

82 North Sewall's Point Road

3521

SFR

Patrick
Exterminating Inc.
P O BOX 1784
HOBE SOUND FL 33475
407-546-3722

TOWN OF SEWALL

BUILDING PERMIT

PARCEL CONTROL NUMBER _____

PERMIT NUMBER 3521

DATE ISSUED 12/28/93

OWNER Mr Robert J Naegele
ADDRESS _____

CONTRACTOR OR

OWNER/BLDR Sea Coast Const

CITY/ST/ZIP _____

ADDRESS 124 E 6th Street

TELEPHONE _____

CITY/ST/ZIP Stuart Fla

TELEPHONE 283-6642

FLOOD ZONE V-13

TO BE CONSTRUCTED NEW house

SITE ADDRESS 82 NSRA

SUBDIVISION Captain's Cove

CONSTRUCTION VALUE 258,655

FEES

REMODELING/NEW CONSTRUCTION NEW

PLUMBING 100.00

IMPACT 1508.20

ELECTRICAL 100.00

RADON 30.48

MECH/A/C 100.00

SEPTIC _____

ROOF 100.00

WELL _____

WALL _____

FENCE _____

POOL ENCLOSURE _____

POOL _____

OWNER/BUILDER _____

DOCK _____

TOTAL 4631.08

PAID BY CHECK _____

BUILDING INSPECTION

(FOR OFFICIAL USE ONLY)

(SIGN OFF)

FORM BOARD SURVEY _____ DATE _____

NAILING OK 4/22/94 DB DATE _____

ROUGH PLUMBING OK DATE 6/24/94 DB

ROOF Wash Streets on 6/11/94 DB DATE _____

TERMITE PROTECTION _____ DATE _____

INSULATION OK DATE 6/24/94 DB

FOOTING SLAB OK DATE 2/18/94 DB

FINAL ELECTRIC _____ DATE _____

LINTEL OK DATE 3/20/94 DB

FINAL PLUMBING _____ DATE _____

ROUGH ELECTRIC OK DATE 6/24/94 DB

SEPTIC FINAL _____ DATE _____

FRAMING OK DATE 6/24/94 DB

DRIVEWAY _____ DATE _____

A/C DUCTS OK DATE 6/24/94 DB

FINAL C O _____ DATE _____

PERMIT AUTHORIZED BY Dale Brown

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections
- Requests for inspections require 24 hours notice
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments

PN - 3521

3521

Tax Folio No. _____

TOWN OF SEWALL'S POINT, FLORIDA
BUILDING PERMIT APPLICATION

Owner's Name ROBERT J. NAEGELE

Owner's Address 504 S.E. 28 AVE. POMPANO BEACH, FL. 33062

Owner's Telephone (305) 941-0625

Fee Simple Titleholder's Name (if other than owner) _____

Fee Simple Titleholder's Address (if other than owner) _____

City _____ State _____ Zip _____

Contractor's Name ~~OWNER~~ SEACOAST CONSTRUCTION, INC

Contractor's Address 124 E. 6TH ST., P.O. Box 2279, ~~STUART~~

City STUART State FL Zip 34995

Contractor's Telephone 283-6642 License Number C6C-018346

Job Name NAEGELE RES.

Job Address 82 N. SEWALL'S POINT RD.

City Town of Sewall's Point State Florida Zip 34996

Legal Description CAPTAIN'S COVE LOT 3 PLAT BOOK 4
PAGE 66

Bonding Company _____

Bonding Company Address _____

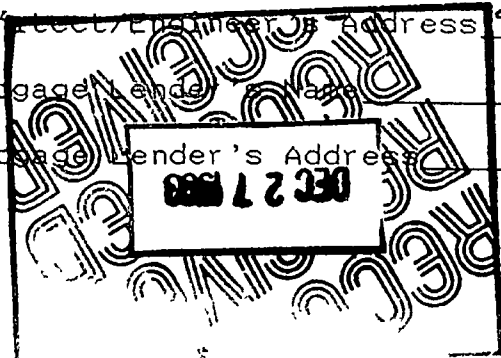
City _____ State _____

Architect/Engineer's Name B.C. ARCHITECTS, INC.

Architect/Engineer's Address 414 BALBOA AVE. STUART FL 34994

Mortgage Lender's Name _____

Mortgage Lender's Address _____



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS APPLICATION, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, MARTIN COUNTY, STATE AGENCIES, OR FEDERAL AGENCIES

Plumbing Contractor DAVE'S PLUMBING License No _____

Electrical Contractor AULT BROS ELECTRIC License No _____

Roofing Contractor STUART ROOFING License No. _____

A/C Contractor SUNCOAST A/C License No _____

Description of Building or Alterations _____

Name of Street Designated as Front Building Line and Front Yard

N. SEWALL'S POINT RD

Subdivision CAPTAIN'S COVE Lot 3 Block _____

Building Area (air conditioned) 3043. sq ft

Garage, Porch, Carport Area 3043 sq. ft.

Contract Price (excluding carpet, land, appliance, landscaping)

\$ 207,000

X ROBERT J. NAEGELE DATE DECEMBER 28, 1993
(Owner or Authorized Agent)

Sworn and Subscribed before me this
28th day of December 1993 (SEAL)

Louis J. Savini

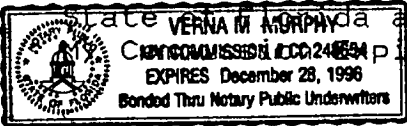
NOTARY PUBLIC
State of Florida at Large
My Commission Expires:
NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXPIRES JAN 21, 1994.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.

John C. [Signature]
(Contractor)

DATE 12-28-93

Sworn and Subscribed before me this
28th day of Dec 1993 (SEAL)

Verna M. Murphy
NOTARY PUBLIC



Certificate of Competency Holder

Contractor's State Certification or Registration No _____

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY Dale Brown Permit Officer

[Signature]

For Official Use Only

Plans approved as submitted _____ Date _____

Plans approved as marked ✓ Date 12/28/93

A/C Area 3048 sq. ft. x \$60. = \$ 182,580 ²⁰⁰

Non A/C Area 3048 sq. ft. x \$25 = \$ 76,075 ²⁰⁰

Total = \$ 258,655

~~259,020~~

Contract Price \$ 258,655 (fee will be charged on higher amount)

2,069²⁴

258,655 M. x \$8.00 = \$ ~~2,069~~ Building Fee
 25% Owner/Builder Fee \$ ~~517,200~~ (if applicable)
 A/C Fee \$ 100.00
 Electrical Fee \$ 100.00
 Plumbing Fee \$ 100.00
 Roofing Fee \$ 100.00
 Radon Fee \$ ~~100.00~~ 30,48
 County Impact Fee \$ 1,508.20
 TOTAL PERMIT FEE \$ ~~4,549.00~~ 4,011.32
 PAYMENT RECEIVED DeleB 4,007.92
 Signature Date 12/28/93

Contractor's License CGC - 018346
 Sub-Contractors' Licenses _____
 Workers' Comp. Insurance _____
 General Liability Insurance _____
 Three sets of Plans _____ ✓
 Plans sealed by architect or engineer _____ ✓
 ✓ Plot Plan _____ ✓
 ✓ Boundary survey _____ ✓
 Topographic survey certified to the Town of S.P. ✓
 Recorded warranty deed _____ ✓
 Septic tank permit _____ ✓
 Enc. by _____ ✓
 Elevation _____
 Recorded notice of commencement _____
 Application for c.o. _____ ✓

4,011³²

AFFIDAVIT OF TRUSTEE

The undersigned does hereby certify that he is the Trustee under an recorded Land Trust Agreement dated November 21, 1990, and does further certify as follows:

1. The Beneficiaries named in said Trust are still living; and
2. Said Trust is in full force and effect as of the date of this Certificate and has not been amended or modified.

DATED this day of December, 1991.

Dale Howard Cooper

 DALE HOWARD COOPER
 Trustee

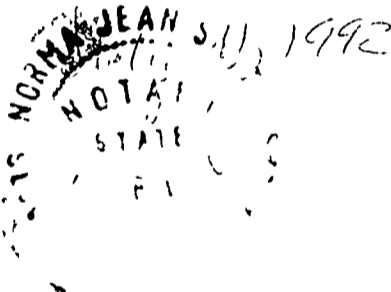
STATE OF KANSAS)
) ss:
 SEDGWICK COUNTY)

The foregoing Certificate of Trustee was acknowledged before me on this 37th day of December, 1991.

My Appointment Expires:

William J. ...

 Notary Public



FILED \$ 4,500.00 MARSHA STILLER
 _____ MARTIN COUNTY
 _____ CLERK OF CIRCUIT COURT
 BY *[Signature]* DC

FILED FOR RECORD
 12 JAN 14 AM 10:54
 MARSHA STILLER
 CLERK OF CIRCUIT COURT
 BY *[Signature]* DC

DR BKO 940 PGO 058



STATE OF FLORIDA
 DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
 ONSITE SEWAGE DISPOSAL SYSTEM
 APPLICATION FOR CONSTRUCTION PERMIT
 Authority: Chapter 61, FS & Chapter 10D-6, FAC

DN 3521

PERMIT # HD-93-151
 DATE PAID 5-20-93
 FEE PAID \$ 185.00
 RECEIPT # 12996

RECEIVED
 MAY 20 1993
 Public Health Unit
 Duval County

APPLICATION FOR:

- New System Existing System Holding Tank Temporary/Experimental
 Repair Abandonment Other (Specify) _____

APPLICANT: ROBERT J. NAEGELE

TELEPHONE: (305) 941-0625

AGENT: _____

MAILING ADDRESS: 504 S.E. 28 AVE. POMPANO BEACH, FL. 33062

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: 3 BLOCK _____ SUBDIVISION: CAPTAIN'S COVE DATE OF SUBDIVISION: 4-4-68

PROPERTY ID #: _____ [Section/Township/Range/Parcel No.] ZONING: RESIDENTIAL

PROPERTY SIZE: .624 ACRES [Sqft/43560] PROPERTY WATER SUPPLY: PRIVATE PUBLIC

PROPERTY STREET ADDRESS 82 N. SEWALLS POINT RD, SEWALLS POINT FL.

DIRECTIONS TO PROPERTY. E. ON OCEAN BLVD. CROSS ST. LUCIE RIVER, TURN L. AT TRAFFIC LIGHT, PROPERTY IN REAR OF HOUSE AT 84 N. SEWALLS PT. RD. GO BETWEEN S. SIDE OF HOUSE + ELECTRIC POLE

BUILDING INFORMATION RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	<u>HOUSE</u>	<u>3</u>	<u>3485</u>	<u>2</u>	
2					
3					
4					

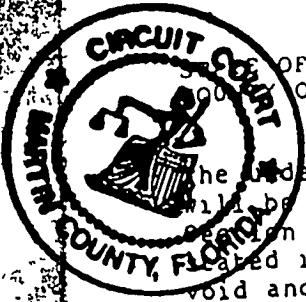
- Garbage Grinders/Disposals Spas/Hot Tubs Floor/Equipment Drains
 Ultra-low Volume Flush Toilets Other (Specify) _____

APPLICANT'S SIGNATURE: Robert J Naegle

DATE: May 20-1993

01041803

94 JAN 25 PM 12:48



OF FLORIDA
OF MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is given in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation

DESCRIPTION OF PROPERTY

General description of improvements NEW HOME

Owner ROBERT J. NAEGELE
Address 82 N SEWALL'S POINT RD, STUART, FL 34994

Owner's interest in site of the improvement _____

Contractor SEACOAST CONSTRUCTION, INC.
Address P.O. Box 2279, STUART, FL 34995

Surety (if any) NONE

Address _____

Amount of Bond _____

Lender NONE

Address _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name SUB-CONTRACTORS

Address _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes

STATE OF FLORIDA NONE
Name _____
COUNTY OF MARTIN Address _____

THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL

Robert J. Naegeli

NOTARY PUBLIC
BY Ally Breen DC

Sworn to and subscribed before me this 7 day
DATE of December, 1993
04-14-94

John H. Bamour

I am a Notary Public of the STATE OF FLORIDA AT LARGE, and my Commission Expires

Notary Public, State of Florida
My Comm. Expires Nov 16 1994
Successors: 1993-1994



62

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 461-7508
 VERO BEACH: (407) 567-6167
 STUART: (407) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Robert Naegele

Date January 28, 1994

Contractor Seacoast Construction

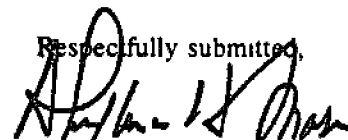
Site 82 North Sewalls Point Rd.
 Stemwall Footings

Permit #3521

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No	Max Dry Density	
8378	S.W. Corner	0 - 1'	102.7	8378	103.7	99.0
	S.E. Corner	0 - 1'	105.1		107.9	97.4
	Center	0 - 1'	107.8			99.9
	N.W. Corner	0 - 1'	101.8		103.7	98.2
	N.E. Corner	0 - 1'	102.3			98.6
All elevations below footing grade.						

Copies Client - 1
 Sewalls Point Bldg. Dept. - 1

Respectfully submitted,



ALEXANDER H FRASER P E

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE (407) 461 7508
 VERO (407) 567 6167
 STUART (407) 283 7711

Report
 of
MOISTURE DENSITY RELATIONSHIP
 ASTM 1557-70

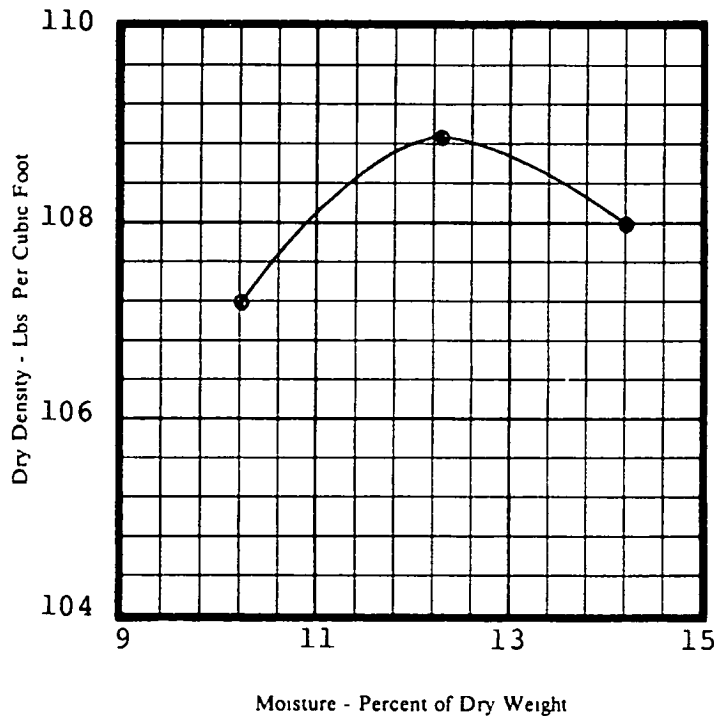
Client Robert Naegele

Date January 28, 1994

Contractor Seacoast Construction

Site 82 North Sewalls Point Rd.
 Stemwall Footings

Permit #3521



Test No	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P C F	Soil Description
8378	B	Composite	12.3	107.9	Brown, slightly silty, fine sand.

Copies

Respectfully submitted,

ALEXANDER H FRASER, P E

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE (407) 461 7508
VERO (407) 587-8167
STUART (407) 283-7711

Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

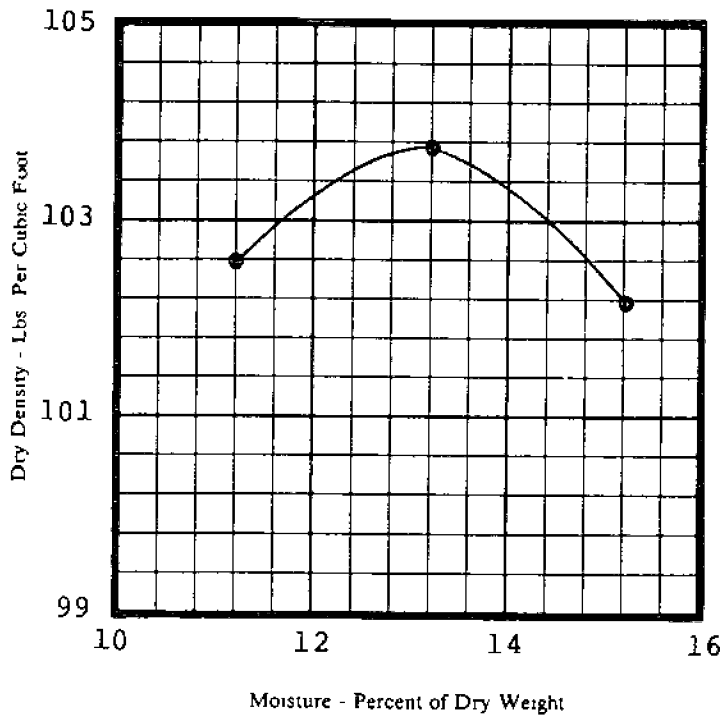
Client Robert Naegele

Date January 28, 1994

Contractor Seacoast Construction

Site 82 North Sewalls Point Rd.
Stemwall Footings

Permit #3521



Test No	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-PCF	Soil Description
8378	B	Composite	13.2	103.7	White fine sand.

Copies

Respectfully submitted,

ALEXANDER H FRASER, P E

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (407) 461-7508
 VERO BEACH: (407) 567-6167
 STUART: (407) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Robert Naegele

Date February 28, 1994

Contractor Client

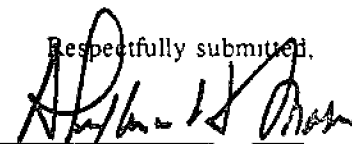
Site 82 N. Sewalls Point Rd.
 Slab Area

Permit #3521

Test No	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction			
				Test No	Max Dry Density				
8465	S.W. Area	0 - 1'	103.0	8465	107.8	95.5			
	"	1 - 2'	105.8			98.1			
	N.W. Area	0 - 1'	103.2			95.7			
	"	1 - 2'	106.2			98.5			
	N.E. Area	0 - 1'	103.8			96.3			
	"	1 - 2'	107.3			99.5			
	S.E. Area	0 - 1'	103.0			95.5			
	"	1 - 2'	107.2			99.4			
	All elevations below slab grade.								

Copies Client - 1
 Sewalls Pt. Bldg. Dept. - 1

Respectfully submitted,



ALEXANDER H FRASER P E

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE (407) 461-7508
 VERO (407) 567 6167
 STUART (407) 283 7711

Report
 of
MOISTURE DENSITY RELATIONSHIP
 ASTM 1557-70

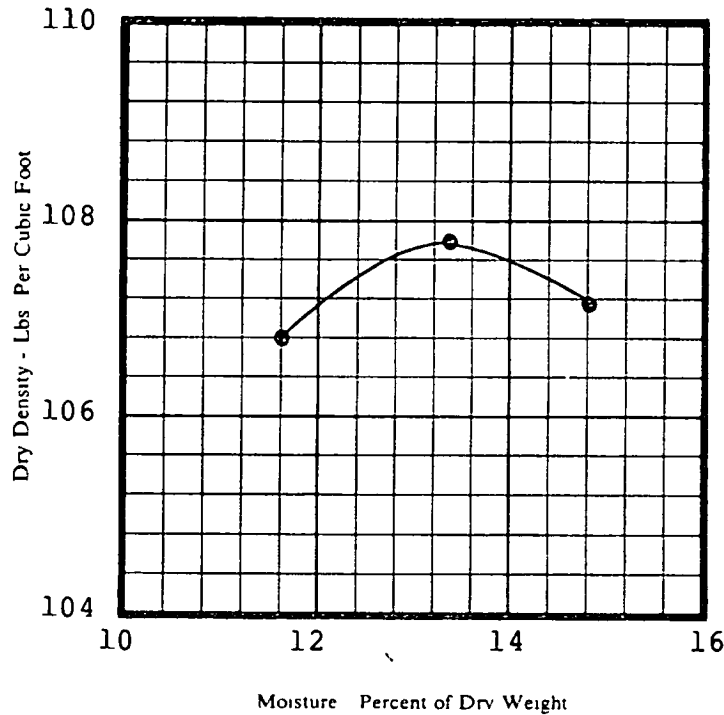
Client Robert Naegele

Date February 28, 1994

Contractor Client

Site 82 N. Sewalls Point Rd.
 Slab Area

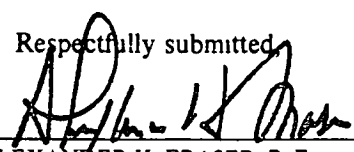
Permit #3521



Test No	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P C F	Soil Description
8465	B	Composite	13.4	107.8	Brown fine sand, with trace of roots.

