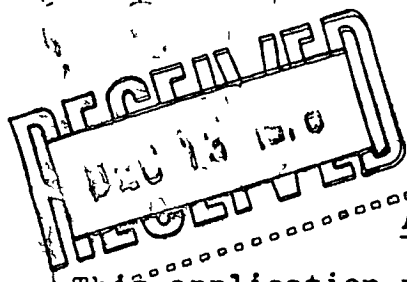


# **104 North Sewall's Point Road**

**914**

**SFR**



TOWN OF SEWALL'S POINT FLORIDA

Permit No. 914 Date SFR

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner C.B. Neville Present address 326 Edgewater Rd Savannah, Ga. 31406 Phone 912-927-3246

-General contractor E. Norman Brush address P.O. Box 299 Port Salerno, Fla 33492 Phone 287-0972

Where licensed State of Fla. License No. CBC 012691

-Plumbing contractor South Park Plb License No. will call in

-Electrical contractor Larsen Elec. License No. will call in

-Name the street on which the building, its front building line and its front yard will face Sewalls Point Rd. (104 N SEWALL'S POINT RD)

Subdivision Part of North 200 Govt Lot 2 - Sec 35 Lot No. Parcel B Area

-Building area, inside walls (excluding garage, carport, porches, etc.)..square feet 1825'

-Other construction (pools, additions, etc.)

-Contract price (excluding land, carpeting, appliances, landscaping, etc) \$60,000

-Total cost of permit \$300.00 + 20 = \$320

-Plans approved as submitted Plans approved as marked see sheet 2

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

E. Norman Brush General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

C.B. Neville Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted

Approved: [Signature] Building Inspector Date 12/18/78

Approved: [Signature] Commissioner Date 18 Dec '78

Certificate of Occupancy issued August 2 1979 Date

104 N Sewalls Pt

PN Well MUST be installed BEFORE Final approval is issued.

Permit VOID if well or septic system is installed in a location other than area permitted PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

Post Office Box 926 Jacksonville, Florida 32201

Application and Permit of

Individual Sewage Disposal Facilities

THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE

Application/Permit No. HD 78-984

Martin County Health Department

Section I - Instructions:

- 1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.
Notes:
1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) Sewalls Point Road
Lot Block Subdivision See sheet 2 of 2
Date Platted Directions to Job East on E. Ocean Blvd to Sewalls Point Rd North to Lot
2. Owner or Builder L. Norman Brush
P.O. Address City 142 SE Hibiscus St. Stuart, FL.
Septic tank system to be installed by: 287-0972

Scale 1" = 50'

(Rear)

3. Specifications:
1050 gallon tank with
400 square feet of
drainfield with at least
4" inside diameter pipe.

4. House to be constructed:
Check one: FHA
VA Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: Norman Brush
Please Print

Signature: [Signature]

Date: November 24, 1978

See Sheet 2 of 2 for Data & Sketch for 4 Bedroom Proposed Residence
REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

(Name of Street or State Road) (Side)

(Name of Street or State Road) (Side)

(Front)

(Name of Street or State Road)

\*\*\*\*\* DO NOT WRITE BELOW THIS LINE \*\*\*\*\*

Section III - Application Approval & Construction Authorization
Installation subject to following special conditions: KEEP SYSTEM HIGH

The above signed application has been found to be in compliance with Chapter 10D-6, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: [Signature] County Health Dept. MARTIN Date 11/28/78

Section IV - Final Construction Approval

Construction of installation approved: Yes No

Date: By:

FHA No. VA No.

\*\*\*\*\*



The South 1/2 of INDIVIDUAL SEWAGE DISPOSAL FACILITIES

The North 200 feet of DATA SHEET

Govt Lot 2, Section 35

Location: T 37 S, R 41 E Lying

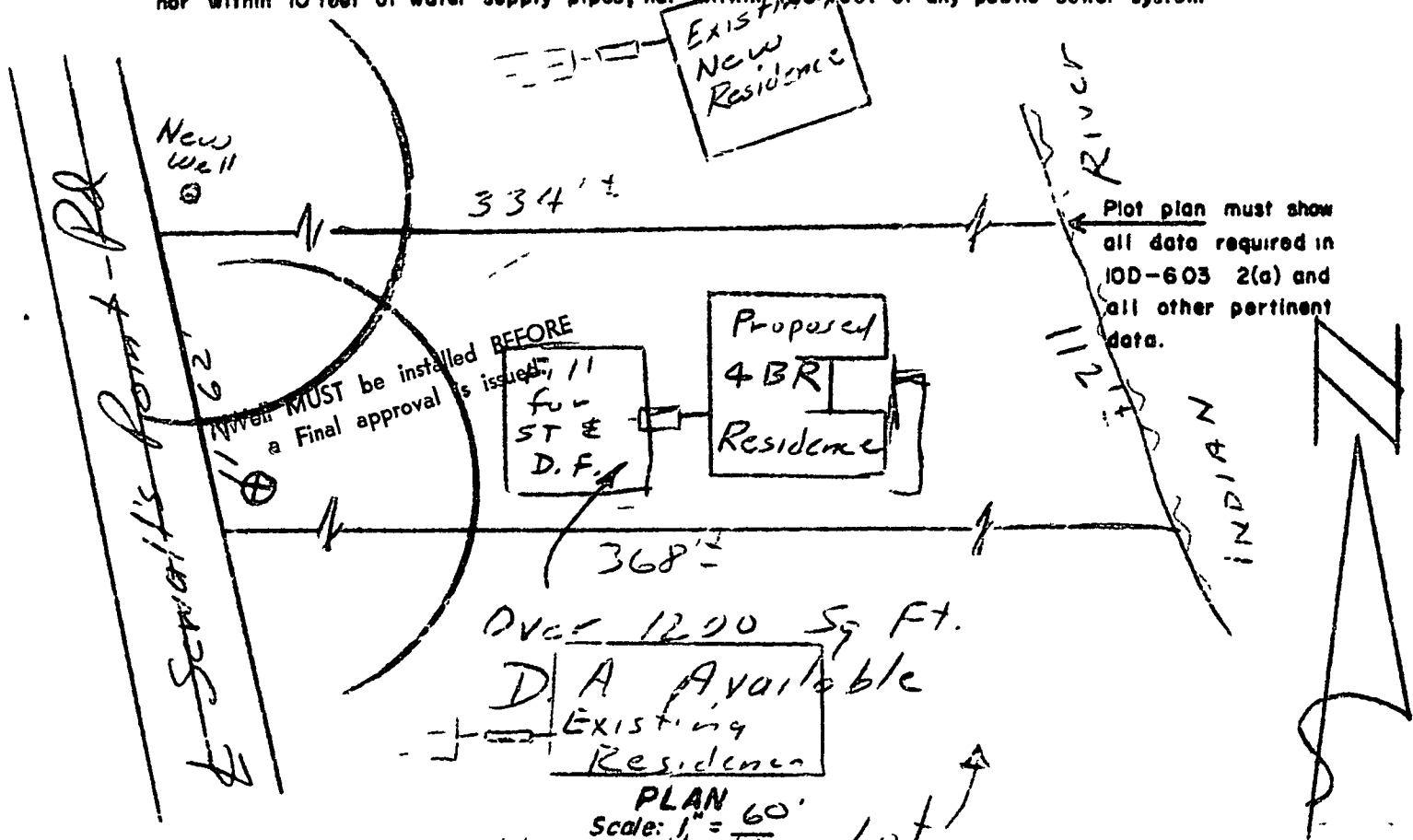
Applicant: Mr. Norman Brush

Easterly of Sewall's Point

County: Martin

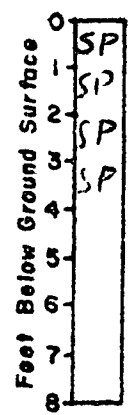
Rd to the waters of the Indian River.

