

**75 North Sewall's Point Road**

**112**

**SFR**

# 112  
Write Address:

Application For Building Permit

Box 234  
Seymour Fla  
7.4

Owner E. Clinton Jowl Present Address Star Route Johnson Bch Phone \_\_\_\_\_

Architect Kemp Caherl Address Palau Beach

General Contractor Sands Const. Co. Address P.O. Box 85 Phone 546-2111

Where Licensed Martin, Palau Beach Co License No. \_\_\_\_\_

Plumbing Contractor Stuart Plumbing Where Licensed Stuart No. 186

Electrical Contractor Knight Elec Where Licensed W.B.B No. \_\_\_\_\_

Property Location Sewalls Point Subdivision Palau Lot No. 3

Lot Dimensions From St. Lucie River Lot Area about 4 A Sq. Ft. 200 ft. Lot Width \_\_\_\_\_

Purpose of Building Residence Type of Construction CBS

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 4100 sq ft Inside of Walls \_\_\_\_\_

Street or Road building will front on St. Lucie River

Clearances - Front 800 ft Back 68 ft Side 28 N Side 57 S River 68 ft

Well Location no well Septic Tank Location E of Bldg

Building elevation (By Ordinance Definition) 20 ft

Contract Price (Include Plumbing, Electrical, Air Conditioning) \$102,750.00

PERMIT FEE	New Home	Additions	Others
General (\$3.00 per \$1000 or Fraction)	<u>309.00</u>	_____	_____
Plumbing (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Electrical (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Total (To be paid by General Contractor or Owner)	<u>329.00</u>	_____	_____

SIGNED: - General Contractor or Owner Sands Const. Co., Inc. by E. V. P.

Building Inspector Comments: \_\_\_\_\_

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FOR TOWN RECORDS: Date Drawings submitted 10/28/66

Date Permit approved 10/31/66

Date Permit Fee paid 10/31/66

Date First Inspection \_\_\_\_\_

Date Final Inspection March, 1967

Date Occupancy approved \_\_\_\_\_

From Sewall's Pt Rd

112

Permit

# 112

GENERAL SPECIFICATIONS  
of  
A RESIDENCE  
for

MR. & MRS. E. CLINTON TOWL  
Sewall's Point, Florida

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Kemp Caler, A. I. A., P. A. Architect

Commission No. 642

Printed 25 October 1966

GENERAL CONDITIONS

Art. 1. GENERAL The plans and specifications call for the construction of a building complete in every detail and include all materials, labor, equipment, transportation, licenses, fees, and permits necessary to complete all items indicated on the drawings or specified herein.

Art. 2. BUILDING SITE: The building is to be erected on a portion of Government Lot Three (3), Section Thirty-five (35), Township Thirty-seven (37) South, Range Forty-one (41) East, EXCEPT the southerly One Thousand Seventy-six and Seven Tenths (1,076.7) Feet of said Government Lot Three (3), Martin County, Florida, lying between the Indian River and the St. Lucie River, together with any and all riparian rights thereunto belonging or in anywise appertaining.

Subject to existing public road, town zoning laws and restrictions, and light and power easement.

Art. 3. CONTRACT DOCUMENTS: The contract documents shall consist of: The Agreement between the contractor and the owner

~~A.I.A. Document No. A-101, the General Conditions, Articles 1-44 inclusive as written by the American Institute of Architects, A.I.A. Form A201 1963 Edition (Art. 9, Materials, Appliances, Employees, is amended by the deletion of the word "water", Art. 20, Fire Insurance, is amended by the deletion of the words "and extended coverage" between "insurance" and "policy" in the first line.)~~

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The Drawings and Specifications, including all modifications thereof incorporated in the documents before their execution. These documents form the contract.

Art. 4. GUARANTEE: The contractor shall guarantee all materials and workmanship against original defects or against injury from proper and usual wear when used for the purpose intended for one year (except as otherwise noted) from date of payment of final requisition and shall maintain all items in perfect condition within such time. Defects appearing within this period shall be made good by the contractor.

Art. 5. CLEANING: During the progress of construction, the building is to be cleaned of debris and other accumulated waste

material and, at completion of building and before turning same over to the owner, all visible surfaces both inside and out are to be left in a thoroughly cleaned manner. All glass surfaces are to be thoroughly washed and left clean and whole on completion. Burial of waste matter at the site is not permitted.

Art. 6. EQUALS The terms "equal" and "or equal" shall be construed to mean "equal as approved in writing by the architect." The contractor may submit for approval any product which is recognized to be equal to that specified. Such submissions shall occur a minimum of 4 working days before bids close, and positively no substitutions will be accepted after that time.

Art. 7. CASH ALLOWANCES: All cash allowances named in the specifications shall be included in the contract price and shall be held to cover the cost to the contractor of the work as stated in the specifications. If the cost of such work varies from the amount of the allowance, the architect will make the proper adjustments to the contract price. Purchases under cash allowances shall be made only as directed by the architect. Include the following cash allowances:

- Lighting fixtures - - - - -
- Finish hardware - - - - -
- Bath accessories - - - - -
- Kitchen cabinets and lavatory  
countertops - - - - -
- Air conditioning - - - - -
- Aluminum Sliding doors - - - - -
- Painting - - - - -

Art. 8. CODES AND PERMITS The contractor shall comply with all building codes having authority over this work.

Art. 9. DRAWINGS: When the contract is awarded, the architect agrees to furnish six copies of the working drawings and the specifications and three copies of any large-scale details made thereafter. Prints in excess of these amounts are to be paid for by the contractor.

Art. 10. WORK DONE BY OTHERS.

All driveways are a separate contract.

## CLEARING, EXCAVATING, GRADING, AND SOIL TREATMENT

Art. 100. CLEARING: Clearing ~~work shall be done by owner~~ inside walls of house and terrace will be done by General Contractor.

Art. 101. EXCAVATING: Excavate for all footings until clear sand is found. The bottom of all footings shall be not less than 1'4" below finish grade and shall bear on solid, undisturbed earth, and the tops in no case less than 8" below existing grade, whichever is deeper. All brush, roots, and vegetable matter are to be removed before any concrete is poured. Backfill around all footings and leave site properly graded for a distance of 10' outside the exterior walls and raked clean after completion.

Art. 102. FILL: The sand fill under concrete slabs is a part of this contract. Prior to placing any fill or backfill, all wood forms are to be stripped and removed from the site.

Clean sand fill shall be well puddled, tamped and compacted.

Fill outside the building walls is a separate contract between the owner and the landscape contractor, ~~except that any coverage of fill from post excavation shall be spread around east and south sides of house~~

Art. 103. SOIL TREATMENT: The entire soil area under the house is to be poisoned with a 1-1/2% solution of Chlordane or a 1% solution of Dieldrin, applied at the rate of 1 gallon per 10 sq. ft.

The inside and the outside perimeter of all footings is to be treated with the same solution applied at the rate of 1 gallon per 5 lineal feet.

All fill around plumbing and conduit areas projecting through the slab is to be saturated with the poison.

## MASONRY AND CONCRETE

Art. 200. MASONRY: Work under this heading covers all concrete, brick, and concrete-block work shown on the drawings, and this contractor shall set all anchor bolts, reinforcing, ties, and blocking required for other trades.

Art. 201. FOOTINGS: Footings shall be concrete placed in forms over well wetted original earth and shall be of size and reinforcement shown on drawings.

& 12"

Art. 202. WALLS: Foundation walls shall be 8"/concrete blocks with reinforced concrete columns and cap beams as shown and shall be properly formed to receive anchor bolts, etc., as noted.

Art. 202 (cont'd)

Building walls shall be 8" concrete blocks, ~~xxxxxx~~  
~~the~~ with poured reinforced columns, and perimeter beams as shown. The interior face of all walls shall receive a coat of RIW waterproofing prior to setting the furring strips.

Special concrete beams and columns are detailed on drawings.

Art. 203: CONCRETE SLABS: Slabs placed on tamped and puddled, well compacted, clean sand fill shall be 4" minimum thick and reinforced with 6" x 6" electrically welded wire mesh of #10 gauge wire each way.

Before setting reinforcing steel, the fill is to be covered with a layer of VisQueen polyethylene film .004" thick. ~~The fill is to be compacted under the terrace slab.~~

Art. 204. MIX: Concrete shall be 3000# unless otherwise shown on drawings. No retempering will be permitted. Concrete shall be wetted down during, and protected from abuse after, construction.

Art. 205. BRICK: Chimney shall be constructed of common brick laid in mortar, and fireplace shall be lined with firebrick, built to detail. The exposed brick in Den and Dining Room shall be 8" Ante Bellum, Type "B" range as made by Cherokee Brick and Tile Co., Macon, Georgia, or equal, as chosen by owner.

CARPENTRY AND MILLWORK

Art. 300. FRAMING: All lumber used for studs, joists, rafters, plates, lintels, etc., shall be No. 2 common or better long-leaf yellow pine. Any trusses shall be structural grade LLYP. Studs and floor joists shall be brush-coated with creosote for a distance of 2' from point of contact with masonry. Furring strips shall be 2" ZMA-treated lumber.

Art. 301. HARDWARE AND ACCESSORIES: These items shall be furnished under an allowance, but this contractor shall arrange his work to provide grounds, cats, etc., for setting of same. This contractor shall set all millwork and finish hardware.

Art. 302. WORKMANSHIP: No finish carpentry or millwork shall be taken into the building until the plastering is completed and thoroughly dry. All joints must be close, true, and smooth. All irregularities shall be dressed off and the wood thoroughly sandpapered before



Art. 302 (cont'd) it is put up. All nails shall be concealed where possible, and where this is impossible, they shall be set for puttying. All work shall be fitted and scribed to plaster or other finish work in a careful manner.

Art. 303. SCREENS: Screens for doors shall be 1-3/8" thick and shall be as shown on drawings. Insect screening for screen doors shall be 18-mesh bronze screening set with noncorroding staples.

Art. 304. FRAMES: Exterior door frames shall be rabbeted from 1-3/4" fir stock.

Interior door frames shall be from 1" stock with applied stops as detailed.

All exterior frames and trim shall be dipped in "Wood-life" at the mill.

Art. 305. TRIM: Exterior trim shall be fir.

Interior trim shall be as detailed on drawings.

Rooms having larch walls shall have larch trim. Rooms having plaster finish shall have magnolia or larch trim, painted.

Art. 306. DOORS All exterior doors shall be fir 1-3/4" thick.

All interior doors shall be as shown on door schedule and detail drawings.

Art. 307. SHUTTERS At openings as shown on elevations provide fir shutters 1-3/8" thick with stock square-edged louvers.

Art. 308. INTERIOR WOOD WALLS: Interior wood walls shall be 1" x 8" tongue-&-groove V-joint larch.

Art. 309. FINISH FLOORS: Floors framed on wood joists to receive carpeting or vinyl shall be 5/8" A-D plywood over 1" x 8" diagonal sheathing, as shown on Drawing 4. finished with

Art. 310. RESILIENT FLOORS: Cambrian vinyl, vinyl, and vinyl asbestos as per schedule.

Art. 311. COUNTER TOPS: Shall be Formica, with 16" Formica back-splash and Formica finished front edge. These are included in the kitchen cabinet allowance.

~~Art. 311. COUNTER TOPS: Shall be Formica, with 16" Formica back-splash and Formica finished front edge. These are included in the kitchen cabinet allowance.~~

Art. 312. SPECIAL OPENINGS: Openings 111, 112 and 113 are to be aluminum sliding doors and are covered by an allowance.

The ventilating skylights in Baths 1 and 2 are to be Acrylite Skywindows as made by Building Products, Division of American Cyanamid Co. #HF 2432.

Art. 313. WEATHERSTRIPPING: At following openings furnish and install spring bronze weatherstrips: 101, 114, 117 and 125.

Art. 314. THRESHOLDS: At the following openings furnish and install metal saddles with interlocking thresholds and spring bronze weatherstrips: 101, 114, 117 and 125.

## ROOFING AND SHEET METAL WORK

white coated flat

Art. 400. SHINGLE TILE: All sloping roofs shall receive/~~gray~~ cement shingle tile with 1 inch butts, 16" long, laid 13 in. to the weather, as manufactured by Patent Tile Co. or Gorie Tile Co. ~~The entire roof is to receive a Barrett's wash of white cement.~~

Installation - All sheathed roof surfaces which are to be finished with tile shall first be covered with one layer of 30# asphalt felt, laid parallel to eaves and rafters with 2" lap at edges and at least 6" lap at end. This layer shall be secured to the roof sheathing with occasional tin-tag nailing and shall be covered with a thorough mopping of hot asphalt into which, while hot, shall be embedded a layer of 90# mineral-surfaced roofing lapped 4" along longitudinal seams and 6" at end seams. All laps shall be sealed with solid moppings of hot asphalt, but the top surface shall be left unmopped. The tile shall then be laid and well bedded up on Portland Cement Mortar of 1:3 mix. All tile shall be laid in a neat and workman-like manner, with mitered hips and open valleys.

Art. 401. BUILT-UP ROOFS: Where shown on drawings, built-up roofs shall be 4-ply tar-and-gravel roofs equal to a 15-year Barrett Bonded Roof, finished with white marble chips.

Art. 402. INSULATION. All ceilings shall receive 3-1/2" of blanket-type Glass-wool insulation with reflective surface.

Flat Roofs - Flat roofs shall receive Barretts vapor bond base sheet on top of roof boards, ~~Barretts's Vapor bond insulation non felt covered two sides hot mopped to it,~~ and shall finish with built-up tar and gravel roof the equivalent of a 15-year bonded roof.

Exterior Walls shall receive 1-1/2" of blanket-type glass-wool insulation.

Art. 403. SHEET METAL. All flashing, eave drips, gutters, and rain leaders shall be 16 oz. copper of sizes shown on drawings. Valleys are to be "open" with valley flashing a full 20" wide.

Art. 404. EXPANSION JOINTS: Around the perimeter of all floor slabs on grade and where shown on plans shall be placed 1/2" asphalt-impregnated Celotex joint material.

Art. 405. ALUMINUM STORM SHUTTERS. At glazed openings not provided with wood shutters, furnish and install aluminum all-extruded storm shutters similar to those made by Boys Roofing Co. Individual panels may not exceed 40" in width, extrusions are 10" apart by 1-1/4" deep. Gauge varies from .051 to .064. Panels are to be provided with removable U-header at top and to have stainless steel xxxxx bolts at bottom.

Art. 406. VENTS: Screened vents to attic space are shown on 3/4" scale wall sections, drawing #4 and on elevations, dwg. #3.

The range hood shown on A/C plan is to be vented through the walls at eave.

The dryer in utility room is to be vented through the roof.

Art. 407. DAMPROOFING: The interior face of all masonry walls shall receive a coat of emulsified asphalt waterproofing (similar to RIW) prior to setting the furring strips.

#### MISCELLANEOUS METAL WORK

Art. 500. MISCELLANEOUS: All straps, joist anchors, galvanized anchor bolts, and reinforcing steel are included in this section. Reinforcing steel shall be of domestic manufacture.

The fireplace is to contain a cast-iron damper, Donley or equal.

Art. 501. STRUCTURAL STEEL: Structural steel shapes shall be furnished as called for on the drawings, and shall be of domestic steel.

Art. 502. ALUMINUM WINDOWS: Shall be .094 gauge aluminum sash "WARECO" or de luxe MIAMI AWNING WINDOWS of sizes shown on the drawings. These windows are to be furnished complete with screens. A band of caulking is to be installed continuously around the perimeter of all windows between the first and second coats of stucco.

## PLASTERING

Art. 600. LATH: Rock lath shall be used throughout the house, except where cement plaster, ceramic tile or structural glass is called for as a finish. These finishes require metal lath, applied in accordance with best practice and manufacturer's recommendations. Metal lath shall be galvanized after expansion.

Art. 601. CORNER BEADS: All vertical external angles shall be reinforced with #1 outside angle corner beads cut from pure zinc. This shall include plaster returns at window jambs. Corner beads shall be set plumb and accurate.

All internal corners shall be reinforced with 6" wide galvanized expanded metal lath.

Art. 602. PLASTERING: Interior walls and ceilings, unless otherwise noted, shall receive three coats of plaster--two base coats of patent plaster and a finish coat of smooth putty plaster (2 parts lime to 1 part gauging plaster)--metal troweled and smooth brushed to obtain a true, hard surface 3/4" from the rough wall.

Art. 603. PATCHING: When all other work except finish painting has been completed, this contractor shall examine the plaster work, cut out all defects or damaged parts, make necessary repairs, and leave the entire work in perfect condition for painting.

Art. 604. ACOUSTICAL PLASTER: Shall be GOLD BOND "Sprayolite" applied in accordance with the manufacturer's instructions.

Art. 605. STUCCO: The exterior of the house shall be covered with 3/4" cement stucco, applied in two coats, and floated smooth.

Cement plaster on metal lath shall be installed in carport, toilet and storage and behind all tile in baths.

## GLASS, GLAZING, AND MIRRORS

Art. 700. WINDOWS: Shall be glazed with D S "B" glass, except as follows:  
Opening 111 - 1/4" polished plate, openings 112 and 113 Solar Bronze, openings 104, 110, 115, 121, 128, 129/ shall receive 1/4" polished plate glass in fixed center sections. and 130

Art. 701. MIRRORS: On 3 doors to be determined later, provide 24" x 72" copper-backed, sealed-edge, 1/4" polished plate-glass mirrors having a two-year guarantee.

TILE AND CAST STONE

Art. 800. EXTENT OF WORK: Tile where shown shall be laid in accordance with Basic Specifications for Tile Work No. K-300 as issued by Tile Manufacturers Association and is to be given a thorough cleaning after all construction work is completed but prior to the application of the final coat of paint.

Art. 801. TILE: Shall be first quality, semi-matt glazed, cushion-edge tile as made by American-Olean or Mosaic Tile Co., laid with a small string joint.

Window sills in kitchen are to be ~~in.~~ *fornicia*  
Wall tiles are to be 4-1/4" x 4-1/4" with 2" x 6" cap and 4" x 6" base to match.

Door Sills

Art. 802. CAST STONE: /Shall be ~~stock~~ precast ~~panels 20" x 20" x 1/2"~~ ~~xxx 2 1/4"~~ imitation quarry key stone as made by Natural Slate Products, ~~or E. C. Peters, lead on xxxxxxxx~~.

Art. 803. POLISHED CAST STONE: Window sills throughout the house shall be of polished cast stone with molded edge to match approved sample, as made by Natural Slate Products. ~~or E. C. Peters.~~

PAINING

900. EXTENT OF WORK: This division of the specifications includes all painting throughout the building, and is covered by an allowance based on the following specifications.

Art. 901. MATERIALS: All paints, varnishes, shellacs, oils, etc., shall be of best grades. Paints and varnishes shall be ready mixed of Pratt & Lambert or DuPont or O'Brien Varnish Company make or other equal manufacture approved by the architect. All materials shall be delivered to the job in the manufacturer's original packages with labels intact and seals unbroken. All colors will be selected by the architect, and samples of all work shall be submitted to him for approval. No material is to be applied until the surface to be painted is thoroughly cleaned and sanded and shall be applied as per manufacturer's instructions.

Art. 902. PLASTER WALLS AND CEILINGS: Shall receive one coat of tinted sealer and one coat of flat paint of color selected.

Kitchen shall receive ~~one~~ <sup>tinted</sup> ~~one~~ coat of enamel undercoater, and one coat of semigloss enamel.

Art. 903. INTERIOR WOODWORK: Shall receive three coats of best quality lead-and-oil paint.

Kitchen shall be finished in semi-gloss enamel similar to the walls, bathroom woodwork shall receive semigloss enamel.

Cabinets and cupboards shall be pre-finished.

Art. 904. EXTERIOR WALLS: Exterior stucco shall receive two coats of PVA paint, of color to be selected.

Art. 905. EXTERIOR WOODWORK: Shall receive three coats best quality lead-and-oil paint in addition to the dipped coat of WOODLIFE applied at the mill, to be applied per manufacturer's instructions.

Art. 906. PAPER HANGING: Wallpaper and vinyl wall covering where called for in room finish schedule is to be hung over a sized wall with wheat paste. Edges are to be trimmed and butted. Paper is to be furnished by the decorator but this contractor will furnish labor and lining paper.

Art. 907. INTERIOR LARCH WALLS: The larch walls and trim and doors shall receive a coat of shellac, a coat of lead-and oil- paint thinned to the desired consistency, brushed on and then partially wiped off (either with clean rags or a dry brush), and a second coat of shellac. They are to be finished with paste wax, tinted and melted, applied with a brush, allowed to harden, and then rubbed down with cloths.

#### ELECTRICAL WORK

Art. 1000. GENERAL: The work under this heading includes all electrical work shown on drawings or herein specified to

make a complete job in every respect and shall be done in strict compliance with all regulations from authorities having jurisdiction as well as the electric Code of the National Board of Fire Underwriters.

Art. 1001. GUARANTEE: This contractor in undertaking the work under this contract hereby guarantees all materials and workmanship against defects for a period of one year after acceptance of the completed job and agrees to replace at his own expense all work showing such defects within that period.

1002. WIRING: Interior wiring is to be in EMT with the exception of panel feeders and floor outlets, which are to be run in rigid metallic conduit. No wire smaller than #12 shall be used, heavy duty appliances are to be fed by #8's.

Art. 1003. ELECTRIC SERVICE AND METER: Through a 6" x 6" gutter install a 200 Amp. 3-phase F.P.O. and 30 circuit, 100 Amp. 3-phase panel at location shown on plans; from here install a 3" conduit with wires as shown to meter hub; from meter hub install same size conduit and wires underground to Electric Utilities Company's pole, located on south property line.

Art. 1004. PANELS: Panels shown on Riser Diagram to be 3-wire, 3-phase with main lugs only, as manufactured by Square "D", Westinghouse, Walker, or equal.

All panels to be of the Circuit Breaker Type of the size and number as called for on the schedule.

Contractor shall make for approval a layout of the various circuits from each panel and, upon completion of the job, index and mark all circuits.

Art. 1005. SWITCHES AND COVER PLATES: Brass switch plates and cover plates shall be used throughout except in baths and kitchen, where stainless steel shall be used.

Bryant residential type quiet flush switches, #4501 and #4503 as required, shall be used throughout the house. Where switching to duplex convenience outlets are shown on plans, one side only should be switched and the other side left hot.

Art. 1006. TELEPHONE: Install cabinet in Closet #1 with 1" conduit to terminal box outside of building at location approved by Telephone Company's representatives. From cabinet run 3/4" conduit to instrument locations shown on floor plans. Provide fish wire in all conduits.

Art. 1007. FIXTURES, LAMPS, AND APPLIANCES: This contractor is to hang all fixtures purchased under the allowance and supplied by the owner. Upon completion of the work he is to furnish and install lamps of suitable wattage in all fixtures. He is also to install owner's kitchen and laundry appliances.



Art. 1008. ANNUNCIATOR AND BELLS: Install in kitchen a #81 - 8-drop Edwards annunciator with a #88 - 50 transformer.

- 1 - Front door, Opening 101 - weatherproof push button
- 2 - Rear door, Opening 125 " " "
- 3 - Den and Dining Room, floor treadle
- 4 - Owner's bedroom, pear type push button
- 5 - Kitchenette, wall button
- 6, 7 & 8 - Spares

Art. 1009. HEATERS: Furnish and install manually operated Nutone Model #9400 infra-red electric heat lamps at locations shown below:

- Bath #1
- Bath #2
- Bath #3

Art. 1010. SPECIAL WORK: Furnish electrical connection in heater and air conditioner rooms to appliances by others and provide conduit and wire to thermostat location shown on plans. Provide wiring to air cooled condensers ~~work to be done on pool pumps~~ at designated locations. Stub out to west of house for future pool equipment.

## PLUMBING

Art. 1100. GENERAL: The work under this division of the specifications includes all plumbing shown on plans or specified herein to make a complete job in every respect. In general, this consists of the following:

- a. water supply, both hot and cold,
- b. Soil, vent, and sewage system including septic tanks,
- c. all excavation and backfill in connection with this work,
- d. temporary water supply.

Art. 1101. REGULATIONS: All plumbing shall be done in accordance with the best standard practice and in strict compliance with the provisions of the local plumbing ordinances and state laws governing same.

Art. 1102. GUARANTEE This contractor, in undertaking the work under this contract, hereby guarantees all materials and workmanship against defects for a period of one year after acceptance of the completed job and agrees to replace, at his own expense, all work showing such defects within that period.

Art. 1103. SUPPLY Water supply from main along Sewall's Point Road shall be brought west along north side of owner's driveway to a point 5' from house in 2" dia. high impact, schedule 80 P.V.C. pipe with valves and fittings to correspond. Tees are to be located at 100' intervals along this line.

At the building take off with 2" type "L" copper with standard fittings of the same material. All waste lines shall be cast iron to a point 5'0" outside of building. Air chambers shall be installed at all fixtures except water closets and shall be 30 times pipe diameter on hot and cold supply lines.

Provide 4 hose bibbs as shown on floor plan.

Separate waste lines shall be provided for garbage disposer and dishwasher.

Septic tanks and drain fields are shown on plot plan. Septic tanks shall be precast. Drain fields shall be of the cradle drain type in gravel trenches.

Gas piping layout is shown on the plans.

Lucke Leak-proof tub hangers are to be provided for all tubs.

Furnish and install in north wing Pen 80 HD and in Guest Wing PEN 40 HD electric water heaters.

Stub out 3/4" supply for future pool on west side of house.

Art. 1104. PLUMBING FIXTURES LIST

	<u>Make - American Standard</u>	<u>Color - White</u>
Bath #1		
<u>P-2185</u>	5-1/2 ft. CONTOUR recess E. I. A. R. TUB	
N-1072	C. P. transfer valve modified with integral screwdriver stops, less head modified with clear Lucite handles	
S-2250	Model #2 Speakman shower head	
N-1700-16	Heritage tub waste	
F-470	Ovalyn 19 x 15" oval lavatory with plain rim	
N-2103-10	Heritage lavatory fitting C. P. modified w/clear Lucite handles	
(1) Pr.	1/2" Sweat supplies 3/8 x 12" w/stop	
	1-1/4" C. P. 17 ga. P Trap	

Bath #1 continued

F-2002-V-11 Luxor one-piece closet with Vent-away  
LC-212 Contour elongated seat  
1/2" Sweat 3/8" x 12" supplies w/stop  
Flange package, setting seal

Bath #2

P-2187 5-1/2 ft. Contour recess E. I. A. R. tub  
same as described in Bath #1  
F-470 19 x 15" Ovalyn oval lavatory same as described in Bath #1  
F-2002-V-11 Luxor one-piece closet with vent-away as described in Bath #1

Kitchen

P-7012 30" Am. Std EIAR single sink  
AS-106 Amer. Std. food waste disposal  
(2) 1-1/2" Satin 17 ga. P Traps  
(1) Pr. 3/8 x 12" Sweat R. B. sink supplies with stops

Bar

BL-1114 Elkay stainless steel flat rim sink  
R-4314-R Single handle pantry faucet w/gooseneck spout, handle index cold  
R-4515 Basket strainer  
1/2" Sweat 3/8 x 20" R. B. supplies, stops  
1-1/2" 17 ga. P trap with Hudec rim

Utility Room

P-7601 24 x 20" Ledgemont laundry tray  
R-4150-1 C. P. swing spout faucet w/hose end  
R-4535 Tray plug  
1-1/2" Satin 17 ga. P Trap

Toilet Room

F-2122 V.C. Cadet white closet continuation 12" rough  
with #540 white Church seat w/cover  
1/2" Sweat supply, stop, Flange package, setting seal  
F-321 19 x 17" Declyn V.C. white lavatory w/N-2001 Heritage faucet  
(1) Pr. 1/2" Sweat supplies, with stop  
1-1/4" C. P. 17 ga. P Trap

Bath #3

P-2187 5-1/2 ft. Contour recess tub E.I.A.R.  
same as described in Bath #1.  
F-470 19 x 15" Ovalyn oval lavatory same as described in Bath #1  
F-2002-V-11 Luxor one-piece closet with vent-away  
as described in Bath #1

Kitchenette

LWR 2522-L Elkay Stainless Steel Sink  
w/basket strainer and faucets

HEATING AND AIR CONDITIONING

Art. 1200. GENERAL: This work is covered by an allowance. The  
General Contractor is to do all necessary  
cutting and patching, supply electric service, gas and floor drains, and  
coordinate his work with this sub-contractor's work.

~~XXXXXXXXXXXX~~

~~Art. 1200. GENERAL:~~ ~~See attached proposal and shop drawing covering~~  
~~the installation of 18" x 36" Rule Rock, filtered~~  
~~and heated.~~

**155**

**DOCK**

12/6/68.

TOWN OF SEWALL'S POINT - FLORIDA

#155

Application For Building Permit

Owner E Clinton Towl Present Address Sewall's Point Phone 287-4438

Architect Sands Construction Address Hobe Sound, Fla

General Contractor Sands Cons Address Same Phone 546-2111

Where Licensed MARTIN CO License No. \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Electrical Contractor \_\_\_\_\_ Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Property Location \_\_\_\_\_ Subdivision \_\_\_\_\_ Lot No. \_\_\_\_\_

Lot Dimensions \_\_\_\_\_ Lot Area \_\_\_\_\_ Sq. Ft. \_\_\_\_\_

Purpose of Building Dock Type of Construction Wood - Concrete

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls \_\_\_\_\_ Inside of Walls \_\_\_\_\_

Street or Road building will front on \_\_\_\_\_

Clearances - Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_ River \_\_\_\_\_

Well Location \_\_\_\_\_ Septic Tank Location \_\_\_\_\_

Building elevation (By Ordinance Definition) \_\_\_\_\_

Contract Price (Include Plumbing, Electrical, Air Conditioning) 9500.00

PERMIT FEE	New Home	Additions	Others
General (\$3.00 per \$1000 or Fraction)	<u>30.00</u>	_____	_____
Plumbing (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Electrical (Flat Fee)	<u>\$10.00</u>	<u>\$3.00</u>	_____
Total (To be paid by General Contractor or Owner)	<u>30.00</u>	_____	_____

SIGNED: - General Contractor or Owner [Signature]

Building Inspector Comments: [Signature]

\*\*\*\*\*

FOR TOWN RECORDS: Date Drawings submitted 12/6/68

Date Permit approved 12/9/68

Date Permit Fee paid 12/6/68

Date First Inspection \_\_\_\_\_

Date Final Inspection \_\_\_\_\_

Date Occupancy approved \_\_\_\_\_

#155

155

**161**

**GARAGE**

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner E.C. TOW Present Address Sewall's Point Phone 281-  
 Architect Sands Const Address Hobe Sound  
 General Contractor Sands Const Address Hobe Sound Phone 546-2111

Where Licensed Palm Beach - Martin Co. License No. \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ Where Licensed \_\_\_\_\_ No. \_\_\_\_\_

Electrical Contractor Sands Where Licensed Martin No. \_\_\_\_\_

Property Location \_\_\_\_\_ Subdivision \_\_\_\_\_ Lot No. \_\_\_\_\_

Lot Dimensions \_\_\_\_\_ Lot Area \_\_\_\_\_ Sq. Ft. \_\_\_\_\_

Purpose of Building Garage Type of Construction Same as Residence

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls \_\_\_\_\_ Inside of Walls \_\_\_\_\_

Street or Road building will front on \_\_\_\_\_

Clearances - Front \_\_\_\_\_ Back \_\_\_\_\_ Side 21' Side \_\_\_\_\_ River \_\_\_\_\_

Well Location \_\_\_\_\_ Septic Tank Location \_\_\_\_\_

Building elevation (By Ordinance Definition) \_\_\_\_\_

Contract Price (Include Plumbing, Electrical, Air Conditioning) 10,000

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (\$3.00 per \$1000 or Fraction) _____			<u>30.00</u>
Plumbing (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	<u>70.00</u>
Electrical (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	<u>10.00</u>
Total (To be paid by General Contractor or Owner) -----			<u>40.00</u>

SIGNED: - General Contractor or Owner R. L. Hayward

Building Inspector Comments: \_\_\_\_\_

\*\*\*\*\*

FOR TOWN RECORDS: Date Drawings submitted 2/14/68  
 Date Permit approved 2/28/69  
 Date Permit Fee paid 2/28/69  
 Date First Inspection \_\_\_\_\_  
 Date Final Inspection \_\_\_\_\_  
 Date Occupancy approved \_\_\_\_\_

#161



**504**

**GUEST HOUSE**

**&**

**GARAGE**

TOWN OF SEWALL'S POINT, FLORIDA

75 N. Sewall's Pt Rd

APPLICATION FOR BUILDING PERMIT

NOTE: NO HEALTH CERTIFICATE NECESSARY AS NO CONNECTIONS AT THIS TIME 12/6/74

Permit No. #504 Date 12/6/74

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner RICHARD K. CARROLL Present Address 73 Sewalls Pt Rd Ph 283-3800

General Contractor SAME AS ABOVE Address SAME AS ABOVE Ph SAME

Where licensed OWNER BUILDER License No.

Plumbing Contractor SAME License No.

Electrical Contractor SAME License No.

Street building will front on REAR WILL FACE SEWALLS PT. RD. N 162 FT OF THE S 10767 FT OF GOUNT LOT 3 LOCATED ON THE W SIDE OF SEWALLS PT RD., SEC 35, Subdivision Lot No. Area T 375, R 416, SEWALLS PT RD MC. FLA

Building area, inside walls (excluding garage, carport, porches) Sq ft 2,400 Sq FT

Other Construction (Pools, additions, etc.) Guest house + garage NONE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 19,200.00

Total cost of permit \$

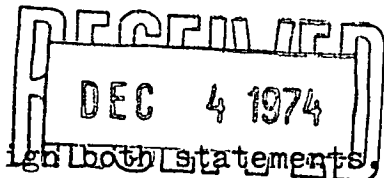
Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner



Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted

Date approved [Signature] 12/5/74

Certificate of Occupancy issued FINAL 6/9/75 Date #504

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date \_\_\_\_\_

This is to request that a Certificate of Approval for Occupancy be issued to B. K. CARROLL 75 N SEWALLS PT For property built under Permit No. 504 Dated \_\_\_\_\_ when completed in conformance with the Approved Plans.

Signed \_\_\_\_\_

\*\*\*\*\*

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	OK 12/11/74	CP
Rough plumbing	OK 1/28/75	CP SLAB 2/3/75
Perimeter beam	OK 3/4/75	
Rough electric	OK 5/13/75	
Close in	OK 5/13/75	
Final plumbing	5/27/75	CP
Final electric	6/9/75	CP

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector 5/27/75 CP date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified 6/9/75 date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

NOTE: NO HEALTH CERT. NECESSARY  
AS NO CONNECTIONS AT THIS TIME

12/6/74  
m.