Copies

Respectfully submitted,


 ALEXANDER H FRASER, P E



SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

APPLICATION NAME Naepfele PERMIT NO (HD) 93-151
SUBDIVISION _____

N O T E SPECIAL CONDITION(S) MARKED "X" ARE IN EFFECT

- 1. DRAINFIELD MUST BE MAINTAINED UNDER GRASS, ___AND PROTECTED FROM VEHICULAR TRAFFIC (TRAFFIC BARRIERS)
- 2. OPERATIONAL TEST OF DOSING PUMP(S) AND HIGH WATER ALARM (AUDIBLE / VISUAL) REQUIRED PRIOR TO FINAL CONSTRUCTION APPR.
- 3. DRIVEWAY / SIDEWALK ELEVATION MUST BE 9" HIGHER THAN DRAIN-FIELD PIPE ELEVATION
- 4. SEPTIC SYSTEM MUST BE 75' FROM SURFACE WATER / WETLANDS / MEAN HIGH WATER LINE
- 5. EXCAVATE ONE / THREE FEET BEYOND DRAINFIELD AREA TO A DEPTH OF 4 5' BELOW DRAINFIELD ROCK
- 6. IN ADDITION TO ITEM #5, 33% OF UNSUITABLE SOILS AT DEPTHS GREATER THAN 4 5' BELOW THE BOTTOM OF THE DRAINFIELD MUST BE REMOVED TO A DEPTH OF SLIGHTLY LIMITED SOILS.
- 7. EXISTING WELL(S) MUST BE PROPERLY ABANDONED BY A CERTIFIED WELL DRILLER THE ATTACHED WELL ABANDONMENT FORM(S) MUST BE COMPLETED BY THE WELL DRILLER AND SUBMITTED TO THIS OFFICE PRIOR TO INITIAL BUILDING CONSTRUCTION OR SYSTEM INSTALLATION
- 8. SEPTIC TANK ABANDONMENT PERMIT, FEE AND ABANDONMENT APPROVAL FOR THE EXISTING TANK(S) MUST BE RECEIVED BY THIS OFFICE PRIOR TO FINAL CONSTRUCTION APPROVAL.
- 9. MOUND AREA MUST BE SODDED OR STABILIZED WITH SEED AND HAY PRIOR TO FINAL GRADE INSPECTION
- 10. ANY FUTURE PONDS OR SURFACE WATER CREATED ONSITE MUST BE 75' FROM SEPTIC SYSTEM(S)
- 11. AVAILABLE AREA FOR SEPTIC INSTALLATION MUST TO BE EVENLY FILLED AND LEVELED
- SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS



STATE OF FLORIDA
 DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
 ONSITE SEWAGE DISPOSAL SYSTEM
 CONSTRUCTION PERMIT

PERMIT # HD-93-151
 DATE PAID _____
 FEE PAID \$ _____
 RECEIPT # _____

Authority Chapter 381, FS & Chapter 10D-6, FAC Building Permit# _____

HRS - MARTIN COUNTY PUBLIC HEALTH UNIT

CONSTRUCTION PERMIT FOR

New System [] Existing System [] Holding Tank [] Temporary/Experimental
 Repair [] Abandonment [] Other(Specify) _____

APPLICANT Robert Naegele AGENT _____

PROPERTY STREET ADDRESS 82 N Sewalls Point Rd Sewalls Point

LOT 3 BLOCK _____ SUBDIVISION Captain's Cove

PROPERTY ID # _____ [SECTION/TOWNSHIP/RANGE/PARCEL NUMBER]
 _____ [OR TAX ID NUMBER]

HD-93-151
 PERMIT NO / APPLICANT
 R Naegele

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 10D-6, FAC
 REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE ALL OTHER PERMIT
 EXPIRE ONE YEAR FROM THE DATE OF ISSUE HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY
 PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A
 BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION SUC
 MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID

=====

SYSTEM DESIGN AND SPECIFICATIONS

T [1350] [GALLONS / GPD] SEPTIC TANK/AEROBIC UNIT CAPACITY ~~_____~~ MULTI-CHAMBERED/IN SERIES /
 A [-] [GALLONS / GPD] _____ CAPACITY MULTI-CHAMBERED/IN SERIES []
 N [-] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK 1250 GALLONS
 K [-] GALLONS PER DOSE DOSING TANK CAPACITY DOSE RATE [] PER 24 HRS NO OF PUMPS []

D [600] SQUARE FEET PRIMARY DRAINFIELD SYSTEM 15'W x 40'L
 R [] SQUARE FEET _____ SYSTEM
 A TYPE SYSTEM STANDARD [] FILLED [] MOUND [] _____
 I CONFIGURATION [] TRENCH BED [] _____

N NOTE If trenches are used, each trench must be 2ft/ 3ft wide w/ 2ft between each trench
 F LOCATION OF BENCHMARK/ Fixed Point of Reference 399' Crown Rd
 I ELEVATION OF PROPOSED SYSTEM SITE [16.9] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT
 E BOTTOM OF DRAINFIELD TO BE [17] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L
 D FILL REQUIRED [NA] INCHES EXCAVATION REQUIRED [NA] INCHES
 -Drainfield rock must be 13 ft from property lines Excavation must be a minimum of
 O One/ Three ft beyond drainfield installation area ftW x ftL x ftD
 T -Top of building stubout is required to be a minimum elv of 37" ABOVE CR 399' UGV
 H -Top of drainfield pipe is required to be a minimum elv of 27" ABOVE CR " "
 E -Top of septic tank is required to be a minimum elv of 41" ABOVE CR " "

** SEE ATTACHED SPECIAL CONDITIONS FORM **

SPECIFICATIONS BY _____ TITLE _____
 APPROVED BY [Signature] TITLE E.S I Martin CPH
 DATE ISSUED 6-15-93 Variance Y 10 EXPIRATION DATE 6-15-94

[] (Includes Variance Expiration)

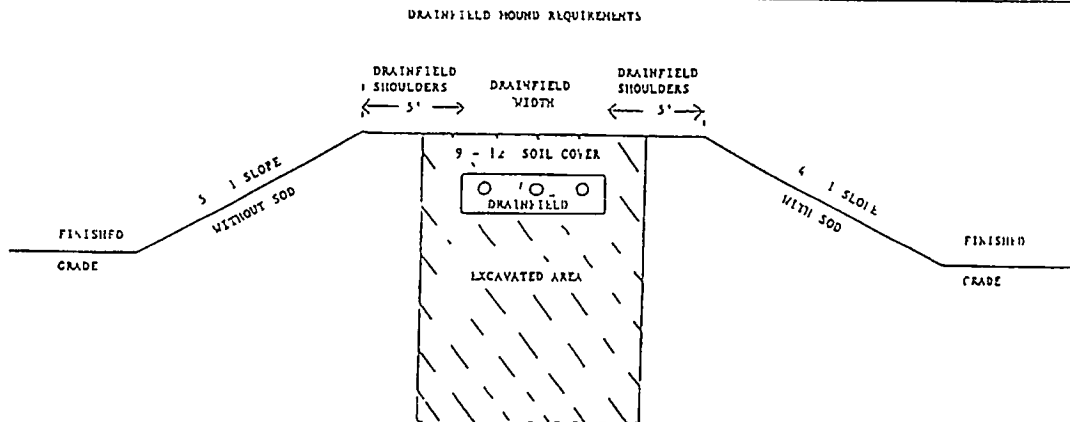


CONDITIONS OF PERMIT

APPLICANT Neagle SEPTIC TANK PERMIT # 93-151

For permit specifications see attached HRS-H Form 4916

- 1 Applicant is responsible for replacing excavated soils with a good grade of sand.
- 2 If fill is required, contact Martin County Building Division
- 3 If building stubout is placed more than 20 feet from septic tank or drainfield, stubout elevation must be higher than permitted elevation and have prior approval
- 4 NA reinspection fee required if well is not installed at time of onsite sewage disposal system initial inspection
- 5 Inspection results will be posted on building permit. A copy of construction approval is available upon request
- 6 If any information on this permit changes, an amended application is required to be filed immediately
- 7 Any alteration to the information and conditions of this permit found to be in non-compliance with 10D-6 FAC shall be sufficient cause for immediate revocation of this permit
- 8 If round drainfield is proposed, see following sketch of additional requirements
- 9 Special Conditions _____



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL
SEE EXCAVATION CERTIFICATION SHEET FOR EXCAVATION DETAILS



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT Robert Naegele SEPTIC TANK PERMIT NO. HD93-151
LEGAL DESCRIPTION Lot 3 Captain's Cove

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

- 1 Building Permit Number _____ (Certification not required for this item)
- 2 I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit
- 3 I certify that the top of the lowest building plumbing stubout is _____ inches (circle one) above/ below crown of road elevation shown on septic tank permit
- 4 I certify that the top of the drainfield pipe elevation is _____
- 5 I certify that all severely limited soil has been removed from an area of _____ feet by _____ feet a minimum depth of six(6) feet below top of required stubout elevation. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram ___A/ ___B on reverse side) Date Observed: ___/___/___
- 6 I certify that all moderately and severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram B on reverse side) Date Observed: ___/___/___
- 7 I certify that all severely limited soils have been removed from an area one foot beyond the perimeter of the drainfield rock and the excavation meets all detail requirements as shown in _____ "Diagram A", or _____ "Diagram B" on reverse side. Surveyor must submit 2 plot plans to scale of excavated area. Date Observed: ___/___/___

- NOTE
- a Severely limited soil includes but is not limited to hardpan, clay, silt, marl or rock
 - b Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
 - c Condition numbers 5, 6 and 7 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation

CERTIFIED BY _____
Date _____ Job Number _____

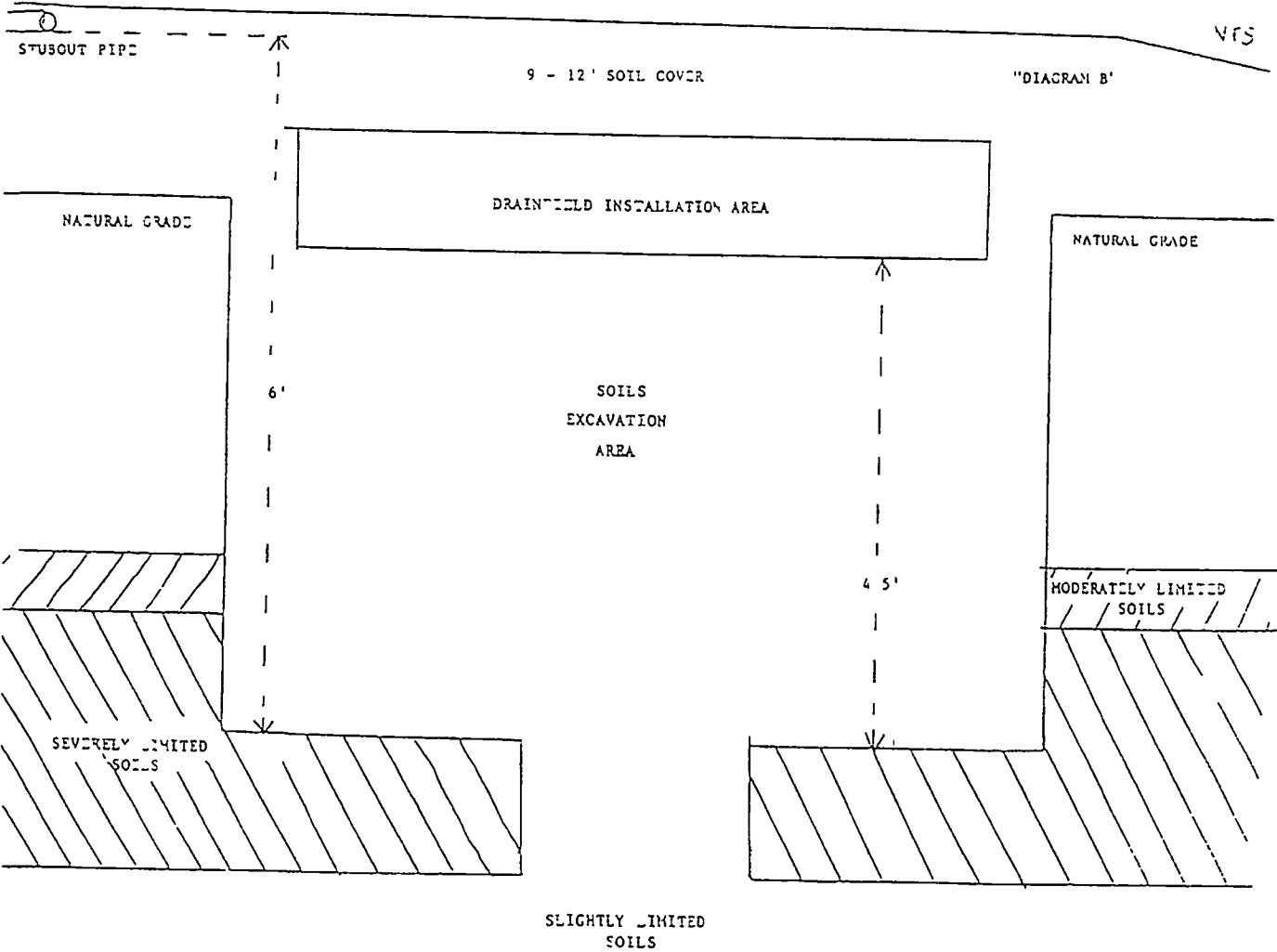
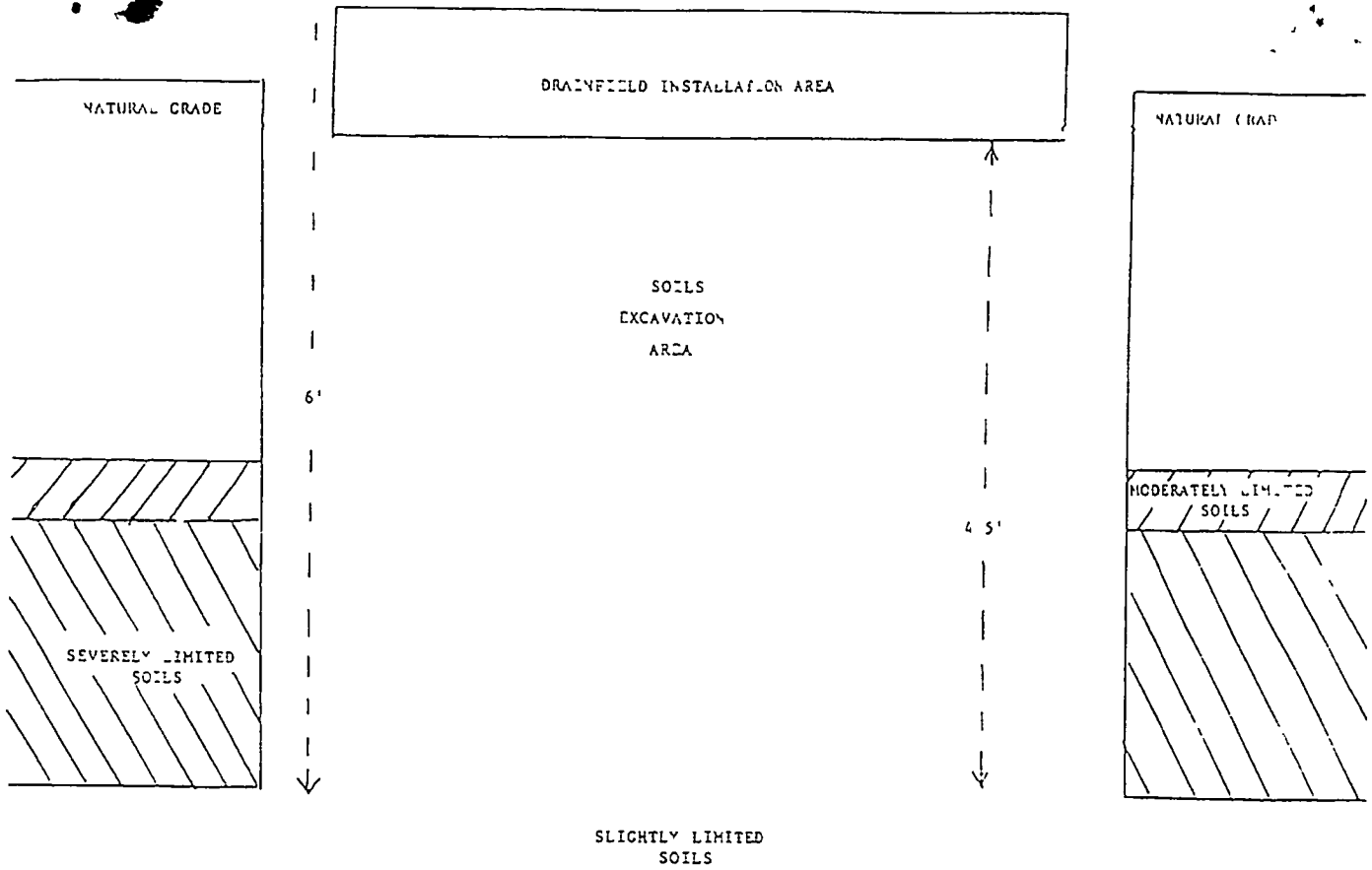
As applicant or applicant's representative,
I understand the above requirements.
Robert J Naegele
(Signature)

-----FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY-----

Martin County Health Unit Approval Signature (Date)

9 - 12 SOIL COVER

3 11 A





STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT # HD 93-151

APPLICANT. Robert J Naegele AGENT

LOT 3 BLOCK _____ SUBDIVISION Captain's Cove

PROPERTY ID # _____ [Section/Township/Range/Parcel No or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH UNIT EMPLOYEE, OR OTHER QUALIFIED PERSON ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN YES [] NO NET USABLE AREA AVAILABLE .624 ACRES
TOTAL ESTIMATED SEWAGE FLOW 550 GALLONS PER DAY [RESIDENCES-TABLE 1 / OTHER-TABLE 2]
AUTHORIZED SEWAGE FLOW 750 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE 820 SQFT UNOBSTRUCTED AREA REQUIRED 1200 SQFT

BENCHMARK/REFERENCE POINT LOCATION BM PK + ^{DISK} MARK IN CABBAGE PALM 1202 #
ELEVATION OF PROPOSED SYSTEM SITE IS 16.92 (INCHES/FT) [ABOVE/BELOW] BENCHMARK/REFERENCE POINT CR21

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES
SURFACE WATER 75 FT DITCHES/SWALES N/A FT NORMALLY WET? [] YES NO
WELLS PUBLIC N/A FT LIMITED USE N/A FT PRIVATE N/A FT NON-POTABLE N/A FT
BUILDING FOUNDATIONS 5 FT PROPERTY LINES 20 FT POTABLE WATER LINES >10 FT

SITE SUBJECT TO FREQUENT FLOODING YES [] NO 10 YEAR FLOODING? YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE 10.0 FT MSL/NGVD SITE ELEVATION 540 FT MSL/NGVD

SOIL PROFILE INFORMATION SITE 1

Munsell #/Color	Texture	Depth
<u>5YR 6/3 light reddish brown</u>	<u>fine sand</u>	<u>0 to 12</u>
<u>5YR 3/2 dark yellow brown</u>	<u>sand</u>	<u>12 to 24</u>
<u>10YR 5/1 grey</u>	<u>gravelly sand</u>	<u>24 to 30</u>
<u>10YR 7/2 light grey</u>	<u>sand</u>	<u>30 to 48</u>
<u>10YR 4/2 dark grey brown</u>	<u>sand</u>	<u>48 to 60</u>
<u>5YR 3/2 dark reddish brown</u>	<u>sand</u>	<u>60 to 72</u>
USDA SOIL SERIES <u>Ponello #9</u>		

approx 2 feet fill

SOIL PROFILE INFORMATION SITE 2

Munsell #/Color	Texture	Depth
<u>5YR 6/3 light reddish brown</u>	<u>fine sand</u>	<u>0 to 12</u>
<u>5YR 3/2 dark yellow brown</u>	<u>sand</u>	<u>12 to 24</u>
<u>10YR 5/1 grey</u>	<u>sand</u>	<u>24 to 30</u>
<u>10YR 7/2 light grey</u>	<u>sand</u>	<u>30 to 48</u>
<u>10YR 4/2 dark grey brown</u>	<u>sand</u>	<u>48 to 60</u>
<u>5YR 3/2 dark reddish brown</u>	<u>sand</u>	<u>60 to 72</u>
USDA SOIL SERIES <u>Ponello #9</u>		

OBSERVED WATER TABLE 48 INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE [PERCEIVED / APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION 24" 30" INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION [] YES NO MOTTLING [] YES NO DEPTH N/A INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING 1.25 DEPTH OF EXCAVATION N/A INCHES
DRAINFIELD CONFIGURATION [] TRENCH BED [] OTHER (SPECIFY) _____

REMARKS/ADDITIONAL CRITERIA _____

SITE EVALUATED BY J. Coran DATE 5-21-93

5.40
3.99

** SITE EVALUATION FIELD NOTES **

- 1 WET SEASON (SEASONAL HIGH) WATER TABLE PER USDA SOIL SURVEY 24-40"
(30")
- 2 ESTIMATED SEASONAL HIGH WATER TABLE FROM FIELD VISIT 24-40"
(30")
3. JUSTIFICATION FOR ESTIMATED SEASONAL HIGH WATER TABLE (IF NOT CONSISTENT WITH USDA MARTIN COUNTY SOIL SURVEY) N/A

- 4 FIELD NOTES (EXPLAIN UNIQUE CONDITIONS FOUND AT SITE) N/A

- 5 IS THE SITE PLAN ACCURATE? (Y) / N , IF NO EXPLAIN N/A

- 6 NATIVE VEGETATION PRESENT N/A

- 7 OTHER COMMENTS N/A



RECEIVED

JUN 10 1993

APPLICANT ROBERT NAEGELE
LEGAL DESCRIPTION LOT 3, CAPTAIN'S COVE

HRS-Martin County
Public Health Unit

-----SITE INFORMATION-----

- 1 IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? N.A.
- 2 IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
- 3 IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
- 4 IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? No
- 5 IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
- 6 IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? No
- 7 IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
- 8 IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? No
- 9 IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
- 11 ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
- 12 ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? N.A.
- 13 DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
- 14 THERE IS 11,202 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN

-----ELEVATIONS-----

- 1 CROWN OF ROAD ELEVATION 3.99 NGVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION _____ NGVD SHOW LOCATION ON PLOT PLAN
- 2 NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 5.4 NGVD SHOW LOCATION ON PLOT PLAN
- 2 IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? YES IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? 10 NGVD

NOTE MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER

CERTIFIED BY [Signature]
FL PROFESSIONAL NO. 253010
DATE 6/8/93 JOB NO. 91-104

RECORD OF INSPECTIONS
TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 9/15/94

This is to request that a Certificate of Approval for Occupancy be issued to Mr Robert J Naegele.

For property at 82 NSPR built under Permit
(street address)
No. 3521 Dated 12/28/93 when completed in conformance with the
Approved Plans.

