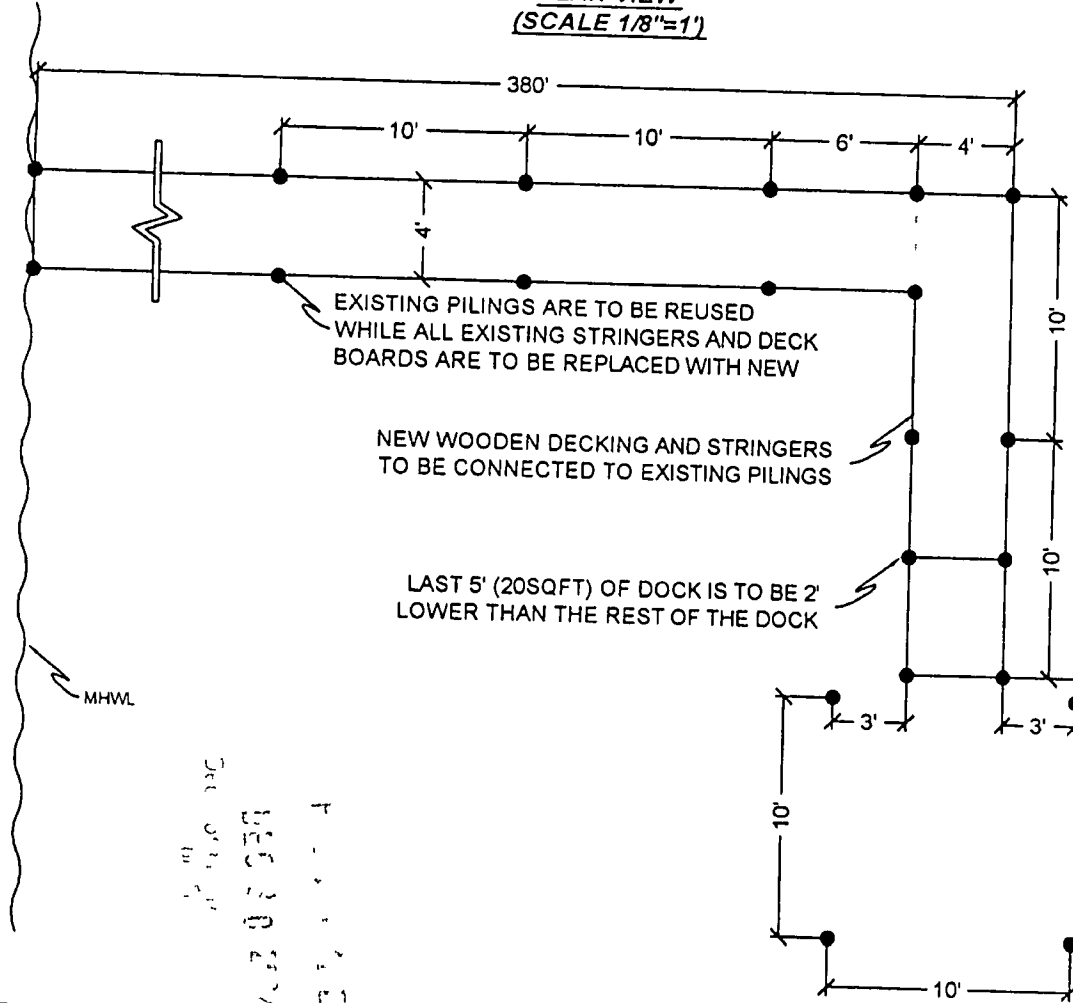
**REVISED**

**BABER ENGINEERING**  
AND TECHNICAL SERVICES INC  
304 N FLAGLER AVENUE  
STUART, FLORIDA 34994  
OF(772) 692-4910 FX(772) 283-3844  
*Roger Baber*  
27 DEC 02  
ROGER BABER FL 43855

**NEW WOODEN DOCK AND  
BOATLIFT PILINGS**  
  
GARY & NANCY HESS  
74 NORTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

DRAWN BY DOUG DAVIS		VERIFIED BY ROGER BABER		SHEET # (2 OF 4)	
PROJECT: HESS DOCK		JOB # (02-86)			
DATE	EMP.	REVISIONS			
11/25	DRD	INITIAL DRAWINGS COMPLETED			
12/27	DRD	PER D.E.P. E-MAIL 12/10/02			

**PLAN VIEW**  
**(SCALE 1/8"=1')**



11/25/02  
12/27/02  
12/27/02  
12/27/02

**REVISED**

**BAEYER ENGINEERING**  
AND TECHNICAL SERVICES INC  
30' N FLAGLER AVENUE  
STUART, FLORIDA 34994  
OF(772) 692-4910 FX(772) 283-3844  
*Roger Baber*  
27 DEC 02  
ROGER BABER FL 43855

**NEW WOODEN DOCK AND  
BOATLIFT PILINGS**  
  
GARY & NANCY HESS  
74 NORTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

DRAWN BY DOUG DAVIS		VERIFIED BY ROGER BABER	SHEET # (3 OF 4)
PROJECT: HESS DOCK			JOB # (02 - 86)
DATE	EMP.	REVISIONS	
11/25	DRD	INITIAL DRAWINGS COMPLETED	
12/27	DRD	PER D.E.P. E-MAIL 12/10/02	



new



# Department of Environmental Protection

Port St Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St Lucie, FL 34952  
(772)398-2806 Fax # (772)398-2815

Jeb Bush  
Governor

David B. Scrubs  
Secretary

NOV 07 2003

7003 0500 0000 3154 0293

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Gary and Nancy Hess  
74 N Scwall's Point Road  
Stuart, FL 34996

Re File Name Hess, Gary and Nancy  
File No 43-0201004-002  
Modification of Permit No 43-0201004-001

Dear Mr and Mrs Hess

Your request to modify this permit has been received and reviewed by Department staff. The modifications are the following:

- 1) redeck the existing dock and relocate an existing boatlift

The project is located at 74 N Sewall's Point Road, in the Jensen Beach to Jupiter Inlet Aquatic Preserve (OFW), Class III Waters of the State (Section 35, Township 37 South, Range 41 East) Stuart, Martin County

**PROJECT DESCRIPTION** Redeck the existing dock and construct a dock extension and platform and relocate the existing boatlift to the north side of the platform. The access shall measure 416'-392' long by 4' wide from top of bank, ending in a 4' by 20' platform for a total of 1-744 1,648 square feet with one associated mooring area which can accommodate a boatlift. The entire access walkway shall be constructed with handrails and at an elevation of at least 5' above mean high water.

The proposed modifications with the above project description are not expected to adversely affect water quality and is in the public interest provided specific condition (4) is modified to the following:

### SPECIFIC CONDITION

- (4) Only one vessel shall be docked at this structure at any one time and shall moor only within the approved mooring area. The vessel shall maintain a minimum of one foot of clearance between the deepest draft of the vessel(s) and the top of submerged resources. Vessels utilizing this structure shall have a maximum draft of 12" with the motor in the down position.

By copy of this letter and the one (1) attached drawing, we are notifying all necessary parties of the modifications. This letter of approval does not alter the original expiration date, all other General or Specific Conditions, or monitoring requirements of the permit. This letter and the accompanying drawings must be attached to the original permit.

This permit modification is hereby granted. This action is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this action automatically becomes only proposed agency action on the application, subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be

final and effective until further order of the Department. Because an administrative hearing may result in the reversal or substantial modification of the action, the applicant and interested persons are advised that their activities until the deadlines noted below for filing a petition for an administrative hearing or request for an extension of time have expired.

Mediation is not available.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. If a request is filed late, the Department may still grant it upon a motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding.

Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rules 28-106.111(2) and 62-110.106(3)(a)(4), petitions for an administrative hearing by the applicant must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under section 120.60(3) of the Florida Statutes, must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. Under section 120.60(3) of the Florida Statutes, however, any person who has asked the Department for notice of agency action may file a petition within 14 days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under sections 120.569 and 120.57 of the Florida Statutes.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known,
- (b) The name, address, and telephone number of the petitioner, the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination,
- (c) A statement of when and how the petitioner received notice of the agency decision,
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate,
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action.

Gary and Nancy Hess  
 File No 43-0201004-002  
 Modification of Permit No 43-0201004-001  
 Page 3

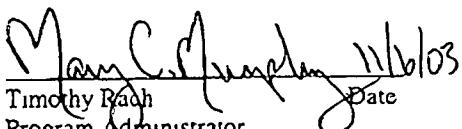
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing must be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed

This permit modification constitutes an order of the Department. Subject to the provisions of paragraph 120.68(7)(a) of the Florida Statutes, which may require a remand for an administrative hearing, the applicant has the right to seek judicial review of the order under section 120.68 of the Florida Statutes, by the filing of a notice of appeal under rule 9.110 of the Florida Rules of Appellate Procedure with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida, 32399-3000, and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice of appeal must be filed within 30 days from the date when the order is filed with the Clerk of the Department.

Sincerely,

  
 Timothy Raab  
 Program Administrator  
 Submerged Lands and Environmental Resources Program

TR/ds

Enclosures

cc U S Army Corps of Engineers, Stuart  
 Baber Engineering, Inc  
 Jerner and Associates, Inc (Agent)

**FILING AND ACKNOWLEDGMENT**  
 FILED, on this date, pursuant to 120.52(7),  
 Florida Statutes, with the designated Department Clerk,  
 receipt of which is hereby acknowledged

  
 Clerk Date

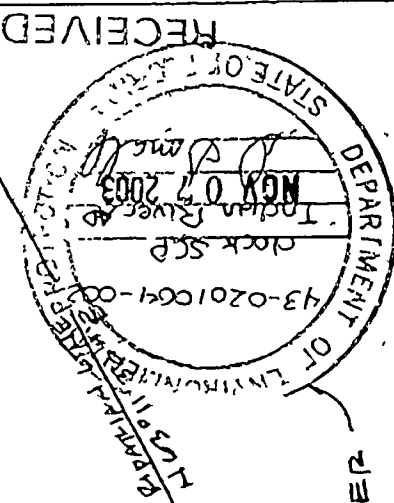


120 57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this action automatically becomes only proposed agency action on the application, subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be

"More Protection, Less Process"

Printed on recycled paper

SITE PLAN  
1" = 50'



RECEIVED

INDIAN RIVER  
REPAIR & REPLACE DOCK SUPERSTRUCTURE  
& BRACKING ON EXISTING PILING

RELOCATE  
MOUNT BOAT

PROPERTY LINE PROLONGATION  
N25°46'45"W  
17.84'  
N34°28'01"W  
44.09'

UPLAND  
PARCEL

NEW DOCK TO BE CONSTRUCTED ON  
TOP OF THE EXISTING PILING OF EXISTING DOCK.

REMOVE  
BOAT

N20°44'26"W  
52.51'

MEAN HIGH WATER LINE

REMOVED

PROPERTY LINE PROLONGATION

589°26'00"E 296.73'

STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER  
REGISTRATION NO. 4049, STATE OF FLORIDA

STEPHEN J. BROWN, INC.  
SURVEYORS • DESIGNERS • LAND PLANNERS • CONSULTANTS  
619 EAST 5TH STREET, STUART, FLORIDA 34994  
LICENSED BUSINESS NUMBER: 6484  
(772) 288-7176

JOB	DATE	SCALE	SHEET
DRG			
CHE			
DA			
SCA			
SHE			



DEPARTMENT OF THE ARMY  
JACKSONVILLE DISTRICT CORPS OF ENGINEERS  
STUART REGULATORY OFFICE  
218 ATLANTA AVENUE  
STUART, FLORIDA 34994

Regulatory Division  
South Permits Branch  
200204423 (NW-AAZ)

**MAR 21 2003**

Gary and Nancy Hess  
74 North Sewalls Point Road  
Stuart, FL 34957

Dear Mr Hess

Reference is made to your Department of the Army (DA) permit application for verification of your proposed project under Nationwide Permit Number 3. The project consists of re-decking a 1584 square-foot dock. The project is located at 74 North Sewalls Point Road in the Indian River, Section 35, Township 37 South, Range 41 East, Martin County, Florida.

This verifies that your proposal is authorized by Nationwide Permit Number 3 in accordance with the enclosed copy of our regulations as stated in 33 CFR Part 330, Appendix A. This verification is valid for two years from the date of this letter, unless this nationwide permit is modified, reissued or revoked. All the Nationwide Permits are scheduled to expire on March 18, 2007, unless modified, issued or revoked. It is incumbent on you to remain informed of changes in these nationwide permits. We will issue a public notice announcing any changes when they occur.

In the event that you have not completed construction of your project within the two-year construction window, reverification under this nationwide permits will be required.

A separate DA permit is not required providing the work is done in accordance with the enclosed drawings/information submitted, the conditions listed in 33 CFR 330, Appendix A, Subparagraph C (Nationwide Permit Conditions), and the following special conditions:

1 The permittee shall adhere to the Standard Manatee Construction Conditions.

2 Reduction and/or elimination of turbid water conditions and the erosion of disturbed or filled areas in adjacent

waterbodies and wetlands are to be achieved through the use of silt curtains or screens, between the construction area and wetlands or surface waters, during periods of fill placement. Such devices shall be properly maintained until such time as those disturbed areas become sufficiently stabilized by natural recruitment of vegetation or other measures.

3 The permittee shall furnish the U S Army Corps of Engineers (Corps), Jacksonville District, Regulatory Division, Enforcement Branch, Post Office Box 4970, Jacksonville, Florida 32232, an "As built Drawing" of the completed project including a certified/sealed drawing which includes elevations illustrating the total amount of wetlands impacted by the project This survey shall be furnished within 30 days of completion of the authorized work for verification and acceptance by the Corps.

This letter does not obviate the requirement to obtain any State or local permits, which may be necessary for your proposed work Your nationwide permit verification is specifically conditioned by the State of Florida with the following language, "Projects qualifying for this nationwide permit must be individually reviewed by the State of Florida and receive water quality certification and coastal zone consistency as well as any authorizations required for the use of submerged lands " You should check State permitting requirements with the Florida Department of Environmental Protection or the appropriate Water Management District

This nationwide permit is being verified for the work shown on your permit application As owner of the property or as a party with the requisite property interest to do the work, you are considered liable for any activities that are not in compliance with this verification. If at some point you no longer have the requisite property interests for this project, you are required to transfer the nationwide verification to the new owner by having them sign at the bottom of this letter Please send a copy of this transfer to the Corps at the above letterhead address

A general condition of all the nationwide permits is to provide a certification of compliance This certifies that the work performed under this verification was in accordance with the Corps' authorization, including any general or specific conditions (attached) Once your project is completed, the

attached compliance certification must be sent to the Corps office at the letterhead address.

Thank you for your cooperation with our regulatory program

Sincerely,

*John White*

for  
John Studt  
South Permits Branch

Enclosures

REQUEST FOR PERMIT TRANSFER

When the structures or work verified by this nationwide are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, the transferee should sign and date below

\_\_\_\_\_  
(TRANSFEEE)

\_\_\_\_\_  
(DATE)

\_\_\_\_\_  
(Name - Printed)

Lot/Block \_\_\_\_\_

\_\_\_\_\_  
(Street Address)

\_\_\_\_\_  
(City, State, and Zip Code)

Flood Plain Information.

Nationwide permit verification does not give absolute authority to perform the work as specified on your application. The proposed work may be subject to local building permits to determine if your site is located in a flood-prone or floodway area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program. If the local office cannot provide you the necessary information, you may provide this office a letter with small-scale map showing the location of the site, requesting a flood-hazard evaluation of the site. The request should be addressed to the Chief, Flood Control and Floodplain Management Branch, Jacksonville District, U S Army Corps of Engineers, P O Box 4970, Jacksonville, Florida 32232-0019

**Nationwide Compliance Certification**  
**Nationwide Number 3**

Permit Number 200204423(NW-AAZ)

Name and Address

Telephone Number

Location of the Work:

Description of the Work (e g. bank stabilization, residential fill etc )

Type and acreage (or square feet) of the loss of Waters of the United States (jurisdictional wetlands)(e g 1/10 acre of marsh and 50 square feet of a stream)

Description of Mitigation Completed (if applicable):

I, \_\_\_\_\_, certify that the work was done as described in the authorization letter dated \_\_\_\_\_ and all work and required mitigation (if applicable) was completed in accordance with the permit conditions.

\_\_\_\_\_  
Signature of Permittee

\_\_\_\_\_  
Date

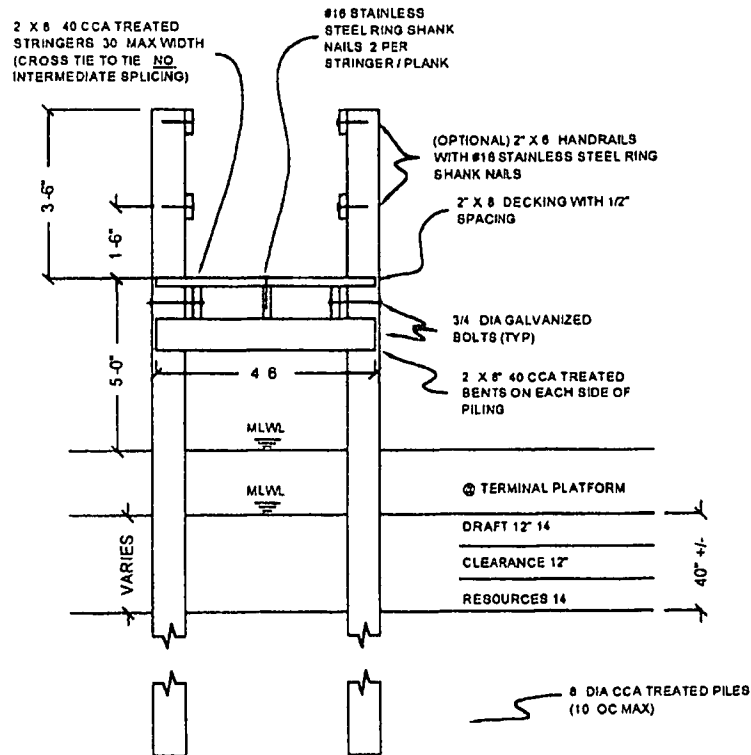




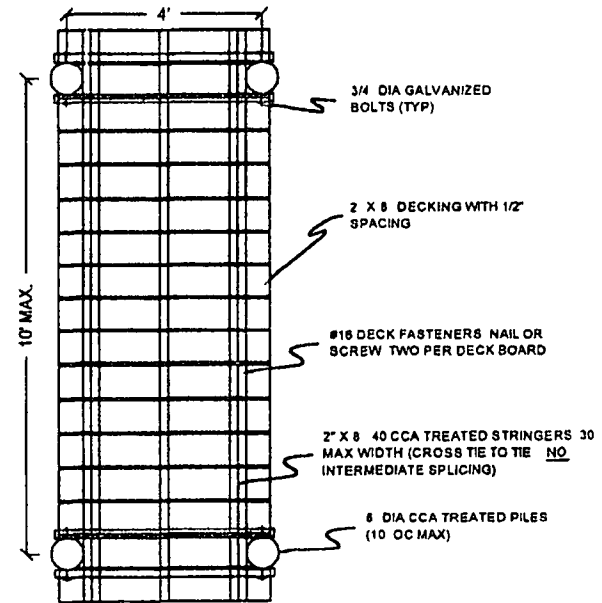




**ACCESS AND TERMINAL SECTION**  
(SCALE 1/4"=1')



**ACCESS AND TERMINAL PLAN VIEW**  
(SCALE 1/4"=1')



**BABER ENGINEERING**  
AND TECHNICAL SERVICES INC  
304 N FLAGLER AVENUE  
STUART, FLORIDA 34994  
OF(772) 692-4910 FX(772) 283-3844

*Roger Baber*  
ROGER BABER FL 43855

**NEW WOODEN DOCK AND  
BOATLIFT PILING**

GARY & NANCY HESS  
74 NORTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

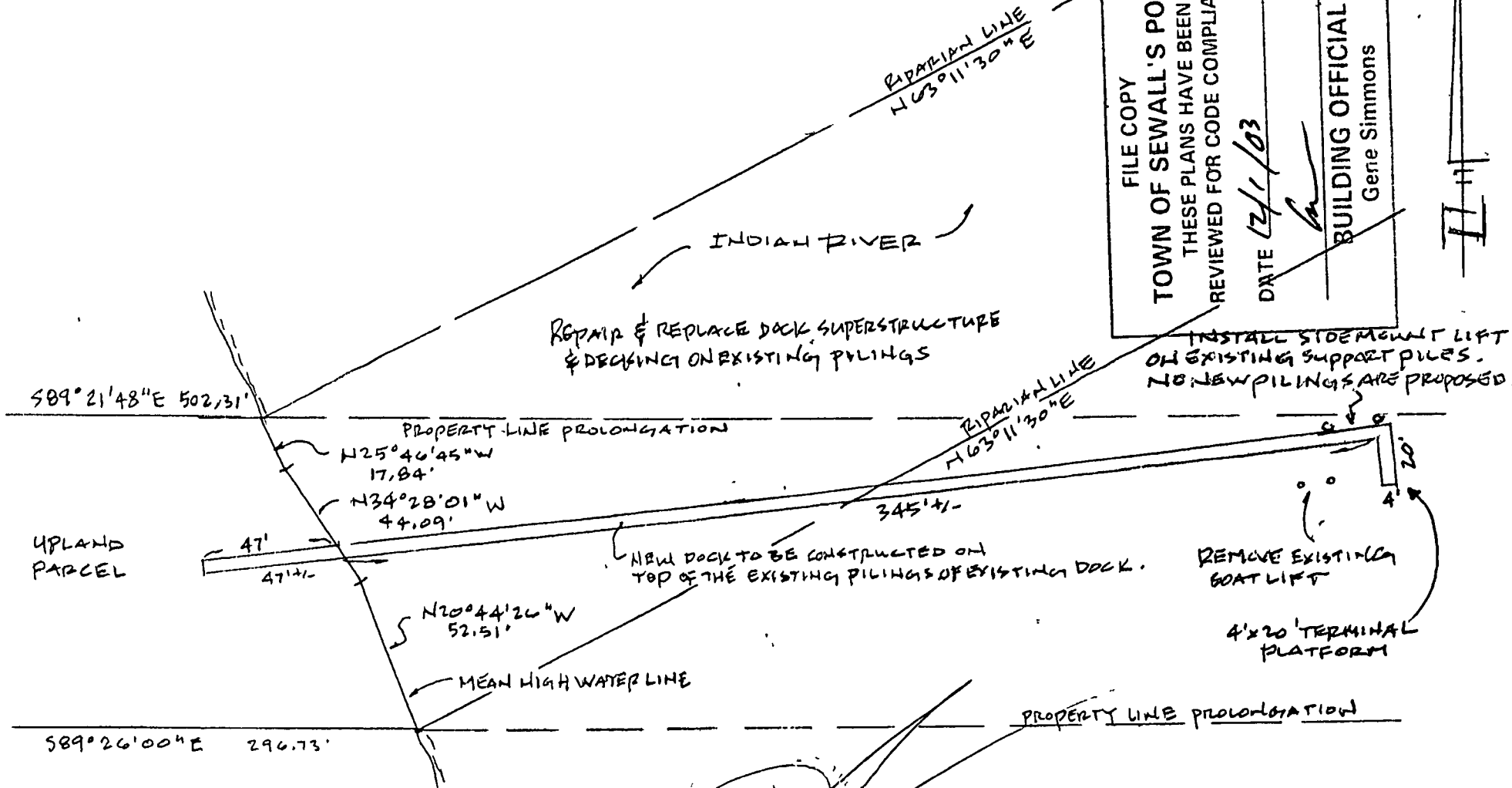
DRAWN BY DOUG DAVIS VERIFIED BY ROGER BABER SHEET # (4 OF 4)  
PROJECTS HESS HESS DOCK JOB # (02 - 86)

DATE	EMP.	REVISIONS
11/25	DRD	INITIAL DRAWINGS COMPLETED

11-28-02

SITE PLAN  
1" = 50'

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE 12/1/03  
BUILDING OFFICIAL  
Gene Simmons



STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER  
REGISTRATION NO 4049, STATE OF FLORIDA

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SURVEYORS • DESIGNERS • LANDPLANNERS • CONSULTANTS  
619 EAST 5TH STREET, STUART, FLORIDA 34994

LICENSED BUSINESS NUMBER: 6484

(772) 288-7176

FILE

JOB #	1994-190-01
DRAWN BY:	R.A.C.
CHECKED BY:	SJB
DATE:	11/26/03
SCALE:	1" = 50'
SHEET:	ONE OF ONE

LOCATION MAP (NTS)



RECEIVED  
 DEC 30 2002  
 Dept. of Environ. Protection  
 Port St. Lucie

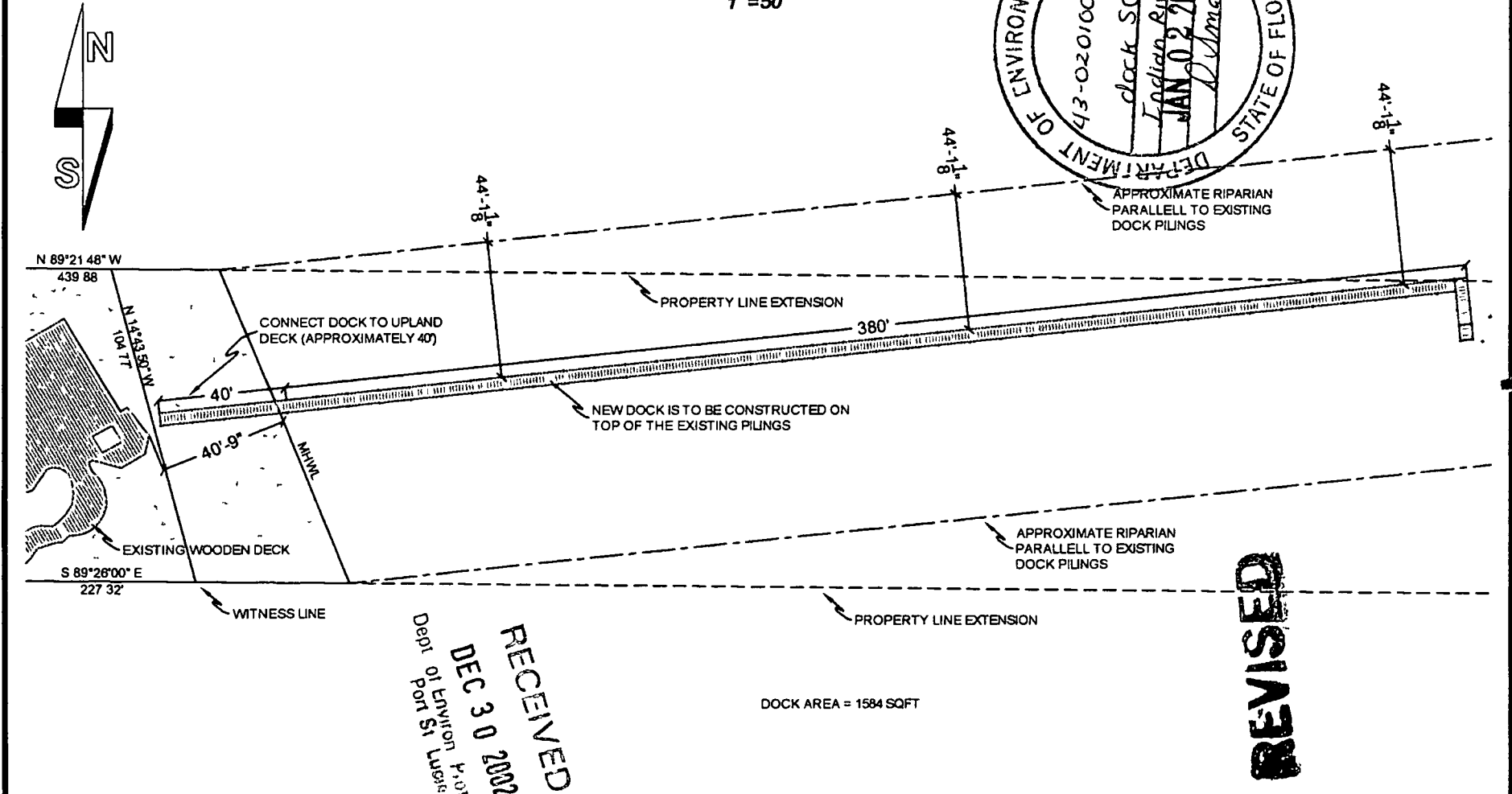
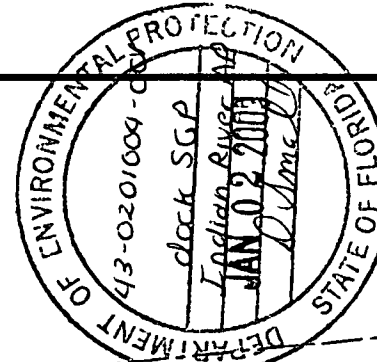


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 304 N FLAGLER AVENUE  
 STUART, FLORIDA 34994  
 OF(772) 692-4910 FX(772) 283-3844  
*Roger Baber*  
 27 DEC 02  
 ROGER BABER FL 43855

**NEW WOODEN DOCK AND  
 BOATLIFT PILINGS**  
 GARY & NANCY HESS  
 74 NORTH SEWALL'S POINT ROAD  
 SEWALL'S POINT, FLORIDA 34996

DRAWN BY DOUG DAVIS		VERIFIED BY ROGER BABER	SHEET # (1 OF 4)
H \ PROJECTS \ HESS \ HESS DOCK			JOB # (02 - 86)
DATE	EMP.	REVISIONS	
11/25	DRD	INITIAL DRAWINGS COMPLETED	
12/27	DRD	PER D.E.P. E-MAIL 12/10/02	

**SITE PLAN**  
1"=50'



**RECEIVED**  
 DEC 30 2002  
 Dept of Environ P.O. 1  
 Port St Lucie

**REVISED**

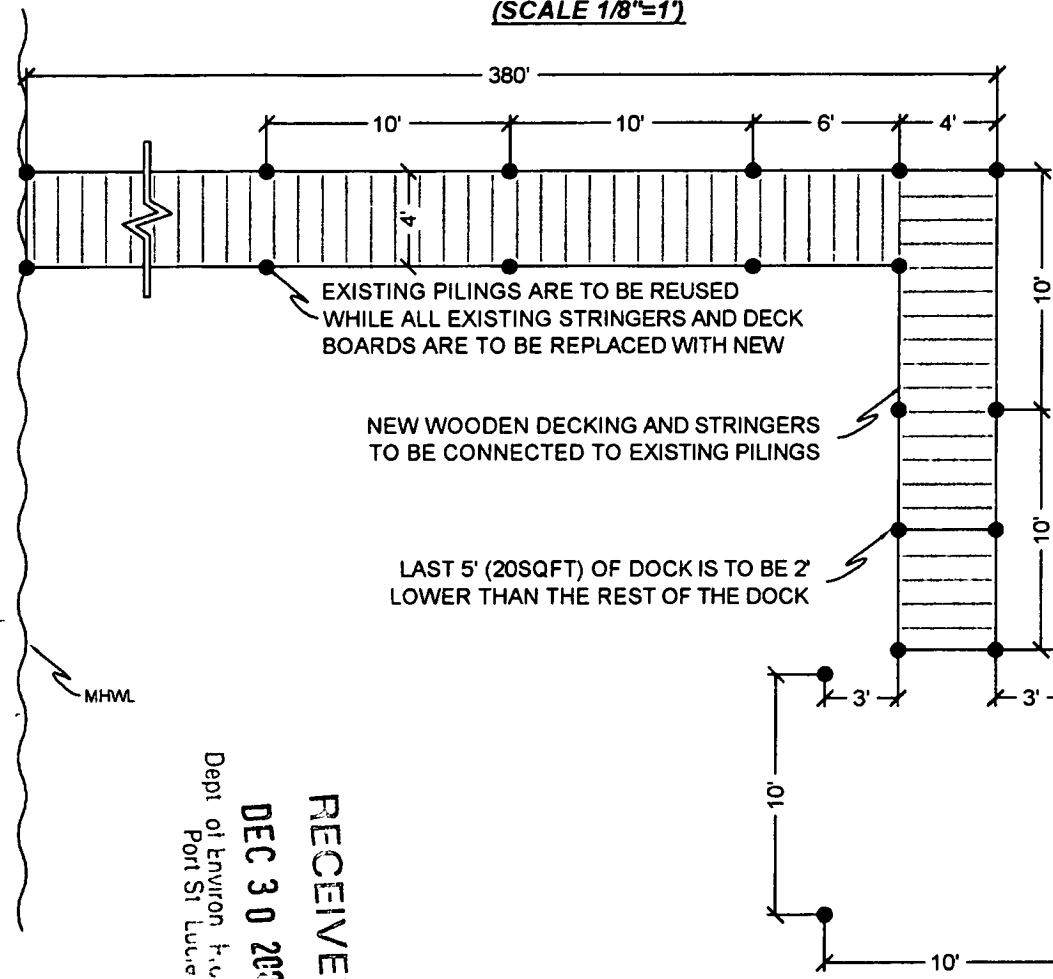
**BABER ENGINEERING**  
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 STUART, FLORIDA 34994  
 OF(772) 692-4910 FX(772) 283-3844  
*Roger M Baber*  
 27 DEC 02  
 ROGER BABER FL 43855

**NEW WOODEN DOCK AND  
 BOATLIFT PILINGS**

GARY & NANCY HESS  
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 SEWALL'S POINT, FLORIDA 34996

DRAWN BY DOUG DAVIS		VERIFIED BY ROGER BABER	SHEET # (2 OF 4)
H PROJECTS/HESS/HESS DOCK			JOB # (02 - 86)
DATE	EMP.	REVISIONS	
11/25	DRD	INITIAL DRAWINGS COMPLETED	
12/27	DRD	PER D.E.P. E-MAIL 12/10/02	

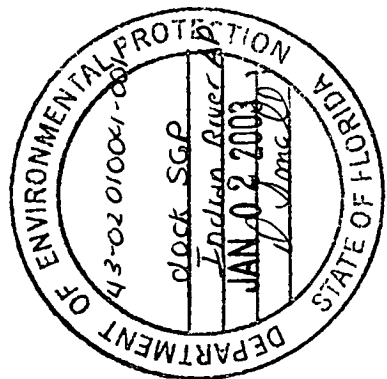
**PLAN VIEW  
(SCALE 1/8"=1')**



EXISTING PILINGS ARE TO BE REUSED  
WHILE ALL EXISTING STRINGERS AND DECK  
BOARDS ARE TO BE REPLACED WITH NEW

NEW WOODEN DECKING AND STRINGERS  
TO BE CONNECTED TO EXISTING PILINGS

LAST 5' (20SQFT) OF DOCK IS TO BE 2'  
LOWER THAN THE REST OF THE DOCK



**REVISED**

MHW

RECEIVED  
DEC 30 2002  
Dept of Environ Protec  
Port St Lucie

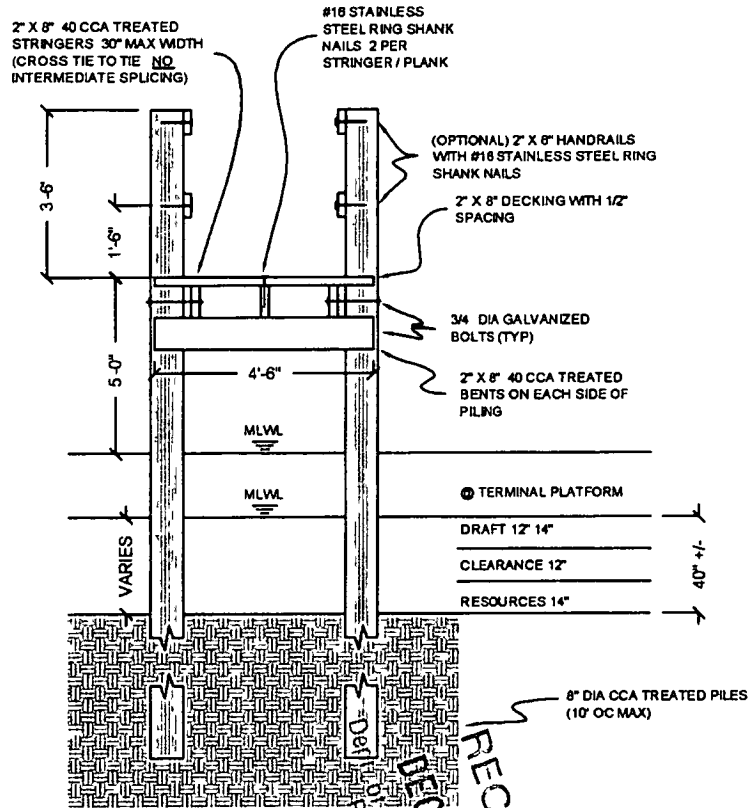
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ROGER BABER FL 43855

**NEW WOODEN DOCK AND  
BOATLIFT PILINGS**

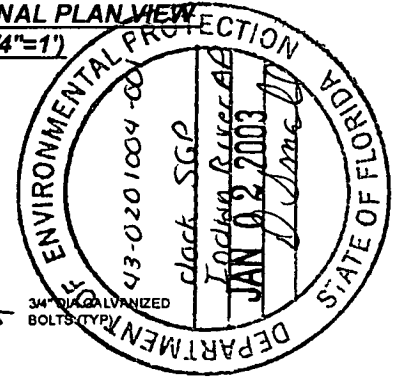
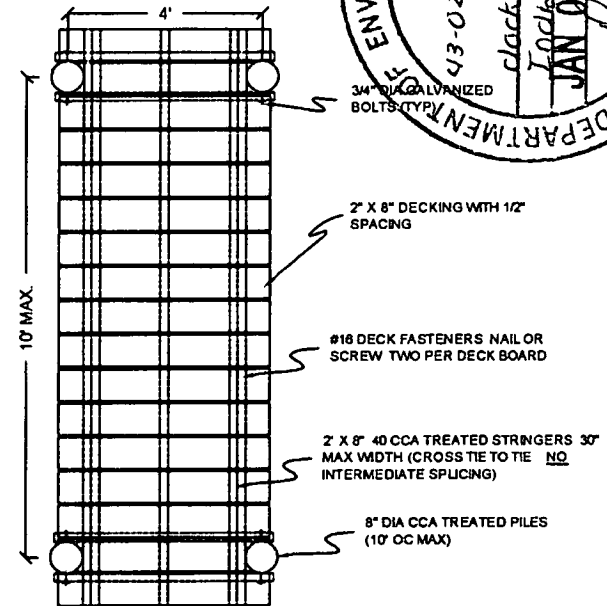
GARY & NANCY HESS  
74 NORTH SEWALL'S POINT ROAD  
SEWALL'S POINT, FLORIDA 34996

DRAWN BY DOUG DAVIS		VERIFIED BY ROGER BABER	SHEET # (3 OF 4)
PROJECTS/HESS/HESS DOCK			JOB # (02 - 86)
DATE	EMP.	REVISIONS	
11/25	DRD	INITIAL DRAWINGS COMPLETED	
12/27	DRD	PER D.E.P. E-MAIL 12/10/02	

**ACCESS AND TERMINAL SECTION**  
(SCALE 1/4"=1')



**ACCESS AND TERMINAL PLAN VIEW**  
(SCALE 1/4"=1')



RECEIVED  
DEC 30 2002  
Port St Lucie  
Environmental Protection

**BABER ENGINEERING**  
AND TECHNICAL SERVICES INC  
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27 DEC 02  
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PROJECT: HESS DOCK		JOB # (02 - 86)	
DATE	EMP.	REVISIONS	
11/25	DRD	INITIAL DRAWINGS COMPLETED	
12/27	DRD	PER D.E.P. E-MAIL 12/10/02	

**OWNER'S AFFIDAVIT OF BUILDING COSTS**

**(To be submitted at time of final inspection for Certificate of Occupancy)**

**STATE OF FLORIDA  
MARTIN COUNTY**

**BEFORE ME**, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says

- 1 That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature
- 2 That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes
- 3 That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 18,000.00
- 4 That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose

Affidavit's Signature

Nancy Hess

Property Address

74 N. Sewalls Point Rd.  
Stuart, Fl.

SWORN TO and subscribed before me this 24<sup>th</sup> day of March 2003, by Nancy Hess, who is personally known to me or produced \_\_\_\_\_ as identification

Sally A Ford

Notary Public

My commission expires

April 9<sup>th</sup> 2004

(Notary Seal)





# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 1/19 2004 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6454	SHERMAN	FINAL GARAGE	PASSED	CLOSE
7	171 S. RIVER RD.			
	THE GARAGE DOOR	(first phase)		INSPECTOR <i>OW</i>
6335	TWOHEY	ROOF TIN TAG +	PASSED	
3	119 HILLCREST	METAL	PASSED	
	SEAGATE	2630055		INSPECTOR <i>OW</i>
6391	WHITWELL	TRUSS ENG.	FAILED	\$30 FEE
2	1 MARGUERITA	WALL SHEATHING	PASSED	\$30 FEE
	HEMMINGWAY HOMES	ROOF TIN TAG	FAILED	INSPECTOR <i>OW</i>
6211	1125 S. RIVER RD.	FINAL DOOR	PASSED	
4	74 N. SEWALL'S PT			
	BELLA MARINE			INSPECTOR <i>OW</i>
6275	SHARFI	FENCE/WALL ADDN	FAILED	NEEDS ENGR.
5	73 N. SEWALL'S PT	FINAL		SURVEY
	O/B			INSPECTOR <i>OW</i>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
OTHER:				

**7022**  
**FENCE**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 11/5/04

BUILDING PERMIT NO. 7.022

Building to be erected for Hess Type of Permit REPAIR FENCE

Applied for by O/B (Contractor) Building Fee \_\_\_\_\_

Subdivision Gov't Lot Lot Pc 3 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_

Address 74 N. Sewall's Pt Rd Impact Fee \_\_\_\_\_

Type of structure \_\_\_\_\_ A/C Fee \_\_\_\_\_

Parcel Control Number \_\_\_\_\_ Electrical Fee \_\_\_\_\_

\_\_\_\_\_ Plumbing Fee \_\_\_\_\_

\_\_\_\_\_ Roofing Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_ Check # \_\_\_\_\_ Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 900.00 TOTAL Fees \_\_\_\_\_

Signed [Signature]  
Applicant

Signed [Signature]  
Town Building Official

## PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

## INSPECTIONS

- UNDERGROUND PLUMBING \_\_\_\_\_
- UNDERGROUND MECHANICAL \_\_\_\_\_
- STEMWALL FOOTING \_\_\_\_\_
- SLAB \_\_\_\_\_
- ROOF SHEATHING \_\_\_\_\_
- TRUSS ENG/WINDOW/DOOR BUCKS \_\_\_\_\_
- ROOF TIN TAG/METAL \_\_\_\_\_
- PLUMBING ROUGH-IN \_\_\_\_\_
- MECHANICAL ROUGH-IN \_\_\_\_\_
- FRAMING \_\_\_\_\_
- FINAL PLUMBING \_\_\_\_\_
- FINAL MECHANICAL \_\_\_\_\_
- FINAL ROOF \_\_\_\_\_

- UNDERGROUND GAS \_\_\_\_\_
- UNDERGROUND ELECTRICAL \_\_\_\_\_
- FOOTING \_\_\_\_\_
- TIE BEAM/COLUMNS \_\_\_\_\_
- WALL SHEATHING \_\_\_\_\_
- LATH \_\_\_\_\_
- ROOF-IN-PROGRESS \_\_\_\_\_
- ELECTRICAL ROUGH-IN \_\_\_\_\_
- GAS ROUGH-IN \_\_\_\_\_
- EARLY POWER RELEASE \_\_\_\_\_
- FINAL ELECTRICAL \_\_\_\_\_
- FINAL GAS \_\_\_\_\_
- BUILDING FINAL \_\_\_\_\_

RECEIVED

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number

Date 1 NOV 02 2004

OWNER/TITLEHOLDER NAME Nancy Hess

Phone (Day) 463-5118 (Fax)

Job Site Address 74 N. Sewalls Pt. Rd

City Stuart State FL Zip 34996

Legal Desc Property (Subd/Lot/Block)

Parcel Number

Owner Address (if different)

City State Zip

Description of Work To Be Done Replace repair fence along property line + pool

WILL OWNER BE THE CONTRACTOR?.