#504

NO SIMILAR AT 211

on west side of Carroll Pt Rd. Sec 31 T37 R41

PRECINCT 2 LOCATION W. 711 1120 FT of SW 1076 7 Pl MAILING ADDRESS \_\_\_\_\_

OWNER Rick Carroll W \_\_\_\_\_ C \_\_\_\_\_ MAILING ADDRESS \_\_\_\_\_

OCCUPANT \_\_\_\_\_ W \_\_\_\_\_ C \_\_\_\_\_ MAILING ADDRESS 73 No S Pt Rd

NO OF OCCUPANTS \_\_\_\_\_ TYPE OF BUILDING Exterior Frame Home NO OF ROOMS \_\_\_\_\_

STATE OF REPAIR Blg #50504 - CBS Garage with 1/2 in APT

WATER SUPPLY (TYPE) PUBLIC - SW GULF PER PARTICULATE CONC \_\_\_\_\_

CASING (TYPE AND DEPTH) \_\_\_\_\_

SURFACE PROTECTION \_\_\_\_\_

METHOD OF DELIVERY \_\_\_\_\_

EXCRETA DISPOSAL (TYPE AND CONDITION) 75-01' from ground, 9' x 14' (cont)

CONDITION OF PREMISES \_\_\_\_\_

EVIDENCE OF RODENTS OR HARBORAGE \_\_\_\_\_ LIVESTOCK \_\_\_\_\_

SCREENING \_\_\_\_\_ FLY BREEDING \_\_\_\_\_

MOSQUITO BREEDING \_\_\_\_\_

GARBAGE DISPOSAL \_\_\_\_\_ RUBBISH AND LITTER \_\_\_\_\_

SINK WASTE \_\_\_\_\_

DATE 3/11/71

J. C. Bantam, SANITARIAN

STATE OF FLORIDA  
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES  
DIVISION OF HEALTH  
Post Office Box 210 Jacksonville Florida 32201

Sanitary Survey Record San - 400  
(Rev 7/63)

287-2277

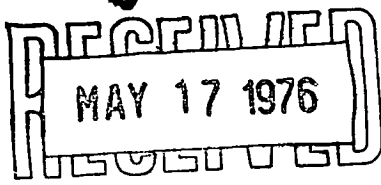
**599**

**ADDITION**

orig #112

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT



Permit No. 599  
Date 5-17-76

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner E. CLINTON TOWIL Present Address <sup>75 NORTH</sup> SEWALLS POINT ROAD Ph.

General Contractor SAHNS CONST CO, INC Address HOBIE SOUND, FLA Ph 546-2111

Where licensed STATE LICENCE License No. \_\_\_\_\_

Plumbing Contractor STUART PLUMBING License No. \_\_\_\_\_

Electrical Contractor ARLINGTON ELECT License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot No. \_\_\_\_\_ Area \_\_\_\_\_

Building area, inside walls (excluding garage, carport, porches) Sq ft 400 S F

Other Construction (Pools, additions, etc.) <sup>yes - electric & plumbing</sup> ADDITION TO RESIDENCE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 18,000<sup>00</sup>

Total cost of permit \$ 18,000<sup>00</sup>

Plans approved as submitted 110<sup>00</sup> Plans approved as marked

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Richard W. Sands  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

\_\_\_\_\_  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved \_\_\_\_\_

5/19/76 JR Rando  
5/18/76 Charles Dinger

Certificate of Occupancy issued 9/20/76 Date #599

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date May 19

This is to request that a Certificate of Approval for Occupancy be issued to Pool addition  
For property built under Permit No. 599 Dated SEWALLS PT RD  
when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	6/15/78	6/28/78
Rough plumbing		
Perimeter beam	6/18/78	
Rough electric		
Close in	7/14/78	
Final plumbing		
Final electric	9/20/78	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

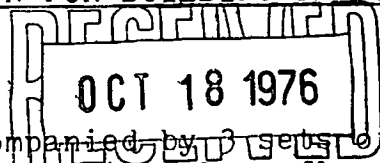
**638**

**FENCE**



OWNERS OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT



Permit No. 638  
Date 10/21/76

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner E.C. Towl Present Address 75 N Sewall's Point

General Contractor BIGEN ENTERPRISES INC Address 129 LEHANE TOLL Ph 1-844-7889

Where licensed MARTIN COUNTY License No. 334

Plumbing Contractor \_\_\_\_\_ License No. \_\_\_\_\_  
Electrical Contractor \_\_\_\_\_ License No. \_\_\_\_\_

Street building will front on \_\_\_\_\_

Subdivision SEWALL'S POINT Lot No. 3 Area SEC 35

Building area, inside walls (excluding garage, carport, porches) Sq ft 626 LFT

Other Construction (Pools, additions, etc.) CHAIN LINK FENCE

Contract Price (excluding land, rugs, appliances, landscaping) \$ 2800<sup>00</sup>

Total cost of permit \$ 1500

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

[Signature]  
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

\_\_\_\_\_  
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted \_\_\_\_\_

Date approved [Signature] 10/27/76

Certificate of Occupancy issued 11/9/76 Date \_\_\_\_\_

638  
TOWL

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 10/21/76

This is to request that a Certificate of Approval for Occupancy be issued to Jane Hensch

For property built under Permit No. 638 Dated \_\_\_\_\_

when completed in conformance with the Approved Plans.

\_\_\_\_\_  
Signed

\*\*\*\*\*

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	11/9/76	CP
Rough plumbing		
Perimeter beam		
Rough electric		
Close in		
Final plumbing		
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector \_\_\_\_\_ date

Approved by Town Commission \_\_\_\_\_ date

Utilities notified \_\_\_\_\_ date

Original Copy sent to \_\_\_\_\_

(Keep carbon copy for Town files)

**1428**

**FENCE**

TOWN OF SEWALL'S POINT FLORIDA

Permit No. 1428

Date \_\_\_\_\_

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner RICK CARROLL Present address 73 W SEWALLS PT RD

Phone 283-3800 334-3181

Contractor MARTIN FENCE CO. Address 1125 OLD DIXIE HWY

Phone 334 0000

Where licensed MARTIN CO. License number 00056

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought. 53' OF 5' GREEN VINYL CHAIN LINK  
75 N SEWALLS PT RD.

State the street address at which the proposed structure will be built

Subdivision SEWALLS PT part Govt. Lot 3  
Lot No. \_\_\_\_\_

Contract price \$ 796 22 Cost of Permit \$ 5.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

X Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD Date submitted 11-12-81

Approved [Signature] 11/13/81  
Building Inspector Date

Approved [Signature] 11/13/81  
Commissioner Date

Final Approval given: [Signature] 12/8/81  
Date

Certificate of Occupancy issued \_\_\_\_\_  
Date

1428



**4849**

**RE-ROOF**

MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 2/29/00 BUILDING PERMIT NO. 4849  
 Building to be erected for HELENA OBERSHEIMER Type of Permit RE ROOF  
 Applied for by JUPITER ROOFING (Contractor) Building Fee \_\_\_\_\_  
 Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 75 N SEWALL'S POINT ROAD Impact Fee \_\_\_\_\_  
 Type of structure S.F.R. A/C Fee \_\_\_\_\_  
 Electrical Fee \_\_\_\_\_  
 Parcel Control Number 35-37 41-0000 0000-260700 Plumbing Fee \_\_\_\_\_  
 Amount Paid \$120.00 Check # 006218 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
 Total Construction Cost \$ 82,990.00 TOTAL Fees \$ 120.00  
 Roofing Fee \$120.00

Signed [Signature] Applicant  
 Signed [Signature] Town Building Inspector OFFICIAL

# RE-ROOFING PERMIT

*INSP RECORDS ATTACHED SA*

<del>SH [Signature]</del> DRY IN PROGRESS	DATE <u>3/1/00</u>	INSPECTIONS	DATE _____
	DATE <u>3/8/00</u>	PROGRESS FINAL	DATE <u>4/26/00</u>

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**

**WORK HOURS – 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

- New Construction  
  Remodel  
  Addition  
  Demolition

**This permit must be visible from the street, accessible to the inspector.**

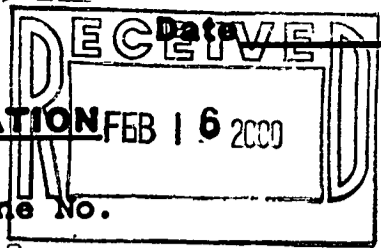
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**

**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# \_\_\_\_\_

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION



Owner's Name: HELENA TOWL OBERLSHEIMER Phone No. \_\_\_\_\_  
Owner's Present Address: 75 N. SEWALLS POINT ROAD  
Fee Simple Titleholder's Name & Address if other than owner \_\_\_\_\_

Location of Job Site: 75 N SEWALLS PT RD.  
TYPE OF WORK TO BE DONE: REEROOF  
CONTRACTOR INFORMATION: JUPITER ROOFING & SHEET METAL INC  
Contractor/Company Name: \_\_\_\_\_ Phone No. 746-4066  
COMPLETE MAILING ADDRESS: 149 JUPITER ST JUPITER FL 33458  
State Registration ER State License CCC037004  
Legal Description of Property N 200 7' FEEL of 600 LOT 3 W OF SEWALLS PT. RD.  
Parcel Number 35374/00000000260700

### ARCHITECT/ENGINEER INFORMATION

Architect \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_  
Engineer \_\_\_\_\_ Phone No. \_\_\_\_\_  
Address \_\_\_\_\_

Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

### FLOOD HAZARD INFORMATION

flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
Cost of construction or Improvement \$82,990.00  
Fair Market Value (FMV) prior to improvement \_\_\_\_\_  
Substantial Improvement 50% of FMV yes \_\_\_\_\_ No \_\_\_\_\_  
Method of determining FMV \_\_\_\_\_

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical \_\_\_\_\_ State License \_\_\_\_\_  
Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
Plumbing \_\_\_\_\_ State License# \_\_\_\_\_  
Roofing \_\_\_\_\_ State License# \_\_\_\_\_

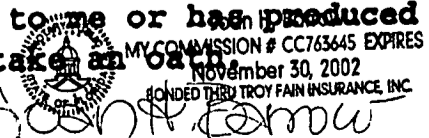
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE \_\_\_\_\_  
Sworn to and subscribed before me this 16 day of FEBRUARY, 2000 by PAUL A HERCHEW who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.

CONTRACTOR SIGNATURE \_\_\_\_\_  
Sworn to and subscribed before me this 16 day of FEBRUARY, 2000 by PAUL A HERCHEW who is personally known to me or has produced \_\_\_\_\_ and who did (did not) take an oath.





**TREE REMOVAL (Attach sealed survey)**

No. of trees to be removed \_\_\_\_\_ No. to be retained \_\_\_\_\_ No. to be planted \_\_\_\_\_

Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE :**

- A. Property Appraiser's Parcel Number.
  - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - C. Contractor's name, address, phone number & license numbers.
  - D. Name all sub-contractors (properly licensed).
  - E. Current Survey
  - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
  2. Foundation Details
  3. Elevation Views - Elevation Certificate due after slab inspection.
  4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  5. Truss layout
  6. Vertical Wall Sections (one detail for each wall that is different)
  7. Fireplace drawing: If prefabricated submit manufacturers data.

**ADDITIONAL Required Documents are:**

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
02/16/00

**PRODUCER**  
FRANK H. FURMAN, INC.  
FRANK H. FURMAN #AC91425  
P. O. BOX 1927  
POMPAÑO BEACH, FL 33061

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**INSURED**  
JUPITER ROOFING & SHEET METAL, INC  
149 W JUPITER ST  
JUPITER FL 33468

**COMPANIES AFFORDING COVERAGE**  
COMPANY A LUMBERMENS MUTUAL CASUALTY CO  
COMPANY B  
COMPANY C  
COMPANY D

**FILE**  
PROFIT

**COVERAGES**  
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNERS & CONTRACTORS PROT	5AA03865800	5/01/99	5/01/00	GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 PERSONAL & ADV INJURY \$1,000,000 EACH OCCURRENCE \$1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON OWNED AUTOS	F5D00735600	5/01/99	5/01/00	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY \$ EACH ACCIDENT \$ AGGREGATE \$
	<b>EXCESS LIABILITY</b> <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				WC STATUS: <input type="checkbox"/> QTY LIMITS: <input type="checkbox"/> OTH ER: EL EACH ACCIDENT \$ EL DISEASE POLICY LIMIT \$ EL DISEASE -A EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

**CERTIFICATE HOLDER**  
TOWN OF SEWALL'S POINT  
1 S SEWALL'S POINT ROAD  
SEWALL'S POINT FL 34996

**CANCELLATION**  
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE: *Frank H. Furman* CS A  
FRANK H. FURMAN, INC. ACORD CORPORATION 1988

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
02/16/2000

AGENCY  
KEN THOMAS CONSULTING  
357 CYPRESS DRIVE, SUITE 11  
TEQUESTA FL 33469  
561-744-5500

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

COMPANIES AFFORDING COVERAGE

COMPANY  
A PINNACLE ASSURANCE CORPORATION

RECEIVED

INSURED  
~~JUPITER ROOFING CONTRACTOR METAL, INC.~~  
137 W. JUPITER STREET  
JUPITER FL 33458-4929  
561-746-4066

COMPANY  
B  
COMPANY  
C  
COMPANY  
D

FEB 16 2000

BY: EA (FAX)

JUPITER RFG

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS																				
	<b>GENERAL LIABILITY</b>				BODILY INJURY OCC \$ BODILY INJURY AGG \$ PROPERTY DAMAGE OCC \$ PROPERTY DAMAGE AGG \$ BI & PD COMBINED OCC \$ BI & PD COMBINED AGG \$ PERSONAL INJURY AGG \$																				
	<input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES/OPERATIONS <input type="checkbox"/> UNDERGROUND EXPLOSION & COLLAPSE HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPER <input type="checkbox"/> CONTRACTUAL <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> PERSONAL INJURY																								
	<b>AUTOMOBILE LIABILITY</b>				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$ BODILY INJURY & PROPERTY DAMAGE COMBINED \$																				
	<input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS (Private Pass) <input type="checkbox"/> ALL OWNED AUTOS (Other than Private Passenger) <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY																								
	<b>EXCESS LIABILITY</b>				EACH OCCURRENCE \$ AGGREGATE \$																				
	<input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM																								
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>	4079048	04/01/1999	04/01/2000	<table border="1"> <tr> <td><input checked="" type="checkbox"/></td> <td>WC STATUTORY LIMITS</td> <td><input type="checkbox"/></td> <td>OTHER</td> <td></td> </tr> <tr> <td>EL</td> <td>EACH ACCIDENT</td> <td>\$</td> <td></td> <td>100,000</td> </tr> <tr> <td>EL</td> <td>DISEASE POLICY LIMIT</td> <td>\$</td> <td></td> <td>500,000</td> </tr> <tr> <td>EL</td> <td>DISEASE EA EMPLOYEE</td> <td>\$</td> <td></td> <td>100,000</td> </tr> </table>	<input checked="" type="checkbox"/>	WC STATUTORY LIMITS	<input type="checkbox"/>	OTHER		EL	EACH ACCIDENT	\$		100,000	EL	DISEASE POLICY LIMIT	\$		500,000	EL	DISEASE EA EMPLOYEE	\$		100,000
<input checked="" type="checkbox"/>	WC STATUTORY LIMITS	<input type="checkbox"/>	OTHER																						
EL	EACH ACCIDENT	\$		100,000																					
EL	DISEASE POLICY LIMIT	\$		500,000																					
EL	DISEASE EA EMPLOYEE	\$		100,000																					
	<input type="checkbox"/> THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL																								
	OTHER																								

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

ROOFING CONTRACTOR

CERTIFICATE HOLDER

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point FL 34996  
561-287-2455  
Fax# 561.220.4765

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY OR AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

© ACORD CORPORATION 1988

AC# 5158557

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/06/1998	87903925	GC-0037004

The **ROOFING CONTRACTOR**  
 Named below **IS CERTIFIED**  
 Under the provisions of Chapter 489, FS.  
 Expiration date: **AUG 31, 2000**

**HERCHEN, PAUL A**  
**JUPITER ROOFING & SHEET MET IN**  
**149 WEST JUPITER STREET**  
**JUPITER, FL 33468-0943**

**LAWTON CHILES**  
**GOVERNOR**

**DISPLAY AS REQUIRED BY LAW**

**RICHARD T. FARRELL**  
**SECRETARY**

# Notice Of Commencement

To Whom It May Concern:

The undersigned hereby informs all concerned that Improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT.

Legal Description of Property (Include Street Address, if available) 75 N Sewall's Point Road, Sewall's Point FL 34996 - N 2007' PERP OF LOW LOT 3 W OF SEWALL'S PT RD (LESS ELY 2' R/W PER OR 1100/1714) PARCEL NUMBER 3537410000000260700

General Description of Improvements ROOF

Owner HELENA TOWN OBERDHEIMER

Address 75 N. SEWALL'S POINT ROAD, SEWALL'S POINT FL 34996

Owner's Interest in Site of the Improvement \_\_\_\_\_

Fee Simple Title Holder (If other than Owner)

Name NONE

Address \_\_\_\_\_

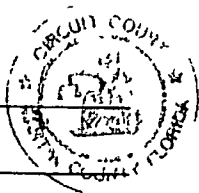
Contractor JUPITER ROOFING - SHEET METAL INC

Address 149 JUPITER ST JUPITER FL 33458

Surety (if any) NONE

Address \_\_\_\_\_

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING 1 PAGE(S) IS/ARE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHALL J. HERCHEN  
BY POOPER DC  
DATE 2/16/00



Amount of bond \$ \_\_\_\_\_

Any person making a loan for the construction of the Improvements: \_\_\_\_\_

Name NONE

Address \_\_\_\_\_

Person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name NONE

Address \_\_\_\_\_

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (h), Florida Statutes. (Fill in at Owner's option).

Name NONE

Address \_\_\_\_\_

This space for Recorder's Use Only

Helena Town Oberdheimer  
Owner

Sworn to and subscribed before me this 14<sup>TH</sup>

day of FEBRUARY 2000.

Paul A Herchen



Notary Public  
PAUL A HERCHEN  
Notary Public, State of Florida  
My Comm Exp Dec 26, 2003  
Comm No CC 884788



METROPOLITAN DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130 1563  
(305) 375-2901  
FAX (305) 375-2908

**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

**Bermuda Roof Company, Inc.**  
1499 W Palmetto Park Road, Suite 169  
Boca Raton, FL 33486


PRODUCT CONTROL DIVISION  
(305) 375 2902  
FAX (305) 372 6339

Your application for Product Approval of  
**Tile-Tite™ Lightweight Pre-mixed Roof Tile Mortar**  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and types of Construction, and completely described in the plans, specifications and calculations as submitted by Florida Testing and Engineering, Inc and Center for Applied Engineering, Inc Has been recommended for acceptance by the Building Code Compliance Department to be used in Dade County, Florida under the specific conditions set forth on page 2 through 18 and the standard conditions set forth on page 19

The approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

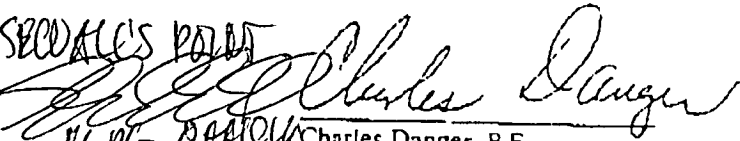
Acceptance No 97-0113 10      Renews No 94-0614.01

Expires 05/29/00

  
Raul Rodriguez  
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS**  
**BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

2/29/00 TOWN OF SEWELL'S POINT  
REVIEW:   
BLDG. DEPT. Charles Danger, P E  
Director

Approved 05/29/97

TOWN COPY  
75 N. SEWELL'S POINT ROAD

Building Code Compliance Dept  
Metropolitan Dade County

**PN 4849**



**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

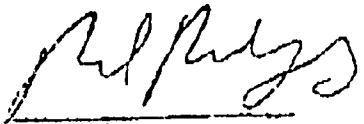
Monier Lifetile LLC  
135 N W. 20 St  
Boca Raton, FL 33431

Your application for Product Approval of  
Monier Lifetile Nail-On, Mortar Set or Adhesive Set "Atlantis Shake Or Slate" Roofing Tile  
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and  
Types of Construction, and completely described in the plans, specifications and calculations as  
submitted by  
Redland Technologies, The Center for Applied Engineering, Inc. and Professional Service  
Industries, Inc.,  
has been recommended for acceptance by the Building Code Compliance Office to be used in Dade  
County, Florida under the specific conditions set forth on pages 2-8 and the standard conditions on page  
9.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance  
Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's  
plant for quality control testing. If this product or material fails to perform in the approved manner, the  
Building Code Compliance Office may revoke, modify, or suspend the use of such product or material  
immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is  
determined by the Building Code Compliance Office that this product or material fails to meet the  
requirements of the South Florida Building Code.

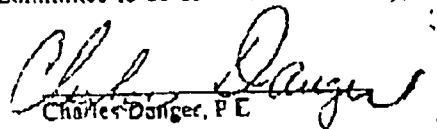
The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 98-0604 01 Renews No. 95-0322 06  
EXPIRES. 08/27/98

  
Raul Rodriguez  
Chief, Product Control

**THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building  
Code Compliance Office and approved by the Building Code Committee to be used in Dade County,  
Florida under the conditions set forth above.

  
Charles Danger, P.E.  
Director  
Building Code Compliance Dept  
Metropolitan Dade County

APPROVED 8/27/2001





## Specification 4CID/4FID/4PID

**Four Ply Hot Mopped Modified Bitumen Mineral Surfaced Roofing System** For use over JM insulation, approved decks, or other approved insulations on inclines up to 3" per foot (250 mm/m)

For Regions 1, 2 and 3

Materials per 100 sq ft (9.3 m<sup>2</sup>) of Roof Area

<b>Primer (If required)</b>		
JM Concrete Primer		1 gallon (3.8 liters)
<b>Intermediate Felts</b>		
GlasPly Premier or GlasPly IV		3 layers
<b>Cap</b>		
4CID—DynaKap, DynaKap FR, DynaMax or DynaMax FR		
4FID—DynaGlas, DynaGlas FR or DynaGlas 30 FR		
4PID—DynaLastic 180, DynaLastic 180 FR, DynaLastic 250 or DynaLastic 250 FR		1 layer
<b>Asphalt (Refer to Para 7A.8) Trumbull or other JM Approved Asphalt</b>		
Incline per foot	Asphalt	Total Weight
Up to 1/2"	190°F, Type III, Steep	92 lbs (42 kg)
1/2" to 3"	220°F, Type IV, Special Steep	92 lbs (42 kg)

Approximate installed weight 175 - 285 lbs (79 - 129 kg)

### General

This specification is for use over any type of approved structural deck which is not nailable and which provides a suitable surface to receive the roof. Poured and pre-cast concrete decks require priming with JM Concrete Primer prior to application of hot asphalt.

This specification is also for use over JM roof insulations, or other approved roof insulations which are not nailable and which provide a suitable surface to receive the roof. Specific written approval is required for any roof insulation that is not supplied by JM. Insulation should be installed in accordance with the appropriate JM Insulation Specification detailed in the JM Commercial/Industrial Roofing Systems Manual. This specification can also be used in certain reroofing situations. Refer to the "Reroofing" section of the JM Commercial/Industrial Roofing Systems Manual. This specification is not to be used directly over gypsum, either poured or pre-cast, or lightweight, insulating concrete decks or fills.

**Design and installation of the deck and/or roof substrate must result in the roof draining freely, to outlets numerous enough and so located as to remove water promptly and completely. Areas where water ponds for more than 24 hours are unacceptable and will not be eligible for a JM Roofing System Guarantee.**

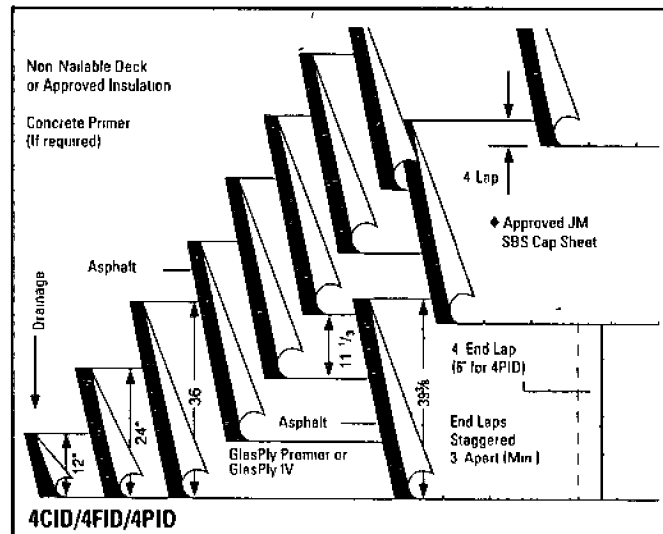
**Note:** All general instructions contained in the current JM Commercial/Industrial Roofing Systems Manual shall be considered part of this specification.

### Flashings

Flashing details can be found in the "Bituminous Flashings" section of the JM Commercial/Industrial Roofing Systems Manual.

### Application

On roof decks with slopes up to 1/2" per foot (41.6 mm/m), the roofing felts and modified bitumen sheets may be installed either perpendicular or parallel to the roof incline.



Roll a 12 (305 mm) wide piece of one of the intermediate felts listed into a full mopping of asphalt. Over that, apply one 24 (610 mm) wide. Over both apply a full width piece. The remaining felts are to be applied full width, overlapping the preceding felts by 24% (627 mm), so that at least 3 plies of felt cover the substrate at all locations.

Apply a full width piece of one of the cap sheets listed into a full mopping of asphalt. Subsequent sheets are to be applied in the same manner, with 4" (102 mm) side and end laps over the preceding sheets (6" [152 mm] end laps for DynaLastic products).

Apply all felts so that they are firmly and uniformly set, without voids, into the hot asphalt. Asphalt temperature should be at the Equiviscous Temperature (EVT), ±25°F (±14°C), at the point of application. All felt edges shall be well sealed. The asphalt shall be applied just before the felt, at a nominal rate of 23 lbs per square (1.1 kg/m<sup>2</sup>). When applying over insulations, more than 23 lbs per square (1.1 kg/m<sup>2</sup>) of asphalt may be needed due to the absorbency of the insulation. For modified bitumen sheets, the asphalt temperature shall be at a minimum of 400°F (204°C), or at the EVT, whichever is higher, when the sheet is set into it. This higher temperature maximizes the bonding of the modified bitumen sheet.

Cap sheets with polyester reinforcement must be allowed to relax in an unrolled position prior to installation.

For cold weather application techniques, refer to Paragraph 7A.31.

### Steep Slope Requirements

Special procedures are required on inclines over 1/2" per foot (41.6 mm/m). Refer to Paragraph 7A.29.

### Surfacing

No additional surfacing is required.

### Asphalt

Asphalt should meet the requirements of ASTM D 312.

JM Guarantees require the use of Trumbull asphalt or another JM Approved Asphalt. The Contractor must provide an Asphalt Confirmation Number (ACN) on projects which require a JM Guarantee. The ACN will indicate that the asphalt was registered with the approved asphalt source.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri  Sat  Sun, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4828	ERWIN GIFFORD 85 N. Sewall Pt Rd Indialucie	PORCH SLAB	PASSED BG	Termite spray By Patrick 2-29-00
4527	SEELY 37 NE. Lofting way Plantation	2 <sup>nd</sup> floor slab Columns & tie beams	PARTIAL BG	
4840	LUANE SCHUCKMAN 4 FIELDWAY DR (Indialucie)	SHEATHING	Passed BG	
4673	FOGUA CONST. 110 HENRY SEWALL WAY	INSULATION WIRE LATH	PARTIAL Passed	windows only BG BG
<del>4849</del>	<del>Obersheimer</del> <del>75 N. S. PRD.</del>	<del>roof</del> <del>sheathing</del>	<del>Passed</del> BG	<del>late AM</del>
4842	Hansen 32 N S PRD	pool exc final	Passed BG	
4800	Hammock 25 Rio Vista (Patrick) 263-0116	tintag + metal	Passed BG	

OTHER 1. T/R PERMIT APPL - VILLA, 24 S. SEWALL'S POINT RD.  
2 " " " - MOUSSOU; 10 PALMETTO DR.

INSPECTOR (Name/Signature) \_\_\_\_\_



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-26 - \_\_\_\_\_, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4849	Obersheimer	Roof/Final	Passed	
⑧	75 N Sewall's Pt Rd.		BQ.	
4888	Obersheimer	framing	Reject	Bolt through piling NOT to PLAN.
⑨	75 N. S P Rd Kremsler	dock	NO FEE	HAS 2-BOLTS outside of Piling, need Revised plans
432	Tidikis	tin-lead	Reject	Reject Fee.
④	6 Kira Ln Pacific	metal	BG.	Nonmetal installed
4272	Futer	Sheeting	Passed	early on
③	7 Tinor Street Heston		BQ	Final
4205	Allman	roof FINAL	Passed	early as possible
①	66 S.S P Rd.		BG.	
4200	Allman	dock	Passed	early as possible
②	66 S S P Rd	FRAMING	BQ	possible
	Need sealed letter FROM Linden MARINE INC. Before Final Ins			
4741	Sinton	final *	Reject	
⑩	33 N River Rd owner		No Fee	

OTHER \* ① Glass doors for fireplace ② Elec. cover for BBQ.  
③ Whirlpool tub Access. ④ Missing Roof tile. ⑤ Impact Glass Specs.? OK

INSPECTOR (Name/Signature) SEE PAGE 2 FOR SIGNATURE, P.M. 1/15/01

**4888**

**DOCK**

Bldg. Pmt# \_\_\_\_\_

# Town of Sewall's Point

Date \_\_\_\_\_

## BUILDING PERMIT APPLICATION

RECEIVED
MAR - 6 2000
By: _____

Owner's Name: HELENA TOWLE OBERSHIMER Phone No. (561) 287-4438

Owner's Present Address: \_\_\_\_\_

Fee Simple Titleholder's Name & Address if other than owner \_\_\_\_\_

Location of Job Site: 75 N. SEWALL'S POINT ROAD  
TYPE OF WORK TO BE DONE: REDECK EXISTING DOCK - NO PILING WORK

### CONTRACTOR INFORMATION

Contractor/Company Name: DREDGE & MARINE CONST. Phone No. (561) 223-0105

COMPLETE MAILING ADDRESS: PO Box 399 Pt. Salerno, FL 34992

State Registration: \_\_\_\_\_ State License CGC 015805

Legal Description of Property: N 200.7' PERP OF GOV LOT 3 W OF SEWALL'S Pt. Rd.

Parcel Number: 35-37-41-000-000-002.60-70000

### ARCHITECT/ENGINEER INFORMATION

Architect \_\_\_\_\_ Phone No. \_\_\_\_\_

Address \_\_\_\_\_

Engineer: ROGER DABER & ASSOC

Phone No. (561) 692-4910

Address \_\_\_\_\_

Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
 Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck 864  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

### FLOOD HAZARD INFORMATION

flood zone N/A minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD

proposed finish floor elevation N/A NGVD (minimum 1 foot above BFE)

Cost of construction or improvement: \$14,520.00

Fair Market Value (FMV) prior to improvement: \$50,620.00

Substantial Improvement 50% of FMV yes \_\_\_\_\_ No X

Method of determining FMV: REPLACEMENT COST ESTIMATE (COPY ATTACHED)

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.) N/A

Electrical \_\_\_\_\_ State License \_\_\_\_\_

Mechanical \_\_\_\_\_ State License# \_\_\_\_\_

Plumbing \_\_\_\_\_ State License# \_\_\_\_\_

Roofing \_\_\_\_\_ State License# \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE: Helena Towle Obershimer \_\_\_\_\_

Sworn to and subscribed before me this 6th day of \_\_\_\_\_ by \_\_\_\_\_

Helena Obershimer who is personally known to me or has produced \_\_\_\_\_

and who did (did not) take an oath

CONTRACTOR SIGNATURE: Joan H. Barrow \_\_\_\_\_

Sworn to and subscribed before me this 30 day of March, 2000

by \_\_\_\_\_ who is personally known to me or has produced \_\_\_\_\_

and who did (did not) take an oath.

LARRY E. MC CARTY  
 MY COMMISSION # CC 711235  
 EXPIRES: January 28, 2002  
 Bonded thru Notary Public Underwriters

**TREE REMOVAL (Attach sealed survey)**

No. of trees to be removed \_\_\_\_\_ No. to be retained \_\_\_\_\_ No. to be planted \_\_\_\_\_  
Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

**1. ALL APPLICATIONS REQUIRE :**

- A. Property Appraiser's Parcel Number.
  - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
  - C. Contractor's name, address, phone number & license numbers.
  - D. Name all sub-contractors (properly licensed).
  - E. Current Survey
  - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
  2. Foundation Details
  3. Elevation Views - Elevation Certificate due after slab inspection.
  4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  5. Truss layout
  6. Vertical Wall Sections (one detail for each wall that is different)
  7. Fireplace drawing: If prefabricated submit manufacturers data.

**ADDITIONAL Required Documents are:**

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_

Dredge & Marine Construction  
P.O. Box 399 · Port Salerno, FL 34992-0399  
(407) 223-0105

RECEIVED  
MAR 20 2000  
BY JA

MARCH 17, 2000

To:  
MR FRED OBERSHEIMER  
75 NORTH SEWALL'S PT. RD  
SEWALL'S PT., FL 34996

ESTIMATE FOR RENEWAL OF PILING, ROOF STRUCTURE,  
AND CONCRETE TILE ROOF. NO DECKING OR DECK  
STRUCTURE IS INCLUDED.

ESTIMATE INCLUDES REMOVAL, DISPOSAL, AND TRUCKING,  
DUMP FEES, BARGE TIME TO HAUL DEBRIS OFF.

— REMOVAL OF OLD STRUCTURE & SUPPLY & INSTALL NEW.