**NOTE.** This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system



SOIL DATA

LEGEND



Most Houses have Central water due to Salt Intrusion

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

SOIL BORING LOG

Soil Identification CLASS I GROUP SP  
 Soil Characteristics De Grey Coarse Sand to 4 feet

Percolation Rate 1 1/2 min/inch (High water Table)

Water Table Depth 18 inches

Water Table Depth During Wet Season 18 inches

Compacted Fill Of 24 in. Reg'd

Compacted Fill Checked By Norman Brush

Date 11/24/78

CERTIFIED BY: Norman Brush

FLORIDA PROFESSIONAL No. PE 6274

Date 11/24/78 Job No. \_\_\_\_\_

Sheet 2 of 2

#995 POOL  
TOWN OF SEWALL'S POINT FLORIDA

RECEIVED MAY 8 1979

Permit No. 995

Date 5/2/79

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Mr & Mrs C.B. Neville Present address 326 Edgewater Rd  
 Phone (912) 927-3246 Savannah, Georgia 31406  
 Contractor Martin County Custom Pools Address P.O. Box 1799  
 Phone 283-6363 Stuart, Fla  
 Where licensed Martin County License number #130  
 Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_  
 Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: \_\_\_\_\_

State the street address at which the proposed structure will be built: Swimming Pool

104 N. Sewalls Pt Rd

Subdivision Sewalls Pt Section #35 Lot No. #12

Contract price \$ 7375 Cost of Permit \$ 40<sup>00</sup>

Plans approved as submitted \_\_\_\_\_ Plans approved as marked ✓

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Martin County Custom Pools, Inc.  
Jim Davis (Pres)

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner C.B. Neville - Mrs C.B. Neville

TOWN RECORD

Date submitted May 12, 1979

Approved: J. Mazzucca Building Inspector Date 5/16/79

Approved: [Signature] Commissioner Date 18 May 1979

Final Approval given 7/30/79 Date

Certificate of Occupancy issued \_\_\_\_\_ Date

SP/1-79

Advanced Swimming Slab 5/21/79

#995

**995**

**POOL**

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

# NOTICE OF COMMENCEMENT

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE).

GENERAL DESCRIPTION OF IMPROVEMENT \_\_\_\_\_

OWNER Mahboob M Ali Khan

ADDRESS 104 N Sewalls Point Road

PHONE # 3

FAX # \_\_\_\_\_

CONTRACTOR Sailfish Aluminum Inc

ADDRESS 801 SW Taslo Ave

PHONE # 336-3409

FAX # \_\_\_\_\_

SURETY COMPANY (IF ANY) \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_

FAX # \_\_\_\_\_

BOND AMOUNT \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_

FAX # \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713 13(1)(A)7, FLORIDA STATUTES

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

PHONE # \_\_\_\_\_

FAX # \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_

OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713 13(1)(B), FLORIDA STATUTES

PHONE # \_\_\_\_\_

FAX # \_\_\_\_\_

EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

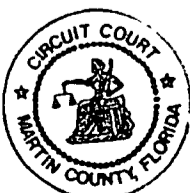
[Signature]  
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8 DAY OF October  
19 98 BY \_\_\_\_\_

OR PERSONALLY KNOWN \_\_\_\_\_  
PRODUCED ID \_\_\_\_\_  
TYPE OF ID \_\_\_\_\_

[Signature]  
NOTARY SIGNATURE  
LIN SCHEID  
MY COMMISSION # CC 710093  
EXPIRES April 25 2002  
Florida Thru Notary Public Underwriters

STATE OF FLORIDA  
MARTIN COUNTY  
THIS IS TO CERTIFY THAT THE  
FOREGOING \_\_\_\_\_ PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARCHA STULCESCU  
BY [Signature] D C  
DATE 10.9.98



**1182**

**RIP RAP**

Reviewed  
7/17/81

RECEIVED  
Date 7/17/80

# 1182

TOWN OF SEWALL'S POINT FLORIDA

Permit No. 1182

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner C B Neville Present address 104 N Sewalls Pt Rd.

Phone 283-1821

Contractor Self Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought. Rip RAP and Filter cloth

State the street address at which the proposed structure will be built  
104 N Sewalls Point Rd.

Subdivision TWIN RIVERS Lot No. \_\_\_\_\_

Contract price \$ 4000.00 Cost of Permit \$ 500

Plans approved as submitted  Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project

Contractor C B Neville

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner C B Neville

TOWN RECORD Date submitted \_\_\_\_\_  
Approved J Amazzuca Building Inspector Date 4/21/80