YES NO

COST AND VALUES

Estimated Cost of Construction or Improvements \$ 900
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to Improvement \$

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value

(If no, fill out the Contractor & Subcontractor sections below)

(If yes Owner Builder Affidavit must accompany application)

CONTRACTOR/Company

Phone Fax

Street City State Zip

State Registration Number State Certification Number Martin County License Number

SUBCONTRACTOR INFORMATION

Electrical State License Number

Mechanical State License Number

Plumbing State License Number

Roofing State License Number

ARCHITECT Lic # Phone Number

Street City State Zip

ENGINEER Lic# Phone Number

Street City State Zip

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living Garage Covered Patios Screened Porch

Carpport Total Under Roof Wood Deck Accessory Building

I understand that a separate permit from the Town may be required for ELECTRICAL PLUMBING MECHANICAL SIGNS POOLS WELLS FURNACE BOILERS HEATERS TANKS DOCKS SEA WALLS ACCESSORY BUILDING SAND OR FILL ADDITION OR REMOVAL AND TREE REMOVAL AND RELOCATIONS

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001 Florida Energy Code 2001 Florida Accessibility Code 2001 National Electrical Code 2002

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AGENT SIGNATURE (required) Nancy Hess

State of Florida County of MARTIN

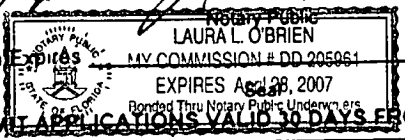
This the 4th day of NOVEMBER, 2004

by NANCY HESS who is personally

Known to me or produced

as identification Laura L. O'Brien

My Commission Expires



CONTRACTOR SIGNATURE (required)

On State of Florida County of

This the day of 200

by who is personally

known to me or produced

As identification

Notary Public

My Commission Expires

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
(To be submitted if permit is to be pulled by Owner/Builder)

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F I C A and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7)

I have read the above and agree to comply with the provisions as stated.

Name. Nancy Hess Date. 11/4/04

Signature Nancy Hess

Address 74 N. Sewalls Pt. Rd

City & State Stuart, Fl 34996

Permit No \_\_\_\_\_

# MARTIN FENCE CO.

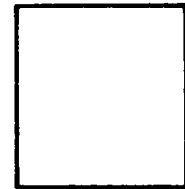
Palm Beach 848-2666  
Martin/St. Lucie 334-0000

Serving Martin, Palm Beach, St. Lucie Counties

1125 OLD DIXIE HWY., LAKE PARK, FLORIDA 33403

Plans drawn by: Christiane Curran

Name of Property Owner: DR. GREENE



North Arrow

RECEIVED

SEP 22 1983

Ans'd.....

BUILDING & ZONING ADMINISTRATION  
Plot Plan

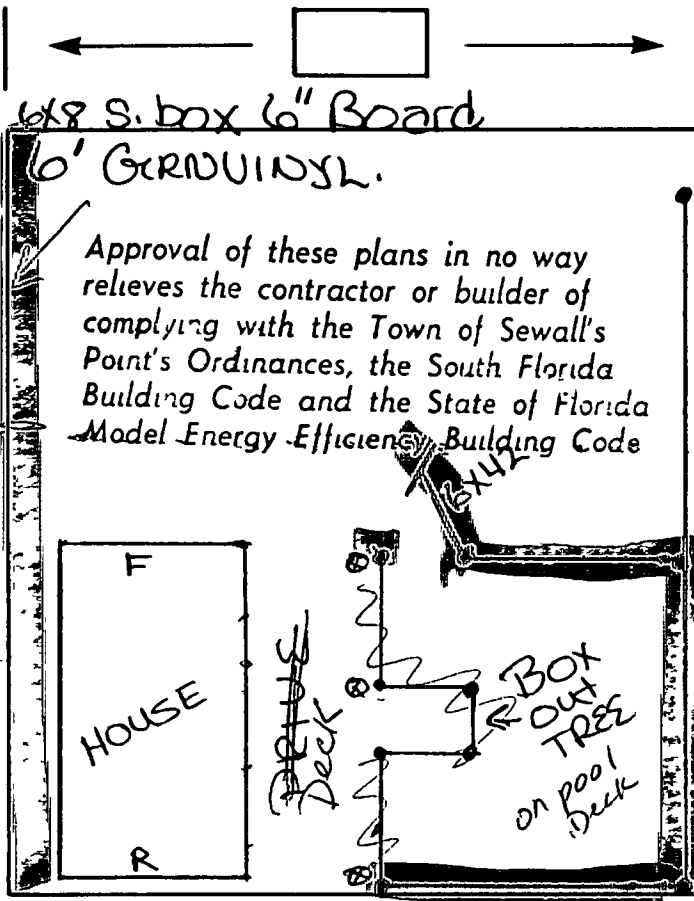
RECEIVED

SEP 22 1983

Ans'd.....

replace  
6' shadowbox  
with 4' wood  
shadowbox  
for 140' from  
road, balance  
to remain 6'  
wood

6' repair  
shadowbox  
as needed



Approval of these plans in no way  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances, the South Florida  
Building Code and the State of Florida  
Model Energy Efficiency Building Code

JAM 9/22/83  
SCG 22 Sep '83

repair 4'  
wood rail  
fence

REPAIR WORK FOR  
HURRICANE DAMAGE

74 No. Sewall's Pt. Rd. ST., TERR., AVE., CT., PL.

No Scale

Legal: Lot No. See attached Block No. \_\_\_\_\_

Subdivision \_\_\_\_\_

Section \_\_\_\_\_

FILE COPY

TOWN OF SEWALL'S POINT

THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE 11/5/04

BUILDING OFFICIAL

Gene Simmons

Plat Book and Page No. \_\_\_\_\_

- Note:
1. Show existing buildings and additions.
  2. Show distance from property lines to buildings and/or new additions.

Certificate of Occupancy issued

None required  
Date

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4/11, 2005 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7320	BEATTIE	DRY IN	PASS	9:30
4	4 ADMIRAL SWALK			INSPECTOR
	SMART ROOFING			
7454	FOWLER	DRY IN	FAIL	
7A	18 FIELDWAY DR			INSPECTOR
	ALL AREA ROOFING			
7022	<del>HESS</del>	<del>FINAL FENCE</del>	<del>PASS</del>	<del>CLOSE</del>
8	74 N. SEWALLS PT			INSPECTOR
	OB			
7470	SARVIN	DRY IN	CANCEL	
5	109 HILLCREST G			INSPECTOR
	FASTAC ROOFING			
7400	H B ASSOC - PATCHING	ELECTRICAL	PASS	
10	3766 SE OCEAN	FRAMING	PASS	INSPECTOR
	KIRCHMAN	PLG. ROUGH	PASS	
6941	JONAS	FINAL DRYWALL	PASS	CLOSE
6	12 N. SEWALLS PT	REPAIR + MINOR	PASS	INSPECTOR
	WM LANIERO	ELECTRICAL	PASS	
6624	LASKY	PERM. POOL DECK	FAIL	
1	27 W. HIGH POINT			INSPECTOR
	ADVANTAGE POOLS			

OTHER: \_\_\_\_\_



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	10793	DATE ISSUED	03/07/2014
SCOPE OF WORK	6 IMPACT WINDOWS		
CONTRACTOR	THE GLASS PROFESSIONALS		
PARCEL CONTROL NUMBER	013841014000000104	SUBDIVISION	HILLCREST LOT 1
CONSTRUCTION ADDRESS:	34 S SEWALL'S POINT ROAD		
OWNER NAME	BELL		
QUALIFIER	DAVID LAPRADE	CONTACT PHONE NUMBER	772 286-0459

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 9 00AM TO 3 00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER.	10793
ADDRESS	34 S. SEWALL'S POINT ROAD
DATE 03/07/2014	SCOPE OF WORK 6 IMPACT WINDOWS

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350 00 SFR, \$175 00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100 000)			
Total square feet air-conditioned space (@ \$121 75 per sq ft)		sf	
Total square feet non-conditioned space or interior remodel (@ \$59 81 per sq ft)		sf	
Total square feet remodel with new trusses @ \$90 78 per sq ft		\$	
Total Construction Value		\$	
Building fee (2% of construction value SFR or >\$200K)		\$	
Building fee (1% of construction value < \$200K + \$100 per insp)			
Total number of inspections (Value < \$200K)@\$100ea		\$	
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min)		\$	
Road impact assessment ( 04% of construction value - \$5 min )			
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	

ACCESSORY PERMIT	Declared Value	\$	29,351 00
Total number of inspections @ \$100 00 each	2		200 00
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	3 00
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min)		\$	3 00
Road impact assessment ( 04% of construction value - \$5 min )		\$	11 74
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	217 74

Pa 3-10-14  
 Ck 8421

Town of Sewall's Point

Date 2-26-14 BUILDING PERMIT APPLICATION Permit Number 10793

OWNER/LESSEE NAME Roseanne Bell Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_  
Job Site Address 34 S Sewall's Point Rd City Stuart State FL Zip 34996  
Legal Description Hillcrest Lot 1 Parcel Control Number 01 38-41-014-000-00010-4  
Fee Simple Holder Name N/A Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Telephone \_\_\_\_\_

\*SCOPE OF WORK (PLEASE BE SPECIFIC) 6 IMPACT WINDOWS

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO \_\_\_\_\_  
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications)  
Estimated Value of Improvements \$ 29,351.00  
(Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 X AE9 \_\_\_\_\_ AE8 \_\_\_\_\_  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY**  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company The Glass Professionals Phone 296 0459 Fax 296-0461  
Qualifiers name DAVID LAPRADE Street 3570 SE DIVINITY City STUART State FL Zip 34997  
State License Number \_\_\_\_\_ OR Municipality Martin Co License Number MEGIA 01777  
LOCAL CONTACT Brian Hose Phone Number 296-0459  
DESIGN PROFESSIONAL N/A Fla License# \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone Number \_\_\_\_\_

AREAS SQUARE FOOTAGE Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_  
Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010  
National Electrical Code 2008, Florida Energy Code 2010, Florida Accessibility Code 2010, Florida Fire Prevention Code, 2010

**WARNINGS TO OWNERS AND CONTRACTORS**  
1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION  
2 IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES  
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95  
4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2007/SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

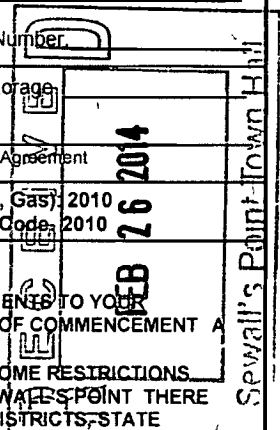
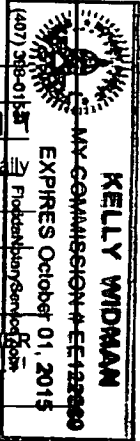
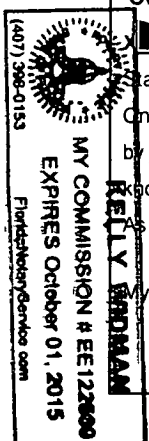
AFFIDAVIT APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE  
Roseanne Bell  
State of Florida, County of Martin  
On This the 26th day of FEB, 2014  
by Roseanne Bell who is personally known to me or produced \_\_\_\_\_  
As identification [Signature]  
Notary Public  
My Commission Expires 10-01-2015

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE  
David LaPrade  
State of Florida, County of Martin  
On This the 26th day of FEB, 2014  
by DAVID LAPRADE who is personally known to me or produced \_\_\_\_\_  
As identification [Signature]  
Notary Public  
My Commission Expires 10-01-2015

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY

Brian.glasspros@gmail.com



# The Glass Professionals Inc.

3570 SE Dixie Highway

Stuart, FL 34997

286-0459 Fax 286-0461

## PROPOSAL

**Sold To:** Rosemarie Bell  
4175 S Sewalls Point Rd  
Stuart, FL 34997

We are pleased to provide the following service  
Furnish and Install (6) AR701 PGT windows and (12) PGT Winguard picture windows  
installed with new bucks, lift and permit included in price

**Total materials & installation**      **\$29,351.16**

### Prices:

Prices quoted are firm for (30) thirty days and are based on our interpretation of plans, sketches, specifications and information provided by you. These prices will be subject to change if material source is changed in any way.

Thank you for the opportunity to quote this project. Please do not hesitate to contact me if you should have any questions or need additional information.

Best Regards,  
Bill LaPrade  
The Glass Professionals Inc

**Installation:**

**We include:**

- 1 Remove existing as per contract
- 2 Take away and dispose of all related existing product
- 3 Unload and distribute units to required location
- 4 Set and shim units plumb, level, square in existing openings
- 5 Anchor unit in accordance with Miami-Dade County Building Compliance

**We do not include:**

- 1 Repairs to structure, if bucks are required at additional cost
- 2 Responsibility that all openings are structurally sound
- 3 Any interior priming or painting
- 4 Removal of any window coverings, or blinds

**Terms:**

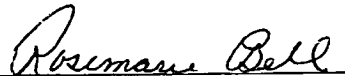
<b>50% deposit of order for down payment</b>	<b>\$14,675.16</b>
<b>Balance due upon completion</b>	<b><u>\$14,675.16</u></b>
<b>Total</b>	<b>\$29,351.16</b>

**Delays:**

If for any reason this job is delayed and is unable to be delivered, customer will be required to pay for the material portion of the job upon request. Glass Professionals will store materials in the warehouse on a short term basis, however, full payment of material will be due 10 days after receipt of material from the manufacturer.

  
\_\_\_\_\_  
The Glass Professionals Inc

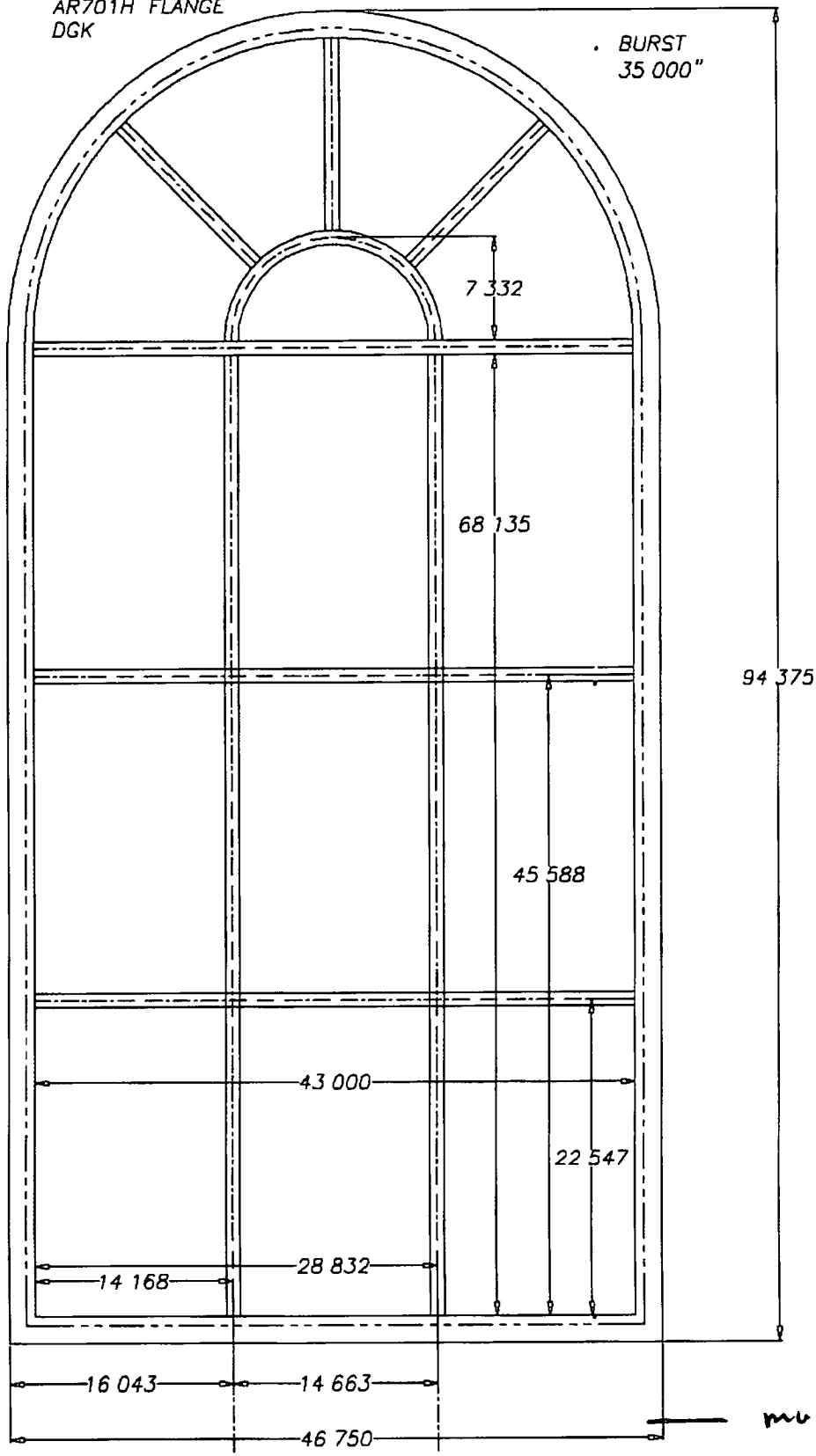
2/3/14  
Date

  
\_\_\_\_\_  
Rosemarie Bell

2-3-14  
Date

AR701H FLANGE  
DGK

BURST  
35 000"



94 375

7 332

68 135

45 588

43 000

22 547

14 168

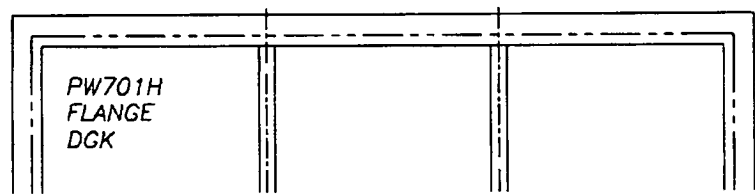
28 832

16 043

14 663

46 750

mull



PW701H  
FLANGE  
DGK

↑  
72"  
↓



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
8/22/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT.** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Murray Insurance Services, Inc. 1149 SW 34th St  Palm City FL 34990		<b>CONTACT NAME</b> House Account <b>PHONE (A.C. No. Ext.)</b> (772)287-1411 <b>FAX (A.C. No.)</b> (772)283-0106 <b>E-MAIL ADDRESS</b>	
<b>INSURED</b> The Glass Professionals, Inc. 3570 S.e. Dixie Hwy  Stuart FL 34997		<b>INSURER(S) AFFORDING COVERAGE</b>	
		<b>INSURER A</b> Covington Specialty Insurance	<b>NAIC #</b>
		<b>INSURER B</b> PROGRESSIVE EXPRESS INS CO	10193
		<b>INSURER C</b> FLCitrus, Bus.&Ind.Fund(SIF)	
		<b>INSURER D</b>	
		<b>INSURER E</b>	
		<b>INSURER F</b>	

**COVERAGES**

CERTIFICATE NUMBER: CL1382200117

REVISION NUMBER.

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY		VBA240199-00	5/22/2013	5/22/2014	EACH OCCURRENCE \$ 2,000,000
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC					MED EXP (Any one person) \$ 10,000
						PERSONAL & ADV INJURY \$ 2,000,000
B	AUTOMOBILE LIABILITY		04272276-4	7/28/2013	7/28/2014	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS	<input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$					PROPERTY DAMAGE (Per accident) \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY		10647479	7/1/2013	7/1/2014	HCF09 \$
	<input type="checkbox"/> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y/N <input type="checkbox"/> N/A				EACH OCCURRENCE \$
						AGGREGATE \$
						WC STATUTORY LIMITS OTHER
						E.L. EACH ACCIDENT \$ 100,000
						E.L. DISEASE EA EMPLOYEE \$ 100,000
						E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

**CERTIFICATE HOLDER**

(772) 287-2455

Sewall's Point Town Hall  
One South Sewall's Point Road  
Sewall's Point, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS

AUTHORIZED REPRESENTATIVE



**ANNE M. GANNON**  
 CONSTITUTIONAL TAX COLLECTOR  
 Serving Palm Beach County

P O Box 3353, West Palm Beach, FL 33402-3353  
 www.pbctax.com Tel. (561) 355-2264

**"LOCATED AT"**  
 3560 SE DIXIE HIGHWAY  
 STUART, FL 34997-5245

Serving you

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
81-0338 CLOSET SHOWER DOOR INSTALLATION	LAPRADE DAVID PRESIDENT		B13 1380785 07/09/13	\$33.00	B401207

This document is valid only when received by the Tax Collector's Office

STATE OF FLORIDA  
 PALM BEACH COUNTY  
 2013/2014 LOCAL BUSINESS TAX RECEIPT

**LBTR Number: 199816366**  
**EXPIRES: SEPTEMBER 30, 2014**

GLASS PROFESSIONALS INC THE  
 GLASS PROFESSIONALS INC THE  
 3570 SE DIXIE HWY  
 STUART, FL 34997-5245

B1 - 415



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public

**2013-2014 MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT**

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR  
 3495 S.E. WILLOUGHBY BLVD., STUART, FL 34994  
 (772) 288-6604

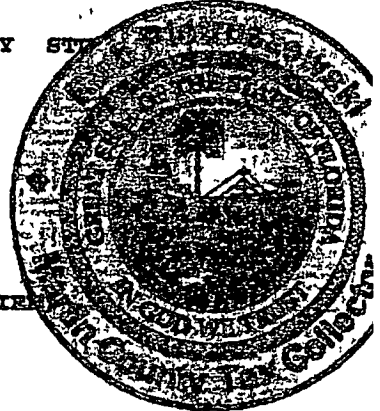
ACCOUNT 1995-520-0039 CERT \_\_\_\_\_  
 PHONE (772) 286-0459 SIC NO 235920  
 LOCATION  
 3570 SE DIXIE HWY ST

**CHARACTER CODES IN MARTIN COUNTY**

PREV YR \$ .00 LIC. FEE \$ 26.25  
 \$ .00 PENALTY \$ .00  
 \$ .00 COL. FEE \$ .00  
 \$ .00 TRANSFER \$ .00  
**TOTAL 26.25**

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF **GLASS SPECIALTY CONTRACTOR** AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

LAPRADE, DAVID A (QUALIFIED)  
 GLASS PROFESSIONALS INC  
 3570 SE DIXIE HWY  
 STUART, FL 34997



19 DAY OF JULY 20 13  
 AND ENDING SEPTEMBER 30 2014

91 2012 03937.0001 PAID

CITY OF FORT ST. LUCIE  
 BUILDING DEPARTMENT 111290  
**CERTIFICATE OF COMPETENCY**  
 EXPIRE: 09/30/14

LAPRADE, DAVID A  
 THE GLASS PROFESSIONALS INC  
 3570 SE DIXIE HWY  
 STUART, FL 34997

SIGNATURE \_\_\_\_\_

**GLASS & GLAZING**

FLS:

PSL14-11566

STAMP OR SEAL OF OFFICE



**MARTIN COUNTY, FLORIDA**  
**Contractor's Licensing**  
**Certificate of Competency**

**GLASS & GLAZING - MC**

License # MCGLA01777 Expires 09/30/2015

LAPRADE, DAVID A  
 THE GLASS PROFESSIONALS INC  
 3570 SE DIXIE HWY  
 STUART, FL 34997

St. Lucie County

**CONTRACTOR**  
**IDENTIFICATION CARD**



County Certification Number 19363  
 Class Code Glass & Glazing  
 This is to certify that LAPRADE, DAVID A DBA GLASS  
 PROFESSIONALS INC (THE) has been issued a County Certificate  
 in St. Lucie County, beginning on 10/1/2007 and ending on  
 9/30/2014, unless license is revoked

*Danielle K. Williams*  
 Authorized Licensing Official

*Code Enforcement Supervisor*

Contractor Licensing: (772) 462-1673  
 Contractor Fax Line: (772) 462-1148  
 Automated Inspection Line: (866) 284-1280  
 Inspection Line: (772) 462-2172

Class Code: Glass & Glazing

License Type: County Certification

**PALM BEACH COUNTY CONTRACTORS**  
**CERTIFICATE OF COMPETENCY**

CERTIFICATE # U-19197  
 EXPIRATION 09/30/2015



NAME: DAVID A LAPRADE  
 FIRM: THE GLASS PROFESSIONALS INC

DBA:

3570 SE DIXIE HWY  
 STUART, FL 34997

**CERTIFIED CONTRACTOR**  
**GLASS & GLAZING**

FEE: 250.00  
 ISSUED BY: SMATTHER ON: 07/30/2013  
 ID: 47065268

Signature: *[Signature]*  
 Contractor Signature Required





INSTR # 2442476  
OR BK 2704 PG 2224

NOTICE OF COMMENCEMENT (1 Pgs)

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (Mechanical)

RECORDED 05/17/2014 10:17:42 AM  
CAPOLYN TIMMANN  
CLERK

PERMIT # \_\_\_\_\_ TAX FOLIO # 01-38-41-04-0000-0000-4 ERY

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713 FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE)  
Hillcrest Lot 1

GENERAL DESCRIPTION OF IMPROVEMENT Window Replacement

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT  
NAME Rosemarie Bell  
ADDRESS 34 S Sawills Point Rd Stuart FL 34996  
PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_  
INTEREST IN PROPERTY OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)  
\_\_\_\_\_

CONTRACTOR The Glass Professionals  
ADDRESS 3570 SE Dixie Hwy Stuart FL 34997  
PHONE NUMBER 296-0459 FAX NUMBER 286-0461

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) N/A  
ADDRESS \_\_\_\_\_  
PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_  
BOND AMOUNT \_\_\_\_\_

LENDER/MORTGAGE COMPANY N/A  
ADDRESS \_\_\_\_\_  
PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13 (1) (b) FLORIDA STATUTES

NAME N/A  
ADDRESS \_\_\_\_\_  
PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B), FLORIDA STATUTES

PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_ EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_

**EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED**

**WARNING TO OWNER** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713 13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)

Rosemarie Bell  
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF FEB, 20 14

BY Rosemarie Bell AS owner FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_ TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_

Kelly Widman  
NOTARY SIGNATURE/ SEAL



217.74

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE  
CAPOLYN TIMMANN, CLERK  
DATE \_\_\_\_\_



**Martin County, Florida  
Laurel Kelly, C.F.A  
Summary**

*generated on 2/14/2014 3:06:12 PM EST*

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-014-000-00010-4	17848	34 S SEWALL'S POINT RD, SEWALL'S POINT	\$1,203,140	2/8/2014

**Owner Information**

<b>Owner(Current)</b>	BELL ROSEMARIE
<b>Owner/Mail Address</b>	11640 LOG JUMP TRL ELLICOTT CITY MD 21042
<b>Sale Date</b>	5/30/2000
<b>Document Book/Page</b>	1486 1368
<b>Document No</b>	JKL
<b>Sale Price</b>	1139000

**Location/Description**

<b>Account #</b>	17848	<b>Map Page No</b>	SP-03
<b>Tax District</b>	2200	<b>Legal Description</b>	HILLCREST, LOT 1
<b>Parcel Address</b>	34 S SEWALL'S POINT RD, SEWALL'S POINT		
<b>Acres</b>	8370		

**Parcel Type**

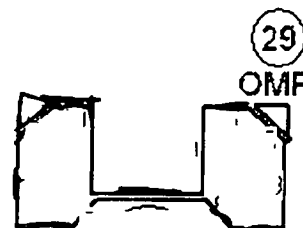
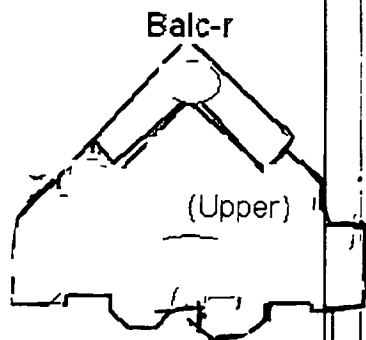
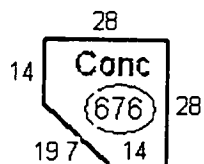
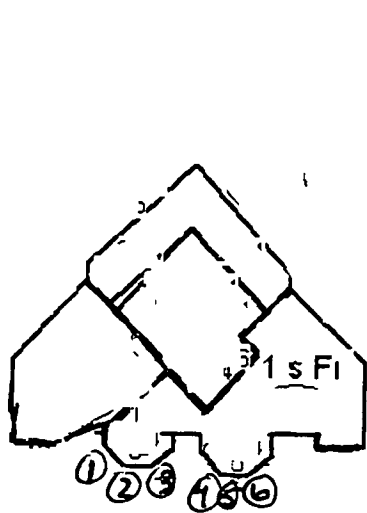
<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193110 Archipelago, High Pt CANAL

**Assessment Information**

<b>Market Land Value</b>	\$630,000
<b>Market Improvement Value</b>	\$573,140
<b>Market Total Value</b>	\$1,203,140

Additional SQFT - year built 1991

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY



3RD FLOOR





DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY, FLORIDA  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
T (786) 315-2590 F (786) 315-2599

[www.miamidade.gov/economy](http://www.miamidade.gov/economy)

**NOTICE OF ACCEPTANCE (NOA)**

**PGT Industries**  
1070 Technology Drive  
North Venice, FL 34275

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (in Miami-Dade County) and/or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Series ~~“PW-701/720/820”~~ Aluminum Fixed Window - L.M.L.

**APPROVAL DOCUMENT:** Drawing No MD-720-820, titled “Series Fixed Window Installation Guidelines”, sheets 01 through 10 of 10, dated 07/14/03 with the latest revision dated 07/01/13, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Section Renewal stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING:** Large and Small Missile Impact Resistant

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**REVISION** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA No. 11-1110.15 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.



*J Gascon*  
7/8/13

~~NOA No. 13-0502.03~~

Expiration Date: February 19, 2019

Approval Date: July 13, 2013

**PGT Industries**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections
2. Drawing No. MD-720-820, titled "Series Fixed Window Installation Guidelines", sheets 01 through 10 of 10, dated 07/14/03 with the latest revision dated 07/01/13, prepared by manufacturer, signed and sealed by Anthony Lynn Miller, P E

**B. TESTS**


1. Test reports on:
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94
  - 4) Large Missile Impact Test per FBC, TAS 201-94
  - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 6) Forced Entry Test, per FBC 2411 3 2 1, and TAS 202-94along with marked-up drawings and installation diagram of aluminum fixed window, prepared by Fenestration Testing Laboratory, Inc, Test Report No FTL-7212, dated 03/21/13, signed and sealed by Marilyn D Binson, P E
2. Test reports on:
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94
  - 4) Large Missile Impact Test per FBC, TAS 201-94
  - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94along with marked-up drawings and installation diagram of aluminum fixed window, prepared by Fenestration Testing Laboratory, Inc, Test Reports No.'s FTL-3835 and FTL-3850, dated 07/18 and 31/03, all signed and sealed by Joseph C Chan, P. E.  
*(Submitted under previous NOA No. 03-1105.01)*

**C. CALCULATIONS**

1. Anchor verification calculations and structural analysis, complying with FBC-2010, prepared by manufacturer, dated 04/29/13, signed and sealed by Anthony L Miller, P E
2. Glazing complies with ASTM E1300-09

**D. QUALITY ASSURANCE**

1. Miami-Dade Department of Regulatory and Economic Resources (RER)



Jaime D. Gascon, P. E.  
Product Control Section Supervisor  
NOA No. 13-0502.03  
Expiration Date: February 19, 2019  
Approval Date: July 18, 2013

**PGT Industries**

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**E. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No 13-0129.27 issued to E.I. DuPont DeNemours & Co., Inc. for their "DuPont Butacite® PVB Interlayer" dated 04/11/13, expiring on 12/11/16.
2. Notice of Acceptance No 11-0624.02 issued to E.I. DuPont DeNemours & Co., Inc for their "DuPont SentryGlas® Interlayer" dated 08/25/11, expiring on 01/14/17
3. TREMCO Part No TR-14271E EPDM exterior glazing gasket complying with the following
  - a) ASTM C864 Specification for Dense Elastomeric Compression Seal Gaskets, Setting Blocks, and Spacers with Option II exceptions
  - b) ASTM D412 Standard Test Methods for Vulcanized Rubber and Thermoplastic Elastomers—Tension of 1600 PSI
  - c) ASTM D395B Test Methods for Rubber Property—Compression Set for 22 HRS 158°F.
  - d) ASTM D 624 Test Method for Tear Strength of Conventional Vulcanized Rubber and Thermoplastic Elastomers of 143 lb/ in

**F. STATEMENTS**

1. Statement letter of conformance, complying with FBC-2010, issued by manufacture, dated 04/29/13, signed and sealed by Anthony Lynn Miller, P. E.
2. Statement letter of no financial interest, issued by manufacture, dated 04/29/13, signed and sealed by Anthony Lynn Miller, P E.
3. Laboratory compliance letter for Test Report No FTL-7212, dated 03/21/13, signed and sealed by Marlin D Binson, P E
4. Proposal issued by Product Control, dated 07/26/12, signed by Jaime D Gascon, P E
5. Laboratory compliance letter for Test Reports No 's FTL-3835 and FTL-3850, dated 07/18 and 31/03, all signed and sealed by Joseph C Chan, P E.  
*(Submitted under previous NOA No. 03-1105.01)*

**G. OTHERS**

1. Notice of Acceptance No 11-1110.15, issued to PGT Industries for their Series "PW-701 Aluminum Fixed Window - LMI" approved on 02/02/12 and expiring on 02/19/14



Jaime D. Gascon, P. E  
Product Control Section Supervisor  
NOA No. 13-0502.03  
Expiration Date: February 19, 2019  
Approval Date: July 18, 2013



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY  
 AFFAIRS (PERA)  
 BOARD AND CODE ADMINISTRATION DIVISION  
**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
 PRODUCT CONTROL SECTION  
 11805 SW 26 Street, Room 208  
 Miami, Florida 33175-2474  
 T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/pera/](http://www.miamidade.gov/pera/)

**PGT Industries**  
 1070 Technology Drive,  
 North Venice, Fl. 34275

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ)

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** ~~Series "PGI" Clipped Extruded Aluminum Tube Mullions - I.C.M.I.~~

**APPROVAL DOCUMENT:** Drawing No. 6300JR, titled "Impact-Resistant Aluminum Tube Mullions", sheets 1 through 22 of 22, prepared by manufacturer, dated 08/29/11, signed and sealed by Anthony Lynn Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section

**MISSILE IMPACT RATING:** Large and Small Missile Impact Resistant

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement "Miami-Dade County Product Control Approved", unless otherwise noted herein

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA # 10-0819.05 and consists of this page 1 and evidence page E-1, as well as approval document mentioned above

The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No. ~~11-0922-01~~  
 Expiration Date: ~~May 26, 2016~~  
 Approval Date: ~~December 08, 2014~~  
 Page 1



**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections
2. Drawing No **6300JR**, titled "Impact-Resistant Aluminum Tube Mullions", sheets 1 through 22 of 22, prepared by manufacturer, dated 08/29/11, signed and sealed by Anthony Lynn Miller, P E

**B. TESTS**

1. Test reports on
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94
  - 4) Large Missile Impact Test per FBC, TAS 201-94
  - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 6) Forced Entry Test, per FBC 2411 3 2 1, and TAS 202-94along with marked-up drawings and installation diagram of clipped aluminum mullions, prepared by Fenestration Testing Lab, Inc., Test Report No. **FTL 6443** (samples A-1 thru E-1), dated 02/28-11, and addendum letter dated 05/05/11, all signed and sealed by Marlin D Brinson, P E  
*(Submitted under previous NOA #10-0819.05)*

**C. CALCULATIONS**

1. Anchor verification calculations and structural analysis, complying with FBC-2007 and FBC-2010, prepared by manufacturer, dated 09/20/11, signed and sealed by Anthony Lynn Miller, P E

**D. QUALITY ASSURANCE**

1. Miami-Dade Department of Permitting, Environment, and Regulatory Affairs (PERA)

**E. MATERIAL CERTIFICATIONS**

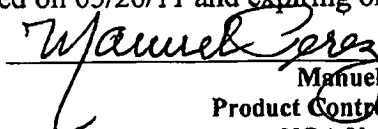
1. None

**F. STATEMENTS**

1. Statement letter of conformance with the FBC-2007 and FBC-2010, and no financial interest, dated June 06, 2011, signed and sealed by Anthony Lynn Miller, P E
2. Proposal # **10-1070-R** issued by BNC to PGT Industries, dated 01/07/11, signed by Ishaq I. Chanda, Product Control Examiner.