10" CONCRETE PILES @ \$725 (ea) 26 Pcs. \$18850  
DRIVE & CUT TO GRADE

BEAMS & ROOF STRUCTURE \$13800

CONC. TILE ROOF \$3450

TOTAL ESTIMATED COST \$36,100

(NO DECKING OR DECK STRUCTURE)  
REPLACE DECK STRUCTURE \$14,520  
\$50,620

THANKS,  
MIKE HREMSER

Dredge & Marine Construction



# Dredge & Marine Construction Co., Inc.

P O Box 399  
Port Salerno FL 34992-0399

Fax (561) 283-2521  
Telephone (561) 223-0105

---

## Proposal/Contract

Submitted To  
Name Fred & Mimi Obersheimer  
Street 75 North Sewall's Pt Rd  
City/State Sewall's Pt , FL 34996

Date 1 / 21 / 2000

287-4438

---

We hereby propose to furnish the materials and perform the labor necessary for the completion of

### Removal and restoration of old dock

- All old dock and sub-structure to be removed, and replaced with new sub-structure and deck
- All lumber to be all #1 40 cca pressure treated southern yellow pine
- Deck lumber to be 2" x 6" "Ultra Wood" with a 50 year manufacturer's warranty
- All fasteners to be stainless steel
- Deck boards will be fastened with stainless steel ring shank nails
- All bolts will be 5/8" stainless steel all thread
- Benches to be made of "Ultra Wood" with 50 year manufacturer's warranty

**Lump Sum Cost \$ 14,520**

\*\* No water or electric is included if they need to be replaced

\*\* Trucking and dump fees will be passed on to owner at cost

\*\* Contractor is not responsible for damage to yard from bringing in materials or hauling out debris Contractor will make every effort to minimize damage from equipment

\*\* Engineered drawings (if required) and permit fees to be paid for by owner

All material to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of

### Payment schedule

10% acceptance

50% commencement (plus permit fees)

Balance upon completion

Respectfully submitted



All agreements or requests changing the scope of the work to be performed shall be valid and charged for at the going rate whether requested verbally or in writing Interest in the amount of 1 5% per month shall be charged on any unpaid balance I agree to pay all costs of collection, including reasonable attorney's fees, if collection of payment for services rendered should become necessary All agreements contingent upon strikes, accidents or delays beyond our control Rock and underwater or underground obstructions may occur in some areas There will be an additional charge to remove or punch through rock, or other obstructions

### Acceptance of Proposal

The above prices terms, specifications and conditions are satisfactory and are hereby accepted You are authorized to do the work as specified Payments will be made as outlined above

Signature \_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_

Note - This proposal may be withdrawn if not accepted within 30 days

DOCK REV/REPL  
MASTER PERMIT NO. 4888

**TOWN OF SEWALL'S POINT**

Date 6/27/00 BUILDING PERMIT NO. 4989  
Building to be erected for FRED OBERSCHEIMER Type of Permit PLUMB-G-WATER LINE  
Applied for by PREMIER PLUMBING, INC. (Contractor) Building Fee \_\_\_\_\_  
Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
Address 75 N SEWALL'S POINT RD Impact Fee \_\_\_\_\_  
Type of structure S.F.R. A/C Fee \_\_\_\_\_  
Electrical Fee \_\_\_\_\_  
Parcel Control Number: \_\_\_\_\_ Plumbing Fee \$30.00  
35-37-41-000-000-00260-7000 Roofing Fee \_\_\_\_\_  
Amount Paid \$30.00 Check # 35726 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
Total Construction Cost \$ 4,000.00 TOTAL Fees \$30.00

Signed T. Byron Applicant Signed [Signature] Town Building Inspector

**BUILDING PERMIT**

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**  
**WORK HOURS - 8:00 AM UNTIL 5:00 PM**  
**MONDAY THROUGH SATURDAY**

New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



**Town of Sewall's Point**  
**BUILDING PERMIT APPLICATION**

Bldg Permit Number

**RECEIVED**

JUN 26 2000

Owner or Titleholder's Name Mr Fred OBERSCHEIMER Phone No (51) 287-4438

Street 75 N. SEWALL'S POINT RD City STUART State FLA Zip 34996

Legal Description of Property \_\_\_\_\_

Parcel Number 353761000000002607000

Location of Job Site Dock Area

TYPE OF WORK TO BE DONE REPLACING EXISTING WATER LINE TO DOCK AREA

CONTRACTOR/Company Name PREMIER PLUMBING INC Phone No (51) \_\_\_\_\_

Street 108 N.E DIXIE HWY City STUART State FLA Zip 34994

State Registration \_\_\_\_\_ State License CF0042952

ARCHITECT \_\_\_\_\_ Phone No ( ) \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone No ( ) \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC

Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_ Accessory Bldg \_\_\_\_\_

Covered Patio \_\_\_\_\_ Scr Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_

Type Sewage \_\_\_\_\_ Septic Tank Permit # from Health Dept \_\_\_\_\_

New Electrical Service Size \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION

Flood zone \_\_\_\_\_ Minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD

Proposed first habitable floor finished elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES

Estimated cost of construction or improvement \$ 1000.00

Estimated Fair Market Value (FMV) prior to improvement \$ \_\_\_\_\_

If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_

Method of determining Fair Market Value \_\_\_\_\_

SUBCONTRACTOR INFORMATION (Notification to this office of subcontractor change is mandatory )

Electrical \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_

Mechanical \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_

Plumbing PREMIER PLUMBING INC State FLA License # CF0042952

Roofing \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES

OWNER or AGENT SIGNATURE (Required)

Charles Watson

State of Florida, County of \_\_\_\_\_ On

this the \_\_\_\_\_ day of \_\_\_\_\_, 2000,

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

as identification \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

(Seal)

CONTRACTOR SIGNATURE (Required)

Jim Scarpitti

State of Florida, County of Martin On

this the 22nd day of May, 2000,

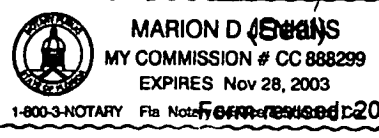
by Jim SCARPITTI who is (personally

known to me) or produced \_\_\_\_\_

as identification MARION D. JENKINS

Notary Public

My Commission Expires 11/28/03



**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed \_\_\_\_\_ Number of trees to be retained \_\_\_\_\_ Number of trees to be planted \_\_\_\_\_ Number of Specimen trees removed \_\_\_\_\_  
Fee \$ \_\_\_\_\_ Authorized/Date \_\_\_\_\_

**DEVELOPMENT ORDER # \_\_\_\_\_**

- 1 ALL APPLICATIONS REQUIRE
  - a Property Appraisers Parcel Number
  - b Legal Description of your property (Can be found on your deed survey or Tax Bill )
  - c Contractors name, address, phone number & license numbers
  - d Name all sub-contractors (properly licensed)
  - e Current Survey
  
- 2 Take completed application to the Permits and Inspections Office for approval Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc Compliance with subdivision regulations can also be determined at this time
  
- 3 Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank Attach the pink copy to the building application
  
- 4 Return all forms to the Permits and Inspection Office All planned construction requires two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items
  - a 'Floor Plan
  - b Foundation Details
  - c Elevation Views - Elevation Certificate due after slab inspection,
  - d Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway)
  - e Truss layout
  - f Vertical Wall Sections (one detail for each wall that is different)
  - g Fireplace drawing If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are**

- 1 Use permit (for driveway connection to public Right of Way) Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only)
- 2 Well Permit or information on existing well & pump
- 3 Flood Hazard Elevation (if applicable)
- 4 Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets
- 5 Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt)
- 6 Irrigation Sprinkler System layout showing location of heads, valves, etc
- 7 A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection
- 8 Replat required upon completion of slab or footing inspection And Prior to any further inspections

**NOTICE** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies

Approved by Building Official \_\_\_\_\_ Date \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date \_\_\_\_\_  
(If required)

# ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)  
12/19/00

PRODUCER

KEARNS AGENCY OF FLORIDA, INC.  
P. O. BOX 1849  
JENSEN BEACH, FL. 34958-1849

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

## COMPANIES AFFORDING COVERAGE

- COMPANY LETTER **A** AUTO OWNERS INSURANCE COMPANY
- COMPANY LETTER **B**
- COMPANY LETTER **C**
- COMPANY LETTER **D**
- COMPANY LETTER **E**

INSURED

PREMIER PLUMBING INC.  
108 N.E. DIXIE HIGHWAY  
STUART, FL. 34994-1842

**FILE**  
*before*

**COPY**  
*insert*

**RECEIVED**  
MAY 23 2000  
BY. *[Signature]*

## COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY				GENERAL AGGREGATE \$ 1,000,000
	X COMMERCIAL GENERAL LIABILITY				PRODUCTS COMP/OP AGG \$ 1,000,000
	CLAIMS MADE X OCCUR	20506358	1/19/00	1/19/01	PERSONAL & ADV INJURY \$ 1,000,000
	X OWNER S & CONTRACTOR S PROT				EACH OCCURRENCE \$ 1,000,000
					FIRE DAMAGE (Any one fire) \$ 50,000 MED EXPENSE (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT \$ 300,000
	ANY AUTO				
	ALL OWNED AUTOS				BODILY INJURY (Per person) \$
	X SCHEDULED AUTOS	95-434-620-00	1/19/00	1/19/01	BODILY INJURY (Per accident) \$
	X HIRED AUTOS				PROPERTY DAMAGE \$
X NON OWNED AUTOS					
	GARAGE LIABILITY				
	EXCESS LIABILITY				EACH OCCURRENCE \$
	UMBRELLA FORM				AGGREGATE \$
	OTHER THAN UMBRELLA FORM				
	WORKER'S COMPENSATION				STATUTORY LIMITS
	AND				EACH ACCIDENT \$
	EMPLOYERS LIABILITY				DISEASE-POLICY LIMIT \$
					DISEASE-EACH EMPLOYEE \$
	OTHER				

## DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

PLUMBING AND HVAC CONTRACTOR - STATE OF FLORIDA

## CERTIFICATE HOLDER

Town of Sewall's Point  
1 South Sewall's Point Road  
Stuart, FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OF LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE

LAWRENCE E. KEARNS

**Certificate of Insurance**

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend or alter the coverage by the policies listed below.

**Named Insured(s):**

Staff Leasing, LP, by Staff Acquisition, Inc., The General Partner, and The Affiliated Limited Partnerships of Which Staff Acquisition Inc is The General Partner and their Successor Corporations  
 600 301 Boulevard West, Suite 202  
 Bradenton, Florida 34205



**Insurer Affording Coverage**

Continental Casualty Company

**Coverages:**

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits
Workers' Compensation	1-1-2001	WC 189165165 WC 189165182	<b>Employer's Liability</b>
			Bodily Injury By Accident \$1,000,000      Each Accident
			Bodily Injury By Disease \$1,000,000      Policy Limit
Bodily Injury By Disease \$1,000,000      Each Person			

Other

Employees Leased To

Effective Date: 1/1/00

**12432  
Premier Plumbing Inc**

The above referenced workers compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies) not to the employees of any other employer.

\*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

**Notice of Cancellation:** (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to

Certificate Holder

TOWN OF SEWALL'S POINT  
 1 S SEWALLS POINT RD  
 SEWALLS POINT, FL 34996-6736



**Martin Oosterbaan  
 Authorized Representative**

Office St Louis, MO      12/15/99  
 Phone (877) 427-5567      Date Issued

Attention Sewalls Point Town Hall

**FILE**  
Permit


**FILE**  
Licenses

RECEIVED  
JUN 26 2000  
BY: *[Signature]*

AC# 5222880 DEPARTMENT OF REVENUE

DATE	BATCH NUMBER
07/27/00	00000000

The following contract has been entered into by the State of Florida under the provisions of Chapter 218, Florida Statutes.  
Expiration date: AUG 31, 2000



THE GREAT SEAL OF THE STATE OF FLORIDA  
IN GOD WE TRUST

SCARPITTI, JAMES NICHOLAS  
PREMIER PLUMBING INC  
108 NE DIXIE HWY  
STUART FL 34994

LAWTON CHILES  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL  
SECRETARY

**CITY OF STUART OCCUPATIONAL LICENSE**

OCC. LICENSE NO.	ACCOUNT NO.	CODE NO.
1157	11854	061020

1999 - 2000

OWNER - BUSINESS LOCATION - TYPE

TAX YEAR BEGINS OCTOBER 1 AND ENDS SEPTEMBER 30,  
PAYMENT AFTER OCTOBER 1 CONSTITUTES VIOLATION  
OF CITY CODE OF ORDINANCES

**QUALIFIER-JAMES H. SCARPITTI**  
**108 NE DIXIE HWY**  
**CONTRACTOR - PLUMBING**  
**STATE LIC# CGC042962**

This occupational license does not permit the holder to operate in violation of any City law, ordinance or regulation. Any changes in location or ownership must be approved by the City License Section subject to testing requirements. This License does not constitute an endorsement, approval, or disapproval of the holder's skill or competence or of the compliance or non-compliance of the holder with other laws, regulations, or standards.

FEE	CITY	TRANSFER	MISCELLANEOUS	PAID
100.00	0.00	0.00	0.00	100.00

NAME  
AND  
MAILING  
ADDRESS

**PREMIER PLUMBING, INC.**  
**QUALIFIER-JAMES H. SCARPITTI**  
**108 NE DIXIE HWY**

DATE  
**09/18/99**

**STUART, FL 34994**

**DIANNE O'DONNELL**  
CITY CLERK



ACORD

# CERTIFICATE OF LIABILITY INSURANCE

CSR BQ  
DREDG-1

DATE (MM/DD/YY)  
02/16/00

PRODUCER

C & L Insurance, Inc  
7301 W Palmetto Pk Rd 101C  
Boca Raton FL 33433  
Phone 561-395-3730 Fax 561-395-4239

**COPY**

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

INSURERS AFFORDING COVERAGE

INSURED

**Dredge & Marine Construction Inc**  
P O Box 399  
Port Salerno FL 34992

**FILE**  
PERMIT

INSURER A St Paul Fire & Marine  
INSURER B  
INSURER C  
INSURER D  
INSURER E

**RECEIVED**  
FEB 18 2000  
BY: *[Signature]*

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NO PART OF ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY				EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	368FA0335	02/15/00	02/15/01	FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY				AUTO ONLY EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$ AGGREGATE \$ DEDUCTIBLE \$ RETENTION \$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY				WC STATUTORY LIMITS OTH ER E L EACH ACCIDENT \$ E L DISEASE - EA EMPLOYEE \$ E L DISEASE POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

N

ADDITIONAL INSURED INSURER LETTER

CANCELLATION

TOWNSEW

~~Town of Sewalls Point~~  
Fax 561-220-4765  
Ed  
One South Sewalls  
Sewalls Point FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES

Hill Underwood

*[Signature]*

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW

MARCH 30, 1995

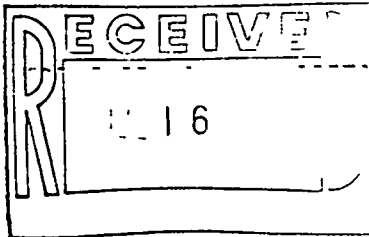
This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law

EFFECTIVE DATE OF EXEMPTION 04/25/95  
EXEMPTED INDIVIDUAL NAME KREMSER DAVID M SS 261-13-3593  
BUSINESS NAME DREDGE & MARINE CONSTRUCTION CO FEIN 650489186  
BUSINESS ADDRESS 4631 SE POMPANO TERRACE  
SALERNO, FL 34992

NOTE Pursuant to Chapter 440.10(1)(g), 2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440

*Russell A. Morris*

AUTHORIZED SIGNATURE



PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA  
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY  
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION  
FROM FLORIDA WORKERS' COMPENSATION LAW



EFFECTIVE DATE OF EXEMPTION 04/25/95  
EXEMPTED INDIVIDUAL NAME KREMSER DAVID M  
SOCIAL SECURITY NUMBER 261-13-3593  
BUSINESS NAME DREDGE & MARINE CONSTRUCTION CO  
FEDERAL IDENTIFICATION NUMBER 650489186  
BUSINESS ADDRESS 4631 SE POMPANO TERRACE  
SALERNO FL 34992

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NOTE Pursuant to chapter 440.10(1)(g) 2 F.S. a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440

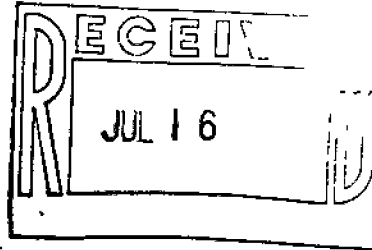
*Russell A. Morris*

AUTHORIZED SIGNATURE

CUT HERE

Keep under portion for your records

Att. Ed Arnold



DETACH HERE

AC# 5173043

STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/17/1998	97904056	CG -C015805

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2000

KREMSEK, DAVID M.  
DREDGE & MARINE CONSTRUCTION CO  
PO BOX 399  
4631 SE POMPANO TERRACE  
FORT SALERNO FL 34592

LAWTON CHILES  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL  
SECRETARY

PERMIT # 4888

TAX FOLIO # 35-37-41-000-000.0026  
70

**NOTICE OF COMMENCEMENT**

STATE OF Florida

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE).

75 N. SEWALL'S PT. RD.

GENERAL DESCRIPTION OF IMPROVEMENT: REDECKING DOCK

OWNER: Mimi Towl Obersheimer

ADDRESS: 75 N. SEWALL'S PT. RD

PHONE # 287-4438 FAX # \_\_\_\_\_

CONTRACTOR: DREDGE & MARINE CONST. CO.

ADDRESS PO BOX 399 PT. SALERNO, FL 34992

PHONE #: (561) 223-0105 FAX # (561) 283-2521

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OF OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13(1)(A)7, FLORIDA STATUTES:

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B), FLORIDA STATUTES

PHONE #: \_\_\_\_\_ FAX # \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

Mimi Towl Obersheimer  
SIGNATURE OF OWNER

STATE OF FLORIDA  
NOTARY PUBLIC  
COMMISSION # 00000000  
DATE 4-11-00

SWORN TO AND SUBSCRIBED BEFORE ME THIS 3rd DAY OF April  
2000 BY Mimi Towl Obersheimer

Joanly Barron  
NOTARY SIGNATURE



PERSONALLY KNOWN   
OR PRODUCED ID   
MY COMMISSION EXPIRES  
November 30, 2002  
BONDED THRU TROY FAIN INSURANCE, INC.

Dredge & Marine Construction  
P.O. Box 399 - Port Salerno, FL 34992-0399  
(407) 223-0105

RECEIVED  
MAR 13 2000  
BY: E (FAX)

Mr. Edwin Arnold :

I AM CHECKING ON THE STATUS OF  
3 PERMITS.

① WALKER - 21 WEST HIGH PT.

~~② OBERSTHEIMER 75 N. SEWAGE S. (M. RD)~~

③ SMITH - 133 S. RIVER RD.

THANKS,

MIKE KREMSER

PH # 223-0105

FAX # 283-2521 ←

03/14/00

TO: MR. MIKE KREMSER

FOR TRANS MITAL 3 PAGES

TO 283-2521

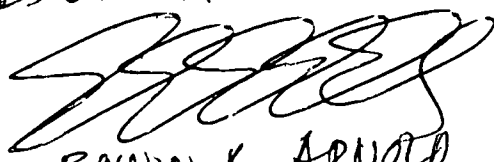
FROM 220-4765

TOWN OF SEBRING FLORIDA

#1 - APPROVED

~~#2 - DENIED (PLAN REVIEW NOTES ATTACHED)~~

#3 - REJECTED ( " " " " )  
REVISE & RESUBMIT.



EDWIN B. ARNOLD  
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
One South Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel: (561) 287-2455  
Fax: (561) 220-4765

FILE

PLAN REVIEW NOTES

REPLACE ALL WOOD; STRUCT. FR. & DECKING.  
 SINGLE FAMILY RESIDENCE;  ADDITION;  DOCK;  POOL;  FENCE;  \_\_\_\_\_  
OWNER: HELENA OBERISHEIMER; ADDRESS: 75 N. SEWALL'S POINT ROAD  
PARCEL NO. 35-37-41-000-000-00260-70000  
PROJECT ADDRESS: SAME; LEGAL: LOT \_\_\_\_\_ BLK \_\_\_\_\_ SUB \_\_\_\_\_  
~~GENERAL CONTRACTOR:~~ DREDGE & MARINE CONST.; LIC/CERT No. CGC 015805  
ADDRESS: P.O. BOX 399, PT. SAIBERNO, FL 34992; TEL 223-0005; FAX \_\_\_\_\_  
ARCHITECT OR ENGINEER: ROGER M. BABER, P.E.; LIC/REG No. 43855  
ADDRESS: 732 BUCK HENDRY WAY, STUART, FL 34997; TEL 692-4910; FAX \_\_\_\_\_

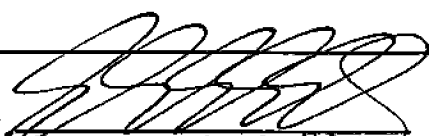
Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision

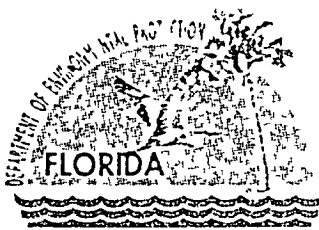
PERMIT APPLICATION DENIED.

- EXISTING TERMINAL PLATFORM EXCEEDS MAXIMUM ALLOWABLE SIZE (160 SQ. FT.). SEC. 4.5-5(a)(2) 2.
- PROPOSED WORK EXCEEDS 50% OF THE VALUE OF THE NON-CONFORMING STRUCTURE & MAY NOT BE RESTORED IN PRESENT CONFIGURATION.

REQUIRED REVISION/RESUBMITTAL:

- REDUCE SIZE OF TERMINAL PLATFORM TO COMPLY W/CODE REQUIREMENTS.
- RESUBMIT REVISED ENGR'G. & DEP APPROVAL OF AMENDED APPLICATION.

Prepared By  Title BLDG. OFFICIAL Date 3/10/00  
EDWIN B. ARNOLD



Jeb Bush  
Governor

# Department of Environmental Protection

Port St. Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St. Lucie, FL 34952  
(561)398-2806/Fax# (561)398-2815

David B. Struhs  
Secretary

FEB 10 2000

Helena Towl Obersheimer  
P O Box 1199  
Stuart, FL 34995

File Number 43-0165535-001  
Martin County

Dear Ms. Obersheimer

On February 2, 2000 we received your application for an exemption to perform the following activities: repair an existing 864 square foot single family dock with a 108' x 6' access pier and a 36' x 6' terminal platform in the St. Lucie River, (Class III waters of the state) located at 75 North Sewall's Point Road (Section 35, Township 37 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

#### REGULATORY AUTHORIZATION - EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(d), F.A.C. This determination is based solely on the information provided to the Department and the statutes and rules in effect when the application was submitted and is effective only for the specified activity. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

#### PROPRIETARY AUTHORIZATION - GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S. Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

#### SPGP REVIEW - AUTHORIZATION GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

"Protect, Conserve and Manage Florida's Environment and Natural Resources"

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP) Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program U S Army Corps of Engineers (Corps) General conditions apply to your project, as attached No further permitting for this activity is required by the Corps The authority granted under this SPGP expires December 17, 2003 Your project must be completed prior to this expiration date

#### NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption Under Rule 28-106 111, F A C , a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place, or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A)

The Department will not publish notice of this determination *Publication of this notice by you is optional and not required for you to proceed* However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits

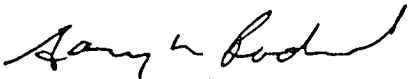
If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50 011 and 50 031, F S In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice

Florida Department of Environmental Protection, Southeast District - Port St Lucie Branch Office  
Submerged Lands & Environmental Resources Program, 1801 SE Hillmoor Drive Suite C-204, Port St Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program If you have questions regarding this matter, please contact Bruce Jerner of this office, at telephone (561) 398-2806

Sincerely,



Gary N Roderick  
Environmental Administrator

GNR/BJ/cft  
BJ

Enclosures General Consent Conditions  
Federal Manatee Conditions, Federal General Conditions for SPGP III- R1 and Transfer Request  
Attachment A- Notice of Determination of Qualification for Exemption  
Attachment D- General Single-Family Dock Information

cc U S Army Corps of Engineers, Stuart [without enclosures]  
Dredge & Marine Construction, Inc (Agent) [without enclosures]



34996

INDIAN INTRACOASTAL

ANGLER'S COVE

Florida Oceanographic Society

Elliott Museum

Joycee Park

INDIAN RIVER PLANTATION

BAKER POINT

Picnic Area

FEB 02 2000

SEWALL'S POINT

43-065535-001  
Docu-Depot  
St. Lucie  
FEB 10 2000  
113

JOB SITE

35

36

34996

St

Lucie

River

Hooker

REAL AVE  
GRANADA  
EL PINA

CONQUISTADOR

NORTH LINE HANSON GRANT

PALM RD

OAKWOOD DR

BAY TREE DR

CUERITA

SIMARA ST

SIMARA ST

SIMARA ST

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SIMARA ST

PINEAPPLE RD

RIVERVIEW RD

RIVERVIEW RD

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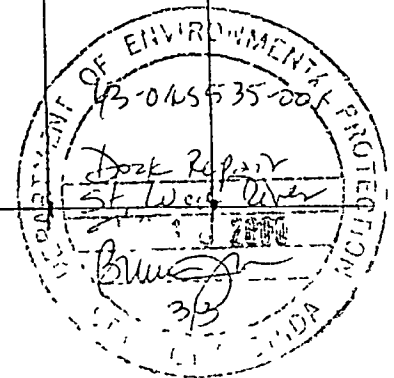
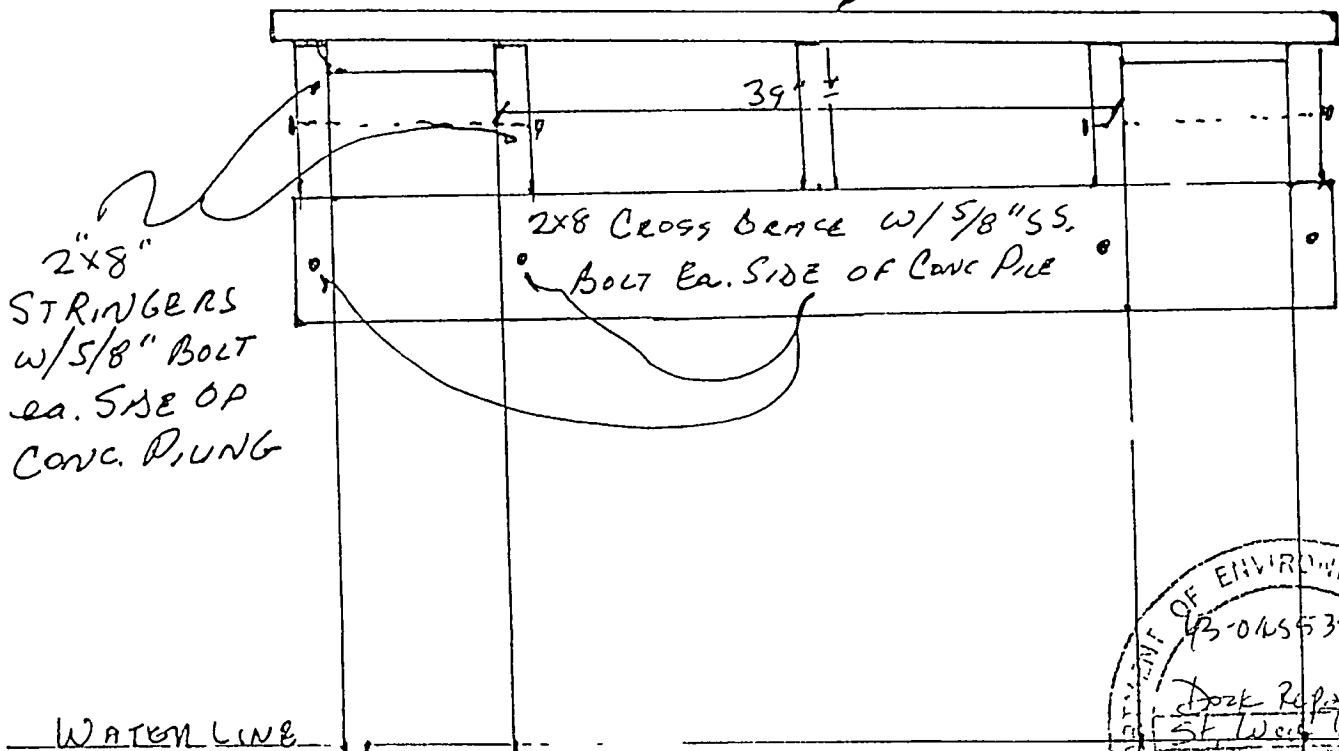
INDIALUCIE DR

INDIALUCIE DR



FEB 02 2003

"  
2x6 ULTRA WOOD" OR 2x  
DECKING FASTENED W/  
S.S. RING SHANK NAIL  
OR SCREWS



PILE ATTACHMENT DETAIL 1" = 1'  
OBERSCHEIMER - 75 NORTH SEWALL'S PT RD.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~4/26/00~~ 4/26, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4849	Obersheimer	roof final	Passed	
⑧	75 N. Sewall's Pt Rd.		BQ.	
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
<del>4888</del>	Obersheimer	framing	Reject	Bolt through piling NOT TO PLAN.
⑨	<del>75 N. S. P. Rd.</del> Kremsler	dock	NO FEE	Has 2-Bolts outside of Piling need Revised plans
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
432	T. D. KIL	tin-tan	Reject	Reject Fee.
④	6 KIRK LANE PACIFIC	metal	BG.	NO metal installed
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4272	FLOOR	sheathing	Passed	early on
③	7 Tinor Street Heaton		BQ	PACIFIC
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4505	Allman	roof FINAL	Passed	early as possible
①	66 S.S. P. Rd.		BG.	
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4505	Allman	dock	Passed	early as possible
②	66 S.S. P. Rd.	FRAMING	BQ.	need sealed letter from Linden Marine Inc. before final ins.
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
4741	Sinton	final *	Reject	
⑩	33 N. River Rd owner		No Fee	

OTHER \* ① Glass doors for fireplace ② Elec. cover for BBQ.  
③ Whirlpool tub Access. ④ Mission Roof tile. ⑤ Impact Glass Specs.? OK

INSPECTOR (Name/Signature) SEE PAGE 2 FOR SIGNATURE: P.M. WSP.

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri ~~5/10~~, 2000; Page/ of 2.

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
N 4527 EXP. 4/95	Seely 37 Lofting Way GRIBBEN CONST.	footer pads for columns	Passed	7-Pads
(1)			BB.	
N 4859	Abbott 108 N S P Rd. E.S. UNLIMITED 775-1887	pool deck (REINSPECT) - POOL STL/MAIN DRAIN 3/15/00	CANCEL	NO FORMBOARD SURVEY " COMPLETION QUAC. STEPHEN MACCARTI
(X)			BB.	(CORRE NOTIFIED)
S 4658	Foglia 103 H Sewall FOGLIA CONST.	final c.o. (REINSPECT)	Passed	C.O TO OWNER'S REP. @ SITE
(6)			BB.	
S 4909	VILLA 24 S. SEWALL'S PT. RD. Stein	final roof	Passed	
(7)			BB.	
N 4903	Koch 71 N Rine Rd ALMAR/JACKSON POOLS	Pool Steel + Main Drain 561-746-4910; GERALD WASKER	CANCEL	NO FORMBOARD SURVEY (REQUIRE 24 HRS PRIOR) TO INSPECTION
(X)			BB.	(CORRE NOTIFIED)
N 4527 (EXP.)	SEELY 37 NE LOFTING WAY	POST NOTICE OF PENDING STOP WORK ORDER	GAVE TO Supt.	G.C. TO SIGN RENEWAL PERMIT PRIOR TO 5:00 PM FRIDAY MAY 12, 2000
(0) 4895	GRIBBEN CONST.			
N 4888	Obersheim 75 N S P Rd. DREDGE & MARWE (KREMSER)	deck	Passed	Elec. Disconnected. Electrician on job. He will pull permit for New Elec. Removing old Elec.
(3)			BB.	

OTHER T/R APPL. - 10 CRAVES NEST (TORRANCE), ✓ CLYDES LANDSCAPE Running New Water Line. Will Get perm

T/R APPL. - INDIA LUCIE COMMON (H O ASSN), ✓ " " "

T/R APPL. - 14 HERONS NEST; (JONES) ✓ BAYSHORE LAND MARK

T/R APPL. - 4 ONE HILL WAY; (CONWAY) ✓ CONWAY CONST

INSPECTOR (Name/Signature) T/R APPL. - E.S. SEWALLS PT RD (CHOTOS) ✓ FPL

CONTRACTOR - G MINDORO (SEA) ✓ POSSIBLE HEDGE NOT UCL. - CONSULTATION

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-19-00, 2000; Page 1 of   

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
✓ 4860	Demarkonan	rough plumbing		CANCEL BY CONTR. 6/19 8:00.
X	19 C. Hill Way	pool		RESCHED. WED 6/21
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
✓ 4888	<del>Oberschamer</del>	<del>dock elec.</del>	<del>Pass</del>	<del>DATE UNCL. 10/16/00</del>
✓ ④	75 N.S. P.Rd.	final	BG	<del>(11/4/00) OK</del> <del>CLOSE ALL</del>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
✓ 4707	Nicklas	pool final	Passed	
✓ ②	21 C Hill Way		BG	
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
✓ 4725	BRUSH	SCR. ENCL.	Rejected	Screen & pump
✓ ⑤	2 MINDORO DOLPHIN ALUM.	(FINAL)	Bg	Pump not bonded.
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
<del>_____</del>				
<del>_____</del>				
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
✓ 4717	ZARRO	SPOT INSPECTION	BG	
✓ ③	124 N. SEWALL'S PT. RD BUPORD CONST.			
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
✓ 4732	Tetamanti	screw	Passed	
✓ ①	19 Lofting Way Hufnagel	drywall	BG	

OTHER VIR PERMIT APP, 17 VIA LUCINDA S., GLUCKLER (ORB) ✓ HOLD; ADNC. DATA REQUIRED.  
" " " ; 12 PALMETTO, BEANSON (ANDERSON'S TREE PARK) ✓ OK

INSPECTOR (Name/Signature) \_\_\_\_\_

**4935**

**DOCK ELECTRIC**

DOCK PERMIT PERC

MASTER PERMIT NO. 4888

### TOWN OF SEWALL'S POINT

Date 5/19/00

BUILDING PERMIT NO. 4935

Building to be erected for OBERSHEIMER

Type of Permit DOCK ELECTRIC

Applied for by FORWARD KEBETRIC

(Contractor) Building Fee \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 75 N. SEWALL'S POINT RD.

Impact Fee \_\_\_\_\_

Type of structure S.F.R.

A/C Fee \_\_\_\_\_

Electrical Fee \$120.00

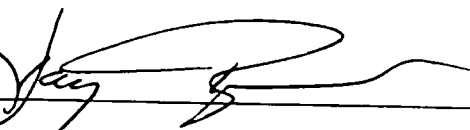
Parcel Control Number \_\_\_\_\_

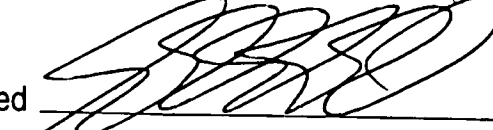
Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid \$120.00 Check # 3656 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 1,000.00 TOTAL Fees \$120.00

Signed   
Applicant

Signed   
Town Building Inspector OFFICIAL

# DOCK PERMIT-ELECT.

#### INSPECTIONS

SETBACKS  
PILINGS  
BOAT LIFT

DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE \_\_\_\_\_

WATER  
ELECTRIC  
DECK  
FINAL

DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE 6/19/00

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS.**

**CALL 287-2455**

**WORK HOURS - 8:00 AM UNTIL 5:00 PM**

**MONDAY THROUGH SATURDAY**

**New Construction**    **Remodel**    **Addition**    **Demolition**

**This permit must be visible from the street, accessible to the inspector.  
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,  
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.  
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**





**Town of Sewall's Point  
BUILDING PERMIT APPLICATION**

Bldg Permit Number **VED**

MAY 11 2000

Owner or Titleholder's Name Obersheimer Phone No ( ) \_\_\_\_\_  
 Street # 75 N. Sewalls Pt. Rd City Sewalls Pt State Fla Zip \_\_\_\_\_  
 Legal Description of Property \_\_\_\_\_ Parcel Number \_\_\_\_\_

Location of Job Site \_\_\_\_\_

TYPE OF WORK TO BE DONE Dock wiring

CONTRACTOR/Company Name Forward Electric Phone No (Sol) 221-1660  
 Street #4149 SE Salerno Rd City Stuart State Fl Zip 34997  
 State Registration EC 0001472 State License \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Phone No ( ) \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Phone No ( ) \_\_\_\_\_  
 Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC  
 Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_ Accessory Bldg \_\_\_\_\_  
 Covered Patio \_\_\_\_\_ Scr Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
 Type Sewage \_\_\_\_\_ Septic Tank Permit # from Health Dept \_\_\_\_\_  
 New Electrical Service Size \_\_\_\_\_ AMPS

FLOOD HAZARD INFORMATION  
 Flood zone \_\_\_\_\_ Minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
 Proposed first habitable floor finished elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES  
 Estimated cost of construction or Improvement \$ 1800  
 Estimated Fair Market Value (FMV) prior to improvement \$ \_\_\_\_\_  
 If Improvement, is cost greater than 50% of Fair Market Value? YES \_\_\_\_\_ NO \_\_\_\_\_  
 Method of determining Fair Market Value \_\_\_\_\_

SUBCONTRACTOR INFORMATION (Notification to this office of subcontractor change is mandatory )  
 Electrical \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_  
 Mechanical \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_  
 Plumbing \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_  
 Roofing \_\_\_\_\_ State \_\_\_\_\_ License # \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES

OWNER or AGENT SIGNATURE (Required) \_\_\_\_\_ CONTRACTOR SIGNATURE (Required) \_\_\_\_\_  
 State of Florida, County of \_\_\_\_\_ On State of Florida, County of Martin On  
 this the \_\_\_\_\_ day of \_\_\_\_\_, 2000, this the 11th day of May, 2000,  
 by \_\_\_\_\_ who is personally by D.L Taylor who is personally  
 known to me or produced \_\_\_\_\_ known to me or produced Fl d.l.  
 as identification \_\_\_\_\_ as identification \_\_\_\_\_  
 \_\_\_\_\_ Notary Public \_\_\_\_\_ Notary Public

My Commission Expires \_\_\_\_\_ My Commission Expires \_\_\_\_\_  
 (Seal)



Joan H. Barrow  
 MY COMMISSION # 123345 EXPIRES  
 November 30, 2002  
 BONDED THRU TROY FAIN INSURANCE, INC.