Approved A C Strubbe Commissioner Date 4/23/80

Final Approval given: 4/23/82 Date Jan

Certificate of Occupancy issued \_\_\_\_\_ Date \_\_\_\_\_

SP/1-79

Approved of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

# 1182

1182

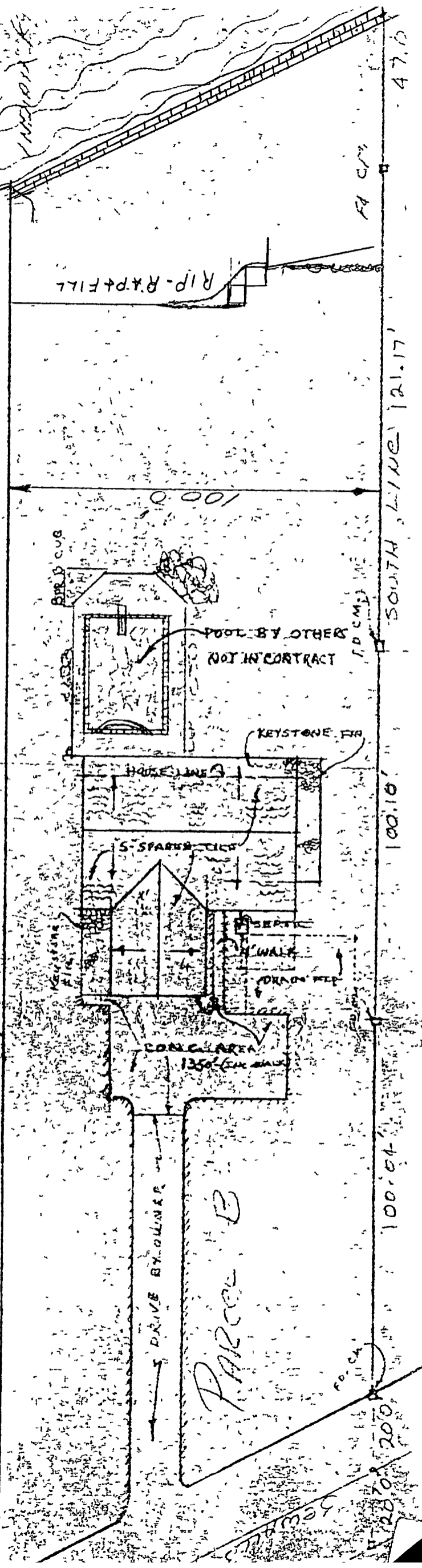
RECEIVED APR 17 1980

*Jan 4/17/80*

Approval of these plans in no way  
relieves the contractor or builder of  
complying with the Town of Sewall's  
Point's Ordinances, the South Florida  
Building Code and the State of Florida  
Model Energy Efficiency Building Code

*Parcel A*

*Parcel B*



**1410**

**FENCE**



RECEIVED SEP 29 1981

TOWN OF SEWALL'S POINT FLORIDA

Permit No. 1410

Date Sept. 29, 1981

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable

Owner E. D. Neville Present address 104 N Sewalls Pt Rd.

Phone 283-1821 Jensen Beach, Fla.

Contractor Self Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: \_\_\_\_\_

Fence on North Side property & South  
State the street address at which the proposed structure will be built:  
4' chain link -

Subdivision Twin Rivers Lot No PART #3

Contract price \$ 300.00 Cost of Permit \$ 5XX

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor Mrs. E. D. Neville

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Mrs. E. D. Neville

Approved: \_\_\_\_\_ Date submitted \_\_\_\_\_  
J. J. Maguire 9/30/81  
Building Inspector Date

Approved: \_\_\_\_\_ Date \_\_\_\_\_  
J. C. Strubell 10/12/81  
Commissioner Date

Final Approval given: 10/14/81  
Date Jensen

Certificate of Occupancy issued 10/14/81  
Date W. J. Reg

SP/1-79

#1410

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code

SEWALL'S POINT ROAD

2070' 200'

100' 04'

Parcel B

SWING

Parcel A

E. DRIVE BY SLIDERS

CONC. AREA

ORIGIN. PLO.