Signed Robert J Naegele

<u>ITEM</u>	<u>DATE</u>	<u>APPROVED BY (initials)</u>
<u>1. Form board tie in</u>	<u>5/13/93</u>	<u>DB</u>
<u>2. Termite protection</u>	<u>3/15/94</u>	<u>DB</u>
<u>3. Footing - slab</u>	<u>3/17/94</u>	<u>DB</u>
<u>4. Rough plumbing - slab</u>	<u>6/24/94</u>	<u>DB</u>
<u>5. Rough electric - slab</u>	<u>N/A</u>	<u>N/A</u>
<u>6. Lintel</u>	<u>3/28/94</u>	<u>DB</u>
<u>7. Dry in (final)</u>	<u>3/16/94</u>	<u>DB</u>
<u>8. Roof</u>	<u>5/25/94</u>	<u>DB</u>
<u>9. Framing</u>	<u>6/24/94</u>	<u>DB</u>

5323

RIPRAP

TOWN OF SEWALL'S POINT

Date 4/6/01 BUILDING PERMIT NO. 5323
 Building to be erected for ROBERT J. NAEGELE Type of Permit RIP RAP
 Applied for by 82 N. SEWALL'S POINT ROAD (Contractor) Building Fee \$ 37.44
 Subdivision CAPTAINS COVE Lot 3 Block _____ Radon Fee _____
 APPLIED FOR BY: LUDLUM CONST. INC. Address _____ Impact Fee _____
 Type of structure S.F.R. A/C Fee _____
 Parcel Control Number _____ Plumbing Fee _____
35-37-41-001-000-00030-50000 Roofing Fee _____
 Amount Paid \$41.18 Check # 864 Cash _____ Other Fees (PCAD REV.) 3.74
 Total Construction Cost \$ 3,900.00 TOTAL Fees \$41.18

Signed J. Paul Baker
 Applicant

Signed [Signature]
 Town Building Inspector SPECIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>4/11/01</u>

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
 MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed _____ Number of trees to be retained _____ Number of trees to be planted: _____ Number of Specimen trees removed _____
Fee \$ _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1 ALL APPLICATIONS REQUIRE

- a Property Appraisers Parcel Number
- b Legal Description of your property (Can be found on your deed survey or Tax Bill.)
- c Contractors name, address, phone number & license numbers.
- d Name all sub-contractors (properly licensed)
- e Current Survey

2 Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc Compliance with subdivision regulations can also be determined at this time

3 Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank Attach the pink copy to the building application

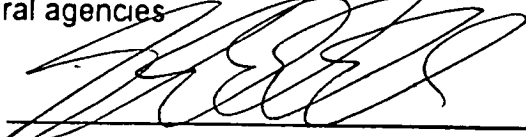
4 Return all forms to the Permits and Inspection Office All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items

- a Floor Plan
- b Foundation Details
- c Elevation Views - Elevation Certificate due after slab inspection,
- d Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway)
- e Truss layout
- f Vertical Wall Sections (one detail for each wall that is different)
- g Fireplace drawing If prefabricated submit manufacturers data

ADDITIONAL Required Documents are

- 1** Use permit (for driveway connection to public Right of Way) Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only)
- 2** Well Permit or information on existing well & pump
- 3** Flood Hazard Elevation (if applicable)
- 4** Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets
- 5** Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6.** Irrigation Sprinkler System layout showing location of heads, valves, etc
- 7** A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection
- 8** Replat required upon completion of slab or footing inspection And Prior to any further inspections

NOTICE In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies

Approved by Building Official  Date 9/16/09

Approved by Town Engineer _____ Date _____
(If required)



**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Bldg Permut Number _____

Owner or Titleholder's Name ROBERT J. NAEGELE Phone No (561) 220-9279
 Street: 82 N. SEWALLS PT. RD. City STUART State FL Zip 34996
 Legal Description of Property LOT 3 CAPTAINS COVE **RECEIVED**
35-37-41-001-000-00030-50000 Parcel Number _____ APR 9 2001
 Location of Job Site 82 N. SEWALLS PT RD.
 TYPE OF WORK TO BE DONE RIP RAP IN FRONT OF EXISTING SEAWALL

CONTRACTOR/Company Name Ludlum Construction Inc Phone No (561) 287-2378
 Street: 3050 SE Dixie Hwy City Stuart State FL Zip 34997
 State Registration _____ State License _____

ARCHITECT _____ Phone No () _____
 Street _____ City _____ State _____ Zip _____

ENGINEER _____ Phone No () _____
 Street _____ City _____ State _____ Zip _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC
 Living Area: _____ Garage Area _____ Carport _____ Accessory Bldg _____
 Covered Patio _____ Scr Porch _____ Wood Deck _____
 Type Sewage _____ Septic Tank Permit # from Health Dept _____
 New Electrical Service Size _____ AMPS

FLOOD HAZARD INFORMATION
 Flood zone _____ Minimum Base Flood Elevation (BFE) _____ NGVD
 Proposed first habitable floor finished elevation _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
 Estimated cost of construction or improvement \$ _____
 Estimated Fair Market Value (FMV) prior to improvement \$ 3900-
 If Improvement, is cost greater than 50% of Fair Market Value? YES _____ NO _____
 Method of determining Fair Market Value _____

SUBCONTRACTOR INFORMATION (Notification to this office of subcontractor change is mandatory)
 Electrical _____ State _____ License # _____
 Mechanical _____ State _____ License # _____
 Plumbing _____ State _____ License # _____
 Roofing _____ State _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES

OWNER or AGENT SIGNATURE (Required)
Robert J. Naegle
 Owner

State of Florida, County of Martin On this the 3rd day of April, 2000, by Robert J. Naegle who is personally known to me or produced _____

as identification: Diana M Baker
 Notary Public

My Commission Expires 8/16/2003
 OFFICIAL NOTARY SEAL
 DIANA M BAKER (Seal)
 NOTARY PUBLIC STATE OF FLORIDA
 COMMISSION NO CC954130
 MY COMMISSION EXP AUG 16, 2003

CONTRACTOR SIGNATURE (Required)
Ludlum Construction Inc.
 Contractor

State of Florida, County of Martin On this the 3rd day of April, 2000, by Chris Loudon who is personally known to me or produced _____

as identification: Diana M Baker
 Notary Public

My Commission Expires 8/16/2003
 OFFICIAL NOTARY SEAL
 DIANA M BAKER
 NOTARY PUBLIC STATE OF FLORIDA
 COMMISSION NO CC954130
 MY COMMISSION EXP AUG 16, 2003

ACORD CERTIFICATE OF LIABILITY INSURANCE

1215 (01/00/01)
04/03/2001

PRODUCER (321)267-0551 FAX (321)267-2953
 Spencer & Associates, Inc.
 719 Garden Street
 P. O. Box 2606 (32781-2606)
 Titusville, FL 32796

INSURED Ludlum Construction Company, Inc.
 P. O. Box 1849
 Palm City, FL 34991

FILE
COPIES
FILE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

INSURERS AFFORDING COVERAGE

INSURER A Transcontinental Insurance Co.
 INSURER B Continental Casualty Ins. Co.
 INSURER C Transportation Insurance Co. **RECEIVED**
 INSURER D
 INSURER E

APR 5 2001

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	B2025190013	11/09/2000	11/09/2001	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
	<input checked="" type="checkbox"/> Contractual Liab				PERSONAL & ADV INJURY \$ 1,000,000
	<input checked="" type="checkbox"/> Blanket Add'l Insd				GENERAL AGGREGATE \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER				PRODUCTS - COMP/OP AGG \$ 2,000,000
<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO JECT <input checked="" type="checkbox"/> LOC					
A	AUTOMOBILE LIABILITY	B2023192461	11/09/2000	11/09/2001	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY EA ACC \$
					AGG \$
B	EXCESS LIABILITY	B2025190092	11/09/2000	11/09/2001	EACH OCCURRENCE \$ 5,000,000
	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$ 5,000,000
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input checked="" type="checkbox"/> RETENTION \$ 10,000				\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC248126724	11/10/2000	11/10/2001	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$ 100,000
					E.L. EACH ACCIDENT \$ 100,000
					E.L. DISEASE EA EMPLOYEE \$ 100,000
					E.L. DISEASE POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 Workers' Compensation requires 30 days notice of cancellation.

CERTIFICATE HOLDER	ADDITIONAL INSURED INSURER LETTER	CANCELLATION
Town of Sewall's Point One South Sewall's Point Road Stuart, FL 34996		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES AUTHORIZED REPRESENTATIVE F. Spencer/PB

MARTIN COUNTY ORIGINAL
2000 COUNTY OCCUPATIONAL LICENSE 2 001

Lar y C O'Steen, Tax Collector, P O Box 9013, Stuart, FL 34995
(561) 288-5804

LICENSE 2000 275 567 CERT _____

PHONE 561 287 2378 SIC NO 1629

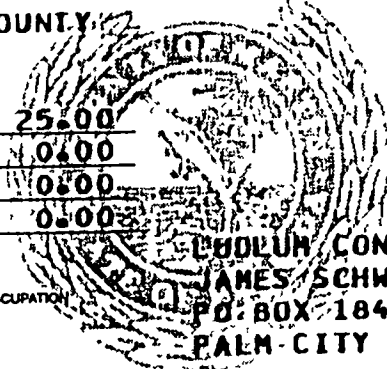
LOCATION

3050 SE DIXIE HWY

34990B

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	<u>0.00</u>	LIC FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>0.00</u>	COL. FEE \$	<u>0.00</u>
\$		TRANSFER \$	<u>0.00</u>
	TOTAL		<u>25.00</u>

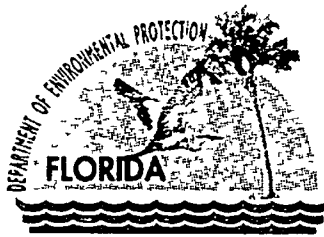


PHOENIX CONSTRUCTION INC
JAMES SCHWARZ
P O BOX 1849
PALM CITY FL 34991

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **DREDGING CONTRACTOR**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1 DAY OF OCTOBER 20⁰⁰
AND ENDING SEPTEMBER 30 2001 12 92101 3799 PAID



Department of Environmental Protection

Jeb Bush
Governor

Port St Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St Lucie FL 34952
(561)398-2806

David B Struhs
Secretary

JAN 29 2001

Robert and Ruth Naegele
82 N Sewall's Point Road
Sewall's Point, FL 34996

File No 43-0178764-001
Martin County

Dear Mr and Mrs Naegle

On January 4, 2001 we received your notice of intent to use a Noticed General Permit (NGP) pursuant to Rule 62-341 431, Florida Administrative Code (F A C) to perform the following activities install 118 linear feet of riprap at the toe of an existing seawall in the Jensen Beach to Jupiter Inlet Aquatic Preserve (O F W), Class III waters of the state Your project is located at 82 N Sewall's Point Road (Section 35, Township 37 South Range 41 East) Sewall's Point, Martin County

Your intent to use a NGP has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization The authority for review and the outcomes of the reviews are listed below Please read each section carefully Your project may not have qualified for all three forms of authorization If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it

Regulatory Review - Granted

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F S), Title 62, F A C , and in accordance to operating agreements executed between the Department and the water management districts as referenced in Chapter 62-113, F A C Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341 431 F A C)

Activities performed under the NGP are subject to the general conditions required in Rule 62-341 215, F A C (attached), and to the specific conditions of the permit for which notice was given (62-341 431, F A C) (attached) Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties Project drawings and vicinity map are attached

Please be advised that the construction phase of the NGP must be completed within 5 years from the date the notice to use the NGP was received by the Department If you wish to continue this noticed general permit beyond the expiration date, you must notify the Department at least 30 days before its expiration

4/6/01 TOWN OF SEWALL'S POINT
RENEW
[Signature]
BCMG OFFICIAL

FILE TOWN COPY
82 N. SEWALL'S POINT RD

'More Protection Less Process'

Proprietary Review (related to state-owned lands) - Granted

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F S Chapters 18-20 and 18-21, F A C , and Section 62-343 075, F A C

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253 77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

Federal Review (State Programmatic General Permit) - Granted

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U S Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U S Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached U S Army Corps of Engineers (the Corps) general conditions apply to your project. No further permitting for this activity is required by the Corps.

If you change the project from what you submitted, the authorizations granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

Notice of Rights of Substantially Affected Persons

This letter acknowledges that the proposed activity may be conducted under noticed general permit rule 62-341 431. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120 569 and 120 57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because an administrative hearing may result in the reversal or substantial modification of this action, the applicant is advised not to commence construction or other activities until the deadlines noted below for filing a petition for an administrative hearing or request for an extension of time have expired.

Mediation is not available.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120 569 and 120 57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under rule 62-110 106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. If a request is filed late, the Department may still grant it upon a motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106 205 of the Florida Administrative Code.

In accordance with rules 28-106 111(2) and 62-110 106(3)(a)(4), petitions for an administrative hearing by the applicant must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under section 120 60(3) of the Florida Statutes, must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. Under section 120 60(3) of the Florida Statutes, however, any person who has asked the Department for notice of agency action may file a petition within 21 days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that right.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known,
- (b) The name, address, and telephone number of the petitioner, the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination,
- (c) A statement of when and how the petitioner received notice of the agency decision,
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate,
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action,
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

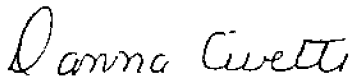
A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106 301

Under sections 120 569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing must be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed

This determination constitutes an order of the Department Subject to the provisions of paragraph 120 68(7)(a) of the Florida Statutes, which may require a remand for an administrative hearing, the applicant has the right to seek judicial review of the order under section 120 68 of the Florida Statutes, by the filing of a notice of appeal under rule 9 110 of the Florida Rules of Appellate Procedure with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida, 32399-3000, and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate district court of appeal The notice of appeal must be filed within 30 days from the date when the final order is filed with the Clerk of the Department

If you revise your project after submitting the initial joint application, please contact us as soon as possible Also, if you have any questions, please contact **Darryl DeLeeuw** of this office, at telephone (561) 398-2806 When referring to this project please use the FDEP file name and number listed above

Sincerely,



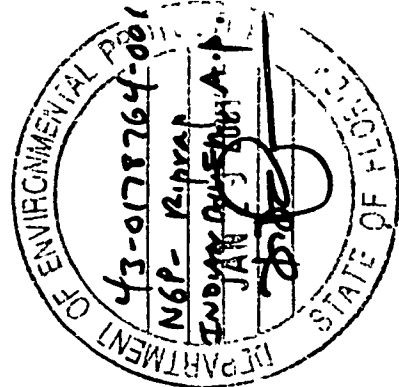
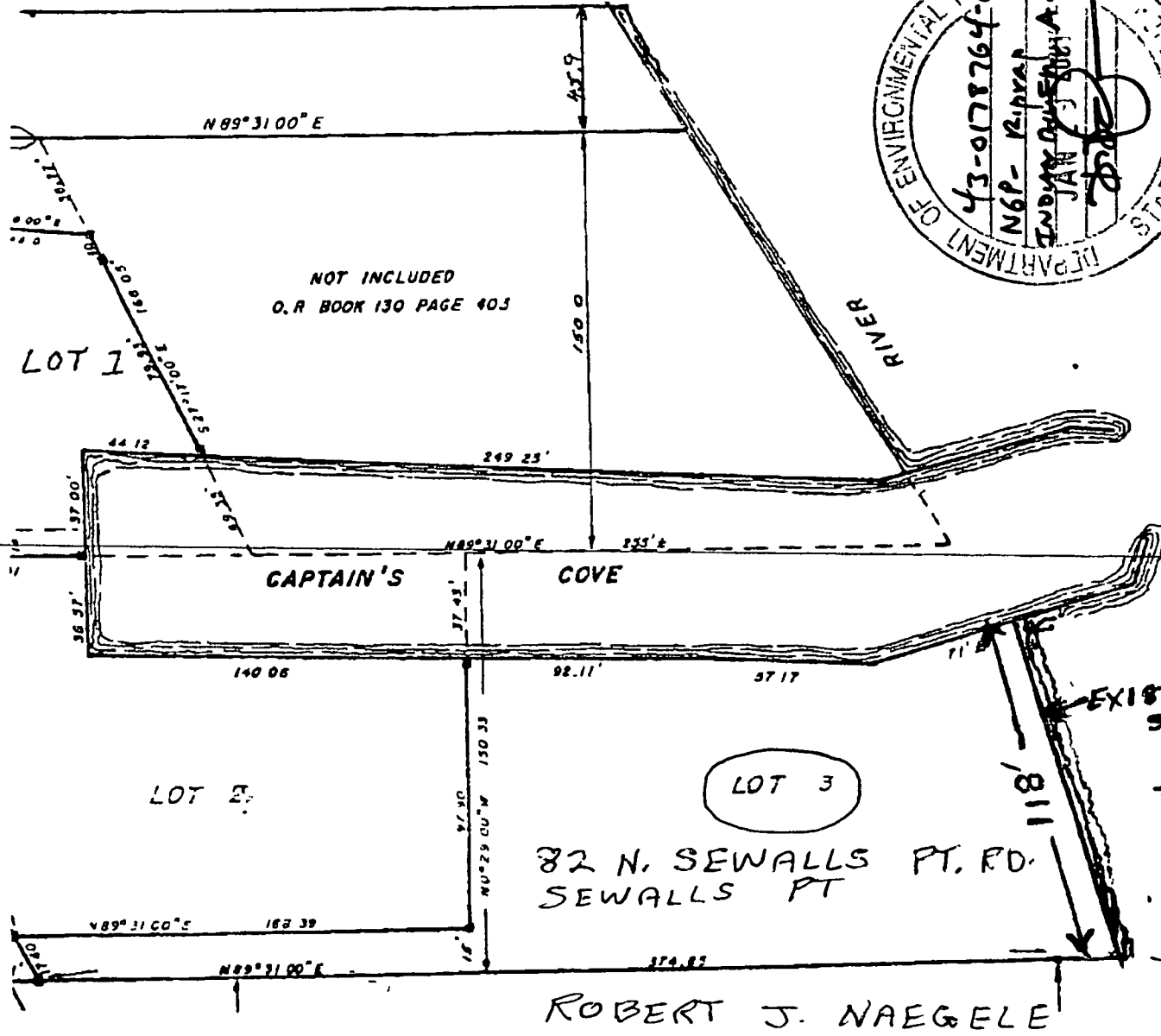
for Gary N Roderick
Environmental Administrator

GNRADD/v

Enclosures NGP General Conditions, 62-341 215, F A C
NGP Specific Conditions, 62-341 431, F A C
General Consent Conditions
Attachment A- Newspaper Publication Notice
Federal General/Specific Conditions for SPGP III- R1 and Transfer Request
Federal Manatee Conditions
Project Drawings

cc U S Army Corps of Engineers, Stuart [without enclosures]

FILED
 JAN 04 2011
 DEPT. OF REVENUE



Note:
 * Riprap to extend
 No greater than
 10' from seawall

Rule 62-341.215, Florida Administrative Code- General Conditions for All Noticed General Permits

- 1 The terms, conditions, requirements, limitations, and restrictions set forth in this section are general permit conditions and are binding upon the permittee for all noticed general permits in this chapter. These conditions are enforceable under Part IV of Chapter 373, F S.
- 2 The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit. A violation of the permit is a violation of Part IV of Chapter 373, F S, and may result in suspension or revocation of the permittee's right to conduct such activity under the general permit. The Department also may begin legal proceedings seeking penalties or other remedies as provided by law for any violation of these conditions.
- 3 This general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.
- 4 This general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit as provided by Chapter 62-330, F A C.
- 5 The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to human health or welfare, animal, plant or aquatic life, or property. It does not allow the permittee to cause pollution in contravention of Florida Statutes and Department rules.
- 6 The permittee is hereby advised that Section 253.77, F S, states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
- 7 The authorization to conduct activities pursuant to a general permit may be modified, suspended or revoked in accordance with Chapter 120, F S, and Section 373.429, F S.
- 8 This permit shall not be transferred to a third party except pursuant to Section 62-343.130, F A C. The permittee transferring the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located.
- 9 Upon reasonable notice to the permittee, Department staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to insure conformity with the plans and specifications approved by the permit.
- 10 The permittee shall maintain any permitted system in accordance with the plans submitted to the Department and authorized in this general permit.
- 11 A permittee's right to conduct a specific noticed activity under this noticed general permit is authorized for a duration of five years.
- 12 Construction, alteration, operation, maintenance, removal and abandonment approved by this general permit shall be conducted in a manner which does not cause violations of state water quality standards, including any antidegradation provisions of Sections 62-4.242(1)(a) and (b), 62-4.242(2) and (3), and 62-302.300, F A C, and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. The permittee shall implement best management practices for erosion, turbidity, and other pollution control to prevent violation of state water quality standards. Temporary erosion control measures such as sodding, mulching, and seeding shall be implemented and shall be maintained on all erodible ground areas prior to and during construction. Permanent erosion control measures such as sodding and planting of wetland species shall be completed within seven days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands and other surface waters exists due to the permitted activity. Turbidity barriers shall remain in place and shall be maintained in a functional condition at all locations until construction is completed and soils are stabilized and vegetation has been established. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
- 13 The permittee shall hold and save the Department harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the general permit.
- 14 The permittee shall immediately notify the Department in writing of any previously submitted information that is later discovered to be inaccurate.

62-341.431 General Permit for Installation of Riprap.

- (1) A general permit is hereby granted to any person installing riprap at the toe of an existing vertical seawall, provided
 - (a) the riprap consists only of natural boulders or clean concrete rubble one to three feet in diameter in average dimensions,
 - (b) the slope of the riprap is no steeper than two horizontal to one vertical and the horizontal distance from the toe of the seawall is no more than eight feet,
 - (c) there are no reinforcing rods or other similar protrusions in concrete rubble and all rubble or boulders are free of attached sediments,
 - (d) neither the distance nor the use of the riprap shall interfere with navigation,
 - (e) there is no filling or dredging associated with the placement of riprap other than the riprap material itself,
 - (f) there shall be no filling of submerged grassbeds,
 - (g) the amount of wetland area filled shall not exceed 100 square feet, and
 - (h) there shall be no filling of coral communities
- (2) This general permit shall be subject to the specific conditions as follows
 - (a) installation of the structure does not obligate the Department to approve any subsequent request to dredge for navigational access,
 - (b) there shall be no backfilling to obtain useable upland or to straighten an otherwise sinuous shoreline, and
 - (c) there shall be no filling or backfilling to reclaim land lost by avulsion or erosion

Specific Authority 373 026, 373 043, 373 044, 373 118, 373 406, 403 813, 403 814, F S
Law Implemented 373 026, 373 043, 373 046, 373 118, 373 403, 373 413, 373 416, 373 418,
373 419, 373 422, 373 423, 373 426, 403 813, 403 814, F S
History--New 10-3-95

**DEPARTMENT OF ENVIRONMENTAL PROTECTION
SUBMERGED LANDS & ENVIRONMENTAL RESOURCES PROGRAM
GENERAL CONSENT CONDITIONS**

File No 43-0178764-001
Applicant Robert and Ruth Naegele

- 1 No activities other than those set forth in the referenced letter are authorized. Any additional activities on state-owned sovereign submerged lands must receive further consent from the Governor and Cabinet, sitting as the Board of Trustees of the Internal Improvement Trust Fund (hereinafter the "Board") or their properly designated agent.
- 2 Grantee agrees that all title and interest to all lands lying below the historical mean high water line or ordinary high water line are vested in the Board, and shall make no claim of title or interest in said lands by reason of the occupancy or use thereof.
- 3 Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances or illegal operations of any kind on the premises.
- 4 Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time.
- 5 Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent.
- 6 No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board to enforce the same in the event of subsequent breach.
- 7 Grantee binds itself and its successors and assigns to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have 30 days in which to correct the violation. Failure to correct the violations within this period shall result in the automatic revocation of this Letter of Consent.
- 8 All costs, including attorneys' fees, incurred by the Board in enforcing the terms and conditions of this consent shall be paid by the Grantee. Grantee agrees to accept service by certified mail of any notice required by Chapter 18-14, Florida Administrative Code, at the address shown on page one of this Agreement and further agrees to notify the Board in writing of any change of address at least ten days before the change becomes effective.
- 9 Grantee agrees to assume responsibility for all liabilities that accrue to the sovereign submerged land or to the improvements thereon, including any and all drainage or special assessments or taxes of every kind and description which are now or may be hereafter lawfully assessed and levied against the property during the effective period of this consent.
- 10 Grantee agrees that any dispute arising from matters relating to this consent shall be governed by the laws of Florida and initiated only in Leon County, Florida.
- 11 The Letter of Consent associated with these General Consent Conditions as well as these conditions themselves are subject to modification after five years in order to reflect any applicable changes in statutes, rule or policies of the Board or its designated agent.
- 12 In the event that any part of the structure(s) consented to herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent riparian rights, Grantee agrees to either obtain written consent for the offending structure from the affected riparian owner or to remove the interference or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this consent and shall be grounds for its immediate termination.