Form revised 20 April 2000

**TREE REMOVAL (Attach sealed survey)**

Number of trees to be removed: \_\_\_\_\_ Number of trees to be retained \_\_\_\_\_ Number of trees to be planted \_\_\_\_\_ Number of Specimen trees removed \_\_\_\_\_  
Fee: \$ \_\_\_\_\_ Authorized/Date \_\_\_\_\_

DEVELOPMENT ORDER # \_\_\_\_\_

- 1 ALL APPLICATIONS REQUIRE
  - a Property Appraisers Parcel Number
  - b Legal Description of your property (Can be found on your deed survey or Tax Bill )
  - c Contractors name, address, phone number & license numbers
  - d. Name all sub-contractors (properly licensed)
  - e. Current Survey
  
- 2 Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc Compliance with subdivision regulations can also be determined at this time
  
- 3 Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank Attach the pink copy to the building application
  
- 4 Return all forms to the Permits and Inspection Office All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items
  - a 'Floor Plan
  - b Foundation Details
  - c Elevation Views - Elevation Certificate due after slab inspection,
  - d Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
  - e Truss layout
  - f. Vertical Wall Sections (one detail for each wall that is different)
  - g Fireplace drawing If prefabricated submit manufacturers data

**ADDITIONAL Required Documents are**

- 1 Use permit (for driveway connection to public Right of Way) Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only)
- 2 Well Permit or information on existing well & pump
- 3 Flood Hazard Elevation (if applicable)
- 4 Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6 Irrigation Sprinkler System layout showing location of heads, valves, etc
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections

**NOTICE** In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies

Approved by Building Official \_\_\_\_\_ Date \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_ Date \_\_\_\_\_  
(If required)

PRODUCER

Stuart Insurance, Inc  
3070 S W Mapp  
Palm City FL 34990  
Phone 561-286-4334 Fax 561-286-9389

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

INSURERS AFFORDING COVERAGE

INSURED

Forward Electrical Contractors  
4149 SE Salerno Rd  
Stuart FL 34997

FILE  
before  
FILE  
permit

INSURER A Owners Insurance Company  
INSURER B Auto Owners Insurance Co  
INSURER C FCCI Insurance Co  
INSURER D  
INSURER E

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	2051829399	08/28/99	08/28/00	EACH OCCURRENCE \$ 500,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 500,000
					GENERAL AGGREGATE \$ 500,000
					PRODUCTS COMP/OP AGG \$ 500,000
	GENL AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO JECT <input type="checkbox"/> LOC				
B	AUTOMOBILE LIABILITY	9543501600	08/28/99	08/28/00	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				
<input checked="" type="checkbox"/> NON OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY AGG \$
B	EXCESS LIABILITY	20562591	08/28/99	08/28/00	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$ 1,000,000
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
					\$
C	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	001WC99A25852	01/01/00	01/01/01	WC STATU TORY LIMITS OTH ER
					E L EACH ACCIDENT \$ 500,000
					E L DISEASE EA EMPLOYEE \$ 500,000
					E L DISEASE POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Electrical Contractor - State of Florida

CERTIFICATE HOLDER

N

ADDITIONAL INSURED INSURER LETTER

CANCELLATION

TOWNS-1

Town of Sewalls Point  
1 S Sewalls Point Road  
Stuart FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES

Cabot W Lord, CIC

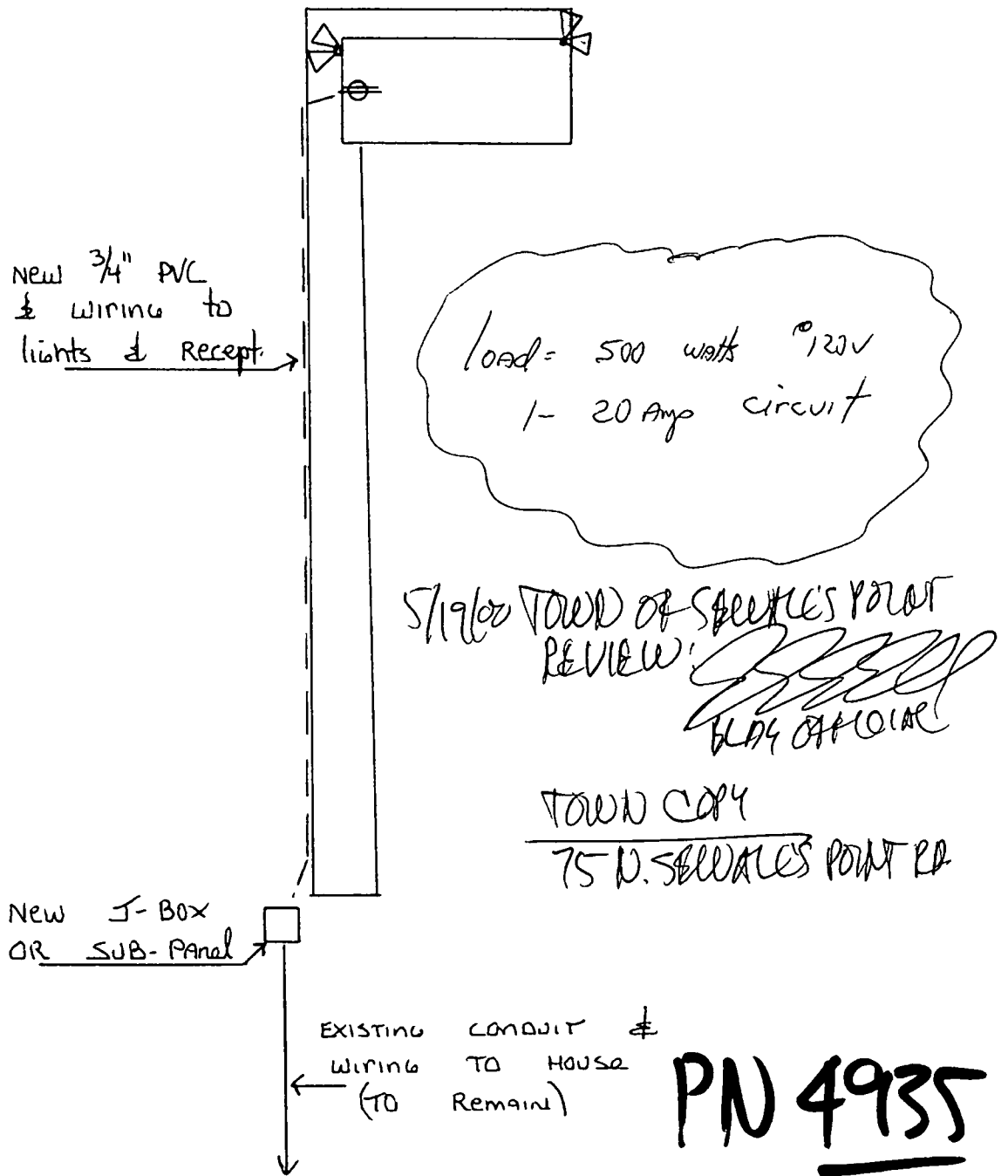
STATE OF FLORIDA AC# 5185627  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
EC 0001472 06/25/1998 97904161  
CERTIFIED ELECTRICAL CONTRACTOR  
TAYLOR, DOUGLAS LYNN  
FORWARD ELECTRICAL CONTRACTORS O  
IS CERTIFIED under the provisions of Ch 489 FS  
Expiration Date AUG 31, 2000

**Forward Electrical Contractors of Florida Inc.**

# 4149 S E Salerno Road ~ Stuart, Florida 34997  
Phone (561) 221-1660 ~ Fax (561) 221-3180 ~ Email douglt@gate.net  
State License # EC 0001472

job; **Obersheimer residence**  
# 75 N. Sewalls Point Road

re; Electrical wiring for new dock ( dock permit # 4888 )  
scope of work; Eliminating all existing wiring & installing new for 2- flood lights &  
1-GFI receptacle



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 6-19-00, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4860	Demarkon 19 C Hill Way	rough plumbing		CANCEL BY CONTR. 6/19 BLD.
X	Harbor Bay Pools	pool		RESCHED. WED 6/21
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
N 4888	<del>Obersheimer</del>	<del>abck elec.</del>	<del>Pass</del>	
④	<del>75 N.S.P.Rd.</del>	<del>final</del>	BG.	
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
N 4707	Nicklas 21 C Hill Way	pool final	Passed	
②			BG	
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
S 4725	BRUSH 2 MINDORO DOLPHIN ALUM.	SCR. EWCL. (FINAL)	Rejected	Screen & pool Pump not Bonded.
⑤			BG	
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
<del>_____</del>	<del>_____</del>	<del>_____</del>	<del>_____</del>	<del>_____</del>
<del>_____</del>	<del>_____</del>	<del>_____</del>	<del>_____</del>	<del>_____</del>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
N 4717	ZARRO 124 N. SEWALL'S PT. RD BUPOND CONST.	SPOT INSPECTION	BG	
③				
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
N 4732	Tetramonti 19 Lofting Way	screw drywall	Passed	
①	Hufnagel		BG.	

OTHER TR PERMIT APP, 17 VIA LUCINDA S., GUCKLER (O/B) ✓ HOLD; ADD. DATA REQUIRED.  
" " " ; 12 PALMESTO, BEASON (ANDERSON'S TREE REMO.) ✓ OK

INSPECTOR (Name/Signature) \_\_\_\_\_

**8584**

**SFR**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 7-24-07

BUILDING PERMIT NO. 8584

Building to be erected for CD2, LLC

Type of Permit Demo SFR

Applied for by Mancels

(Contractor) 25x960/1000 Building Fee 240-

Subdivision Gout Lot Lot 2 Block \_\_\_\_\_

Radon Fee \_\_\_\_\_

Address 75 N Sewalls Pt Rd

Impact Fee \_\_\_\_\_

Type of structure SFR

A/C Fee \_\_\_\_\_

Parcel Control Number  
35-37-41-000-000-00260-7

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Amount Paid \$240- Check # 20800 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 25000-

TOTAL Fees 240-

Signed Carol Jandry  
Applicant

Signed John Adamson  
Town Building Official

## PERMIT

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BUILDING         | <input type="checkbox"/> ELECTRICAL            | <input type="checkbox"/> MECHANICAL    |
| <input type="checkbox"/> PLUMBING         | <input type="checkbox"/> ROOFING               | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT   | <input checked="" type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE         |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE   | <input type="checkbox"/> GAS           |
| <input type="checkbox"/> FILL             | <input type="checkbox"/> HURRICANE SHUTTERS    | <input type="checkbox"/> RENOVATION    |
| <input type="checkbox"/> TREE REMOVAL     | <input type="checkbox"/> STEMWALL              | <input type="checkbox"/> ADDITION      |

## INSPECTIONS

- |                             |       |                        |       |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING        | _____ | UNDERGROUND GAS        | _____ |
| UNDERGROUND MECHANICAL      | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING            | _____ | FOOTING                | _____ |
| SLAB                        | _____ | TIE BEAM/COLUMNS       | _____ |
| ROOF SHEATHING              | _____ | WALL SHEATHING         | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH                   | _____ |
| ROOF TIN TAG/METAL          | _____ | ROOF-IN-PROGRESS       | _____ |
| PLUMBING ROUGH-IN           | _____ | ELECTRICAL ROUGH-IN    | _____ |
| MECHANICAL ROUGH-IN         | _____ | GAS ROUGH-IN           | _____ |
| FRAMING                     | _____ | EARLY POWER RELEASE    | _____ |
| FINAL PLUMBING              | _____ | FINAL ELECTRICAL       | _____ |
| FINAL MECHANICAL            | _____ | FINAL GAS              | _____ |
| FINAL ROOF                  | _____ | BUILDING FINAL         | _____ |



RECEIVED  
4-20-07

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number \_\_\_\_\_

Date \_\_\_\_\_

OWNER/TITLEHOLDER NAME CD2, LLC Phone (Day) 516-695-6153 (Fax) \_\_\_\_\_

Job Site Address 75 N Sewall's Pt Rd City Stuart State FL Zip 34996

Legal Desc Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number 35 37 41 000-000-00260-7

Owner Address (if different) 150 Wireless Blvd City Hauspaugue State NY Zip 11788

Description of Work To Be Done Demolition of Single Family Residence

WILL OWNER BE THE CONTRACTOR?

YES  NO

COST AND VALUES

Estimated Cost of Construction or Improvements \$ 25,000  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_

(If no fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value \_\_\_\_\_

Call

CONTRACTOR/Company Marcel's Tractor Service Phone 288-0951 Fax 288-0983

Street 4551 SE Hampton Ct <sup>Strove</sup> City Stuart State FL Zip 34997

State Registration Number \_\_\_\_\_ State Certification Number \_\_\_\_\_ Martin County License Number SP02518

SUBCONTRACTOR INFORMATION

Electrical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
Mechanical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
Plumbing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
Roofing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic # \_\_\_\_\_ Phone Number \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

NOTICE In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts state agencies or federal agencies

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2004  
National Electrical Code 2002 Florida Energy Code 2004 Florida Accessibility Code 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AGENT SIGNATURE (required)

[Signature]

State of Florida County of MARTIN

This the 12 day of April, 2007

by ROBERT DONALDSON who is personally known to me or produced

as identification Barbara J. Bowers

Notary Public

My Commission Expires \_\_\_\_\_

NOTARY PUBLIC  
BARBARA J. BOWERS  
MY COMMISSION # DD 620632  
EXPIRES January 9, 2011  
Bonded Thru Budget Notary Services

CONTRACTOR SIGNATURE (required)

[Signature]

On State of Florida, County of Martin

This the 16th day of April, 2007

by Don R Marcel Jr who is personally known to me or produced

As identification \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

NOTARY PUBLIC  
MARYE B. CHEWELL  
MY COMMISSION # DD 626500  
EXPIRES Jan 3, 2011  
BONDED THROUGH NATIONAL NOTARY ASSN

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JG  
MANCT-1

DATE (MM/DD/YYYY)  
04/20/07

<p><b>PRODUCER</b> Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389</p> <p><b>INSURED</b>  Mancils Tractor Service, Inc. 4551 SE Hampton Stuart FL 34997</p>	<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW</p> <table border="1"> <tr> <th colspan="2">INSURERS AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A</td> <td>Owners Insurance Company</td> <td>32700</td> </tr> <tr> <td>INSURER B</td> <td>Auto Owners Insurance Co</td> <td>18988</td> </tr> <tr> <td>INSURER C</td> <td></td> <td></td> </tr> <tr> <td>INSURER D</td> <td></td> <td></td> </tr> <tr> <td>INSURER E</td> <td></td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE		NAIC #	INSURER A	Owners Insurance Company	32700	INSURER B	Auto Owners Insurance Co	18988	INSURER C			INSURER D			INSURER E		
INSURERS AFFORDING COVERAGE		NAIC #																	
INSURER A	Owners Insurance Company	32700																	
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INSURER C																			
INSURER D																			
INSURER E																			

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR ADD LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	72507753	02/04/07	02/04/08	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (EA occurrence) \$ 300,000 MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS COM/OP' AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON OWNED AUTOS	9543500000	02/11/07	02/11/08	COMBINED SINGLE LIMIT (EA accident) \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER EL EACH ACCIDENT \$ EL DISEASE EA EMPLOYEE \$ FL DISEASE POLICY LIMIT \$
A	OWNERS	72507754	02/04/07	02/04/08	RENTED OR LEASED EQ 225,000


DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

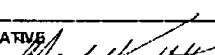
<p><b>CERTIFICATE HOLDER</b></p> <p>TOWNS - 1</p> <p>Town of Sewalls Point 1 S Sewalls Point Road Stuart FL 34996</p>	<p><b>CANCELLATION</b></p> <p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THE REOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES</p> <p>AUTHORIZED REPRESENTATIVE <i>[Signature]</i></p>
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<b>ACORD. CERTIFICATE OF LIABILITY INSURANCE</b>		DATE (MM/DD/YYYY) 04/19/2007
PRODUCER Affiliated Agency Ops 16 South River Street  Wilkes-Barre, PA 18702	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
INSURED Employee Leasing Solutions, Inc  1401 Manatee Ave W Suite 600 Bradenton, FL 34205	INSURERS AFFORDING COVERAGE	NAIC #
	INSURER A EastGUARD Insurance Company	14702
	INSURER B	
	INSURER C	
	INSURER D	
	INSURER E	

**COVERAGES**  
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR	ADD'L LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRC JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Per occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS COMP. OP AGG \$
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWN'D AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY FA ACCIDENT \$ OTHER THAN AUTO ONLY FA ACC AGG \$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A		<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes describe under SPECIAL PROVISIONS below	EMWC802839	02/28/2007	01/01/2008	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E L EACH ACCIDENT \$ 1 000 000 E L DISEASE EA EMPLOYEE \$ 1 000 000 E L DISEASE POLICY LIMIT \$ 1 000 000
		<b>OTHER</b> Client ID #4145062				* Valid in the State of Florida *

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF <b>Mancils Tractor Services Inc</b> Qualifiers Name Don Mancil Jr  Aprox active employee count 40	<b>EastGUARD Insurance Company</b> carries an A.M. Best Rating of A- (Excellent) and a financial size Category of VIII 
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<b>CERTIFICATE HOLDER</b>  Town of Sewalls Point 1 South Sewalls Point Road  Sewalls Point, FL 34996	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES  AUTHORIZED REPRESENTATIVE 
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MARTIN COUNTY, FLORIDA  
Construction Industry Licensing Board  
Certificate of Competency

PAVING COMMERCIAL

License Number SP02518 Expires 30-SEP-07

MANCIL, DON JR  
MANCIL'S TRACTOR SERVICE INC  
4551 SE HAMPTON COURT  
STUART, FL 34997

2006-2007 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C O'Steen, Tax Collector, P O Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE 1989-275-0670 CERT \_\_\_\_\_  
PHONE (561) 288-0951 SIC NO 003524

LOCATION 4551 SE HAMPTON CT MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	.00	LIC FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL			

DUPLICATE RECEIPT  
LARRY C O'STEEN  
99 10/02/2006 NORMA  
19890002750067  
002 2006 0000028  
MANCIL'S TRACTOR SE

MANCIL, DON  
MANCIL'S TRACTOR SERVICE  
4551 SE HAMPTON ST  
STUART, FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF LOT GRADING/TRACTOR SERVICE

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

02 DAY OF OCTOBER 06  
AND ENDING SEPTEMBER 30 2007

2 2006 00028.0001 PAID



MARTIN COUNTY BUILDING DEPARTMENT  
 900 SE RUHNKE STREET  
 STUART, FL 34994  
 (772) 288-5916  
 FAX (772) 288-5911

INSTR # 2008127  
 OR BK 02240 PG 2946  
 Pg 2946i (1pg)  
 RECORDED 04/23/2007 10:55:24 AM  
 MARSHA EWING  
 CLERK OF MARTIN COUNTY FLORIDA  
 RECORDED BY C Hunter

**NOTICE OF COMMENCEMENT**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500 00

PERMIT # \_\_\_\_\_ TAX FOLIO # \_\_\_\_\_

STATE OF Florida COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):  
75 N Sewall's Pt Rd - N200 7' Perp of Gov Lot 3 W of Sewall's Pt Rd

GENERAL DESCRIPTION OF IMPROVEMENT Demolition of Single Family Residence

OWNER CD2, LLC  
 ADDRESS 150 Wireless Blvd, Hauppauge, NY 11788  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

INTEREST IN PROPERTY \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)  
 \_\_\_\_\_

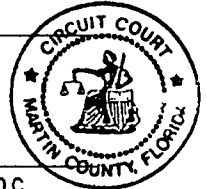
CONTRACTOR Mancil's Tractor Service Inc  
 ADDRESS 4551 SE Hamilton Ct, Stuart, FL 34997  
 PHONE NUMBER 772-288-0951 FAX NUMBER 772-288-0983

SURETY COMPANY (IF ANY) \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_  
 BOND AMOUNT \_\_\_\_\_

THIS IS TO CERTIFY THAT THE  
 FOREGOING 1 PAGES IS A TRUE  
 AND CORRECT COPY OF THE ORIGINAL

LENDER/MORTGAGE COMPANY \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

MARSHA EWING, CLERK  
 BY [Signature] DC  
 DATE 4/23/07



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13(1)(A)7, FLORIDA STATUTES

NAME \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_  
 TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN  
 SECTION 713 13(1)(B), FLORIDA STATUTES  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT  
 THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

[Signature]  
 SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 12 DAY OF April 2007

BY Robert Donaldson


WHO IS PERSONALLY KNOWN TO ME \_\_\_\_\_ OR PRODUCED ID \_\_\_\_\_ TYPE OF ID \_\_\_\_\_

[Signature]  
 NOTARY SIGNATURE

NOTARY SEAL



BARBARA J BOWERS  
 MY COMMISSION # DD 620632  
 EXPIRES January 3, 2011  
 Bonded Thru Budget Notary Services

  
 INSTR # 1860992  
 OR BK 02044 PG 0942  
 RECORDED 08/03/2005 03:51:19 PM  
 MARSHA EWING  
 CLERK OF MARTIN COUNTY FLORIDA  
 DEED DOC TAX 23,625.00  
 RECORDED BY T Conus (last use)

This instrument prepared by/  
 Return to:  
 M LANNING FOX, ESQ  
 FOX, WACKEEN DUNGEY  
 BEARD, SOBEL & McCLUSKEY, L L P  
 1100 South Federal Highway  
 Post Office Drawer 6  
 Stuart, FL 34005-0006  
 (772) 287-4444

Parcel Identification #  
 35-37-41-000-000-00250-90000  
 35-37-41 000-000-00250-70000

### TRUSTEE'S DEED

BY THIS DEED, WILMINGTON TRUST, F8B, as Trustee of the Trust Agreement of MIMI TOWL dated December 18, 1997, as amended, whose post office address is 800 SE Monterey Commons Blvd, Stuart, FL 34996, herein called the "Grantor", in consideration of TEN AND NO/100 DOLLARS (\$10 00) and other good and valuable consideration to Grantor in hand paid by CD2, L L C, a Florida limited liability company, whose post office address is 35 North River Road, Stuart, FL 34996 herein called "Grantee", conveys to Grantee an undivided one-half (1/2) interest in and to the following property in Martin County, Florida

**PARCEL I:** The South 124 feet of Government Lot 2, Section 35, Township 37 South, Range 41 East, Martin County, Florida, excepting that portion thereof that lies easterly of the center line of Sewall's Point Road,

**AND ALSO**

**PARCEL II** Government Lot 3, Section 35, Township 37 South, Range 41 East, Martin County, Florida, excepting the southerly 1,078 7 feet of said Government Lot 3 and also excepting that additional portion thereof that lies easterly of the center line of Sewall's Point Road,

**SUBJECT TO** existing public road

**LESS AND EXCEPT** the Easterny two (2) feet of the above two parcels

**SUBJECT TO** the following

- (1) The lien of all taxes for the year 2005 and thereafter, which are not yet due and payable.
- (2) Easement to Florida Power and Light Company recorded in O.R. Book 353, Page 481, Public Records of Martin County, Florida.
- (3) Quit Claim Deed to Town of Sewall's Point recorded in O R Book 1100, Page 1774 and Resolution No. 555 recorded in O R. Book 1573, Page 2547, Public Records of Martin County, Florida;
- (4) Riparian and littoral rights.
- (5) The rights, if any, of the public to use as a public beach or recreation area any part of the land lying or formerly lying between the body of water abutting the subject property and the natural line of vegetation, bluff, extreme high-water line or other apparent boundary lines separating the publicly used area from the upland private area, as it may have existed prior to the construction, if any, of sea wall or bulkhead thereon.
- (6) The inalienable right of the public to use the navigable waters covering the lands,



**Florida Limited Liability**

**CD2, L.L.C.**

**PRINCIPAL ADDRESS**

35 N RIVER ROAD  
STUART FL 34996  
Changed 02/21/2006

**MAILING ADDRESS**

150 WIRELESS BLVD  
HAUPPAUGE NY 11788-3955  
Changed 02/21/2006

**Document Number**  
L05000070306

**FEI Number**  
203168443

**Date Filed**  
07/18/2005

**State**  
FL

**Status**  
ACTIVE

**Effective Date**  
NONE

**Total Contribution**  
0 00

**Registered Agent**

Name & Address
DONALDSON ROBERT 35 N RIVER ROAD STUART FL 34996

**Manager/Member Detail**

Name & Address	Title
DONALDSON, DUANE ROBERT 35 N RIVER ROAD STUART FL 34996	MORM

**Annual Reports**

Report Year	Filed Date
2006	02/21/2006
2007	01/12/2007



No Events  
No Name History Information

### Document Images

Listed below are the images available for this filing.

01/12/2007 -- ANNUAL REPORT  
02/21/2006 -- ANNUAL REPORT  
07/18/2005 -- Florida Limited Liabilities

**THIS IS NOT OFFICIAL RECORD; SEE DOCUMENTS IF QUESTION OR CONFLICT**







**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
governmax.com T1 13

**Summary**

print Owner 1 of 3

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
35-37-41-000-000-00250-9	75 N SEWALL'S POINT RD	9395	Owner	0	1

**Summary**

**Property Location** 75 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9395  
**Land Use** 107 0700 Misc Residential Imp  
**Neighborhood** 193195  
**Acres** 2.257

**Legal Description**

**Property Information**  
 S 124' PERP OF GOV LOT 2 W OF SEWALL'S PT RD (LESS ELY 2' R/W PER OR 1100/1774)

**Owner Information**

**Owner Information**  
 CD2 LLC

**Mail Information**

150 WIRELESS BLVD  
 HAUPPAUGE NY 11788

**Assessment Info**

Front Ft 1 00

**Market Land Value** \$2,232,000  
**Market Impr Value** \$33,000  
**Market Total Value** \$2,265,000

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Site Functions**

**Property Search**

- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$0

**Sale Date** 8/11/2005  
**Book/Page** 2047 2613

Print | Back to List | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

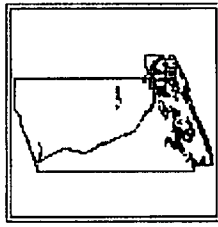
Data updated on 04/19/2007



### Martin County, Florida



Copyright 2007



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~Tue~~ **Tues**  Fri **9-18**, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
8708	Masterpiece steel- 5 Mandakay Dr Schiller	reinspect	Pass	Loop AT DUD INSPECTOR JA
<del>8213</del>	<del>CD2</del>	<del>FRSOUNDING</del>		
8584	River Oaks Nancies		Pass	INSPECTOR A
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR

OTHER: \_\_\_\_\_

**8713**

**LAND CLEARING**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	8713	DATE ISSUED	SEPTEMBER 14, 2007
SCOPE OF WORK	LAND CLEARING		
CONDITIONS :	RIVER OAKS INFRASTRUCTURE ONLY		
CONTRACTOR	SDH, LLC		
PARCEL CONTROL NUMBER	353741000000002607 & 2509	SUBDIVISION	GOVT LOT
CONSTRUCTION ADDRESS	75 N SEWALLS POINT RD		
OWNER NAME	CD2		
QUALIFIER	SCOTT HAYNES	CONTACT PHONE NUMBER:	260-3751 288-0951

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4:00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER	8713
ADDRESS	75 N SEWALLS POINT RD
DATE	JUNE 24, 2008

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350 00 SFR, \$175 00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space (@ \$104 65 per sq ft )		s f	
Total square feet non-conditioned space (@ \$48 90 per sq ft )		s f	
Total Construction Value		\$	
Building fee (2% of construction value SFR or >\$200K)		\$	
Building fee (1% of construction value < \$200K + \$75 per insp )			
Total number of inspections (Value < \$200K) @\$75 ea		\$	
Radon Fee (\$ 005 per sq ft under roof)		\$	
DBPR Licensing Fee (\$ 005 per sq ft under roof)		\$	
Road impact assessment ( 04% of construction value - \$5 00 min )			
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	

ACCESSORY PERMIT	Declared Value	\$	
			24,700 00
Total number of inspections @ \$75 00 each		\$	
Road impact assessment ( 04% of construction value - \$5 00 min )		\$	
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	25 00 change of contractor fee

225

RECEIVED  
DATE 6-18-08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Permit Number \_\_\_\_\_

Date \_\_\_\_\_

OWNER/TITLEHOLDER NAME CD2, LLC Phone (Day) 283-2070 (Fax) 283-2770

Job Site Address 75 N Sewall's Pt Road City Stuart State FL Zip 34996

Legal Desc Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number \_\_\_\_\_

Owner Address (if different) 150 Wireless Blvd City Hampange State NY Zip 11788

Scope of work Land Clearing for infrastructure

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO \_\_\_\_\_

Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES**  
Estimated Value of Construction or Improvements \$ 24,700.00  
(Notice of Commencement required over \$2500)

Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(FOR ADDITIONS AND REMODEL APPLICATIONS ONLY)

Method of Determining Fair Market Value \_\_\_\_\_

<sup>Sub</sup> CONTRACTOR/Company Mindel's Tractor Service Phone 288-0951 Fax 288-0983

Street 4551 SE Hampton Court City Stuart State FL Zip 34997

State Registration Number \_\_\_\_\_ State Certification Number \_\_\_\_\_ Municipality License Number \_\_\_\_\_

~~CONTRACTOR~~ SDH, LLC 260-3751 Phone Number \_\_\_\_\_  
Sec # CGC 1508914 State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER LaMonte Engineering Lic# \_\_\_\_\_ Phone Number 223-8071

Street 3933 SE Fairway East City Stuart State FL Zip 34997

AREA SQUARE FOOTAGE (SEWER & ELECTRIC) Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2004 (W/2006 Rev)  
National Electrical Code 2005 Florida Energy Code 2004 Florida Accessibility Code 2004 Florida Fire Code 2004

**NOTICES TO OWNERS AND CONTRACTORS**  
1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT  
2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES  
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS  
\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

OWNER [Signature] SIGNATURE (required) CONTRACTOR SIGNATURE (required) [Signature]

State of Florida, County of Martin On State of Florida, County of Martin

This the 18th day of June 2008 This the 18th day of June 2008

by Duane Donaldson who is personally known to me or produced [Signature] by Scott Haynes who is personally known to me or produced [Signature]

as identification [Signature] as identification [Signature]  
Notary Public Notary Public

My Commission Expires \_\_\_\_\_ Seal Seal

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



# CD2, LLC

150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
[scody@CD2-LLC.com](mailto:scody@CD2-LLC.com)

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

June 16, 2008

Attn John R Adams, Building Official and Director of Public Works

Re Change of Contractor Notice  
River Oak Place  
Sewall's Point, Fl

Dear Mr Adams

This letter is to inform you that relative to our "Land clearing and infrastructure" permit for the River Oak Place project located at 75 N Sewall's Point Road, we have released our General Contractor, known as

Masterpiece Builders  
408 Colorado Avenue  
Stuart, Florida 34994  
Attn Jeff Bowers, President

We have retained the following licensed General Contractor to complete the permit opened by Masterpiece

SDH, LLC  
3499 SW Thistlewood Ln  
Palm City, FL 34990  
Attn Scott Haynes  
cell 772-260-3751 \* fax 508-629-8118 \* home 772-223-1418  
[floridafive@bellsouth.net](mailto:floridafive@bellsouth.net)

If you need any additional information, please do not hesitate to contact me at (631) 742-6434

Very truly yours,



Stephen R Cody  
Director of Operations

c c Terry McCarthy, Esq



June 6, 2008

Mr John Adams, Building Official  
Town of Sewall's Point  
One S Sewalls Point Road  
Stuart, FL 34996

Re Land Clearing Permit # 8713, River Oaks Place at 75 N Sewalls Point Road

John,

Please accept this letter as official notification that we have been terminated from this project. Due to their decision, we will no longer be involved in coordinating or supervising the completion of the infrastructure and development work on the aforementioned project.

Any documents that we have submitted on behalf of CD2, LLC should have our name removed but other than that should still remain in effect. If you need anything from me to help in accomplishing this, please let me know.

Again, I personally appreciate all the help you gave us with the permitting of this project. The new contact for CD2, LLC is Steve Cody.

Thanks again and I will be seeing you

631 742 6434 call

Sincerely,

Masterpiece Builders

A handwritten signature in cursive script that reads 'Jeff Bowers'.