RESIDENTS

Parcel 1

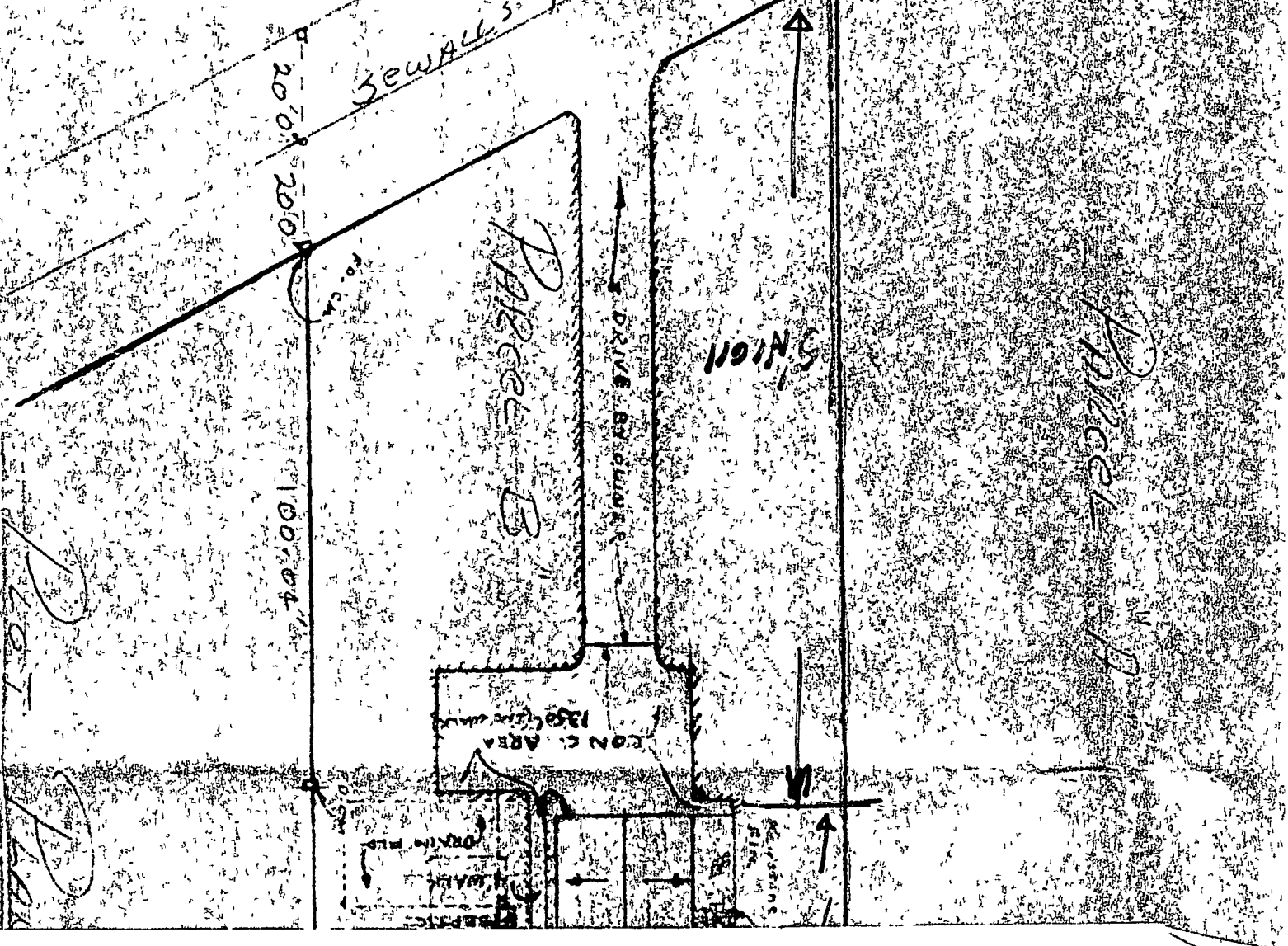
Parcel 2

W

E

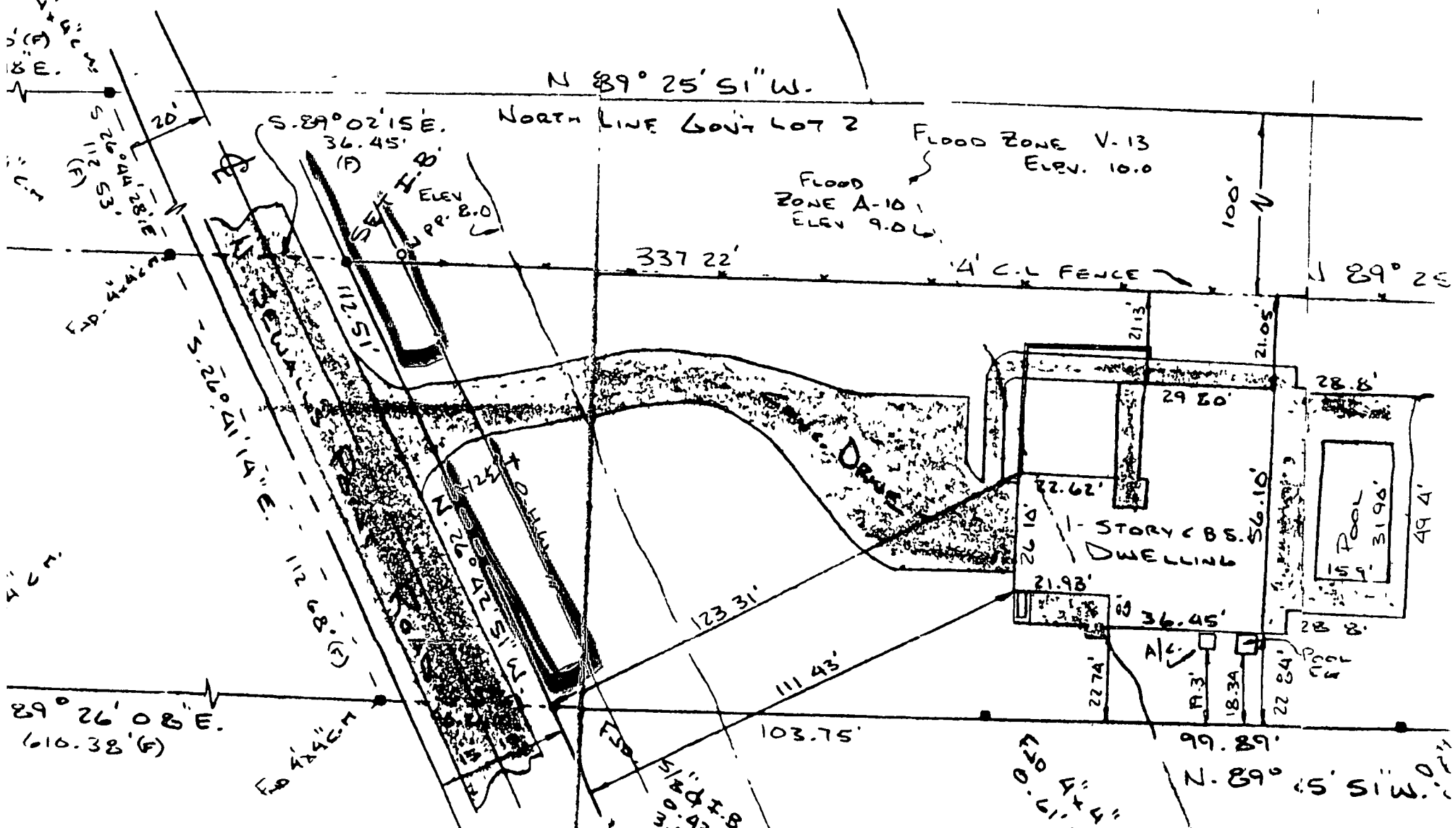
S

N



That portion of the South 100 feet of the North 200 feet of Government Lot 2, Section 35, TOWNSHIP 37 South, Range 41 East, lying Easterly from the Sewall's Point Road, and extending to the waters of the Indian River.

TOGETHER with all riparian rights owned or controlled by the Grantor; AND ALSO a perpetual easement for the installation of wells and pump houses, and laying of pipe, over and across the North 5 feet and the South 5 feet of the North 200 feet of said Government Lot 2 that lies West of the said Sewall's Point Road, such easement to extend to a distance of 300 feet from the aforesaid road.



<ul style="list-style-type: none"> <li>MARK CONDITIONER</li> <li>NUM</li> <li>IE</li> <li>VG</li> <li>VARD</li> <li>R EASEMENT</li> <li>VG</li> <li>TELEVISION</li> <li>LATED</li> <li>BASIN</li> <li>AL ANGLE</li> <li>INK FENCE</li> </ul>	<ul style="list-style-type: none"> <li>CHD CHORD DISTANCE</li> <li>CONC CONCRETE</li> <li>CBS CONC BLOCK STRUCTURE</li> <li>CM CONCRETE MONUMENT</li> <li>CNR COULD NOT READ</li> <li>CPP CONCRETE POWER POLE</li> <li>COR CORNER</li> <li>CMP CORRUGATED METAL PIPE</li> <li>D DEED</li> <li>DE DRAINAGE EASEMENT</li> <li>EASE EASEMENT</li> <li>E EAST</li> <li>EP EDGE OF PAVEMENT</li> <li>EW EDGE OF WATER</li> <li>EM ELECTRIC METER</li> </ul>	<ul style="list-style-type: none"> <li>ES ELEV</li> <li>ENCL ENCL</li> <li>ENCR X 17.00</li> <li>FT FEET</li> <li>F FIELD MEASUREMENT</li> <li>FFE FINISH FLOOR ELEVATION</li> <li>FH FIRE HYDRANT</li> <li>FPL FLORIDA POWER &amp; LIGHT</li> <li>FND FOUND</li> <li>GOVT GOVERNMENT</li> <li>HSE HOUSE</li> <li>I &amp; E INGRESS &amp; EGRESS EASEMENT</li> <li>INV INVERT</li> </ul>	<ul style="list-style-type: none"> <li>IB IRON BAR</li> <li>IP IRON PIPE</li> <li>IB &amp; C IRON BAR &amp; CAP</li> <li>LE LANDSCAPE EASEMENT</li> <li>LB LICENSE BUSINESS</li> <li>LP LIGHT POLE</li> <li>LAE LIMITED ACCESS EASEMENT</li> <li>LFE LOWEST FLOOR ELEVATION</li> <li>ME MAINTENANCE EASEMENT</li> <li>MH MANHOLE</li> <li>MHWL MEAN HIGH WATER LINE</li> <li>N &amp; TT NAIL &amp; TIN TAB</li> <li>N &amp; W NAIL &amp; WASHER</li> <li>NGVD NATIONAL GEODETIC VERTICAL DATUM</li> <li>NIC NOT INCLUDED</li> </ul>	<ul style="list-style-type: none"> <li>NTS NOT TO SCALE</li> <li>N NORTH</li> <li>NO NUMBER</li> <li>ORB OFFICIAL RECORD BOOK</li> <li>O/S OFFSET</li> <li>OH OVERHANG</li> <li>OE OVERHANG EASEMENT</li> <li>OHW OVERHEAD WIRE</li> <li>PG PAGE</li> <li>PK PARKER-KALON NAIL</li> <li>PK &amp; W PARKER-KALON NAIL &amp; WASHER</li> <li>PVMT PAVEMENT</li> <li>PRM PERMANENT REFERENCE MONUMENT</li> <li>PLAT PLAT</li> <li>PB PLATBOOK</li> </ul>
--	--	--	---	---

PROPERTY ADDRESS: 104 NORTH SEWALL'S POINT ROAD

CERTIFIED TO: MAHBOOB M. ALIKHAN BAUER & TWOHEY, P.A. ATTORNEYS TITLE INSURANCE FUND, INC. SUNTRUST BANK, SOUTH FLORIDA, N.A.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

STEPHEN J. BROWN, INC.

STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER  
REGISTRATION NO. 4049, STATE OF FLORIDA

*[Handwritten Signature]*  
Rob Bell

Town of Sewall's Point

P.I.N. \_\_\_\_\_

Date 9/28/98

BUILDING PERMIT APPLICATION

# 4470

to construct:

NEW CONSTRUCTION    ADDITION    ALTERATION    DEMOLITION

RESIDENTIAL    COMMERCIAL   \_\_\_\_\_ SF   \_\_\_\_\_ CF

OTHER: FENCE/GREEN C.L. 4' CONTRACT PRICE 1200<sup>00</sup>

Owner's Name MAHBOOB ALIKHAN

Owner's Address 104 N SEWALLS POINT RD., SEWALLS POINT, FL. 34996

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City SEWALLS POINT State FL Zip 34996

Contractor's Name TREASURE COAST FENCE

Contractor's Address 2340 SW DEERWOOD PASS

City PALM CITY State FL Zip 34990

Job Name ALIKHAN

Job Address SAME

City \_\_\_\_\_ State FL Zip \_\_\_\_\_

Legal Description THAT PORTION OF THE SOUTH 100 FT OF THE NORTH 200 FT. OF GOVT. LOT 2, SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST, LYING EASTERLY FROM SEWALL'S POINT RD AND EXTENDING TO THE WATERS OF THE INDIAN RIVER

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Mahboob M Alikhan 9/28/98  
Owner or Agent Date

Sayid A. Kaporowski 9/28/98  
Contractor Date

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 28 day of Sept 1998 by  
Mahboob M Alikhan who: [ ] is/are personally known to me, or [ ] has/have produced FL Dry Lic  
as identification, and who did not take an oath.

Katherine J Koci  
Name: Katherine J Koci

Typed, printed or stamped  
(NOTARY SEAL) Katherine J Koci  
My Commission CC773245  
Expires September 7 2002

I am a Notary Public of the State of Florida having a  
commission number of CC 773245 and my  
commission expires: 9-7-02

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this \_\_\_ day of \_\_\_\_\_, 199\_\_\_ by  
\_\_\_\_\_, who: [ ] is/are personally known to me, or [ ] has/have produced \_\_\_  
as identification, and who did not take an oath.

Name: \_\_\_\_\_  
Typed, printed or stamped  
(NOTARY SEAL)

I am a Notary Public of the State of Florida having a  
commission number of \_\_\_\_\_ and my  
commission expires: \_\_\_\_\_

Certificate of Competency Holder

Contractor's State Certification or Registration No. \_\_\_\_\_

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

\_\_\_\_\_ Building Commissioner

# DEPARTMENTAL CORRESPONDENCE

TO \_\_\_\_\_ DEPT \_\_\_\_\_

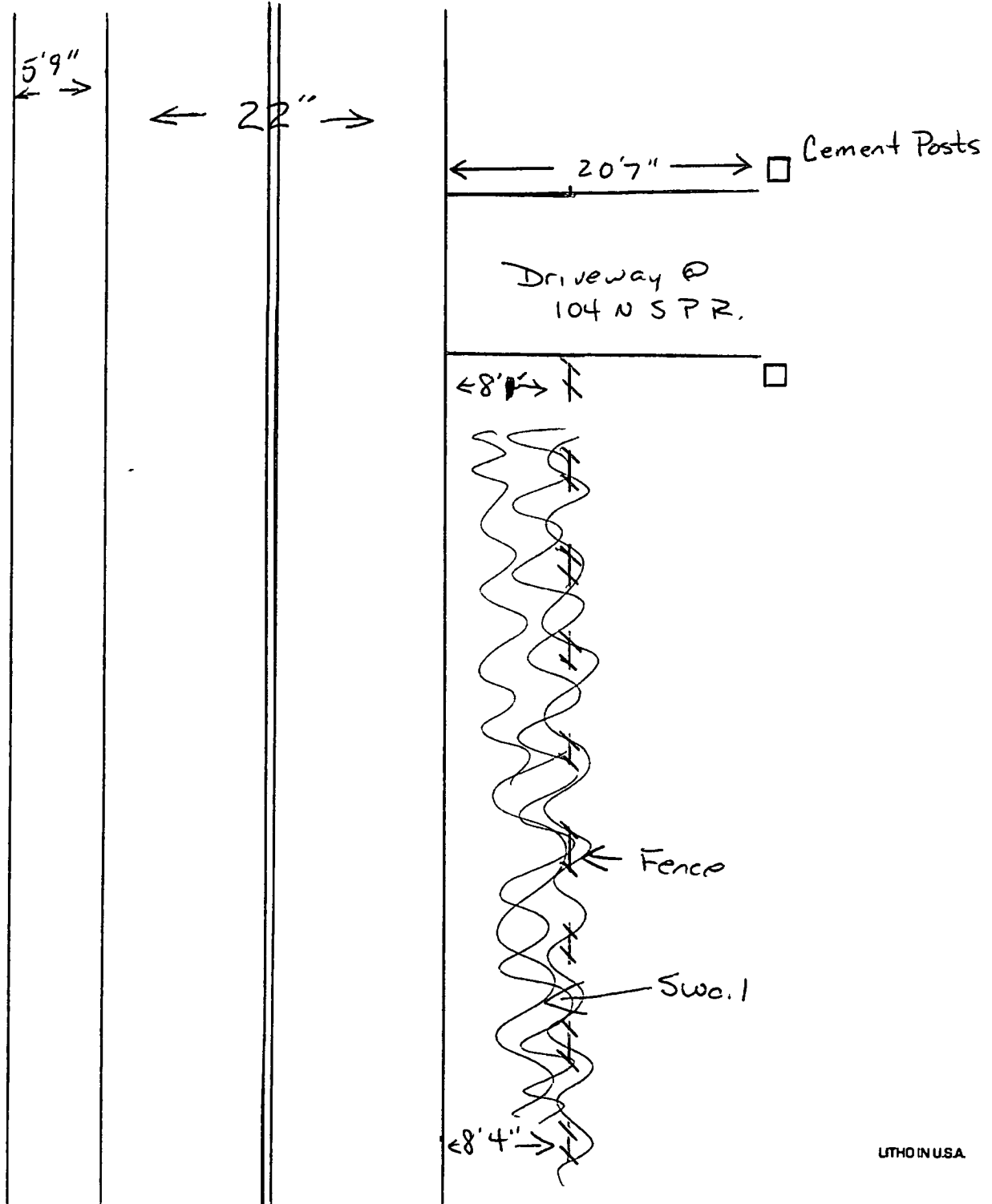
FROM \_\_\_\_\_ DEPT \_\_\_\_\_

SUBJECT \_\_\_\_\_ DATE \_\_\_\_\_

36' - Row  
27' 9" - Road + Sidewalk  

---

8' 3"



← EXISTING C.L. fence

Fence terminates APP.  
40' from SEAWALL

142'  
4' green  
C.L. fence →

21'74"  
C.L.