Attachment A

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NOTICE OF GENERAL PERMIT

File No 43-0178764-001
Applicant Robert and Ruth Naegele

The Department of Environmental Protection gives notice that to install 118 linear feet of riprap at the toe of an existing seawall at 82 N Sewall's Point Road, Sewall's Point by Robert and Ruth Naegele has been determined to qualify for a noticed general permit

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000

Mediation is not available

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rules 28-106.111(2) and 62-110.106(3)(a)-(d), petitions for an administrative hearing must be filed within 21 days of publication of the notice or receipt of written notice, whichever occurs first. Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000 prior to the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. Upon motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect, the Department may also grant the requested extension of time.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that right.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known,
- (b) The name, address, and telephone number of the petitioner, the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination,
- (c) A statement of when and how the petitioner received notice of the agency decision,
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate,
- (e) A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the agency's proposed action,
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing shall be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

Complete copies of all documents relating to this determination of exemption are available for public inspection during normal business hours, 8:00 a.m. to 5:00 p.m. Monday through Friday, at the Southeast District branch office, 1801 SE Hillmoor Dr., Suite C-204, Port St. Lucie, Florida.

GENERAL CONDITIONS FOR FEDERAL AUTHORIZATION FOR SPGP III-R1

General Conditions

- 1 The time limit for completing the work authorized ends on December 17, 2003
- 2 You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
- 3 If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
- 4 If you sell the property associated with this permit, you must obtain the signature and mailing address of the new owner in the space provided below and forward a copy of the permit to this office to validate the transfer of this authorization.
- 5 You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

- 1 Limits of this authorization
 - a This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b This permit does not grant any property rights or exclusive privileges.
 - c This permit does not authorize any injury to the property or rights of others.
 - d This permit does not authorize interference with any existing or proposed Federal projects.
- 2 Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following
 - a Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.

c Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit

d Design or construction deficiencies associated with the permitted work

e Damage claims associated with any future modification, suspension, or revocation of this permit

3 Reliance on Applicant's Data The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided

4 Reevaluation of Permit Decision This office may reevaluate its decision on this permit at any time the circumstances warrant Circumstances that could require a reevaluation include, but are not limited to, the following

a You fail to comply with the terms and conditions of this permit

b The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above)

c Significant new information surfaces which this office did not consider in reaching the original public interest decision

Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5 The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CFR 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost

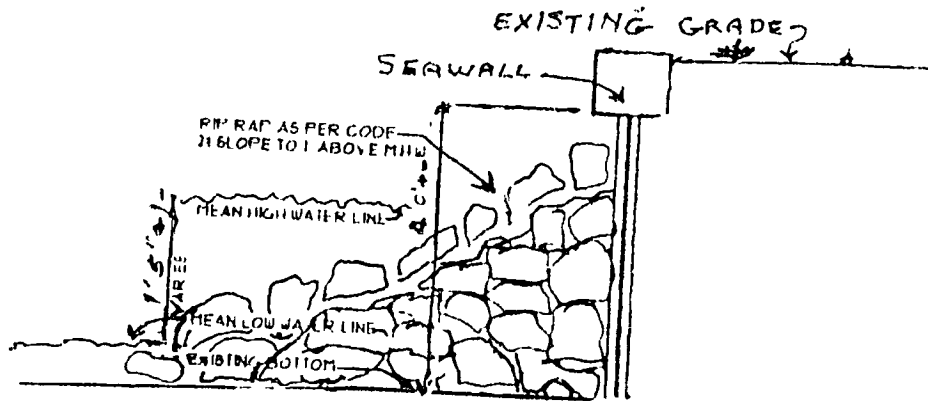
When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below

(TRANSFEREE-SIGNATURE)

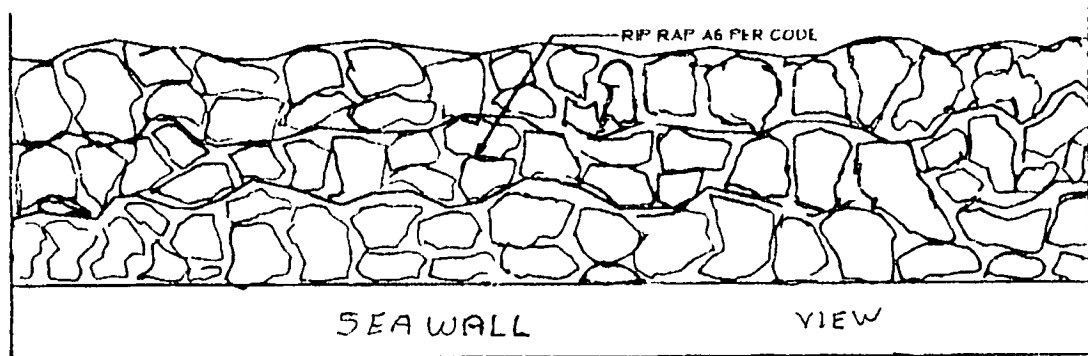
(DATE)

(NAME-PRINTED)

(ADDRESS)



SEAWALL SECTION
 $3/8" = 1'-0"$



NO SCALE

LOT 3 CAPTAIN'S COVE

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon ~~Wed~~ Fri ~~THU~~, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5172	ECKNA	ROOF TILE -	PASSED	3" LWP; SCREWED
S (3)	107 HENRY SEWALL WAY JMC CONTRACTING	IN PROGRESS (STAIR RFG)		INSPECTOR SA
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5313	ENRIQUEZ	FOUNDATION ^{9:50}	PASSED	BLDG. PERIMETER FTG. ✓
S (4)	1 KINGSTON CT. DRIFTWOOD	(REBAR)	PASSED	COL. PAD FTG'S. (1:15) ✓ INSPECTOR SA
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5152	MUSSO	TIE BM. & COL.	PASSED	FORWARDED SURVEY TO SITE (FIELD COPY 2/26/01)
S (10)	185. RIVER RD HARRY BLUE 201-9111			INSPECTOR SA
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 4855	UNIVERSAL GRP	STAIR FORM	PASSED	LAGANA 219-9040
S (9)	235. SEWALL'S POINT RD HES GROUP (LAGANA)	(GAR/1ST FLD) (1ST FLD/2ND)	(ARCH. TO GIVE) (OR WASTE DETAILING)	REWORK 1:30 PM INSPECTOR SA
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
✓ 5294	LEHMAN	FFG GARAGE	PASSED	COMP TEST RCVD 4/10/01
S (7)	6 RIDGELAND DR. GRIBBIN CONST.	MONOLITHIC SLAB		INSPECTOR SA
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
5323	WREGLE	TRIPY = FINISH	PASSED	
(12)	0215 SEWALLS POINT RD LUDLAM CONST.			INSPECTOR SA
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
				INSPECTOR

OTHER _____

6390

STORM SHUTTERS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/25/03

BUILDING PERMIT NO. 6390

Building to be erected for NAEGLE

Type of Permit STEEL STRUCTURES

Applied for by BANNER ALUMINUM

(Contractor) Building Fee 9.60 x 5,000/1,000 = 48.00

Subdivision CAPPA'S COVE Lot 3 Block _____

Address 82 N. SEWALL'S PT RD

Type of structure SFR

- Radon Fee _____
- Impact Fee _____
- A/C Fee _____
- Electrical Fee _____
- Plumbing Fee _____
- Roofing Fee _____
- Other Fees (_____) _____
- TOTAL Fees 48.00

Parcel Control Number:

353741001000003050000

Amount Paid 48.00 Check # 7189 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 5000.00

Signed Helena O. Dufais
Applicant

Signed Gene Simmons (208)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input checked="" type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name ROBERT NAEGELE Building Permit Number STUART
 City SEWALLS POINT State FL Zip 34996
 Legal Description of Property CAPTAIN'S COVE LOT 3 Parcel Number 3537410000000000050000
 Location of Job Site 82N SEWALLS PT ROAD Type of Work To Be Done INSTALL 1 HURRICANE PROTECTION TO HOME ACCORDIAN + PANEL TYPE
 CONTRACTOR/Company Name BANNER ALUMINUM Phone Number 772-466-7210
 Street 504 S 33RD ST City FT PIERCE State FL Zip 34947
 State Registration Number _____ State Certification Number _____ Martin County License Number SP02469
 FAX: 466-1427

ARCHITECT _____ Phone Number _____
 Street _____ City _____ State _____ Zip _____

ENGINEER KNEZEVICH & ASSOCIATES Phone Number (954) 677-9500
 Street 1260 N UNIVERSITY DR City FT LAUDERDALE State FL Zip 33322

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living _____ Garage _____ Covered Patios _____ Screened Porch _____
 Carport _____ Total Under Roof _____ Wood Deck _____ Accessory Building _____
 Type Sewage _____ Septic Tank Permit Number From Health Dept _____ Well Permit Number _____

FLOOD HAZARD INFORMATION Flood Zone _____ Minimum Base Flood Elevation (BFE) _____ NGVD
 Proposed First Floor Habitable Floor Finished Elevation _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements 5000.00 Estimated Fair Market Value (FMV) Prior
 To Improvements _____ If Improvement Is Cost Greater Than 50% Of Fair Market Value YES _____ NO

SUBCONTRACTOR INFORMATION

Electrical _____ State _____ License Number _____
 Mechanical _____ State _____ License Number _____
 Plumbing _____ State _____ License Number _____
 Roofing _____ State _____ License Number _____

I understand that a separate permit from the Town may be required for ELECTRICAL PLUMBING SIGNS WELLS POOLS FURNANCE BOILERS, HEATERS TANKS AIR CONDITIONERS, DOCKS, SEA WALLS ACCESSORY BUILDINGS SAND OR FILL ADDITION OR REMOVAL AND TREE REMOVAL AND RELOCATIONS

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural Mechanical Plumbing Gas) _____ South Florida Building Code (Structural Mechanical, Plumbing Gas) _____
 National Electrical Code _____ Florida Energy Code _____
 Florida Accessibility Code _____

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AGENT SIGNATURE (Required) Robert M. Naegle CONTRACTOR SIGNATURE (Required) David Loper
 State of Florida, County of MARTIN On State of Florida, County of MARTIN
 This the 28TH day of JULY, 2008 This the 28TH day of JULY, 2008
 by _____ (who is personally) by DAVID N LOPIER (who is personally)
 known to me or produced _____ known to me or produced _____
 as identification _____ as identification _____

Notary Public Janese E Dagata
 My Commission Expires _____
 Seal Janese E Dagata
 My Commission DD191214
 Expires May 16, 2007

Notary Public Janese E Dagata
 My Commission Expires _____
 My Commission DD191214
 Expires May 16, 2007
 Seal Janese E Dagata
 My Commission DD191214
 Expires May 16, 2007

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
DEC 3 02

PRODUCER
SID BANACK INSURANCE AGENCY
2045 14TH AVE
P O BOX 130
VERO BEACH FL 32961
PHONE 772-562-3369

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

COMPANIES AFFORDING COVERAGE

INSURED
BANNER ALUMINUM, INC , BANNER EXTERIORS, INC
504 SOUTH 33RD STREET
FT PIERCE FL 34947

COMPANY A	AUTO OWNERS INSURANCE CO
COMPANY B	OWNERS INSURANCE CO
COMPANY C	AUTO OWNERS INSURANCE CO
COMPANY D	
COMPANY E	

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
B	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	912312-20525363-02	DEC 1 02	DEC 1 03	EACH OCCURRENCE	\$ 500,000
	<input type="checkbox"/> GEN L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				FIRE DAMAGE (Any One Fire)	\$ 100,000
					MED EXP (Any One Person)	\$ 10,000
					PERSONAL & ADV INJURY	\$ 500,000
					GENERAL AGGREGATE	\$ 500,000
					PRODUCTS-COMP/OP AGG	\$ 500,000
C	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	95-424-573-00	DEC 1 02	DEC 1 03	COMBINED SINGLE LIMIT (Ea accident)	\$ 500,000
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE	\$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT	\$
					OTHER THAN EA ACC	\$
					AGG	\$
A	EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$	95-424-573-01	DEC 1 02	DEC 1 03	EACH OCCURRENCE	\$ 1,000,000
					AGGREGATE	\$ 1,000,000
						\$
						\$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY				WC STATUTORY LIMITS	OTHER
					E L EACH ACCIDENT	\$
					E L DISEASE EA EMPLOYEE	\$
					E L DISEASE POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

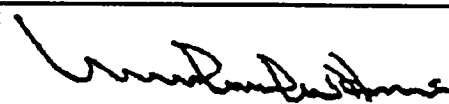
ADDITIONAL INSURED, INSURER LETTER CANCELLATION

TOWN OF SEWALL POINT
1 S SEWEALL'S POINT RD
SEWALLS POINT FL 34996

Attention FAX 772-220-4765

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER IT S AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/29/2002

PRODUCER
USI Northeast
555 Pleasantville Rd. Ste 201 N
Briarcliff Manor NY 10510

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

COMPANIES AFFORDING COVERAGE

COMPANY
A Twin City Fire Insurance Company

INSURED
Strategic Outsourcing, Inc.
PO Box 241448
Charlotte NC 28224
800-572-2412-7020

COMPANY
B

COMPANY
C

COMPANY
D

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS																				
	GENERAL LIABILITY <input type="checkbox"/> COMPREHENSIVE FORM <input type="checkbox"/> PREMISES/OPERATIONS <input type="checkbox"/> UNDERGROUND EXPLOSION & COLLAPSE HAZARD <input type="checkbox"/> PRODUCTS/COMPLETED OPER <input type="checkbox"/> CONTRACTUAL <input type="checkbox"/> INDEPENDENT CONTRACTORS <input type="checkbox"/> BROAD FORM PROPERTY DAMAGE <input type="checkbox"/> PERSONAL INJURY				<table border="1"> <tr><td>BODILY INJURY OCC</td><td>\$</td></tr> <tr><td>BODILY INJURY AGG</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE OCC</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE AGG</td><td>\$</td></tr> <tr><td>BI & PD COMBINED OCC</td><td>\$</td></tr> <tr><td>BI & PD COMBINED AGG</td><td>\$</td></tr> <tr><td>PERSONAL INJURY AGG</td><td>\$</td></tr> <tr><td></td><td></td></tr> <tr><td></td><td></td></tr> </table>	BODILY INJURY OCC	\$	BODILY INJURY AGG	\$	PROPERTY DAMAGE OCC	\$	PROPERTY DAMAGE AGG	\$	BI & PD COMBINED OCC	\$	BI & PD COMBINED AGG	\$	PERSONAL INJURY AGG	\$						
BODILY INJURY OCC	\$																								
BODILY INJURY AGG	\$																								
PROPERTY DAMAGE OCC	\$																								
PROPERTY DAMAGE AGG	\$																								
BI & PD COMBINED OCC	\$																								
BI & PD COMBINED AGG	\$																								
PERSONAL INJURY AGG	\$																								
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS (Private Pass) <input type="checkbox"/> ALL OWNED AUTOS (Other than Private Passenger) <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> GARAGE LIABILITY				<table border="1"> <tr><td>BODILY INJURY (Per person)</td><td>\$</td></tr> <tr><td>BODILY INJURY (Per accident)</td><td>\$</td></tr> <tr><td>PROPERTY DAMAGE</td><td>\$</td></tr> <tr><td>BODILY INJURY & PROPERTY DAMAGE COMBINED</td><td>\$</td></tr> </table>	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE	\$	BODILY INJURY & PROPERTY DAMAGE COMBINED	\$												
BODILY INJURY (Per person)	\$																								
BODILY INJURY (Per accident)	\$																								
PROPERTY DAMAGE	\$																								
BODILY INJURY & PROPERTY DAMAGE COMBINED	\$																								
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				<table border="1"> <tr><td>EACH OCCURRENCE</td><td>\$</td></tr> <tr><td>AGGREGATE</td><td>\$</td></tr> <tr><td></td><td>\$</td></tr> </table>	EACH OCCURRENCE	\$	AGGREGATE	\$		\$														
EACH OCCURRENCE	\$																								
AGGREGATE	\$																								
	\$																								
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	16WNJ76500	03/01/2003	03/01/2004	<table border="1"> <tr> <td><input checked="" type="checkbox"/></td> <td>WC STATU TORY LIMITS</td> <td><input type="checkbox"/></td> <td>OTH ER</td> <td></td> </tr> <tr><td>EL EACH ACCIDENT</td><td>\$</td><td>1,000,000</td><td></td><td></td></tr> <tr><td>EL DISEASE POLICY LIMIT</td><td>\$</td><td>1,000,000</td><td></td><td></td></tr> <tr><td>EL DISEASE EA EMPLOYEE</td><td>\$</td><td>1,000,000</td><td></td><td></td></tr> </table>	<input checked="" type="checkbox"/>	WC STATU TORY LIMITS	<input type="checkbox"/>	OTH ER		EL EACH ACCIDENT	\$	1,000,000			EL DISEASE POLICY LIMIT	\$	1,000,000			EL DISEASE EA EMPLOYEE	\$	1,000,000		
<input checked="" type="checkbox"/>	WC STATU TORY LIMITS	<input type="checkbox"/>	OTH ER																						
EL EACH ACCIDENT	\$	1,000,000																							
EL DISEASE POLICY LIMIT	\$	1,000,000																							
EL DISEASE EA EMPLOYEE	\$	1,000,000																							
	OTHER																								

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

Banner Exteriors, Inc aka Banner Aluminum, Inc
504 S 33rd Street
Fort Pierce, FL 34947 fax 772-466-1427

Limited to Employees Leased to Banner Exteriors, Inc aka Banner Aluminum, Inc by SOI
attn Janese Dagata

CERTIFICATE HOLDER

Banner Aluminum Inc.
3302-1/2 Enterprise Road
Ft. Pierce FL 34960

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES

AUTHORIZED REPRESENTATIVE





MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License. SP02469
Expires September 30, 2003

LOPER, DAVID N
BANNER ALUMINUM INC
504 S 33 ST
FT PIERCE, FL 34947
ALUMINUM/CONCRETE CONTRACTOR

NOTICE OF COMMENCEMENT

Permit No _____
State Of FL

Tax ID No 3537410010000003050000
County Of _____

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement

Legal Description of property and street address, if available CAPTAIN'S COVE
LOT 3

General description of improvements INSTALL HURRICANE PANELS
Owner ROBERT NAEGELE
Address 82 N SEWALLS PT ROAD STUART FL 34996
Owner's interest in site of improvement FREE SIMPLE

Fee Simple Title holder (if other than owner) _____

Address _____

Contractor BANNER ALUMINUM Phone# 466-7210
Address 504 S 33RD ST FT PIERCE FL 34947 Fax# 466-1427

Surety _____ Phone# _____
Address _____ Fax# _____
Amount of Bond \$ _____

Lender _____ Phone# _____
Address _____ Fax# _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713 13 (1) (a) 7 , Florida Statutes

Name _____ Phone# _____
Address _____ Fax# _____

In addition to himself, owner designates DAVID N LOPER of BANNER ALUMINUM (Phone# 466-7210 Fax# 466-1427) to receive a copy of the Lienor's Notice as provided in Section 713 13(1)(b), Florida Statutes

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified _____

Ruth M Naegele
OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF ST LUCIE
Sworn to and subscribed before me this 30th day of JULY, 2003, by RUTH M NAEGELE, who is personally known to me or who has produced _____ as identification

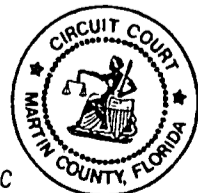
(seal)



Janese E Dagata
My Commission DD181214
Expires May 16, 2007

Janese E Dagata
SIGNATURE OF NOTARY
JANESE E DAGATA
TYPE OR PRINT NAME OF NOTARY
NOTARY PUBLIC TITLE
COMMISSION NUMBER

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
BY Janese E Dagata DC
DATE 8-1-03





SBCCI PUBLIC SAFETY TESTING AND EVALUATION SERVICES INC.