Jeff Bowers  
President





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	8713	DATE ISSUED	SEPTEMBER 14, 2007
SCOPE OF WORK	LAND CLEARING		
CONDITIONS	RIVER OAKS INFRASTRUCTURE ONLY		
CONTRACTOR	MASTERPEICE BUILDERS - <i>Dept - 1000000000</i>		
PARCEL CONTROL NUMBER	35374100000002607 & 789	SUBDIVISION	GOVT LOT
CONSTRUCTION ADDRESS	75 N SEWALLS POINT RD		
OWNER NAME	CD2		
QUALIFIER	JEFFREY BOWERS	CONTACT PHONE NUMBER	772-288-0951 <span style="float: right; font-size: 1.2em;">283-2096</span>

*Handwritten signature/initials*

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date 7/23/07 Permit Number \_\_\_\_\_

OWNER/TITLEHOLDER NAME CDZ LLC Phone (Day) 283 2096 (Fax) 283 2770

Job Site Address 75 N. Sewall's Pt. Road City STUART State FL Zip 34996

Legal Desc Property (Subd/Lot/Block) Masterpiece (Dg) Parcel Number \_\_\_\_\_

Owner Address (if different) 150 Wireless Blvd City Hempstead State NY Zip 11788

Scope of work LAND CLEARING for infrastructure

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner/Builder questionnaire must accompany application)  
YES  NO   
Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES**  
Estimated Value of Construction or Improvements \$ 24,700 <sup>±</sup>  
(Notice of Commencement required over \$2500)  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(FOR ADDITIONS AND REMODEL APPLICATIONS ONLY)  
Method of Determining Fair Market Value \_\_\_\_\_

SUB CONTRACTOR/Company MANUEL'S TRACTOR SERVICE Phone 288 0951 Fax 288-09

Street 4551 SE Hampton Ct. City STUART State FL Zip 34997

State Registration Number \_\_\_\_\_ State Certification Number \_\_\_\_\_ Municipality License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic # \_\_\_\_\_ Phone Number \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER LACONTE ENGINEERING Lic# \_\_\_\_\_ Phone Number 223-8071  
Street 3933 SE Fairway East City STUART State FL Zip 34997

AREA SQUARE FOOTAGE (SEWER & ELECTRIC) Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

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I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS  
\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

OWNER OR AUTHORIZED AGENT SIGNATURE (required)  
Jeffery A. Bowers - Agent

State of Florida, County of MARTIN  
This the 14th day of AUGUST, 2007

by JEFFERY A. BOWERS who is personally known to me or produced

as identification Michael E. Haag  
Notary Public, State of Florida

My Commission Expires MAR 22, 2010  
Bonded Through Atlantic Bonding Co., Inc

CONTRACTOR SIGNATURE (required)  
Jeffery A. Bowers - Agent

On State of Florida, County of MARTIN  
This the 14th day of AUGUST, 2007

by JEFFERY A. BOWERS who is personally known to me or produced

As identification Michael E. Haag  
Notary Public, State of Florida

My Commission Expires MAR 22, 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

# ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR CB  
MASTE-4

DATE (MM/DD/YYYY)  
04/26/07

<b>PRODUCER</b> R V Johnson Agency, Inc 2041 SE Ocean Blvd Stuart FL 34996 Phone 772-287-3366 Fax 772-287-4255		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
<b>INSURED</b> Masterpiece Builders Masterpiece Systems Inc dba 408 Colorado Avenue Stuart FL 34994		<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC #</b>
		INSURER A Owners Insurance Company	32700
		INSURER B Auto-Owners Insurance Co	18988
		INSURER C Bridgefield Employers Ins	
		INSURER D	
		INSURER E	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	72677326	05/05/07	05/05/08	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS COMP/OP AGG \$ 2,000,000 Emp Ben 1,000,000
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON OWNED AUTOS	4232990400	05/05/07	05/05/08	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
B	EXCESS/UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ 5000	4232990401	05/05/07	05/05/08	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$ \$
C	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE/ OFFICER/MEMBER EXCLUDED If yes describe under SPECIAL PROVISIONS below	083020848	03/01/07	03/01/08	WC STATUTORY LIMITS OTH ER E L EACH ACCIDENT \$ 1000000 E L DISCASL EA EMPLOYEE \$ 1000000 E L DISEASE - POLICY LIMIT \$ 1000000
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

30 days notice of cancellation for Workers Compensation coverage Companies have the option to cancel 10 days for non-payment

## CERTIFICATE HOLDER

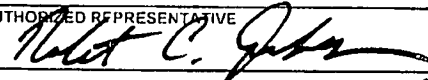
TOWN024

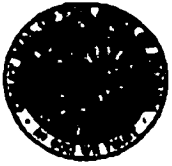
Town of Sewalls Point  
1 S Sewalls Point Road  
Stuart FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10\* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE





STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD  
1940 NORTH MONROE STREET  
TALLAHASSEE FL 32399-0783

(850) 487-1395

BOWERS, JEFFERY ALLAN  
MASTERPIECE BUILDERS  
408 COLORADO AVENUE  
STUART FL 34994

STATE OF FLORIDA AC# 2760668  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CGC048543 08/29/06 060054234  
 CERTIFIED GENERAL CONTRACTOR  
 BOWERS, JEFFERY ALLAN  
 MASTERPIECE BUILDERS

IS CERTIFIED under the provisions of Ch 489 FS  
 Expiration date: AUG 31, 2008 L06082902021

DETACH HERE

AC# 2760668

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L06082902021

DATE	BATCH NUMBER	LICENSE NBR
08/29/2006	060054234	CGC048543

The GENERAL CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2008

BOWERS, JEFFERY ALLAN  
MASTERPIECE BUILDERS  
408 COLORADO AVENUE  
STUART FL 34994

JEB BUSH  
GOVERNOR

SIMONE MARSTILLER  
SECRETARY

DISPLAY AS REQUIRED BY LAW

**2006-2007 MARTIN COUNTY ORIGINAL COUNTY OCCUPATIONAL LICENSE**

Larry C O Steen, Tax Collector, P O Box 9013, Stuart, FL 34995  
(772) 288-5604

**CHARACTER COUNTS IN MARTIN COUNTY**

PREV YR \$	<u>.00</u>	LIC FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS PROFESSION OR OCCUPATION OF  
**CERTIFIED GENERAL CONTRACTOR**

AT LOCATION LISTED ON THE PERMID BEGINNING ON THE

05 DAY OF SEPTEMBER 2006  
AND ENDING SEPTEMBER 30 2007

**CITY OF STUART  
OCCUPATIONAL LICENSE  
2006-2007**

BUSINESS TYPE	CONTRACTOR GENERAL
OWNER AND LOCATION	JEFFERY A BOWERS 408 COLORADO AVE
CITY LICENSE	
DESCRIPT	GEN CONTRACTOR

LICEN# 991-513-0019 CERT \_\_\_\_\_  
PHONE# 561)283-2096 SIC NO 233210

LOCATION  
408 COLORADO AVE MAR

RECEIPT of PAYMENT  
LARRY C O STEEN  
99 09/06/2008 NORMA  
19910006130001  
002 2006 0013580  
MASTERPIECE BUILDER

**BOWERS, JEFFERY A  
MASTERPIECE BUILDERS  
408 COLORADO AVE  
STUART FL 34994**

LICENSE NO.	ACCOUNT NO.	CATEGORY NO.
1946	14145	170500

TAX YEAR BEGINS OCTOBER 1 AND ENDS SEPTEMBER 30  
PAYMENT AFTER OCTOBER 1 CONSTITUTES VIOLATION  
OF CITY CODE OF ORDINANCES

This occupational license does not permit the holder to operate in violation of any City law, ordinance or regulation. Any changes in location or ownership must be approved by the City License Section, subject to zoning restrictions. This License does not constitute an endorsement, approval or disapproval of the holder's skill or competence or of the compliance or non-compliance of the holder with other laws, regulations or standards.

Occupational Licensing 772 288 5319



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS 500.00

PERMIT # 8713 TAX FOLIO # 35-37-41-000-000-00260-7

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE) RIVER OAKS PLACE 75 N. Sewalls Point Road

GENERAL DESCRIPTION OF IMPROVEMENT LAND CLEARING FOR INFRASTRUCTURE

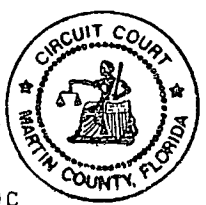
OWNER NAME CD2, LLC ADDRESS 150 wireless Blvd. HAUPPAUGE, NY 11788 PHONE NUMBER FAX NUMBER

INTEREST IN PROPERTY OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)

CONTRACTOR MAWIC'S TRACTOR SERVICE ADDRESS 4551 SE Hampton CT STUART FL 34997 PHONE NUMBER 772-288-0951 FAX NUMBER 772-288-0983

SURETY COMPANY (IF ANY) THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL AND CORRECT COPY OF THE ORIGINAL BOND AMOUNT



LENDER/MORTGAGE COMPANY ADDRESS PHONE NUMBER FAX NUMBER DATE 9-21-07

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a)7, FLORIDA STATUTES

NAME Jeff Bowers / MASTERPIECE BUILDERS ADDRESS 408 Colorado Avenue STUART FL 34994 PHONE NUMBER 772-283-2096 FAX NUMBER 772-283-2770

IN ADDITION TO HIMSELF OR HERSELF OWNER DESIGNATES JEFF BOWERS OF MASTERPIECE BUILDERS TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B) FLORIDA STATUTES PHONE NUMBER 772-283-2096 FAX NUMBER 772-283-2770

EXPIRATION DATE OF NOTICE OF COMMENCEMENT 9-21-08 (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1 SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

Signature of owner or owner's authorized agent: Jeffrey A. Bowers - Agent. SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21 DAY OF SEPT, 2007 BY JEFFERY A. BOWERS AGENT OF OWNER FOR NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED NOTARY SIGNATURE NOTARY SEAL

NOTARY PUBLIC-STATE OF FLORIDA Michael E. Haag Commission # DD531755 Expires MAR 22, 2010 Bonded Thru Atlantic Bonding Co., Inc.

COPY

INSTR # 2040321 OR BK 02280 PG 0487 RECD 09/21/2007 02:44:19 PM

 COPY

CD2, LLC  
150 Wireless Blvd.  
Hauppauge, NY 11788

July, 1, 2007

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, FL 34996

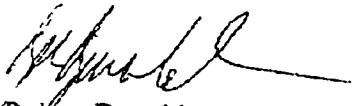
Re Town of Sewall's Point / CD2, LLC  
River Oaks Place Subdivision

Dear Commissioners

Please be advised that Jeffery A. Bowers, of Masterpiece Builders, is authorized to act on behalf of CD2, LLC concerning all matters dealing with the Town of Sewall's Point and all other regulatory agencies exercising jurisdiction over land development in the Town of Sewall's Point

Should you need further assurances, please advise

Sincerely,



D. Robert Donaldson, Managing Member  
CD2, LLC

# ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID: JG MANCT-1  
 DATE (MM/DD/YYYY): 04/20/07

**PRODUCER**  
 Stuart Insurance, Inc.  
 3070 S W Mapp  
 Palm City FL 34990  
 Phone: 772-286-4334 Fax: 772-286-9389

**INSURED**  
 Mancils Tractor Service, Inc.  
 4551 SE Hampton  
 Stuart FL 34997

**THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**

INSURERS AFFORDING COVERAGE		NAIC #
INSURER 1	Owners Insurance Company	32700
INSURER 2	Auto Owners Insurance Co	18988
INSURER 3		
INSURER 4		
INSURER 5		

## COVERAGES

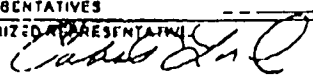
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L TR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	72507753	02/04/07	02/04/08	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (EA OCCURRENCE) \$ 300,000 MED EXP (Any non person) \$ 10,000 PERSONAL & AD / INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS / COM / SUP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON OWNED AUTOS	9543500000	02/11/07	02/11/08	COMBINED SINGLE LIMIT (EA accident) \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				ALLIANCE FA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				EACH OCCURRENCE \$ AGGREGATE \$ DEDUCTIBLE \$ RETENTION \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE/OFFICER/MEMBER EXCLUDED? If yes describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS \$ OTHER \$ EL EACH ACCIDENT \$ EL DISEASE / EMPLOYEE \$ FL DISEASE POLICY LIMIT \$
A	OWNERS	72507754	02/04/07	02/04/08	RENTED OR LEASED EQ 225,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

**CERTIFICATE HOLDER**  
 TOWNS - 1  
 Town of Sewalls Point  
 1 S Sewalls Point Road  
 Stuart FL 34996

**CANCELLATION**  
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THE REOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAME TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE  


# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
04/19/2007

PRODUCER  
Affiliated Agency Ops  
16 South River Street  
Wilkes-Barre, PA 18702

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

INSURED  
Employee Leasing Solutions, Inc  
1401 Manatee Ave W Suite 600  
Bradenton, FL 34205

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A EastGUARD Insurance Company	14702
INSURER B	
INSURER C	
INSURER D	
INSURER E	

## COVERAGES

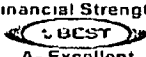
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	ADD L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
		<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ 3 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS COMP/OP AGG \$
		<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accidnt) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$
		<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
A		<b>WORKERS COMPENSATION AND EMPLOYERS LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes describe under SPECIAL PROVISIONS below	EMWC802839	02/28/2007	01/01/2008	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER LL EACH ACCIDENT \$ 1 000 000 EL DISEASE EA EMPLOYEE \$ 1 000 000 LL DISEASE POLICY LIMIT \$ 1 000 000
		<b>OTHER</b> Client ID #4145062				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS EastGUARD Insurance Company carries an A M Best Rating of A- (Excellent) and a financial strength Category of VIII

**Mancini Tractor Services Inc.**  
 Qualifiers Name - Don Mancini Jr.  
 Aprox active employee count 40

EastGUARD Insurance Company carries an A M Best Rating of A- (Excellent) and a financial strength Category of VIII



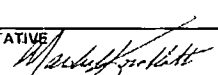
## CERTIFICATE HOLDER

Town of Sewalls Point  
1 South Sewalls Point Road  
Sewalls Point, FL 34996

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE





158-11-2007  
MANCIL  
33880983  
P 002 002



MARTIN COUNTY, FLORIDA  
Construction Industry Licensing Board  
Certificate of Competency

PAVING COMMERCIAL

License Number SP02518 Expires 30-SEP-07

MANCIL, DON JR  
MANCIL'S TRACTOR SERVICE INC  
4551 SE HAMPTON COURT  
STUART, FL 34997

2006-2007 MARTIN COUNTY ORIGINAL  
COUNTY OCCUPATIONAL LICENSE

Larry C O Steen, Tax Collector, P O Box 9013, Stuart, FL 34995  
(772) 288-5604

LICENSE# 1989-275-0670 CERT \_\_\_\_\_  
PHONE (561) 288-0951 SIC NO 003524

LOCATION 4551 SE HAMPTON CT MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	.00	LIC FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL		.00	

DUPLICATE RECEIPT  
LARRY C STEEN  
99 10/02/2006 NORMA  
19893002750067  
002 2006 0000023  
MANCIL'S TRACTOR SE

MANCIL, DON  
MANCIL'S TRACTOR SERVICE  
4551 SE HAMPTON ST  
STUART, FL 34997

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION  
OF LOT GRADING/TRACTOR SERVICE

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

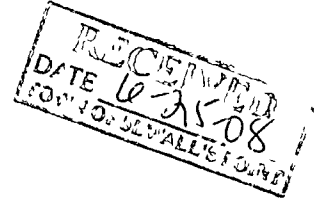
02 DAY OF OCTOBER 06  
AND ENDING SEPTEMBER 30 2007

2 2006 00028.0001 PAID

Town of  
SELWATER POINTE

# CD2, LLC

150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
[scody@CD2-LLC.com](mailto:scody@CD2-LLC.com)



June 20, 2008

Florida Department of  
Environmental Protection  
Bob Martinez Center  
2600 Blair Stone Road, Mail Station 2510  
Tallahassee, Florida 32399-2400

Re **Project ID: FLR10FT38**  
River Oaks Place  
County: Martin

To Whom It May Concern


This letter is giving notice to the Agency that regarding out permit FLR10FT38 that we have changed our point of contact person as follows

Old Point of Contact Person.      Jeff Bower, Masterpiece Builders

New Point of Contact Person:      Stephen Cody, CD2, LLC  
631-742-6434 \* (772) 287-1558 (Fax)

If you need any additional information, please do not hesitate to contact me at (631) 742-6434

Very truly yours,

  
Stephen R. Cody  
Director of Operations

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT # 8713 TAX FOLIO # 353741-000-000-002607 2509

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE) 75 N SEWALLS POINT ROAD, SEWALLS POINT, FL - N2007 PERP OF GOV LOT 3 W OF SEWALLS PT RD D-2

GENERAL DESCRIPTION OF IMPROVEMENT LAND CLEARING

OWNER NAME CDZ, LLC ADDRESS 150 Wireless Blvd, Hempstead, NY 11587 PHONE NUMBER 631-952-0800 FAX NUMBER 631-

INTEREST IN PROPERTY SAME AS ABOVE NAME AND ADDRESS OF PFE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER) BANK ABOVE

CONTRACTOR SDH, LLC ADDRESS 3499 SW Thistlewood Ln, Palm City, FL 34990 PHONE NUMBER 772-260-3751 FAX NUMBER 508-629-8118

PROPERTY COMPANY (IF ANY) NA ADDRESS PHONE NUMBER FAX NUMBER BOND AMOUNT

LENDER/MORTGAGE COMPANY Hydrex Bank and Trust ADDRESS 180 Royal Palm Way, Palm Beach, FL 33480 PHONE NUMBER 561-514-4900 FAX NUMBER 561-514-4913

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a)7 FLORIDA STATUTES

NAME Stephen Cody ADDRESS 35 North River Road, Sewalls Point, FL 34956 PHONE NUMBER 772-287-1557 FAX NUMBER 772-287-1558

IN ADDITION TO HIMSELF OR HERSELF OWNER DESIGNATES CDZ, LLC OF FLORIDA STATUTES TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B) PHONE NUMBER 772-287-1557 FAX NUMBER 772-237-1558

EXPIRATION DATE OF NOTICE OF COMMENCEMENT (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713 PART I SECTION 713.13 FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE Assistant Manager

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25th DAY OF Jun 20 08

BY STEPHEN CODY AS ASST mgr FOR CDZ, LLC NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

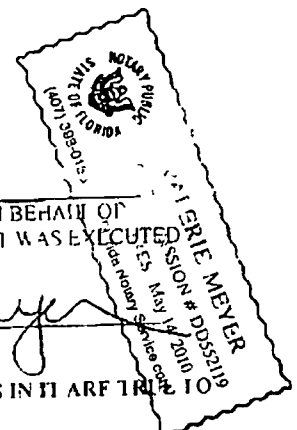
PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED NYDL# 733-250-355 Valere Meyer NOTARY SIGNATURE/SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)

(Signature of Natural Person Signing Above)

Handwritten notes: K. Winters, 6/25/08, etc.



Vertical text on the left margin: INSTR # 2092272 DR BK 02336 Pg 2205 RECD 06/25/08 11:33:29 AM





RECEIVED  
DATE 9-18-07  
TOWN OF SEWALL'S POINT

MEMO

TO John Adams  
Town of Sewall's Point Building Official

Bob Donaldson  
CD2 LLC

~~John Bowers~~  
~~Site Agent, River Oaks Place~~

FILE COPY  
TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE  
DATE \_\_\_\_\_  
BUILDING OFFICIAL

FROM Eric G Haenni, PhD , Senior Scientist,  
Crossroads Environmental Consultants, Inc.

DATE September 18<sup>th</sup>, 2007

RE: Infrastructure Clearing Permit, River Oaks Place

The purpose of this brief memorandum is to address the schematic attached to the Vegetation Site clearing permit authorized for the River Oaks Place subdivision

The applicant acknowledges that the following trees will be mitigated for, due to their removal (impact) during infrastructure installation.

- 62 Palms with an average dbh of 12"  
(The palms will be mitigated at 4 1 for hardwoods OR 1 1 for palms preferred by the Town)
- 87" of Oaks  
(The oaks will be mitigated 1 1, with trees no less than 6"dbh for a total of up to 15 trees)
- 28" of Slash pines  
(The pines will be mitigated 1 1, with trees no less than 6"dbh for a total of up to 5 trees)

Additionally, there were 129" of "unknown" (#10) trees which have been determined by the Town Arborist and myself to be exotic or invasive species not included in the Town's list of specimen trees While the applicant may decide to retain some of the larger trees to maintain the existing canopy of common areas, according to Town Ordinance, I do not believe that they should be required to mitigate for their removal Some of these trees have been designated as "owner's option" and we would just like to see a uniform ruling on these trees Likewise, the applicant would like clarification that since Mango trees (#3) are also not on the Town tree list, the 114" of Mango that located in the clearing envelope should be uniformly slated as "owner's option" and not counted against the applicant in mitigation calculations

1251 SW 27th Street, Suite 2  
Palm City, FL 34990  
772 223 5200  
772 223 5103 fax



In the attached, revised clearing schematic, the applicant would propose the following designations for clearing purposes

Trees encircled in red pen will be removed during infrastructure installation and easement preparations

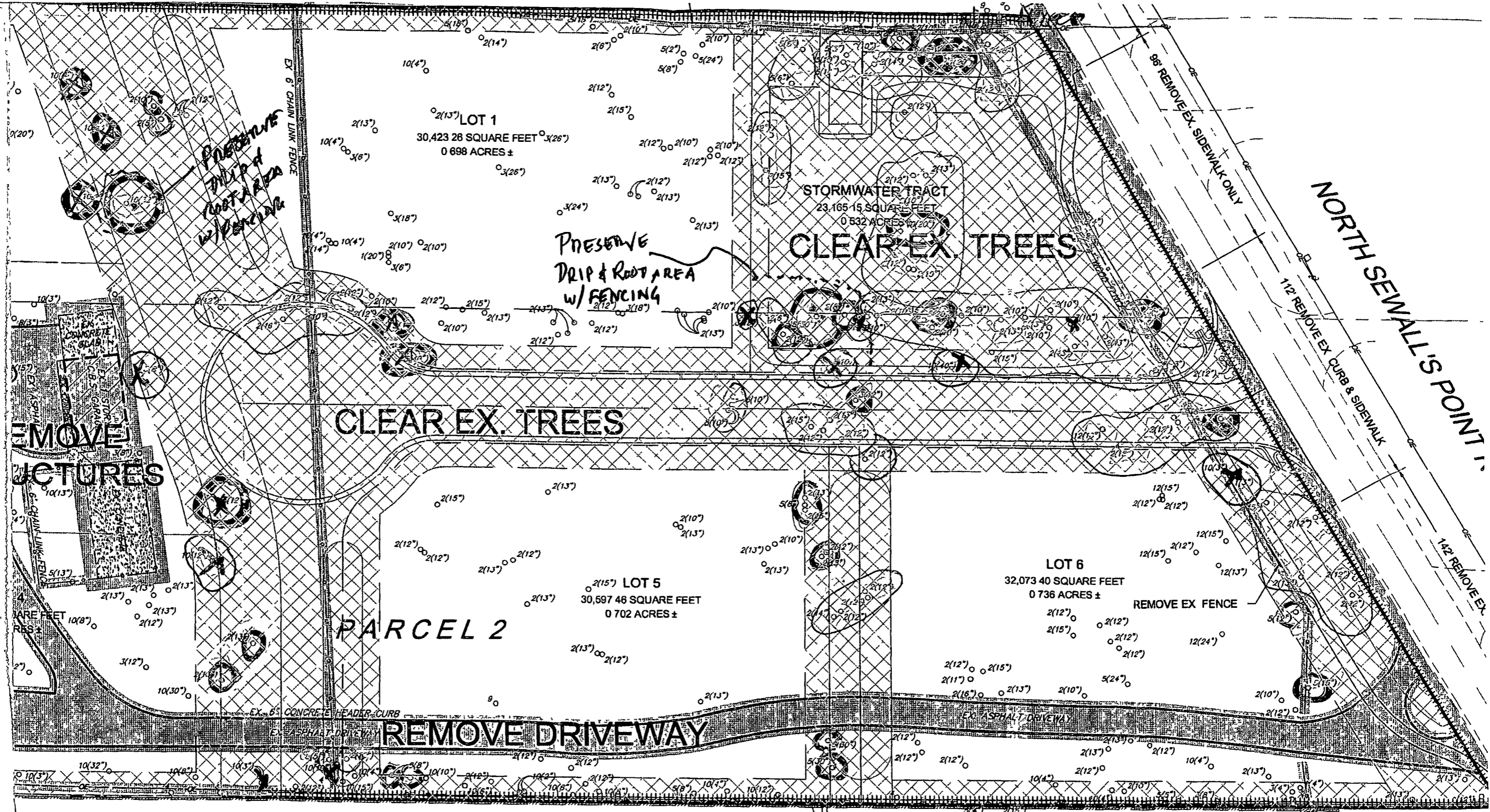
Trees encircled in blue highlight will be preserved in place during infrastructure installation and easement preparations

Trees encircled in orange highlight will be removed without a black "X" through them will be removed during infrastructure installation and easement preparations, or will be retained at owner's option, with no mitigation required for their removal

Trees encircled in orange highlight will be removed with green circle inside them represent vegetative material that was damaged by past hurricanes and never recovered or were determined to be non-viable This includes a 20" Gumbo limbo (1), a 20" Oak tree (5), an 11" Oak tree (5), and a tree with no label adjacent to North Sewall's Point Road These trees will be removed during infrastructure installation and easement preparations

If the Town is amenable to this clarification, please provide written confirmation to the Site Agent at your earliest convenience, in the form of your signature below A copy or facsimile of this signed amendment will serve as notice to proceed We appreciate your consideration of this request and look forward to moving ahead with this project If you have further questions on this issue, please contact me at 772-223-5200

<p><b>FILE COPY</b> <b>TOWN OF SEWALL'S POINT</b> THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE _____ <b>BUILDING OFFICIAL</b></p>
--



REMOVE EX OVERHEAD ELECTRIC

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE \_\_\_\_\_  
 \_\_\_\_\_  
**BUILDING OFFICIAL**

**PRESERVATION / MITIGATION LEGEND - SEE SURVEY LEGEND FOR DESCRIPTIONS**

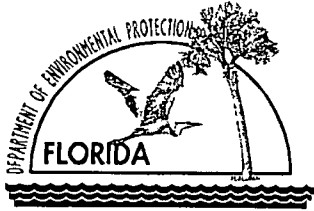
**X** - UNKNOWN SPECIES OR FRUIT TREE OWNER'S OPTION

**[Dashed Box]** - TREES TO BE MITIGATED OR PRESERVED AT OWNERS OPTION

**[Solid Box]** - TREES TO BE PRESERVED

RIVER OAKS PLACE

**GC COPY**



**NOTICE OF INTENT  
TO USE**

**RECEIVED**  
DATE 8-31-07  
TOWN OF SEWALL'S POINT

**GENERIC PERMIT FOR STORMWATER  
DISCHARGE FROM LARGE AND SMALL  
CONSTRUCTION ACTIVITIES  
(RULE 62-621.300(4), F.A.C.)**

This Notice of Intent (NOI) form is to be completed and submitted to the Department before use of the Generic Permit for Stormwater Discharge From Large and Small Construction Activities provided in Rule 62-621 300(4), F A C The type of project or activity that qualifies for use of the generic permit, the conditions of the permit, and additional requirements to request coverage are specified in the generic permit document [DEP Document 62-621 300(4)(a)] The appropriate generic permit fee, as specified in Rule 62-4 050(4)(d), F A C , shall be submitted with this NOI in order to obtain permit coverage Permit coverage will not be granted without submittal of the appropriate generic permit fee You should familiarize yourself with the generic permit document and the attached instructions before completing this NOI form Please print or type information in the appropriate areas below

**I IDENTIFICATION NUMBER** Project ID \_\_\_\_\_

**II APPLICANT INFORMATION**

**TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY**

A Operator Name CD2, LLC		
B Address 150 Wireless Blvd		
C City Hauppauge	D State NY	E Zip Code 11788
F Operator Status P	G Responsible Authority Robert Donaldson, Managing Member	
	H Phone No (631) 952-0800	

**III PROJECT/SITE LOCATION INFORMATION**

A Project Name River Oaks Place		
B Project Address/Location 75 Sewall's Point Road (Sections 35 / Township 37S / Range 41E)		
C City Sewall's Point	D State FL	E Zip Code 34996
F County Martin	G Latitude 27° 12' 43"	Longitude 80° 12' 26"
H Is the site located on Indian lands? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	I Water Management District SFWMD	
J Project Contact Jeff Bowers, Construction Manager		K Phone No (772) 283-2096

X

**IV PROJECT/SITE ACTIVITY INFORMATION**

<b>A. Indicate whether Large or Small Construction (check only one).</b> <input checked="" type="checkbox"/> Large Construction (Project will disturb five or more acres of land ) <input type="checkbox"/> Small Construction (Project will disturb one or more acres but less than five acres of land )	
<b>B. Approximate total area of land disturbance from commencement through completion of construction</b> <u>6.19</u> Acres	
<b>C. SWPPP Location:</b> <input type="checkbox"/> Address in Part II above <input type="checkbox"/> Address in Part III above <input checked="" type="checkbox"/> Other address (specify below)	
<b>D. SWPPP Address</b> 408 Colorado Ave	
<b>E. City</b> Stuart	<b>F. State</b> FL
<b>G. Zip Code</b> 34994	
<b>H. Construction Period:</b> Start Date August 20, 2007 Completion Date August 20, 2008	

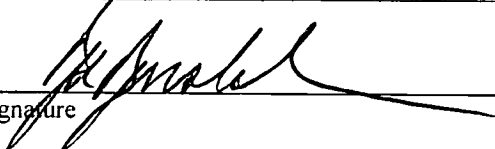
**V DISCHARGE INFORMATION**

<b>A. MS4 Operator Name (if applicable)</b> N/A
<b>B. Receiving Water Name</b> Indian River (Intra-coastal Waterway)

**VI CERTIFICATION<sup>1</sup>**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

<b>Name and Official Title (Type or Print)</b> Robert Donaldson, Managing Member
---

Signature 

Date Signed 8-17-07

<sup>1</sup> Signatory requirements are contained in Rule 62-620.305, F.A.C.

**INSTRUCTIONS – DEP FORM 62-621 300(4)(b)**  
**NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES**

**Who Must File an NOI**

Federal law at 40 CFR Part 122 prohibits the point source discharge of pollutants, including the discharge of stormwater associated with large construction activities as defined at 40 CFR 122.26(b)(14)(x) or small construction activities as defined at 40 CFR 122.26(b)(15), to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program at 403.0885, F.S., operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), must obtain coverage either under a generic permit issued pursuant to Chapter 62-621, F.A.C., or an individual permit issued pursuant to Chapter 62-620, F.A.C.

**Where to File NOI**

NOIs for coverage under this generic permit must be sent to the following address:

NPDES Stormwater Notices Center, MS #2510  
Florida Department of Environmental Protection  
2600 Blair Stone Road  
Tallahassee, Florida 32399-2400

**Permit Fee**

Permit fees for large and small construction activities to be covered under the generic permit are specified in Rule 62-4050(4)(d), F.A.C. The appropriate generic permit fee (either for large or small construction activities) must be submitted along with the completed NOI in order to obtain coverage under the generic permit. **Generic permit coverage will not be granted without payment of the appropriate permit fee.**

The permit fee shall be paid by either check or money order made payable to "Florida Department of Environmental Protection."

**Part I – Identification Number**

Enter the project's DEP identification number (generic permit coverage number) if known. If an ID number has not yet been assigned to this project (i.e., if this is a new project), leave this item blank.

**Part II – Applicant Information**

Item A Provide the legal name of the person, firm, contractor, public organization, or other legal entity that owns or operates the construction activity described in this NOI. The operator is the legal entity that has authority to control those activities at the project necessary to ensure compliance with the terms and conditions of the generic permit.

Items B – E Provide the complete mailing address of the operator, including city, state, and zip code.

Item F Enter the appropriate one letter code from the list below to indicate the legal status of the operator:

F = Federal, S = State, P = Private, M = Public (other than federal or state), O = Other

Items G – H Provide the name and telephone number (including area code) of the person authorized to submit this NOI on behalf of the operator (e.g., Jane Smith, President of Smith Construction Company on behalf of the operator, Smith Construction Company, John Doe, Public Works Director on behalf of the operator, City of Townsville, etc.) This should be the same person as indicated in the certification in Part VI

### **Part III – Project/Site Location Information**

Items A – E Enter the official or legal name and complete street address, including city, state, and zip code of the project. Do not provide a P.O. Box number as the street address. If it lacks a street address, describe the project site location (e.g., intersection of State Road 1 and Smith Street)

Item F Enter the county in which the project is located

Item G Enter the latitude and longitude, in **degrees-minutes-seconds format**, of the approximate center of the project

Item H Indicate whether the project is located on Indian lands

Item I Enter the appropriate five or six letter code from the list below to indicate the Water Management District the project is located within

NFWWMD = Northwest Florida Water Management District  
SRWMD = Suwannee River Water Management District  
SFWMD = South Florida Water Management District  
SWFWMD = Southwest Florida Water Management District  
SJRWMD = St. John's River Water Management District

Items J – K Give the name, title, and telephone number (including area code) of the project contact person. The project contact is the person who is thoroughly familiar with the project, with the facts reported in this NOI, and who can be contacted by the Department if necessary.

### **Part IV – Project/Site Activity Information**

Item A Check the appropriate box to indicate whether the project involves large construction activity or small construction activity. **Check one box only.**

“Large Construction Activity” means construction activity that results in the disturbance of five (5) or more acres of total land area. Large construction activity also includes the disturbance of less than five acres of total land area that is part of a larger common plan of development or sale if the larger common plan will ultimately disturb five acres or more.

“Small Construction Activity” means construction activity that results in the disturbance of equal to or greater than one (1) acre and less than five (5) acres of total land area. Small construction activity also includes the disturbance of less than one acre of total land area that is part of a larger common plan of development or sale that will ultimately disturb equal to or greater than one acre and less than five acres.

Item B Provide the approximate total area of land disturbance in acres that the project will involve from commencement of construction through completion.

Items C - G Indicate the location where the Stormwater Pollution Prevention Plan (SWPPP) can be viewed. Provide the address where the SWPPP can be viewed if other than as provided in Parts II or III of the NOI. **Note that to be eligible for coverage under the generic permit, the SWPPP must have been prepared prior to filing this NOI.**

Item H Enter the estimated construction start and completion dates in the MM/DD/YY format.

## Part V – Discharge Information

Item A If stormwater from the project discharges to a municipal separate storm sewer system (MS4), enter the name of the operator of the MS4 (e.g., City of Tallahassee MS4, Orange County MS4, FDOT MS4, etc.) If stormwater from the project does not discharge to an MS4 but rather discharges to surface waters of the State, leave this item blank or indicate 'N/A' and skip to Item B of this part. **Please note that if the project discharges stormwater to an MS4, you must provide the MS4 operator with a copy of the completed NOI**

Item B If the project discharges stormwater to surface waters of the State, and not to an MS4, enter the name of the receiving water body to which the stormwater is discharged. Please provide the first named water body to which the stormwater from the project is discharged (e.g., Cypress Creek, Tampa Bay, unnamed ditch to St. Johns River, Tate's Hell Swamp, etc.)

## Part VI – Certification

Type or print the name and official title of the person signing the certification. Please note that this should be the same person as indicated in Item II G as the Responsible Authority. Sign and date the certification.

Section 403.161, F.S., provides severe penalties for submitting false information on this application (NOI) or any reports or records required by a permit. There are both civil and criminal penalties, in addition to the revocation of permit coverage for submitting false information.

Rule 62-620.305, F.A.C., requires that the NOI and any reports required by the permit to be signed as follows:

- A For a corporation, by a responsible corporate officer as described in Rule 62-620.305, F.A.C.,
- B For a partnership or sole proprietorship, by a general partner or the proprietor, respectively, or,
- C For a municipality, state, federal or other public facility, by a principal executive officer or elected official



# RIVER OAKS PLACE

 **COPY**

## Stormwater Pollution Prevention Plan



"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

\_\_\_\_\_  
Robert Donaldson, Managing Member

\_\_\_\_\_  
Date

<b>Project Name and location information</b>	River Oaks Place 75 Sewall's Point Road Sewall's Point, FL 34996  Martin County (S 35, T 37S R 41E)
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**A site map must be developed and must contain, at a minimum, the following information:**

- 1 Drainage patterns,
- 2 Approximate slopes after major grading activities,
- 3 Areas of soil disturbance,
- 4 Outline all areas that are not to be disturbed,
- 5 Location of all major structural and non-structural controls,
- 6 The location of expected stabilization practices,
- 7 Wetlands and surface waters, and
- 8 Locations where stormwater may discharge to a surface water or MS4

**Site Description**

Describe the nature of the construction activity	The proposed project consists of the construction of a road and a surface water management system to serve a 6-acre single-family residential development. The development will consist of 6 lots and supporting infrastructure, including a dry retention system for stormwater management.
Describe the intended sequence of major soil disturbing activities	The sequence of construction will be as follows: 1 Clearing & grubbing, 2 Rough earthwork (berm, swales and retention), 3 Underground (water, wastewater, and drainage pipes & structures), 4 Roadwork and paving, 5 Final grading, and 6 Landscaping and stabilization.
Total area of the site	6.19 Acres
Total area of the site to be disturbed	5.85 Acres
Existing data describing the soil or quality of any stormwater discharge from the site	<i>See attached Soils Map</i> The existing Soil Types, are as follows: (6) Paola Sand - depth to Water Table greater than 72", and (9) Pomello Sand - depth to wet season Water Table 24" to 40"
Estimate the drainage area size for each discharge point	There will be no discharge (or discharge point) during construction.
Latitude and longitude of each discharge point and identify the receiving water or MS4 for each discharge point	N/A

Give a detailed description of all controls, Best Management Practices (BMPs) and measures that will be implemented at the construction site for each activity identified in the intended sequence of major soil disturbing activities section. Provide time frames in which the controls will be implemented. NOTE: All controls shall be consistent with performance standards for erosion and sediment control and stormwater treatment set forth in s. 62-40.432, F.A.C., the applicable Stormwater or Environmental Resource Permitting requirements of the Department or a Water Management District, and the guidelines contained in the Florida Development Manual - A Guide to Sound Land and Water Management (DEP, 1988) and any subsequent amendments.

Before any construction commences silt fence will be installed along all downstream edges of the property (where the potential of runoff exists).