**G. OTHER**

1. Notice of Acceptance No **10-0819.05**, issued to PGT Industries, for their PGT Series Aluminum Clipped Mullion - L M I , approved on 05/26/11 and expiring on 05/26/16

  
Manuel Perez, P.E.  
Product Control Examiner  
NOA No. 11-0922.01  
Expiration Date: May 26, 2016  
Approval Date: December 08, 2011

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

3-10-14 Page

of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10762	Rusano 16 E. High Pt Rd Dreamworks	SLAB	rescheduled Friday  PASS	INSPECTOR <i>[Signature]</i>
10587	E Lenahan 7 Miramar Dr & Garage	Final	PASS	561-881-9700 CLOSE INSPECTOR <i>[Signature]</i>
10786	Chapman 11 Palm Rd Stuart Fence Co	Fence	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10797	<del>Prosser</del>	<del>EL</del>		INSPECTOR
10793	<del>15611</del> 34 S Sewalls Blvd Gates Professionals	<del>WATER</del> ATTACHMENT	<del>PASS</del> PASS	INSPECTOR <i>[Signature]</i>
	Dayton 19 Palm Ct	TREE	OK	INSPECTOR
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

3/24-14 Page \_\_\_ of \_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10619	LEE 15 LOSTING WAY CODE RED ROOFER	FINAL-ROOF	PASS	772-287-2829 CLOSE INSPECTOR <i>[Signature]</i>
		ROOF REPAIR	NO	
	1 MARGURITA	NO PERMIT	EVIDENCE	INSPECTOR
10724	WATKINS 122 SSPT RD	FINAL	<del>RESET</del> TUES CANCEL <del>RESET</del>	342-3612 INSPECTOR <i>[Signature]</i>
10750	GARY 26 RIO VISTA ROOF ACTIVTY	IN PROGRESS ROOF TILE	PASS	INSPECTOR <i>[Signature]</i>
10672	DUKE CDR B206	PAINT ROOF SHEATHING	PASS	INSPECTOR <i>[Signature]</i>
<del>10793</del>	<del>BELL</del> 34 S. SEWALLS Pt RD GLASS PRO	<del>WINDOW</del> ROUGH	PASS	INSPECTOR <i>[Signature]</i>
PM	76 S SEWALLS Pt RD GLASS PROS	IN PROGRESS WINDOW	CANCEL	INSPECTOR

**10862**

**A/C**

**CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	10862	DATE ISSUED:	5/13/2014
SCOPE OF WORK:	A/C CHANGE OUT		
CONTRACTOR:	CUSTOM MECHANICAL INC		
PARCEL CONTROL NUMBER:	35374100000002616	SUBDIVISION	COM N/LN GOVT LOT 3 &
CONSTRUCTION ADDRESS:	74 N SEWALL'S POINT ROAD		
OWNER NAME:	MOST		
QUALIFIER:	JAMES PICKARD	CONTACT PHONE NUMBER:	561 844-1004

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8.00AM TO 4:00PM**

**INSPECTIONS 9 00AM TO 3 00PM – MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

<b>PERMIT NUMBER:</b>	<b>10862</b>		
<b>ADDRESS:</b>	<b>74 N SEWALL'S POINT ROAD</b>		
<b>DATE ISSUED:</b>	<b>5/13/2014</b>	<b>SCOPE OF WORK.</b>	<b>A/C CHANGEOUT</b>

<b>SINGLE FAMILY OR ADDITION /REMODEL</b>		<b>Declared Value</b>	<b>\$</b>	
---	--	-----------------------	-----------	--

Plan Submittal Fee (\$350 00 SFR, \$175 00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121 75 per sq ft s f		\$	-
Total square feet non-conditioned space, or interior remodel @ \$ 59 81 per sq ft s f		\$	-
Total square feet remodel with new trusses \$ 90 78 per sq ft s f		\$	-
<b>Total Construction Value</b>		\$	\$ -
Building fee (2% of construction value SFR or >\$200K)		\$	n/a
Building fee (1% of construction value < \$200K + \$100 per insp )		\$	-
Total number of inspections (Value < \$200K) \$ 100 00 per insp # insp			n/a
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	n/a
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min )		\$	n/a
Road impact assessment ( 04% of construction value - \$5 min )			n/a
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	<b>Declared Value</b>	<b>\$</b>	<b>\$ 5,228 00</b>
Total number of inspections @ \$ 100 00 per insp # insp		\$ 1 00	\$ 100 00
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	\$ 2 00
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min )		\$	\$ 2 00
Road impact assessment ( 04% of construction value - \$5 min )			\$ 5 00

<b>TOTAL ACCESSORY PERMIT FEE:</b>	<b>\$ 109.00</b>
------------------------------------	------------------

*Pd 6-13-14*  
*CK5113*

AC# 6153865

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L12060600787

DATE	BATCH NUMBER	LICENSE NBR
06/06/2012	110416169	CAC056667

The CLASS B AIR CONDITIONING CONTRACTOR  
Named below IS CERTIFIED.  
Under the provisions of Chapter 489 FS  
Expiration date: AUG 31, 2014

PICKARD, JAMES LEE  
CUSTOM MECHANICAL INC  
1414 TENTH STREET  
LAKE PARK

FL 33403

RICK SCOTT  
GOVERNOR

KEN LAWSON  
SECRETARY

DISPLAY AS REQUIRED BY LAW



**ANNE M. GANNON**  
CONSTITUTIONAL TAX COLLECTOR  
Serving Palm Beach County

P O Box 3353, West Palm Beach, FL 33402-3353  
www.pbctax.com Tel (561) 355-2264

\*\*LOCATED AT\*\*

1414 10TH ST  
LAKE PARK, FL 33403-2037

Serving you

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
23-0001 CW AIR CONDITIONING CONTRACTOR	PICKARD JAMES LEE	CAC056667	B13 1404788 07/19/13	\$185.85	B40122246

This document is valid only when receipted by the Tax Collector's Office

STATE OF FLORIDA  
PALM BEACH COUNTY  
2013/2014 LOCAL BUSINESS TAX RECEIPT

B1 - 84

LBTR Number: 199901977  
EXPIRES: SEPTEMBER 30, 2014

CUSTOM MECHANICAL INC  
CUSTOM MECHANICAL INC  
1414 10TH ST  
LAKE PARK, FL 33403-2037



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public



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\*\*LOCATED AT\*\*

1414 10TH ST  
LAKE PARK, FL 33403-2037

Serving you

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
23-0148 AIR CONDITIONING CONTR	PICKARD JAMES LEE	CAC056667	B13 1404787 - 07/19/13	\$27.50	B40122247

This document is valid only when receipted by the Tax Collector's Office

STATE OF FLORIDA  
PALM BEACH COUNTY  
2013/2014 LOCAL BUSINESS TAX RECEIPT

B3 - 83

LBTR Number: 199901976  
EXPIRES: SEPTEMBER 30, 2014

CUSTOM MECHANICAL INC  
CUSTOM MECHANICAL INC  
1414 10TH ST  
LAKE PARK, FL 33403-2037



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public



# CERTIFICATE OF LIABILITY INSURANCE

CUSTOMM

OP ID JT

DATE (MM/DD/YYYY)

03/27/14

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> <b>SLATON INSURANCE</b> P O Box 220537 West Palm Beach, FL 33422 Casey Cunniff, CPCU	Phone 561-683-8383 Fax 561-684-5995	<b>CONTACT NAME</b> PHONE (A/C, No, Ext) E-MAIL ADDRESS	FAX (A/C, No)
	<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
<b>INSURED</b> Custom Mechanical, Inc 202 Old Dixie Hwy Lake Park, FL 33403	<b>INSURER A</b> Zenith Insurance Company		13269
	<b>INSURER B</b> FCCI Commercial Ins. Co.		33472
	<b>INSURER C</b> National Trust Ins Co.		20141
	<b>INSURER D</b> Federal Insurance Company		20281
	<b>INSURER E</b> FCCI Insurance Company		10178
	<b>INSURER F</b>		

COVERAGES	CERTIFICATE NUMBER	REVISION NUMBER
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THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INBR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR NO	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
C	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Contractual Liab <input checked="" type="checkbox"/> Broad Form PD GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC			GL001426301	08/31/13	08/31/14	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ 2,000,000 Emp Ben \$ 1,000,000
	B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			CA002191001	08/31/13	08/31/14
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10000			UMB001496101	08/31/13	08/31/14	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Mandatory in NH) If yes describe under DESCRIPTION OF OPERATIONS below		N/A	Z069963906	08/31/13	08/31/14	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
D	Equipment Floater			6641649	08/31/13	08/31/14	Rent/Leas 100,000
E	Crime- Empl Dish			CR000164701	08/31/13	08/31/14	Limit/Ded 100,000/500

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

RE CICORIA RESIDENCE-LOT 3

FAX: 844-7755

### CERTIFICATE HOLDER

SEWELLS

Town of Sewells Point  
 1 South Sewells Point Road  
 Sewells Point, FL 34996

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS

AUTHORIZED REPRESENTATIVE

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CUSTOMM

OP ID JT

# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
08/22/13

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**IMPORTANT** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s)

PRODUCER <b>SLATON INSURANCE</b> P O Box 220537 West Palm Beach, FL 33422 Casey Cunniff, CPCU	Phone 561-683-8383	CONTACT NAME	
	Fax 561-684-5995	PHONE (A/C, No, Ext) FAX (A/C, No) E MAIL ADDRESS	
INSURED <b>Custom Mechanical, Inc</b> 1414 10th Street Lake Park, FL 33403	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A	<b>Zenith Insurance Company</b>	13269
	INSURER B	<b>FCCI Commercial Ins Co</b>	33472
	INSURER C	<b>National Trust Ins Co</b>	20141
	INSURER D	<b>Federal Insurance Company</b>	20281
	INSURER E	<b>FCCI Insurance Company</b>	10178
	INSURER F		

COVERAGES	CERTIFICATE NUMBER	REVISION NUMBER
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INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
C	GENERAL LIABILITY			GL001426301	08/31/13	08/31/14	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person) \$ 5,000
	<input checked="" type="checkbox"/> Contractual Liab						PERSONAL & ADV INJURY \$ 1,000,000
	<input checked="" type="checkbox"/> Broad Form PD						GENERAL AGGREGATE \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER.						PRODUCTS COMP/OP AGG \$ 2,000,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC						Emp Ben \$ 1,000,000
B	AUTOMOBILE LIABILITY			CA002191001	08/31/13	08/31/14	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS	<input checked="" type="checkbox"/> NON-OWNED AUTOS					PROPERTY DAMAGE (Per accident) \$
							\$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB	<input checked="" type="checkbox"/> OCCUR		UMB001496101	08/31/13	08/31/14	EACH OCCURRENCE \$ 5,000,000
	<input type="checkbox"/> EXCESS LIAB	<input type="checkbox"/> CLAIMS-MADE					AGGREGATE \$ 5,000,000
	<input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10000						\$
A	WORKERS COMPENSATION AND EMPLOYERS LIABILITY			Z069963906	08/31/13	08/31/14	<input checked="" type="checkbox"/> WC STATU TORY LIMITS <input type="checkbox"/> OTH ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N	N/A				E L EACH ACCIDENT \$ 1,000,000
	If yes describe under DESCRIPTION OF OPERATIONS below						E L DISEASE EA EMPLOYEE \$ 1,000,000
							E L DISEASE - POLICY LIMIT \$ 1,000,000
D	Equipment Floater			6641649	08/31/13	08/31/14	Rent/Leas 100,000
E	Crime- Empl Dish			CR000164701	08/31/13	08/31/14	Limit/Ded 100,000/500

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101 Additional Remarks Schedule if more space is required)

RE CICORIA RESIDENCE-LOT 3

FAX 844-7755

## CERTIFICATE HOLDER

## CANCELLATION

SEWELLS

Town of Sewells Point  
1 South Sewells Point Road  
Sewells Point, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS

AUTHORIZED REPRESENTATIVE

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**SYSTEM PROPOSAL**

Date.

5/17/14



Custom Mechanical, Inc

14-2358

**AIR CONDITIONING & ELECTRICAL**

1414 10TH STREET

LAKE PARK, FL. 33403

(561) 844-1004 • (561) 844-1074 FAX

Email Cmiacelec@aol.com

Lic #CAC056667/EC0002042

Proposal submitted to	MOBT, JEANNIE	Job location if different	2096V
Street	74 N. Sewell Point	Street	
City, State, Zip		City, Zip	14003210
Phone	561-222-0321	Phone	

PIPING	AIR DISTRIBUTION	MISCELLANEOUS
<input type="checkbox"/> Condensate drain connection	<input type="checkbox"/> New supply outlet	<input checked="" type="checkbox"/> All required permits
<input checked="" type="checkbox"/> Auxiliary drain pan	<input type="checkbox"/> New return outlet	<input checked="" type="checkbox"/> Dispose of old equipment
<input checked="" type="checkbox"/> Float switch	<input type="checkbox"/> Rigid fiberglass duct system	<input type="checkbox"/> Crane
<input type="checkbox"/> Condensate pump	<input type="checkbox"/> Sheet metal duct system	<input type="checkbox"/> Poured concrete slab
<input type="checkbox"/> Refrigerant drier Suc/Liq	<input type="checkbox"/> Flex duct system	<input type="checkbox"/> Precast
<input type="checkbox"/> New properly sized refrigeration lines	<input type="checkbox"/> Mastic duct joints	<input type="checkbox"/> Vertical <input checked="" type="checkbox"/> Horizontal
<input type="checkbox"/> Line cover	<input type="checkbox"/> Balance system	<u>VERY TIGHT ATTACH</u>
CONTROL	ELECTRICAL	FILTER
<input type="checkbox"/> Standard thermostat	<input type="checkbox"/> New electric line to equipment	<input type="checkbox"/> Standard filter
<input checked="" type="checkbox"/> Digital thermostat	<input type="checkbox"/> Upgrade electrical service	<input type="checkbox"/> Pleated filter
<input type="checkbox"/> Programmable thermostat	<input type="checkbox"/> New service panel	<input type="checkbox"/> 5" Perfect filter
<input type="checkbox"/> Humidistat	<u>need circuit breaker</u>	<input type="checkbox"/> Life Breath filter
<u>Breaker outside</u>		

*All work performed to be in a neat and professional manner by CMI superior technicians Sweeping, dusting and vacuuming will be accomplished at the conclusion of each day's work and all debris removed from the premises Warranties are provided Monday-Friday, 8am-5pm (excluding holidays) Any after-hour warranty call is subject to after hours fee Warranties do not cover fuses, filters, clogged drains or existing parts and materials*

Tonnage / Heat	4 TON 8 KW		
SEER	Standard 16 SEER	Deluxe	Premium
Manufacturer	Rheem		
Condenser	14A3M49A01		
Air Handler	RHLLHM4921		
Package Unit			
Total	\$5228.00		
FPL Rebate	- 780 FPL		
Additional Rebate			
Final Investment	\$4448.00		
Down Payment			
Balance Due			
Warranty Labor	1 YEAR		
Warranty Parts	5 YEAR		
Warranty Compressor	5 YEAR		
Warranty Cond Coil	5 YEAR		
Warranty Evap Coil	5 YEAR		

Notes OWNER REGISTERED WITHIN 60 DAYS OF INSTALL  
EXTENDS WARRANTY TO 10 YEAR PARTS

Signature		(Company)
Signature		(Customer)
Date		

PAID 50% DOWN  
check # 0098

*It is agreed and understood by the parties that all equipment and parts which are sold pursuant hereto shall not become fixtures or part of the real estate where they are placed Buyer agrees that all parts or equipment may be repossessed in the event of non payment*  
 Note A service charge of 1.5% per month will be applied to unpaid balances over 30 days

**Martin County, Florida  
Laurel Kelly, C.F.A**

*generated on 5/13/2014 8:53.00 AM EDT*

**Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
35-37-41-000-000-00261-6	9398	74 N SEWALL'S POINT RD, SEWALL'S POINT	\$711,970	5/10/2014

**Owner Information**

<b>Owner(Current)</b>	MOST DOUGLAS S & JEAN
<b>Owner/Mail Address</b>	74 N SEWALLS POINT RD STUART FL 34996
<b>Sale Date</b>	10/27/2008
<b>Document Book/Page</b>	2357 2700
<b>Document No</b>	2113772
<b>Sale Price</b>	1200000

**Location/Description**

<b>Account #</b>	9398	<b>Map Page No</b>	SP
<b>Tax District</b>	2200	<b>Legal Description</b>	COM N/LN GOVT LOT 3 & C/LN SEWALL'S PT RD, SELY ALG C/LN 235 54', ELY 252 18' TO POB, NWLY 120', E 252' M/L TO WATER OF INDIAN RVR, SELY ALG WATER TO PI WITH LINE THAT IS EAST FROM POB, W 248' M/L TO POB
<b>Parcel Address</b>	74 N SEWALL'S POINT RD, SEWALL'S POINT		
<b>Acres</b>	5520		

**Parcel Type**

<b>Use Code</b>	0100 Single Family
<b>Neighborhood</b>	193000 N Sewall Pt Indialucie East,

**Assessment Information**

<b>Market Land Value</b>	\$450,000
<b>Market Improvement Value</b>	\$261,970
<b>Market Total Value</b>	\$711,970

**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

10862

Date \_\_\_\_\_ Permit Number \_\_\_\_\_  
 OWNER/LESSEE NAME JEAN Mast Phone (Day) 561-222-0321 (Fax) \_\_\_\_\_  
 Job Site Address 74 North Sewalls Point Road City Stuart State FL Zip 34996  
 Legal Description SEWALLS POINT Parcel Control Number 35-37-4100-000-0261-6  
 Fee Simple Holder Name \_\_\_\_\_ Address 74 North Sewalls Point Road  
 City Stuart State FL Zip 34996 Telephone 561-222-0321

**\*SCOPE OF WORK (PLEASE BE SPECIFIC)**

Install Exact 4ton split AC with 8kw HEAT

**WILL OWNER BE THE CONTRACTOR?**  
 (If yes, Owner Builder questionnaire must accompany application)  
 YES \_\_\_\_\_ NO X  
**Has a Zoning Variance ever been granted on this property?**  
 YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO X  
 (Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications)  
 Estimated Value of Improvements \$ 5,000.00  
 (Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)  
 Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY**  
 Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
 (Fair Market Value of the Primary Structure only Minus the land value)  
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company Custom Mechanical Inc Phone 561-844-1004 Fax 561-844-1074  
 Qualifiers name JAMES Richard Street 202-01D Dixie Hwy City Lake Park State FL Zip 33403  
 State License Number CAC 056667 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_  
 LOCAL CONTACT Steve Bobier Phone Number 561-844-1004  
 DESIGN PROFESSIONAL \_\_\_\_\_ Fla License# \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone Number \_\_\_\_\_

**AREAS SQUARE FOOTAGE** Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_  
 Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE \_\_\_\_\_  
 \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement

**CODE EDITIONS IN EFFECT THIS APPLICATION** Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010  
 National Electrical Code 2008, Florida Energy Code 2010, Florida Accessibility Code 2010, Florida Fire Prevention Code 2010

**WARNINGS TO OWNERS AND CONTRACTORS:**  
 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION  
 2 IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCOMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES  
 3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95  
 4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT 105 4 1, 105 4 1 1 - 5

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

**AFFIDAVIT** APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

**OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE**  
 X \_\_\_\_\_  
 State of Florida, County of \_\_\_\_\_  
 On This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
 by \_\_\_\_\_ who is personally  
 known to me or produced \_\_\_\_\_  
 As identification \_\_\_\_\_  
 Notary Public  
 My Commission Expires \_\_\_\_\_

**CONTRACTOR / LICENSEE NOTARIZED SIGNATURE**  
 X James Richard  
 State of Florida, County of Palmetto  
 On This the 8 day of May, 2014  
 by JAMES Richard who is personally  
 known to me or produced \_\_\_\_\_  
 As identification \_\_\_\_\_  
 Notary Public  
 My Commission Expires 3/9/2018

**SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!**

**DANIELLE A BARONE**  
 MY COMMISSION #FF099500  
 EXPIRES March 9 2018  
 FloridaNotaryService.com  
 (407) 398-0153

220-4765



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

Residential  Commercial

Package Unit  Yes  No (Use Condenser side of form below for equipment listing)

Duct Replacement  Yes  No - Refrigerant line replacement  Yes  No

Flushing Existing Refrigerant lines  Yes  No - Adding Refrigerant Drier  Yes  No

Rooftop A/C Stand Installation  Yes  No - Curb Installation  Yes  No

Smoke Detector in Supply (over 2000 CFM)  Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg RHEEM Model# RHLH401  
Volts 208 CFM's \_\_\_\_\_ Heat Strip 8 Kw \_\_\_\_\_  
Min Circuit Amps - Wire gauge 6  
Max Breaker size 50 Min Breaker size -  
Ref line size Liquid 3/8 Suction 7/8  
Refrigerant type R410  
Location Existing  New   
Attic/Garage/Closet (specify) \_\_\_\_\_  
Access \_\_\_\_\_

**Condenser:** Mfg RHEEM Model# 14AJM49A01  
Volts 208 SEER/EER 16 BTU's \_\_\_\_\_  
Min Circuit Amps - Wire gauge 10  
Max Breaker size 30 Min Breaker size -  
Ref line size Liquid 3/8 Suction 7/8  
Refrigerant type R410  
Location Existing  New   
Left/Right/Rear/Front/Roof \_\_\_\_\_  
Condensate Location \_\_\_\_\_

**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg TRANE Model# TX204814A20  
Volts 208 CFM's \_\_\_\_\_ Heat Strip \_\_\_\_\_ Kw \_\_\_\_\_  
Min Circuit Amps - Wire gauge 6  
Max Breaker size \_\_\_\_\_ Min Breaker size \_\_\_\_\_  
Ref line size Liquid 3/8 Suction 7/8  
Refrigerant type R22  
Location Ext  New   
Attic/Garage/Closet (specify) \_\_\_\_\_  
Access \_\_\_\_\_

**Condenser:** Mfg RHEEM Model# UAMC485A2  
Volts 208 SEER/EER \_\_\_\_\_ BTU's \_\_\_\_\_  
Min Circuit Amps - Wire gauge 10  
Max Breaker size \_\_\_\_\_ Min Breaker size \_\_\_\_\_  
Ref line size Liquid 3/8 Suction 7/8  
Refrigerant type R22  
Location Ext  New   
Left/Right/Rear/Front/Roof \_\_\_\_\_  
Condensate Location \_\_\_\_\_

**Certification:**

I herby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

Signature Steve R

Date 5/8/14



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**Air Conditioning Change out Affidavit**

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

Residential  Commercial \_\_\_\_\_  
 Package Unit \_\_\_ Yes  No (Use Condenser side of form below for equipment listing)  
 Duct Replacement \_\_\_ Yes  No - Refrigerant line replacement \_\_\_ Yes  No  
 Flushing Existing Refrigerant lines \_\_\_ Yes  No - Adding Refrigerant Drier \_\_\_ Yes  No  
 Rooftop A/C Stand Installation \_\_\_ Yes  No - Curb Installation \_\_\_ Yes  No  
 Smoke Detector in Supply (over 2000 CFM) \_\_\_ Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg <u>RHEEM</u> Model# <u>RHLLH401</u>	<b>Condenser:</b> Mfg <u>RHEEM</u> Model# <u>14AJM49A01</u>
Volts <u>208</u> CFM's <u>[REDACTED]</u> Heat Strip <u>8</u> Kw	Volts <u>208</u> SEER/EER <u>16</u> BTU's
Min Circuit Amps <u>[REDACTED]</u> Wire gauge <u>6</u>	Min Circuit Amps <u>[REDACTED]</u> Wire gauge <u>10</u>
Max Breaker size <u>50</u> Min Breaker size <u>[REDACTED]</u>	Max Breaker size <u>30</u> Min Breaker size <u>[REDACTED]</u>
Ref line size Liquid <u>3/8</u> Suction <u>7/8</u>	Ref line size Liquid <u>3/8</u> Suction <u>7/8</u>
Refrigerant type <u>R410</u>	Refrigerant type <u>R410</u>
Location Existing <input checked="" type="checkbox"/> New _____	Location Existing <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>[REDACTED]</u>	Left/Right/Rear/Front/Roof _____
Access <u>[REDACTED]</u>	Condensate Location _____

**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

**EXISTING SYSTEM COMPONENTS**

<b>Air handler:</b> Mfg <u>TRANE</u> Model# <u>TR24814R0</u>	<b>Condenser:</b> Mfg <u>RHEEM</u> Model# <u>UANCA85A2</u>
Volts <u>208</u> CFM's <u>[REDACTED]</u> Heat Strip _____ Kw	Volts <u>208</u> SEER/EER _____ BTU's
Min Circuit Amps <u>[REDACTED]</u> Wire gauge <u>6</u>	Min Circuit Amps <u>[REDACTED]</u> Wire gauge <u>10</u>
Max Breaker size <u>[REDACTED]</u> Min Breaker size <u>[REDACTED]</u>	Max Breaker size _____ Min Breaker size _____
Ref line size Liquid <u>3/8</u> Suction <u>7/8</u>	Ref line size Liquid <u>3/8</u> Suction <u>7/8</u>
Refrigerant type <u>R22</u>	Refrigerant type <u>R22</u>
Location Ext <input checked="" type="checkbox"/> New _____	Location Ext <input checked="" type="checkbox"/> New _____
Attic/Garage/Closet (specify) <u>[REDACTED]</u>	Left/Right/Rear/Front/Roof _____
Access <u>[REDACTED]</u>	Condensate Location _____

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

[Signature]  
 Signature

5/8/14  
 Date



# DesignStar Load Calculation

Results are intended for use with Rheem heating and cooling systems

The New Degree of Comfort™

## Customer Information

Street Address 74 NORTH SEWALLS POINT ROAD, Stuart, FL  
34996

Latitude, Longitude 26 6726°, -80 0706°

House Square Footage 2541 sq ft

Name JEAN MOST

Phone

Email

## House Information

SHR 75

Number of residents 2

Ceiling height 8

Wall U-value | R-value 0.2 | 5

Floor U-value | R-value 0 | 0

Ceiling U-value | R-value 0.053 | 19

Window U-value 1

Window SHGF 1

Moisture grains 64

Duct loss % 10

Duct gain % 10

Cooling infiltration (ACH) 0.6

Heating infiltration (ACH) 0.8

Winter ventilation 0

# Design Conditions

<b>Outdoor</b>	<b>Heating</b>	<b>Cooling</b>
Dry bulb (°F)	47	90
Daily range		M
Relative humidity		50%
Moisture difference		64

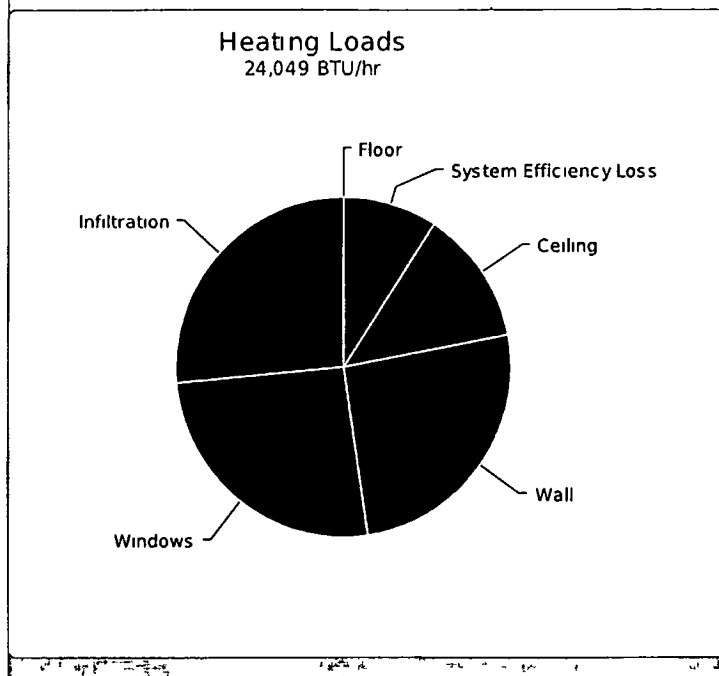
  

<b>Indoor</b>	<b>Heating</b>	<b>Cooling</b>
Indoor temperature (°F)	70	75
Design temperature difference(°F)	23	15



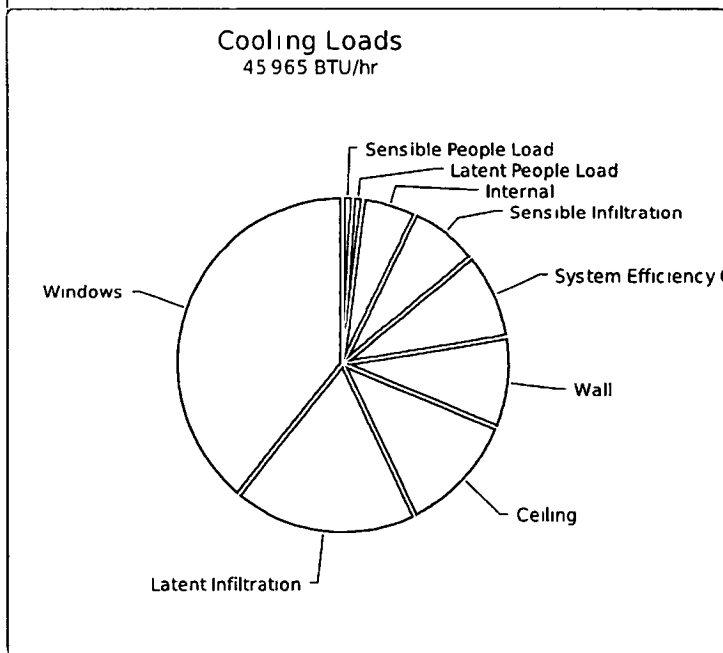
# Heating Loads

Area	Btuh	% of load
Wall	6178	25.7
Floor	0	0
Ceiling	3097	12.9
Windows	6210	25.8
Infiltration	6377	26.5
System Efficiency Loss	2186	9.1
Total	24049	



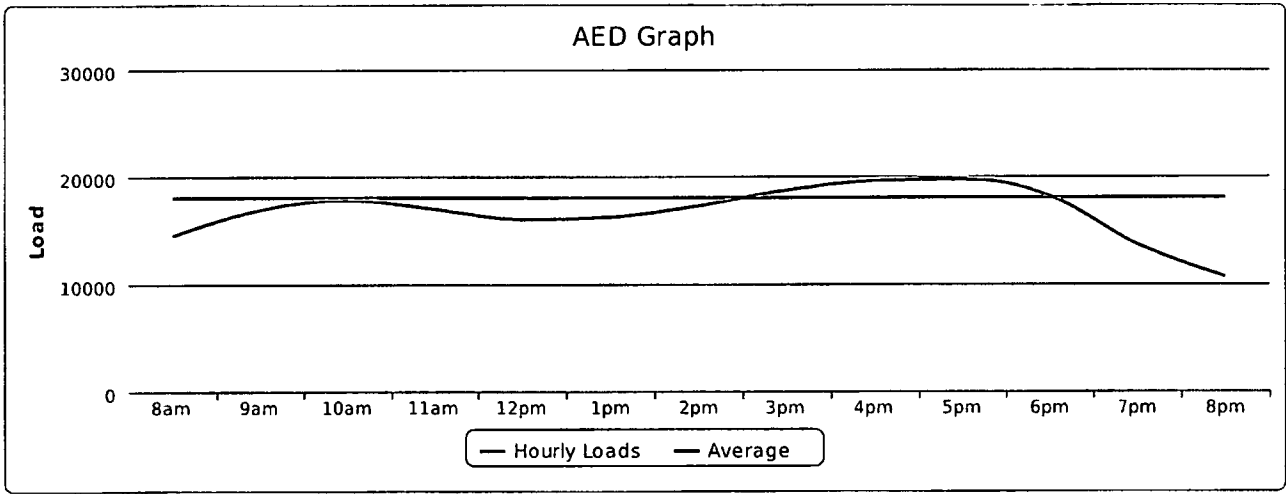
# Cooling Loads

Area	Btuh	% of load
Wall	4029	8.8
Ceiling	5387	11.7
Windows	18006	39.2
Sensible Infiltration	3119	6.8
Latent Infiltration	8227	17.9
System Efficiency Gain	3877	8.4
Internal	2400	5.2
Sensible People Load	460	1
Latent People Load	460	1
<b>Total</b>	<b>45965</b>	
<b>Sensible load</b>		<b>37278</b>
<b>Latent load</b>		<b>8687</b>
<b>SHR</b>	<b>0.81</b>	
<b>Capacity at 75 SHR</b>	<b>4.14 Tons</b>	



1-712-220-4765

**Adequate Exposure Diversity**



**Equipment selection**

System equipment selection will be made using the following derived values

Glass (E)	135 sq ft
Glass (S)	20 sq ft
Glass (N)	20 sq ft
Glass (W)	95 sq. ft
Summer Outdoor	90°F
Summer Wet Bulb	78°F
Summer Indoor	75°F
Summer Design Grains	50%
Winter Outdoor	47°F
Winter Indoor	70°F
Sensible Cooling	37,278 Btuh
Latent Cooling	8,687 Btuh
Required Cooling Airflow	1,694 CFM
Sensible Heating	24,049 Btuh
Required Heating Airflow	312 CFM

All calculations are based upon approved hvac industry standards and procedures, and comply with all local state and federal code requirements. All computed results are Estimates. Product provided by Energy Design Systems and Idea Tree

# Certificate of Product Ratings

AHRI Certified Reference Number 3799429

Date 5/8/2014

Product Split System Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number 14AJM49

Indoor Unit Model Number RHLL-HM4821+RCSL-H\*4821

Manufacturer RHEEM SALES COMPANY, INC

Trade/Brand name RHEEM, RUUD, WEATHERKING

Series name

Manufacturer responsible for the rating of this system combination is RHEEM SALES COMPANY, INC

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing



Ratings followed by an asterisk ( \* ) indicate a voluntary rerate of previously published data unless accompanied with a WAS which indicates an involuntary rerate

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#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org) click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued which is listed above, and the Certificate No., which is listed at bottom right.

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& REFRIGERATION INSTITUTE

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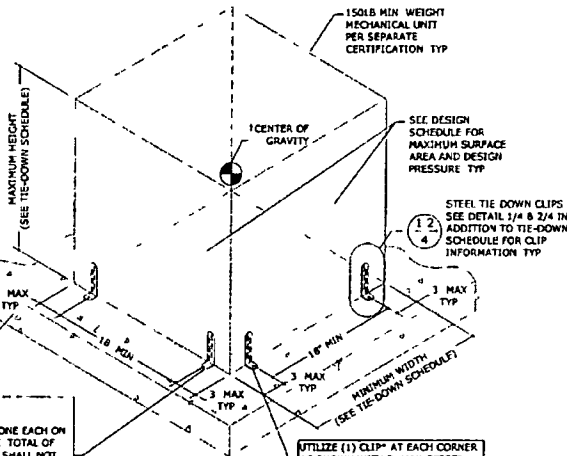
CERTIFICATE NO.

130440328756600837

# BMP INTERNATIONAL, INC.

## MECHANICAL UNIT STEEL TIE-DOWN CLIP CAPACITIES AT GRADE & ROOF-TOP MOUNTED APPLICATIONS

1 CENTER OF GRAVITY ASSUMED TO ACT AT THE GEOMETRIC CENTER OF THE MECHANICAL UNIT. MECHANICAL UNIT MUST BE SQUARE OR RECTANGULAR, NO IRREGULAR SHAPES.



HOST STRUCTURE DESIGN BY OTHERS. SEE TIE-DOWN SCHEDULES FOR ALLOWABLE SUBSTRATES. NO T&E WOOD MEMBERS MAY NOT BE USED FOR ROOF TOP APPLICATIONS PER FBC 1522.

### DOUBLE CLIP OPTION

(2) TOTAL CLIPS MAY BE USED AT EACH CORNER (ONE EACH ON OPPOSING CORNER FACES, 3" FROM CORNER APEX. TOTAL OF (8) CLIPS PER UNIT FOR THIS OPTION). EACH CLIP SHALL NOT EXCEED 3" MAX OFFSET FROM END OF MECHANICAL UNIT AS DETAILED HEREIN. DO NOT SPACE CONCRETE ANCHORS CLOSER THAN THE ALLOWED SPACING LISTED IN THE TIE-DOWN ANCHOR SCHEDULES. SEE SHEETS 283 FOR MORE INFORMATION.

### MECHANICAL UNIT TIE-DOWN ISOMETRIC

FOR CLARITY THIS ISOMETRIC ONLY SHOWS 1 CLIP. THE ISOMETRIC LAYOUT IS TYPICAL FOR BOTH 1 AND 2 CLIP APPLICATIONS.