900 Montclair Road, Suite A; Birmingham, Alabama 35213-1206

www sbccies.org

a Participating Member of the NES, Inc

Evaluation Reports are the opinion of the Committee on Evaluation, based on the findings, and do not constitute or imply an approval or acceptance by any local community The Committee, in review of the data submitted, finds that in their opinion the product, material, system, or method of construction specifically identified in this report conforms with or is a suitable alternate to that specified in the Standard and International Codes, **SUBJECT TO THE LIMITATIONS IN THIS REPORT.**

The Committee on Evaluation has reviewed the data submitted for compliance with the *Standard Building Code*, the *SBCCI Standard for Hurricane Resistant Residential Construction SSTD 10*, the *Florida Building Code-Building*, and the *International One and Two Family Dwelling Code* and submits to the Building Official or other authority having jurisdiction the following report The Committee on Evaluation, SBCCI PST & ESI and its staff are not responsible for any errors or omissions to any documents, calculations, drawings, specifications, tests or summaries prepared and submitted by the design professional or preparer of record that are listed in the Substantiating Data Section of this report Portions of this report were previously included in Evaluation Report #2110 Copyrighted © 2003 SBCCI PST & ESI

REPORT NO 2304

EXPIRES See current SBCCI PST & ESI EVALUATION REPORT LISTING

CATEGORY DOORS AND WINDOWS

SUBMITTED BY

TOWN AND COUNTRY INDUSTRIES, INC
400 WEST McNAB ROAD
FORT LAUDERDALE, FLORIDA 33309

1. PRODUCT TRADE NAME

- 11 0 040 Storm Panel
- 12 0 050 Storm Panel
- 13 0 060 Storm Panel
- ~~14 6 8 Accordion Shutter~~
- 15 HR Accordion Shutter
- 16 Super 50 Roll-Up Shutter
- 17 0 0232" Steel Storm Panels
- 18 0 0285" Steel Storm Panels
- 19 0 085 Clear Polycarbonate Storm Panel

2 SCOPE OF EVALUATION

- 21 Impact Resistance under SSTD 12-99
- 22 Structural - Transverse Wind Loads

3 USES

Town and Country Storm Panels and Shutters are used to protect glazed openings and doorways from windborne debris

4 DESCRIPTION

4 1 General - Models

4 1 1 0 040 Storm Panel

The panel is 0 040 inch (1 0 mm) thick corrugated aluminum alloy sections conforming with 3004-H34 Aluminum Alloy with a minimum yield strength of 25 ksi (172 MPa) The full panels are 14 375 inches (365 mm) wide and 2 inches (51 mm) deep Half panels 8 332 inches (212 mm) wide and 2 inches (51 mm) deep are also available Panels are overlapped for unlimited width openings Extrusions for mounting panels are 6063-T6 aluminum alloy Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track See Tables 1 and 2 of this report for allowable loads and maximum and minimum spans

4 1 2 0 050 Storm Panel

The panel is 0 050 inch (1 3 mm) thick corrugated aluminum alloy sections conforming with 5052-H32 Aluminum Alloy with a minimum yield strength of 23 ksi (159 MPa) The full panels are 14 375 inches (365 mm) wide and 2 inches (51 mm) deep Half panels 8 332 inches (212 mm) wide and 2 inches (51 mm) deep are also available Panels are overlapped for unlimited width openings Extrusions for mounting panels are 6063-T6 aluminum alloy Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track See Tables 1 and 2 of this report for allowable loads and maximum and minimum spans

4 1 3 The 0 060 Storm Panel

The panel is 0 060 inch (1 5 mm) thick corrugated aluminum alloy sections conforming with 3004-H34 Aluminum Alloy with a minimum yield strength of 25 ksi (172 MPa)

The full panels are 14 375 inches (365 mm) wide and 2 inches (51 mm) deep Half panels 8 332 inches (212 mm) wide and 2 inches (51 mm) deep are also available Panels are overlapped for unlimited width openings Extrusions for mounting panels are 6063-T6 aluminum alloy Mounting extrusions are "h" header, "U" Header, Build-Out "U" Header, Stud Angle, Angle, C-Track, Build-Out F-Track, "F" Track, and "F" Angle-Track See Tables 1 and 2 of this report for Allowable Loads and Maximum and Minimum Spans

4 1 4 6 8 Accordion Shutters

The 6 8 Accordion Shutters are 6063-T6 Aluminum Alloy Slats with interlocking male and female knuckles The typical slats are 4 603 inches (117 mm) long and 0 054 inch (1 4 mm) thick The alternate slats are 4 510 inches (115 mm) long and 0 054 inches (1 4 mm) thick The coverage of two successive slats when the slats are fully extended is 6 8" (173 mm) Extrusions for mounting the Accordion Shutters are 6063-T6 Aluminum Alloy Mounting Extrusions are Wall Headers, Build out Wall Header, Headers, Wall Sill, Base Sill, and Base Track See Table 3 of this report for Allowable Loads and Maximum Spans

4 1 5 HR Accordion Shutters

The HR Accordion Shutters are 6063-T6 Aluminum Alloy Slats with interlocking male and female knuckles The slats are 4 596 inches (117 mm) long and 0 060 inch (1 5 mm) thick The coverage of two successive slats when the slats are fully extended is 5 62 inches (143 mm) Extrusions for mounting the Accordion Shutters are 6063-T6 Aluminum Alloy Mounting Extrusions are Wall Headers, Headers, Base Sill, and Base Track See Table 3 of this report for Allowable Loads and Maximum Spans

4 1 6 Super 50 Roll-Up Shutters

The Super 50 Roll-Up Shutters are assembled from interlocking Extruded Aluminum Slats The Slats are 6036-T6 Aluminum Alloy with a thickness of 0 054 inches (1 4 mm) and a cross section of 2 410 inches (61 mm) wide by 0 540 inches (14 mm) deep Extrusions for mounting are 6063-T6 Aluminum Alloy The shutter is rolled up into a cover at the top of the opening when not in use See Table 4 of this report for Allowable Loads and Maximum Spans

4 1 7 0 0232" Steel Storm Panel

The 0 0232" steel storm panels are bare metal thickness of 0 0232 inch (0 6 mm) corrugated steel sections conforming with ASTM A 653 SS Grade 40 with a minimum yield strength of 33 ksi (228 MPa) and galvanized under ASTM A G 60 The full panels are 14 375 inches (365 mm) wide and 2 inches (51 mm) deep Panels are overlapped for unlimited width openings They are mounted directly to the wall or by the use of mounting extrusions Extrusions for mounting panels are 6063-T6 aluminum alloy Mounting extrusions are "h" Header, "U" Header, Build-out "U" Header, Stud Angle, Angle, C-Track, Build out F-Track, "F" Track, "F" Angle-Track See Tables 1 and 5 of this report for minimum allowable panel lengths and allowable loads

4 1 8 0 0285" Steel Storm Panel

The 0 0285" steel storm panels are bare metal thickness of 0 0285 0 0478 inch (0 7 mm) corrugated steel sections conforming with ASTM A 653 SS Grade 33 with a minimum yield strength of 33 ksi (228 MPa) and galvanized under ASTM A G 60 The full panels are 14 375 inches (365 mm) wide and 2 inches (51 mm) deep Panels are overlapped for unlimited width openings They are mounted directly to the wall or by the use of mounting extrusions Extrusions for mounting panels are 6063-T6 aluminum alloy Mounting extrusions are "h" Header, "U" Header, Build-out "U" Header, Stud Angle, Angle, C-Track, Build-out F-Track, "F" Track, "F" Angle-Track See Tables 1 and 5 of this report for minimum allowable panel lengths and allowable loads

4 1 9 0 085 Clear Polycarbonate Storm Panel

The clear polycarbonate storm panels are used in conjunction with the aluminum storm panels The panels are 0 085 inches (2 mm) thick, 8 inches (203 mm) wide, and 2 inches (51 mm) deep Panels are fabricated from Sheffield Plastic's HYZOD (SBCCI PST & ESI 9564D) A minimum of one full width aluminum panel is required to be installed immediately adjacent to each side of the polycarbonate panel See Tables 1 and 6 of this report for minimum allowable panel lengths and allowable loads

4 2 Large Missile Impact Resistance under SSTD 12

The Town and Country Storm Panels and Shutters were tested for large missile impact resistance under SSTD 12 using 9 foot (2 7 m) long 9 pound (4 kg) projectiles traveling 50 feet (15 m) per second The panels tested passed the large missile impact test The panels listed in this report may be used to protect glazed openings and doorways from windborne debris in any wind zone region

5 INSTALLATION

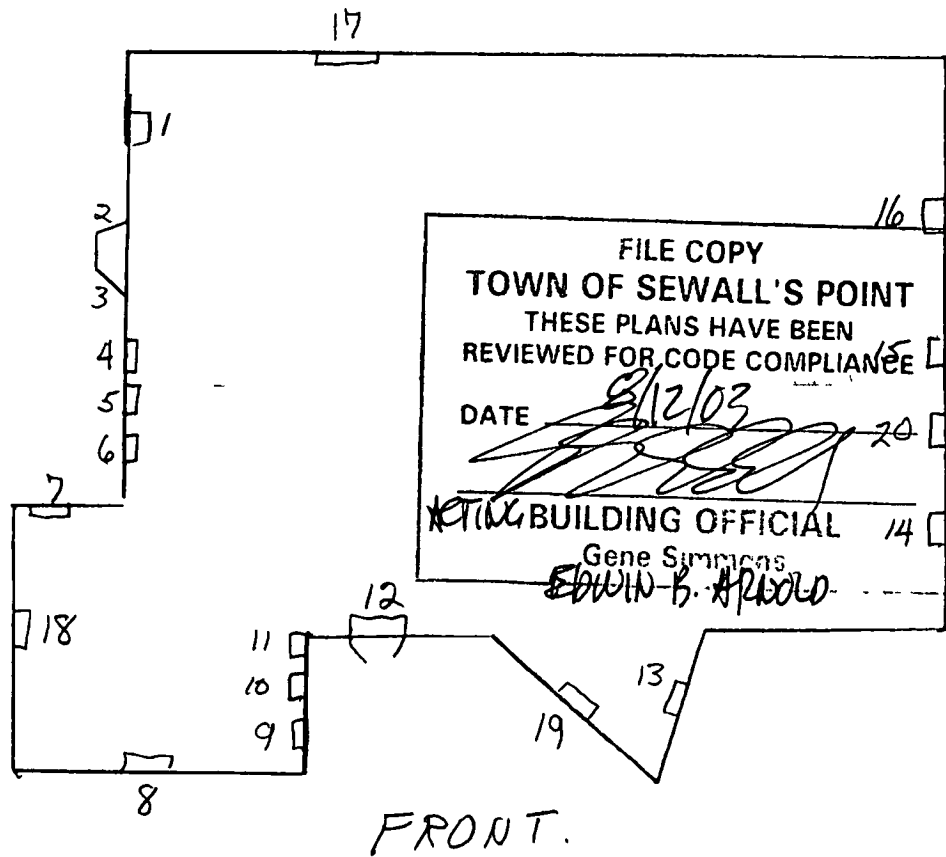
The manufacturer's published installation instructions and this report shall be strictly adhered to and a copy of these instructions shall be available at all times on the job site during installation The instructions within this report govern if there are any conflicts between the manufacturer's instructions and this report

BANNER ALUMINIUM

TYPE CONSTRUCTION _____
 BLDG HEIGHT 0-30
 EXPOSURE B C FOR ELEV
 VEL PRESSURE 40.7
 130/140 140

HOMEOWNERS NAME NAegele
 ADDRESS OF JOB 82 N SEWALLS PT. Rd
 CITY _____

OPENING	OPENING SZ	PNL OR ACC	ANCHOR	SPACING	ZONE	SHUTTER SPAN	INSTALL DTL	NOTES
1		ACC	TAP CON	18"	EYT	60"	C-2	
2		ACC	"	18"	"	48	"	
3		"	"	18"	"	48	"	
4		"	"	18"	"	42	"	
5		"	"	18"	"	42	"	
6		PNL	PAN MATE	12"	"	42		
7		PNL	"	12"	"	60		
8		ACC	TAP CON	18	4	60	C-2	
9		ACC	"	18	4	60	"	
10		ACC	"	18	4	60	"	
11		PNL	PAN MATE	12	4	42		
12		PNL	"	12	4	72		
13		ACC	TAP CON	18	4	72	C-2	
14		"	"	18	4	72	"	
15		PNL	PAN MATE	12	4	60		

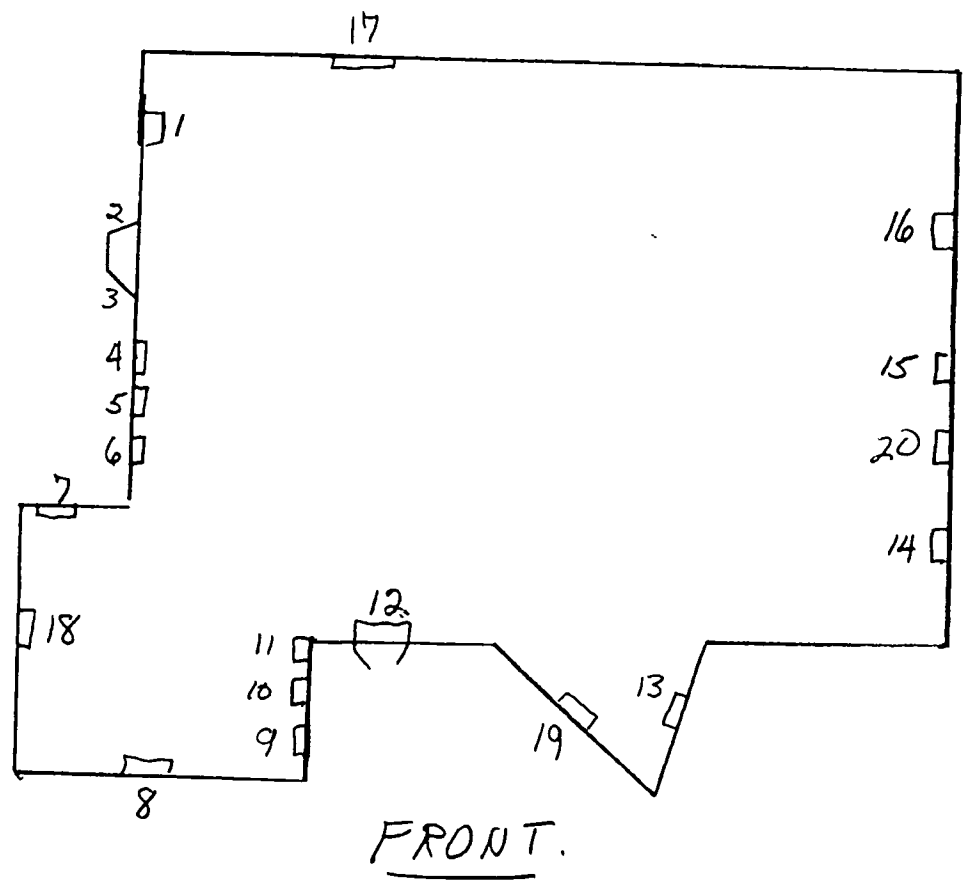


HOMEOWNERS NAME
 ADDRESS OF JOB
 CITY

NAegele
82 N SEWALLS PT Rd
STUART FI

BLDG HEIGHT 0-30
 EXPOSURE B
 VEL PRESSURE 40.7
 130/140 140

OPENING	OPENING SZ	PNL OR ACC	ANCHOR	SPACING	ZONE	SHUTTER SPAN	INSTALL DTL	NOTES
16		PNL	PAN MATE	12"	EXT	60"		
17		ACC	"	18"	"	60"	C-2	
18		ACC	"	"	"	60	C-2	
19		ACC	"	"	"	60	C-2	
20		ACC	"	"	"	48	C 2	
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/6, 20083 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6441	BARON	ROUGH ELECTRIC	PASS	VENTING
	25 FIELDWAY	ROUGH PLUMBING	FAIL	
	O/B			INSPECTOR PAUL
6432	PAWCETT	FENCE FINAL	PASS	CLOSE
	20 PALM ROAD			FILE
	JUSTWOOD FENCE			INSPECTOR PAUL
6390	NEAGELE	FINAL	PASS	CLOSE
	82 N. SEWALL'S	SHUTTER		FILE
	BANNER			INSPECTOR: PAUL
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	SIMONS	TREE	PASS	PROHIBITED
	28 RIO VISTA			SARCIE
				INSPECTOR PAUL
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
TREE	ARCH	TREE	PASS	TREE DISEASED
	18 PALM ROAD			
				INSPECTOR PAUL
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6131	PRETZER	LATHS	PASS	ENTRY LATHS
	104 HENRY SEWALL			
				INSPECTOR PAUL
PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6251	TAYLOR	ROUGH ELEC	FAIL	SEPARATELY DECISION
	22 E. HIGH POINT			SERVICE
	LOYD SEWALL			INSPECTOR PAUL
OTHER:				

CORRESPONDENCE

JAMES E. PAIT, P.E.

#3521

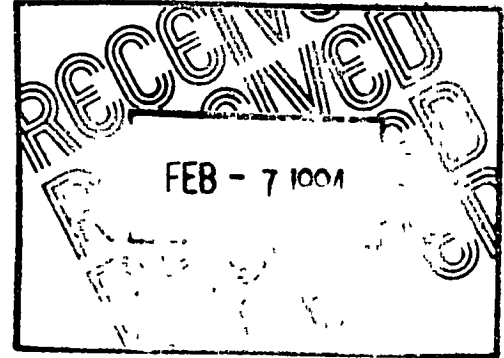
Consulting Engineer

P O Box 1212, Stuart, Florida 34995
(407) 283 9218

February 7, 1994

Mr Dale Brown
Building Official
Town of Sewalls Point

RE Bob Naegele Residence
82 N Sewalls Point Road




Dear Mr Brown

As requested by Mr Naegele, I have reviewed the proposal that 16" Sq masonry column block be used for the above referenced project in lieu of 12" Sq formed columns

It is my professional opinion that this method would be equal to or better than the formed columns. In essence the masonry block become permanent forms for poured-in-place columns which exceed the original cross-sectional area of 144 Sq inches by 15 Sq inches. The masonry and stucco will also offer additional protection from the elements. The columns should be reinforced as per the permit drawings and inspection holes provided to allow correct positioning of the vertical bars and dowels. The column block may be shifted approximately 5/8" in either direction without changing the position of the original columns. See the attached sketch for comparison.

If I can provide any additional information regarding this project, please do not hesitate to contact me

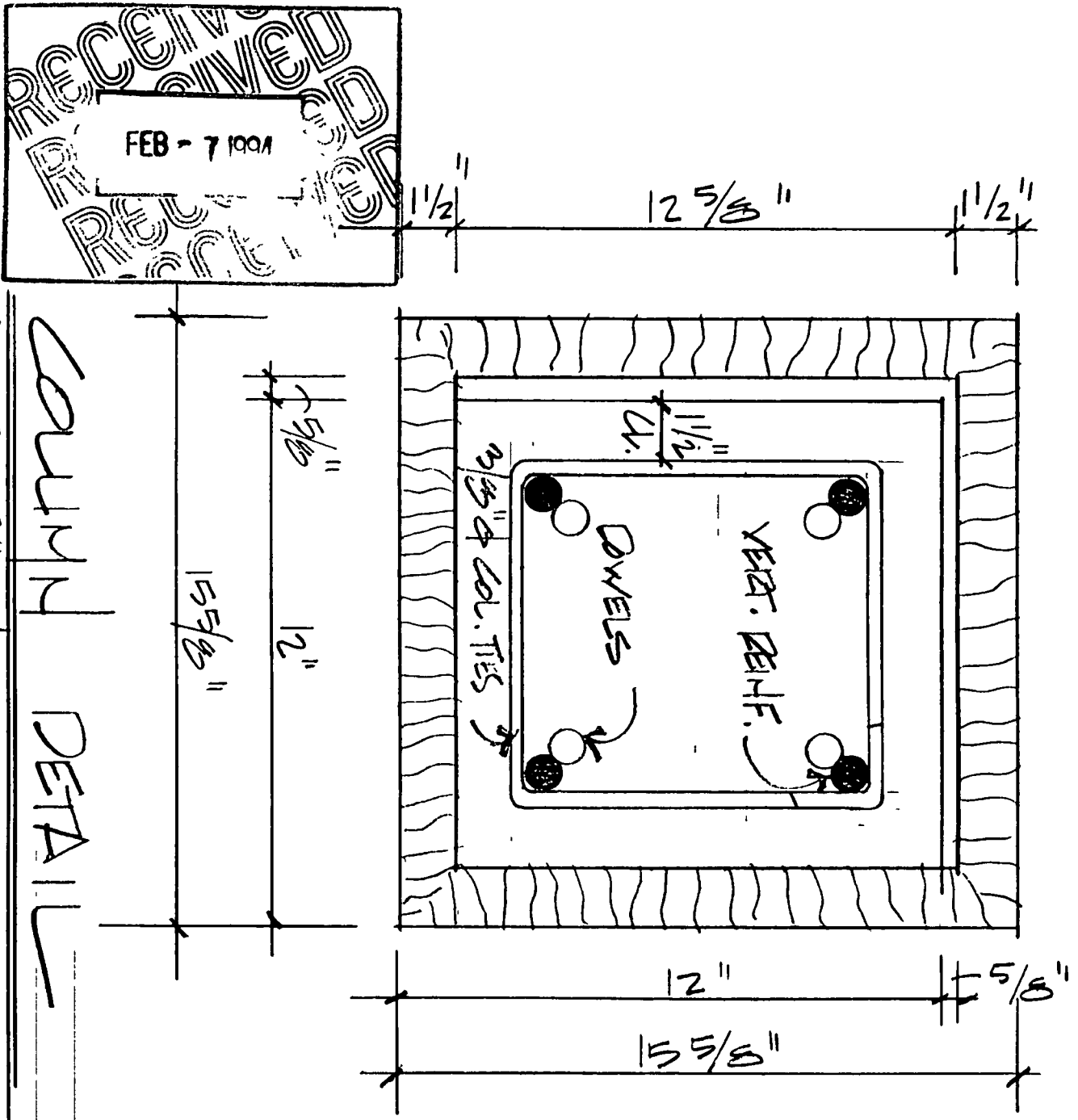
Sincerely,



James E Pait, P E

JEP/sp

POB HAZEL RESIDENCE



COLUMN DETAIL

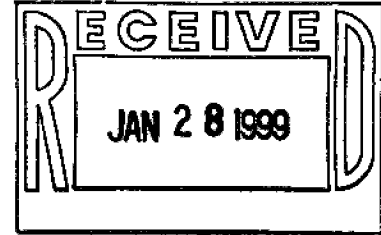
SCALE: 3" = 1'-0"

[Handwritten Signature]
2-7-94



Federal Emergency Management Agency

Region IV
3003 Chamblee-Tucker Rd
Atlanta, GA 30341



Mr Dale Brown,
Building Official
Town of Sewall Point
1 South Sewall's Point Road
Stuart, FL 34996

Re File Nos IA96-269 and IA97-675

Dear Mr Brown

A review of National Flood Insurance Program insurance applications reveals that structures in your community have been rated below legally required elevations

Copies of the applications indicating the various structure locations and elevations used for rating are enclosed

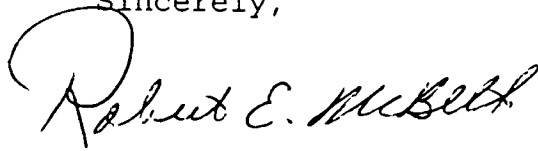
Please review your records to determine whether the structures in question are in compliance with your Floodplain Management Regulations

- 1 Error in Insurance Application - If the elevation certificate with application is in error, provide this office with copy of correct elevation from your files (Section 60 3(b)(5) of National Flood Insurance Program regulations requires participating communities to record lowest floor elevations in conjunction with the building permit/inspection process)
- 2 Variance Issued on Structure - If the elevation certificate is correct and a variance has been issued to allow construction below the base flood elevation, complete the enclosed variance report form and submit to this office
- 3 Structure in Violation of Floodplain Management Regulations - If the elevation certificate is correct and no valid variance has been issued on the structure, appropriate code violation action must be taken, including official citation and imposition of penalty clause in accordance with your local code (attached is a checklist of possible violations pertaining to this structure which have possibly caused the additional insurance premiums)

Your prompt attention to this important matter will be most appreciated. Please advise within thirty (30) days of the appropriate action taken on the subject structures. (When responding, please reference the above policy/file number)

Should you need additional information or clarification, you may contact Janice Mitchell by telephone at (770) 220-5441

Sincerely,

A handwritten signature in cursive script that reads "Robert E. McBeth". The signature is written in black ink and is positioned above the typed name.