↑  
4' green C.L. fence  
15'4' C.L.

104 N. SEAWALLS Pt Rd.

---

CERTIFIED  
CONTRACTOR

FENCE ERECTION

SIGNATURE

*Gary Hayward*

ATTEST

---

LICENSING ADMINISTRATOR

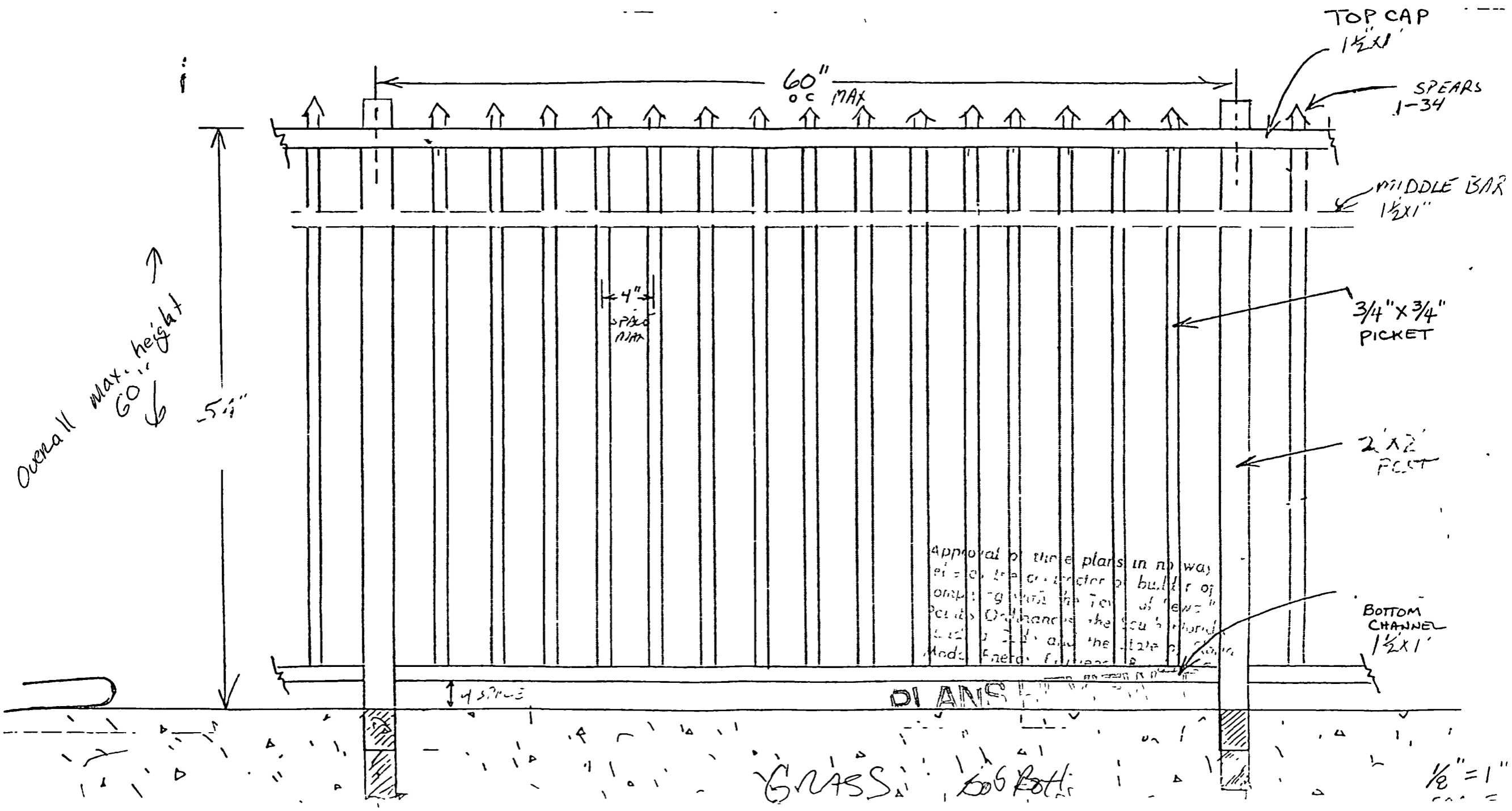
0503

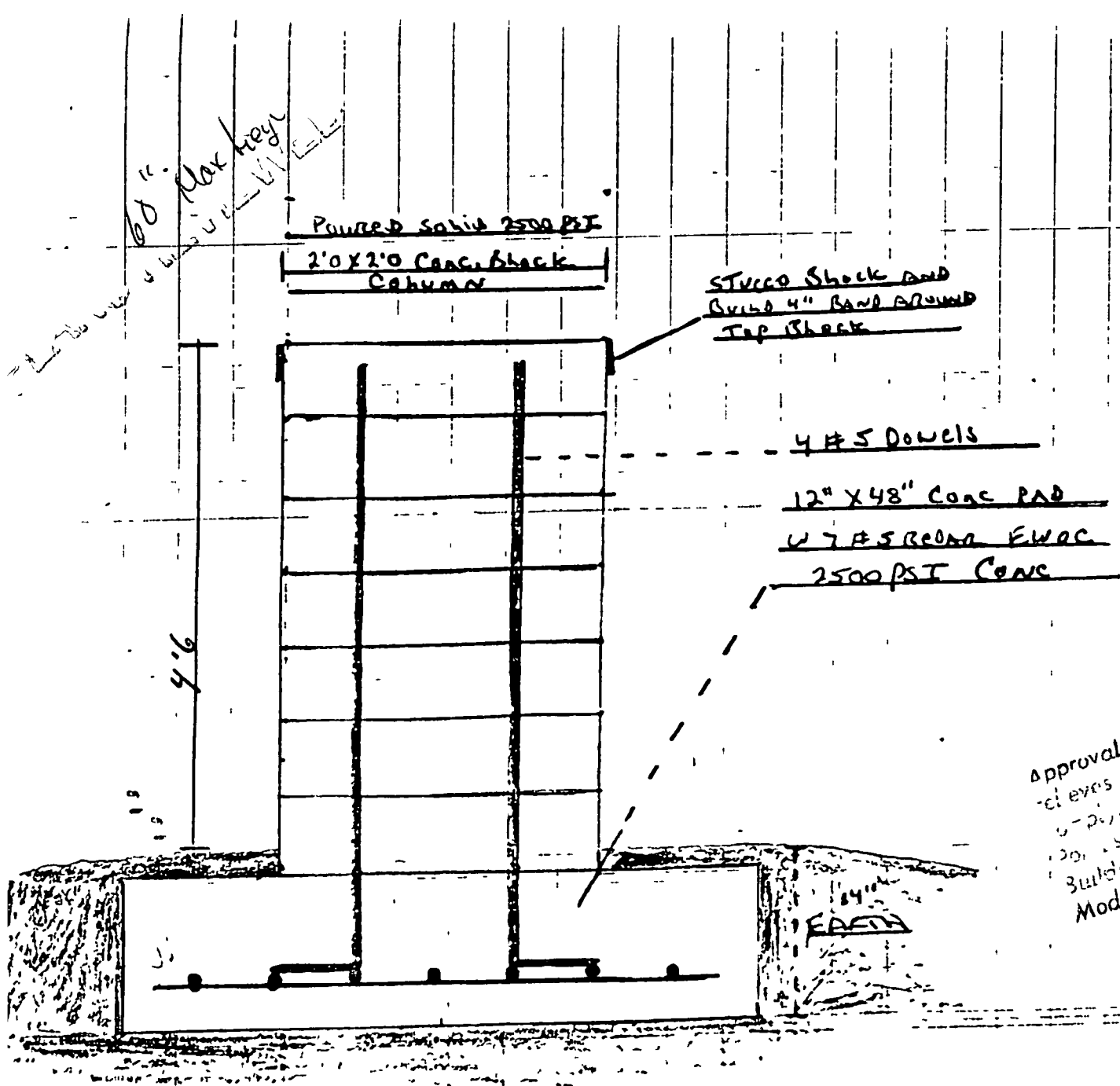


MARTIN COUNTY CONTRACTORS  
CERTIFICATE OF COMPETENCY  
KASPEROWSKI, GARY A  
TREASURE COAST FENCE  
2340 SW DEEPWOOD PASS  
PALM CITY , FL 34990

EXPIRES SEPTEMBER 30, 19 99

AUDIT CONTROL NUMBER	34047	CERTIFICATE NUMBER	SP01861
----------------------------	-------	--------------------	---------





Approval of these plans in no way  
 relieves the contractor or builder of  
 compliance with the rules of Lowell  
 Building Ordinances, the State of Florida  
 Building Code and the State of Florida  
 Model Energy Efficiency Building Code

Bob Boff

**2519**

**SEAWALL**

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a site plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable

Owner C. B. Neville Present Address 104. No Sewall Pt

Phone 283-1821

Contractor Self Address \_\_\_\_\_

Phone \_\_\_\_\_

Where licensed \_\_\_\_\_ License number \_\_\_\_\_

Electrical contractor \_\_\_\_\_ License number \_\_\_\_\_

Plumbing contractor \_\_\_\_\_ License number \_\_\_\_\_

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought Repairing seawall

State the street address at which the proposed structure will be built as above

Subdivision \_\_\_\_\_ Lot number \_\_\_\_\_ Block number \_\_\_\_\_

Contract price \$ \$350.00 Cost of permit \$ \$15.00

Plans approved as submitted \_\_\_\_\_ Plans approved as marked \_\_\_\_\_

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tacking" the construction project

Contractor C. B. Neville

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given

Owner C. B. Neville

TOWN RECORD

Date submitted \_\_\_\_\_ Approved C. B. Neville Building Inspector \_\_\_\_\_ Date \_\_\_\_\_

Approved \_\_\_\_\_ Commissioner \_\_\_\_\_ Date \_\_\_\_\_ Final Approval given \_\_\_\_\_ Date \_\_\_\_\_

Certificate of Occupancy issued (if applicable) \_\_\_\_\_ Date \_\_\_\_\_

SP1282

Permit No \_\_\_\_\_

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code

**4487**

**FENCE**

Town of Sewall's Point

Fence

PLN. \_\_\_\_\_

Date 10-8-98

BUILDING PERMIT APPLICATION

4487