Describe all temporary and permanent stabilization practices. Stabilization practices include temporary seeding, mulching, permanent seeding, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, vegetative preservations, etc

All vegetation along the west edge of the parcel and within the development lots will be preserved as indicated on the construction plans. All of the remaining disturbed open spaces on the site will be stabilized as the final sequence of the construction project, with sod or seed and mulch added as indicated on the construction plans

Describe all structural controls to be implemented to divert stormwater flow from exposed soils and structural practices to store flows, retain sediment on-site or in any other way limit stormwater runoff. These controls include silt fences, earth dikes, diversions, swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems, gabions, coagulating agents and temporary or permanent sediment basins

As previously mentioned, silt fence will be installed prior to construction and maintained throughout the construction process. After clearing is completed rough grading will commence. At that time the perimeter berm and the primary retention area as identified on the construction plans will be constructed in order to contain and store stormwater runoff during construction. Following the rough grading, underground construction will commence, at this time all drainage structures will be covered with filter cloth, and all exposed pipe ends will be sealed to prevent any soils from being collected into these facilities

Describe all sediment basins to be implemented for areas that will disturb 10 or more acres at one time. The sediment basins (or an equivalent alternative) should be able to provide 3,600 cubic feet of storage for each acre drained. Temporary sediment basins (or an equivalent alternative) are recommended for drainage areas under 10 acres

The primary retention area will serve as a temporary sediment basin during construction. The primary retention area is designed to store in excess of 44,000 CF of runoff, twice the volume required for 6 acres (21,600 CF)

Describe all permanent stormwater management controls such as, but not limited to, detention or retention systems or vegetated swales that will be installed during the construction process

A description of the stormwater management follows

#### **Grading**

The parcel currently has a top of bank approximately 50' from the St. Lucie River shoreline. This top of bank is generally the highest point (ridge) on the parcel. Therefore, the topography of the existing parcel lends itself to a grading design for the proposed project of west to east. The three waterfront lots are each oriented in that direction and therefore, the design includes dry retention swales and the high point of the cul-de-sac roadway at the eastern extents or low points of these lots. The swales will intercept runoff and contribute to the overall stage storage of the project, the overflow of these swales as well as runoff from most of the central lot will flow onto the cul-de-sac

valley gutter. The runoff from the remaining lots will be partly collected with roadway runoff into the valley gutter and directed to the catch basins at the low point of the roadway, or collected directly into the main dry retention area on the north side of the roadway, or the swale extension on the south side of the roadway. The project will be graded along the eastern perimeter to a minimum elevation of 6.5 to confine runoff within the project. The roadway was also designed with a grade transition from the existing Sewalls Point Rd to an intermediate high point elevation of 6.8 prior to the aforementioned low point – in order to provide a slope more conducive for vehicles the grade transition from the existing road is longer.

**Storage**

The runoff storage of the Storm Water Management System for this project as mentioned above will be provided in a combination of dry retention swales and a main dry retention area. The swales located near the cul-de-sac, or west end of the system are at higher elevations than the remaining system. Therefore these higher elevations result in a significant head or depth to the water table, and combined with very permeable soils, will be very effective in percolating excess runoff into the soil column. The remaining runoff collected by the system will be stored in the main retention area and the swale extension on the other side of the roadway. The system has the capacity to store the required water quality volume, the runoff from the 25-year, 3-day design storm event, and even the 100-year, 1-day storm event with zero discharge from the project.

**Discharge**

The main retention area will be slightly deeper than the south extension swale to promote flow. Excess runoff that is collected in the storage system will dissipate through a combination of percolation into the ground towards a water table below and evaporate into the air, as well as discharge through the outfall control structure. The grate elevation of this control structure is designed at the stage required for water quality. Therefore, any runoff collected above this elevation will flow through this control structure and a series of proposed structures and culverts into an existing storm sewer slightly to the north of the project on Sewalls Point Rd, that ultimately discharges into the Indian River. The water quality of the runoff stored in the system will be improved by allowing settling of sediment and pollutants as a result of low flow velocities and extended resident time. On that basis, a substantial portion of the storm water runoff will percolate into the ground recharging the groundwater, and the discharge to the river that is limited by the control structure will be of improved water quality.

**Describe in detail controls for the following potential pollutants**

<p>Waste disposal, this may include construction debris, chemicals, litter, and sanitary wastes</p>	<p>Inert solid construction debris will be stockpiled in a designated location on the parcel to be removed to an approved landfill. Any hazardous material required during construction will be stored in controlled facilities.</p>
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<p>Offsite vehicle tracking from construction entrances/exits</p>	<p>The construction access will be a gravel driveway to minimize tracking sand and dirt off of the construction site. There will be additional maintenance (including sweeping) of adjacent off-site roadways as may be required from time to time to eliminate sediment tracked off the site by vehicles.</p>
<p>The proper application rates of all fertilizers, herbicides and pesticides used at the construction site</p>	<p>Care will be taken to insure the proper application rates of all fertilizers, herbicides and pesticides used at the construction site.</p>
<p>The storage, application, generation and migration of all toxic substances</p>	<p>Care will be taken to insure the proper storage, application, generation and migration of all toxic substances used at the construction site.</p>
<p>Other</p>	<p>N/A</p>

Provide a detailed description of the maintenance plan for all structural and non-structural controls to assure that they remain in good and effective operating condition

At least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater, the silt fence, berm, retention area, and all pipe and structure protected openings will be inspected and maintained as necessary.

Inspections Describe the inspection and inspection documentation procedures, as required by Part V D 4 of the permit Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater (see attached form)

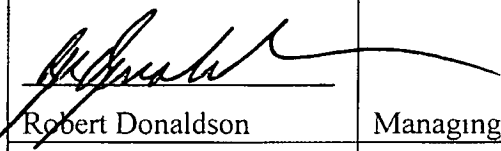

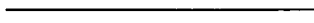
At least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater, the silt fence, berm, retention area, and all pipe and structure protected openings will be inspected and maintained as necessary

Identify and describe all sources of non-stormwater discharges as allowed in Part IV A 3 of the permit Flows from fire fighting activities do not have to be listed or described

There will not be any discharges during the construction process

**This SWPPP must clearly identify, for each measure identified within the SWPPP, the contractor(s) or subcontractor(s) that will implement each measure. All contractor(s) and subcontractor(s) identified in the SWPPP must sign the following certification:**

“I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder ”

Name	Title	Company Name, Address and Phone Number	Date
 Robert Donaldson	Managing Member	CD2, LLC 150 Wireless Blvd Hauppauge, NY 11788 (631) 952-0880	
 Rick Mancil	Owner (Clearing & Earthwork construction)	Mancil's Tractor Service 4551 SE Hampton Ct Stuart, FL 34997 (772) 288-0951	
 Matt Jackson	Owner (Underground construction)	Advanced Underground 3552 SE Dixie Hwy Stuart, FL 34997 (772) 220-1901	



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 8-20 2009. Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9205	Kelso 18 Riv Vista Sano	<del>Final</del> Siding NAILING	Pass	INSPECTOR <i>[Signature]</i>
Tree	20 N River Rd	Tree	Pass	INSPECTOR <i>[Signature]</i>
9227 8:30	Foster 7 Timor St Natl Flow	buck attachment	Pass	INSPECTOR <i>[Signature]</i>
9000 10:30	CD2 4 River Oak SDH	draft stop INSULATION	Pass Pass	INSPECTOR <i>[Signature]</i>
<del>8713</del>	<del>River Oak</del>	<del>Handicap</del>	<del>Pass</del>	<del>Close</del> INSPECTOR <i>[Signature]</i>
9204 2PM	Morales 10 N Ridgerview Seaside Roof	tin tag dry in	Pass PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR



**8962**

**ENTRANCE WALLS**

**&**

**SIGNS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER.	8962	DATE ISSUED	JULY 28, 2008
		<del>SEPT 15, 2009 CHANGE OF CONTRACTOR</del> \$25 PD CCK#1169500425 AND ALSO <del>RENEWED \$225 PD CCK#1169500424</del>	
SCOPE OF WORK	ENTRANCE WALLS & SIGNS		
CONDITIONS			
CONTRACTOR	SDH- RIVERVIEW CONSTRUCTION OF MARTIN COUNTY		
PARCEL CONTROL NUMBER	35374100000002509 & 2607	SUBDIVISION	GOVT LOT 2
CONSTRUCTION ADDRESS	75 N SEWALLS POINT RD		
OWNER NAME	CD2		
QUALIFIER:	<del>SCOTT HAYNES</del> STEVE CODY	CONTACT PHONE NUMBER.	260-3751-631-742-6434

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

#### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER.	8962	DATE ISSUED.	JULY 28, 2008
SCOPE OF WORK	ENTRANCE WALLS		
CONDITIONS			
CONTRACTOR	SDH		
PARCEL CONTROL NUMBER	35374100000002509 & 2607	SUBDIVISION	GOVT LOT 2
CONSTRUCTION ADDRESS	75 N SEWALLS POINT RD		
OWNER NAME.	CD2		
QUALIFIER.	SCOTT HAYNES	CONTACT PHONE NUMBER.	260-3751

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NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

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### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**

RECEIVED  
DATE 9-3-09  
TOWN OF SEWALL'S POINT

**Town of Sewall's Point**  
**BUILDING PERMIT APPLICATION**

Date 7/29/09 Permit Number 8962

OWNER/TITLEHOLDER NAME CD2, LLC Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address 75 N Sewalls Pt Rd City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Legal Description \_\_\_\_\_ Parcel Control Number \_\_\_\_\_

\*Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

**Scope of work (please be specific)**

<p><b>WILL OWNER BE THE CONTRACTOR?</b> (If yes Owner Builder questionnaire must accompany application) YES _____ NO _____</p> <p><b>Has a Zoning Variance ever been granted on this property?</b> YES _____ (YEAR) _____ NO _____ (Must include a copy of all variance approvals with application)</p>	<p><b>COST AND VALUES</b> (Required on ALL permit applications)</p> <p>Estimated Value of Improvements \$ _____ (Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)</p> <p>Is subject property located in flood hazard area? VE10 ___ AE9 ___ AE8 ___ X ___ <b>FOR ADDITIONS, REMODELS AND RE ROOF APPLICATIONS ONLY</b></p> <p>Estimated Fair Market Value prior to improvement \$ _____ (Fair Market Value of the Primary Structure only Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION</p>
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CONTRACTOR/Company Riverview Contr. Phone 631 742 6434 Fax 772 232 0889

Street 5799 NE Island Cove Way apt 1102 City Stuart FL State FL Zip 34996

State License Number CB1257392 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_

LOCAL CONTACT Stephen Cody Phone Number 631-742-6434

DESIGN PROFESSIONAL \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREAS SQUARE FOOTAGE Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_

Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_  
Enclosed non habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2007  
National Electrical Code 2005(2008 after 6/1/09) Florida Energy Code 2007, Florida Accessibility Code 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS**

1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT

2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50 95

4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 5

**\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER SIGNATURE (required)  
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

[Signature]

State of Florida County of Suffolk

This the 31st day of July 2009

by D. Robert Donaldson who is personally known to me or produced \_\_\_\_\_ as identification [Signature]

Notary Public

My Commission Expires 10/7/10

CONTRACTOR SIGNATURE (required)

[Signature]

On State of Florida County of Suffolk

This the 31st day of July 2009

by Stephen R Cody who is personally known to me or produced \_\_\_\_\_ as identification [Signature]

Notary Public

My Commission Expires 10/7/10

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Notary Public, State of New York  
No 01HO5066820  
Qualified in Suffolk County  
Commission Expires October 7, 2010

City  
WC  
\$25

# CD2, LLC

150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)

RECEIVED  
DATE: 9-3-09  
TOWN OF SEWALL'S POINT

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

July 27, 2009

Attn John R Adams, Building Official and Director of Public Works

Re Change of Contractor Notice  
River Oak Place  
Sewall's Point, Fl

Dear Mr Adams

This letter is to inform you that relative to our "Entrance wall and Entrance Sign" permit for the River Oak Place project located at 75 N Sewall's Point Road, we have released our General Contractor, known as

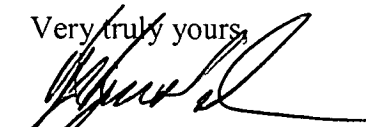
SDH, LLC  
3499 SW Thistlewood Ln  
Palm City, FL 34990  
Attn Scott Haynes cell 772-260-3751 \* fax 508-629-8118 \* home 772-223-1418  
[floridafive@bellsouth.net](mailto:floridafive@bellsouth.net)

We have retained the following licensed General Contractor to complete the permit opened by SDH

Riverview Construction of Martin County, LLC  
150 Wireless Blvd  
Hauppauge, New York 11788  
Attn Steve Cody  
cell 631-742-6434 \* fax 772-232-0889 \* [scodycd2@aol.com](mailto:scodycd2@aol.com)

If you need any additional information, please do not hesitate to contact me at (631) 742-6434

Very truly yours,



D. Robert Donaldson  
Managing Member

c c Terry McCarthy, Esq

Town of Sewall's Point

Date: 7/16/08 BUILDING PERMIT APPLICATION Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME CD2, LLC Phone (Day) 742-6434 (Fax) 772

Job Site Address 75 N. Sewalls Point Rd City Sewalls Pt. State FL Zip 34996

Legal Desc Property (Subd/Lot/Block) Parcel Number 35-37-41-000-000-00250-9

Owner Address (if different) SAME AS ABOVE City State Zip

Scope of work CONSTRUCT CONCRETE BLOCK/STUCCO ENTRANCE WALL

WILL OWNER BE THE CONTRACTOR?

If yes, Owner Builder questionnaire must accompany application YES NO

Has a Zoning Variance ever been granted on this property? Yes (Year) No (Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES (Required on ALL permit applications)

Estimated Value of Improvements \$10,180 Notice of Commencement required when over \$2500 - prior to first inspection Is subject property located in flood hazard area? V A9 A8 X FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY Estimated Fair Market Value prior to improvement (Fair Market Value of the Primary Structure only, Minus the land value) \*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION\*\*\*

CONTRACTOR/Company SDH, LLC Phone 772 260-3751 Fax 508 629-8118

Street 3499 SW Thistlewood Ln City Palm City State FL Zip 34990

State Registration Number GC1508714 State Certification Number Municipal License Number

PROJECT SUPERINTENDANT CONTACT NUMBER

ARCHITECT MACORSON Lic # AR91665 Phone Number 772-223-8227

Street 844 East Ocean Blvd, Suite C City Stuart State FL Zip 34994

ENGINEER Lic# Phone Number

Street City State Zip

AREA SQ FOOTAGE Living Garage Covered Patios Screened Porch

Carport Total Under Roof Wood Decks/walkways Accessory Building

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2004 (W/2006 Rev) National Electrical Code 2005 Florida Energy Code 2004 Florida Accessibility Code 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:

- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT 2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES 3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95 4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AUTHORIZED AGENT SIGNATURE (required) Stephen R. Cody, ASST MANAGER

CONTRACTOR SIGNATURE (required) Scott A. Basler

State of Florida, County of Martin

On State of Florida County of Martin

This the 16th day of August, 2008

This the 17th day of August, 2008

by Stephen R. Cody personally

by Scott A. Basler personally

known to me or produced by Stephen R. Cody #935-250-335

known to me or produced by Scott A. Basler #54-70-438-5

as identification by Stephen R. Cody

as identification by Scott A. Basler

My Commission Expires

My Commission Expires

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105 3 4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105 3 2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!

INSTR # 2097690 DR BK 02342 PG 1025 RECD 07/28/2008 09:13:43 AM  
Pg 1025 (1pg)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter

**NOTICE OF COMMENCEMENT**

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500 00

PERMIT # 8962 TAX FOLIO # 353741-000-000-002607  
STATE OF FLORIDA COUNTY OF MARTIN 2509

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713 FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE) 75 N Sewall Pt Rd, Sewall Pt, Florida  
GENERAL DESCRIPTION OF IMPROVEMENT CONSTRUCT CONCRETE  
N200.7 PERS OF GUL LOT 3  
W of Sewall Pt Rd  
S 124' PERS OF GUL LOT 2  
W of Sewall Pt Rd

OWNER NAME CD2, LLC Black / Stone Entrance Wall  
ADDRESS 150 Wireless Blvd., Hightstown, NJ 08520  
PHONE NUMBER 609-742-6434 FAX NUMBER 609-742-8691

INTEREST IN PROPERTY Same as above  
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)

CONTRACTOR SDH, LLC  
ADDRESS 3499 SW Thistlewood Ln, Palm City, FL 34990  
PHONE NUMBER 772-260-3751 FAX NUMBER 508-629-8118

SURETY COMPANY (IF ANY) NA  
ADDRESS \_\_\_\_\_  
PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_  
BOND AMOUNT \_\_\_\_\_

LENDER/MORTGAGE COMPANY Lydian Bank old Trust  
ADDRESS 180 Royal Palm Way, Palm Beach, FL 33480  
PHONE NUMBER 561-514-4900 FAX NUMBER 561-514-4913

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13 (1) (a) 7, FLORIDA STATUTES

NAME Stephen Cody  
ADDRESS 35 Nuzell River Rd, Sewall Pt, Florida 34996  
PHONE NUMBER 772-287-1557 FAX NUMBER 772-287-1558

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES Stephen Cody OF CD2, LLC TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B), FLORIDA STATUTES  
PHONE NUMBER 772-287-1557 FAX NUMBER 772-287-1558

EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_  
( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

**WARNING TO OWNER.** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713 13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

Stephen P Cody  
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE Assistant Manager

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF July, 2008

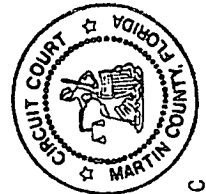
BY Stephen P Cody AS ASSISTANT MANAGER FOR CD2, LLC  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION NY DL 733257335

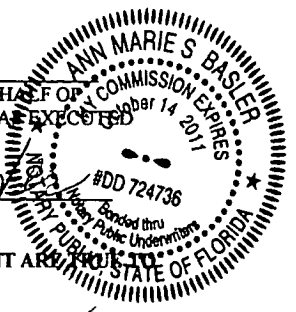
TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_  
NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Stephen P Cody, ASST. Manager  
(Signature of Natural Person Signing Above)

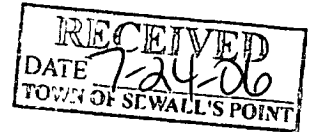


STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE FOREGOING \_\_\_\_\_ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING CLERK  
BY [Signature] DC  
7/28/08  
FIATS



# CD2, LLC

150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
[scody@CD2-LLC.com](mailto:scody@CD2-LLC.com)



July 24, 2008

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

Attn John R Adams, Building Official and Director of Public Works

Re Request for Permit to construct Entrance Walls  
River Oak Place  
Sewall's Point, Fl

Dear Mr Adams

We are requesting a building permit to construct the concrete block/stucco walls at the entranceway to River Oak Place, located at 75 N Sewalls Point Road To that end, I have enclosed the following for your review:

- 1 Two original signed and sealed Architectural Plans (revised to reflect the surveyor's location stake out of the walls)
- 2 Two copies of the location plan, showing locations of the proposed wall's prepared by Bloomster Survey

I have the check for payment of the permit fee, once you have calculated the permit fee, please call me at (631) 742-6434 and I will come to Town Hall to pay the fee

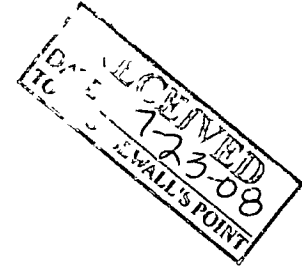
Very truly yours,

A handwritten signature in black ink, appearing to read "S. R. Cody".

Stephen R. Cody  
Director of Operations



**CD2, LLC**  
150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
[scody@CD2-LLC.com](mailto:scody@CD2-LLC.com)



July 17, 2008

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

Attn John R Adams, Building Official and Director of Public Works

Re Authorization to Sign on Behalf of CD2, LLC  
Sewall's Point, Fl

Dear Mr Adams

Please accept my authorization for Stephen R Cody, Assistant Manager of CD2, LLC to sign on behalf of the corporation for matters involving permitting and mapping issues for projects CD2 is working on in Sewall's Point

Very truly yours,

D Robert Donaldson  
Manager

# CD2, LLC

150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
[scody@CD2-LLC.com](mailto:scody@CD2-LLC.com)

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

July 16, 2008

Attn John R Adams, Building Official and Director of Public Works

Re Request for Permit to construct Entrance Walls  
River Oak Place  
Sewall's Point, Fl

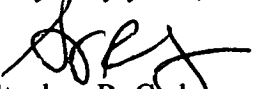
Dear Mr Adams

We are requesting a building permit to construct the concrete block/stucco walls at the entranceway to River Oak Place, located at 75 N Sewalls Point Road To that end, I have enclosed the following for your review

- 1 Completed Building Permit Application
- 2 Completed Notice of Commencement Form
- 3 Two original signed and sealed Architectural Plans
- 4 Two copies of the location plan, showing locations of the proposed wall's prepared by Bloomster Survey

We are looking to commence this work as soon as possible, if you need any additional information please contact me at (631) 742-6434 Otherwise please contact me when the permit is ready so that I may come into your office to pick it up

Very truly yours,

  
Stephen R. Cody  
Director of Operations





**TOWN OF SEWALL'S POINT**

One South Sewall's Point Road  
Sewall's Point, Florida 34996  
(772) 287-2455

**CORRECTION NOTICE**

ADDRESS 75 N.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

WALL ETC.

ONLY ACCEPTABLE METHOD  
OF SUPPORTING STEEL  
RE BAR ARE CONC. BARRIC  
OR STL. CHAIRS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE 7/31/08

[Signature]  
INSPECTOR

**DO NOT REMOVE THIS TAG**

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection.  Mon  Wed

~~THURS~~ **THURS 1-31**, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
8920	Skinner	46 electric	PASS	
5	15 Palmetto Tuscany Bay			INSPECTOR <i>JAV</i>
<del>8962</del>	<del>CON</del>	<del>POOL</del>	<del>FAIL</del>	<del></del>
2	75 N Sewalls SDH	final (JOHN)		INSPECTOR <i>JAV</i>
8952	Sanders	final-panels	PASS	CLOSE
3	3 Mandalay Louie's			INSPECTOR <i>JAV</i>
8905	Pottsdam	final	PASS	CLOSE
4	50 Rivista Michael Schro			INSPECTOR <i>JAV</i>
8145	Geisinger	FINAL	PASS	CLOSE
?6	Castle Hill OB	GAS FINAL 215-1094	PASS	INSPECTOR <i>JAV</i>
8899	Cornell	final-panels	PASS	CLOSE
15 <sup>th</sup>	1 Benjamin Rd OB			INSPECTOR <i>JAV</i>
8939	Cornell	final-door	PASS	CLOSE
2/15 <sup>th</sup>	1 Benjamin Rd Creation Blg			INSPECTOR <i>JAV</i>

C. W. M.

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 8-1, 2008

Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
1305	HB Assoc 3766 SE Ocean Roofman	Final-	PASS	Close INSPECTOR <i>A</i>
8964	HB ASSOC 3762 SE Ocean Roofman	in-progress	CANCEL	INSPECTOR <i>A</i>
<del>8962</del>	<del>GDZ</del>	<del>footing</del>	<del>PASS</del>	
JOHN	75 N Sewalls SDH		PASS	INSPECTOR <i>A</i>
8937	Tapper 22 Island Rd Energy Electric	Final	PASS	Close INSPECTOR <i>AM</i>
2				
8960	Shotts 46 Riv Vista NIS Air	Final	PASS	Close INSPECTOR <i>AM</i>
150				
day 4	Muir 14 Perruinkle La Tne Homes by Lick	Final-passes	PASS	Close INSPECTOR <i>AM</i>
3				
1732	Muir 14 Perruinkle La OB	Final-submit	PASS	Close INSPECTOR <i>AM</i>
3				
OTHER: <del>REMOVED</del> <del>REMOVED</del> <del>REMOVED</del>				

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  ~~Tues~~ <sup>TUES.</sup>  Fri 8-12, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
8961	BOHNER	FINAL		
John	2 N SEWALLS CARPS & HUFF		PASS	CLOSE INSPECTOR <i>JA</i>
8964	HB ASSOC.	FINAL		
John	3766 SE OCEAN ROOFMAN		PASS	CLOSE INSPECTOR <i>JA</i>
5969	HB Assoc	Final - (signs)		
John	3766 Se Ocean Kuchman		PASS	CLOSE INSPECTOR <i>JA</i>
6198	HB Assoc	Final sign		
John	3766 Se Ocean Jimmy Lowell		PASS	CLOSE INSPECTOR <i>JA</i>
6558	HB Assoc	Final - light POSTS		
John	3766 Se Ocean Jimmy Lowell		PASS	CLOSE INSPECTOR <i>JA</i>
8968	Nelson	Form & steel		
	3 Marguerita Carron Keene	BOND & M.D.	PASS	INSPECTOR <i>JA</i>
8975	Sanders	Final		
1302	3 Mandalay Nishui		PASS	CLOSE INSPECTOR <i>JA</i>
OTHER:				
8962	CDZ 75N Sewalls SDH	beam on masonry wall	PASS	<i>JA</i>

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  ~~Thu~~ Thurs 11-6, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
<del>8823</del> 8823	Sebastian 6 W High Pt O/B	windows + doors	<del>PASS</del> FAIL	
				INSPECTOR <i>[Signature]</i>
9041	Miller 4 Copaire NSAIR	Final AC handler condenser	PASS	Close
				INSPECTOR <i>[Signature]</i>
9039	Bausch 20 S Sewalls Heaton Roofing	Final	PASS	Close
				INSPECTOR <i>[Signature]</i>
<del>89162</del>	<del>CO2</del> 75 N Sewalls SDH	<del>Form Fed</del> <del>SWIMMER</del> PAC-POOL	<del>PASS</del>	
				INSPECTOR <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR

OTHER. \_\_\_\_\_



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection     Mon     Tue     Wed     Thur     Fri    12-17    Page 1 of 1

RMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9220	Crispen 30 E High Pt Wis Air	Final	PASS	
				INSPECTOR <i>JA</i>
9307	Robson 2 Castle Hill Metro	wire lathe	PASS	
				INSPECTOR <i>JA</i>
<del>9462</del>	<del>CDZ 15 N Sewalls</del>	<del>Final</del>	<del>PASS</del>	<del>Clear</del>
	Riverview Const			INSPECTOR <i>JA</i>
<del>9412</del>	<del>Hainers 4 Morgan Cir Crubben</del>	<del>Final</del>	<del>Retaining wall</del>	<del>Cancelled</del>
				INSPECTOR
<del>9413</del>	<del>Hainers 4 Morgan Cir Crubben</del>	<del>Final</del>	<del>Storage shed</del>	<del>Cancelled</del>
				INSPECTOR
				INSPECTOR
				INSPECTOR

**8995**

**IRRIGATION**



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT CARD**

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	8995	DATE ISSUED	SEPTEMBER 8, 2008
SCOPE OF WORK	IRRIGATION		
CONDITIONS			
CONTRACTOR	FLORIDA EXOTIC		
PARCEL CONTROL NUMBER	35374100000002509	SUBDIVISION	GOV LOT 2
CONSTRUCTION ADDRESS	75 N SEWALLS PT RD		
OWNER NAME	CD2, LLC		
QUALIFIER	JERRY BIANOUISOS	CONTACT PHONE NUMBER	286-2924

**WARNING TO OWNER- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

**REQUIRED INSPECTIONS**

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**

RECEIVED  
DATE: 9-4-08  
TOWN OF SEWALL'S POINT

Date: 9/3/08  
Town of Sewall's Point  
OWNER/TITLEHOLDER NAME: [Signature] Phone (Day) 631-742-6434 (Fax) 287-1558  
Job Site Address: 75 N SEWALLS PT ROAD City: SWART State: FL Zip: 31996  
Legal Description: \_\_\_\_\_ Parcel Control Number: \_\_\_\_\_  
Owner Address (if different): Common area City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Scope of work (please be specific) IRRIGATION  
WILL OWNER BE THE CONTRACTOR?  
(If yes, Owner Bulder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
Has a Zoning Varnace ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all varnace approvals with application)

COST AND VALUES (Required on ALL permit applications)  
Estimated Value of Improvements \$ 11,000.00  
(Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
FOR ADDITIONS, REMODELS AND RE ROOF APPLICATIONS ONLY  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: FLORIDA EXOTIC A LANDSCAPE COMPANY Phone: 286-2924 Fax: 286-1417  
Street: 4016 SW MOORE ST City: PALM CITY State: FL Zip: 34940  
State License Number: \_\_\_\_\_ OR Municipality: MARTIN COUNTY License Number: SPO2823  
LOCAL CONTACT: LEHR FILIPE Phone Number: 286-2924  
DESIGN PROFESSIONAL: \_\_\_\_\_ Lic#: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Street: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
AREAS SQUARE FOOTAGE Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios/ Porches: \_\_\_\_\_ Enclosed Storage: \_\_\_\_\_  
Carport: \_\_\_\_\_ Total under Roof: \_\_\_\_\_ Elevated Deck: \_\_\_\_\_ Enclosed area below BFE\*: \_\_\_\_\_  
\* Enclosed non habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2004 W/ 2006 REV  
National Electrical Code 2005 Florida Energy Code 2004/6 Florida Accessibility Code 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS:  
1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT  
2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES  
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95  
4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

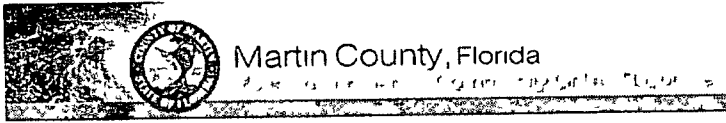
\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER SIGNATURE (required)  
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
[Signature]  
State of Florida, County of: MARTIN  
This the 3 day of Sept, 2008  
by Stephen Cody who is personally  
known to me or produced NY DL 733250335  
as identification [Signature]  
ANISSA C OVERSTREET  
Commission DD 76193 Notary Public  
My Commission Expires June 6, 2012  
Bonded Thru Troy Fan Insurance 800-385-7019

CONTRACTOR SIGNATURE (required)  
[Signature]  
On State of Florida, County of: MARTIN  
This the 3rd day of SEPTEMBER 2008  
by JERRY BRADITSOS who is personally  
known to me or produced  
As identification [Signature]  
MY COMMISSION # DD 400046  
EXPIRES May 2, 2009  
Bonded Thru Troy Fan Insurance 800-385-7019  
Notary Public [Signature]

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



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Contractor List

Reset

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Display 15

Go

Name	Company	License Type	License & Exp	Status	Address	Phone	Liability & Exp	Wk Comp & Exp
GIANOUTSOS, JERRY	FLORIDA EXOTIC, A LANDSCAPE CO INC	PAVER BLOCK	SP03255 30 SEP 10	ACTIVE	4016 SW MOORE STREET PALM CITY FL 34990	772 286-2924 772-286 1417	TEQUESTA AGENCY 30 OCT 08	STUART INS 18 MAY-09
GIANOUTSOS, JERRY	FLORIDA EXOTIC, A LANDSCAPE CO INC	IRRIGATION SPRINKLERS	SP02823 30 SEP 09	ACTIVE	4016 SW MOORE STREET PALM CITY FL 34990	772 286-2924 772-286 1417	TEQUESTA AGENCY 30 OCT-08	STUART INS 18 MAY-09

Spread Sheet

1 - 2

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### Business Tax Receipt Details

[New Search](#)    [Back to Search Results](#)    [Help](#)

<b>Account Number</b>	1974-000320-00005 000	<b>Status</b>	ACTIVE FULL
<b>Business Name</b>	FLORIDA EXOTIC A LANDSCAPE CO INC	<b>Current Amount Due</b>	0 00
<b>Business Category</b>	WHOLESALE		
<b>Additional Description</b>	ACCOUNT PAID IN FULL	<b>New Business Date</b>	06/01/1974
<b>Business Address</b>	OCCY	<b>Date Closed</b>	
<b>Doing Business As</b>			
<b>Owner Name</b>	FILITE PAUL		
<b>Mailing Address</b>	FLORIDA EXOTIC A LANDSCAPE CO INC FILITE PAUL 4016 SW MOORE S ST PALM CITY FL 34990		
			Update Business Details

#### License Renewal History

Year	License Amount	Penalty	Fees	Transfer	Duplicate	Exempt	Amount Due	Paid
2009	26 25						26 25	PAID
2008	26 25						26 25	PAID
2007	25 00						25 00	PAID
2006	25 00						25 00	PAID
2005				3 00			3 00	PAID
2005	25 00						25 00	PAID
2004	25 00						25 00	PAID



# Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by  
governmax.com T1 12

## Summary

print Owner  
1 of 3

### Parcel Info

#### Summary

Land

Residential

Improvement

Commercial

Image

Sales & Transfers

Assessments →

Taxes →

Exemptions →

Parcel Map →

Full Legal →

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
35-37-41-000-000-00250-9	75 N SEWALL'S POINT RD	9395	Owner	0	0

#### Summary

**Property Location** 75 N SEWALL'S POINT RD

**Tax District** 2200 Sewall's Point

**Account #** 9395

**Land Use** 100 0000 Vacant Residential

**Neighborhood** 193195

**Acres** 2 257

#### Legal Description

#### Property Information

S 124' PERP OF GOV LOT 2 W OF SEWALL'S PT RD (LESS ELY 2' R/W PER OR 1100/1774)

### Search By

Parcel ID

#### Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Map →

#### Owner Information

#### Owner Information

CD2 LLC

#### Mail Information

150 WIRELESS BLVD  
HAUPPAUGE NY 11788

#### Assessment Info

Front Ft 1 00

**Market Land Value** \$1,897,200

**Market Impr Value** \$0

**Market Total Value** \$1,897,200

### Site Functions

#### Property Search

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County Home

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#### Recent Sale

Sale Amount \$0

**Sale Date** 8/11/2005

**Book/Page** 2047 2613

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[Legal disclaimer](#) / [Privacy Statement](#)

Data updated on 08/29/2008



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500 00

PERMIT # 90308 TAX FOLIO # 35-37-41-000-000-00250-9
35-37-41-000-000-00260-7

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

Part of Gov Lot 2 and 3 Sewell's Pt. Florida

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE)

75 N Sewell's Pt Rd, Sewell's Pt, FL

GENERAL DESCRIPTION OF IMPROVEMENT

Irrigation

OWNER NAME

CDZ, LLC

ADDRESS

150 Wireless Blvd, Hempstead, NY 11788

PHONE NUMBER

631-952-0800

FAX NUMBER

INTEREST IN PROPERTY

NA

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)

CONTRACTOR Florida Exotic

ADDRESS

4016 SW Moore St Palm City FL 32990

PHONE NUMBER

286-2824

FAX NUMBER

SURETY COMPANY (IF ANY)

STATE OF FLORIDA MARTIN COUNTY

ADDRESS

PHONE NUMBER

THIS IS TO CERTIFY THAT THE NUMBER

BOND AMOUNT

FOREGOING PAGES IS A TRUE

LENDER/MORTGAGE COMPANY

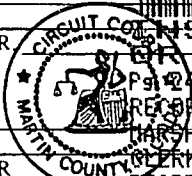
NA

ADDRESS

MARSHA EWING, CLERK

PHONE NUMBER

BY COPIES FAX NUMBER



2104067 BK 02348 PG 2411
RECORDED 09/04/2008 03:32:43 PM
MARSHA EWING
RECORDED BY C Hunter

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13 (1) (a) 7 FLORIDA STATUTES

NAME

Owner

ADDRESS

PHONE NUMBER

FAX NUMBER

IN ADDITION TO HIMSELF OR HERSELF OWNER DESIGNATES

Stephen Cody

OF

CDZ, LLC TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B),

FLORIDA STATUTES

PHONE NUMBER

631-742-6434

FAX NUMBER

1772-587-5887

EXPIRATION DATE OF NOTICE OF COMMENCEMENT

( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713 13 FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

Signature of Stephen Cody, Agent

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3 DAY OF Sept, 2008

BY Stephen Cody AS agent

NAME OF PERSON TYPE OF AUTHORITY

FOR CDZ LLC NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED NY DL

Signature of Anissa C Overstreet, Notary

NOTARY SIGNATURE/SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92 525, FLORIDA STATUTES)

Signature of Notary Anissa C Overstreet

(Signature of Natural Person Signing Above)



ANISSA C OVERSTREET
Commission DD 761934
Expires June 6, 2012
Bonded Thru Troy Fan Insurance 800-385-7019



Homeowners

Installers

Designers

Products Support Resources Corporate Where to Buy Distributors International Hunter Golf Site Map



Home | Products | Sprays | Pro-Spray® Sprinklers Specifications

# Pro-Spray®

## Specifications

### Pro-Spray® MODELS

- PROS-00 - Shrub
- PROS 02 - 2" Pop-up (5 cm)
- PROS 03 - 3" Pop up (7.5 cm)
- PROS 04 - 4" Pop up (10 cm)
- PROS 06 - 6" Pop-up (15 cm)
- PROS-12 - 12" Pop-up (30 cm)

### DIMENSIONS

- Overall height
- PROS 02 - 4" (10 cm)
- PROS-03 - 5" (12.5 cm)
- PROS 04 - 5 7/8" (15.5 cm)
- PROS-06 - 8 3/4" (22.5 cm)
- PROS-12 - 16 1/8" (41 cm)
- 1/2" female inlet NPT
- Exposed diameter 2 1/4" (5.7 cm)

### OPERATING SPECIFICATIONS

- Recommended pressure range 15 to 70 PSI (1.0 to 4.8 bars 103 to 487 kPa)
- Flow by 0 at 10 PSI (7 bars 68 kPa) or greater, 1 GPM (0.07 m<sup>3</sup>/hr, 0.4 l/min) otherwise
- Precipitation rates approximately 1.5" (38 mm) per hour

### OPTIONS AVAILABLE

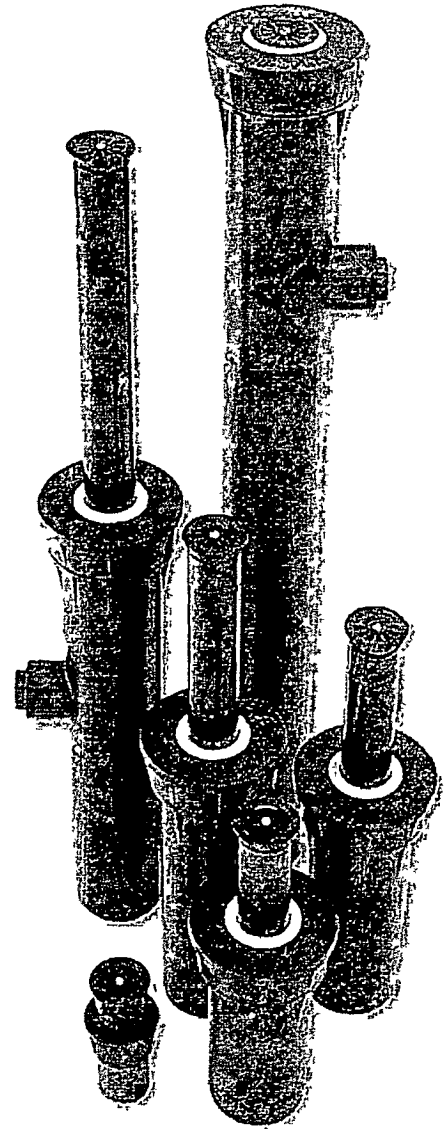
- Factory installed drain check valve for up to 10' (3 m) elevation change
- "Check Valve" stamped on cap for easy ID
- Field-installed drain check valve (part # 437400)
- Field-installed black rubber cover (part # 469805)
- Field-installed reclaimed water identification snapon cover (part # 469800)
- Field installed reclaimed water identification body cap (part # 458520)
- with "Check Valve" stamped on cap for easy ID (part # 458525)
- Field installed vandal-proof cap (part # PROS VPC)

### SPECIFICATION GUIDE

#### EXAMPLE PROS - 04 - CV - 15H

MODEL	POP UP HEIGHT	OPTIONS	NOZZLE SERIES	PATTERN
PROS =	00 = Shrub	CV = Factory Installed	8 = 8 Series	A = Adjustable
Pro Spray	02 = 2" Pop up	Drain Check Valve	10 = 10 Series	Q = Quarter Circle
	03 = 3" Pop up	(Pop up Models Only)	12 = 12 Series	H = Half Circle
	04 = 4" Pop up	CV-R = Factory Installed	15 = 15 Series	F = Full Circle
	06 = 6" Pop-up		17 = 17 Series*	
	12 = 12" Pop up	Reclaimed Body Cap		

Note: Bodies and nozzles sold separately. Also compatible with Hunter's bubbler and specialty nozzles.  
 \* 17 Series available in Adjustable, Half and Quarter-Circle patterns only.  
 CV and CV-R models not available in 2" or 3" pop ups.