A Todd Davison
Director, Mitigation Division

Enclosures

JON E CHICKY, SR
Mayor

ROBERT M WIENKE
Vice Mayor

DAWSON C GLOVER, III
Commissioner

CYRUS KISSLING
Commissioner

DONALD B WINER
Commissioner

TOWN OF SEWALL'S POINT



JOAN H BARROW
Town Clerk

WILBUR C KIRCHNER
Chief of Police

RICHARD L MACEY
Building Inspector

JOSE TORRES, JR
Maintenance

April 7, 1999

A Todd Davison
Director, Mitigation Division
F E M A Region IV
3003 Chamblee-Tucker Road
Atlanta, GA 30341

Re File # IA96-269 (82 North Sewall's Point Road)

Dear Sir

I have inspected the subject property for possible violations of flood plan management

Be advised that the lowest floor elevation is constructed at 18 00 NGVD which is above the minimum requirement

Although the a/c enclosure appears to be of solid construction it is surrounded by properly-built breakaway walls and the platform is elevated to at least 11 00 NGVD

A copy of the Elevation Certificate and wall sections are included for your information

Sincerely,

Patrick Collins
Chief Building Official
BU000979

cc: [REDACTED]



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail police@sewallspoint.org

82 N. SEWALL'S POINT RD.

SWW
Sewalls Point,
120164

FILE COPIES

Checklist of Possible Violations

File No IA96-269

~~SWW~~

Lowest floor below required base flood elevation
[Reference 44 CFR, 60 3(c)(2 & 3)]

Solid perimeter walls (A Zone) - No openings
[Reference 44 CFR, 60 3(c)(5)]

Machinery or equipment, i.e., hot water heater,
furnace, air conditioning compressor, etc., located below the base flood elevation [Reference 44
CFR, 60 3(a)(3)(iv)]

Uses below elevated floor, other than building
access, parking or limited storage [Reference 44 CFR, 60 3(c)(2 & 3) and definition of "lowest
floor," Part 59 1]

Non-breakaway walls in Coastal High Hazard Area
(V Zone) [Reference 44 CFR, 60 3(e)(5)]

Substantially improved structure not elevated to
base flood elevation [Reference 44 CFR, 60 3(c)(2 & 3), and definition of "substantial
improvement," Part 59 1]

Required "certifications" not submitted for
V Zone building foundation, breakaway walls, floodproofing, elevation, etc [Reference
44 CFR, 60 3(e)(4), (e)(5)(i & ii), (c)(4), and (b)(5)(i, ii & iii)]

ZONE V13, BUILT 94
SF, 2 FLR

BFE 10, LF 5.2

ENC 2900

~~N/A~~ A/C + Ht pump below

Solid wall

PIS

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

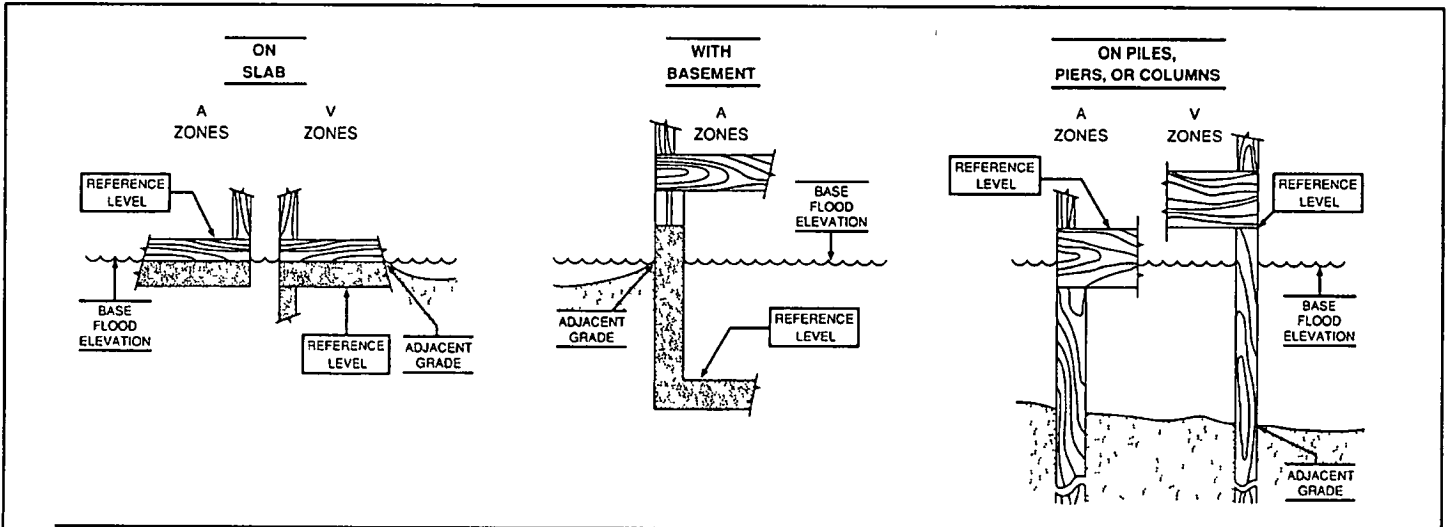
Reference level diagrams 6, 7 and 8 - Distinguishing Features—If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U S Code, Section 1001.

CERTIFIER'S NAME JOHN J. DEDMAN	LICENSE NUMBER (or Affix Seal) LS 3010 FL.
TITLE PRESIDENT	COMPANY NAME JUPITER SURVEYING, INC.
ADDRESS 609 NORTH HERBURN AVE., SUITE 205, JUPITER, FLORIDA 33458	CITY STATE ZIP JUPITER FLORIDA 33458
SIGNATURE <i>[Signature]</i>	DATE PHONE AUGUST 25, 1994 407-744-4594

Copies should be made of this Certificate for. 1) community official, 2) insurance agent/company, and 3) building owner

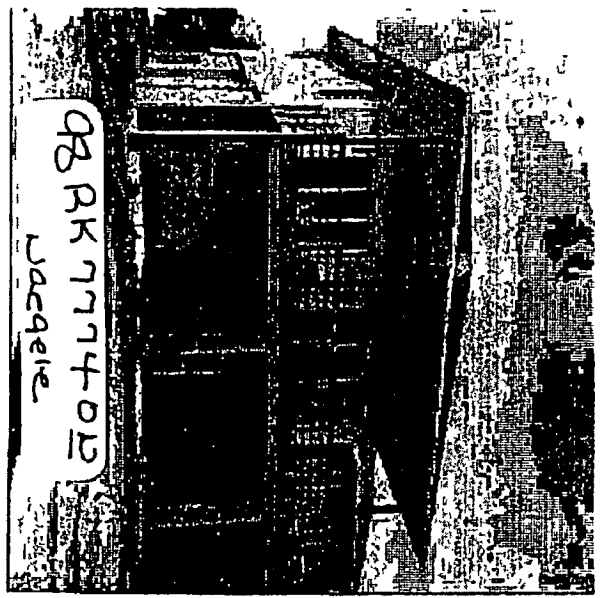
COMMENTS _____



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones. Elevations for all A Zones should be measured at the top of the reference level floor. Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.



98RK77740N
Nacsele



NAME Last Name Condo Association Name FIRST NAME Middle Name or Initial and Co-applicant's Name (if applicable)
 Please print **Noegel, Robert J & Ruth M**
 Mailing address **82 N Sewalls Point Road Stuart, FL 34996**
 Location of property **same**

County/Jurisdiction **Martin** Inside city limits? Comm No **120164** Panel No **AW1** Suffix **D** Applicant's Soc Sec Tax ID No **287223803** Telephone Number **4072209279**

Program participation Regular Emergency Flood Zone (Regular program only) **V13** Is building Post FIRM construction or substantial improvement? Is building Pre-FIRM risk being rated as Post FIRM?

Complete the Date built/start appropriate of construction (existing building) **1/94** Date of substantial improvement/damage **—** Manufactured (Mobile) Home if inside park date facilities installed **—** If outside park date placed on permanent foundation **—**

Applicant is Owner Building occupancy Single family 2-4 family Other residential Non-residential (including hotel/motel) Describe occupancy and indicate # of units if not 1-4 family **1/1/94**

Is this building in course of construction? Is dwelling applicant's principal residence? Is there more than one building at this location? If yes and coverage is desired refer to the Flood Manual rules regarding appurtenant structures. **separate policy may be required**

No. of floors in entire building (including basement/enclosed area if any) or building type 1 floor 2 floors 3 or more floors Coverage is for Condo Association Condo unit Rowhouse/townhouse Entire building Manufactured/mobile home on foundation

Basement below grade on all 4 sides. None Finished Unfinished Is there any equipment (furnace air conditioning heat pump hot water heater etc) in the basement or attached garage? Yes No

Is building elevated (includes crawl space buildings)? Yes No If yes attach photos of the front and rear of the building and complete Section I on reverse Estimated replacement cost (single family separate residence and all other buildings) \$ **250,000**

LOCATION OF CONTENTS OWNED BY APPLICANT Basement only (BO) (limited coverage) Basement & above (BA) Lowest floor only - above ground level (FF) Lowest floor above ground level & higher floors (FFA) Full floor or more (SF) Manufactured/mobile home (MH)

Are contents household personal property? Yes No List in Remarks contents other than household personal property **See Remarks**

RESIDENTIAL CONDO ASSOC ONLY # of Stories **1** No of units **1** Residential Non-residential Sq ft area **5000** Total **5000** Non-residential RC **1** Alterations and replacement cost determination or a Commercial Cost Guide Worksheet, F7-2508

MANUFACTURED/MOBILE HOME ONLY Make **—** Model **—** Serial Number **—** **DEC 19 1994** Is home properly anchored? Yes No

Is building flood-proofed? Yes No **V ZONES ONLY** Does base flood elevation include effects of wave action? Yes No

If elevation certificate previously submitted attach Dec Page or give State Farm policy number to which certificate was attached **—**

If Post-FIRM construction in Zones A A1-A30 AE, AO AH V V1-V30 VE or if Pre-FIRM construction is elevation-rated submit elevation certificate and complete the elevation data below See Flood Manual for guidance

Lowest floor elevation **16.5** Base flood elevation **5.2** Elevation difference (to nearest foot + or -) **10** **10-5** Photos received and reviewed? Yes No

Is coverage required for disaster assistance? Yes No If yes check government agency **SBA FEMA FHA HHS Other** Is property to be insured owned by state government? Yes No

Does applicant qualify as a small business? Yes No Policy number of other State Farm insurance on same property **TBA**

COVERAGE	TOTAL AMOUNT OF INSURANCE	BASIC LIMITS		ADDITIONAL LIMITS (REG PROGRAM ONLY)		PREMIUM SUBTOTAL (Basic + Add'l)	DED DISC Annual Prem Reduction	TOTAL PREMIUM
		Amount of Insurance	Rate	Amount of Insurance	Rate			
Building	185,000.00	50,000.00	1.49	135,000.00	1.08	494.00	500.00	494.00
Contents	60,000.00	15,000.00	1.90	45,000.00	1.23	239.00	500.00	239.00
DEDUCTIBLES Building \$ 500.00 Contents \$ 500.00						Annual subtotal		733.00
Community Rating Class						Three year subtotal (annual X three)		00
						Community rating system discount		00
						Expense constant +		45
						Federal Policy Fee (Policy Service Fee) +		25.00
						TOTAL PREMIUM PAYABLE - (must be paid in full)		803.00

Original Insured Mortgagee Copy Insured Mortgagee Is policy required by mortgagee? Yes No

UTILITY INTEREST (Give Name and Address) Add Delete Change to Mtg Loss payee ZIP Code Loan Number

(Give Name and Address) Add Delete Change to Mtg Loss payee Svc agt ZIP Code Loan Number Mortgagee Subset Code

INFLATION COVERAGE AUTHORIZATION (Applicable unless rejected below - not applicable for Preferred Risk) Agent's Code Stamp **244C 218665943**

I understand that my Flood Policy will automatically increase its protection limits at each renewal date until the maximum amount of coverage permitted by the Flood Program is reached. The percentage of increase will be as shown in the appropriate index published during the previous policy period (the Inflation Coverage Index for building coverage and the Consumer Price Index for contents coverage). If at my request the building or contents limit is changed during the previous policy period the effective date of that change will be used in determining the percentage of increase. This does not authorize State Farm to reduce my policy limits due to a decrease in the index unless I specifically request it.

I reject Inflation Coverage **9770 F24401032-19**

I am applying for the insurance indicated and the statements on this application are correct. I understand that the premium shown above may not comply with the Federal Emergency Management Agency's rules and rates and may be revised.

Date and Time of Application **10/17/94 9:00 am** pm

Date and Time of Full Premium Payment **10/17/94 9:00 am** pm

SECTION I ELEVATED BUILDINGS

Lowest floor which includes living area is off ground by means of Piles Posts Piers Columns Solid perimeter walls Parallel shear walls Fill

1 Does the area below the elevated floor contain machinery or equipment? Yes No If yes check the appropriate items Furnace Heat pump Washer Freezer Air conditioner Hot water heater Dryer

List any other machinery or equipment servicing the building _____ Note There is limited coverage below the lowest elevated floor - review the policy

2 Is the area below the elevated floor enclosed? Yes No If yes answer the following questions Fully enclosed Partially enclosed (describe) = see photo

Area is Finished (20 or more linear feet of finished walls) Unfinished

Type of walls Breakaway Lattice Solid perimeter

Area is used for Parking/storage/access Crawl space Other (describe) Garage

Square foot area of enclosure **2900** Number of feet elevated floor is above the ground **13'**

SECTION II ASSIGNMENTS

Policy will be assigned to _____ Soc Sec / Tax ID No _____

Signature of current insured X _____

LOSS HISTORY INFORMATION

PREFERRED RISK ONLY Flood loss claims information - List all payments due to flood losses and/or disaster relief No losses

Date of loss	Amount \$	Date of loss	Amount \$	Date of loss	Amount \$

REMARKS: **INCOMPLETE**

also need photos of rear, per agent,

SPECIFIC RATING REPORTING FORM AND RATING WORKSHEET

IA96-269

ELEVATED BUILDINGS

WYO Company State Farm
Underwriter: Alan Jenkins

Date: 12-20-94
Application No: 98-RK-7774-0
Applicant: Naegle, Robert

BUILDING INFORMATION

FIRM Zone: V13
Elevation of Lowest Elevated Floor: 16.5
Base Flood Elevation: 10.0
Elevation of Enclosure: 5.2
Difference: -5
Size of Enclosure: _____
Value of Building M&E (if Over \$5,000): _____
Number of "Sets" of Appliances (if Over One): _____
Occupancy Type: single family
Building Type: 2 incl. encl.
Zones V1-V30, V, and VE
Replacement Cost to Coverage Ratio: 74%
BFE Adjusted for Wave Height? NA
FIRM BFE Includes Wave Height? NA

PROPERTY ADDRESS

82 N. Sewalls Point Rd.
Stuart, FL 34996

Sewalls Point, FL
~~Martin St., FL~~

COMMUNITY No.: 120164

CONSTRUCTION DATE: 1994

RATE CALCULATIONS

BUILDING:

	Basic Coverage Rate		Additional Coverage Rate
Step 1 - Starting Rate	<u>1.08</u>	JAN 12 RECD	<u>1.08</u>
Step 2 - Enclosure Loading	+ <u>.41</u>		
Step 3 - M&E Loading	+ <u>.12</u>		
Total:	<u>1.49 / 1.61</u>		<u>1.08</u>

CONTENTS:

	Basic Coverage Rate		Additional Coverage Rate
Step 1 - Starting Rate	<u>.25</u>		<u>.25</u>
Step 2 - Appliance Loading	+		
Total:	<u>.25</u>		<u>.25</u>

- Copy of Community Issued Variance Enclosed
 Copy of Statement That "No Variance Was Required" Enclosed

Comments: There is a water heater & an air conditioner in the enclosure. We should be adding a loading.

BY V. J. Gerley DATE 1-2-93

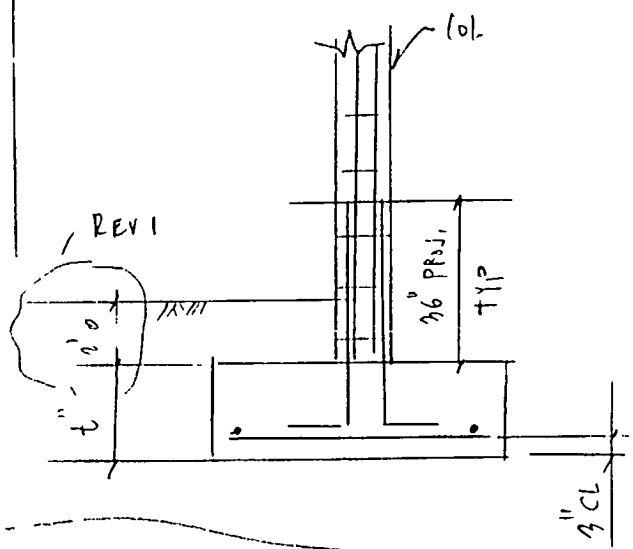
SHEET 2 OF

PROJECT MARIELE RESIDENCE

SUBJECT

FOUNDATION SCHEDULE

NO	SIZE	REINF	T/BL
F1	7'-6" x 7'-6" x 2'-0"	8#6 BOT F.W.	(-) 2'-0"
F2	5'-6" x 5'-6" x 1'-6"	6#5 BOT F.W.	(+) 2'-0"
F3	5'-6" x 8'-0" x 1'-6"	#5 @ 12" BOT F.W.	(-) 2'-0"
F4	9'-0" x 8'-0" x 1'-6"	#5 @ 12" BOT F.W.	(-) 2'-0"



TOP OF FOOTING LOWERED TO 2'-0" BELOW EXISTING GRADE TO CONFORM WITH SOUTH FLORIDA BUILDING CODE SCOUR ELEVATION REQUIREMENTS

REV 1

12-16-93

BY V. J. Gerley

DATE 12-13

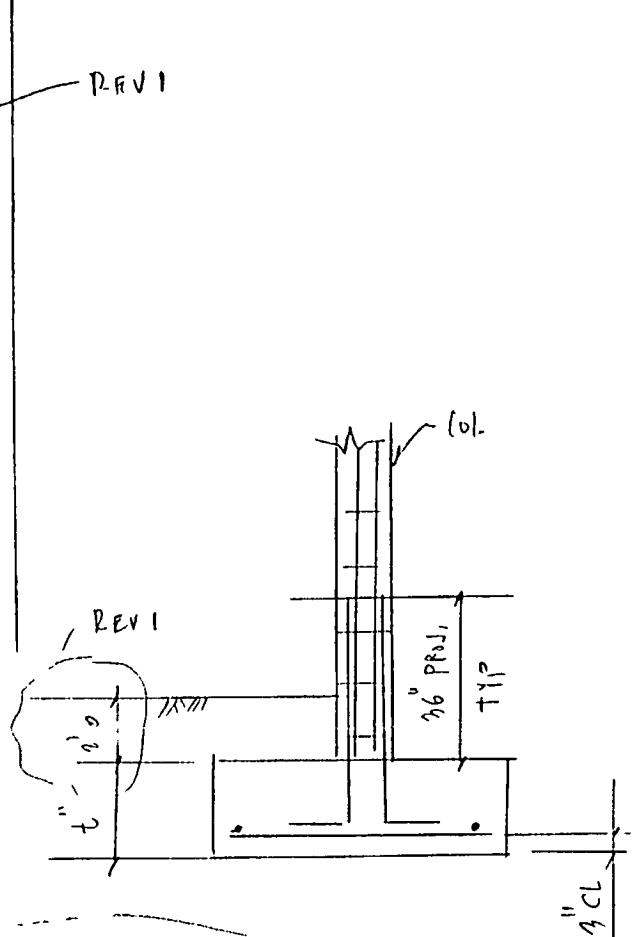
SHEET 2 OF

PROJECT NADVILLE RESIDENCE

SUBJECT

FOUNDATION SCHEDULE

NO	SIZE	REIN	T/BL
F1	7'-6" x 7'-6" x 2'-0"	#8 @ 6" BOT F.W.	(-) 2'-0"
F2	5'-6" x 5'-6" x 1'-6"	#5 @ 5" BOT F.W.	(+) 2'-0"
F3	5'-6" x 8'-0" x 1'-6"	#5 @ 12" BOT F.W.	(-) 2'-0"
F4	9'-0" x 8'-0" x 1'-6"	#5 @ 12" BOT F.W.	(-) 2'-0"



TOP OF FOOTING LOWERED TO 2'-0" BELOW EXISTING GRADE TO CONFORM WITH SOUTH FLORIDA BUILDING CODE SCOUR ELEVATION REQUIREMENTS