to construct

NEW CONSTRUCTION  ADDITION  ALTERATION  DEMOLITION

RESIDENTIAL  COMMERCIAL \_\_\_\_\_ SF \_\_\_\_\_ CF \_\_\_\_\_

TOTAL PRICE \$2230

OTHER: \_\_\_\_\_ CONTRACT PRICE \_\_\_\_\_

Owner's Name MAHBOOB M. ALIKHAN

Owner's Address 104 N. SEWALL'S POINT ROAD 34996

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Contractor's Name Sailfish Aluminum INC

Contractor's Address 801 SW. JASLO AVE

City Pt. St. Lucie State FL Zip 34953

Job Name Mahboob m Alikhan

Job Address 104 N Sewalls Point Road 34996

City Sewalls Pt. State FL Zip \_\_\_\_\_

Legal Description Lot #2 - Section 35 - Township 37 South Goutlet

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

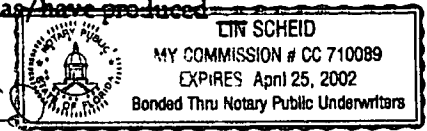
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent \_\_\_\_\_ Date \_\_\_\_\_

Bruce Jackson \_\_\_\_\_ 10-8-98  
Contractor \_\_\_\_\_ Date \_\_\_\_\_

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 8 day of Oct, 1998, by  
Bruce Jackson who: [ ] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_  
\_\_\_\_\_ as identification, and who did not take an oath.



Lin Scheid

Name: Lin Scheid

Typed, printed or stamped  
(NOTARY SEAL)

I am a Notary Public of the State of Florida having a  
commission number of \_\_\_\_\_ and my  
commission expires: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this \_\_\_ day of \_\_\_\_\_, 199\_\_\_ by  
\_\_\_\_\_ who: [ ] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_  
\_\_\_\_\_ as identification, and who did not take an oath.

Name: \_\_\_\_\_

Typed, printed or stamped  
(NOTARY SEAL)

I am a Notary Public of the State of Florida having a  
commission number of \_\_\_\_\_ and my  
commission expires: \_\_\_\_\_

Certificate of Competency Holder

Contractor's State Certification or Registration No. \_\_\_\_\_

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY Bruce Jackson Bob Bett Permit Officer

\_\_\_\_\_ Building Commissioner



**4792**

**RIPRAP**

MASTER PERMIT NO. \_\_\_\_\_

### TOWN OF SEWALL'S POINT

Date 1/18/00

BUILDING PERMIT NO. 4792

Building to be erected for ALI KATHN

Type of Permit DOCK (RIP RAP)

Applied for by ROBERT SANDY MARINE

(Contractor) Building Fee \$240.00

Subdivision 35-575 Lot GOV LOT 2 Block \_\_\_\_\_

Address 104 N. SEWALLS POINT RD,

Type of structure S.F.R.