### GENERAL NOTES

- THIS PRODUCT HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE FOR USE WITH ASCE 7-10. THIS PRODUCT MAY BE USED WITHIN AND OUTSIDE THE HIGH VELOCITY HURRICANE ZONE.
- NO 33-1/3% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THIS SYSTEM.
- DESIGN IS BASED ON CLIENT PROVIDED PRODUCT AND DIE SHEETS FROM TEST REPORTS #TEL 01970387A, #TEL 01970387B, #TEL 01970387C, #TEL 01970387D, #TEL 01970387E, #TEL 01970387F, #TEL 01970387G, #TEL 01970387H, #TEL 01970387I, #TEL 01970387J, #TEL 01970387K, #TEL 01970387L, #TEL 01970387M, #TEL 01970387N, #TEL 01970387O, #TEL 01970387P, #TEL 01970387Q, #TEL 01970387R, #TEL 01970387S, #TEL 01970387T, #TEL 01970387U, #TEL 01970387V, #TEL 01970387W, #TEL 01970387X, #TEL 01970387Y, #TEL 01970387Z.
- ALLOWABLE DESIGN PRESSURES TO QUALIFY CAPACITY OF CLIPS AS LISTED HEREIN ARE DETERMINED THROUGH TESTING REPORT DATA AND RATIONALLY CHECKED FOR CONSISTENCY WITH EACH TEST PERFORMED.
- REQUIRED LATERAL AND/OR UPLIFT DESIGN PRESSURES CALCULATED FOR USE WITH THIS SYSTEM SHALL BE DETERMINED BY OTHERS ON A SITE SPECIFIC BASIS IN ACCORDANCE WITH THE GOVERNING CODE.
- MAXIMUM & MINIMUM DIMENSIONS AND MINIMUM WEIGHT OF MECHANICAL UNIT SHALL CONFORM TO SPECIFICATIONS STATED HEREIN. ALL MECHANICAL SPECIFICATIONS (CLEAR SPACE, TONNAGE, ETC.) SHALL BE AS PER MANUFACTURER RECOMMENDATIONS AND ARE THE EXPRESS RESPONSIBILITY OF THE CONTRACTOR.
- FASTENERS TO BE #12 X 3" OR GREATER S&B GRADE 5 UNLESS NOTED OTHERWISE. TAPCONES REFERRED TO HEREIN SHALL BE JTM BUILDER BRAND CARBON STEEL ONLY INSTALLED TO 3192 KSI MIN CONCRETE. SEE ANCHOR SCHEDULE FOR ANCHOR REQUIREMENTS. ALL FASTENERS SHALL HAVE APPROPRIATE CORROSION PROTECTION TO PREVENT ELECTROLYSIS.
- ALL STEEL CLIPS SHALL BE ASTM A307 STEEL (GRADE D) WITH  $F_y = 33$  KSI OR BETTER. ALL STEEL MEMBERS SHALL BE PROTECTED AGAINST CORROSION WITH AN APPROVED COAT OF PAINT, ENAMEL OR OTHER APPROVED PROTECTION IN ACCORDANCE WITH THE 2010 FBC SECTIONS 2202.2 AND 2220.090-RATED COATING REQUIRED FOR ALL COASTAL INSTALLATIONS.
- ALL CONCRETE SPECIFIED HEREIN IS NOT PART OF THIS CERTIFICATION. AS A MINIMUM ALL CONCRETE SHALL BE STRUCTURAL CONCRETE 4" MIN THICK AND SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3192 PSI UNLESS NOTED OTHERWISE.
- ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE GRADE #2 WITH SPECIFIC GRAVITY  $G = 0.53$  OR GREATER. DIRECT CONNECTION TO WOOD MEMBERS/SLEEPERS IS NOT PERMITTED FOR ROOF-TOP APPLICATIONS PER FBC SECTION 1522.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS. I.E. ALUMINUM PER F.B.C. 2003.6.4.
- ELECTRICAL GROUND WHEN REQUIRED TO BE DESIGNED & INSTALLED BY OTHERS.
- THE ADEQUACY OF ANY EXISTING STRUCTURE TO WITHSTAND SUPERIMPOSED LOADS SHALL BE VERIFIED BY THE ON-SITE DESIGN PROFESSIONAL AND IS NOT INCLUDED IN THIS CERTIFICATION EXCEPT AS EXPRESSLY PROVIDED HEREIN. NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.
- THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS DOCUMENT.
- WATER TIGHTNESS OF EXISTING HOST SUBSTRATE SHALL BE THE FULL RESPONSIBILITY OF THE INSTALLING CONTRACTOR. CONTRACTOR SHALL ENSURE THAT ANY REMOVED OR ALTERED WATERPROOFING MEMBRANE IS RESTORED AFTER FABRICATION AND INSTALLATION OF STRUCTURE PROPOSED HEREIN. THIS ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WATERPROOFING OR LEAKAGE ISSUES WHICH MAY OCCUR AS WATER TIGHTNESS SHALL BE THE FULL RESPONSIBILITY OF THE INSTALLING CONTRACTOR.

### TIE-DOWN CLIP DIRECTIVE EXAMPLE

(THE FOLLOWING EXAMPLE ILLUSTRATES THE PROCEDURE USED TO DETERMINE THE MAXIMUM ALLOWABLE WIND PRESSURE FOR ANY GIVEN MECHANICAL UNIT THAT CONFORMS TO THE DIMENSION RESTRICTIONS LISTED HEREIN. SEE SHEETS 283 FOR TIE-DOWN SCHEDULES.)

#### MECHANICAL UNIT CRITERIA

CONSIDER THE INSTALLATION OF (1) MECHANICAL UNIT WITH THE FOLLOWING CRITERIA:  
30" TALL x 36" DEEP x 24" WIDE, 150 LB WEIGHT AS VERIFIED BY OTHERS, INSTALLED TO 3192 KSI MIN CONCRETE AT GRADE AS VERIFIED BY OTHERS.

#### PROCEDURE

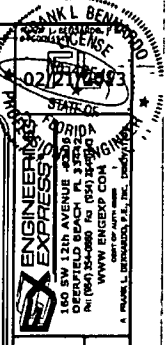
PROCEDURE STEP	RESULT
1. LOCATE THE AT GRADE TIE-DOWN SCHEDULE ON SHEET 2 AND SELECT CLIP TYPE	CONSIDER 1 STEEL CLIP
2. DETERMINE LARGEST FACE AREA OF MECHANICAL UNIT TO BE INSTALLED	36" x 36" = 9FT <sup>2</sup>
3. CHECK MAXIMUM UNIT HEIGHT RESTRICTION	UNIT HEIGHT IS 36" WHICH IS LESS THAN THE MAXIMUM ALLOWABLE HEIGHT OF 48"
4. CHECK MAXIMUM UNIT WIDTH RESTRICTION	UNIT WIDTH IS 24" WHICH IS EQUIVALENT TO THE MINIMUM ALLOWABLE WIDTH OF 24"
5. DETERMINE THE NUMBER OF CLIPS TO BE USED AT EACH CORNER OF THE MECHANICAL UNIT	CONSIDER (1) CLIP AT EACH CORNER, INSTALLED TO CONCRETE SUBSTRATE

CONCLUSION: MAXIMUM ALLOWABLE LATERAL DESIGN PRESSURE = 40PSF

(OBTAINS THIS VALUE TO THE SEPARATE SITE SPECIFIC REQUIRED DESIGN WIND PRESSURE PROVIDED BY A LICENSED ENGINEER OR REGISTERED ARCHITECT. NOT INCLUDED IN THIS LETTER/FORM)

### DESIGN PRESSURE EXAMPLE SCENARIO

SEE SHEET 4 FOR A SITE SPECIFIC DESIGN PRESSURE EXAMPLE & ACCOMPANYING UNIT CONFIGURATIONS WITH TIE-DOWN CLIP REQUIREMENTS.



**BMP INTERNATIONAL, INC.**  
1400 NW 13TH AVENUE, SUITE 200  
PETERSBURG, FL 33701  
PH: (888) 334-0886 OR (850) 375-9393  
WWW.ENGINEXP.COM  
A PRIVATE L. BENBOW, P.E. DESIGN

DATE	BY	CHKD	APP'D

Copyright © 2011 BMP International, Inc.  
**11-BMP-0001**  
SCALE: N/A 04  
PANEL DESCRIPTION:  
**1**

### ANCHOR SCHEDULE

- 1. THE DOWN CLIPS SHALL BE FASTENED TO MECHANICAL HOUSING UNITS WITH (1) #12 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #10 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 2. MECHANICAL HOUSING UNITS SHALL BE 60S TO 12S MIN ALUMINUM SHEET WITH (1) #10 SAE GRADE 5 SHEET METAL SCREWS OR (2) #10 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #8 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 3. STEEL HOUSING UNITS SHALL BE 30S TO 12S MIN ALUMINUM SHEET WITH (1) #10 SAE GRADE 5 SHEET METAL SCREWS OR (2) #10 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #8 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 4. A MAXIMUM ALLOWABLE VALUE OF 200 PSF HAS BEEN UTILIZED FOR HIGHER DEMAND CAPACITIES CONTACT THIS ENGINEER FOR SITE SPECIFIC ENGINEERING.

ANCHOR	CLIP	UNIT WIDTH	UNIT HEIGHT	WOOD SCREW TO ANCHOR	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP
ANCHOR	CLIP	UNIT WIDTH	UNIT HEIGHT	WOOD SCREW TO ANCHOR	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP

### 2" STEEL CLIP TIE-DOWN SCHEDULE AT GRADE INSTALLATIONS

- 1. THE DOWN CLIPS SHALL BE FASTENED TO MECHANICAL HOUSING UNITS WITH (1) #12 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #10 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 2. MECHANICAL HOUSING UNITS SHALL BE 60S TO 12S MIN ALUMINUM SHEET WITH (1) #10 SAE GRADE 5 SHEET METAL SCREWS OR (2) #10 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #8 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 3. STEEL HOUSING UNITS SHALL BE 30S TO 12S MIN ALUMINUM SHEET WITH (1) #10 SAE GRADE 5 SHEET METAL SCREWS OR (2) #10 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #8 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 4. A MAXIMUM ALLOWABLE VALUE OF 200 PSF HAS BEEN UTILIZED FOR HIGHER DEMAND CAPACITIES CONTACT THIS ENGINEER FOR SITE SPECIFIC ENGINEERING.

ANCHOR	CLIP	UNIT WIDTH	UNIT HEIGHT	WOOD SCREW TO ANCHOR	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP
ANCHOR	CLIP	UNIT WIDTH	UNIT HEIGHT	WOOD SCREW TO ANCHOR	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP

### 1" STEEL CLIP TIE-DOWN SCHEDULE AT GRADE INSTALLATIONS

- 1. THE DOWN CLIPS SHALL BE FASTENED TO MECHANICAL HOUSING UNITS WITH (1) #12 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #10 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 2. MECHANICAL HOUSING UNITS SHALL BE 60S TO 12S MIN ALUMINUM SHEET WITH (1) #10 SAE GRADE 5 SHEET METAL SCREWS OR (2) #10 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #8 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 3. STEEL HOUSING UNITS SHALL BE 30S TO 12S MIN ALUMINUM SHEET WITH (1) #10 SAE GRADE 5 SHEET METAL SCREWS OR (2) #10 SAE GRADE 5 SHEET METAL SCREWS (NOTE: FOR LONGER CLIPS UTILIZE #8 CLIPS AT EACH END TOTAL OF 6 CLIPS PER UNIT).
- 4. A MAXIMUM ALLOWABLE VALUE OF 200 PSF HAS BEEN UTILIZED FOR HIGHER DEMAND CAPACITIES CONTACT THIS ENGINEER FOR SITE SPECIFIC ENGINEERING.

ANCHOR	CLIP	UNIT WIDTH	UNIT HEIGHT	WOOD SCREW TO ANCHOR	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP
ANCHOR	CLIP	UNIT WIDTH	UNIT HEIGHT	WOOD SCREW TO ANCHOR	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP	WOOD SCREW TO CLIP

**2**

11-BMP-001

MECHANICAL UNIT STEEL TIE-DOWN CLIPS

FLORIDA STATEWIDE APPROVAL

**BMP INTERNATIONAL, INC**

4710 28TH STREET NORTH  
ST. PETERSBURG, FL 33771  
PH: (727) 877-1818

**ENGINEERING EXPRESS**

1500 9TH AVENUE  
DEERFIELD BEACH, FL 33442  
PH: (561) 294-6666

**1" STEEL CLIP TIE-DOWN SCHEDULE ROOF-TOP MOUNTED INSTALLATIONS**

MAXIMUM SURFACE AREA OF UNITS LARGEST FACE	UNIT HEIGHT	UNIT WIDTH	MAXIMUM ALLOWABLE LATERAL WIND PRESSURE (ANCHOR TO MOST STRUCTURES)								
			(1) CLIP AT EACH CORNER (TOTAL OF 4 CLIPS PER UNIT)			(2) CLIPS AT EACH CORNER (TOTAL OF 4 CLIPS PER UNIT)			(4) CLIPS AT EACH SIDE (TOTAL OF 8 CLIPS PER UNIT)		
			TAPCON TO CONCRETE	SHEET METAL SCREW TO ALUMINUM	SHEET METAL SCREW TO STEEL	TAPCON TO CONCRETE	SHEET METAL SCREW TO ALUMINUM	SHEET METAL SCREW TO STEEL	TAPCON TO CONCRETE	SHEET METAL SCREW TO ALUMINUM	SHEET METAL SCREW TO STEEL
6 FT <sup>2</sup>	24 MAX	12 MIN	30 PSF	41 PSF	44 PSF	34 PSF	40 PSF	43 PSF	34 PSF	40 PSF	43 PSF
9 FT <sup>2</sup>	32 MAX	15 MIN	41 PSF	53 PSF	57 PSF	40 PSF	48 PSF	51 PSF	40 PSF	48 PSF	51 PSF
12 FT <sup>2</sup>	48 MAX	24 MAX	53 PSF	67 PSF	71 PSF	48 PSF	58 PSF	61 PSF	48 PSF	58 PSF	61 PSF
15 FT <sup>2</sup>	60 MAX	48 MAX	67 PSF	83 PSF	88 PSF	58 PSF	70 PSF	74 PSF	58 PSF	70 PSF	74 PSF

NOTE: ROOF-TOP INSTALLATIONS SHALL CONFORM TO FLORIDA BUILDING CODE SECTION 1509 (AND 1512 FOR HAZARDOUS INDUSTRIES) WHICH REQUIRES THAT ROOF MOUNTED MECHANICAL UNITS BE ANCHORED ON CLIPS. CLIPS SHALL BE INSTALLED ON 2" SPACING ALONG THE ROOF SURFACE, OR WHERE ROOFING MATERIALS EXTEND BEYOND THE LIMIT OF ANCHORED EQUIPMENT SUPPORTS, PROVIDING A MINIMUM CLEARANCE HEIGHT IN ACCORDANCE WITH SECTION 1509 AND/OR 1512 OF THE BUILDING CODE TO PREVENT COLLISION, IMPACT, OR OTHER MAINTENANCE OF THE ROOFING SYSTEM. ANY CLIPS OR SUPPORT UTILIZED WITH THIS DESIGN SHALL HAVE SEPARATE DOCUMENTATION VERIFYING INTEGRITY AND IS OUTSIDE THE SCOPE OF THIS CERTIFICATION.

- THE DOWN CLIPS SHALL BE FASTENED TO MECHANICAL HOUSING UNIT WITH (1) #12 SAE GRADE 5 SHEET METAL SCREWS OR (2) 1/4" SAE GRADE 5 SHEET METAL SCREWS. (NOTE: FOR LOWER CLIPS UTILIZE (5)-#12 SMS OR (4) 1/4" SAE GRADE 5 SHEET METAL SCREWS.)
- MECHANICAL HOUSING UNITS SHALL CONFORM TO THE FOLLOWING:
  - ALUMINUM HOUSING UNITS SHALL BE 6063 T6 MIN ALUMINUM SHEET WITH F<sub>y</sub> 30 KSI 0.125 MIN THICKNESS.
  - STEEL HOUSING UNITS SHALL BE 33KSI MIN STEEL, GRADE 33 22GA MIN (T=0.0299)
- MAXIMUM ALLOWABLE WIND PRESSURES FOR EACH INDIVIDUAL SUBSTRATE MAY BE EQUIVALENT DUE TO THE LIMITING CAPACITY OF THE 1" CLIP. A MAXIMUM ALLOWABLE VALUE OF 200 PSF HAS BEEN UTILIZED. FOR HIGHER DEMAND CAPACITIES CONTACT THIS ENGINEER FOR SITE-SPECIFIC ENGINEERING.

**ADDITIONAL ALLOWABLE UPLIFT 80 LBS/CLIP**  
 (DESIGN TABLE ACCOMMODATES MAX 90LBS/CLIP AS ADDITIONAL UPLIFT IN COMBINATION WITH UPLIFT CAUSED BY OVERTURNING FROM LATERAL FORCES. SEE ASCE 7-10 SECTION 25. FOR MORE INFORMATION.)

**ANCHOR SCHEDULE**

SUBSTRATE	ANCHOR
CONCRETE (4" THICK MIN 3192KSI MIN)	(1) 1/2" CARBON STEEL T/W BUILDER TAPCON 1" FULL ENDED TO CONCRETE, 2 1/2" MIN EDGE DISTANCE 3" MIN SPACING TO ANY ADJACENT ANCHOR.
ALUMINUM (0.125" MIN THICK 6061 T6 MIN ALUMINUM)	(1) #14 SAE GRADE 5 SHEET METAL SCREW TO ALUMINUM, PROVIDE (5) PINCHES MIN PAST THREAD PLANE FOR SHEET METAL SCREW.
STEEL (0.125" MIN THICK 33 KSI MIN STEEL)	(1) #14 SAE GRADE 5 SHEET METAL SCREW TO STEEL, PROVIDE (5) PINCHES MIN PAST THREAD PLANE FOR SHEET METAL SCREW.

- EMBODIMENT AND EDGE DISTANCE EXCLUDES FINISHES, IF APPLICABLE
- ENSURE MINIMUM EDGE DISTANCE AS NOTED IN ANCHOR SCHEDULE

ALLOWABLE UPLIFT PER UNIT IS BASED ON THE NUMBER OF CLIPS UTILIZED 90LBS/CLIP  
 EXAMPLE: 4 CLIPS = 90 LBS/CLIP = 360LB  
 (ALLOWED UPLIFT DEMAND SHALL BE DETERMINED ON A SITE SPECIFIC BASIS BY LICENSED ENGINEER OR REGISTERED ARCHITECT NOT INCLUDED IN THIS CERTIFICATION)

TABLE LEGEND:  
 11 - DENOTES VALUES NOT APPROVED FOR USE  
 11 - SEE ALTERNATE CLIP DETAIL 5/4 ON SHEET 4

**2" STEEL CLIP TIE-DOWN SCHEDULE ROOF-TOP MOUNTED INSTALLATIONS**

MAXIMUM SURFACE AREA OF UNITS LARGEST FACE	UNIT HEIGHT	UNIT WIDTH	MAXIMUM ALLOWABLE LATERAL WIND PRESSURE (ANCHOR TO MOST STRUCTURES)								
			(1) CLIP AT EACH CORNER (TOTAL OF 4 CLIPS PER UNIT)			(2) CLIPS AT EACH CORNER (TOTAL OF 4 CLIPS PER UNIT)			(4) CLIPS AT EACH SIDE (TOTAL OF 8 CLIPS PER UNIT)		
			TAPCON TO CONCRETE	SHEET METAL SCREW TO ALUMINUM	SHEET METAL SCREW TO STEEL	TAPCON TO CONCRETE	SHEET METAL SCREW TO ALUMINUM	SHEET METAL SCREW TO STEEL	TAPCON TO CONCRETE	SHEET METAL SCREW TO ALUMINUM	SHEET METAL SCREW TO STEEL
6 FT <sup>2</sup>	12 MAX	12 MIN	30 PSF	41 PSF	44 PSF	34 PSF	40 PSF	43 PSF	34 PSF	40 PSF	43 PSF
9 FT <sup>2</sup>	24 MAX	15 MIN	41 PSF	53 PSF	57 PSF	40 PSF	48 PSF	51 PSF	40 PSF	48 PSF	51 PSF
12 FT <sup>2</sup>	48 MAX	24 MAX	53 PSF	67 PSF	71 PSF	48 PSF	58 PSF	61 PSF	48 PSF	58 PSF	61 PSF
15 FT <sup>2</sup>	60 MAX	48 MAX	67 PSF	83 PSF	88 PSF	58 PSF	70 PSF	74 PSF	58 PSF	70 PSF	74 PSF

NOTE: ROOF-TOP INSTALLATIONS SHALL CONFORM TO FLORIDA BUILDING CODE SECTION 1509 (AND 1512 FOR HAZARDOUS INDUSTRIES) WHICH REQUIRES THAT ROOF MOUNTED MECHANICAL UNITS BE ANCHORED ON CLIPS. CLIPS SHALL BE INSTALLED ON 2" SPACING ALONG THE ROOF SURFACE, OR WHERE ROOFING MATERIALS EXTEND BEYOND THE LIMIT OF ANCHORED EQUIPMENT SUPPORTS, PROVIDING A MINIMUM CLEARANCE HEIGHT IN ACCORDANCE WITH SECTION 1509 AND/OR 1512 OF THE BUILDING CODE TO PREVENT COLLISION, IMPACT, OR OTHER MAINTENANCE OF THE ROOFING SYSTEM. ANY CLIPS OR SUPPORT UTILIZED WITH THIS DESIGN SHALL HAVE SEPARATE DOCUMENTATION VERIFYING INTEGRITY AND IS OUTSIDE THE SCOPE OF THIS CERTIFICATION.

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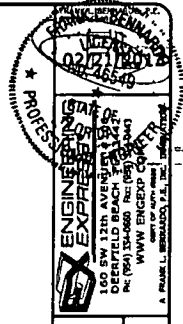
**ANCHOR SCHEDULE**

SUBSTRATE	ANCHOR
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ALUMINUM (0.125" MIN THICK 6061 T6 MIN ALUMINUM)	(2)-#14 SAE GRADE 5 SHEET METAL SCREW TO ALUMINUM PROVIDE (5) PINCHES MIN PAST THREAD PLANE FOR SHEET METAL SCREW.
STEEL (0.125" MIN THICK 33 KSI MIN STEEL)	(2)-#14 SAE GRADE 5 SHEET METAL SCREW TO STEEL, PROVIDE (5) PINCHES MIN PAST THREAD PLANE FOR SHEET METAL SCREW.

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ALLOWABLE UPLIFT PER UNIT IS BASED ON THE NUMBER OF CLIPS UTILIZED 90LBS/CLIP  
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TABLE LEGEND:  
 11 - DENOTES VALUES NOT APPROVED FOR USE  
 11 - SEE ALTERNATE CLIP DETAIL 5/4 ON SHEET 4



**BMP INTERNATIONAL, INC**  
 4710 26TH STREET NORTH  
 ST. PETERSBURG, FL 34771  
 PH: (727) 977-1613  
 MECHANICAL UNIT STEEL TIE-DOWN CLIPS  
 FLORIDA STATEWIDE APPROVAL

11-BMP-0001  
 SCALE: 1/8" = 1'-0"  
 DATE REVISION: 1/04





# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT INSPECTION LOG

Date of Inspection: \_\_\_\_\_

Tue

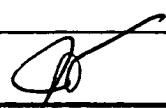
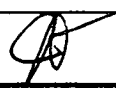
Wed

**Thur**

Fri

**6/26-14**

Page \_\_\_\_\_ of \_\_\_\_\_

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10862	<del>ONEIT</del> 74 N. Sewall's Pt. CMI	Final a/c		3772 410-5741 REST FOR MONDAY
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10849	GOULD 48 S. SPT RD HADDAD LLC	TIE BERM	PASS	
				INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10874	REICH 22 MIDDLE RD SPRYKEN	FINN ELECT.	PASS	
				INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-30-14 Page      of     

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>10862</del>	<del>MOSBY</del>	<del>FINN</del>		
	74 N. Sewalls Pt Rd CMI	A/C	PASS	<del>CR06</del> INSPECTOR <i>GA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10883	MELOSH	Slab		285-2849
	132 S Sewall Pt. Richard Haager Inc		PASS	INSPECTOR <i>GA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10674	MORAN	METER FINN		READY FOR FPL
	2 Palm Rd <del>HAAGER BROWNIE</del>		PASS	INSPECTOR <i>GA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**11170**

**SOLAR**

**HEATER**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	11170	DATE ISSUED.	February 9, 2015
SCOPE OF WORK:	Solar Pool Heater		
CONTRACTOR:	Florida Solar East, LLC		
PARCEL CONTROL NUMBER	35-37-41-000-00261-6	SUBDIVISION:	N/LN Govt Lot 3
CONSTRUCTION ADDRESS.	74 N Sewall's Point Road		
OWNER NAME	Most		
QUALIFIER:	Ronnie Brewer	CONTACT PHONE NUMBER:	349-4555

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER

EXPIRED



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	11170		
ADDRESS:	74 N Sewall's Point Road		
DATE ISSUED:	2/9/2015	SCOPE OF WORK	Solar Pool Heater

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
------------------------------------	--	----------------	----	--

Plan Submittal Fee (\$350 00 SFR, \$175 00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121 75 per sq ft s f		\$	-
Total square feet non-conditioned space, or interior remodel @ \$ 59 81 per sq ft s f		\$	-
Total square feet remodel with new trusses \$ 90 78 per sq ft s f		\$	-
Total Construction Value		\$	\$ -
Building fee (2% of construction value SFR or >\$200K)		\$	n/a
Building fee (1% of construction value < \$200K + \$100 per insp )		\$	-
Total number of inspections (Value < \$200K) \$ 100 00 per insp # insp			n/a
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	n/a
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min )		\$	n/a
Road impact assessment ( 04% of construction value - \$5 min )			n/a
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value	\$	\$ 5,850 00
Total number of inspections @ \$ 100 00 per insp # insp		1	\$ 100 00
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	\$ 2 00
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min )		\$	\$ 2 00
Road impact assessment ( 04% of construction value - \$5 min )			\$ 5 00

<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>109.00</b>
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Town of Sewall's Point

Date JAN 30 2015 BUILDING PERMIT APPLICATION Permit Number 11170

OWNER/LESSEE NAME DOUGLAS S. MOST Phone (Day) (904) 222-6121 (Fax) \_\_\_\_\_

Job Site Address 74 N SEWALL'S PT. RD City SEWALL'S POINT State FL Zip 34996

Legal Description COM N/LN GOVT LOT 3A C/LN SEWALL'S PT RD, SELV ALG C/LN 255.54' ELY Parcel Control Number \_\_\_\_\_

Fee Simple Holder Name 252.18' TO FOG, NEXY 120' E 252' N/L TO WATER OF INDIAN RYR, SELV ALG WATER TO P Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Telephone \_\_\_\_\_

\*SCOPE OF WORK (PLEASE BE SPECIFIC) SOLAR POOL HEATING

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES  NO

Has a Zoning Variance ever been granted on this property? YES  (YEAR) \_\_\_\_\_ NO  (Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications) Estimated Value of Improvements \$ 5850 (Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out) Is subject property located in flood hazard area? VE10  AE9  AE8  FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_ (Fair Market Value of the Primary Structure only Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company FLORIDA SOLAR EAST LLC Phone (321) 631-8990 Fax (321) 631-9332

Qualifiers name RONNIE BREWER Street 1791 COGENSEL ST City ROCKLEDGE State FL Zip 32955

State License Number CVC56927 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_

LOCAL CONTACT PACO BERNABE Phone Number (772) 349-4555

DESIGN PROFESSIONAL \_\_\_\_\_ Fla License# \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone Number \_\_\_\_\_

AREAS SQUARE FOOTAGE Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_

Carpport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_ \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010 National Electrical Code 2008, Florida Energy Code 2010, Florida Accessibility Code 2010, Florida Fire Prevention Code 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION
2 IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95
4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2007 SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

AFFIDAVIT APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES LAWS AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

Notary Public section for Ronnie Brewer, State of Florida, County of Bradford, On This the 30 day of January, 2015, by Ronnie Brewer who is personally known to me or produced as identification, My Commission Expires 12/3/17

Notary Public section for Paco Bernabe, State of Florida, County of Bradford, On This the 30 day of January, 2015, by Ronnie Brewer who is personally known to me or produced as identification, My Commission Expires 12/3/17

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

WITH LMS THAT IS EAST FROM PDS W 248' N/L TO PDS

★ Celebrating 30 Years in Business! ★

# Florida Solar East, LLC

(866) 44-SOLAR (76527)

Rockledge, FL 32955  
1791 Cogswell Street  
(321) 631-8990  
(800) 922-5299

Port St Lucie, FL 34986  
(866) 447-6527  
(772) 344-0237  
CPC032536

Jacksonville, FL 32207  
(800) 922-5299  
(904) 644-8953  
CVC56927

**JOB LOCATION:**

**INVOICE ADDRESS:**

NAME <i>DOUGLAS S. MOST</i>	NAME	HOME PHONE <i>(561) 222-6121</i>
ADDRESS <i>74 N. SENALLS POINT RD.</i>	ADDRESS	WORK PHONE
CITY <i>STUART FL 34996</i>	CITY	CELL PHONE <i>(561) 222-6121</i>
LEGAL	ZIP	EMAIL <i>DR.DS.MOST@gmail.com</i>

SOLAR PANEL (TYPE) *FARO SUNSMARTS* PLUMBING *AS CALLED*

NUMBER OF PANELS *5* PANEL SIZE *4x12*

AUTO CONTROL *YES* POOL COVER *---*

TANK SIZE \_\_\_\_\_ # OF USERS \_\_\_\_\_

LEAD SOURCE

OCCUPATION MR MRS

COMPANY

**OPTIONS**

- Hurricane Package
- Signature Plumbing
- Self-drawing System
- Never Lube Valves
- (2) 2" Check Valves
- Label & Paint Pipes

Additional Comments *TRONCHING INVOLVED .. STRINGERS .*  
*W/ 55 CLIPS. (NO PENETRATION ON ROOF)*  
*AUTO TEMP. CONTROL.*

**PERFORMANCE GUARANTEE**

*HYBRID.*

FLORIDA SOLAR has designed your pool heating system to add *16T* degrees (F) to the temperature of your pool to keep your pool temperature at *80* degrees (F) or higher from approx *MID FEB* to approx *MID DEC*. Your performance guarantee assumes the use of a pool cover

Your performance guarantee is based on the last 20 years of weather and your pool temperature will go up or down as the average weather increases or decreases

**90 Day Guarantee** If within 90 days from the original installation date of your system you are not completely satisfied with the above stated performance, we will modify the system to meet your satisfaction at no additional cost to you

The buyer has the right to cancel the transaction at any time prior to midnight of the third business day after the date of this transaction.

POOL AREA	SCREENED OPEN
BASE SYSTEM	<i>6500</i>
OPTIONS	<i>500</i> <i>1500</i>
TOTAL INVESTMENT	<i>5850</i>
DEPOSIT	<i>850.</i>
BALANCE DUE ON COMPLETION	<i>5000.00</i>
MONTHLY INVESTMENT UPON APPROVAL	<i>(DUE ON COMPLETION.)</i>

*[Signature]*  
Buyer

*1/29/15*  
Date

*[Signature]*  
Buyer

*1/29/15.*  
Date

Florida Solar Representative  
Email - [contact@myfloridasolar.com](mailto:contact@myfloridasolar.com)

Web - [www.myfloridasolar.com](http://www.myfloridasolar.com)

DESIRED INSTALLATION DATE  
*ASAP.*

*SENALLS POINT PERMIT*

This contract represents the entire agreement between buyer and seller and is binding when accepted by an officer of Florida Solar or 30 days

Fl Solar East is not responsible for anything that is not in writing on the original contract

# CERTIFICATE OF LIABILITY INSURANCE

Date  
1/5/2015

**Producer** Plymouth Insurance Agency  
2739 U S Highway 19 N  
Holiday, FL 34691  
(727) 938-5562

**This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below**

**Insurers Affording Coverage**

NAIC #

**Insured** South East Personnel Leasing, Inc & Subsidiaries  
2739 U S Highway 19 N  
Holiday, FL 34691

Insurer A	Lion Insurance Company	11075
Insurer B		
Insurer C		
Insurer D		
Insurer E		

**Coverages**

The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

INSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																				
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$																				
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																				
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible				Each Occurrence \$ Aggregate \$																				
A		<b>Workers Compensation and Employers' Liability</b> Any proprietor/partner/executive officer/member excluded? <b>NO</b> If Yes, describe under special provisions below	WC 71949	01/01/2015	01/01/2016	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%; text-align: center;"><input checked="" type="checkbox"/></td> <td style="width: 15%;">WC Statutory Limits</td> <td style="width: 5%;"></td> <td style="width: 15%; text-align: center;">OTH-ER</td> <td style="width: 60%;"></td> </tr> <tr> <td></td> <td>E L Each Accident</td> <td></td> <td></td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td></td> <td>E L Disease - Ea Employee</td> <td></td> <td></td> <td style="text-align: right;">\$1 000 000</td> </tr> <tr> <td></td> <td>E L Disease - Policy Limits</td> <td></td> <td></td> <td style="text-align: right;">\$1 000 000</td> </tr> </table>	<input checked="" type="checkbox"/>	WC Statutory Limits		OTH-ER			E L Each Accident			\$1,000,000		E L Disease - Ea Employee			\$1 000 000		E L Disease - Policy Limits			\$1 000 000
<input checked="" type="checkbox"/>	WC Statutory Limits		OTH-ER																							
	E L Each Accident			\$1,000,000																						
	E L Disease - Ea Employee			\$1 000 000																						
	E L Disease - Policy Limits			\$1 000 000																						

Other

**Lion Insurance Company is A.M. Best Company rated A- (Excellent) AMB # 12616**

**Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions**

Client ID 84-67-204

Coverage only applies to active employee(s) of South East Personnel Leasing, Inc & Subsidiaries that are leased to the following "Client Company"

**Florida Solar East, LLC dba Florida Solar East**

Coverage only applies to injuries incurred by South East Personnel Leasing, Inc & Subsidiaries active employee(s), while working in FL.

Coverage does not apply to statutory employee(s) or independent contractor(s) of the Client Company or any other entity

A list of the active employee(s) leased to the Client Company can be obtained by faxing a request to (727) 937-2138 or by calling (727) 938-5562

**Project Name**

ISSUE 1-13-14 (MT)

Begin Date 7/9/2012

**CERTIFICATE HOLDER**

CITY OF SEWALLS POINT  
BUILDING DEPARTMENT  
1 SOUTH SEWALLS POINT RD  
SEWALLS POINT FL 34996

**CANCELLATION**

Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives

*John L. ...*





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
07/23/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER

**IMPORTANT** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s)

<b>PRODUCER</b> Insurance By Ken Brown, Inc PO Box 948117 Matland, FL 32794-8117 David R Griffiths	<b>CONTACT NAME</b> David R Griffiths <b>PHONE (A/C, No, Ext)</b> 321-397-3870 <b>E-MAIL ADDRESS</b>	<b>FAX (A/C, No)</b> 321-397-3888
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> Florida Solar East LLC Ronald Brewer DBA 1791 Cogswell St Rockledge, FL 32955	<b>INSURER A</b> Arch Specialty Ins Co	
	<b>INSURER B</b>	
	<b>INSURER C</b>	
	<b>INSURER D</b>	
	<b>INSURER E</b>	
	<b>INSURER F</b>	

COVERAGES	CERTIFICATE NUMBER	REVISION NUMBER
-----------	--------------------	-----------------

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN L AGGREGATE LIMIT APPLIES PER <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER			AGL00283301	07/25/2014	07/25/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS COMP/OP AGG \$ 1,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes describe under DESCRIPTION OF OPERATIONS below		Y/N	N/A			<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E L EACH ACCIDENT \$ E L DISEASE EA EMPLOYEE \$ E L DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  SEWALLS  City of Sewalls Point Building Department 1 South Sewalls Point Rd Sewalls Point, FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS  AUTHORIZED REPRESENTATIVE <i>David R. Griffiths</i>
---	--

**2014 - 2015**

**BREVARD COUNTY BUSINESS TAX RECEIPT**  
SUBJECT TO COUNTY ZONING RESTRICTIONS  
TAX RECEIPT SHOULD BE DISPLAYED ON PREMISES

ACCOUNT NO  
9350346

THE PERSON(S), OR ENTITY BELOW  
FLORIDA SOLAR EAST LLC  
1791 COGSWELL ST  
ROCKLEDGE, FL 32955

**BUSINESS PERIOD**    **October 01, 2014 - September 30, 2015**  
**EXPIRES**                    **SEPTEMBER 30, 2015**

ISSUED PURSUANT AND SUBJECT TO FLORIDA STATUTES AND BREVARD COUNTY CODE ISSUANCE  
DOES NOT CERTIFY COMPLIANCE WITH ZONING OR OTHER LAWS  
BUSINESS TAX RECEIPT IS SUBJECT TO REVOCATION FOR ZONING VIOLATIONS AND / OR FAILURE  
TO MAINTAIN REGULATORY PRE-REQUISITES AS REQUIRED FOR BUSINESS CLASSIFICATION(S) OR  
SUBSEQUENT ACTIVITIES. NOTIFY TAX COLLECTOR UPON CLOSING OF BUSINESS.  
A PERMIT IS REQUIRED TO ADVERTISE (including with signage) GOING OUT OF BUSINESS\*

LOCATION  
1791 COGSWELL ST  
CITY OF ROCKLEDGE FL 32955

LISA CULLEN, CFC, Brevard County Tax Collector  
P O Box 2500, Titusville, Florida 32781-2500  
(321) 264-6910 or (321) 633-2199 ext 46910

UPON A CHANGE OF OWNERSHIP OR LOCATION  
BUSINESS TAX RECEIPT SHOULD BE TRANSFERRED WITHIN 30 DAYS

OWNED BY  
FLORIDA SOLAR EAST LLC

**BUSINESS CLASSIFICATIONS, DISCLAIMERS, AND RELATED FEES**

		EXEMPTIONS	0 00
820005	RECEIPT AMT		
480530	POOL SUPPLIES - RETAIL		
300610	SOLAR CONTRACTOR		
590501	HAZ WASTE GEN SURCHARGE		
600	CITY RESTRICTIONS APPLY		

Receipt Fee	37 00
Hazardous Waste Fee	50 00
Zoning Application Fee	0 00
Building Occupancy Review Fee	0 00
Fire Prevention Fee	0 00
Transfer Fee	0 00

**Paid 219-14-00000806 09/30/2014 87.00**

**MAIN OFFICE**            400 South St , 6th Floor, Titusville, FL 32780

**BRANCH OFFICES** · Merritt Island Office, 1605 N Courtenay Pkwy  
Melbourne Office, 1515 Sarno Road  
Palm Bay Office, 450 Cogan Dr SE  
Titusville Office, 800 Park Ave  
Indian Harbour Beach Office, 240 E Eau Gallie Blvd



**STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

**CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783**

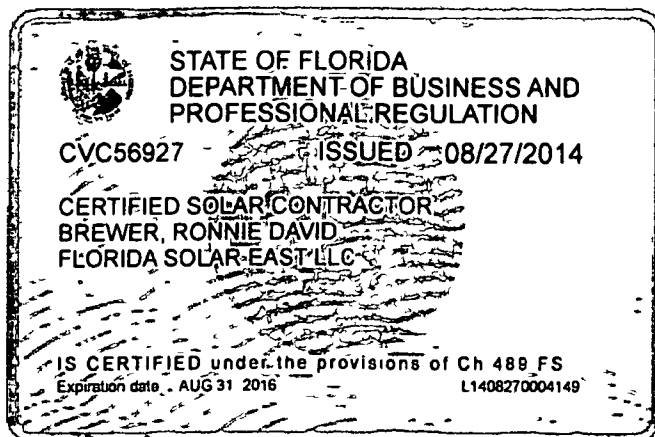
**(850) 487-1395**

**BREWER, RONNIE DAVID  
FLORIDA SOLAR EAST LLC  
14951 TWINBERRY DR  
ORLANDO FL 32828**

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto [www.myfloridalicense.com](http://www.myfloridalicense.com). There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

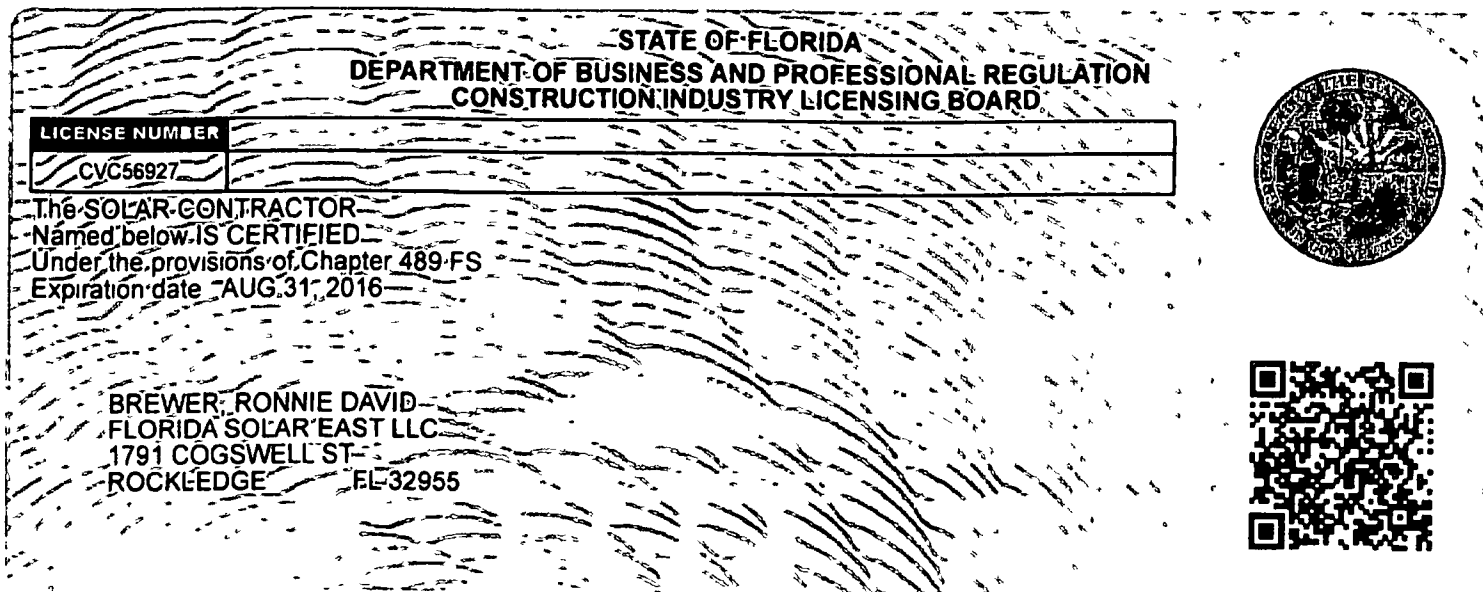
Our mission at the Department is License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!