REV 1

12-16-13

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

R1 4-15-93

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334 2600

BY V. J. GERLEY

DATE 4-15-93

SHEET

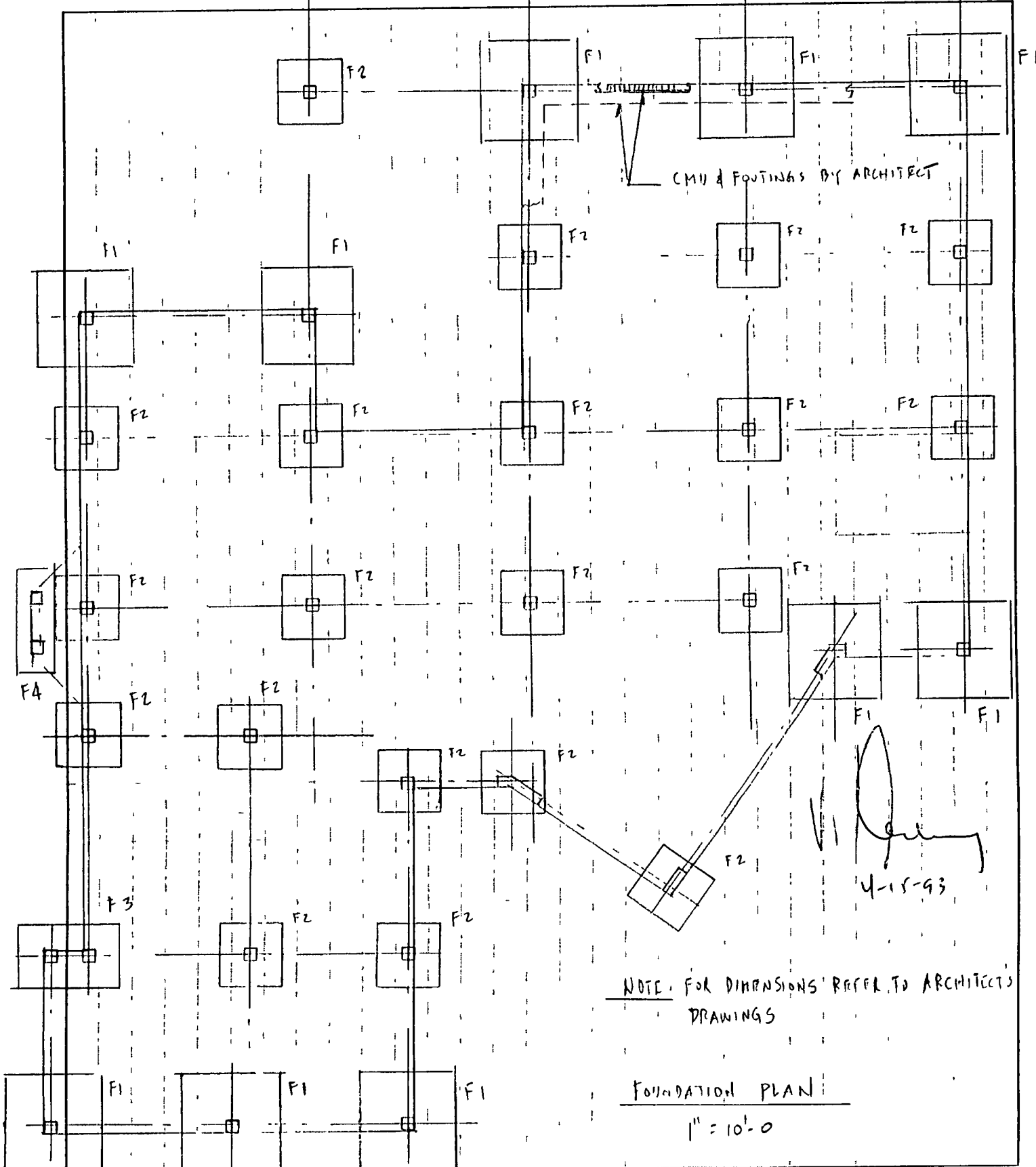
1

OF

PROJECT

ANGELA RESIDENCE

SUBJECT



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334 2600

BY V. J. GERLEY

DATE 4-2-93

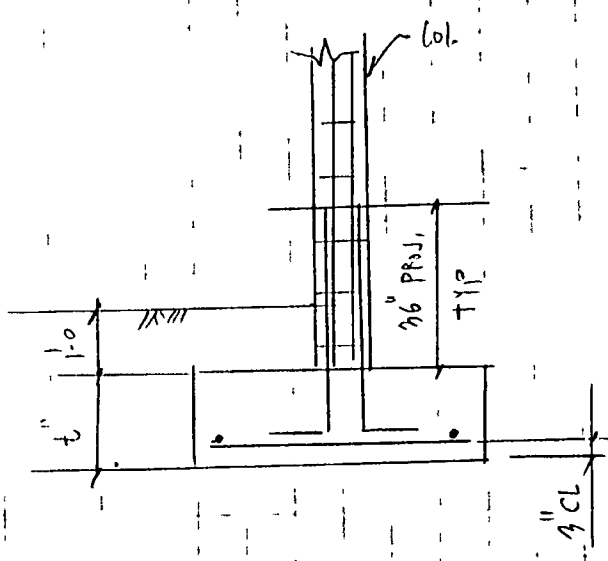
SHEET 2 OF

PROJECT NAPHELE RESIDENCE

SUBJECT

FOUNDATION SCHEDULE

MR	SIZE	REINF	T/FL
F1	7'-6" x 7'-6" x 2'-0"	8#6 Bot F.W.	(-) 1'-0"
F2	5'-6" x 5'-6" x 1'-6"	6#5 Bot E.W.	(-) 1'-0"
F3	5'-6" x 8'-0" x 1'-6"	4#5 Bot Bot E.W.	(-) 1'-0"
F4	9'-0" x 8'-0" x 1'-6"	4#5 Bot Bot F.W.	(-) 1'-0"



[Handwritten Signature]
4-5-93

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

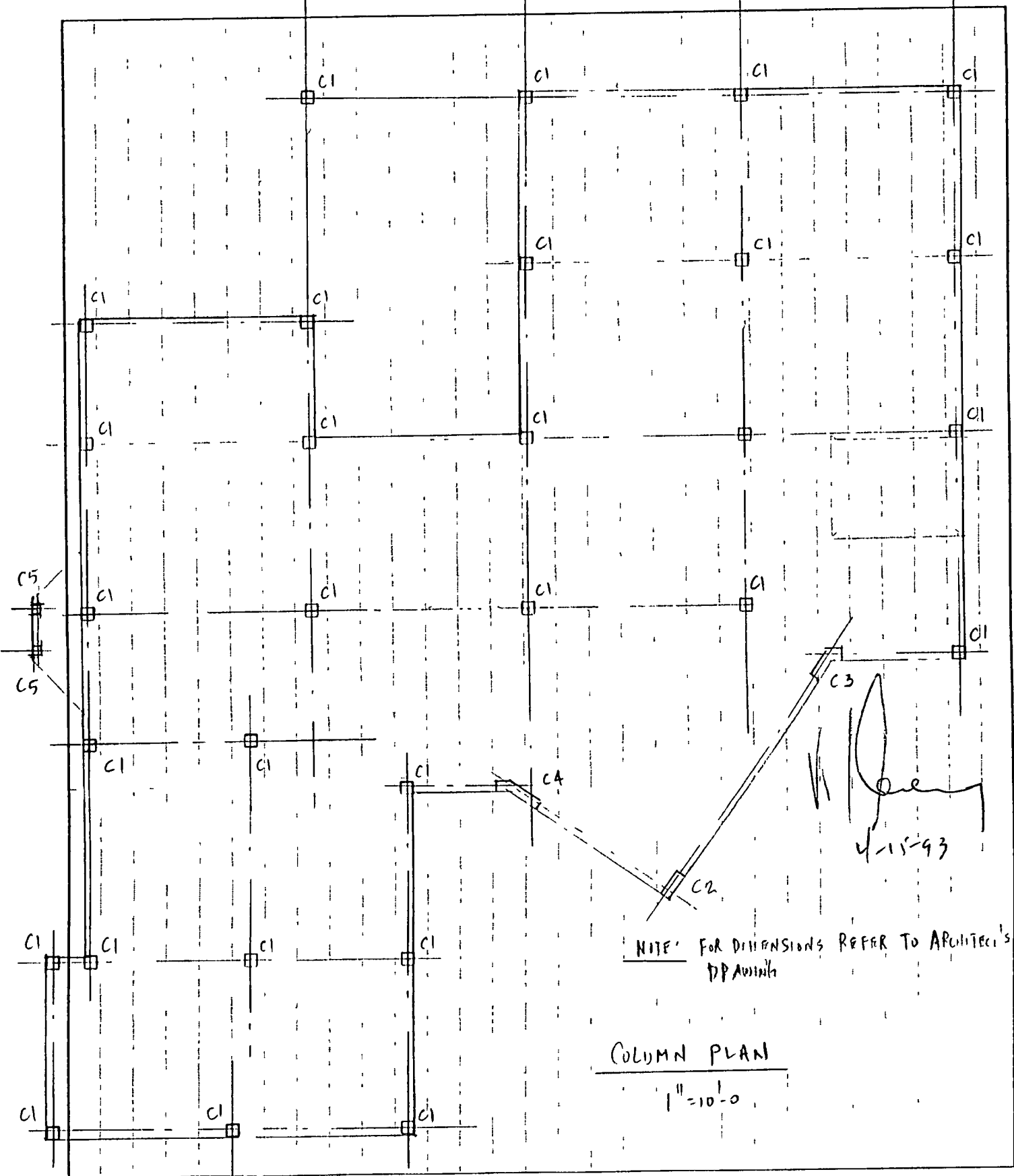
R1 4-15-93

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334 2600

BY V. J. GERLEY DATE 4 1993 SHEET 3 OF

PROJECT NAGLE RESIDENCE

SUBJECT L-C1



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

R1 4-15-93

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley DATE 4-5-93

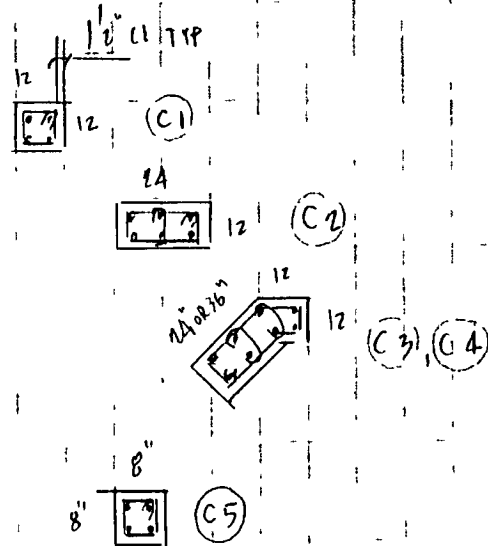
SHEET 4 OF

PROJECT NARBLE RESIDENCE

SUBJECT

COLUMN SCHEDULE

MARK	SIZE	REINF	TIES
C1	12x12	4 #7	4 #12
C2	12x24	6 #7	2-# #12
C3	12x12x24	8 #7	3-# #12
C4	12x12x36	8 #7	3-# #12
C5	8x8	4 #5	4 #8



[Handwritten Signature]
4-15-93

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

R1 4-15-93

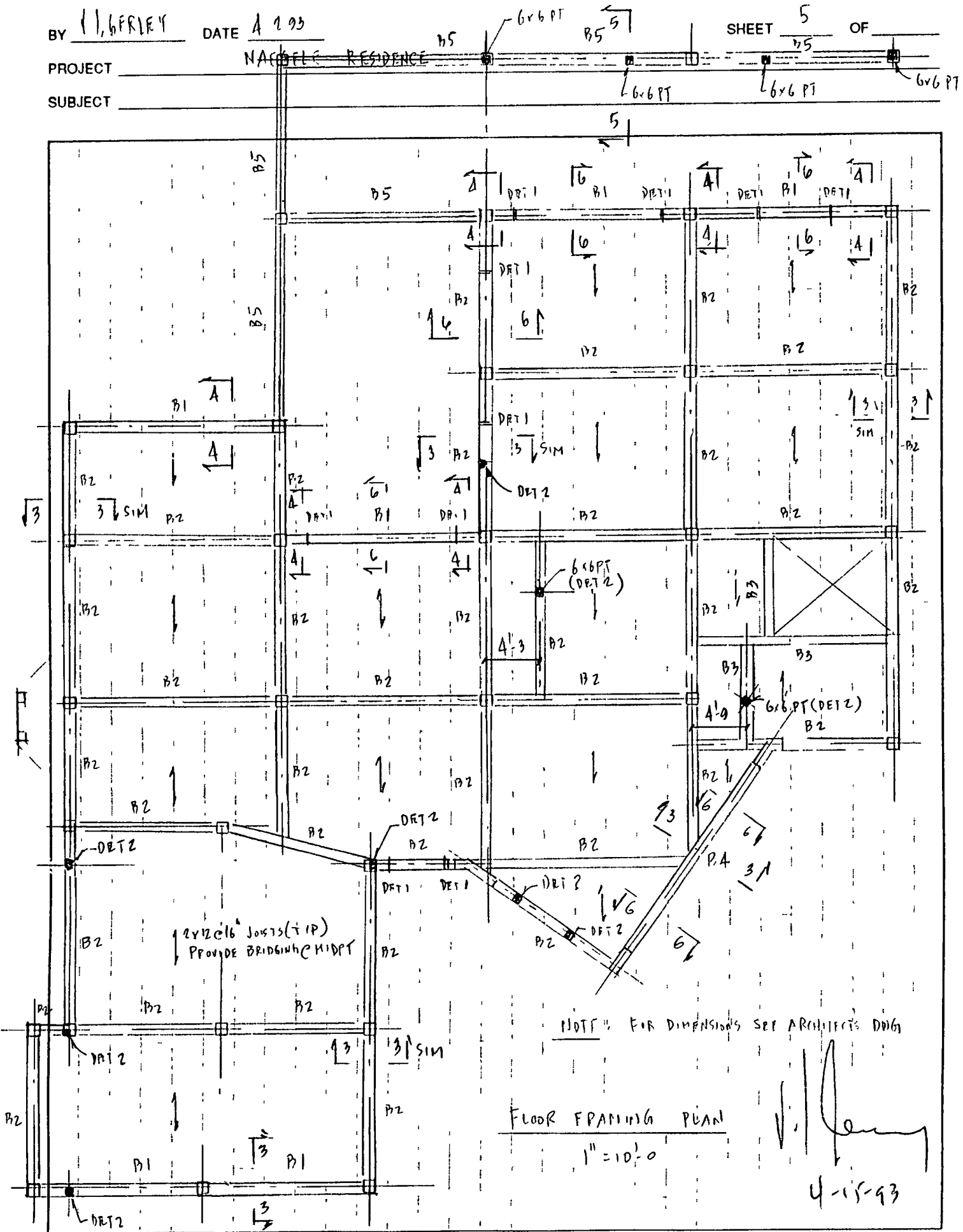
3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334 2600

BY V. J. GERLEY DATE 4-1-93

PROJECT NACELLE RESIDENCE

SUBJECT _____

SHEET 5 OF _____



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

R1 4-15-93

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. Gerley DATE 4-5-93

SHEET 6 OF

PROJECT NAEGELE RESIDENCE

SUBJECT

BEAM SCHEDULE

MARK	SIZE	REINF	STIRRUPS	T/EL
B1	12x16	3# 7TAB	#3 @ 12	0'-0"
B2	12x16	2# 7TAB	#3 @ 12	0'-0"
B3	12x12	2# 7TAB	#3 @ 12	0'-0"
B4	12x24	2# 7TAB	#3 @ 12	0'-0"
B5	12x12	1# 7TOP, 3# 7BOT	#3 @ 12	1'-1.5"

V. J. Gerley
4-15-93

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334 2600

BY V.J. GERLEY

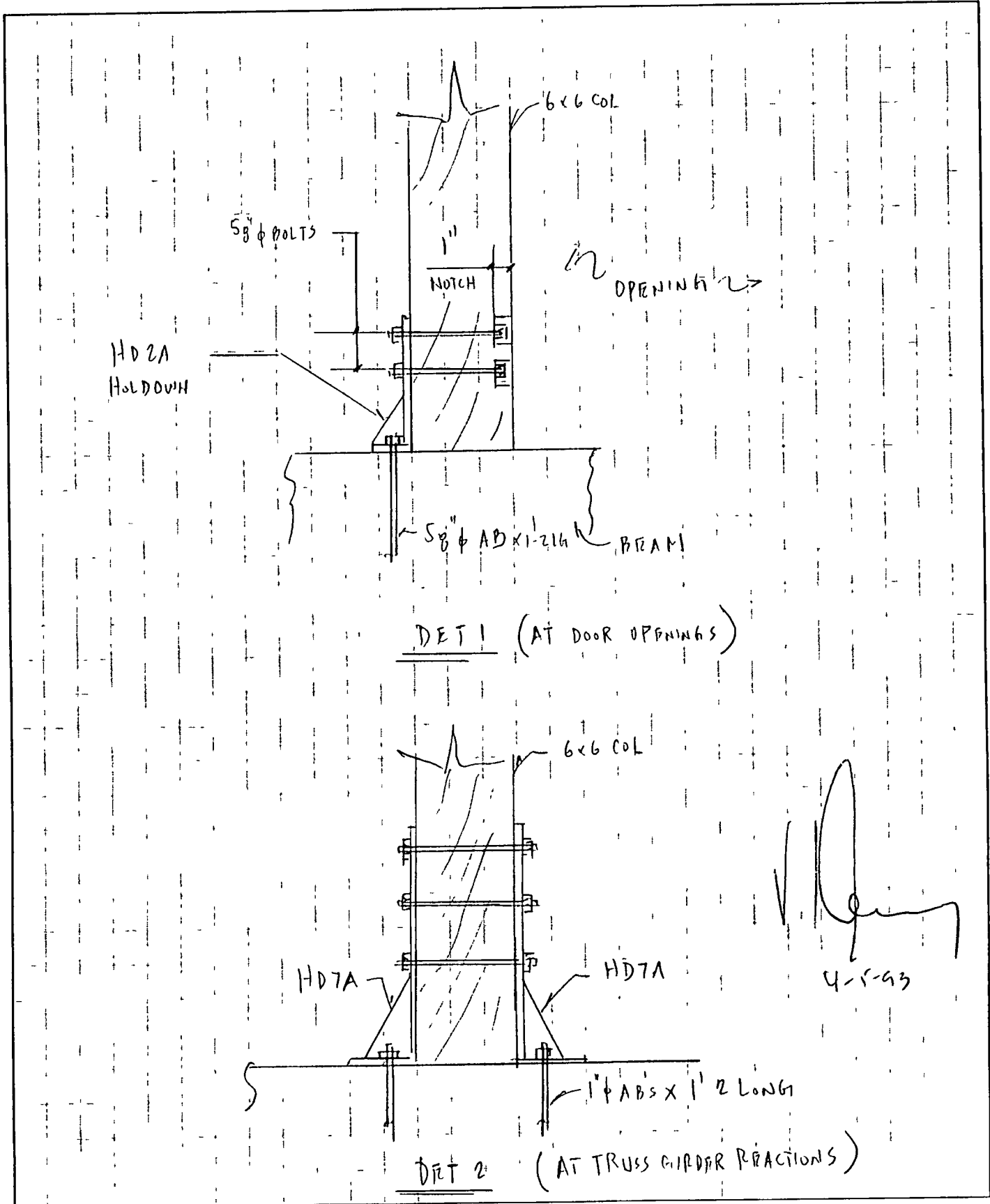
DATE 4-5-93

SHEET 1 OF

PROJECT

VALENTI RES

SUBJECT



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

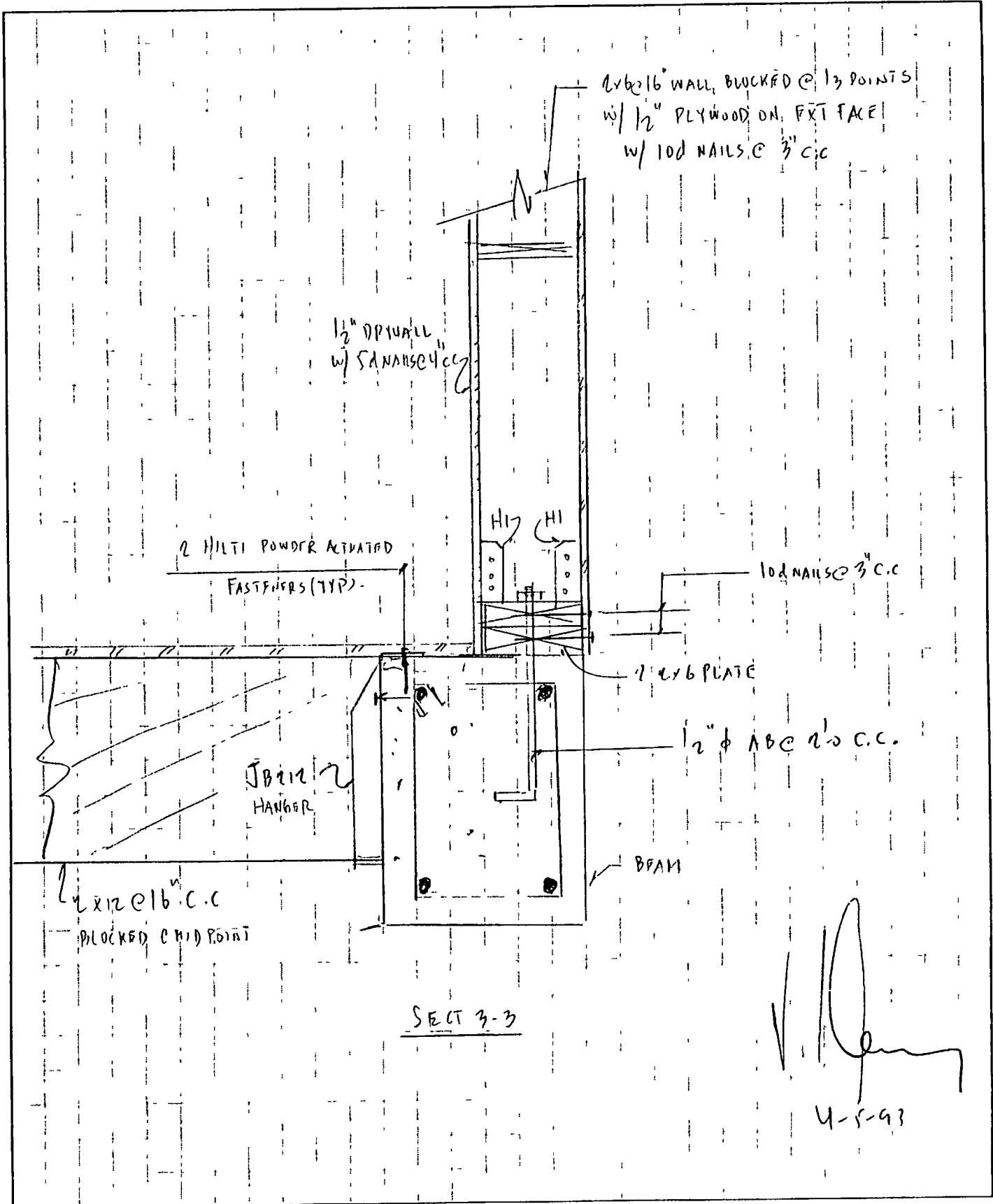
BY V.J. GERLEY

DATE 4-5-93

SHEET 8 OF

PROJECT NAEBELE RES.