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 BUILDING DEPARTMENT  
 FILE COPY

[Pro-Spray Intro | Features and Benefits | Specifications](#)

[PDF Downloads](#)

[Pro-Spray Brochure | Pro-Spray Product Information Guide](#)

[Related Links](#)

[Installation and Adjustment](#)

[New Two-Piece Ratchet Pro-Spray, Institutional Spray Now Easiest to Adjust. Most Precise](#)

Site Search

Homeowners      Installers      Designers

Products   Support   Resources   Corporate   Where to Buy   Distributors   International   Hunter Golf   Site Map

Home | Products | Roto



Specifications

PGP® MODELS

- PGS - Shrub
- PGP - 4" Pop up (10 cm)
- PGH - 12" Pop up (30 cm)
- PGP ATR - 2 1/4" Pop up

PAW, \* and others

DIMENSIONS

- Overall height
- PGS - 7 3/8" (19 cm)
- PGP - 7 3/8" (19 cm)
- PGH - 17" (43 cm)
- 3/4" female inlet NPT
- Exposed diameter 1 3/4" (4 cm)

OPERATING SPECIFICATIONS

- Discharge rate 5 to 14.1 GPM (0.11 to 3.20 m<sup>3</sup>/hr 1.9 to 53.4 l/min)
- Radius 22 to 52 (6.7 to 15.8 m)
- Recommended pressure range 30 to 70 PSI (2.1 to 4.8 bars 206 to 482 kPa)
- Operating pressure range 20 to 100 PSI (1.4 to 6.9 bars 137 to 689 kPa)
- Precipitation rates approximately 4 (10 mm) per hour at 50 PSI (3.4 bars 344 kPa) for spacings from 25 to 45 (7.6 to 13.7 m)
- Nozzle trajectory standard - 25° low angle - 13°

Note To ensure optimum nozzle performance the rotor should be operated in the "Recommended pressure range". The sprinkler will work normally when used in the "Operating pressure range" but nozzle performance may be reduced.

OPTIONS AVAILABLE

- Drain check valve for up to 10 (3.0 m) elevation change (not available for PGP ATR)
- Reclaimed water identification cover
- Low angle nozzles
- Factory installed nozzle

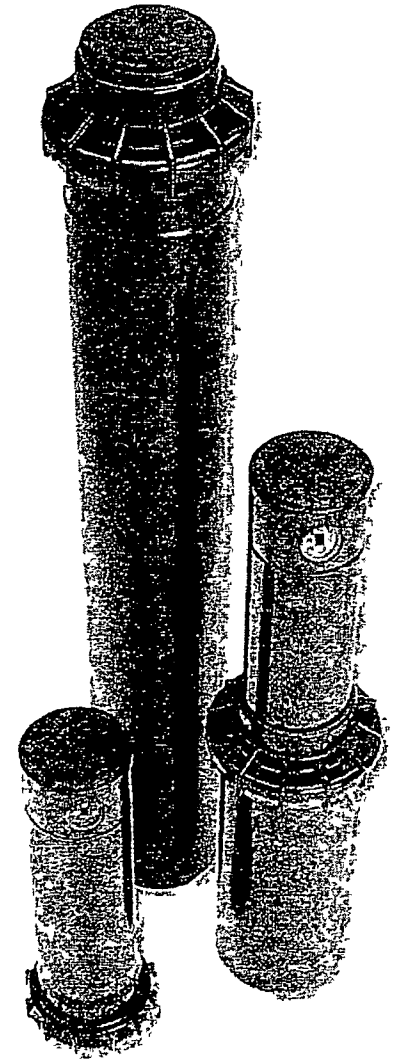
SPECIFICATION GUIDE

EXAMPLE PGP - ADJ - LA

MODEL	FEATURES	OPTIONS
PGS = Shrub	ADJ 360 ADV 36V ARV 3RV	XX = 12 Standard Nozzles OR LA = 7 Low Angle Nozzles
PGP = 4" Pop up	ADJ, 360 ADV 36V ARV 3RV	O1 - 12 = Factory Installed Standard Nozzle
PGH = 12" Pop up	ADV 36V ARV 3RV	4 - 10 LA = Factory Installed Low Angle Nozzle

Key to Features

- ADJ = Adjustable with no Check Valve
- 360 = Full Circle with no Check Valve
- ADV = Adjustable with Check Valve
- ATP = 6 cm Pop up adjustable with no check valve and \*7 nozzle factory installed
- 36V = Full Circle with Check Valve
- ARV = Adjustable Reclaimed Water with Check Valve
- 3RV = Full Circle Reclaimed Water with Check Valve



TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

[Intro](#) | [Features and Benefits](#) | [Specifications](#) | [Nozzle Performance Charts](#)

[PDF Downloads](#)  
[PGP 2 Page Brochure](#) | [PGP 4 Page Brochure](#)  
[PGP Product Information Guide](#)

[Related Links](#)  
[Installation and Adjustment](#) | [Reclaimed Water Products](#)

Site Search

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Products Support Resources Corporate Where to Buy Distributors International Hunter Golf Site Map

Home | Products | Controllers | ACC Controllers Specifications



ACC 1200 PP

Specifications

ACC MODELS

- ACC 1200 - 12 station controller metal cabinet 42-station capacity
- ACC 1200 PP - 12 station controller plastic pedestal 42-station capacity
- ACC-99D - 2 Wire decoder controller with 99 station capacity, metal cabinet
- ACC 99DPP - 2-Wire decoder controller with 99 station capacity plastic pedestal
- ACM 600 - 6-station module for use with any ACC
- AGM-600 - 6 station module with Extreme Service surge protection
- HFS - Hunter flow sensor requires the use of an FCT xxx
- ACC-PED - Metal pedestal for use with ACC 1200

DIMENSIONS

- ACC Cabinet 12 3/8" H x 15 1/2" W x 6 7/16" D  
(31.4 cm H x 39.4 cm W x 16.4 cm D)
- ACC Metal Pedestal 36 1/8" H x 15 1/2" W x 5" D  
(91.5 cm H x 39.4 cm W x 12.7 cm D)
- ACC Plastic Pedestal 38 3/8" H x 21 9/16" W x 15 7/8" D  
(97.5 cm H x 54.6 cm W x 40.3 cm D)

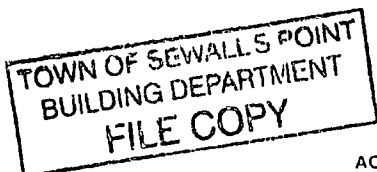
SPECIFICATIONS & FEATURES

- Transformer input 120/230VAC 50/60Hz 7A at 120VAC 1A at 230VAC Maximum
- Transformer output 24VAC 4A @10VA
- Station output 24VAC, 0.56A (2 valves)
- Maximum total output 24VAC, 4A (14 valves), includes master valve circuits
- Two master valve outputs 24VAC 0.28A each
- Seasonal adjustment 0 to 300% in 1% increments by program
- All programs can run simultaneously
- Self-diagnostic circuit breaker skips shorted stations and continues watering
- Station run times 1 second minimum to 6 hours maximum
- Programmable delay between stations of up to 4 hours
- UL, C UL, CE, C tick
- 365 day calendar
- Test program feature allows for quick system checks
- Central control compatible with Hunter IMMS™ system
- Upgrade to ET capability
- Real-time Flow Monitoring capability built in, with actual flow histories (in GPM or metric) available when connected to Hunter HFS or other compatible flow meters
- Flow learning mode by station with station-level diagnostics and alarm shutdowns
- Easy Retrieve™ backup feature can restore schedules run times, names and other settings to a saved setup
- Programmable Stack and Overlap settings including SmartStack™
- Alphanumeric names up to 13 characters for each program station (zone) or group, with programmable customer contact screen

SPECIFICATION GUIDE

EXAMPLE ACC - 1200 - PED

MODEL	FEATURES	OPTIONS USER INSTALLED
ACC	1200 = 12-Station Base Unit Controller Metal Cabinet Expands to 42 Stations 1200PP = 12-Station Base Unit Controller Plastic Pedestal Expands to 42 Stations 99D = 2 Wire Decoder Controller with 99 Station Capacity Metal Cabinet 99DPP = 2 Wire Decoder Controller with 99 Station Capacity, Plastic Pedestal	PED = Optional Metal Pedestal
ACM	600 = 6-Station Plug-in Module for use with any ACC Controller Model	
AGM	600 = 6-Station Plug-In Module with Extreme Service Surge Protection	
ACC COM	HWR = Hardwire Connection Communication Module for "Satellite" Installations POTS = Regular Dial-up Telephone (RJ-11) Connection Communication Module for "Satellite" Installations GSM = Cellular Connection Communication Module (Cell Phone & Antenna Included) for "Satellite" Installations GSM E = Cellular Connection Communication Module (Cell Phone & Antenna Included) for International "Satellite" Installations	
ACC-HWIM	Terminal for Hardwire Connections (In- and Outbound Wire)	
RAD3	UHF Radio Communications Module (Antenna not Included)	
HFS	Hunter Flow Sensor, requires the use of an FCT xxx tee fitting	



ACC Intro | Features and Benefits | Specifications

PDF Downloads  
ACC Brochure | ACC Owner's Manual

Related Links  
ACC Communications Modules Make it Easy to Step Up to Central Control

# PVC-SDR Pressure Pipe System

## SCOPE

This specification covers PVC Standard Dimensional Ratio (SDR) pipe for pressure applications. This system is intended for pressure applications where the operating temperature will not exceed 140°F.

## SPECIFICATION

Pipe shall be manufactured from virgin rigid PVC (polyvinyl chloride) vinyl compounds with a Cell Class of 12454-B as identified in ASTM D1784.

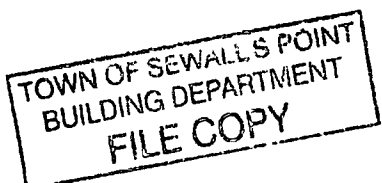
PVC Schedule 40 pipe shall be Iron Pipe Size (IPS) conforming to ASTM D1785 and ASTM D2665. All systems shall utilize a separate waste and vent system. Pipe shall conform to National Sanitation Foundation Standard 14.

Installation shall comply with the latest installation instructions published by Charlotte Pipe and Foundry and shall conform to all local plumbing, building, and fire code requirements. Solvent cement joints shall be made in a two step process with primer manufactured for thermoplastic piping systems and solvent cement conforming to ASTM D2564. The system shall be protected from chemical agents, fire stopping materials, thread sealant, plasticized vinyl products, or other aggressive chemical agents not compatible with PVC compounds. Systems shall be hydrostatically tested after installation. Testing with compressed air or gas is not recommended.

## REFERENCED STANDARDS

- ASTM D1784            Rigid Vinyl Compounds
- ASTM D2241           PVC Pressure Rated Pipe (SDR Series)
- ASTM D2672           Joints of IPS PVC Pipe using solvent cement
- ASTM D2564           Solvent Cements for PVC Pipe
- NSF Standard 14      Plastic Piping Components and Related Materials
- NSF Standard 61      Drinking Water System Components – Health Effects

**Note** Latest revision of all standards apply



Homeowners

Installers

Designers

Products Support Resources Corporate Where to Buy Distributors International Hunter Golf Site Map



Home | Products | Sensors | Mini-Click® Rain Sensors Specifications

# Mini-Click®

## Specifications

### Mini-Click® MODELS

- MINI-CLICK - standard Mini-Click model
- MINI-CLICK-HV - code approved for liquid tight electrical fittings for 120 or 240 volt wiring applications
- MINI-CLICK-C - 1/2" female threaded inlet at bottom
- MINI-CLICK-NO - normally open switch
- MINI-CLICK-C-NO - 1/2" female threaded inlet at bottom normally open switch

### DIMENSIONS

- Height 5"
- Length MINI-CLICK 6"
- MINI-CLICK-HV 7 1/2"

### OPERATING SPECIFICATIONS

- Switch Rating 5 amps at 125/250VAC
- Wiring
- MINI-CLICK and MINI-CLICK-C Typically interrupts the common ground wire between the solenoid valves and the controller
- MINI-CLICK-HV For use with high voltage irrigation systems and systems using pumps drawing less than 10 amps peak
- MINI-CLICK-NO for use with controllers that require a normally open sensor switch
- Included 25 ft. of #20 two conductor wire, two mounting screws, controller identification label and detailed instructions
- UL listed
- Optional metal gutter mount for Mini-Click (order SGM)

### SPECIFICATION GUIDE

#### EXAMPLE MINI-CLICK - HV

MODEL	OPTION
MINI-CLICK	HV = High Voltage Model for 110/220VAC Applications
	C = Conduit Mount
	NO = Normally Open Switch

Note: For Mini-Click in Sensor Guard enclosure specify SG MC  
 To add Bypass Switch Box to any non-Hunter controller installation, specify BPSW with sensor. Bypass switch function is standard in Hunter SRC Pro C and ICC controllers

SGM = Optional Gutter Mount

[Mini-Click Intro](#) | [Features and Benefits](#) | [Specifications](#) | [Installation Instructions](#)

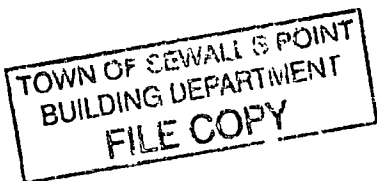
#### PDF Downloads

[Mini-Click Brochure](#) | [Mini-Click Instruction Sheet](#) | [Sensors Product Information Guide](#)

#### Related Links

[Wind? Rain? Freeze? Now You Can Weather the Storm With Hunter's Line-up of Sensors](#)

Site Search



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

2-17 2009

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8995	<del>75 N Sewalls</del> 75 N Sewalls Florida Electric	<del>Final</del> Final	<del>Pass</del> Pass	<del>Close</del> Close INSPECTOR <i>[Signature]</i>
9096	Shingary 167 S Sewalls A-1 Power	dry-in metal	PASS PENDING	NEED NAILING AFF ADJUSTED INSPECTOR <i>[Signature]</i>
9000	CDZ 4 River Oak SDH	tie beam	PASS-PM FAIL	SPOORING ALL NOT PER PLAN INSPECTOR <i>[Signature]</i>
9089	GREIFER 104 H. Sewall Way Dennis BREARD	ROUGH HOOD	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR

**9004**

**STREET LIGHTING**



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**

One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT CARD**

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	9004	DATE ISSUED:	SEPTEMBER 17, 2008
SCOPE OF WORK	STREET LIGHTING		
CONDITIONS			
CONTRACTOR:	SDH, LLC		
PARCEL CONTROL NUMBER	35374100000002509 & 2607	SUBDIVISION	GOVT LOT 2 & 3
CONSTRUCTION ADDRESS	75 N SEWALLSPOINT RD		
OWNER NAME	CD2		
QUALIFIER:	SCOTT HAYNES	CONTACT PHONE NUMBER:	260-3751

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

**REQUIRED INSPECTIONS**

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER.	9004		
ADDRESS	75 N SEWALLS POINT RD		
DATE	9/17/08	SCOPE	STREET LIGHTING

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350 00 SFR, \$175 00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space (@ \$110 25 per sq ft)		s f	
Total square feet non-conditioned space (@ \$51 60 per sq ft)		s f	
Total Construction Value		\$	
Building fee (2% of construction value SFR or >\$200K)		\$	
Building fee (1% of construction value < \$200K + \$75 per insp)			
Total number of inspections (Value < \$200K) @\$75 ea		\$	
Radon Fee (\$ 005 per sq ft under roof)		\$	
DBPR Licensing Fee (\$ 005 per sq ft under roof)		\$	
Road impact assessment ( 04% of construction value - \$5 00 min )			
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	

ACCESSORY PERMIT	Declared Value	\$	
			5500
Total number of inspections @ \$75 00 each	2	\$	150
Road impact assessment ( 04% of construction value - \$5 00 min )		\$	5
<b>TOTAL ACCESSORY PERMIT FEE.</b>		\$	155 <i>P. Cash</i>



Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number:

DATE: 8-15-08
OWNER/TITLEHOLDER NAME CD2, LLC Phone (Day) 742-6434 (Fax) 772-287-1558

Job Site Address 75 N. Sewalls Pt Road City Sewalls Pt State FL Zip 34996

Legal Desc Property (Subd/Lot/Block) Parcel Number

Owner Address (if different) 150 Wireless Blvd City Houppauge State NY Zip 11787

Scope of work Street Lighting

WILL OWNER BE THE CONTRACTOR?

If yes Owner Builder questionnaire must accompany application
YES NO X

Has a Zoning Variance ever been granted on this property?
Yes (Year) No X
(Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES (Required on ALL permit applications)

Estimated Value of Improvements \$ 5,500. -
Notice of Commencement required when over \$2500 - prior to first inspection
Is subject property located in flood hazard area? V A9 A8 X
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY
Estimated Fair Market Value prior to improvement
(Fair Market Value of the Primary Structure only Minus the land value)
\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION\*\*

CONTRACTOR/Company SDH, LLC Phone 772 260-3751 Fax 508-629-8118

Street 3499 SW Thistewood Ln City Palm City State FL Zip 34990

State Registration Number CGC1508714 State Certification Number Municipal License Number

PROJECT SUPERINTENDANT CONTACT NUMBER

ARCHITECT Lic # Phone Number

Street City State Zip

ENGINEER Rudd Jones, PE & Assoc Lic# 8303 Phone Number 772-461-6997

Street 1905 South 25th St Suite 200 City Ft Pierce State FL Zip 34947

AREA SQ FOOTAGE Living Garage Covered Patios Screened Porch

Carport Total Under Roof Wood Decks/walkways Accessory Building

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2004 (W/2006 Rev)
National Electrical Code 2005 Florida Energy Code 2004 Florida Accessibility Code 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS.

- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT
2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95
4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AUTHORIZED AGENT SIGNATURE (required) Scott Haynes CONTRACTOR SIGNATURE (required)

State of Florida County of Martin On State of Florida, County of Martin

This the 15th day of Aug 2008 This the 15th day of Aug 2008

by STEPHEN COOY who is personally SCOTT HAYNES who is personally

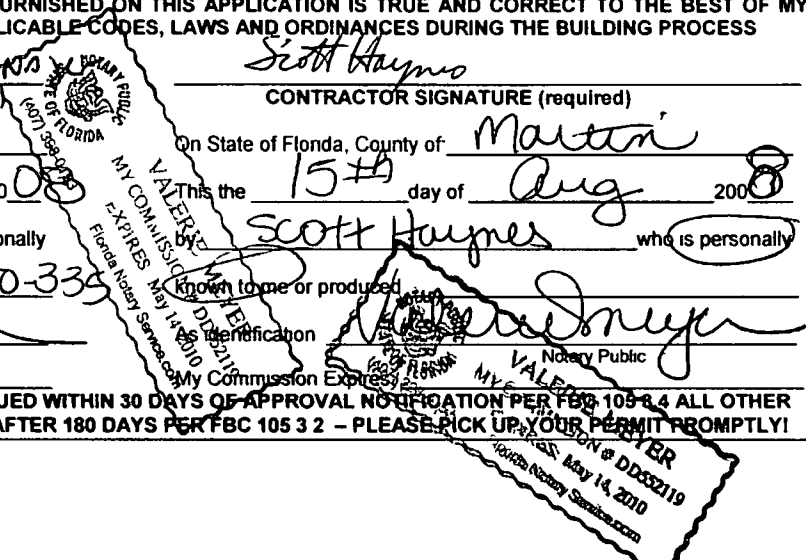
known to me or produced NY DL# 733-250-335 known to me or produced

as identification Valerie Meyer Notary Public

My Commission Expires My Commission Expires

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105 4 4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105 3 2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!

Handwritten initials 'ak'





**Martin County, Florida**  
**Laurel Kelly, C.F.A**

Site Provided by  
 governmax.com T1 14

**Summary**

print Owner 1 of 3

**Parcel Info**

**Summary**

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Parcel ID	Unit Address	Serial ID	Index Order	Commercial	Residential
35-37-41-000-000-00250-9	75 N SEWALL'S POINT RD	9395	Owner	0	0

**Summary**

**Property Location** 75 N SEWALL'S POINT RD  
**Tax District** 2200 Sewall's Point  
**Account #** 9395  
**Land Use** 100 0000 Vacant Residential  
**Neighborhood** 193195  
**Acres** 2 257

**Legal Description**

**Property Information**  
 S 124' PERP OF GOV LOT 2 W OF SEWALL'S PT RD (LESS ELY 2' R/W PER OR 1100/1774)

**Search By**

- Parcel ID
- Owner**
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

**Owner Information**  
**Owner Information**  
 CD2 LLC

**Mail Information**  
 150 WIRELESS BLVD  
 HAUPPAUGE NY 11788

**Assessment Info**  
**Front Ft** 1 00

**Market Land Value** \$1,897,200  
**Market Impr Value** \$0  
**Market Total Value** \$1,897,200

**Site Functions**

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

**Recent Sale**  
**Sale Amount** \$0

**Sale Date** 8/11/2005  
**Book/Page** 2047 2613

[Print](#) | [Back to List](#) | << First < Previous [Next](#) > Last >>

Legal disclaimer / Privacy Statement

Data updated on 08/29/2008



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500 00

PERMIT # SP-081408 TAX FOLIO # 353741-000-000-002607

STATE OF FLORIDA COUNTY OF MARTIN 2509

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713 FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE) 75 N Sewall's Pt Rd, Sewall Pt, Florida N200.7 PERP of Gov Lot 3 W of Sewall Pt Rd AND S 124' PERP of Gov Lot 2 W of Sewall Pt Rd

GENERAL DESCRIPTION OF IMPROVEMENT STREET LIGHTS

OWNER NAME CDZ, LLC ADDRESS 150 Wireless Blvd, Houma, LA 70708 PHONE NUMBER 631-742-6434 FAX NUMBER 631-434-8691

INTEREST IN PROPERTY SAME AS ABOVE NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)

CONTRACTOR SDH, LLC ADDRESS 3499 SW Thistlewood Ln, Palm City, FL 34990 PHONE NUMBER 772-260-2751 FAX NUMBER 508-629-8118

SURETY COMPANY (IF ANY) NA ADDRESS \_\_\_\_\_ PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_ BOND AMOUNT \_\_\_\_\_

LENDER/MORTGAGE COMPANY Lydian Bank and Trust ADDRESS 180 Royal Palm Way, Palm Beach, FL 33480 PHONE NUMBER 561-514-4900 FAX NUMBER 561-514-4913

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13 (1) (a) 7 FLORIDA STATUTES

NAME Stephen Cody ADDRESS 35 N River Road, Sewall Pt, Florida 34996 PHONE NUMBER 772-287-1557 FAX NUMBER 772-287-1558

IN ADDITION TO HIMSELF OR HERSELF OWNER DESIGNATES Stephen Cody OF CDZ, LLC TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B), FLORIDA STATUTES PHONE NUMBER 772-287-1557 FAX NUMBER 772-287-1558

EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_ ( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I SECTION 713 13 FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER Stephen Cody, ASST MGR

SIGNATORY'S TITLE/OFFICE ASSISTANT MANAGER

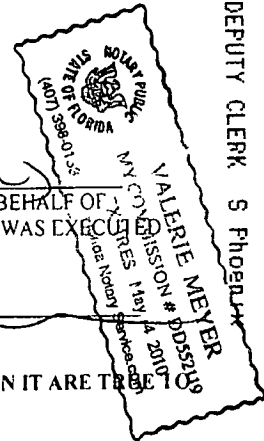
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15 DAY OF August, 2008

BY STEPHEN CODY AS agent FOR SDH Owner NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION

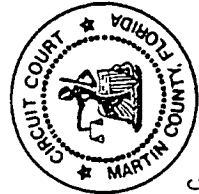
TYPE OF IDENTIFICATION PRODUCED NYDL

Valerie Meyer NOTARY SIGNATURE/SEAL



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92 525, FLORIDA STATUTES)

Stephen Cody, ASST MGR (Signature of Natural Person Signing Above)



STATE OF FLORIDA MARTIN COUNTY THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL MARSHA EWING, CLERK DATE 08-27-2008

INSTR # 2102799 OR PK 02347 PG 1594 RECD 08/27/2008 12:44:47 PM Pg 1594 (1pg) MARSHA EWING MARTIN COUNTY DEPUTY CLERK





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED

OWNERS NAME CDZ, LLC

CONSTRUCTION ADDRESS 75 N. Sewall's Pt. Road

PERMIT TYPE  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC
- \_\_\_\_\_ PLUMBING
- \_\_\_\_\_ HVAC
- \_\_\_\_\_ IRRIGATION
- \_\_\_\_\_ FUEL GAS

TYPE OF SERVICE  NEW SERVICE \_\_\_\_\_ EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK SERVICE AND INSTALLATION OF STREETLIGHTS

VALUE OF CONSTRUCTION \$ 2607.-

_____ LOW VOLTAGE
TYPE OF EQUIPMENT _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES

SIGNATURE OF LICENSED CONTRACTOR Michael Flanagan ADDRESS OF CONTRACTOR 2336 SE Ocean Blvd #114 Street #1 34996

COMPANY OR QUALIFIER'S NAME First Quality Electrical Service Inc

TELEPHONE NO 772 263 8088 FAX NO 772 225 8069

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER EC 13002096

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

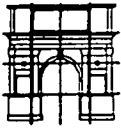
OWNER'S FULL NAME AS STATED ON DEED \_\_\_\_\_

PARCEL CONTROL # \_\_\_\_\_

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLK \_\_\_\_\_ PHASE \_\_\_\_\_

SITE ADDRESS \_\_\_\_\_

SEND OR FAX TO TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



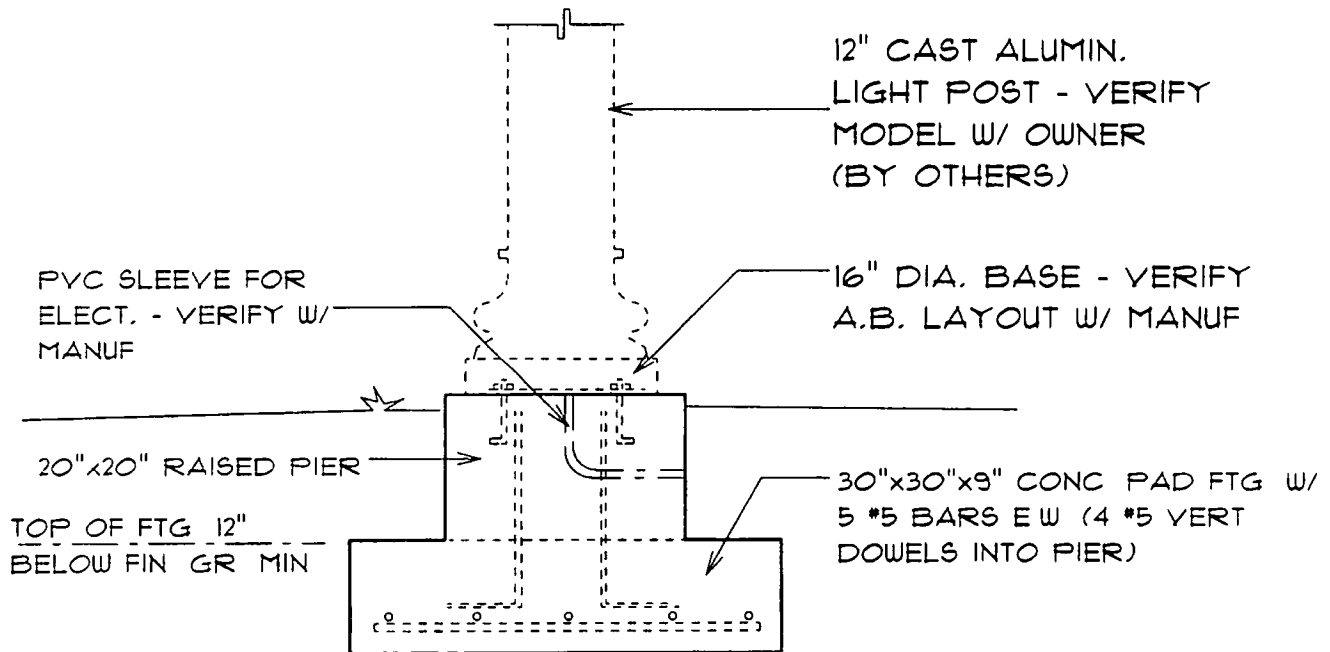
**M.A. CORSON & ASSOCIATES, INC**  
 ARCHITECTURE • STRUCTURAL DESIGN  
 844 E Ocean Blvd Suite C Stuart, FL 34994  
 (772) 223 8227 Fax 223 8234

9/8/08

*M.A.C.*

RIVER OAK  
PLACE  
 (CDZ, LLC)

**FILE COPY**  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 9.12.08  
 BUILDING OFFICIAL



LIGHT POST FTG. DETAIL 3/4" = 1'-0"

# MEL NORTHEY

- Home
- Lamps & Posts
- Signs
- Specials/Sales
- Mail Order Catalog
- Dark Sky Info
- About Mel Northey Co
- Globe Information
- Templates
- Partners
- Lighting Information

For product specifications, please click links under online catalog below

## Special Sales

- Online Catalog
- Lamps & Posts
- Mail Boxes
- Street and Stop Signs
- Sconces



### Diagrams

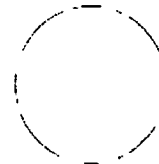


### Washington

Surface Mount  
Details with  
Access Door

ARCHITECTURAL  
EMBELLISHMENT  
FOR  
UPSCALE  
COMMUNITIES

Installation Requires  
1 - 1/2" x 3" L-Shape  
Bolts Included



### Product Specifications

[Click Here for a Printable Version](#)

## Residential grade classic turn of the century lamp posts and bases

<b>Brand</b>	Washington Series
<b>Stock Number</b>	4675 - 12' overall height
<b>Base Diameter</b>	16"
<b>Height</b>	12'
<b>Mount Style</b>	Surface
<b>Luminaire Dims</b>	14" Diameter x 24" Height
<b>Post Material</b>	Cast Aluminum
<b>Globe Material</b>	Standard Clear Lexan Polycarbonate
<b>Lighting</b>	Standard Incandescent
<b>Optional</b>	(HID) HPS - High pressure sodium (MV) Mercury Vapor, or (MH) Metal Halide

### Installation Instructions

Lights are to be installed onto a cement pad the depth of your local frost line. The base pad should be poured cylindrcaly with a width of not less than 2" larger than diameter of base. 1/2" x 12" to 18" L-Shape bolts are necessary for installation (not provided, may obtain at your local hardware store) secure four (4) of these bolts, according to the template provided. Electrical conduit containing the main electrical wire should protrude through the center of this cement pad. Connect the base of the light to the cement pad using nuts and connect the main electrical wire to the leads extending down from the socket assembly (standard) or the ballast/socket assembly (optional). Assembly is now complete.