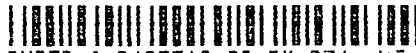


DETACH HERE

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY





PERMIT NUMBER \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

The undersigned hereby gives notice that improvement will be made to certain real property and in accordance with Chapter 713 Florida Statutes, the following information is provided in this Notice of Commencement

1 DESCRIPTION OF PROPERTY (Legal description of the property & street address if available) TAX FOLIO NO 35 37 41 000 000 00261 6

SUBDIVISION SEWELLS PT INDIAN RIVER EAST BLOCK \_\_\_\_\_ TRACT \_\_\_\_\_ LOT 3 BLDC \_\_\_\_\_ UNIT \_\_\_\_\_

COM N/LN GOVT LOT 34 C/LN SEWELL'S PT RD, SELY ALG C/LN 235.54', ELY 252.18' TO POB, N 120', E 252' M/L TO WATER OF INDIAN RIVER, SELY ALG WATER TO PL WITH LINE THAT IS EAST FROM POB, W 248' M/L TO POB

2 GENERAL DESCRIPTION OF IMPROVEMENT SOLAR POOL HEATING

3 OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT

a Name and address DOUGLAS S MOST 74 N SEWELL'S POINT ROAD SEWELL'S POINT FL 34996

b Interest in property OWNER

c Name and address of fee simple titleholder (if different from Owner listed above) \_\_\_\_\_

4 a CONTRACTOR'S NAME FLORIDA SOLAR EAST LLC

Contractor's address 1791 COGSWELL ST, ROCKLEDGE FL 32955 b Phone number (321) 631-8990

5 SURETY (if applicable a copy of the payment bond is attached)

a Name and address \_\_\_\_\_

b Phone number \_\_\_\_\_ c Amount of bond \$ \_\_\_\_\_

6 a. LENDER'S NAME \_\_\_\_\_

Lender's address \_\_\_\_\_ b Phone number \_\_\_\_\_

7 Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713 13 (1) (a) 7, Florida Statutes

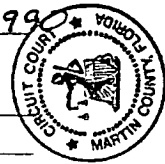
a Name and address \_\_\_\_\_

b Phone numbers of designated persons \_\_\_\_\_

8 a In addition to himself or herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713 13 (1) (b), Florida Statutes

b Phone number of person or entity designated by Owner \_\_\_\_\_

9 Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified) \_\_\_\_\_, 20\_\_\_\_



STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE

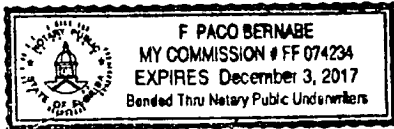
BY Carolyn Timmann DC  
DATE 2-3-2015

**WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713 13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT**

[Signature]  
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

(Print Name and Provide Signatory's Title/Office)

State of FL  
County of MARTIN

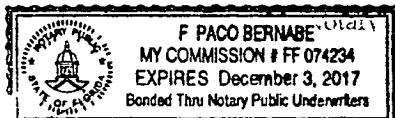


The foregoing instrument was acknowledged before me this 29 day of JANUARY 20 15

by DOUGLAS S. MOST, as OWNER  
(name of person) (type of authority, e.g. officer, trustee, attorney in fact)

for PROPERTY  
(name of party on behalf of whom instrument was executed)

Personally Known \_\_\_\_\_ or Produced Identification \_\_\_\_\_ Type of Identification Produced FL LIC M230-177-48-177-0



[Signature]  
(Signature of Notary Public)  
(Print Type or Stamp Commissioned Name of Notary Public)

TOWN OF SEWALL'S POINT

SALES REP: *PACO*

BUILDING DEPARTMENT  
DATE: FILE *01/30/15*

Name *DOUGLAS S. MOST*

COLLECTOR # & SIZE ( ) 8' ( ) 10' (  ) 12'

Address *74 N. SEWALL'S POINT RD*

COLLECTOR TYPE: *FATED SUNSAKES*

City *SEWALL'S POINT FL 34996*

CONTROLLER:  SN:

Phone (H) *(561) 222-6121* (W)

DRAINDOWN (  ) AUTOMATIC ( ) MANUAL ( ) RECIRC

Directions *(S01) 222-6121*

POOL COVER  X

HEATPUMP QTY: SIZE: BTU:

DIST. TO BREAKER FT. BREAKER SIZE

**POOL INFORMATION**

**STRUCTURE INFORMATION**

SIZE *11 x 23 250 SF*

ROOF TYPE *STANDING SEAM METAL ROOF*

SCREEN ENCLOSURE ( ) YES (  ) NO

ROOF COLOR *SILVER*

PUMP TYPE: SIZE: *1 HP*

EXTERIOR WALL TYPE *WOOD*

FILTER TYPE ( ) CART ( ) SAND ( ) DE

EXTERIOR WALL COLOR *BROWN*

CHLORINATOR TYPE: SN:

HEIGHT ( ) SINGLE (  ) TWO PITCH

CLEANING SYSTEM:

OPEN BEAM CEILING ( ) YES ( ) NO

**ADDITIONAL ACCESSORIES**

**ADDITIONAL SYSTEM INFORMATION**

( ) RACKS ( ) TIMER ( ) REEL ( ) VAC

Approx. Pipe Run *100* Ft. Splits

OTHER:

Trenching Length *25* Ft. Banks

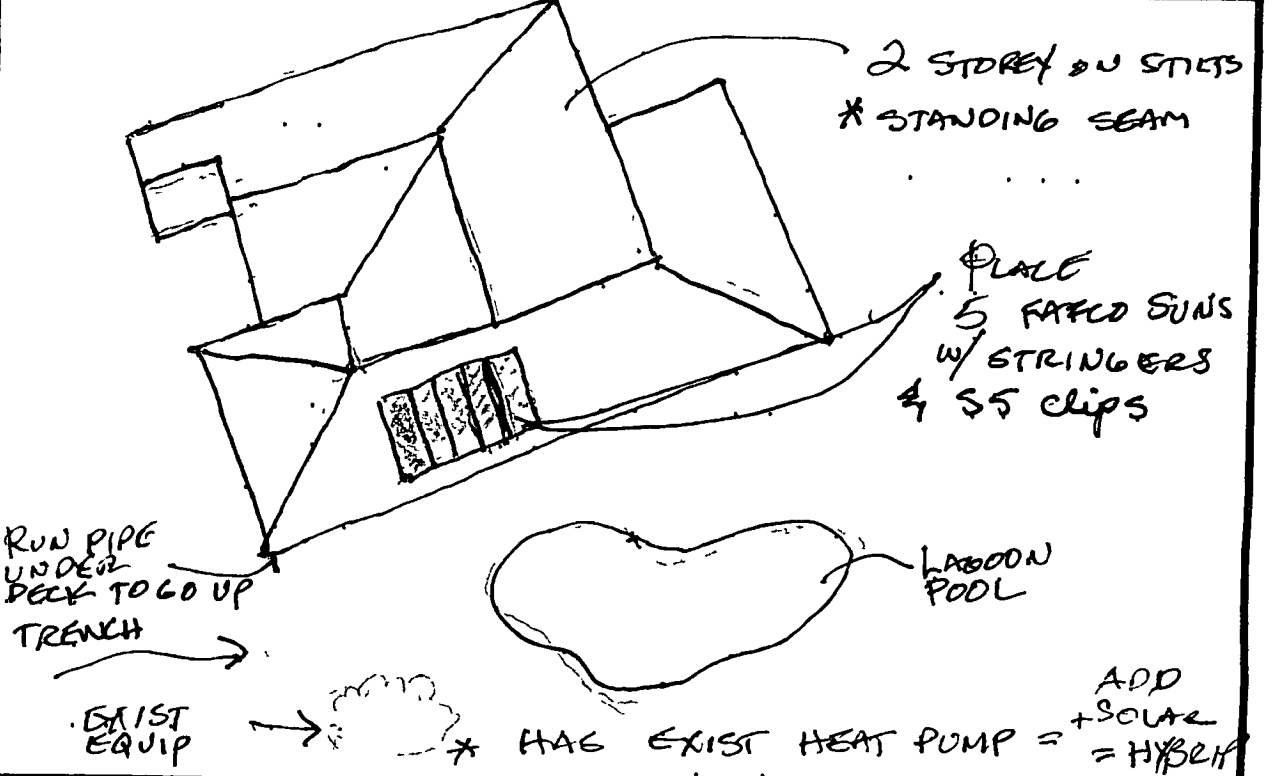
INDICATE SOUTH  
↓

SALES REP  
*PACO*

LEAD SOURCE  
*METRO*

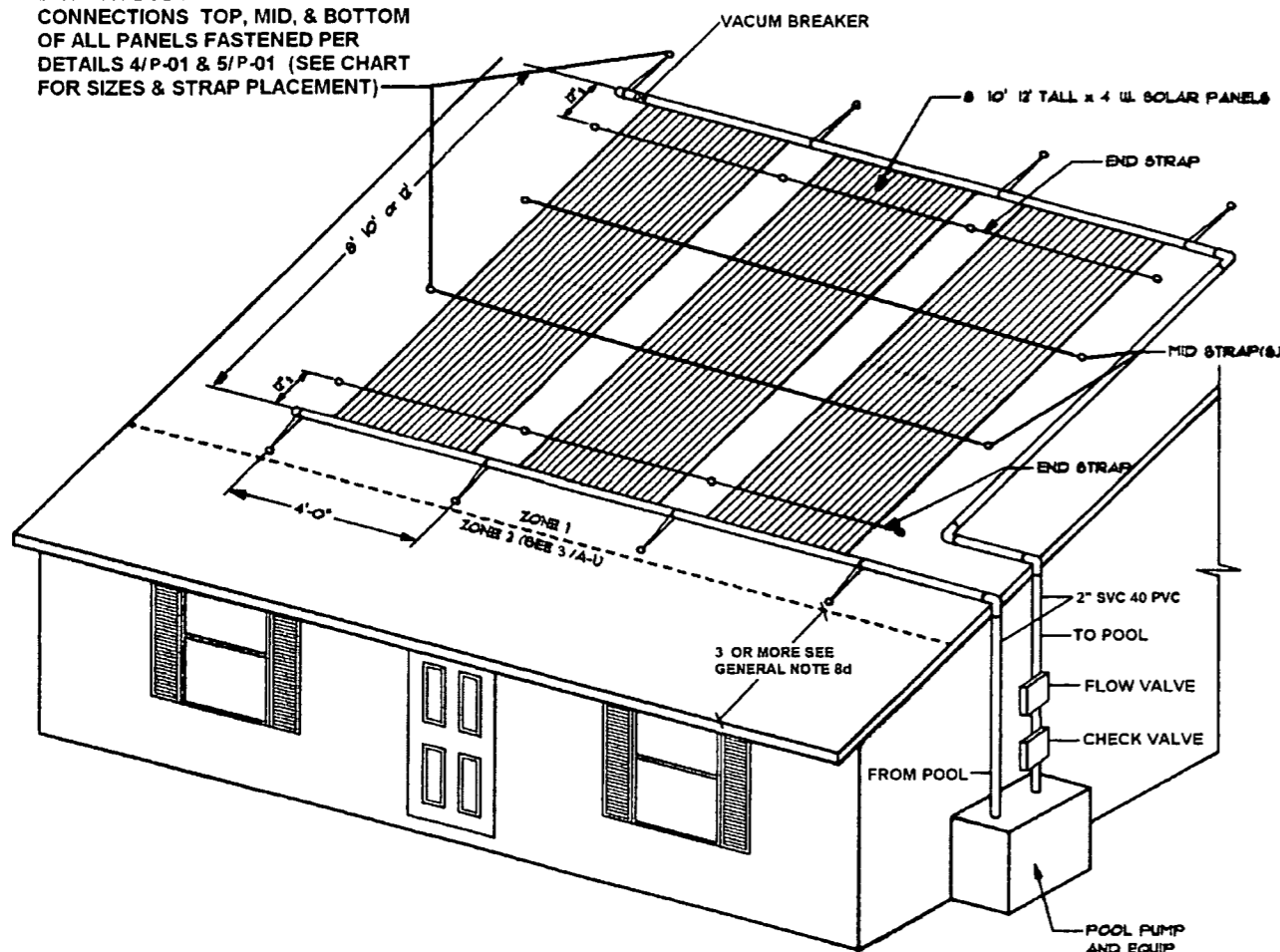
COLLECT PAYMENT  
(  ) YES ( ) NO

AMOUNT  
*5000<sup>00</sup>*



\* HAD EXIST HEAT PUMP = ADD SOLAR = HYBRID

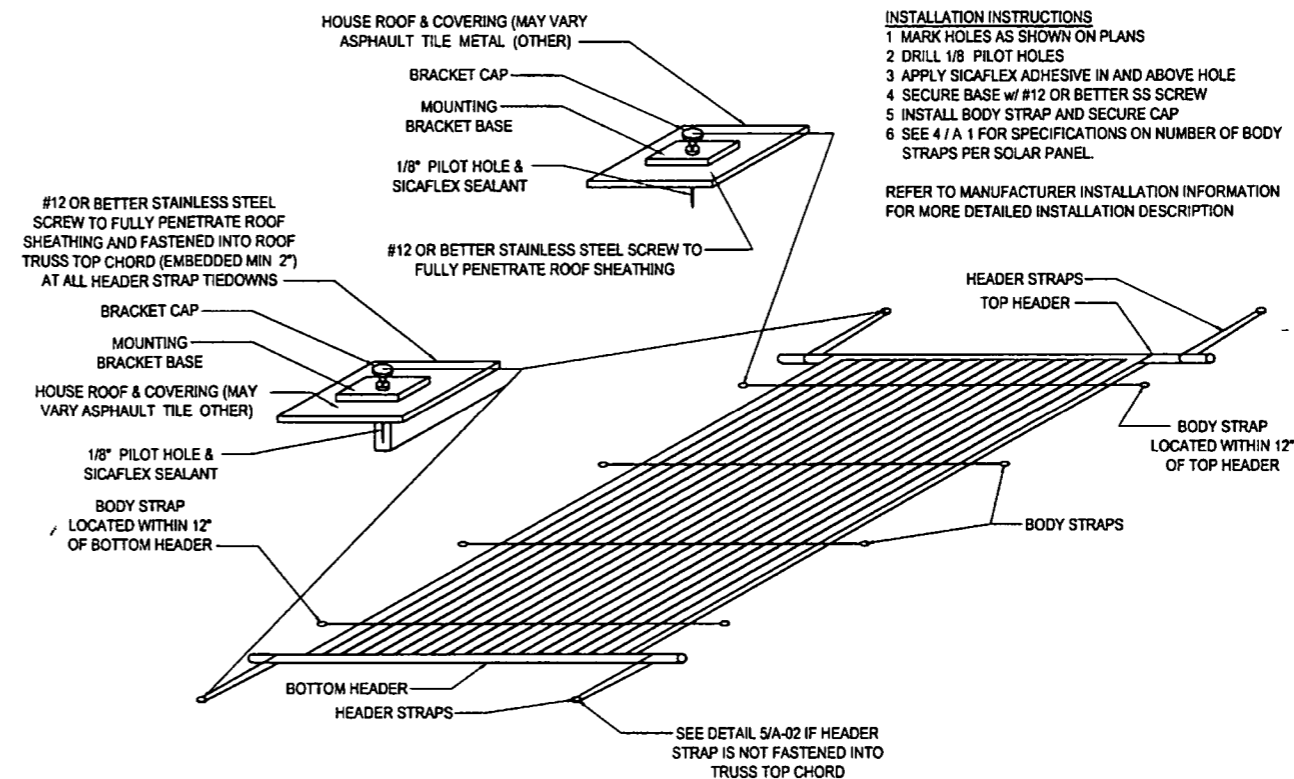
DACRON BODY STRAPS & CONNECTIONS TOP, MID, & BOTTOM OF ALL PANELS FASTENED PER DETAILS 4/P-01 & 5/P-01 (SEE CHART FOR SIZES & STRAP PLACEMENT)



FLORIDA SOLAR ENERGY CENTER CERTIFICATION SPEC'S

COLLECTOR			GLAZING		ABSORBER		GROSS AREA	THERMAL PERFORMANCE INTERMEDIATE TEMPERATURE RATING	
FAFCO INC	MODEL	FAFCO CODE	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE			
FAFCO INC	REVOLUTION 908R	98003C	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE	31.76	18300	576
FAFCO INC	REVOLUTION 910R	98004C	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE	39.70	22900	576
FAFCO INC	REVOLUTION 912R	96023	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE	47.45	27300	576
FAFCO INC	SUN SAVER 918	95001C	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE	31.60	14300	452
FAFCO INC	SUN SAVER 920	95002C	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE	39.50	17900	452
FAFCO INC	SUN SAVER 922	95003C	0	NONE	UV STABILIZED PLASTIC POLYMER	NONE	47.79	21600	452

7 SOLAR ROOF MOUNTING PLAN (FLUSH)



5 MOUNTING DETAIL (FLUSH MOUNT)

SCALE N.T.S.

DESIGN NOTES

STRAPS SHALL BE DACRON BODY STRAPS AND HAVE A MINIMUM DESIGN TENSILE STRENGTH OF 1600LBS

SCREWS SHALL BE #12 OR BETTER STAINLESS STEEL AND SHALL FULLY PENETRATE 1/2" MIN. CDX PLYWOOD SHEATHING AND BE HELD IN PLACE WITH SICAFLEX 1a CONSTRUCTION SEALANT APPLIED TO A 1/8" PILOT HOLE PRIOR TO AND AFTER PLACEMENT OF THE FASTNER AS SHOWN HEREIN

EACH PANEL SHALL HAVE A MINIMUM OF (5) MOUNTING POINTS WITH AN ADDITIONAL (5) ON ONE END OF THE ARRAY A FOUR PANEL SYSTEM WILL HAVE (25) MOUNTING POINTS

DETAIL VALID FOR HVHZ ZONES NOMINAL DESIGN SPEEDS UP TO AND INCLUDING 132 MPH THIS DETAIL NOT VALID IN DADE COUNTY

DESIGN REQUIREMENTS

NOTE THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE FLORIDA BUILDING CODE 2010

- 1 WIND EXPOSURE CATEGORY (B, C or D)
- 2 ULTIMATE DESIGN WIND SPEED 170 MPH  
NOMINAL DESIGN WIND SPEED 132 MPH
- 3 WIND IMPORTANCE FACTOR 1.0
- 4 INTERNAL PRESSURE COEFFICIENT 18
- 5 MAXIMUM PRESSURE FOR COMPONENTS AND CLADDING 42.0 psf / 54.9 psf UNLESS NOTED OTHERWISE.

(IF ANY OF THE ABOVE LIMITATIONS ARE EXCEEDED SPECIAL ENGINEERING WILL BE REQUIRED)

NOTES

SCALE N.T.S.

INSTALLATION INSTRUCTIONS

- 1 MARK HOLES AS SHOWN ON PLANS
- 2 DRILL 1/8" PILOT HOLES
- 3 APPLY SICAFLEX ADHESIVE IN AND ABOVE HOLE
- 4 SECURE BASE W/ #12 OR BETTER SS SCREW
- 5 INSTALL BODY STRAP AND SECURE CAP
- 6 SEE 4/A 1 FOR SPECIFICATIONS ON NUMBER OF BODY STRAPS PER SOLAR PANEL.

REFER TO MANUFACTURER INSTALLATION INFORMATION FOR MORE DETAILED INSTALLATION DESCRIPTION

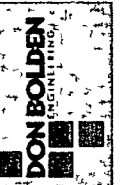
GENERAL NOTES

1. ENGINEERING VALID FOR SOLAR POOL HEATING AND DOMESTIC WATER HEATING APPLICATIONS
2. ENGINEERING VALID FOR ALL PANEL ORIENTATIONS INCLUDING VERTICAL (SHOWN) AND HORIZONTAL
3. CALCULATIONS VERIFIED FOR THE UPLIFT ONLY PER CODE. INSTALLERS SHALL USE CAUTION WHEN INSTALLING THE PANELS TO MINIMIZE AND DISTRIBUTE LOADING ACROSS THE ROOF SURFACE. NO WARRANTY, EXPRESSED OR IMPLIED IS OFFERED FOR THE INTEGRITY OF THE EXISTING STRUCTURE.
4. 1/2" MINIMUM EXTERIOR GRADE CDX PLYWOOD SHALL EXIST AS A CONNECTION SUBSTRATE
5. NO CERTIFICATION IS OFFERED FOR PLUMBING OR ELECTRICAL WORK. THIS IS A STRUCTURAL CERTIFICATION ONLY FOR ANCHORAGE TO THE EXISTING ROOF STRUCTURE.
6. DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY. CONTRACTOR IS TO VERIFY ALL FIELD DIMENSIONS PRIOR TO INSTALLATION.
7. ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY USE OF THIS SPECIFICATION BY CONTRACTOR, et al. INDENMIFIES & SAVES HARMLESS THIS ENGINEER FOR ALL COST DAMAGES INCLUDING LEGAL FEES & APPELATE FEES RESULTING FROM MATERIAL FABRICATION SYSTEM ERECTION, & CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.

8. SYSTEM HAS BEEN DESIGNED WITH THE FOLLOWING LIMITATIONS

- A. ULTIMATE DESIGN WIND SPEED UP TO 170 MPH
- B. NOMINAL DESIGN WIND SPEED UP TO 132 MPH
- C. ROOF HEIGHT NOT TO EXCEED 30' ABOVE GRADE
- D. WHEN SOLAR PANELS ARE PLACED LESS THAN 3' FROM ROOF EDGES FASTEN THEM TO ROOF DECK WITH ONE ADDITIONAL BODY STRAP OVER AND ABOVE WHAT IS SPECIFIED IN DETAIL 4/A-02

P.O. Box 530793  
Delray, FL 33473  
(386) 477-7155  
d\_balden@balden.net  
License #47524  
Cert of Auth #56030



Project Info.  
Pool Heater

1743 Huntington Ln  
Rockledge, FL 32955  
(800) 912-5299  
www.FloridaSolarEst.net



Drawn By  
JML

Checked By  
DGB

Date

Scale  
As Noted

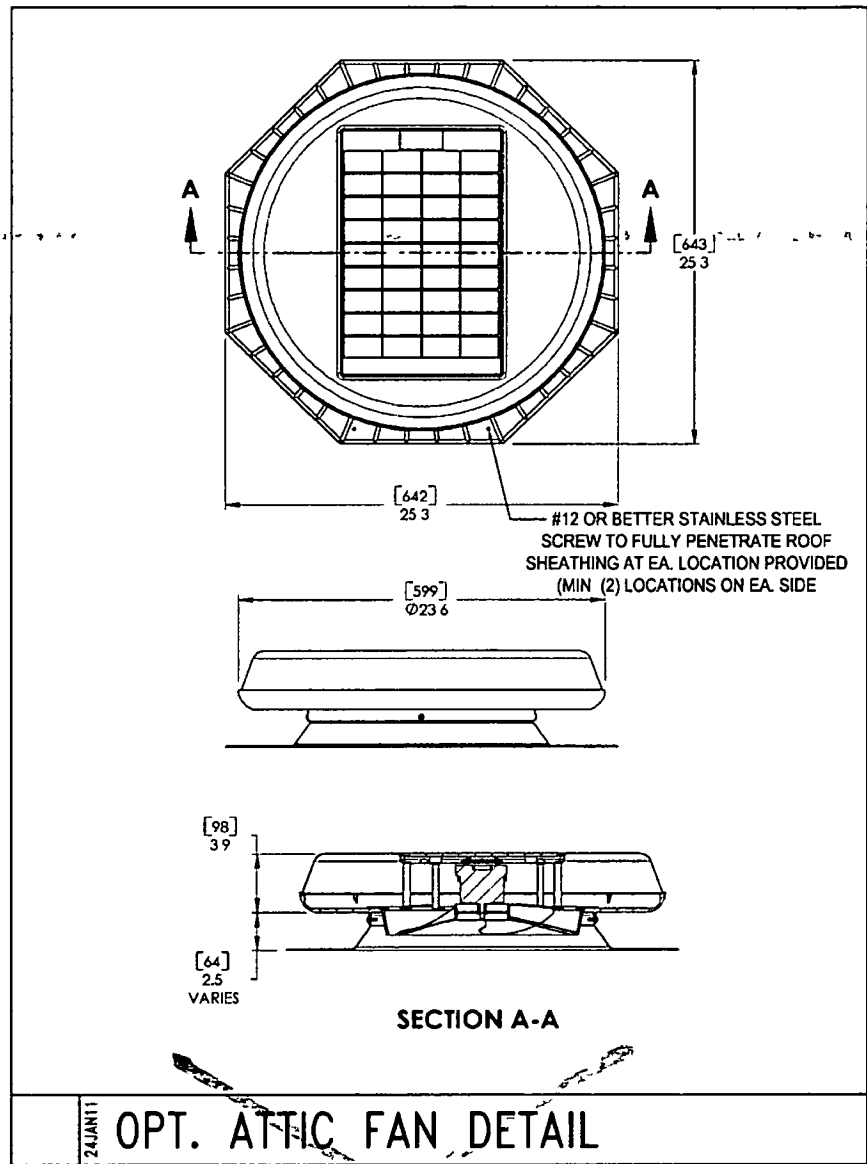
Job Number  
00-00005

drawing no

A-01

SOLAR DETAILS

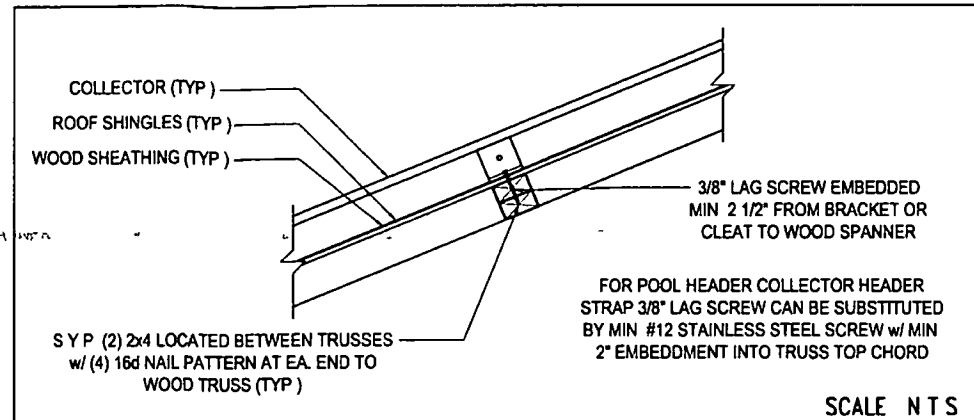
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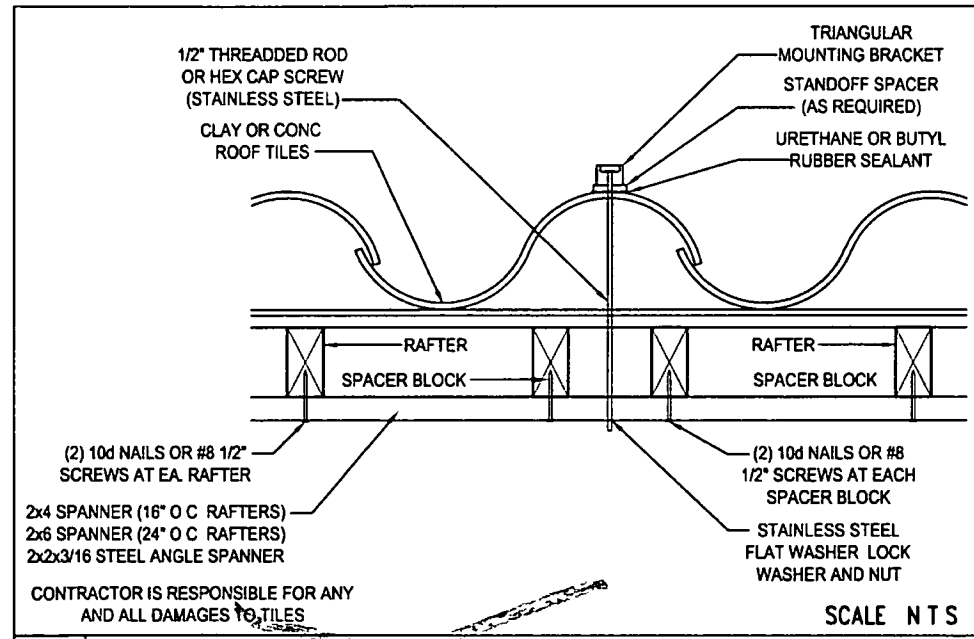
24 JAN 11

THESE PLANS ARE NOT VALID FOR PERMITTING WITHOUT THE RAISED SEAL & SIGNATURE OF ENGINEER/ARCHITECT OF RECORD

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and the owner must be notified in writing of any changes in the dimensions, conditions, and specifications appearing on these plans



**5 TYP. WOOD SPANNER FOR UN-ALIGNED TRUSS CONNECTION DETAIL**



**6 MOUNTING HARDWARE OVER TILE ROOF**

**4 STRAPPING SPEC'S**

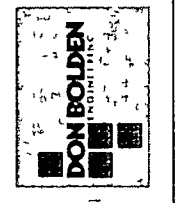
SCALE N T S

STRAP QUANTITY AND SPACING		
ZONE 1 & 2	STRAP QUANTITY	STRAP SPACING
UNIT LENGTH		
8'-0"	3 DACRON BODY STRAPS	STRAPS TO BE EVENLY SPACED
10'-0"	3 DACRON BODY STRAPS	END STRAPS TO BE WITHIN 12"
12'-0"	4 DACRON BODY STRAPS	FROM END OF PANEL

**4 STRAPPING SPEC'S**

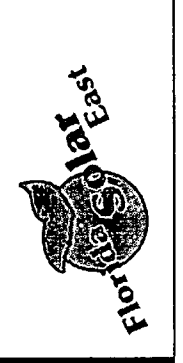
*Handwritten signature/initials*

P O Box 530783  
 Delray Fl 33753  
 (386) 747 7155  
 d\_balden@balden.net  
 License #47524  
 Cert. of Auth #1600



Project Info  
**Pool Heater**

1743 Huntington Ln  
 Rockledge Fl 32955  
 (800) 932-5295  
 www.FloridaSolarEst.net



Drawn By  
 J.M.L.  
 Checked By  
 D.G.B.  
 Date  
 Scale  
 As Noted  
 Job Number  
 00-0000S

drawing no  
**A-02**  
 SOLAR DETAILS

# VARIANCE



McCARTHY, SUMMERS, BOBKO, McKEY & BONAN, PA  
Attorneys at Law

*Correspondence*

Noel A Bobko \*  
W Martin Bonan\*\*  
Terence P McCarthy\*\*  
John D McKey, Jr  
Robert P Summers\*\*

2081 E Ocean Boulevard  
Suite 2-A  
Stuart, Florida 34996

\* Board Certified Civil Trial Lawyer  
\* Board Certified Real Estate Lawyer

(407) 286-1700  
(Fax) 283-1803

August 24, 1994

Town of Sewall's Point  
1 S. Sewall's Point Road  
Stuart, Florida 34996

Attn: Commissioner Vincent Vorraso

Re: Andrew F. Greene/Town of Sewall's Point

Dear Mr. Vorraso:

Please be advised that this office represents Andrew F. Greene, M.D. and I am writing in regard to certain property located within the limits of the Town of Sewall's Point. I enclose herewith a survey prepared by Philip W. Langbehn dated July 15, 1992, depicting the properties that I am writing in regard to. At the current time, these 2 properties are owned by ARKS Investment, Ltd. (ARKS).

At the present time, the house located upon Parcel 1 is occupied by Dr. Greene and Mrs. Greene. Dr. Greene would like to acquire approximately 1/2 of Parcel 1 along with an access easement. ARKS will then retain the balance of Parcel 1 plus all of Parcel 2. It is not the intent of the parties to create 3 lots but simply to rearrange the lot lines separating the 2 existing lots. The net result is that we begin with 2 lots and end up with 2 lots.

In most jurisdictions, the traditional definition of subdivision recites that the creation of 3 or more lots causes the subdivision requirements to be invoked. Also, in most jurisdictions, the simple rearrangement of lot lines to create equal or larger building lots, without creating new lots, does not fall under the traditional definition of a subdivision. In the Town of Sewall's Point, the subdivision regulations follow the traditional lines and set up the usual threshold of 3 lots with an exception for adjusting common boundary lines. Each jurisdiction has its own particular language and the Town of Sewall's Point is no different. In this particular case, I believe that what Dr.

Town of Sewall's Point  
August 24, 1994  
Page Two

Greene would like to accomplish can be structured so that the conveyance to Dr. Greene does not fall under the Town's definition of a subdivision, or alternatively, fits into one of the exceptions. Parcel 1 and Parcel 2, as depicted on the attached survey, are what have commonly been referred to in most jurisdictions as "lots of record". Parcel 1 was created in 1972 by a conveyance from E. Clinton Towl to William Fred Taylor and Deborah C. Taylor, his wife. I enclose a copy of such deed for your reference. I must assume that this lot satisfied the Town's requirements at that time concerning subdivision regulations and minimum lot size requirements since a building permit was issued for the existing home now located upon the property. Parcel 2 was created in 1977 pursuant to the minor subdivision requirements of the Town. I enclose herewith a copy of Resolution No. 129 creating this lot. Since Parcels 1 and 2 fall under the traditional concept of "lots of record", either Parcel 1 or Parcel 2 could be separately and independently conveyed without violating the subdivision regulations. Since Parcel 1 could be conveyed to Dr. Greene without violating the subdivision regulations, Dr. Greene could then split Parcel 1 into 2 lots without creating a subdivision since the definition of subdivision is 3 or more lots.

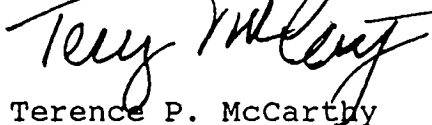
In this particular case, Dr. Greene does not intend to create 3 lots, but simply to rearrange the lot lines while still keeping 2 lots. This should not result in a violation of any of the subdivision or zoning regulations of the Town. At this point, however, before we proceed to create this situation, we would like the Town to review and concur. Prior to this correspondence, I met with the Town attorney and I believe he agrees with my conclusions.

Another issue that must be addressed is the width of Parcel 1. The current Town regulations require a minimum width of 120' for any new lots. The supplementary regulations set forth in Section XI of Appendix B of the Town Code, at Subsection (d) thereof require a minimum lot width of only 100' for lots of record. In this particular case, Parcel 1 is less than 120', however, it is greater than 100'. Again, before we go through all of this, I want to be certain that the parcel Dr. Greene ends up with, approximately 1/2 of Parcel 1, meets the minimum width requirements of the Town. Since Parcel 1 apparently met the Town's requirements in the mid-1970's, and since Parcel 1 could be separately conveyed today, and since Parcel 1 could be split today without violating the subdivision regulations, it is my belief that the remaining lot that Dr. Greene ultimately ends up with should be considered to conform with the Town's width requirements.

Town of Sewall's Point  
August 24, 1994  
Page Three

I have enclosed herewith a proposed letter from you to this office confirming all of the above. If this letter meets with your approval, kindly place it on Town stationary and advise me when it can be picked up. I suggest that you should not hesitate to call either the Town attorney or myself should you have any questions.

Very truly yours

A handwritten signature in black ink, appearing to read "Terence P. McCarthy". The signature is written in a cursive, flowing style with some loops and flourishes.

Terence P. McCarthy

TPM/ja

Enclosure

cc: client

M. Lanning Fox, Esq.

WARNER, FOX, SEELEY, DUNGLEY & SWEET

ATTORNEYS, P A

1100 S FEDERAL HIGHWAY  
P O DRAWER 6  
STUART, FLORIDA 34995 0006  
(407) 287 4444  
TELEFAX (407) 220 1469

DEBORAH B BEARD  
KENNETH W FROMKNECHT II  
LOUIS E LOZEAU, JR.  
BETH TEARDO PRINZ  
TIM B WRIGHT

JUPITER (407) 744 6499

RICHARD J DUNGLEY  
M LANNING FOX  
THOMAS R SAWYER  
ROBERT L SEELEY  
GARY L SWEET  
THOMAS E WARNER

AARON A FOOSANER  
OF COUNSEL

BOARD CERTIFIED REAL ESTATE LAWYER  
BOARD CERTIFIED CIVIL TRIAL LAWYER

ST LUCIE COUNTY OFFICE  
BARNETT CENTER  
900 EAST PRIMA VISTA BOULEVARD  
SUITE 400  
PORT ST LUCIE FLORIDA 34952  
(407) 878 3814  
TELEFAX (407) 879 6327

September 26, 1994

Mr Terence P McCarthy  
McCarthy, Summers, Bobko,  
McKey & Bonan, P A  
2081 East Ocean Boulevard  
Suite 2-A  
Stuart, Florida 34996

Re Letter to Commissioner Vincent Vorraso dated August 24, 1994  
Andrew F Greene/Town of Sewall's Point

Dear Terry:

The captioned letter was referred to me for review by  
Commissioner Vorraso.