SUBJECT



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

R1 4-15-93

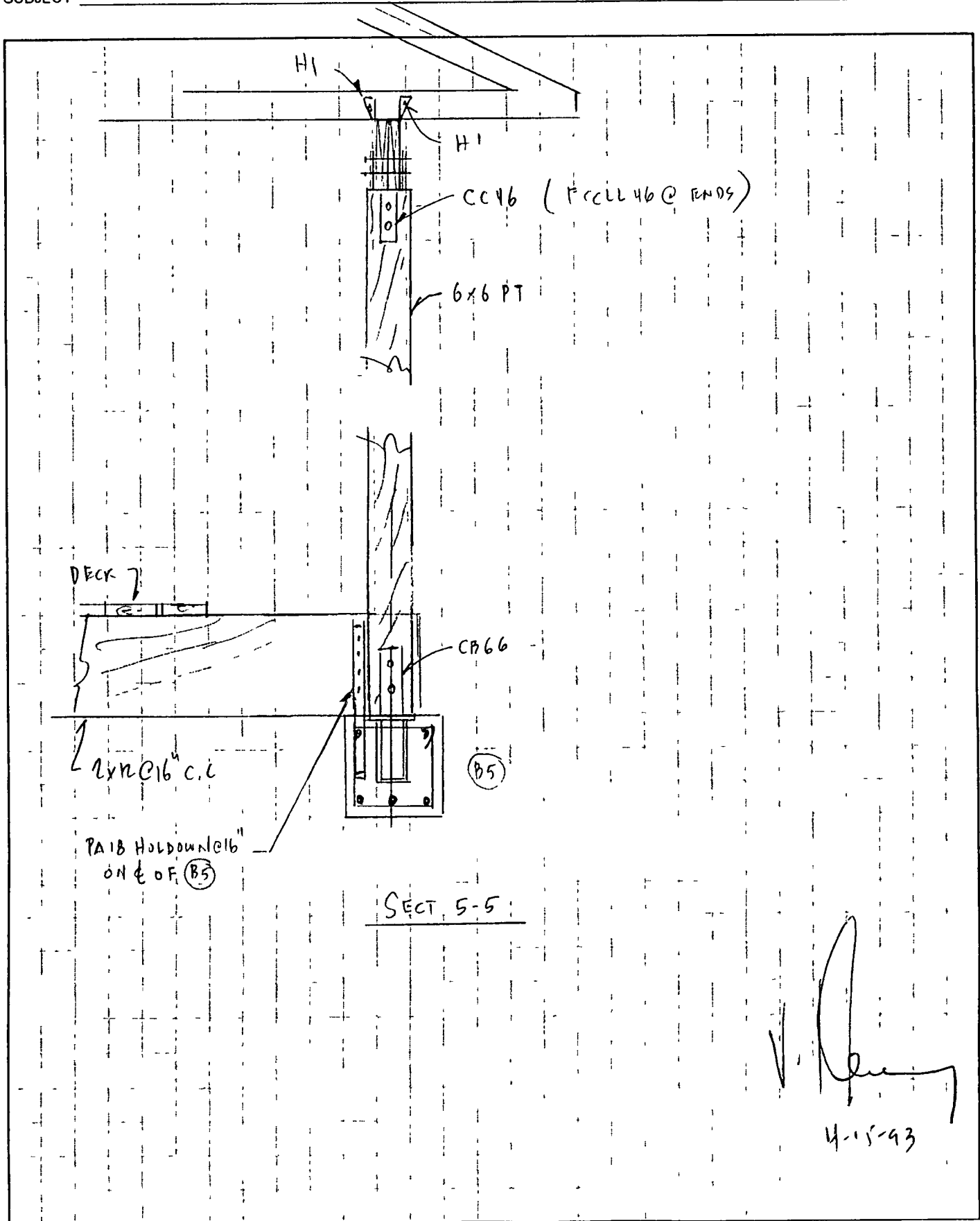
3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

BY V.J. GERLEY DATE 4-5-93

SHEET 10 OF _____

PROJECT NARHELE RES.

SUBJECT _____



SECT 5-5

[Signature]
4-15-93

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

3190 N E MAPLE AVENUE JENSEN BEACH, FL 34957 (407) 334-2600

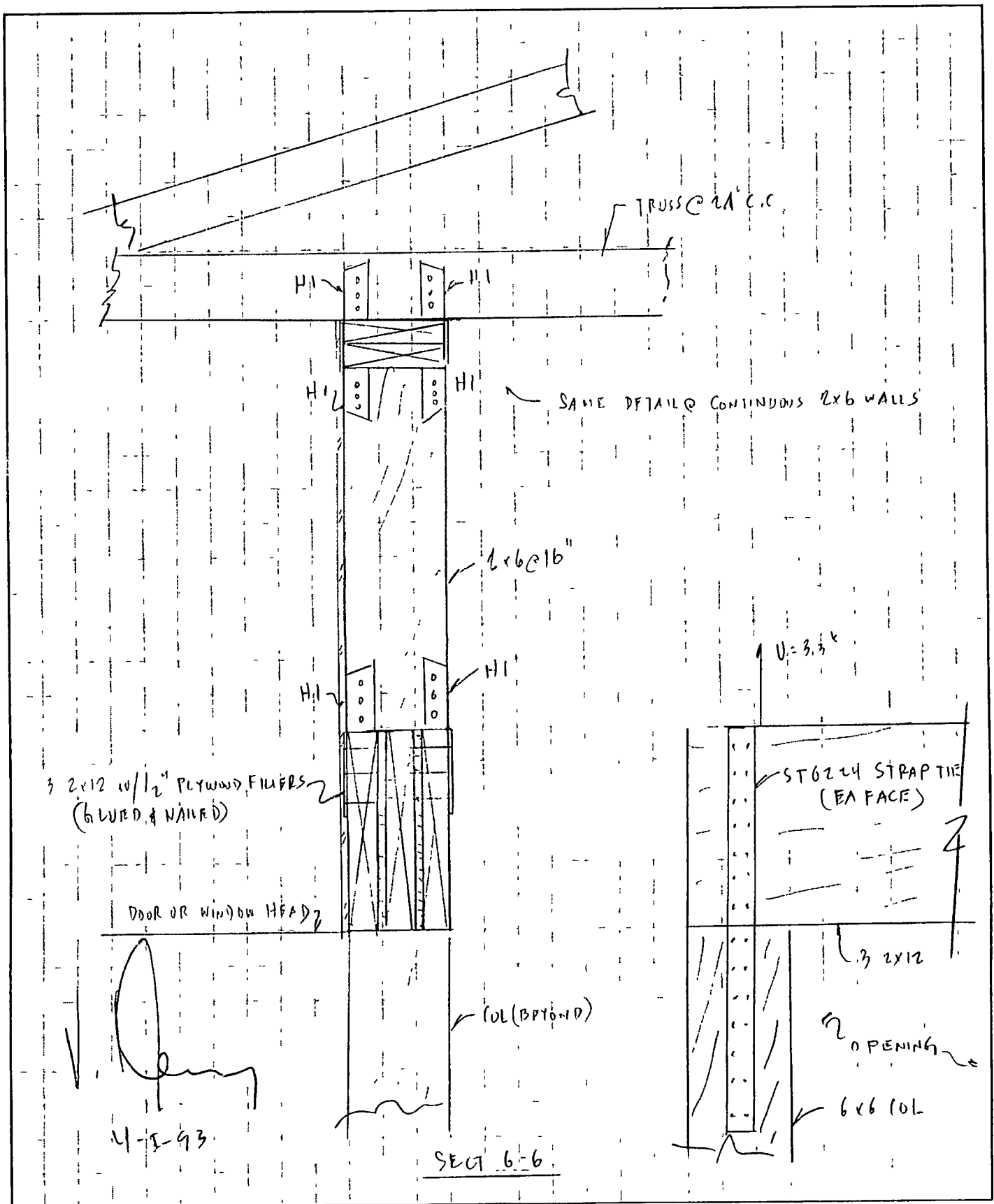
BY V. J. GERLEY

DATE 4-5-93

SHEET 11 OF

PROJECT NAPVILLE PRS.

SUBJECT



GENERAL NOTES

DESIGN

Design of the structure is based on the Standard Building Code 1991 Edition and all other applicable Standards

SUPERIMPOSED LOADS

Floor	40psf L.L.	Wind velocity=100 mph
Roof	30psf L L	15psf D L (Partitions)
Balcony	60psf L L	60psf D L (Block Walls)

SOIL:

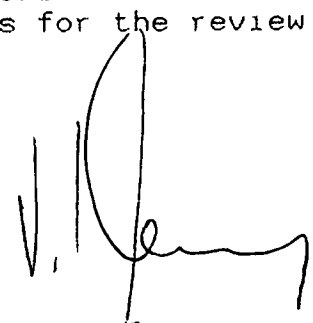
Clear the building areas of trees, roots, organics and other deleterious materials
Backfill with selected granular material in 15" maximum lifts and compact to a minimum density of 98% as determined by ASTM D-1557
Allowable soil pressure shall be 2500 psf (Owner shall verify)

CONCRETE.

Concrete shall develop a minimum strength of 3000 psi at 28 days
All concrete shall be ready-mixed and in accordance with ASTM C-94.
Slump and cylinder tests shall be performed by an independent testing laboratory Provide 4 tests for each concrete placement and/or 4 tests for each 50 cu yds.
Maximum allowable slump shall be 5 inches.

REINFORCING

Reinforcing steel shall be deformed, new billet steel in accordance with ASTM A-615 Grade 60 and detailed in accordance with ACI 315
All splices shall be in accordance with Chapter 7 of ACI 318-81, with a minimum splice of 40 bar diameters
Fabricator shall submit four sets of shop drawings for the review and approval of the Architect



4-5-93

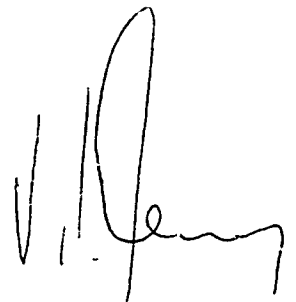
MASONRY

Concrete block units shall conform with ASTM C-90
Placement of unit masonry shall be straight, plumb and true to
a tolerance of 1/8" in ten feet.
Provide "Dur-O-Wal" standard weight all galvanized #9 gage
truss reinforcing at every second course of masonry
Lay concrete blocks in running bond with successive courses
lapped 1/2 of a unit.

WOOD

Wood for beams, columns and decking shall be pressure treated
SOUTHERN PINE No 2
Minimum Fb=1500 psi and E=1,600,000 psi

MICRO=LAM beams shall be fabricated and erected in accordance
with the specifications of the TRUS JOIST CORPORATION



4-5-93

VARIANCE

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**

DEBORAH B BEARD
RICHARD J DUNGEY*
M LANNING FOX*
LOUIS E LOZEAU JR
MICHAEL J McCLUSKEY
WILLIAM R PONSOLDT JR
GARY L SWEET
W THOMAS WACKEEN**
THOMAS E WARNER**
TIM B WRIGHT

1100 S FEDERAL HIGHWAY
P O DRAWER 6
STUART FLORIDA 34995-0006
(561) 287-4444
TELEFAX (561) 220-1489
JUPITER (561) 744 6499
WWW WARNERFOX COM

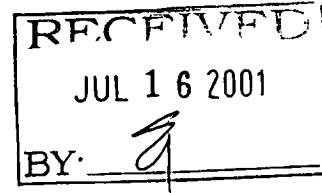
FERNANDO M GIACHINO
ROBERT A. GOLDMAN
FREDERIK W VANVONNO
SUSANN B WARD

AARON A FOOSANER
ROBERT L SEELEY
OF COUNSEL

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

July 13, 2001

Mr. and Mrs. Robert J. Naegle
82 North Sewall's Point Road
Sewall's Point,, Florida 34996



Re Rip-Rap Variance

FILE

Dear Mr and Mrs Naegle

The Town Commission has passed a resolution granting your requested permit Please immediately submit to the Town an 8 5 x 11 certified copy of survey reflecting the proposed construction of the approved structure so that the Town may attach it to the Resolution The sooner that this 8 5 x 11 certified copy of the survey is submitted to the Town, the sooner the Resolution may be recorded by you and then construction may begin

Sincerely yours,

Tim B Wright
Town Attorney

cc Vice Mayor Thomas P Bausch
Mrs Joan H Barrow
Mr Edwin B Arnold ✓

ROBERT M WIENKE
Mayor

THOMAS P BAUSCH
Vice Mayor

DAWSON C GLOVER, III
Commissioner

E DANIEL MORRIS
Commissioner

MARC S TEPLITZ
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C DORSKY
Town Manager

JOAN H BARROW
Town Clerk

LARRY E McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR
Maintenance

October 31, 2001

Mr Robert Naegele
82 North Sewall's Point Road
Sewall's Point, Florida 34996

STATEMENT RE VARIANCE FOR LOT 3 CAPTAIN'S COVE

7/01 Warner Fox - legal fees	\$85 00
8/01 Warner Fox - legal fees	\$54 84
9/01 Clerk of Court - recording fees	<u>\$24 00</u>
TOTAL DUE	\$163 84

Kindly make your check payable to the "Town of Sewall's Point " Thank you



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail police@sewallspoint.org

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**

DEBORAH B BEARD
RICHARD J DUNGEY*
M LANNING FOX*
LOUIS E LOZEAU, JR
MICHAEL J McCLUSKEY
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AARON A FOOSANER
ROBERT L SEELEY
OF COUNSEL

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

July 13, 2001

Mrs Joan H Barrow, Town Clerk
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re Resolution for Robert J Naegele and Ruth M Naegele

Dear Joan

I am enclosing the resolution granting the permit requested by Mr and Mrs Naegele I have signed the resolution and I am sending it to you to hold until Mr and Mrs Naegele have provided the required certified copy of the survey to be attached to the resolution Once the resolution has been fully-executed and recorded, please send me a copy for my files

If you have any questions, please call

Sincerely yours,

Tim B Wright

TBW/mcl

Enclosure

approved
3-20-01
T-B
all

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**

DEBORAH B BEARD
RICHARD J DUNGEY*
M LANNING FOX*
LOUIS E LOZEAU JR
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WILLIAM R PONSOLDT JR
GARY L SWEET
W THOMAS WACKEEN**
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FERNANDO M GIACHINO
ROBERT A. GOLDMAN
FREDERIK W VANVONNO
SUSANN B WARD

AARON A FOOSANER
ROBERT L SEELEY
OF COUNSEL

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

July 13, 2001

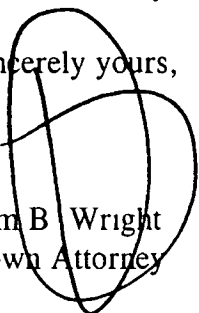
Mr and Mrs Robert J Naegele
82 North Sewall's Point Road
Sewall's Point,, Florida 34996

Re Rip-Rap Variance

Dear Mr and Mrs Naegele

The Town Commission has passed a resolution granting your requested permit Please immediately submit to the Town an 8 5 x 11 certified copy of survey reflecting the proposed construction of the approved structure so that the Town may attach it to the Resolution The sooner that this 8 5 x 11 certified copy of the survey is submitted to the Town, the sooner the Resolution may be recorded by you and then construction may begin

Sincerely yours,


Tim B Wright
Town Attorney

cc Vice Mayor Thomas P Bausch
Mrs Joan H Barrow ✓
Mr Edwin B Arnold

granted a variance from Section 70-101, and has determined that the Applicant meets all other criteria and requirements of that ordinance

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AS FOLLOWS:

1 The Applicant's appeal is hereby granted by the Town Commission of the Town of Sewall's Point, Florida, and the Applicant shall be granted a building permit to construct the rip-rap in the upland buffer area in accordance with the plans submitted to the building department of the Town of Sewall's Point, an 8 5 x 11 copy of which are attached to this Resolution

2 This appeal is granted for construction of the rip-rap and shall not constitute permission or license either now or in the future to modify the structure or to construct any other structure attached to or part and parcel of the rip-rap

3 This Resolution shall be recorded by the Applicant in the Martin County Public Records at the Applicant's expense

4 This Resolution and permit are conditioned upon payment by Applicant of any fees due under Section 46-31 of the Town Code

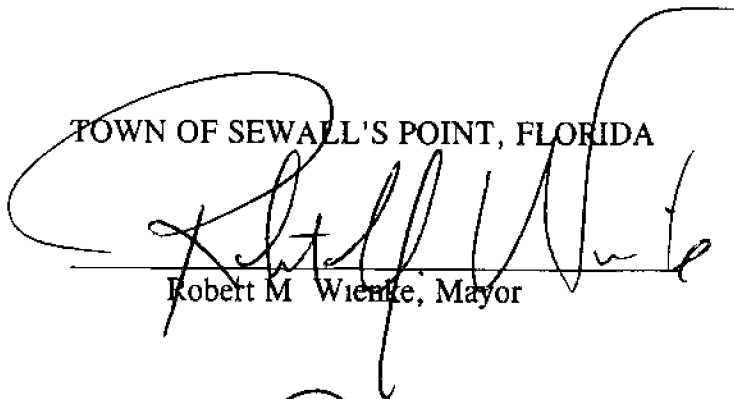
The vote was as follows

	A YE	N AY
ROBERT M WIENKE, Mayor	✓	_____
THOMAS P BAUSCH, Vice Mayor	✓	_____
DAWSON C GLOVER, III, Commissioner	✓	_____
E DANIEL MORRIS, Commissioner	✓	_____
MARC S TEPLITZ, Commissioner	✓	_____


The Mayor thereupon declared this Resolution 561 approved and adopted by the Town Commission of the Town of Sewall's Point on this 20th day of March 2001

2001

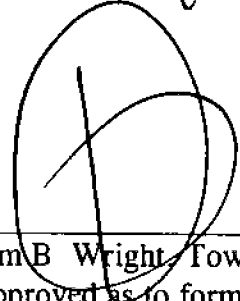
TOWN OF SEWALL'S POINT, FLORIDA


Robert M. Wienke, Mayor

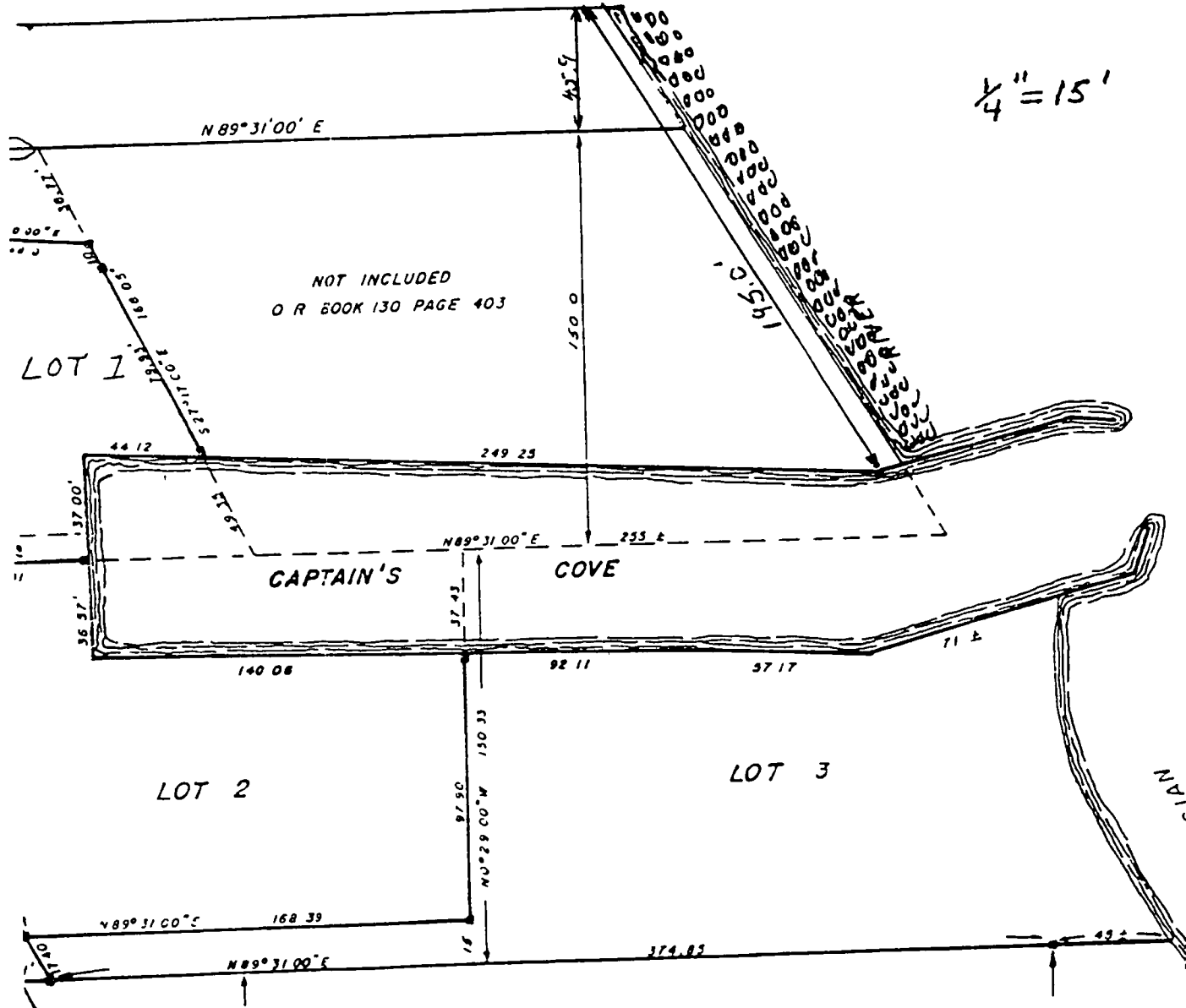
ATTEST

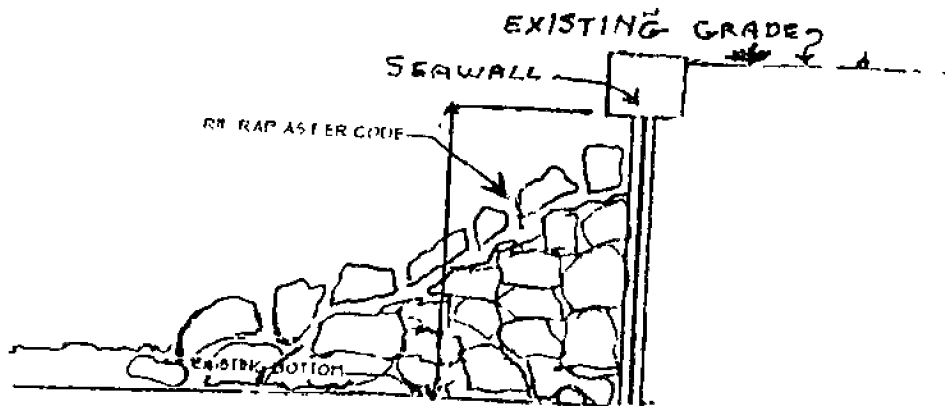

Joan H. Barrow, Town Clerk

(TOWN SEAL)

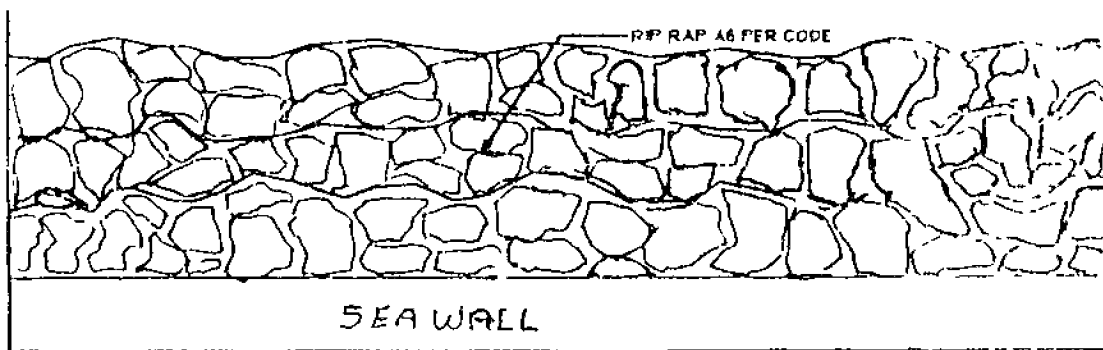

Tim B. Wright, Town Attorney
Approved as to form and
legal sufficiency

F:\HOME\MARTHA\TOSPARESOLA\2001\baker 06 01





SEAWALL SECTION



NO SCALE

LOT 3 CAPTAIN'S COVE