### Additional Information

Mel Northey lights run on standard household current of 120v, unless otherwise specified.



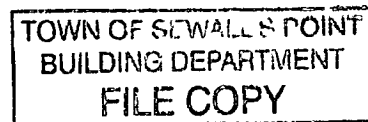
Mel Northey Co Inc 303 Gulf Bank Road Houston, Texas 77037-2499

281-445-3485 • 1-800-828-0302 • Fax 281-445-7456

Copyright © 2004 Mel Northey Company, Inc

Site Design By [Magic Box Solutions](#)

INSTALLATIONS  
INSTRUCTIONS



**MEL NORTHEY COMPANY  
303 GULF BANK RD  
HOUSTON, TEXAS 77037  
1-800-828-0302  
FAX 281-445-7456**

**TO: CD2, LLC  
150 Wireless Blvd  
Hauppauge, New York 11788**

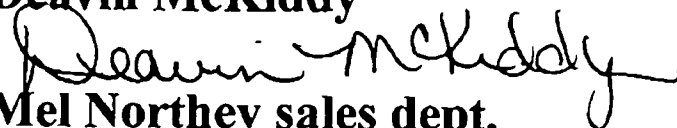
**Project: River Oak Place  
Attn: Stephen Cody, Assistant Manager**

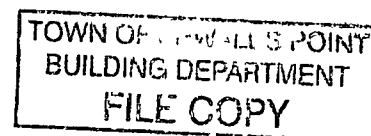
**Mel Northey company does not have wind load specifications for its light, due to the fact that each state and/or county has their own specifications.**

**We have sold lights for almost 30 years all over the USA. Specifically in Florida, the lights we have sold have made it through hurricanes with the exception of needing to replace fixture heads.**

**Please call if we can assist further.**

**Deavin McKiddy**

  
**Mel Northey sales dept.**







**CD2, LLC**  
150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
scody@CD2-LLC.com

September 11, 2008

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

Attn John R Adams, Building Official and Director of Public Works

Re Request for Permit to construct Common Area Street Lights  
River Oak Place  
Sewall's Point, Fl

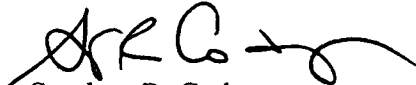
Dear Mr Adams

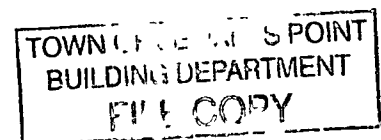
As per our conversation, please find the following additional information you requested regarding our application for Street Lights at River Oak Place

- 1 Verification of Contractor Form completed by Michael Flanagan of First Quality Electrical Service, Inc
- 2 Electrical specification prepared by First Quality Electrical Service
- 3 Installation instructions for street lights from manufacturer
- 4 Statement of Experience from street light manufacturer
- 5 Street light post footing detail prepared by MA Corson, 2 copies signed and sealed

If this information meets with your approval, we would like to order the street lights as there is a lead time of 8 weeks to get the lights delivered to the project If you need any additional information please contact me at (631) 742-6434 Otherwise please contact me when the permit is ready so that I may come into your office to pick it up Thank you

Very truly yours,

  
Stephen R Cody  
Director of Operations



# First Quality Electrical Service, Inc.

2336 SE Ocean Blvd #114  
Stuart, Florida 34996  
772-263-8088

September 11, 2008

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

Attn John R Adams, Building Official and Director of Public Works

Re Request for Permit to construct Common Area Street Lights  
River Oak Place  
Sewall's Point, Fl

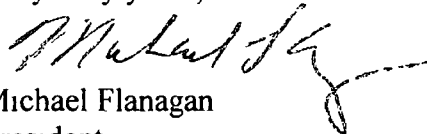
Dear Mr Adams

As per your request the following specifications will be incorporated into the construction of the street light system at River Oak Place

- 1 Service Size 150 Amp, single phase
- 2 Lighting Branch Circuit 240 volt 20 amp
- 3 Wire Size 2-#2 THHN CU and 1-#6 THHN CU ground in 1 1/4" pvc conduit
- 4 Street light bases as per MA Corson design see (attached)
- 5 Electrical Wiring Detail

I hope this satisfies your requirement, if you need additional information please contact me at (772) 263-8088

Very truly yours,



Michael Flanagan  
President

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

# CD2, LLC

150 Wireless Blvd  
Hauppauge, New York 11788  
(631) 742-6434 \* (772) 287-1558 (fax)  
[scody@CD2-LLC.com](mailto:scody@CD2-LLC.com)

Town of Sewall's Point  
1 S Sewall's Point Road  
Sewall's Point, Florida 34996

August 14, 2008

Attn. John R. Adams, Building Official and Director of Public Works

Re Request for Permit to construct Common Area Street Lights  
River Oak Place  
Sewall's Point, Fl


Dear Mr Adams

We are requesting a building permit to install the street lighting at the River Oak Place community, located at 75 N Sewall's Point Road To that end, I have enclosed the following for your review

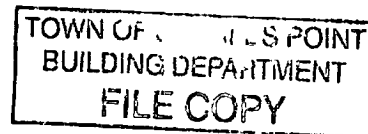
- 1 Completed Building Permit Application
2. Completed Notice of Commencement Form
- 3 Two original signed and sealed Street Lighting plans prepared by Rudd Jones, PE and Associates
- 4 Two copies of product sheets from vendors where we will purchase the street lights from

If the plans meet with your approval, we would like to order the lights as there is a lead time of 8 weeks to get the lights delivered to the project If you need any additional information please contact me at (631) 742-6434 Otherwise please contact me when the permit is ready so that I may come into your office to pick it up Thank you

Very truly yours,



Stephen R. Cody  
Director of Operations



# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 9-17, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
Tree	Nunnelee 32 W High Pt	Tree	PASS	INSPECTOR <i>[Signature]</i>
CE.	51. N.S.P.R.	NEEDS, DISLOXED ROOF & WALLS		THERE ARE NO ORDINANCE VIOLATIONS INSPECTOR <i>[Signature]</i>
CE.	LANBLEY. 12 PERR/WINKLE CR. SCREEN ROOM.	<del>NEEDS</del> , DILAPIDATED		SENT N.O.U INSPECTOR <i>[Signature]</i>
<del>9084</del> 2PM	<del>CDA</del> 15 N Sewalls SDH	<del>Tools</del> <del>NOISE</del>	<del>PASS</del>	INSPECTOR <i>[Signature]</i>
8997	Gilbert 170 S River Rd Robert Const	Prefab footer	PASS	INSPECTOR <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR

OTHER: \_\_\_\_\_

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection.  Mon  Wed  Fri 12-24, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
9065	Botwinick 27 Emarita Cardinal Roof	Final	PASS	CLOSE  INSPECTOR <i>[Signature]</i>
9027	Comcast River Oak Pl + NSPR Allcomm	Final	PASS	CLOSE  INSPECTOR <i>[Signature]</i>
9076	CO2 75 N Sewall St First Quality Elec.	Final LIFT STATION	PASS	FPL - CLOSE  INSPECTOR <i>[Signature]</i>
<del>9004</del>	<del>CO2</del>	<del>Final</del>	<del>PASS</del>	<del>INSPECTOR</del>
John	75 N Sewalls SDH / First Qual.	<del>STILL UNDERWAY</del> BEHIND EVERY WALL	PASS	INSPECTOR <i>[Signature]</i>
CE	Spiervack 30 W High Pt	water pipe on back neighbor		CONFERRED W/HO. HE WILL CONTACT UTILE CORP.  INSPECTOR <i>[Signature]</i>
8535	Stark 87 S River Rd Enil LaViola	FINAL 10:00 COURTESY.	OK.	INSPECTOR <i>[Signature]</i>
				INSPECTOR
OTHER. _____				

**9076**

**SEWER PUMP  
SERVICE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	9076	DATE ISSUED	DECEMBER 23, 2008
SCOPE OF WORK	ELECTRIC SERVICE FOR SEWER PUMP		
CONDITIONS			
CONTRACTOR	FIRST QUALITY ELECTRIC		
PARCEL CONTROL NUMBER.		SUBDIVISION	RIVER OAK
CONSTRUCTION ADDRESS	75 N SEWALLS PT RD		
OWNER NAME	CD2		
QUALIFIER	MICHAEL FLANAGAN	CONTACT PHONE NUMBER	263-8088

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**

RECEIVED  
DATE: 12-19-08  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: \_\_\_\_\_ BUILDING PERMIT APPLICATION Permit Number: \_\_\_\_\_

OWNER/TITLEHOLDER NAME: CDZ, LLC Phone (Day) 631 742-6434 (Fax) 772 287-1558

Job Site Address: 75 N. Sewall Pt Road City: Sewall Pt State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Owner Address (if different): 150 Wireless Blvd City: Houma State: LA Zip: 70701

Scope of work: Service for Sewer Pump Control

**WILL OWNER BE THE CONTRACTOR?**  
If yes, Owner Builder questionnaire must accompany application  
YES \_\_\_\_\_ NO X

Has a Zoning Variance ever been granted on this property?  
Yes \_\_\_\_\_ (Year) \_\_\_\_\_ No X  
(Must include a copy of all variance approvals with application)

**CONSTRUCTION VALUES:** (Required on ALL permit applications)  
Estimated Value of Improvements: \$ 22,000  
Notice of Commencement required when over \$2500 - prior to first inspection  
Is subject property located in flood hazard area? V AS AB X  
**FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:**  
Estimated Fair Market Value prior to improvement: \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
\*\*\* PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION \*\*\*

JK

CONTRACTOR/Company: FIRST QUALITY ELECTRIC Phone: 772 260-3751 Fax: 508 629-8118

Street: 3499 SW Third Highway City: Palm Bay State: FL Zip: 32909

State Registration Number: CG1508714 State Certification Number: \_\_\_\_\_ Municipal License Number: \_\_\_\_\_

PROJECT SUPERINTENDANT: \_\_\_\_\_ CONTACT NUMBER: \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic.# \_\_\_\_\_ Phone Number: \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER Rudd Jones, PE & Assoc. Lic.# 8303 Phone Number: 772-461-6997

Street 1905 South 25th St. Suite 200 City: Pt Pierce State: FL Zip: 34947

AREA SQ. FOOTAGE: Living: \_\_\_\_\_ Garage: \_\_\_\_\_ Covered Patios: \_\_\_\_\_ Screened Porch: \_\_\_\_\_

Carport: \_\_\_\_\_ Total Under Roof: \_\_\_\_\_ Wood Decks/walkways: \_\_\_\_\_ Accessory Building: \_\_\_\_\_

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (WB2003 Rev.)  
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCLUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 80-95.  
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105A.1, 105A.1.1 - .5.  
\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required)  
Stephen Cook

CONTRACTOR SIGNATURE (required)  
Michael J. Haines

State of Florida, County of: Martin

On State of Florida, County of: Martin

This the 19th day of December 2008

This the 19th day of December 2008

by Stephen Cook who is personally known to me or produced

by Michael J. Haines who is personally known to me or produced

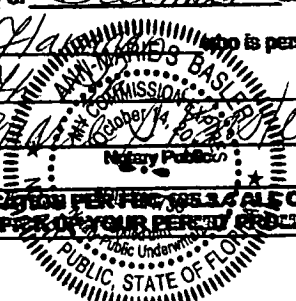
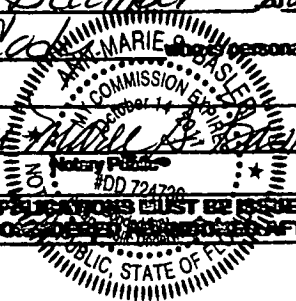
as identification. Ann Marie Basile

as identification. Ann Marie Basile

My Commission Expires: \_\_\_\_\_  
#DD 724700

My Commission Expires: \_\_\_\_\_

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.6. ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105.3.2 - PLEASE FOR YOUR PERMIT RECEIPTLY!







## Martin County Building Department

900 SE Ruhnke Street  
Stuart, FL 34994  
(772) 288-5482  
Fax (772) 288-5911

FLANAGAN, MICHAEL J  
FIRST QUALITY ELECTRICAL SERVICE INC  
2336 SE OCEAN BLVD #114  
STUART, FL 34996

### NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

#### PROHIBITED ACTIVITIES:

43 42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised

43 42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department



**MARTIN COUNTY, FLORIDA**  
**Contractor's Licensing**  
**Certificate of Competency**

***ELECTRICAL CERTIFIED***

License # CEC13002096 Expires 08/31/2010

FLANAGAN, MICHAEL J  
FIRST QUALITY ELECTRICAL SERVICE INC  
2336 SE OCEAN BLVD #114  
STUART, FL 34996



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER \_\_\_\_\_

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED

OWNERS NAME CDZ, LLC

CONSTRUCTION ADDRESS 75 N. Sewall's Pt Rd

PERMIT TYPE  RESIDENTIAL \_\_\_\_\_ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE  NEW SERVICE \_\_\_\_\_ EXISTING SERVICE \_\_\_\_\_ OTHER

SCOPE OF WORK Service for Sewer Pumps + Controller

VALUE OF CONSTRUCTION \$ 2,200 (Controller by others)

____ LOW VOLTAGE	
TYPE OF EQUIPMENT _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER	
SCOPE OF WORK _____	VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES

Michael Flanagan  
 SIGNATURE OF LICENSED CONTRACTOR

2336 SE Ocean Blvd #114 Street #1 34996  
 ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME First Quality Electrical Service Inc

TELEPHONE NO 772 263 8088 FAX NO 772 225 8069

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER EC 13002096

\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

OWNER'S FULL NAME AS STATED ON DEED \_\_\_\_\_

PARCEL CONTROL # \_\_\_\_\_

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLK \_\_\_\_\_ PHASE \_\_\_\_\_

SITE ADDRESS \_\_\_\_\_

SEND OR FAX TO TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



## MARTIN COUNTY RIGHT-OF-WAY USE PERMIT

CARD MUST BE ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION

Permit Number	ENRW - 20080203		
Permit Type	RIGHT OF WAY		
Date Issued	21-NOV-08	Expiration Date	27-JAN-09
Permit Name	NE SEWALL'S PT RD - ADVANCED UNDERGROUND		
Location	NE SEWALL'S PT RD BETWEEN NE RIVER CREST LN & NE QUAIL RUN LN - ADVANCED UNDERGROUND		

Description	NE SEWALL'S PT RD BETWEEN NE RIVER CREST LN & NE QUAIL RUN LN - ADVANCED UNDERGROUND - OUTFALL & PAVEMENT REPAIRS INTERMITTENT LANE CLOSURES PERMITTED BETWEEN 9 00 AM AND 3 30 PM WEEKDAYS ONLY PROPOSED START DATE 01/07/09 PROPOSED END DATE 01/27/09 PER SIGNED & SEALED PLANS BY PATRICK LACONTE DATED 11/13/08 PERMITTEE AGREES THAT 7 DAY PRIOR NOTIFICATION OF INTERMITTENT LANE CLOSURE MUST BE POSTED
-------------	---

Applicant Name	ADVANCED UNDERGROUND INC		
Representative	MATTHEW JACKSON		
Address	3552 SE DIXIE HWY	Phone	
City, State, Zip	STUART, FL 34997		772-220-1901

Contact Name	ADVANCED UNDERGROUND INC		
Representative	MATTHEW JACKSON		
Address	3552 SE DIXIE HWY	Phone	
City, State, Zip	STUART, FL 34997		772-220-1901

**The Martin County Engineering Department must be notified 48 hours prior to the start of construction Permit expiration date is 30 days from proposed end date.**

This permit is issued for work within the right of way The permittee shall bear the responsibility for any work performed outside the right of way or on private property This permit does not relieve the permittee from obtaining any other applicable permits relative to environmental issues

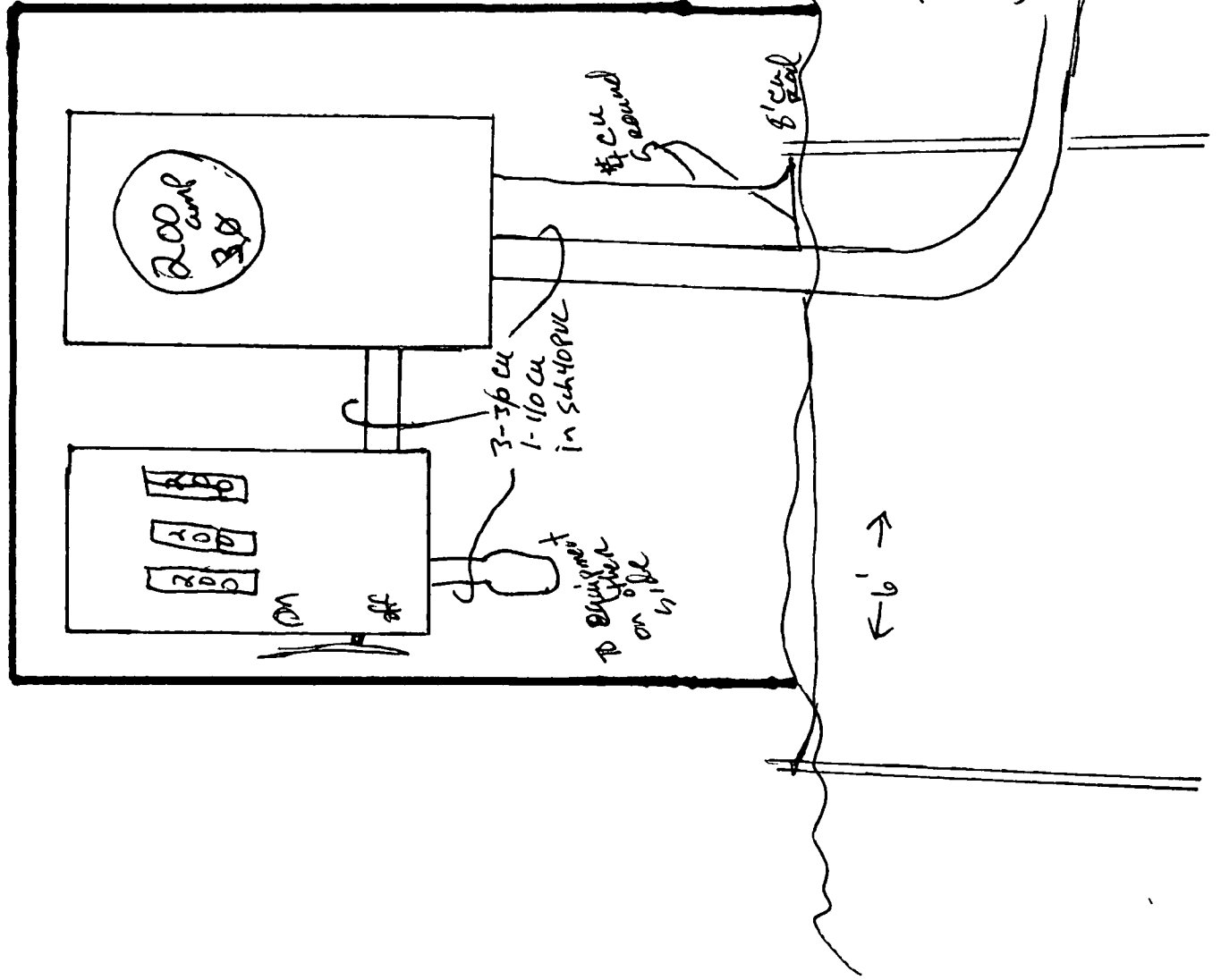
In consideration of the granting of this permit, it is agreed that in all aspects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department The permit holder declares that prior to beginning work the location of all existing utilities both aerial and underground have been ascertained The permit holder agrees to defend, indemnify and hold harmless, Martin County, and its officials, officers agents, employees and representatives, past, present and future, from and against any and all liabilities, losses, suits, claims, judgements, fines or demands arising by reason of injury or death of any person or damage to any property, including all reasonable costs for investigation and legal defense thereof (including, but not limited to attorney fees, court costs and expert witness fees), of any nature whatsoever arising out of or incident to the requested activities enumerated in this application or in any subsequently issued permit thereto, and/or the use or occupancy of County right-of-way, easements or other property or the acts or omissions of the Applicant, its officers, agents, employees, contractors, subcontractors, licensees or invitees regardless of where the injury, death or damage may occur, unless such injury, death or damage is caused by the sole negligence of Martin County Provided however, that nothing herein shall be construed to be a waiver of the County's sovereign immunity provided by the Florida Constitution or Section 768 28 Fla Stat

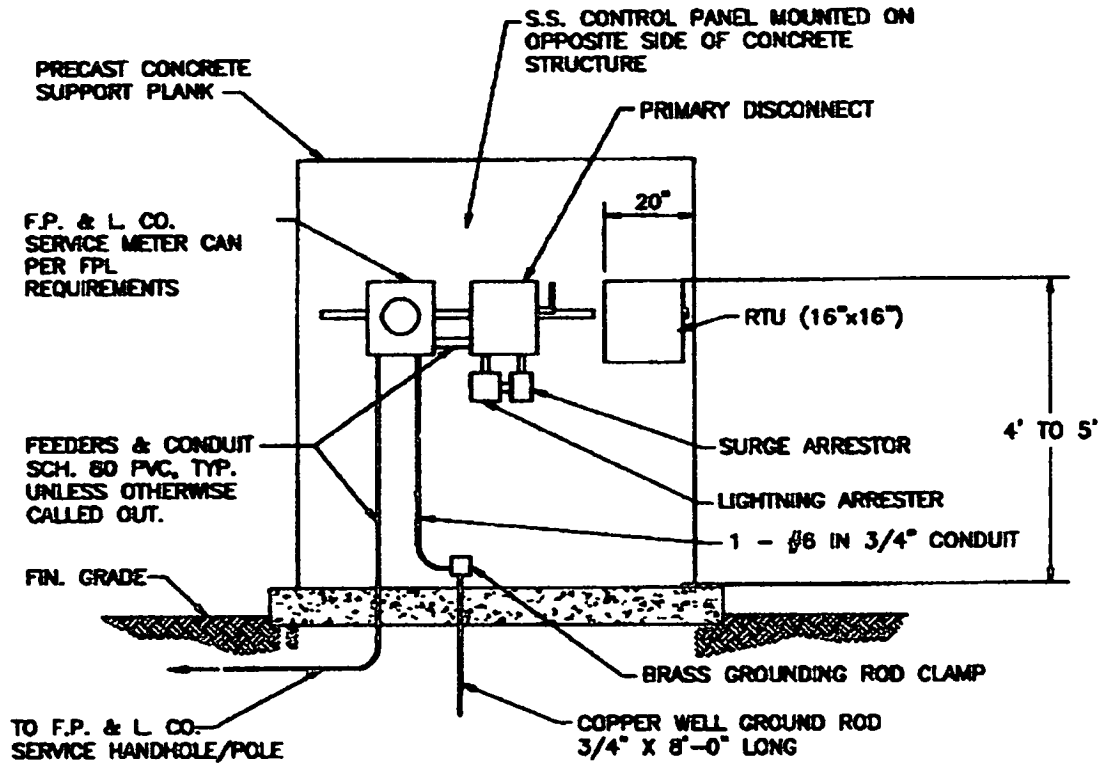
**Upon completion of work, the Roadway right-of-way in its entirety shall be restored to as good or better conditions as existed before work began**

When construction is complete, contact the Martin County Engineering Department to schedule a final inspection All security will be held for a minimum of six (6) months after county acceptance of the work performed

200 amp meter  
 200 amp fused disconnect  
 Pump controller  
 by others

FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 12-22-08  
 \_\_\_\_\_  
**BUILDING OFFICIAL**





NOTES.

1. NO PENETRATION THROUGH PANEL TOPS.
2. TWENTY INCHES ON RIGHT SIDE OF SUPPORT PLANK (MEASURED FROM INSIDE EDGE OF RIGHT BEVEL) IS RESERVED FOR RTU AND ACCESSORIES.

BACK VIEW OF L.S. CONTROL PANEL

TOWN OF SEWALL'S POINT  
BUILDING DEPARTMENT  
FILE COPY

**MARTIN COUNTY CONSTRUCTION STANDARDS & DETAILS**

REVISION  
JULY, 2007

LIFT STATION DETAILS (CONTROL CENTER)

PAGE No.  
50B

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 12-24, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
9065	Boturnick 27 Emavita Cardinal Roof	Final	PASS	CLOSE INSPECTOR <i>[Signature]</i>
9027	Comcast River Oak Pl + NSPR Allecomm	Final	PASS	CLOSE INSPECTOR <i>[Signature]</i>
<del>9076</del>	<del>CD2</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
John	75 N Sewall St First Quality Elec.	LIGHT STATION	PASS	CLOSE INSPECTOR <i>[Signature]</i>
9004	CD2 75 N Sewalls SDH/First Qual.	Final STREET LIGHT	PASS	CLOSE INSPECTOR <i>[Signature]</i>
CE	Spiervack 30 W High Pt	water pipe on back neighbor		CONFERRED WITH HO, HE WILL CONTACT UTLCO. INSPECTOR <i>[Signature]</i>
8535	Stark 87 S River Rd Enil LaViola	FINAL 10:00 COURTESY.	OK.	INSPECTOR <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR

OTHER.

**9805**

**LIFT STATION**

**FENCE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER.	9085	DATE ISSUED	JANUARY 14, 2009
SCOPE OF WORK	FENCE AROUND LIFI STATION		
CONDITIONS			
CONTRACTOR	STUART FENCE		
PARCEL CONTROL NUMBER	353741000-000-002607	SUBDIVISION	GOVT LOT 3
CONSTRUCTION ADDRESS	75 N SEWALLS POINT RD		
OWNER NAME.	CD2		
QUALIFIER	CHESTER RICHMOND	CONTACT PHONE NUMBER	288-1151

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NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**



RECEIVED

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number

Date DATE: 1-9-09 TOWN OF SEWALL'S POINT

OWNER/TITLEHOLDER NAME ED 2 LLC

Phone (Day) 631-742-6434 (Fax)

Job Site Address 75 N. Sewall's Pt Rd

City STUART State FL Zip 34996

Legal Description N 200.7' REAR of GRV Lot 3 W of Sewall's Pt Rd

Parcel Control Number 35-37-41-000-000-00260-7

Owner Address (if different) 150 Wireless Blvd

City Haverhauge State NY Zip 11788

Scope of work (please be specific) INSTALL FENCE

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications) Estimated Value of Improvements \$ 4750.00 (Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY Estimated Fair Market Value prior to improvement \$ (Fair Market Value of the Primary Structure only Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company STUART FENCE CO Phone 288 1151 Fax 288 3035 Street PO BOX 2636 City STUART State FL Zip 34995

State License Number OR Municipality License Number CFE 3584

LOCAL CONTACT JAN Phone Number 288 1151

DESIGN PROFESSIONAL Lic# Phone Number Street City State Zip

AREAS SQUARE FOOTAGE Living Garage Covered Patios/ Porches Enclosed Storage Carport Total under Roof Elevated Deck Enclosed area below BFE\* \* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2004 W/ 2006 REV National Electrical Code 2005 Florida Energy Code 2004/6 Florida Accessibility Code 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS: 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT 2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES 3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95 4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER SIGNATURE (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) State of Florida, County of Martin This the 9 day of Jan 2009 by Steven Cody who is personally known to me or produced by DL 733 250 335 as identification

CONTRACTOR SIGNATURE (required) On State of Florida, County of Martin This the 9 day of Jan 2009 by Chester Richmond who is personally known to me or produced

Notary Public KATHRYN PERENY As identification MY COMMISSION #DD518590 EXPIRES FEB 14, 2010 Bonded through 1st State Insurance

Notary Public KATHRYN PERENY As identification MY COMMISSION #DD518590 EXPIRES FEB 14, 2010 Bonded through 1st State Insurance

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

PERMIT #: \_\_\_\_\_ TAX FOLIO #: 35-37-41-000-000-00260-7

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 75 N Sewalls Pt Rd N. 200.7' perp. of Gov Lot 3 W of Sewalls Pt Rd

GENERAL DESCRIPTION OF IMPROVEMENT: install fence

OWNER NAME: CD2 LLC  
ADDRESS: 150 WIRELESS Blvd, HAVANA, NY 11788  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

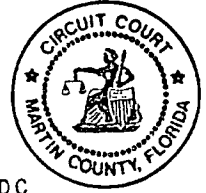
INTEREST IN PROPERTY: \_\_\_\_\_

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)  
\_\_\_\_\_

CONTRACTOR: STUART FENCE CO INC  
ADDRESS: PO Box 2656, STUART, FL 34995  
PHONE NUMBER: 888 1151 FAX NUMBER: \_\_\_\_\_  
STATE OF FLORIDA  
MARTIN COUNTY

SURETY COMPANY (IF ANY): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ THIS IS TO CERTIFY THAT THE  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ FOREGOING PAGES IS A TRUE  
BOND AMOUNT: \_\_\_\_\_ AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING, CLERK

LENDER/MORTGAGE COMPANY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ BY: [Signature] DC  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_ DATE: 1/9/09



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7, FLORIDA STATUTES:

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_  
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),  
FLORIDA STATUTES  
PHONE NUMBER: \_\_\_\_\_ FAX NUMBER: \_\_\_\_\_

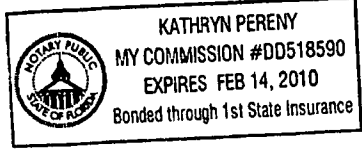
EXPIRATION DATE OF NOTICE OF COMMENCEMENT:  
(THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).  
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]  
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE \_\_\_\_\_  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9 DAY OF Jan, 2009

BY: Steven Cordy AS \_\_\_\_\_ TYPE OF AUTHORITY \_\_\_\_\_ FOR \_\_\_\_\_  
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED  
PERSONALLY KNOWN \_\_\_\_\_ OR PRODUCED IDENTIFICATION

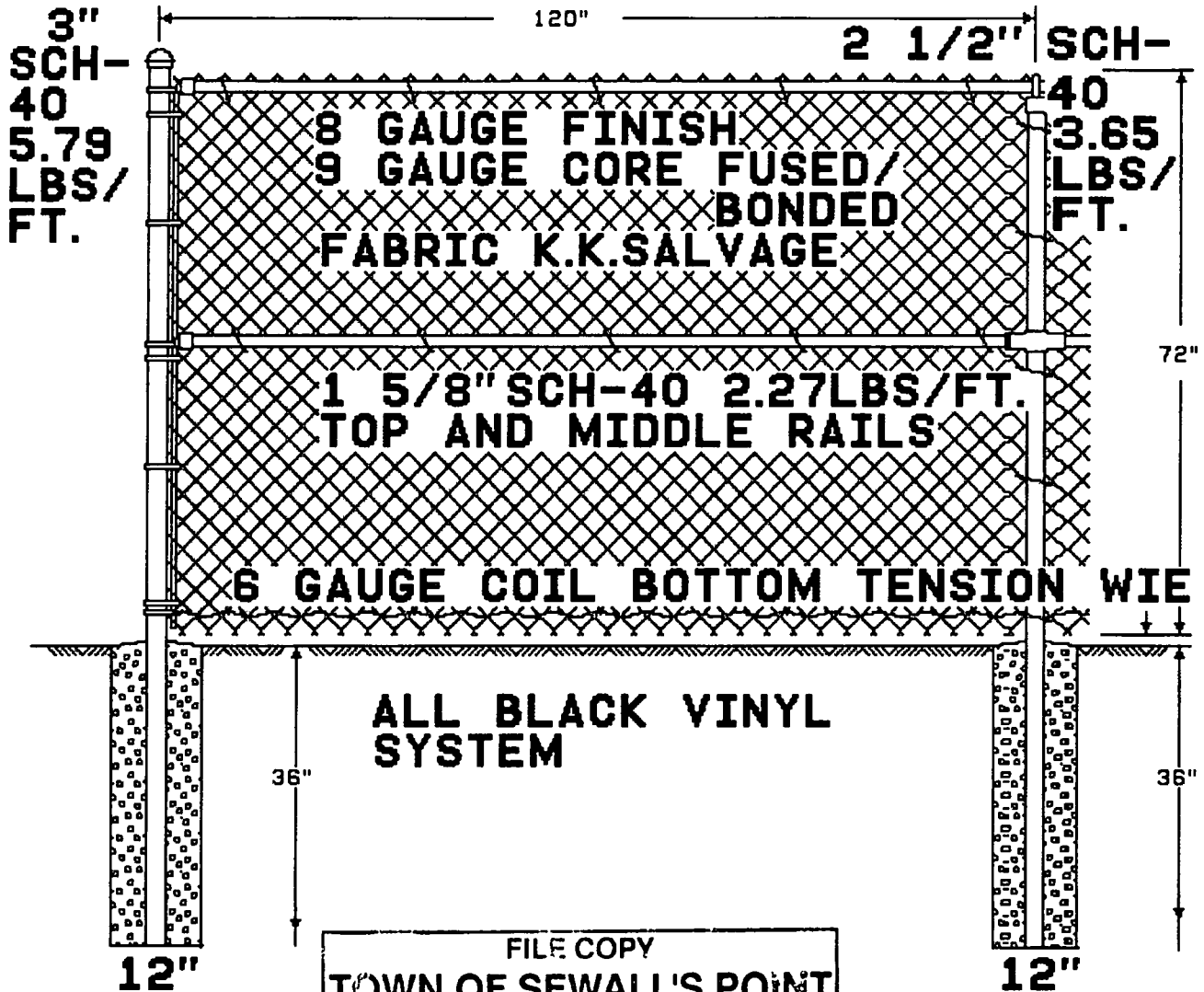
TYPE OF IDENTIFICATION PRODUCED NY DL 733 250 335  
[Signature]  
NOTARY SIGNATURE



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]  
(Signature of Natural Person Signing Above)

INSTR # 2124409 OR BK 02368 PG 0158 RECD 01/09/2009 11:03:31 AM  
Pg 0158; (1ps)  
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter



FILE COPY  
**TOWN OF SEWALL'S POINT**  
 THESE PLANS HAVE BEEN  
 REVIEWED FOR CODE COMPLIANCE  
 DATE 1-13-09  
 \_\_\_\_\_  
**BUILDING OFFICIAL**

**STUART FENCE COMPANY, INC.**

Stuart Fence Co  
 3307 S E Railroad Avenue  
 Stuart, FL 34997  
 772-288-1151

CD2, LLC RIVER OAK RIDGE 6' HIGH ALL BLACK VINYL CHAIN LINK	DRAWN BY 12/05/08	SCALE	PAGE
	REVISED 12/05/08	FILE	1 of 1



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection:  Mon  Tue  Wed  Thur  Fri 1-21 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4082	Phanuef	Final	PASS	CLOSE
2	12 Mandalay Heaton Roofing			INSPECTOR <i>[Signature]</i>
<del>9085</del>	<del>CD</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
<i>John</i>	75 N Sewalls Stuart Fence		<del>PASS</del>	INSPECTOR <i>[Signature]</i>
8800	Tooman	Electric		
1	37 W High Pt Louden Roof	LIGHT NICHES	PASS	INSPECTOR <i>[Signature]</i>
9024	Doyle	Final	PASS	CLOSE
4	42 S Sewalls Harbor Bay Marine			INSPECTOR <i>[Signature]</i>
9000	EDZ LLC			
5	4 RIVER OAK PL EDZ S. RAYNES	V.G. PLUMB	PASS	INSPECTOR <i>[Signature]</i>
8535	Stark	Final	PASS	ready for C.O.
3	87 S River Rd Emil LaViola			INSPECTOR <i>[Signature]</i>
9064	Masterpiece	stem wall		
	1 Marguerita Dr Masterpiece			INSPECTOR