As we discussed, I concur with your analysis, except for the  
reference to Subsection D of Section XI of Appendix B, but that  
does not affect the analysis

It is clear that, even though Parcel 1 and Parcel 2 are now under  
common ownership of ARKS Investment, Ltd , these are separate  
lots deraigned through different chains of title

In the past, the Town has taken the position that separate lots,  
even though under common ownership, will be treated as lands  
owned by adjoining property owners under the exception provided  
in Paragraph (a) of the definition to "Subdivision" appearing in  
Section II of Appendix A of the Town Code

Therefore, what is proposed can qualify as a boundary line  
adjustment under that provision so long as Commissioner Vorraso  
determines that joining the remaining portion of Parcel 1 with  
Parcel 2 will constitute the "exchange of small parcels of land  
. .where such property has a common boundary line and  
such . exchange does not create additional lots "

Mr. Terence P McCarthy  
September 26, 1994  
Page - 2 -

In applying this paragraph, the Town has in the past considered any parcel containing an area less than the area required for a conforming lot to be a "small" parcel of land

With regard to the remaining portion of Parcel 1 proposed to be conveyed to Dr. and Mrs. Greene after the foregoing boundary line adjustment, although the existing parcel is a non-conforming lot of record because its width is less than 120 feet, if the proposed conveyance does not create any additional non-conformity (such as area or setback deficiencies), the parcel conveyed to Dr. and Mrs. Greene will continue to enjoy status as a non-conforming lot of record on which a building permit could be granted, because the existing non-conformity has not been expanded by the proposed conveyance.

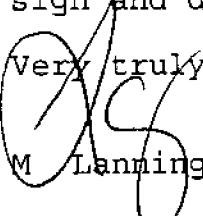
Based upon the foregoing, the form of the letter provided by you to Commissioner Vorraso for his signature is acceptable, provided that:

1. ARKS Investment, Ltd. must submit to the Town a recorded unity of title establishing that Parcel 2 and the portion of Parcel 1 that is not to be conveyed to Dr. and Mrs. Greene shall hereafter be treated as a single parcel of land under the land development regulations of the Town of Sewall's Point

2. Paragraph No. 2 of your proposed letter for Commissioner's Vorraso's signature should be changed to read: "In the event the lot conveyed to Dr. Greene (a) maintains the present width of Parcel 1, and (b) meets the required lot area of 18,000 square feet and maintains the required setbacks, said lot will continue in its status as a non-conforming lot of record under the Town Code "

With a copy of this letter, I am advising Commissioner Vorraso that, once the unity of title is presented and the proposed letter for his signature is amended as set forth above, he may sign and deliver the letter.

Very truly yours,

  
M Lanning Fox

MLF/kg

Enclosure

cc Vincent A Vorraso, Building Commissioner

kim/letters/mccarthy

WARNER, FOX, SEELEY, DUNGEY & SWEET

ATTORNEYS, P A

1100 S FEDERAL HIGHWAY  
P O DRAWER 6  
STUART, FLORIDA 34995 0006  
(407) 287 4444  
TELEFAX (407) 220 1489

DEBORAH B BEARD  
KENNETH W FROMKNECHT, II  
LOUIS E LOZEAU JR  
BETH TEARDO PRINZ  
TIM B WRIGHT

JL PITER (407) 744 6499

RICHARD J DUNGEY  
M LANNING FOX  
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THOMAS E WARNER

AARON A FOOSANER  
OF COUNSEL

BOARD CERTIFIED REAL ESTATE LAWYER  
BOARD CERTIFIED CIVIL TRIAL LAWYER

ST LUCIE COUNTY OFFICE  
BARNETT CENTER  
900 EAST PRIMA VISTA BOULEVARD  
SUITE 400  
PORT ST LUCIE, FLORIDA 34952  
(407) 878 3814  
TELEFAX (407) 879 6327

November 1, 1994

Mr Terence P McCarthy  
McCarthy, Summers, Bobko,  
McKey & Bonan, P A  
2081 East Ocean Boulevard  
Suite 2-A  
Stuart, Florida 34996

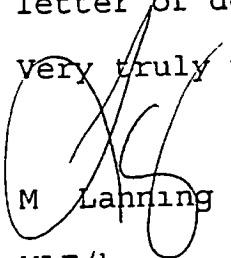
Re ARKS Conveyance to Greene

Dear Terry

The unity of title provided to me under cover of your letter dated October 25, 1994, is approved in form for the purposes described in my letter to you dated September 26, 1994, in connection with the proposed boundary adjustment between ARKS Investments, Ltd., and Dr and Mrs Greene

I have enclosed a photocopy of Section 11-7 of the Town Code for your information. To date, the Town's professional fees in this matter total \$448.50. In accordance with the ordinance, your client will be required to reimburse this sum to the Town, together with any additional fees accrued hereafter related to this matter, before Commissioner Vorrasso signs the requested letter of determination.

Very truly yours,

  
M Lanning Fox

MLF/kg

Enclosure

cc: Vincent A. Vorrasso, Building Commissioner (w/enclosures)

cc: Joan H Barrow, Town Clerk (w/enclosures)

vjm/letters/mccarthy 2

RECEIVED NOV 3 1994

McCARTHY, SUMMERS, BOBKO, McKEY & BONAN, PA  
Attorneys at Law

Noel A Bobko \*  
W Martin Bonan\*\*  
Terence P McCarthy\*\*  
John D. McKey, Jr  
Robert P Summers\*\*

2081 E Ocean Boulevard  
Suite 2-A  
Stuart, Florida 34996

(407) 286-1700  
(Fax) 283-1803

December 8, 1994

\* Board Certified Civil Trial Lawyer  
\* Board Certified Real Estate Lawyer

Town of Sewall's Point  
1 S. Sewall's Point Road  
Stuart, Florida 34996

Attn: Commissioner Vincent Vorraso

Re: ARKS Conveyance to Greene

Dear Commissioner Vorraso:

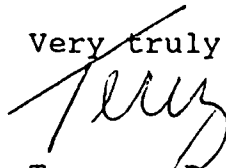
In accordance with our prior conversations, and Lanning Fox's letter to you dated September 26, 1994, I am pleased to enclose herewith a copy of the fully executed Unity of Title on this matter. I have additionally enclosed your letter to me concerning this. Please note that I have made the changes requested by Lanning Fox.

I have also enclosed for your records a sketch depicting the revised boundary lines along with the access easement.

If all of the enclosed meets with your approval, kindly have the letter to me placed on Town stationary and advise me when the original has been signed so that I will have it picked up from Town Hall.

Should you have any questions or comments, please don't hesitate to call.

Very truly yours,



Terence P. McCarthy

TPM/ja  
Enclosure  
cc: client  
Lanning Fox, Esq.

WARNER, FOX, SEELEY, DUNGEY & SWEET

ATTORNEYS, P A

1100 S FEDERAL HIGHWAY  
P O DRAWER 6  
STUART, FLORIDA 34995 0006  
(407) 287 4444  
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ST LUCIE COUNTY OFFICE  
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900 EAST PRIMA VISTA BOULEVARD  
SUITE 400  
PORT ST LUCIE, FLORIDA 34952  
(407) 878 3814  
TELEFAX (407) 879 6327

December 22, 1994

Commissioner Vincent A. Vorraso  
Town of Sewall's Point  
One South Sewall's Point Road  
Stuart, FL 34996

RE: ARKS Conveyance to Greene

Dear Commissioner Vorraso:

I enclose the original package you provided me on December 20, 1994 regarding the referenced matter. Please execute the letter prepared by Mr McCarthy after you have confirmed that Mr. Greene has reimbursed the Town for all attorneys' fees incurred in our review of this matter. Joan Barrow can confirm the total amount to date by contacting our bookkeeper, Martha Kramer, at her convenience.

By copy of this letter to Terry McCarthy, I am asking him to provide me with a copy of the recorded Unity of Title once his client has recorded the document. You should provide Mr McCarthy with the original Unity of Title with your letter.

Please contact me if you have any questions

Sincerely yours,

  
Tim B. Wright

Enclosure

cc: Mr Terence P McCarthy



# TOWN of SEWALL'S POINT

COMMISSIONERS  
B J ESCUE MAYOR  
DAVID L MILLARD VICE MAYOR  
ERIC B HOLLY COMMISSIONER  
JOAN PERRY WILCOX COMMISSIONER  
VINCENT A VORRASO COMMISSIONER



TELEPHONE (407) 287 2455  
FAX (407) 220-4765

TOWN CLERK  
JOAN H BARROW

CHIEF OF POLICE  
LOUIS J SAVINI

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34996

March 22, 1995

Terence P. McCarthy, Esq.  
McCarthy, Summers, Bobko, McKey  
& Bonan, P.A.  
2081 E. Ocean Blvd., 2-A  
Stuart, FL 34996

Re: Andrew F. Greene/Town of Sewall's Point

Dear Mr. McCarthy:

At your request, the Town of Sewall's Point has reviewed the materials presented by you and your arguments concerning the property owned by ARKS Investment, Ltd. (ARKS). As we understand your request, ARKS would like to convey approximately 1/2 of Parcel 1, as identified in the survey submitted by you prepared by Philip W. Langbehn dated July 15, 1992, identified as Drawing No. 92-5067, to Andrew F. Greene and his wife.

Based upon the current Town Code, and after reviewing the reasoning set forth in your letter dated August 24, 1994, we are of the opinion that:

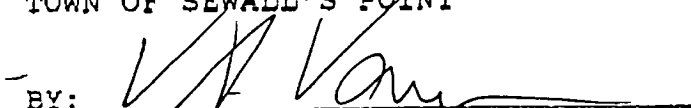
1. The conveyance of approximately 1/2 of Parcel 1 to Dr. Greene does not violate the subdivision regulations of the Town provided that the ultimate size of the parcel conveyed to Dr. Greene is not less than 18,000 square feet.

2. In the event the lot conveyed to Dr. Greene (a) maintains the present width of Parcel 1, and (b) meets the required lot area of 18,000 square feet and maintains the required setbacks, said lot will continue in its status as a non-conforming lot of record under the Town Code.

I believe that the foregoing complies with your request, however, should you need or discuss this matter further, please advise.

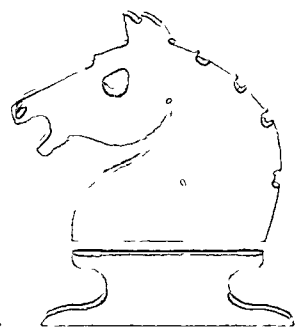
Very truly yours,

TOWN OF SEWALL'S POINT

BY:   
Vincent A. Vorraso

Variance Guest House

Mayor  
Please sign *OK*



WRIGHT, PONSOLDT & LOZEAU

TRIAL ATTORNEYS L L P

TIM B. WRIGHT  
WILLIAM R. PONSOLDT, JR. \*  
LOUIS E. LOZEAU, JR.

\* Board Certified in Business Litigation

September 19, 2002

Mrs Joan H Barrow  
Town Clerk  
Town of Sewall's Point  
One South Sewall's Point Road  
Sewall's Point, Florida 34996

Re Town of Sewall's Point Hess Guest House Resolution

Dear Joan

I enclose with this letter the original and seven (7) copies of my proposed resolution granting Mr and Mrs Hess's guest house application. Please provide me with an executed copy of my files at your earliest convenience.

Sincerely yours,

*[Handwritten signature of Tim B. Wright]*

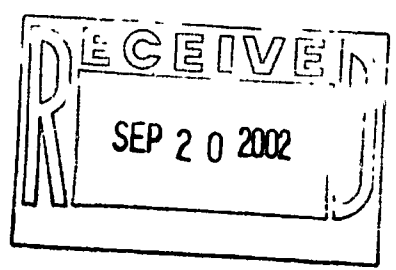
Tim B. Wright

TBW/mcf

Enclosures

- cc Mayor Thomas P Bausch
- Commissioner James D Bercaw
- Mr Joseph C Dorsky
- Mr Gene Simmons

*OK 9-25-02  
if asked Tim  
be should  
recorded  
Yes*



RESOLUTION NO. 577

**A RESOLUTION OF THE TOWN COMMISSION OF  
OF SEWALL'S POINT, FLORIDA, GRANATING  
THE APPLICATION OF GARY HESS AND NANCY  
HESS, HIS WIFE, PURSUANT TO SECTION 82-  
242(2).b.5 OF THE TOWN OF SEWALL'S POINT  
CODE OF ORDINANCES, FOR PERMISSION TO  
CONSTRUCT A GUEST HOUSE.**

WHEREAS, Gary Hess and Nancy Hess, his wife (the "Applicants") have applied pursuant to Section 82-242(2) b 5, of the Town of Sewall's Point Code of Ordinances (the "Guest House Ordinance") for permission to construct a guest house on the property legally described on Exhibit "A" of this Resolution (the "Property"), and

WHEREAS, a unity of title for the Property was previously recorded in the Martin County, Florida, Public Records (the "Unity of Title"), and

WHEREAS, the proposed location of the guest house is set forth on the survey prepared by Stephen J Brown, Inc , Job No 1994-190-01, and architectural plans prepared by Joseph McCarthy, Architect, Inc dated July 1, 2002, and signed by the architect August 16, 2002, on file with the Town Building Department (the "Site Plan"), and

WHEREAS, the Town Commission considered the request of the Applicants at a public hearing held on Tuesday, September 17, 2002, and

WHEREAS, the Town Commission determined that it was in the interest of the health, safety, and welfare of the Town to conditionally grant the application

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF  
THE TOWN OF SEWALL'S POINT, FLORIDA, THAT:**

- 1 The Applicants are granted permission pursuant to the Guest House Ordinance

to construct the guest house as shown on the Site Plan

2 The proposed construction drawings and building permit application shall meet all provisions of the Town of Sewall's Point Code of Ordinances

3 This Resolution is conditioned on the Applicants removing the one-story wood frame garage as indicated on the Site Plan

4 This Resolution is conditioned on the Applicants obtaining variances for any and all encroachments into the set backs for the Property by either administrative variance applications or application to the Town of Sewall's Point Board of Zoning Adjustment

5 This Resolution is conditioned the Applicants reimbursing the Town for any and all professional expenses incurred by the Town pursuant to Section 46-31 of the Town of Sewall's Point Code of Ordinances

6 This Resolution is conditioned on the Unity of Title remaining in full force and effect

The vote was as follows

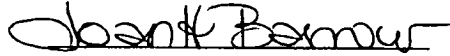
	AYE	NAY
THOMAS P BAUSCH, Mayor	✓	_____
MARC S TEPLITZ, Vice Mayor	✓	_____
RICHARD L BARON, Commissioner	✓	_____
JAMES D BERCAW, Commissioner	✓	_____
E DANIEL MORRIS, Commissioner	✓	_____

The Mayor thereupon declared this Resolution 577 approved and adopted by the Town Commission of the Town of Sewall's Point on this 17th day of September, 2002

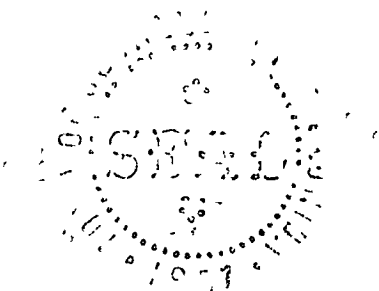
TOWN OF SEWALL'S POINT, FLORIDA

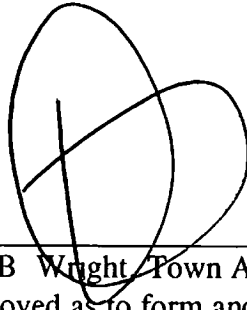
  
THOMAS P BAUSCH, Mayor

ATTEST

  
Joan H Barrow, Town Clerk

(TOWN SEAL)



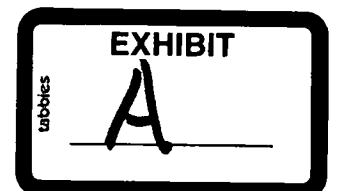


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Tim B Wright, Town Attorney  
Approved as to form and  
legal sufficiency

## LEGAL DESCRIPTION

- 1 Starting at the intersection of the North line of Government Lot 3, SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST, with the centerline of Sewall's Point Road, run South 29° 47' 00" East along the centerline of Sewall's Point Road 117.77 feet for a Point-of-Beginning, thence continue South 29° 47' 00" East along said centerline a distance 117.77 feet to the South line of the lands now owned by E. Clinton Towl; thence run South 89° 26' 00" East along the South line of the lands of E. Clinton Towl a distance of 500.00 feet, more or less, to the waters of the Indian River, thence run Northwesterly along the waters of the Indian River to the intersection thereof with a line running South 89° 21' 48" East from the Point-of-Beginning, thence run North 89° 21' 48" West a distance of 500.00 feet, more or less, to the Point and Place-of-Beginning.
- 2: Start at the point of intersection of the North line of the North 140.00 feet of the North 412.00 feet of the South 1076.70 feet of Government Lot 3, SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST, Martin County, Florida and the Easterly right-of-way line of Sewall's Point Road, for the Point-of-Beginning, thence run South 89° 27' 00" East along said North line of the North 140.00 feet a distance of 181.02 feet, thence run South 00° 33' 00" West a distance of 120.00 feet, thence run North 89° 27' 00" West a distance of 110.65 feet to the point of intersection with the Easterly right-of-way line of Sewall's Point Road, thence run North 29° 50' 20" West along said right-of-way line a distance of 139.11 feet to the Point-of-Beginning.



THOMAS P BAUSCH  
Mayor

MARC S TEPLITZ  
Vice Mayor

E DANIEL MORRIS  
Commissioner

JAMES D BERCAW  
Commissioner

RICHARD L BARON  
Commissioner

# TOWN OF SEWALL'S POINT



JOSEPH C DORSKY  
Town Manager

JOAN H BARROW  
Town Clerk

LARRY E McCARTY  
Chief of Police

GENE SIMMONS  
Building Official

JOSE TORRES, JR  
Maintenance

January 9, 2003

PAID

Mr and Mrs Gary Hess  
74 North Sewall's Point Road  
Sewall's Point, Florida 34996

Re Variance for Guest House

## STATEMENT

10/02	Wright, Ponsoldt, legal fees	\$425 00
11/02	Wright, Ponsoldt, legal fees	50 00
12/02	Clerk of Circuit Court, recording fees	<u>25 50</u>
	TOTAL DUE	\$ 500 50

Enclosed is a copy of the recorded variance Please make check your payable to the Town of Sewall's Point "



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail [police@sewallspoint.martin.fl.us](mailto:police@sewallspoint.martin.fl.us)

Prepared By Marianne F Messersmith  
Fast Title, Inc.  
27 East Ocean Boulevard  
Stuart, FL 34994  
incidental to the issuance of a title insurance policy  
File Number 169-mm-02  
Parcel ID Number 353710000000261  
Grantee(s) SS Number

INSTR # 1570830  
OR BK 01634 PG 0393  
RECORDED 05/07/2002 03:26:45 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
DEED DOC TAX 0.70  
RECORDED BY C Burkey

### QUIT CLAIM DEED (INDIVIDUAL)

This QUIT CLAIM DEED, dated <sup>May 7<sup>th</sup></sup> April 7, 2002 by Andrew F Greene, a single person whose post office address is 725 E. Osceola Street, Stuart, LA 34994 hereinafter called the GRANTOR, to Gary Hess and Nancy Hess, his wife whose post office address is 74 N Sewalls Point Road Stuart FL 34996 hereinafter called the GRANTEE

(Wherever used herein the terms "GRANTOR" and "GRANTEE" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals and the successors and assigns of corporations )

WITNESSETH That GRANTOR, for and in consideration of the sum of \$10 00 and other valuable considerations in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto GRANTEE forever, all the right, title, interest, claim and demand which GRANTEE has in and to the following described lot, piece or parcel of land, situate, lying and being in Martin County, Florida, viz

Starting at the intersection of the North line of Government Lot 3, Section 35 Township 37 South, Range 41 East, with the centerline of Sewall's Point Road run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet for a Point of Beginning, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of ~~500 feet~~ 500 feet, more or less, to the waters of the Indian River, thence run Northwesterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 21'48" East from the Point of Beginning, thence run North 89 degrees 21'48" West along said line a distance of ~~500 feet~~ 500 feet, more or less, to the Point and Place of Beginning

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said GRANTOR, either in law or equity, to the only proper use, benefit and behoof of the said GRANTEE forever

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

Signature Vikki Galasso  
Print Name Vikki Galasso

Signature KATHLEEN LUMBERT  
Print Name KATHLEEN LUMBERT

Andrew F. Greene  
Andrew F. Greene

State of Florida  
County of Martin

THE FOREGOING INSTRUMENT was acknowledged before me on <sup>May 7<sup>th</sup></sup> April 7, 2002 by Andrew F Greene, a single person He is personally known to me or who has produced H. Burkey as identification

Notary Seal

Signature Marianne F. Messersmith  
Print Name Marianne F. Messersmith





# McCarthy, Summers, Bobko, Wood, Sawyer & Perry, P.A.

Attorneys at Law

*Variance*

Kathryn C Bass  
Noel A Bobko  
Nicola Jaye Boone\*  
Mark A Broderick  
Terence P McCarthy\*\*  
Kenneth A Norman  
Steven L Perry  
Thomas R Sawyer\*\*  
Rose D Schneider  
Jane F Strike  
Robert P Summers\*\*  
Patricia I Taylor  
Steven J Wood\*\*\*

Monterey Triangle  
2400 S E Federal Highway • Fourth Floor  
Stuart, FL 34994  
  
Tel 772 286-1700  
Fax 772 283-1803

John D McKey, Jr  
Of Counsel

E-Mail [info@mcsumm.com](mailto:info@mcsumm.com)  
[www.McCarthySummers.com](http://www.McCarthySummers.com)  
Personal Email [jd@mcsumm.com](mailto:jd@mcsumm.com)

\*Board Certified Elder Law Lawyer  
\*\*Board Certified Real Estate Lawyer  
\*\*\*Board Certified Wills, Trusts &  
Estates Lawyer

December 2, 2004

## VIA HAND DELIVERY

Town of Sewall's Point  
Board of Zoning Adjustment  
1 Sewall's Point Road  
Stuart, FL 34996

Re *Variance Application Gary and Nancy Hess*  
*74 North Sewall's Point Road*

Ladies and Gentlemen

Enclosed please find 10 Variance Application packages (one original) submitted for consideration by the Town as follows

- 1 Fully-executed Application to the Town of Sewall's Point Board of Zoning Adjustment (original + 9 copies),
- 2 Copy of recorded Warranty Deed (10 copies),
- 3 Boundary Survey prepared by Stephen J Brown, Inc and identified as Job No 1994-190-01 (10 originals),
- 4 A Statement of Benefits (original +9 copies),
- 5 Certified List of Property Owners - To Be Supplied, and
- 6 Our clients' check number 2458 in the amount of \$1,075 00 representing the filing fee and cost deposit

Please advise if you need anything further

Very truly yours,



Donna Dempsey, Legal Assistant to  
Terence P McCarthy

TPMadd

Enclosures

TSP BZA Variance Submission wpd

APPLICATION TO THE TOWN OF SEWALL'S POINT  
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

We, Gary Hess and Nancy Hess, his wife of 74 North Sewall's Point Road,  
name of applicant address  
Sewall's Point, FL 34996  
city state zip

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property in Sewall's Point, legally described as:

Lot \_\_\_\_\_, Block \_\_\_\_\_, Subdivision \_\_\_\_\_ according to map of Plat Book \_\_\_\_\_ Page \_\_\_\_\_, Section \_\_\_\_\_, Township \_\_\_\_\_ South, Range \_\_\_\_\_ East, of the public records of Martin County, Florida, or property otherwise described by metes and bounds (Please include current street address) (long legal description may be attached separately.)

- SEE EXHIBIT "A" ATTACHED HERETO

for the purpose of varying the provisions of Section 82-274(1)(2)(5) and  
(indicate the specific section of Zoning Regulations, Zoning Resolution, Zoning Ordinance)  
82-242 b 3 iii of the Sewall's Point Town Code, as more particularly identified  
in Exhibit "B" attached hereto.

Variances

To authorize upon appeal such variance from the terms of the zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted and a public hearing must be held which demonstrates to the satisfaction of the Board of Zoning Adjustment that the following six criteria, as contained in the Code of the Town of Sewall's Point, have been met:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.

2. That the special conditions and circumstances do not result from the actions of the applicant.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district

4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The Board of Adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered for the issuance of a variance.

The Town shall post Notice of Public Hearing on the property for which the variance is sought and upon the Town Hall bulletin board at least 15 days prior to the date of the hearing. The Town will also see to the publication of the Notice of Hearing in a newspaper of general circulation printed in Martin County, Florida, at least fifteen (15) days prior to the date of the public hearing. All costs thereby incurred by the Town shall be reimbursed to the Town by the applicant, or charged against the applicant's cost deposit. The Applicant, at his expense, must send Notice to property owners of record within 300 feet of the subject property in accordance with the guidelines attached, to be mailed by certified mail, return receipt requested, no later than FIFTEEN (15) DAYS PRIOR TO THE DATE OF THE HEARING

#### CERTIFICATION

The Applicant hereby certifies that the information which he/she has provided on and together with this application is correct and accurate to the best of his/her knowledge and belief. The Applicant also certifies that existing deed restrictions or

covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all orders, resolutions, codes, conditions, rules, regulations and ordinances pertaining to the use of the above-described property will be complied with. The Applicant further certifies that he/she has read all of the above and the Guide to Preparation of Application for Board of Zoning Adjustment and will comply therewith, understanding that failure to do so may result in a denial of the request or administrative dismissal of the application.

Dated this 1st day of December, 2004.



GARY HESS



NANCY HESS

## GUIDE FOR PREPARATION OF APPLICATION FOR BOARD OF ZONING ADJUSTMENT

The following information, plus a non-refundable filing fee of \$75.00 and a cost deposit of \$1,000.00, must accompany this application. Make check payable to the "Town of Sewall's Point" in the amount of \$1,075.00. If the costs of processing the application are less than the cost deposit, the applicant will receive a refund of the difference. If the costs are more than the cost deposit, the applicant will be billed for and expected to pay the additional amount.

- 1 This application must be completely filled in with all necessary papers attached, and NINE (9) COPIES submitted with the above fee and cost deposit to the Town Clerk at Sewall's Point Town Hall. An incomplete package will not be accepted. Please type or print clearly.
2. Applicant must submit proof of ownership (recorded deed copy).
3. Applicant may appear at the hearing in person or by duly authorized attorney at law. No other agent may appear on behalf of the applicant.
- 4 Applicant must submit a plot plan or site survey certified by a registered land surveyor showing the actual dimensions of the lot; the exact sizes and locations on the lot of buildings already existing, and their distances from the nearest property lines, the intended location and dimensions of any proposed structure(s) and their distances from the nearest property lines; the width of the lot on the street or streets upon which the lot fronts or abuts, if relevant to the application; and such other information as may be necessary to exactly describe and detail the variance requested. A photo reduced copy of the recorded Plat of the subdivision in which the subject property is located, in 8 1/2" x 11" or 8 1/2" x 14" size, must be attached to the application. This document may be obtained at local Title Insurance Companies or at Town Hall.
5. A Statement of Benefits for the granting of the request shall be supplied by the applicant which includes the reasons and circumstances for the request. The Statement of Benefits shall address and demonstrate satisfaction of the six enumerated criteria listed on the Application form.
- 6 Applicant must furnish, together with the application, a certified list of all property owners of record of real property within 300 feet of any part of the subject property, with the list of owners certified by one of the following: a local Title Insurance Company; applicant's Attorney, who must be a member of the Florida bar; the office of Clerk of Circuit Court of Martin County, Florida; or the office of Property Appraiser of Martin County, Florida.
7. Applicant at his expense must send notification to all property owners of record of real property within 300 feet of any part

of the subject property of the date, time and place of the hearing, what action the Board of Zoning Adjustment is being asked to take, and the reasons for the request, by certified mail, return receipt requested, to be mailed no later than FIFTEEN (15) DAYS PRIOR to the date of the hearing. The white post office dated slips verifying the mailing date of each piece, together with all green receipt cards returned with signatures, shall be furnished to the Town Clerk or the Board of Zoning Adjustment prior to the beginning of the hearing.

8. Notice of public hearing shall be posted by the Town on the property for which Special Exceptions, Variances and Expansion, Replacement or Restoration of Non-Conforming uses are sought, at least 15 days prior to the date of the hearing. The sign will be supplied by the Town Clerk, and its posting will be in a place on the property where it may be seen readily from the front street
9. The letter will follow this form:

Mr. John Doe (name and address of owner of  
19 Main Street adjacent property)  
Stuart, Florida 34996

Re: Legal description of the property as on application,  
(accompanied by a location map)

Dear Mr. Doe:

Please be advised as owners of property within 300 feet of the above-described property, you are hereby, in accordance with the provisions of the Town Code of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the \_\_\_\_\_ day of \_\_\_\_\_, 199\_, at the Sewall's Point Town Hall, by the Sewall's Point Board of Zoning Adjustment to consider the matter of a \_\_\_\_\_ to the existing zoning requirements according to the Sewall's Point Ordinance Section \_\_\_\_\_.

A copy of the Statement of Benefits which has been submitted to the Board of Zoning Adjustment is enclosed.

This application is being made to the Board of Zoning Adjustment in order to allow (insert specifics of the request exactly as you are making the request to the Board of Zoning Adjustment in such language as to make clear what is presently required by ordinances and what specific relief you request; where dimensions are involved, attach a drawing showing dimensions).

You are invited to attend and be heard or to write in care of the Sewall's Point Board of Adjustment, 1 South Sewall's Point Road, Stuart, FL 34996.

Sincerely,  
(signature)

**EXHIBIT "A"**  
**GRANTEE'S PROPERTY**

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29°47'00" East along the centerline of Sewall's Point Road 117.77 feet; thence continue South 29°47'00" East along said centerline a distance of 117.77 feet to the South line of the lands now owned by E. Clinton Towl; thence run South 89°26'00" East along the South line of lands of E. Clinton Towl a distance of 252.18 feet to the Point of Beginning; thence run North 31°42'20" West a distance of 120.00 feet; thence run South 89°21'48" East a distance of 252 feet, more or less, to the waters of the Indian River; thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89°26'00" East from the point of beginning; thence run North 89°26'00" West along said line a distance of 248 feet, more or less, to the point of beginning.

## EXHIBIT "B"

### HESS VARIANCE SETBACKS

	Required	Actual	Variance
<b><u>WATERFRONT</u></b>			
Wood Deck	50'	45 6'	4 4'
	50'	46 4'	3 6'
	50'	48 5'	1 5'
<b><u>SIDE</u></b>			
<b><u>South</u></b>			
Pool	15'	12 4'	2 60'
Deck	15'	2 85'	12 15'
Pool Equipment	15'	5 06'	9 94'
<b><u>North</u></b>	15'	13 92'	1 08'
<b><u>FRONT</u></b>			
Garage	50'	40 1'	9 90'



Prepared By: Matthew F. Mc  
Fast Title, Inc.  
27 Macomber Boulevard  
Stuart, FL  
incidental to the issuance of a title insurance policy  
File Number 188 1999-02  
Parcel ID # 253710000000265  
Original \$50

OK BK 01633 PG 2422  
RECORDED 04/02/2002 04:14 PM  
NORTH COUNTY  
NORTH COUNTY Florida  
DOC TAX 2,852.50  
RECORDED BY L. Wood

### WARRANTY DEED

This WARRANTY DEED, dated 03/29/2002 by Andrew F. Greene, a single person whose post office address is: 725 E. Osceola Street, Stuart, LA 34904 hereinafter called the GRANTOR, to Gary Hess and Nancy Hess, his wife whose post office address is: 74 N. Sewalls Point Road Stuart FL 34996 hereinafter called the GRANTEE

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH, That the GRANTOR, for and in consideration of the sum of \$10 00 and other valuable considerations, except whereof is hereby acknowledged, hereby grants, bargains, sells, alien, remises, releases, conveys and confirms unto the GRANTEE, all that certain land situate in Martin County, Florida, viz:

See Exhibit "A" attached hereto

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2001.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining

TO HAVE AND TO HOLD, the same in fee simple forever.

AND THE GRANTOR hereby covenants with said GRANTEE that except as above noted, the GRANTOR is lawfully seized of said land in fee simple, that the GRANTOR has good right and lawful authority to sell and convey said land, that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whatsoever

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:

Signature: [Handwritten Signature]  
Print Name: GERALD C. GREENE  
Signature: [Handwritten Signature]  
Print Name: BRUCE H. MONTGOMERY

[Handwritten Signature]  
Andrew F. Greene

*Legal sent*

State of Florida  
County of Martin

THE FOREGOING INSTRUMENT was sworn and acknowledged before me on March 29, 2002 by: Andrew F. Greene, a single person, who is personally known to me or who has produced His Oath Book as identification.

Signature: [Handwritten Signature]  
Print Name: Matthew F. Mc Charles E. Geary

Notary Public State of Florida  
CHARLES E GEARY  
Commission # CC742744  
Expires 8/29/2002

PARCEL "B"

Parcel B-1

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117.77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117.77 feet to the South line of the lands now owned by E. Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E. Clinton Towl a distance of 252.18 feet to the Point of Beginning; thence run North 31 degrees 42'20" West a distance of 120.00 feet; thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River; thence run Southeastly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning; thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning.

Together with a non-exclusive easement for ingress, egress, utilities and drainage purposes over, through, under and across the following described parcel:

Parcel B-2

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117.77 feet for a point of beginning; thence continue South 29 degrees 47'00" East along said centerline a distance of 23.19 feet; thence run South 89 degrees 21'48" East a distance of 248.32 feet; thence run North 31 degrees 42'20" West a distance of 23.67 feet; thence run North 89 degrees 21'48" West a distance of 247.40 feet to the Point of Beginning.



A

VARIANCE APPLICATION  
Gary and Nancy Hess  
74 North Sewall's Point Road

**CERTIFIED LIST OF ALL PROPERTY OWNERS  
WITHIN 300' OF THE PROPERTY**

*TO BE SUPPLIED*

## STATEMENT OF BENEFITS

Gary Hess and Nancy Hess purchased the property located at 74 North Sewall's Point Road in March of 2002

The house that is located upon this property was originally constructed in 1973 and the pool was built shortly thereafter. Other than cosmetic changes, this residence is essentially unchanged since the early 1970s. The Town file on this property indicates that all appropriate permits were obtained at the time of construction.

The survey of this property by Stephen Brown in August of this year indicates certain setback violations along the north, south, rear and front property lines.

The setback violation along the rear, or waterfront, property line is relatively minor and is created by the steps and the wooden deck leading to the waterfront.

The setback violation along the north property line is slightly more than one foot and is created by a cantilevered second floor of the house. It appears that this setback violation has existed since the house was originally built.

The setback violation along the south property line consists of the pool and the wood deck surrounding the pool. The pool setback violation has existed since the construction of the house and it appears that the wood deck was not considered to be subject to the setback regulations at the time it was built.

In 1994, the owners of the Hess property obtained the permission of the Town of Sewall's Point to separate the large portion of the property on Sewall's Point Road from the waterfront portion of the property. The conveyance of this property created a setback violation with respect to the one-story wood-frame garage located upon the property. This garage was constructed in the early 70s as part of the initial construction of the house, however, the conveyance of the street front property created the need for a variance with respect to the garage.

The improvements located upon the Hess property were legally permitted and built in the early 1970s. At the time of the construction of this house, it is apparent that all parties involved, including the Town, felt that all structures on the property complied with the Town requirements.

At the present time, Mr. and Mrs. Hess simply want to maintain the status quo with respect to these various setback encroachments. These special conditions and circumstances are peculiar to this property and Mr. and Mrs. Hess did not create these circumstances and do not intend to exacerbate these circumstances. Maintenance of the existing status quo will not confer on Mr. and Mrs. Hess any special privilege that is denied to other buildings or land in this zoning district. A literal interpretation of the provisions of the current zoning ordinance would deprive Mr. and Mrs. Hess of rights commonly enjoyed by other properties in this district since many houses in Sewall's Point have minor setback violations, yet they were permitted at the time they were built. With the existing improvements already in place, the granting of these variances are the minimum variances that would make possible the continued reasonable use of this property.

# PT Prestige title agency, inc.

736 colorado avenue stuart florida 34994 phone (772) 283 5590 fax (772) 283-5699

December 15, 2004

- Ownership Search -

Prepared For McCarthy, Summers, Bobko, Wood, Sawyer & Perry PA

We hereby certify that a search has been made of the Martin County Property Appraiser's records regarding a 300 foot area surrounding the following described parcel of land

SEE EXHIBIT "A" ATTACHED HERETO & MADE A PART HEREOF

TAX ID 35-37-41-000-000-00261-6-0000  
OWNER Gary Hess and Nancy Hess  
ADDRESS 74 N Sewall's Pt. Rd.  
Stuart FL 34996

The apparent property owners of land surrounding the above referenced property are as follows (See attached).

  
Karen Rae Hyche  
President

# TP Prestige title agency, inc.

736 colorado avenue stuart florida 34994 phone (772) 283 5590 fax (772) 283-5699

## OWNERSHIP REPORT

SEARCH NO. P04-8980/KRH

THE ATTACHED REPORT IS ISSUED TO MCCARTHY, SUMMERS, BOBKO, WOOD, SAWYER & PERRY PA. THE ATTACHED REPORT MAY NOT BE RELIED ON BY ANY OTHER PARTY. NO LIABILITY IS ASSUMED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY FOR ANY UNAUTHORIZED USE OR RELIANCE. THIS OWNERSHIP REPORT IS ISSUED PURSUANT TO FLORIDA STATUTE SECTION 627.7843 AND LIABILITY HEREUNDER FOR INCORRECT INFORMATION IS LIMITED TO THE SUM OF \$1,000.00.

The attached Report prepared in accordance with the instructions given by the user named above includes a listing of the owner(s) of a 300 foot area surrounding subject property. It is the responsibility of the party named above to verify receipt of each document listed. If a copy of any document listed is not received, the office issuing this Report must be contacted immediately. This Report does not include easements, restrictions, notices or other documents not listed above.

This Report does not insure or guarantee the validity or sufficiency of any document attached nor is it to be considered a title insurance policy, an opinion of title, a guarantee of title or as any other form of guarantee or warranty of title. This Report shall not be used for the issuance of any title insurance policy or form.

Use of the term "Report" herein refers to this Ownership Report and the documents attached hereto.

The land referred to herein is described as follows:

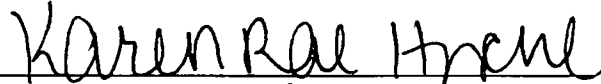
SEE EXHIBIT "A" ATTACHED HERETO & MADE A PART HEREOF.

### PRESTIGE TITLE AGENCY, INC.

736 Colorado Avenue

Stuart FL 34994

By



Karen Rae Hyché

EXHIBIT "A"

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117.77 feet; thence continue South 29 degrees 47'00" East along said centerline a distance of 117.77 feet to the South line of the lands now owned by E. Clinton Towl; thence run South 89 degrees 26'00" East along the South line of the lands of E. Clinton Towl a distance of 252.18 feet to the Point of Beginning; thence run North 31 degrees 42'20" West a distance of 120.00 feet; thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning; thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning.



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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### Summary

Owner  
1 of 2

#### Parcel Info

##### Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00261-6	74 N SEWALL'S POINT RD	9398	Owner	0	1

##### Summary

**Property Location** 74 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9398  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193000  
**Acres**

##### Legal Description

**Property Information**  
 COM N/LN GOVT LOT 3 & C/LN  
 SEWALL'S PT RD, SELY ALG C/LN  
 235 54', ELY 252 18' TO POB,

##### Owner Information

**Owner Information**  
 HESS, GARY & NANCY

##### Mail Information

74 N SEWALL'S PT RD  
 STUART FL 34996

##### Assessment Info

**Front Ft** 1 00

**Market Land Value** \$478,400  
**Market Impr Value** \$203,850  
**Market Total Value** \$682,250

#### Search By

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

#### Site Functions

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

##### Recent Sale

**Sale Amount** \$407,500

**Sale Date** 3/29/2002  
**Book/Page** 1633/ 2422

Subject property





Prepared By Marianne F Messersmith  
Fast Title, Inc.  
27 East Ocean Boulevard  
Stuart, FL  
incidental to the issuance of a title insurance policy  
File Number 169-mm-02  
Parcel ID # 353710000000261  
Grantee(s) SS #

INSTR # 1562842  
OR BK 01633 PG 2422  
RECORDED 04/02/2002 04:18 PM  
MARSHA EWING  
MARTIN COUNTY Florida  
DOC TAX 2,852.50  
RECORDED BY L Wood

## WARRANTY DEED

This WARRANTY DEED, dated 03/29/2002 by Andrew F Greene, a single person whose post office address is 725 E Osceola Street, Stuart, LA 34994 hereinafter called the GRANTOR, to Gary Hess and Nancy Hess, his wife whose post office address is 74 N Sewalls Point Road Stuart FL 34996 hereinafter called the GRANTEE

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations )

WITNESSETH That the GRANTOR, for and in consideration of the sum of \$10 00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remuses, releascs, conveys and confirms unto the GRANTEE, all that certain land situate in Martin County, Florida, viz

See Exhibit "A" attached hereto

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2001.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining

TO HAVE AND TO HOLD, the same in fee simple forever

AND THE GRANTOR hereby covenants with said GRANTEE that except as above noted, the GRANTOR is lawfully seized of said land in fee simple, that the GRANTOR has good right and lawful authority to sell and convey said land, that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

Signature Gerald C. Dreyer  
Print Name GERALD C. DREYER  
Signature William P. Miller  
Print Name WILLIAM P. MILLER

Andrew F. Greene  
Andrew F. Greene

State of Florida  
County of Martin

THE FOREGOING INSTRUMENT was sworn and acknowledged before me on March 29, 2002 by Andrew F Greene, a single person, who is personally known to me or who has produced Fla. Drivers license as identification

Signature Charles E. Geary  
Print Name Marianne F. Messersmith Charles E. Geary

Notary Public State of Florida  
CHARLES E GEARY  
Commission # CC742744  
Expires 8/29/2002

PARCEL "B"

Parcel B-1

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning; thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning.

Together with a non-exclusive easement for ingress, egress, utilities and drainage purposes over, through, under and across the following described parcel

Parcel B-2

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet for a point of beginning, thence continue South 29 degrees 47'00" East along said centerline a distance of 23 19 feet, thence run South 89 degrees 21'48" East a distance of 248 32 feet, thence run North 31 degrees 42'20" West a distance of 23 67 feet, thence run North 89 degrees 21'48" West a distance of 247 40 feet to the Point of Beginning



" A "



**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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**Summary**

Parcel ID 36 of 41

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00263-4	N SEWALL'S POINT RD	9400	Parcel ID	0	0

**Summary**

**Property Location** N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9400  
**Land Use** 100 0000 Vacant Residential  
**Neighborhood** 120700  
**Acres**

**Legal Description**

**Property Information**  
 COM N/LN GOVT LOT 3 & C/LN  
 SEWALL'S PT RD, SELY ALG C/LN  
 117 77' TO POB, CONT SELY

**Owner Information**  
**Owner Information**  
 JOYCE, JAMES V (TR)

**Mail Information**  
 1000 W CLARENDON RD  
 ARLINGTON HEIGHTS IL 60004-4508

**Assessment Info**  
**Front Ft** 0 00

**Market Land Value** \$184,280  
**Market Impr Value** \$0  
**Market Total Value** \$184,280

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**  
**Sale Amount** \$675,000

**Sale Date** 10/13/2004  
**Book/Page** 1633/ 2424

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

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**Summary**

Parcel ID 32 of 41

**Parcel Info**

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order Parcel ID	Commercial	Residential
35-37-41-000-000-00251-8	80 N SEWALL'S POINT RD	9396		0	1

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Summary**

**Property Location** 80 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9396  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193000  
**Acres**

**Legal Description**

**Property Information**  
 SEC 35-37-41, THAT PORTION OF GOVT LOT 2 (LESS S 2') LYING E OF SEWALL'S PT RD & S OF

**Owner Information**

**Owner Information**  
 STEARNS, GORDON W & MARGARET A

**Mail Information**

80 N SEWALLS POINT RD  
 STUART FL 34996

**Assessment Info**

Front Ft 100

**Market Land Value** \$644,000  
**Market Impr Value** \$266,840  
**Market Total Value** \$910,840

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**

**Sale Amount** \$450,000

**Sale Date** 12/29/1998  
**Book/Page** 1360/ 0360

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

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**Summary**

Parcel ID 33 of 41

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00260-7	75 N SEWALL PT RD	9397	Parcel ID	0	2

**Summary**

**Property Location** 75 N SEWALL PT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9397  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193195  
**Acres**

**Legal Description**

**Property Information**  
 N 200 7' PERP OF GOV LOT 3 W OF SEWALL'S PT RD (LESS ELY 2' R/W PER OR 1100/1774)

**Owner Information**

**Owner Information**  
 WILMINGTON TRUST OF FL & OBERSHEIMER, HELENA TOWL

**Mail Information**

800 SE MONTEREY COMMONS BLVD  
 STE 100  
 STUART FL 34996-3346

**Assessment Info**

Front Ft

**Market Land Value** \$2,050,000  
**Market Impr Value** \$13,060  
**Market Total Value** \$2,063,060

**Recent Sale**

**Sale Amount** \$100

**Sale Date** 9/17/1992  
**Book/Page** 0976/ 2658

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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**Summary**

Parcel ID 35 of 41

**Parcel Info Summary**

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00262-5	78 N SEWALL'S PT RD	9399	Parcel ID	0	1

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

**Summary**

**Property Location** 78 N SEWALL'S PT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9399  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193000  
**Acres**

**Legal Description**

**Property Information**  
 SEC 35-37-41, N 117 77' OF GOVT  
 LOT 3 & S 2 32' OF GOVT LOT 2,  
 ALL AS MSD ALG SEWALL'S PT RD &

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Owner Information**

**Owner Information**  
 SHAW, RICHARD A & MIMI L

**Mail Information**

78 SEWALLS PT RD  
 STUART FL 34996

**Assessment Info**

Front Ft 1 00

**Market Land Value** \$552,000  
**Market Impr Value** \$196,040  
**Market Total Value** \$748,040

**Site Functions**

**Property Search**

- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**

**Sale Amount** \$1,200,000

**Sale Date** 9/9/2004  
**Book/Page** 1937 0707

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

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**Summary**

Parcel ID 37 of 41

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00270-5	73 N SEWALL'S POINT RD	9401	Parcel ID	0	2

**Summary**

**Property Location** 73 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9401  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193195  
**Acres**

**Legal Description**

**Property Information**  
 N 162' OF S 1076 7' OF GOV LOT 3  
 W OF RD

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Owner Information**

**Owner Information**  
 SHARFI, BENJAMIN K

**Mail Information**

73 N SEWALLS POINT RD  
 STUART FL 34996

**Assessment Info**

Front Ft 1 00

**Market Land Value** \$1,944,000  
**Market Impr Value** \$631,890  
**Market Total Value** \$2,575,890

**Site Functions**

**Property Search**

- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**

**Sale Amount** \$0

**Sale Date** 8/3/2004  
**Book/Page** 1730/ 1209

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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**Summary**

Parcel ID  
 38 of 41

**Parcel Info**

- Summary**
- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00293-8		9403	Parcel ID	0	0

**Summary**

**Property Location**

**Tax District** 2200 Sewall's Point  
**Account #** 9403  
**Land Use** 100 0000 Vacant Residential  
**Neighborhood** 193000  
**Acres**

**Legal Description**

**Property Information**  
 START AT N/LN OF N 140' OF S  
 1,076 7' OF GOV LOT 3 & E RW OF  
 SEWALL'S POINT RD RUN ELY

**Owner Information**  
**Owner Information**  
 SEMENTA, ANTONIO

**Mail Information**  
 76 PARK AVE  
 MALVERNE NY 11565

**Assessment Info**  
**Front Ft** 1 00

**Market Land Value** \$690,000  
**Market Impr Value** \$0  
**Market Total Value** \$690,000

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**  
**Sale Amount** \$0

**Sale Date** 6/24/1998  
**Book/Page** 1331 1283







# Martin County, Florida

## Laurel Kelly, C.F.A

Site Provided by  
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### Summary

Parcel ID 1 of 11

#### Parcel Info Summary

Parcel ID	Unit Address	Serial Index ID	Order Parcel ID	Commercial	Residential
35-37-41-005-000-00010-5		9527		0	0

- Land
- Residential Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

#### Summary Property Location

**Tax District** 2200 Sewall's Point  
**Account #** 9527  
**Land Use** 989 8900 Muni other than prev  
 cvrd  
**Neighborhood** 120700  
**Acres**

#### Search By Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Legal Description**  
**Property Information**  
 QUAIL RUN LOT 1

**Owner Information**  
**Owner Information**  
 SEWALL'S POINT, TOWN OF

**Mail Information**  
 1 SEWALL'S POINT RD  
 STUART FL 34996-6640

#### Site Functions

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Assessment Info**  
 Front Ft 0 00

**Market Land Value** \$102,380  
**Market Impr Value** \$0  
**Market Total Value** \$102,380

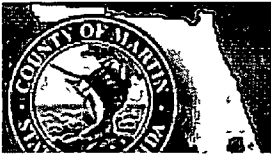
**Recent Sale**  
**Sale Amount** \$55,000

**Sale Date** 6/17/1999  
**Book/Page** 1402 0728

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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**Summary**

Parcel ID 1 of 4

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

**Parcel ID**      **Unit Address**

35-37-41-009-  
000-00010-1

**Serial Index**  
**ID**      **Order**  
9589      Parcel  
ID

**Commercial**      **Residential**

0                      0

**Summary**

**Property Location**

**Tax District**            2200 Sewall's Point  
**Account #**              9589  
**Land Use**                100 0000 Vacant Residential  
**Neighborhood**        120700  
**Acres**

**Legal Description**

**Property Information**  
 MINOR SUBDIVISION ONE (PANORA)  
 LOT A

**Owner Information**

**Owner Information**  
 MIRAGLIA, VINCENT P

**Mail Information**

2398 SE OCEAN BLVD STE A  
 STUART FL 34996

**Assessment Info**

**Front Ft** 0 00

**Market Land Value** \$136,500  
**Market Impr Value**        \$0  
**Market Total Value** \$136,500

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**

**Sale Amount** \$46,500

**Sale Date** 12/8/1998  
**Book/Page** 1355 0008

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

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### Summary

Parcel ID 2 of 4

#### Parcel Info Summary

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-009-000-00020-9		9590	Parcel ID	0	0

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes =>
- Assessments =>
- Parcel Map =>

#### Summary

#### Property Location

**Tax District** 2200 Sewall's Point  
**Account #** 9590  
**Land Use** 100 0000 Vacant Residential  
**Neighborhood** 193000  
**Acres**

#### Legal Description

**Property Information**  
 MINOR SUBDIVISION ONE (PANORA)  
 LOT B

#### Search By Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map =>

#### Owner Information

**Owner Information**  
 MIRAGLIA, VINCENT P

#### Mail Information

2398 SE OCEAN BLVD  
 STUART FL 34996

**Assessment Info**  
 Front Ft. 1 00

**Market Land Value** \$690,000  
**Market Impr Value** \$0  
**Market Total Value** \$690,000

#### Site Functions

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**  
**Sale Amount** \$135,000

**Sale Date** 12/8/1998  
**Book/Page** 1355 0011





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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**Summary**

Parcel ID  
 3 of 4

**Parcel Info**  
**Summary**

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-009-000-00030-7		9591	Parcel ID	0	0

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

**Summary**

**Property Location**

**Tax District** 2200 Sewall's Point  
**Account #** 9591  
**Land Use** 100 0000 Vacant Residential  
**Neighborhood** 120700  
**Acres**

**Legal Description**

**Property Information**  
 MINOR SUBDIVISION TWO (PANORA)  
 LOT C

**Search By**  
**Parcel ID**

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Owner Information**

**Owner Information**  
 MIRAGLIA, VINCENT P

**Mail Information**

66 N SEWALL'S POINT RD  
 STUART FL 34996

**Assessment Info**

Front Ft 0 00

**Market Land Value** \$136,500  
**Market Impr Value** \$0  
**Market Total Value** \$136,500

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**

**Sale Amount** \$100

**Sale Date** 3/3/1989  
**Book/Page** 0801 2433





Martin County, Florida  
Laurel Kelly, C.F.A

Site Provided by  
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### Summary

Parcel ID 4 of 4

#### Parcel Info

- Summary
- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-009-000-00040-5	66 N SEWALL'S POINT RD	9592	Parcel ID	0	1

#### Summary

**Property Location** 66 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9592  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193000  
**Acres**

#### Legal Description

**Property Information**  
 MINOR SUBDIVISION TWO (PANORA)  
 LOT D

#### Owner Information

**Owner Information**  
 MIRAGLIA, VINCENT P

#### Mail Information

66 N SEWALL'S POINT RD  
 STUART FL 34996

#### Assessment Info

**Front Ft** 1 00

**Market Land Value** \$713,000  
**Market Impr Value** \$341,500  
**Market Total Value** \$1,054,500

#### Search By

- Parcel ID
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

#### Site Functions

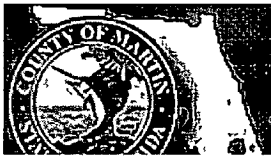
- Property Search
- Feedback
- On-Line Help
- Home
- County Login

#### Recent Sale

**Sale Amount** \$100

**Sale Date** 3/3/1989  
**Book/Page** 0801 2433





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
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**Summary**

Parcel ID 2 of 3

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-001-000-00020-7	84 N SEWALLS POINT RD	9408	Parcel ID	0	1

**Summary**

**Property Location** 84 N SEWALLS POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9408  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193000  
**Acres**

**Legal Description**

**Property Information**  
 CAPTAIN'S COVE, LOT 2

**Search By**

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

**Owner Information**  
**Owner Information**  
 HANAN, SARA F

**Mail Information**  
 84 NO SEWALLS PT RD  
 STUART FL 34996

**Assessment Info**  
 Front Ft 1 00

**Market Land Value** \$515,200  
**Market Impr Value** \$196,320  
**Market Total Value** \$711,520

**Site Functions**

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**  
**Sale Amount** \$800

**Sale Date** 11/7/2002  
**Book/Page** 1700 2132

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004





# Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by  
governmentmax com T14

## Summary

Parcel ID  
3 of 3

### Parcel Info Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Transfer
- Taxes →
- Assessments →
- Parcel Map →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-001-000-00030-5	82 N SEWALL'S POINT RD	9409	Parcel ID	0	1

### Summary

**Property Location** 82 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9409  
**Land Use** 101 0100 Single Family  
**Neighborhood** 193000  
**Acres**

**Legal Description**  
**Property Information**  
 CAPTAIN'S COVE, LOT 3

**Owner Information**  
**Owner Information**  
 NAEGELE, RUTH M (TR) &  
 NAEGELE, ROBERT J (TR)

**Mail Information**  
 82 N SEWALL'S POINT RD  
 STUART FL 34996

**Assessment Info**  
**Front Ft** 1 00

**Market Land Value** \$644,000  
**Market Impr Value** \$317,240  
**Market Total Value** \$961,240

### Search By Parcel ID

- Owner
- Address
- Account #
- Use Code
- Legal Description
- Sales
- Neighborhood
- Map →

### Site Functions

- Property Search**
- Feedback
- On-Line Help
- Home
- County Login

**Recent Sale**  
**Sale Amount** \$210,000

**Sale Date** 12/27/1991  
**Book/Page** 0940 0057

Legal disclaimer / Privacy Statement

Data updated on 11/29/2004



James V Joyce (Tr)  
1000 W Clarendon Rd  
Arlington Heights IL 60004-4508

Gordon W & Margaret A Stearns  
80 N Sewalls Point Rd  
Stuart FL 34996

Helena Towl Obersheimer  
800 SE Monterey Commons Blvd  
Ste 100  
Stuart FL 34996-3346

Richard A & Mimi L Shaw  
78 Sewalls Pt Rd  
Stuart FL 34996

Benjamin K Sharfi  
73 N Sewalls Point Rd  
Stuart FL 34996

Antonio Sementa  
76 Park Ave  
Malverne NY 11565

Town of Sewall's Point  
1 Sewall's Point Rd  
Stuart FL 34996-6640

Vincent P Miraglia  
2398 SE Ocean Blvd Ste A  
Stuart FL 34996

Vincent P Miraglia  
2398 SE Ocean Blvd  
Stuart FL 34996

Vincent P Miraglia  
66 N Sewall's Point Rd  
Stuart FL 34996

Vincent P Miraglia  
66 N Sewall's Point Rd  
Stuart FL 34996

Sara F Hanan  
84 No Sewalls Pt Rd  
Stuart FL 34996

Ruth M & Robert J Naegele (Tr)  
82 N Sewall's Point Rd  
Stuart FL 34996



*The Law Offices of*  
**Douglas K. Sands, P. A.**  
*Attorney - Mediator - Arbitrator*

---

*Office Address*  
300 Colorado Avenue, Suite 201  
Stuart, Florida 34994  
Phone (772) 287-3930

*Mailing Address*  
P O Box 287  
Stuart, Florida 34995  
Fax (772) 287-3931

December 16, 2004

Terence McCarthy, Esq  
McCarthy, Summers  
2400 S E Federal Highway - Fourth Floor  
Stuart, Florida 34991

By mail and fax to 283-1803

Re Hess variance application to Town of Sewall's Point Board of Zoning Adjustment  
74 North Sewall's Point Road

Dear Terry

In reviewing the application package and Town building file on this property, the following items are noted and requested

- 1 The copy of the deed attached to the application, by grantor ARKS Investments, Ltd , appears not to be for the subject portion of Lot 1, as the same is excepted from the land conveyed by that deed Please forward a copy of the deed conveying the subject property to the applicants
- 2 Paragraph 7 of the Statement of Benefits alleges that the Town gave permission in 1994 for the creation of a minor subdivision of the property Please forward a copy of the authorizing Resolution of the Town Commission
- 3 On September 17, 2002, the Town Commission passed Resolution 577 This authorized the demolishing of the garage and construction of a two story guest house, with conditions It would have required a minimum of 100 feet of front setback to the proposed guest house, which is not possible with a subdivision of the property The Resolution refers to a unity of title having been previously recorded in the public records Please forward a copy of the unity of title document, and any subsequent documents affecting it
- 4 Pursuant to Section 82-423(e) of the Town Code, entrance steps are treated separately from the structure and may project into a required yard setback area a distance not to exceed five feet The distance from the mean high water line to the rear deck steps, at 45 6 and 46 4 feet, indicate that the steps are in compliance (50-5=45 feet minimum distance) and a variance for the steps, in my opinion, would not be required
- 5 Although the steps appear to be in compliance, the survey setback envelope lines show that the wood deck itself encroaches into the rear yard by 1 5 feet , measuring 48 5 feet from the mean high water line This should be addressed as an element in the application

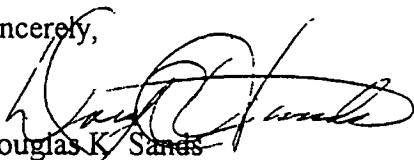
Mr Sands letter to Mr McCarthy  
Re Hess variance application  
December 16, 2004  
Page 2

6 The distance for the pool equipment pad from the south property line shown on the survey is 5 06 feet, and on the matrix Exhibit "B" is listed as 5 05 feet. This discrepancy on Exhibit "B" should be corrected

7 The Application on page 1 references Code section 82-274(3) which I believe should be (5)

I will await your reply before processing the application further Thanks for your assistance

Sincerely,



Douglas K. Sands  
Attorney for Board of Zoning Adjustment  
DKS/sd

**McCarthy, Summers, Bobko, Wood, Sawyer & Perry, P.A.**  
**Attorneys at Law**

Kathryn C Bass  
Noel A Bobko  
Nicola Jaye Boone\*  
Mark A Broderick  
Terence P McCarthy\*\*  
Kenneth A Norman  
Steven L Perry  
Thomas R Sawyer\*\*  
Rose D Schneider  
Jane F Strike  
Robert P Summers\*\*  
Patricia I Taylor  
Steven J Wood\*\*\*

Monterey Triangle  
2400 S E Federal Highway • Fourth Floor  
Stuart, FL 34994

Tel 772 286-1700  
Fax 772 283-1803

John D McKey, Jr  
Of Counsel

E-Mail [info@mcsumm.com](mailto:info@mcsumm.com)  
[www.McCarthySummers.com](http://www.McCarthySummers.com)  
Personal Email [dad@mcsumm.com](mailto:dad@mcsumm.com)

\*Board Certified Elder Law Lawyer  
\*\*Board Certified Real Estate Lawyer  
\*\*\*Board Certified Wills, Trusts &  
Estates Lawyer

To:  
Doug  
INFO

December 20, 2004

**VIA HAND DELIVERY**

Town of Sewall's Point  
Board of Zoning Adjustment  
1 Sewall's Point Road  
Stuart, FL 34996

Re ***Variance Application Gary and Nancy Hess***  
***74 North Sewall's Point Road***

Ladies and Gentlemen

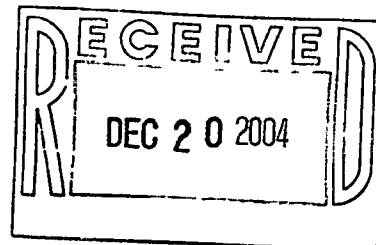
Enclosed, in supplement to the Variance Application package delivered to the Town on December 2, 2004, by this office, please find the original Certified List of Property Owners

Please advise if you need anything further

Very truly yours,



Donna Dempsey, Legal Assistant to  
Terence P McCarthy  
TPMadd  
Enclosure  
TSP BZA Variance Submission wpd



*The Law Offices of*  
**Douglas K. Sands, P. A.**  
*Attorney - Mediator - Arbitrator*

*Office Address*  
300 Colorado Avenue, Suite 201  
Stuart, Florida 34994  
Phone (772) 287-3930

*Mailing Address*  
P O Box 287  
Stuart, Florida 34995  
Fax (772) 287-3931

January 14, 2005

**MEMORANDUM**

TO           JOAN BARROW, CLERK, TOWN OF SEWALL'S POINT  
FROM        BOARD OF ZONING ADJUSTMENT ATTORNEY  
RE           Hess variance application - 74 South Sewall's Point Road



Joan, enclosed is a copy of my December 16, 2004 letter to the applicant's attorney, Terry McCarthy. Please put it in the Hess variance file.

To date I have not received the items requested in my letter. I am told that they are in old files and being searched for. The variance hearing is on hold pending a determination if the minor subdivision alleged in the application to have been done in 1994 actually was approved by the Town Commission. You recall we looked for it in the Commission Resolution file without success.

Thanks for your assistance.

DKS/sd  
Enc

**McCarthy, Summers, Bobko, Wood, Sawyer & Perry, P.A.**  
**Attorneys at Law**

Kathryn C Bass  
Noel A Bobko  
Nicola Jaye Boone\*  
Mark A. Broderick  
Terence P McCarthy\*\*  
Kenneth A Norman  
Steven L Perry  
Thomas R. Sawyer\*\*  
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Tel 772 286-1700  
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John D McKey, Jr  
Of Counsel

E-Mail [info@mcsumm.com](mailto:info@mcsumm.com)  
[www.McCarthySummers.com](http://www.McCarthySummers.com)  
Personal Email [dad@mcsumm.com](mailto:dad@mcsumm.com)

\*Board Certified Elder Law Lawyer  
\*\*Board Certified Real Estate Lawyer  
\*\*\*Board Certified Wills, Trusts &  
Estates Lawyer

January 26, 2005

**VIA HAND DELIVERY**

Douglas K Sands, Esq  
300 Colorado Avenue  
Suite 201  
Stuart, FL 34994

Re *Hess Variance Request*

Dear Mr Sands

Pursuant to your correspondence to me, dated December 16, 2004 and our recent office conference, please find the following

1 Copy of the deed conveying the subject property from Andrew P Greene to Gary Hess and Nancy Hess, the Applicants

2 Contrary to my Statement of Benefits, (my memory from 10 years ago isn't what it used to be), the subject property was actually a reconfiguration of lots of record that was approved by the Town in March of 1995 I enclose herewith correspondence from the Town, dated March 22, 1995 I have back-up documentation from my file at that time concerning this matter if you would like to review it This reconfiguration of the lots of record is what brought about the Town's request for a unity of title I have revised my Statement of Benefits to correct this error, ten copies enclosed

3 Unity of Title referenced in Resolution #577

4 I spoke with Gene Simmons and he feels that these are not the entry steps to the house and are therefore subject to the setback requirements

5 I have revised the matrix in Exhibit "B" to show the additional encroachment of the wood deck referred to in item #5 of your above-referenced correspondence

Douglas K Sands, Esq  
January 26, 2005  
Page 2

6 I have revised the matrix in Exhibit "B" to correct the discrepancy in the pool equipment pad referenced in item #6 of your above-referenced correspondence

7 I have corrected the reference to Code section 82-274(5) per item #7 of your above-referenced correspondence

8 Revised survey from Stephen J Brown, Inc reflecting the actual waterfront parcel in question, along with the access easement thereto (10 copies)

Please let me know if you need anything further

Very truly yours,



Terence P McCarthy  
TPM/dd

Enclosures

**McCarthy, Summers, Bobko, Wood, Sawyer & Perry, P.A.**  
**Attorneys at Law**

Kathryn C Bass  
Noel A Bobko  
Nicola Jaye Boone\*  
Mark A Broderick  
Terence P McCarthy\*\*  
Kenneth A Norman  
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John D McKey, Jr  
Of Counsel

E-Mail [info@mcsumm.com](mailto:info@mcsumm.com)  
[www.McCarthySummers.com](http://www.McCarthySummers.com)  
Personal Email [dad@mcsumm.com](mailto:dad@mcsumm.com)

\*Board Certified Elder Law Lawyer  
\*\*Board Certified Real Estate Lawyer  
\*\*\*Board Certified Wills, Trusts &  
Estates Lawyer

February 4, 2005

**VIA HAND DELIVERY**

Douglas K Sands, Esq  
300 Colorado Avenue  
Suite 201  
Stuart, FL 34994

Re *Hess Variance Request*

Dear Mr Sands

Please find the following with respect to the above-referenced matter

- 1 Copy of Unity of Title, dated November 26, 1994 and recorded in OR Book 1119 at Pages 1002-1003
- 2 Copy of Resolution No 129, recorded in OR Book 428, at Pages 539-541
- 3 Copy of Terry McCarthy's letter, dated August 24, 1994 to the Town of Sewall's Point
- 4 Copy of M Lanning Fox's letter, September 26, 1994, to Terry McCarthy
- 5 Copy of M Lanning Fox's letter, November 1, 1994, to Terry McCarthy
- 6 Copy of Tim Wright's letter, dated December 8, 1994, to Commissioner Vincent A Vorrasco at the Town of Sewall's Point


McCARTHY, SUMMERS, BOBKO, WOOD, SAWYER & PERRY. P.A

Douglas K Sands, Esq  
February 4, 2005  
Page 2

7 Copy of the Town of Sewall's Point letter, dated March 22, 1995, to Terry  
McCarthy

Please let me know if you need anything further

Very truly yours,

  
Donna Dempsey, Legal Assistant to  
Terence P McCarthy

Enclosures



*The Law Offices of*  
**Douglas K. Sands, P. A.**  
*Attorney - Mediator - Arbitrator*

*Office Address*  
300 Colorado Avenue, Suite 201  
Stuart, Florida 34994  
Phone (772) 287-3930

*Mailing Address*  
P O Box 287  
Stuart, Florida 34995  
Fax (772) 287-3931

**MEMORANDUM**

March 9, 2005

TO MEMBERS AND ALTERNATES OF THE SEWALL'S POINT  
BOARD OF ZONING ADJUSTMENT

FROM BOARD OF ZONING ADJUSTMENT ATTORNEY 

SUBJECT Variance Application Hess - 74 North Sewall's Point Road  
Scheduled Hearing Date Thursday evening, April 7, 2005

Enclosed is the referenced application. This application has gone through revisions and updates since December when it was filed. I am enclosing copies of all correspondence from Attorney McCarthy's office, but just the latest update of the other materials. All materials are in the file at Town Hall, but if you want a copy, let me know.

The property was originally configured as two lots, one from the Indian River to North Sewall's Point Road, and the other just south of it but fronting on North Sewall's Point Road, and not extending to the river (not shown on this survey, but on an earlier one). In 1994-95, the owners decided to rearrange the two lots, by a metes and bounds description, not a minor subdivision. The theory was that they had two lots to start, and they would end up with two lots. The reconfiguration left the waterfront lot as a separate lot, and the two roadside lots joined together as one lot. This all apparently had the approval of the Town, as can be seen from the enclosed correspondence. This had been very confusing due to a lack of documentation in the town files, and Mr. McCarthy has helpfully provided additional documents from his files. What is at issue for the Board are the setbacks on the riverside lot, with the existing structures.

The following members have indicated they are available to serve on the panel for April 7<sup>th</sup>

Mr. Cifelli    Mr. DeGraff            Mr. Richardson            Mr. Danielson            Mr. Kissling

As of this writing, I do not know if Mrs. Motley will be available as a backup alternate if needed. With Mr. Plymale's resignation from the Board, it is therefore imperative that everyone be in attendance so that we have a quorum.

This matter will be one of two applications scheduled to be heard that evening.

DKS/sd

Copy Town Clerk for file

# NOTICE OF PUBLIC HEARING

## BOARD OF ZONING ADJUSTMENT FOR THE TOWN OF SEWALL'S POINT

### TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN:

You are notified that on **THURSDAY, APRIL 7, 2005, at 7:30 P.M** , or as soon thereafter as it may be heard, at the **SEWALL'S POINT TOWN HALL**, One South Sewall's Point Road, Sewall's Point, Florida, a Hearing will be held by the **SEWALL'S POINT BOARD OF ZONING ADJUSTMENT** for the following purpose

Hearing on the Application of **Gary and Nancy Hess, his wife**, requesting the granting of **variances** to property located at **74 North Sewall's Point Road, Sewall's Point**, Florida 34996 The full legal description is on file at the Town Hall

### **The following variances are requested:**

1 Variances from the 50 foot rear yard setback requirement of Section 82-274(a)(5) of the Sewall's Point Town Code as follows

- a Wood deck steps on the northeast side of residence variance varying from 3 6 feet to 4 4 feet for existing wood deck steps
- b Wood deck on the northeast side of residence variance of 1 5 feet for existing wood deck

2 Variance from the 15 foot side yard setback requirement of Section 82-274(a)(2) of the Sewall's Point Town Code as follows

- c Swimming pool on south side of residence variance of 2 6 feet for the existing pool
- d Wood deck on south side of residence surrounding pool variance of 12 15 feet for existing wood deck
- e Pool equipment pad on south side of residence variance of 9 94 feet for existing pool equipment pad
- f Existing house on north side - variance of 1 08 feet for existing cantilevered second floor of house

3 Variance from the 50 foot front yard setback requirement of Section 82-274(b)(1) for existing one story accessory wood frame garage as follows variance of 9 90 feet for the existing garage

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Florida 34996 The Public is invited to attend

NOTE If a person decides to appeal any decision made by the Board of Zoning Adjustment, with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based

**RICHARD L. BARON**  
Mayor

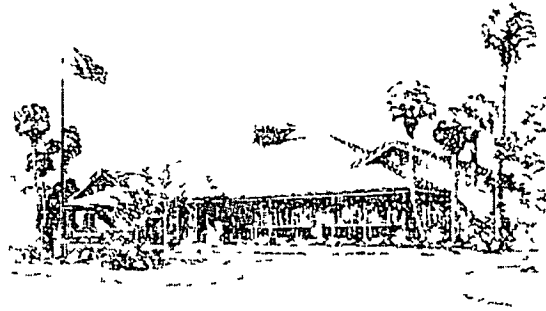
**JON E. CHICKY**  
Vice Mayor

**THOMAS P. BAUSCH**  
Commissioner

**PAMELA M. BUSHA**  
Commissioner

**E. DANIEL MORRIS**  
Commissioner

# TOWN OF SEWALL'S POINT



**JAMES K. McMAHON**  
Town Manager

**JOAN H. BARROW**  
Town Clerk

**LARRY E. McCARTY**  
Chief of Police

**GENE SIMMONS**  
Building Official

**TO** Board of Zoning Adjustment members, the Public

**FROM** Douglas K. Sands, Board Attorney

**SUBJECT** There will be a meeting of the Board of Zoning Adjustment on Thursday, April 7, 2005 at 7:30 PM at the Sewall's Point Town Hall. The public is cordially invited to attend and encouraged to participate.

## A G E N D A

- 1 Call to Order
- 2 Public Hearing on Variance Application of Gary & Nancy Hess, 74 North Sewall's Point Road
- 3 Public Hearing on Variance Application of Adam & Marilyn Horvit and Mary & William Lippish, 18 Riverview Drive
- 4 Old Business
- 5 New Business
- 6 Open to the Public for matters not on the agenda

If any person decides to appeal any decision made by the Board of Zoning Adjustment with respect to any matter considered at such meeting or hearing he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail [police@sewallspoint.martin.fl.us](mailto:police@sewallspoint.martin.fl.us)


*The Law Offices of*  
**Douglas K. Sands, P. A.**  
*Attorney - Mediator - Arbitrator*

*Office Address*  
300 Colorado Avenue, Suite 201  
Stuart, Florida 34994  
Phone (772) 287-3930

*Mailing Address*  
P O Box 287  
Stuart, Florida 34995  
Fax (772) 287-3931

April 21, 2005

**MEMORANDUM**

TO JOAN BARROW, CLERK, TOWN OF SEWALL'S POINT  
FROM BOARD OF ZONING ADJUSTMENT ATTORNEY   
RE Hess Property file - 74 North Sewall's Point Road

In the process of developing the history of this property, the enclosed copies were provided by Attorney McCarthy

Please add these items to the Hess property file at 74 N Sewall's Point Road Recording information is for the Public Records of Martin County, Florida

- 1 Sewall's Point Commission Resolution No 129 dated August 10, 1977
- 2 Three page letter dated August 24, 1994 to Commissioner Vorraso from Attorney Terence McCarthy
- 3 Two page letter dated September 26 1994 to Terence McCarthy from Town Attorney Lanning Fox
- 4 One page letter dated November 1, 1994 to Attorney McCarthy from Lanning Fox
- 5 One page letter dated December 8, 1994 to Commissioner Vorraso from Attorney McCarthy
- 6 One page letter dated December 22, 1994 to Commissioner Vorraso from Town Attorney Tim Wright,
- 7 Unity of Title dated November 26, 1994 recorded in OR Book 1,119, Page 1002
- 8 One page letter dated March 22, 1995 to Attorney McCarthy from Commissioner Vorraso
- 9 Warranty Deed dated 3/29/02 from Arks Investments, Ltd to Gary Hess and Nancy Hess, recorded at OR Book 1633, Page 2424
- 10 Sewall's Point Commission Resolution No 577 dated September 17, 2002
- 11 Quit Claim Deed dated November 7 2002 from Andrew F Greene to Gary Hess and Nancy Hess; recorded at OR Book 1644, Page 393
- 12 Warranty Deed dated September 27, 2004 from Gary and Nancy Hess to James V Joyce, as Trustee, recorded at OR Book 1946, Page 1737
- 13 Easement Agreement dated September 30, 2004 from James V Joyce, as Trustee, to Gary and Nancy Hess, recorded at OR Book 1945, Page 2653 "
- 14 Survey dated 1/6/02 by Stephen J Brown

Thanks  
DKS/sd  
Enc

RICHARD L. BARON  
Mayor

JON E. CHICKY  
Vice Mayor

THOMAS P. BAUSCH  
Commissioner

PAMELA M. BUSHA  
Commissioner

E. DANIEL MORRIS  
Commissioner

# TOWN OF SEWALL'S POINT



JAMES K. McMAHON  
Town Manager

JOAN H. BARROW  
Town Clerk

LARRY E. McCARTY  
Chief of Police

GENE SIMMONS  
Building Official

May 16, 2005

Terrence P. McCarthy  
McCarthy, Summers, Bobko,  
Wood, Sawyer & Perry, P.A.  
2400 S.E. Federal Highway - 4<sup>th</sup> Floor  
Stuart, Florida 34994

Re Gary & Nancy Hess Variances  
74 North Sewall's Point Road

Dear Mr. McCarthy

Enclosed are copies of the recorded resolutions granting variances for the above-referenced property

Please do not hesitate to contact me if you need anything further

Sincerely,

TOWN OF SEWALL'S POINT

Joan Barrow, Town Clerk

Enclosures Resolution 2005-04  
Resolution 2005-05  
Resolution 2005-06  
Resolution 2005-07  
Resolution 2005-08  
Resolution 2005-09



One South Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail [clerk@sewallspoint.martin.fl.us](mailto:clerk@sewallspoint.martin.fl.us)  
Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail [police@sewallspoint.martin.fl.us](mailto:police@sewallspoint.martin.fl.us)

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-04**

**RE: GRANTING OF APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT, FLORIDA  
ZONING ORDINANCES**

Legal Description and Address

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning, thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning

74 North Sewall's Point Road, Sewall's Point, Florida 34996

**WHEREAS, Gary Hess and Nancy Hess, his wife, the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting variances from the zoning requirements of the Code of Ordinances for the Town of Sewall's Point, pertaining to the setback requirements on the property,**

**WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 7th day of April, 2005, at 7 30 P M at the Town Hall of Sewall's Point, Florida, and**

**WHEREAS, on April 7, 2005, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application, and**

**WHEREAS, at said public hearing the applicants were present in person and were represented by counsel and all interested parties had an opportunity to be heard for or against such application,**

**WHEREAS, based on the information presented this Board does hereby make the following findings of fact**

INSTR # 1835731 OR BK 02009 PG 1272 RECD 05/02/2005 03:23.55 PM  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Burke

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-04**

- 1 That no objections to the proposed grant of variances have been made
- 2 The applicant is requesting a variance from the 50 foot rear yard setback requirement of the Sewall's Point Town Code, Section 82-274(a)(5), as follows
  - a Wood deck steps on the northeast side of residence variance varying from 3 6 feet to 4 4 feet for existing wood deck steps
  - b Wood deck on the northeast side of residence variance of 1 5 feet for existing wood deck
- 3 From the survey submitted with the application, it appears that the existing wood deck steps and deck on the northeast side of the residence encroach into the rear yard setback area as measured from the mean high water line of the Indian River, measuring 45 6 feet to 46 4 feet for the steps, and 48 5 feet for the wood deck, resulting in encroachments into the rear yard setback area in the amount of the variances requested
- 4 That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district
- 5 That the special conditions and circumstances do not result from the actions of the applicant
- 6 That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district
- 7 That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant
- 8 That the variances requested are the minimum variances that will make possible the reasonable use of the land, building or structure,
- 9 That the granting of the variances will be in harmony with the general intent and purpose of the ordinance and that such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-04**

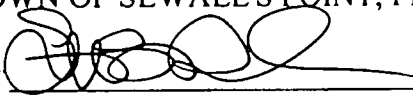
10 That the reasons set forth in the application and as expressed during the hearing justify the granting of the variances and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6). of the Code of Ordinances of the Town of Sewall's Point, Florida

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **Gary Hess and Nancy Hess, his wife**, for variances for the existing wood deck and steps on the northeast side of the residence are **GRANTED** in the amounts requested

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town

Duly passed and adopted at Public Meeting on April 7, 2005


BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By   
\_\_\_\_\_  
Scott S. Danielson, Chairman

ATTEST

  
\_\_\_\_\_  
Roger DeGraff, Secretary

APPROVED AS TO FORM AND LEGALITY

  
\_\_\_\_\_  
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on  
the 29 day of April, 2005

  
\_\_\_\_\_  
Joan Barrow, Town Clerk

Copy to: Terence P. McCarthy, Esq



**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-05**

**RE: GRANTING OF APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT, FLORIDA  
ZONING ORDINANCES**

Legal Description and Address

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning, thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning

74 North Sewall's Point Road, Sewall's Point, Florida 34996

**WHEREAS, Gary Hess and Nancy Hess, his wife, the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting variances from the zoning requirements of the Code of Ordinances for the Town of Sewall's Point, pertaining to the setback requirements on the property.**

**WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 7th day of April, 2005, at 7 30 P M at the Town Hall of Sewall's Point, Florida, and**

**WHEREAS, on April 7, 2005, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application, and**

**WHEREAS, at said public hearing the applicants were present in person and were represented by counsel and all interested parties had an opportunity to be heard for or against such application,**

**WHEREAS, based on the information presented this Board does hereby make the following findings of fact**

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-05**

1. That No objections to the proposed grant of variances have been made
2. The applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall's Point Town Code, Section 82-274(a)(2), as follows  
  
For the existing swimming pool on south side of the residence a variance of 2 6 feet for the existing pool
3. From the survey submitted with the application, it appears that the existing swimming pool on the south side of the residence encroaches into the side yard setback area, measuring 12 4 feet to the south property line, resulting in an encroachment into the side yard setback area in the amount of the variance requested
4. That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district
5. That the special conditions and circumstances do not result from the actions of the applicant.
6. That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district
7. That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant
8. That the variances requested are the minimum variances that will make possible the reasonable use of the land, building or structure,
9. That the granting of the variances will be in harmony with the general intent and purpose of the ordinance and that such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare
10. That the reasons set forth in the application and as expressed during the hearing justify the granting of the variances and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6), of the Code of Ordinances of the Town of Sewall's Point, Florida


**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-05**

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **Gary Hess and Nancy Hess, his wife**, for a variance for the existing swimming pool on the south side of the residence is **GRANTED** in the amount requested

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town

Duly passed and adopted at Public Meeting on April 7, 2005

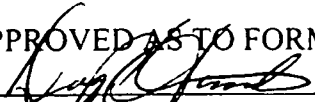
BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By   
\_\_\_\_\_  
Scott S. Danielson, Chairman

ATTEST

  
\_\_\_\_\_  
Roger DeGraff, Secretary

APPROVED AS TO FORM AND LEGALITY

  
\_\_\_\_\_  
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on  
the 29 day of April, 2005

  
\_\_\_\_\_  
Joan Barrow, Town Clerk

Copy to Terence P. McCarthy, Esq

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-08**

**RE: GRANTING OF APPLICATION FOR VARIANCES TO  
TOWN OF SEWALL'S POINT, FLORIDA  
ZONING ORDINANCES**

Legal Description and Address

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning, thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning

74 North Sewall's Point Road, Sewall's Point, Florida 34996

**WHEREAS, Gary Hess and Nancy Hess, his wife,** the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting variances from the zoning requirements of the Code of Ordinances for the Town of Sewall's Point, pertaining to the setback requirements on the property,

**WHEREAS,** notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 7th day of April, 2005, at 7 30 P M at the Town Hall of Sewall's Point, Florida, and

**WHEREAS,** on April 7, 2005, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application, and

**WHEREAS,** at said public hearing the applicants were present in person and were represented by counsel and all interested parties had an opportunity to be heard for or against such application;

**WHEREAS,** based on the information presented this Board does hereby make the following findings of fact

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-08**

1 That no objections to the proposed grant of variances have been made

2 The applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall s Point Town Code, Section 82-274(a)(2), as follows

For the existing house on the north side, a variance of 1 08 feet for the existing cantilevered second floor of the house

3 From the survey submitted with the application, it appears that the existing cantilevered second floor of the house on the north side encroaches into the side yard setback area, measuring 13 92 feet to the north property line, resulting in an encroachment into the side yard setback area in the amount of the variance requested

4 That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district

5 That the special conditions and circumstances do not result from the actions of the applicant

6 That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district

7 That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant

8 That the variances requested are the minimum variances that will make possible the reasonable use of the land, building or structure,

9 That the granting of the variances will be in harmony with the general intent and purpose of the ordinance and that such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare

10 That the reasons set forth in the application and as expressed during the hearing justify the granting of the variances and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6), of the Code of Ordinances of the Town of Sewall's Point, Florida

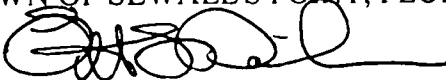
**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-08**


NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **Adam J. Horvit and Marilyn C. Horvit, his wife, joined in by Dr. William E. Lippisch and Mary Thurlow Lippisch, his wife**, for a variance for the existing wood deck on the northwest side of the residence is **GRANTED** in the amount requested, provided, however, that the second story not be extended to the ground level

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town


Duly passed and adopted at Public Meeting on April 7, 2005

BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By   
Scott S Danielson, Chairman

ATTEST   
\_\_\_\_\_  
Roger DeGraff, Secretary

APPROVED AS TO FORM AND LEGALITY

  
\_\_\_\_\_  
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on  
the 29 day of April, 2005

  
\_\_\_\_\_  
Joan Barrow, Town Clerk

Copy to Terence P McCarthy, Esq

OR BK 02009 PG 1280

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-06**

**RE: GRANTING OF APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT, FLORIDA  
ZONING ORDINANCES**

Legal Description and Address

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning, thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning

74 North Sewall's Point Road, Sewall's Point, Florida 34996

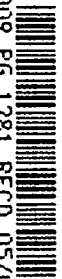
**WHEREAS, Gary Hess and Nancy Hess, his wife, the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting variances from the zoning requirements of the Code of Ordinances for the Town of Sewall's Point, pertaining to the setback requirements on the property,**

**WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 7th day of April, 2005, at 7 30 P M at the Town Hall of Sewall's Point, Florida, and**

**WHEREAS, on April 7, 2005, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application, and**

**WHEREAS, at said public hearing the applicants were present in person and were represented by counsel and all interested parties had an opportunity to be heard for or against such application,**

**WHEREAS, based on the information presented this Board does hereby make the following findings of fact**



**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-06**

1 That ND objections to the proposed grant of variances have been made

2 The applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall's Point Town Code, Section 82-274(a)(2), as follows

For the existing wood deck on the south side of the residence surrounding pool a variance of 12 15 feet for the existing wood deck

3 From the survey submitted with the application, it appears that the existing wood deck on the south side of the residence encroaches into the side yard setback area, measuring 2 85 feet to the south property line, resulting in an encroachment into the side yard setback area in the amount of the variance requested

4 That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district

5 That the special conditions and circumstances do not result from the actions of the applicant

6 That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district

7 That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant

8 That the variances requested are the minimum variances that will make possible the reasonable use of the land, building or structure,

9 That the granting of the variances will be in harmony with the general intent and purpose of the ordinance and that such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare

10 That the reasons set forth in the application and as expressed during the hearing justify the granting of the variances and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6), of the Code of Ordinances of the Town of Sewall's Point, Florida



**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-06**

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **Gary Hess and Nancy Hess, his wife**, for a variance for the existing wood deck on the south side of the residence is **GRANTED** in the amount requested

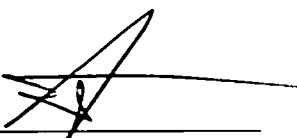
The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town

Duly passed and adopted at Public Meeting on April 7, 2005


BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By   
Scott S. Danielson, Chairman

ATTEST

  
\_\_\_\_\_  
Roger DeGraff, Secretary

APPROVED AS TO FORM AND LEGALITY

  
\_\_\_\_\_  
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on  
the 29 day of April, 2005

  
\_\_\_\_\_  
Joan Barrow, Town Clerk

Copy to Terence P. McCarthy, Esq

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-07**

**RE: GRANTING OF APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT, FLORIDA  
ZONING ORDINANCES**

Legal Description and Address

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East, with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning, thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning

74 North Sewall's Point Road, Sewall's Point, Florida 34996

**WHEREAS, Gary Hess and Nancy Hess, his wife, the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting variances from the zoning requirements of the Code of Ordinances for the Town of Sewall's Point, pertaining to the setback requirements on the property,**

**WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 7th day of April 2005, at 7 30 P M at the Town Hall of Sewall's Point, Florida, and**

**WHEREAS, on April 7, 2005, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application, and**

**WHEREAS, at said public hearing the applicants were present in person and were represented by counsel and all interested parties had an opportunity to be heard for or against such application,**

**WHEREAS, based on the information presented this Board does hereby make the following findings of fact**

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-07**

1 That No objections to the proposed grant of variances have been made

2 The applicant is requesting a variance from the 15 foot side yard setback requirement of the Sewall's Point Town Code, Section 82-274(a)(2), as follows

For the pool equipment pad on the south side of the residence a variance of 9 94 feet for the existing pool equipment pad

3 From the survey submitted with the application, it appears that the existing pool equipment pad on the south side of the residence encroaches into the side yard setback area, measuring 5 06 feet to the south property line, resulting in an encroachment into the side yard setback area in the amount of the variance requested

4 That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district

5 That the special conditions and circumstances do not result from the actions of the applicant

6 That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district

7 That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant

8 That the variances requested are the minimum variances that will make possible the reasonable use of the land, building or structure,

9 That the granting of the variances will be in harmony with the general intent and purpose of the ordinance and that such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare

10 That the reasons set forth in the application and as expressed during the hearing justify the granting of the variances and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6) of the Code of Ordinances of the Town of Sewall's Point, Florida

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-07**

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by **Gary Hess and Nancy Hess, his wife**, for a variance for the existing pool equipment pad on the south side of the residence is **GRANTED** in the amount requested


The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town

Duly passed and adopted at Public Meeting on April 7, 2005

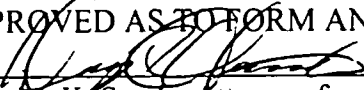
BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By   
Scott S. Danielson, Chairman

ATTEST

  
\_\_\_\_\_  
Roger DeGraff, Secretary

APPROVED AS TO FORM AND LEGALITY

  
\_\_\_\_\_  
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on  
the 29 day of April, 2005

  
\_\_\_\_\_  
Joan Barrow, Town Clerk

Copy to Terence P. McCarthy, Esq

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-09**

**RE: GRANTING OF APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT, FLORIDA  
ZONING ORDINANCES**

Legal Description and Address

Starting at the intersection of the North line of Government Lot 3, Section 35, Township 37 South, Range 41 East. with the centerline of Sewall's Point Road, run South 29 degrees 47'00" East along the centerline of Sewall's Point Road 117 77 feet, thence continue South 29 degrees 47'00" East along said centerline a distance of 117 77 feet to the South line of the lands now owned by E Clinton Towl, thence run South 89 degrees 26'00" East along the South line of the lands of E Clinton Towl a distance of 252 18 feet to the Point of Beginning, thence run North 31 degrees 42'20" West a distance of 120 00 feet, thence run South 89 degrees 21'48" East a distance of 252 feet, more or less, to the waters of the Indian River, thence run Southeasterly along the waters of the Indian River to a point of intersection with a line which bears South 89 degrees 26'00" East from the Point of Beginning, thence run North 89 degrees 26'00" West along said line a distance of 248 feet, more or less, to the Point of Beginning

74 North Sewall's Point Road, Sewall's Point, Florida 34996

**WHEREAS, Gary Hess and Nancy Hess, his wife, the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting variances from the zoning requirements of the Code of Ordinances for the Town of Sewall's Point, pertaining to the setback requirements on the property**

**WHEREAS, notice of the public hearing on the variance application was duly posted and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 7th day of April, 2005. at 7 30 P M at the Town Hall of Sewall's Point, Florida, and**

**WHEREAS, on April 7, 2005, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application, and**

**WHEREAS, at said public hearing the applicants were present in person and were represented by counsel and all interested parties had an opportunity to be heard for or against such application,**

**WHEREAS, based on the information presented this Board does hereby make the following findings of fact**

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-09**

1 That no objections to the proposed grant of variances have been made

2 The applicant is requesting a variance from the 50 foot front yard setback requirement of the Sewall's Point Town Code, Section 82-274(b)(1), as follows

For the existing one story accessory wood frame garage, a variance of 9 90 feet

3 From the survey submitted with the application, it appears that the existing one story detached wood frame garage encroaches into the front yard setback area, measuring 40 10 feet to the west property line, resulting in an encroachment into the front yard setback area in the amount of the variance requested

4 That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district

5 That the special conditions and circumstances do not result from the actions of the applicant

6 That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district

7 That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant

8 That the variances requested are the minimum variances that will make possible the reasonable use of the land, building or structure,

9 That the granting of the variances will be in harmony with the general intent and purpose of the ordinance and that such variances will not be injurious to the neighborhood, or otherwise detrimental to the public welfare

10 That the reasons set forth in the application and as expressed during the hearing justify the granting of the variances and satisfy the requirements of Section 82-113(a)(1),(2),(3),(4),(5), and (6), of the Code of Ordinances of the Town of Sewall's Point, Florida


NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of

**BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
RESOLUTION NO. 2005-09**

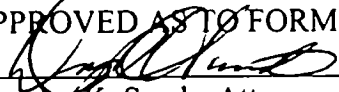
Sewall's Point, Florida, that the application by **Gary Hess and Nancy Hess, his wife**, for a variance for the existing one story detached wood frame garage on the west side of the property is **GRANTED** in the amount requested

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town

Duly passed and adopted at Public Meeting on April 7, 2005

BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA  
By   
Scott S. Danielson, Chairman

ATTEST  
  
\_\_\_\_\_  
Roger DeGraff, Secretary

APPROVED AS TO FORM AND LEGALITY  
  
\_\_\_\_\_  
Douglas K. Sands, Attorney for  
the Board of Zoning Adjustment

Filed with the Clerk of the Town of Sewall's Point, Florida, on  
the 29 day of April, 2005

  
\_\_\_\_\_  
Joan Barrow, Town Clerk

Copy to Terence P. McCarthy, Esq

# CORRESPONDENCE



# TOWN OF SEWALL'S POINT

THOMAS P BAUSCH  
Mayor

MARCH S TEPLITZ  
Vice Mayor

E DANIEL MORRIS  
Commissioner

JAMES D BERCAW  
Commissioner

RICHARD L BARON  
Commissioner



JOSEPH C DORSKY  
Town Manager

JOAN H BARROW  
Town Clerk

LARRY E McCARTY  
Chief of Police

GENE SIMMONS  
Building Official

JOSE TORRES, JR.  
Maintenance

Mr & Mrs Hess  
74 North Sewall's Point Road  
Sewall's Point, FL 34996

March 17, 2003

Dear Mr & Mrs Hess

On March 17, 2003 I was informed by the Town of Sewall's Point Police Department that you had cut trees on your property on March 15, 2003 without a permit

The attached photographs dated March 15, 2003 from the Town of Sewall's Point Police Department show the extent of the removal

Under the Town of Sewall's Point Ordinance Section Number 70-51 Permits Required, you are required to obtain a tree cutting permit to remove dead, dying or damaged trees

Under the Town of Sewall's Point Ordinance Number 70-154 the fines for not obtaining and cutting the six (6) trees are as follows

1	7"	(front yard)	\$1,500 00
2	11 1/2"	(front yard)	3,000 00
3	12"	(front yard)	3,000 00
4	13"	(front yard)	3,000 00
5	14 1/2"	(front yard)	3,000 00
6	16"	(front yard)	<u>5,000 00</u>

**TOTAL FINE            \$18,500 00**

A letter from a certified arborist is required to ascertain that the trees were in fact dead, dying or diseased

You have the right to appeal this fine under Section 70-35 Appeal Within fifteen (15) days of receipt of this letter, in writing, appeal this decision to the Town of Sewall's Point Commission This appeal is to be delivered to the Town of Sewall's Point Clerk in duplicate with a \$50 00 fee

If I can be of any further assistance please feel free to contact me at 287-2455

Respectfully,

Gene Simmons  
Building Official



One Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail [police@sewallspoint.org](mailto:police@sewallspoint.org)

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3 Also complete item 4 if Restricted Delivery is desired
- Print your name and address on the reverse so that we can return the card to you
- Attach this card to the back of the mailpiece, or on the front if space permits

1 Article Addressed to

Mr + Mrs, Hess  
 74 N. Sewall's Pt. Rd.  
 Sewall's Pt, FL 34996

2 Article Number

(Transfer from service label)

7000 0520 0014 1402 9296

**COMPLETE THIS SECTION ON DELIVERY**

A Signature

'X


 Agent Addressee

B Received by (Printed Name)

C Hess

C Date of Delivery

3/19/83

D Is delivery address different from item 1?  YesIf YES, enter delivery address below  No

3 Service Type

 Certified Mail Express Mail Registered Return Receipt for Merchandise Insured Mail C O D

4 Restricted Delivery? (Extra Fee)

 Yes

UNITED STATES POSTAL SERVICE



First-Class Mail  
Postage & Fees Paid  
USPS  
Permit No G-10

• Sender Please print your name, address, and ZIP+4 in this box •

TOWN OF SEWALL'S POINT  
BUILDING DEPT  
1 S. SEWALL'S POINT RD  
SEWALL'S POINT, FL 34996

Agency OR# <b>FLO-430300</b>	<b>SEWALL'S POINT POLICE DEPARTMENT</b> 1 SOUTH SEWALL'S POINT RD , SEWALLS POINT,FL,34996	AGENCY REPORT NUMBER <b>2003-000070</b>
Phone <b>(561) 7813378</b>	<b>OFFENSE-INCIDENT</b>	1 Original Juvenile <input type="checkbox"/> 2. Supplement <input checked="" type="checkbox"/>

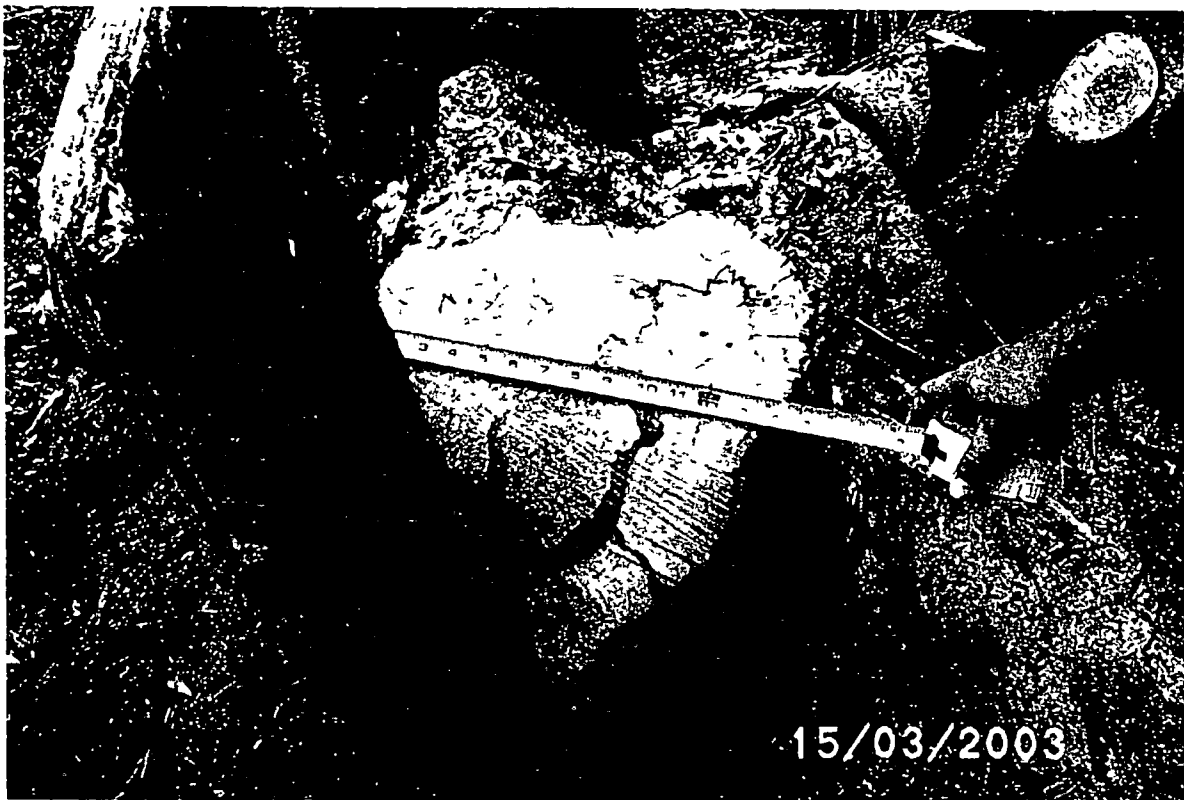
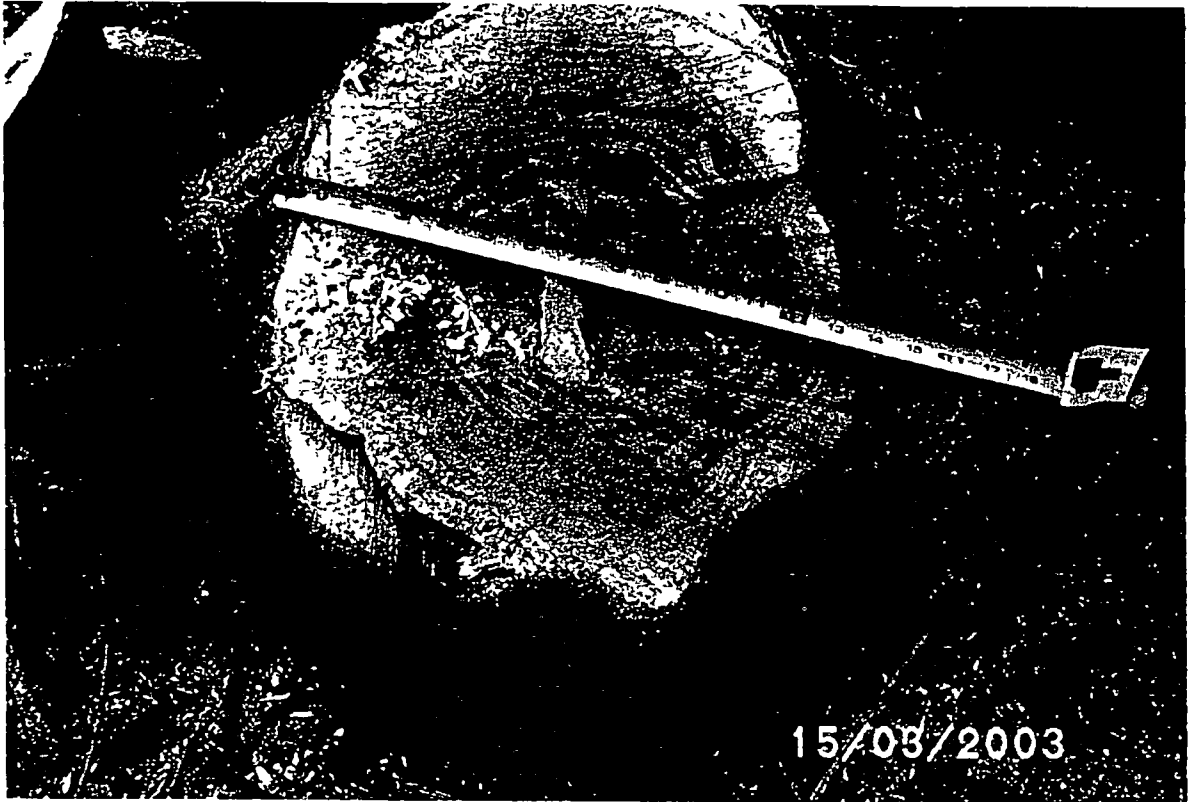
Agency ORI Number <b>FLO-430300</b>	Agency Name <b>SEWALL'S POINT POLICE DEPARTMENT</b>	Agency Report Number <b>2003-000070</b>
Reported Day <b>SATURDAY</b>	Date <b>03/15/2003</b>	Time(mil) <b>17.30</b>
Time Dispatched (mil)	Time Arrived (mil)	Time Completed (mil)
Incident Day From	Date	Time (mil)
Day	Date	Time (mil)
Incident Type <b>ORDINANCE VIOLATION</b>		
<b>OFFENSE(S)</b>		
<b>LOCATION</b>		
Incident Location (Common Name Street, Apt. Number) <b>- 74 N SEWALL'S POINT RD</b>		
Cross Streets	City State <b>SEWALL'S POINT, FL</b>	Geographic Indicator
Location Type <b>RESIDENCE-SINGLE</b>	Zip <b>34996</b>	

**NARRATIVE**

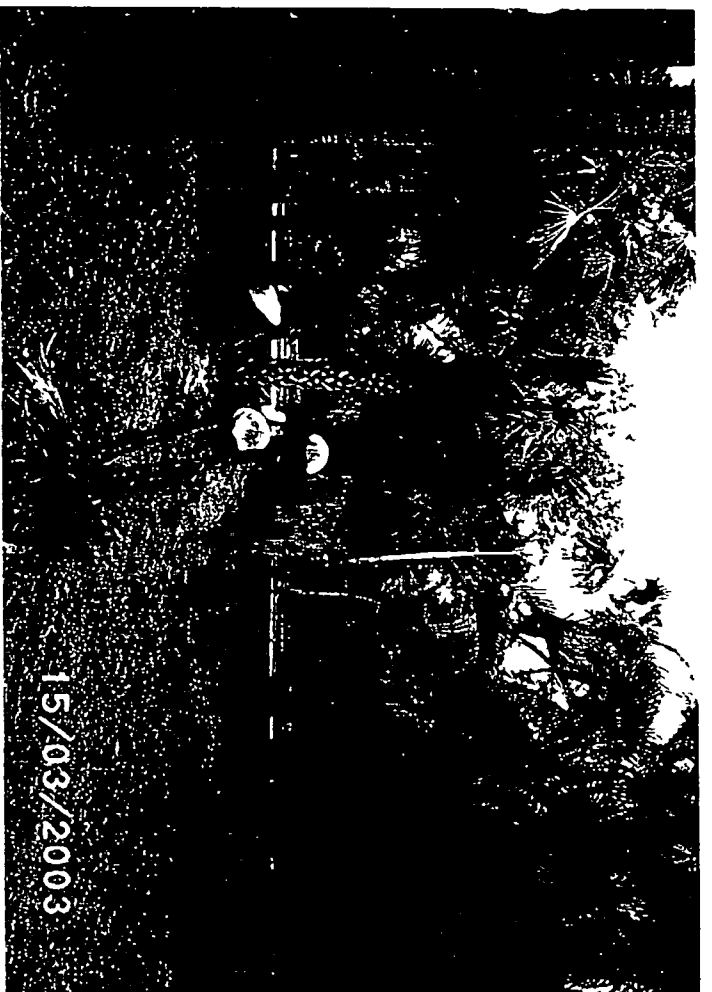
ON 03/15/03 AT APPROXIMATELY 1730 HRS I OBSEVED A LARGE TREE THAT WAS CUT DOWN, I STOPPED TO FIND A PERMIT, I MADE CONTACT WITH A GENTLEMAN WHO IDENTIFIED HIMSELF AS GARY HESS MR HESS STATED HE WAS THE HOME OWNER AND DID NOT HAVE A PERMIT PHOTOGRAPHS WERE TAKEN OF THE TREE THE DIAMETERS OF THE STUMPS ARE AS FOLLOWS (12", 14 1/2", 7", 16", 13", 11 1/2") THIS INFORMATION WILL BE FOWARDED TO THE BUILDING DEPARTMENT

**ADMINISTRATIVE**

Report Contains	Related Report Number(s)						
Officer(s) Reporting: <b>M HENRY</b>	ID Number <b>033</b>	Name	ID Number	Unit <b>49</b>	Date <b>03/16/2003</b>		
Officer Reviewing (if Applicable)	ID Number	Approved Date	# Offenses <b>0</b>	# Victims <b>0</b>	# Offenders <b>0</b>	# Premises Ent. <b>0</b>	# Vehicles Stolen <b>0</b>
Routed To	Referred To <b>BUILDING DEPT.</b>						
Assigned To	Assigned By						Assigned Date
Case Status	Exception Type						Date Cleared



3/15/03  
Hess Residence  
74 North Sausalito St  
DO Permit







[Close Window](#)

**From:** gnness@msn.com

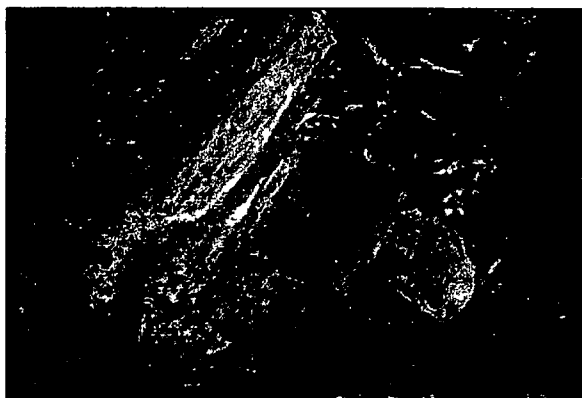
**To:** shadetreeservices@yahoo.com

**Subject:** bug infested dead trees

**Date:** 19 Mar 2003 10 21 31 Eastern Standard Time

removal of tree at 74 N Sewalls Pt backup pic

**Attachment**



**ek\_1.jpg**  
jpg file, 288x192, 35k

**Attachment**



**ek\_2.jpg**  
jpg file, 288x192, 40k

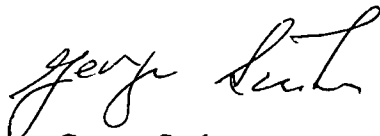



To whom it may concern

2 April, 03

We would like to say thanks to our neighbors, the Hesses for finally disposing of the brazilian peppers which were abutting us and expanding over into our property. The plants that were removed were also the home to rodents which could have created a health hazard.

Again let us say thanks to the Hesses for removing this non native trees.

  
George Sachs

  
Sally Sachs

78 N Sewall's Point Rd  
Stuart, FL 34996

*Note:*  
this area has not been cleaned up where diseased tree limbs have fallen for 5 yrs. Result in insects + rodents

Thanks to their Community Service,

*JS.*

**TOWN OF SEWALL'S POINT, FLORIDA**

Date 3/31 ~~2003~~ TREE REMOVAL PERMIT No 1253

APPLIED FOR BY NANCY HESS (Contractor or Owner)

Owner 74 N. SEWALL'S POINT RD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees 1 - DEAD BRAZILIAN PEPPER 2 AUSTRALIAN PINES

No Of Trees REMOVE 3

No Of Trees RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No Of Trees REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant Signed, Gene Simmons (God) Town Clerk

**TOWN OF SEWALL'S POINT**

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8 00 A.M. - 5-00 P.M.—NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE ORDINANCE 103

[Empty grid area for drawing or site plan]

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # \_\_\_\_\_

Date Issued \_\_\_\_\_

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc

Owner Hess Address 74 N. Sewalls Pt Phone 463-5118

Contractor TBD Address \_\_\_\_\_ Phone \_\_\_\_\_

Number of trees to be removed (list kinds of trees) Dead Brazilian Pepper (1)

(2) Australian Pines - Both insect infested (Carpenter Ants)

Number of trees to be relocated within 30 days (no fee) (list kinds of trees)

Number of trees to be replaced

(list kinds of trees)

*Done: OK [Signature]*

Permit Fee \$ 0

\$15 00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property )

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Permit good for one year Fee for renewal of expired permit is \$5 00

Signature of applicant \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

Approved by Building Inspector [Signature] Date submitted 3/21/13

Completed 3/21/13 Date \_\_\_\_\_ Checked by \_\_\_\_\_

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

## Shade Tree Inc.

John Cole - Certified Arborist - P.O. Box 2804 - Stuart FL 34904 Telephone (772) 324-7810 - Fax (772) 324-0340



March 19, 2003

Attention: Gene Simmons

Notes: 74 N. Sewalls Point Rd. (The Hess residence)

After my inspection of the property stated above I have noted the removal of 1 Brazilian Pepper and 2 Australian Pines at the north property line to about 4' above ground level. After inspection of the stumps and previous pictures from before they were taken down, I have noted both trees were infested with termites and carpenter ants. The Australian Pines were indeed dead and both of these species are on the exotic tree list to be removed statewide. Mr. and Mrs. Hess were not aware of the Sewalls Pte. requirements of permits needed for tree removal. I would like at this time to submit a removal request for completion of tree removal, which would include stump grinding, and debris removal.

I have also enclosed photos of the decay and insect damage.

Thank you for your help with this matter,

H. John Cole (Shade Tree Inc./Arborist)



*Son + daughter in law trying to  
clean up infested dead trees*

*the Fla. palms + grass were  
choked out under the dead  
branches.  
(see picture)*

*dead  
grass  
area*

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 3/31 200203 Page      of     

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6196	SHARFI	SHEATHING	Passed	
①	73 N. SEWALLS PKRD ALL AMERICAN	METAL TIN TAG	Passed	INSPECTOR: <i>[Signature]</i>
6197	PARROTT	ELEC - FINAL		
⑤	1 N. ISLAND RD JIMMY ROWELL			INSPECTOR: <i>[Signature]</i>
6038	HESS	SHEATHING	Passed	
②	74 N SEWALLS PKRD TAYLOR ROOFING	DRY IN	Passed	INSPECTOR: <i>[Signature]</i>
6102	DUNN	REPL BEAM - FINAL	Passed	close
⑧	21 PALMETTO RD PVD CONST.			INSPECTOR: <i>[Signature]</i>
6183	KVAPIL	PAVER DRIVE	Failed	(Remove dipole)
⑦	4 RIO VISTA DR GRAND ENTRY	FINAL		INSPECTOR: <i>[Signature]</i>
6170	THOMPSON	DEMO POOL - FINAL	Passed	
⑥	179 S. RIVER RD O'CONNEL			INSPECTOR: <i>[Signature]</i>
<del>1222</del>	<del>HESS</del>	<del>TIN TAG</del>	<del>Passed</del>	
③	74 N. SEWALLS PKRD			INSPECTOR: <i>[Signature]</i>
OTHER:	CLARKE	TE BEAM	Passed	
5879	33 FIELDWAY			
④	PAR ONE			<i>[Signature]</i>

**TOWN OF SEWALL'S POINT, FLORIDA**

Date DECEMBER 22~~16~~ 2004 TREE REMOVAL PERMIT No 2372

APPLIED FOR BY Hess (Contractor or Owner)

Owner 74 N. SEWALL'S PT RD

Sub-division \_\_\_\_\_, Lot \_\_\_\_\_, Block \_\_\_\_\_

Kind of Trees \_\_\_\_\_

No Of Trees REMOVE 6 to 8 Queen Palms

No Of Trees RELOCATE \_\_\_\_\_ WITHIN 30 DAYS (NO FEE)

No Of Trees REPLACE \_\_\_\_\_ WITHIN 30 DAYS

REMARKS \_\_\_\_\_

\_\_\_\_\_ FEE \$ 0

Signed, \_\_\_\_\_ Applicant

Signed, Gene Summers  
Town Clerk  
Building Official

**TOWN OF SEWALL'S POINT**

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection  
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

**TREE REMOVAL PERMIT**

RE ORDINANCE 103

[Large empty rectangular box for drawing or notes]

PROJECT DESCRIPTION \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**TOWN OF SEWALL'S POINT  
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

**Tree Defined** Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree

**No permit required for:**

- 1 Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered
- 2 Trees with a diameter of less than two inches

**Permit Fee:**

- 1 Tree permits are \$15 00, payable in advance
- 2 No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S F R )

**No removal permits will be issued for native species trees:** Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeve Slash Pine Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

**Application procedures:**

- 1 Fill out application information below to include
  - a applicant information
  - b written statement giving reasons for removal, relocation, or replacement if necessary
  - c for a new S F R , a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures improvements and site uses, location of affected trees identified with an estimated size and number, etc
  - d for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan
- 2 Place identification tape or ribbon on each tree for clarity to inspector if necessary
- 3 Inspector will visit site and review application and pass, fail or revise
- 4 Permit must be picked up and on site prior to work proceeding
- 5 Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days

Owner NANCY HESS Address 74 N. Sewalls Pt. Phone 463-5118

Contractor Jeff Address \_\_\_\_\_ Phone \_\_\_\_\_

No of Trees REMOVE \_\_\_\_\_ Type Queen palm

No. of Trees RELOCATE 6 to 8 WITHIN 30 DAYS Type Queen Palm

No of Trees REPLACE — WITHIN 30 DAYS Type \_\_\_\_\_

Written statement giving reasons drive way on side easement  
keep trees wherever possible once graded

Signature of Property Owner Nancy Hess Date 12/21/04

Approved by Building Inspector [Signature] Date 12/22 Fee: 0

Plans approved as submitted \_\_\_\_\_ Plans approved as revised/marked \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12/22, 2004 Page 2 of     

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6837	Zoen	FINAL FENCE	PASS	CLOSE
10	11 N. VIA LUCINDIA			INSPECTOR
	O/B	(bump post)		
6930	WEIGAND	FINAL FENCE	FAIL	
7	118 S Sewall's Pt			INSPECTOR
	O/B			
7134	<del>SOUL</del>	FENCE FINAL	PASS	CLOSE
11	7 BANYAN			INSPECTOR
	O/B			
7159	SHAW	PILING PRE POUR	PASS	
14	78 N. Sewall's Pt			INSPECTOR
	SWISSAM CONST.	708-9206 Helmut (late as possible pls)		
7096	MULLIGAN	IN Prog. ROOFING	PASS	
12	20 FIELDWAY Dr			INSPECTOR
	BUDGET ROOFING			
7091	DONOVAN	TIN TAG METAL	PASS	
15	6 QUAIL RUN	SKYLIGHT CURB	FAIL	INSPECTOR
	PACIFIC ROOFING			
<del>7125</del>	<del>HESS</del>	<del>TREE</del>	<del>PASS</del>	<del>    </del>
13	74 N. Sewall's Pt			INSPECTOR

OTHER: \_\_\_\_\_

708-9205