Radon Fee \_\_\_\_\_

Impact Fee \_\_\_\_\_

A/C Fee \_\_\_\_\_

Electrical Fee \_\_\_\_\_

Plumbing Fee \_\_\_\_\_

Roofing Fee \_\_\_\_\_

Parcel Control Number \_\_\_\_\_

Amount Paid \$240.00 Check # 1235 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_

Total Construction Cost \$ 6,100.00 TOTAL Fees \$240.00

Signed Wayne Schupp  
Applicant

Signed [Signature]  
Town Building Inspector OFFICIAL

# RIP RAP DOCK PERMIT

#### INSPECTIONS

SETBACKS DATE \_\_\_\_\_  
PILINGS DATE \_\_\_\_\_  
BOAT LIFT DATE \_\_\_\_\_

WATER DATE \_\_\_\_\_  
ELECTRIC DATE \_\_\_\_\_  
DECK DATE \_\_\_\_\_  
FINAL DATE \_\_\_\_\_

DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE \_\_\_\_\_  
DATE 2/9/00

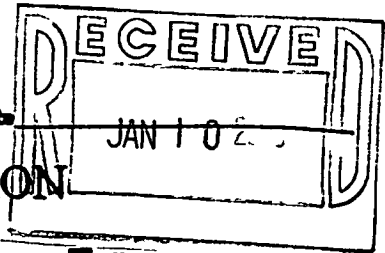
**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**  
**WORK HOURS - 8:00 AM UNTIL 5:00 PM**  
**MONDAY THROUGH SATURDAY**

New Construction    Remodel    Addition    Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Town of Sewall's Point

P.L.N. 4792



118700 BUILDING PERMIT APPLICATION

to construct  
 NEW CONSTRUCTION     ADDITION     ALTERATION     DEMOLITION  
 RESIDENTIAL     COMMERCIAL    \_\_\_\_\_ SF    \_\_\_\_\_ CF

OTHER: Rip Rap CONTRACT PRICE \$6,000

Owner's Name Ali Kahn

Owner's Address 104 N. Sewall's Pt. Rd

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City Stuart State FL Zip 34996

Contractor's Name Robert Sandy

Contractor's Address 175 SW Kanner Hwy

City Stuart State FL Zip 34997

Job Name \_\_\_\_\_

Job Address 104 N. Sewall's Pt. Rd

City Sewalls Point State FL Zip 34996

Legal Description Sec 37 Town 41 Range 41

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

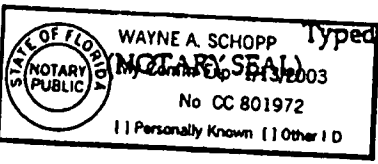
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

X Mahbaab Ali Khan 3/24/99  
Owner or Agent Date

Robert L. Sandy 3/25/99  
Contractor Date

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 24 day of March, 1999, by Mahbaab Ali Khan who: [] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_ as identification, and who did not take an oath.



Name: Wayne A. Schopp

I am a Notary Public of the State of Florida having a commission number of CC 801972 and my commission expires: 1-13-2003

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 25 day of March, 1999, by Robert Sandy who: [] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_ as identification, and who did not take an oath.

(NOTARY SEAL) Name: Wayne A. Schopp  
Typed, printed or stamped

I am a Notary Public of the State of Florida having a commission number of CC 801972 and my commission expires: 1-13-2003

Certificate of Competency Holder

Contractor's State Certification or Registration No. C6C040310

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

\_\_\_\_\_ Building Commissioner

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)  
01/05/2000

PRODUCER (561)335-8804 FAX (561)335-8847  
S M FINES INSURANCE AGENCY  
1250 S E PORT ST. LUCIE BLVD  
PORT ST LUCIE, FL 34952-5392

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

Attn Schichtel, Rae Ext  
INSURED Robert Sandy  
175 SW Kenner Hwy  
Stuart, FL 34997

COMPANIES AFFORDING COVERAGE  
Assurance Co of America  
COMPANY A  
COMPANY B  
COMPANY C  
COMPANY D

RECEIVED  
JAN 18 2000  
BY: \_\_\_\_\_

*PARROT FILE*

**COVERAGES**  
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	SCP30598990	01/01/2000	01/01/2001	GENERAL AGGREGATE \$ 600,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS COMP/OP AGG \$ 600,000
	<input checked="" type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 300,000
	OWNER S & CONTRACTOR S FROT				EACH OCCURRENCE \$ 300,000
					FIRE DAMAGE (Any one fire) \$ 300,000
					MED EXP (Any one person) \$ 10,000
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT \$
	ANY AUTO				BODILY INJURY (Per person) \$
	ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	SCHEDULED AUTOS				PROPERTY DAMAGE \$
	HIFED AUTOS				
	NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY EA ACCIDENT \$
	ANY AUTO				OTHER THAN AUTO ONLY \$
					EACH ACCIDENT \$
					AGGREGATE \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	UMBRELLA FORM				AGGREGATE \$
	OTHER THAN UMBRELLA FORM				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTH ER \$
	THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE INCL EXCL				EL EACH ACCIDENT \$
					EL DISEASE POLICY LIMIT \$
					EL DISEASE EA EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS  
220-4765

State of Florida

CERTIFICATE HOLDER  Town of Sewalls Point 1 South Sewalls Point Rd Stuart, FL 34996	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY ITS AGENTS OR REPRESENTATIVES.
	AUTHORIZED REPRESENTATIVE Susan Fines/DRS <i>Susan M Fines</i>



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD  
7960 ARLINGTON EXPRESSWAY  
SUITE 300  
JACKSONVILLE FL 32211-7467

(904) 727-6530

SANDY, ROBERT LEE  
INDIVIDUAL  
175 SW KANNER HWY  
STUART

FL 34997

STATE OF FLORIDA AC# 5198115  
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
 CG -C040310 07/06/1998 98900041  
 CERTIFIED GENERAL CONTRACTOR  
 SANDY, ROBERT LEE  
 INDIVIDUAL

IS CERTIFIED under the provisions of Ch. 489 FS  
 Expiration Date AUG 31, 2000

DETACH HERE

AC# 5198115

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
7/06/1998	98900041	CG -C040310

The GENERAL CONTRACTOR named below IS CERTIFIED under the provisions of Chapter 489 FS. Expiration date: AUG 31, 2000

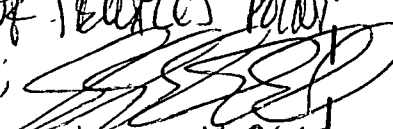
SANDY, ROBERT LEE  
INDIVIDUAL  
175 SW KANNER HWY  
STUART

FL 34997



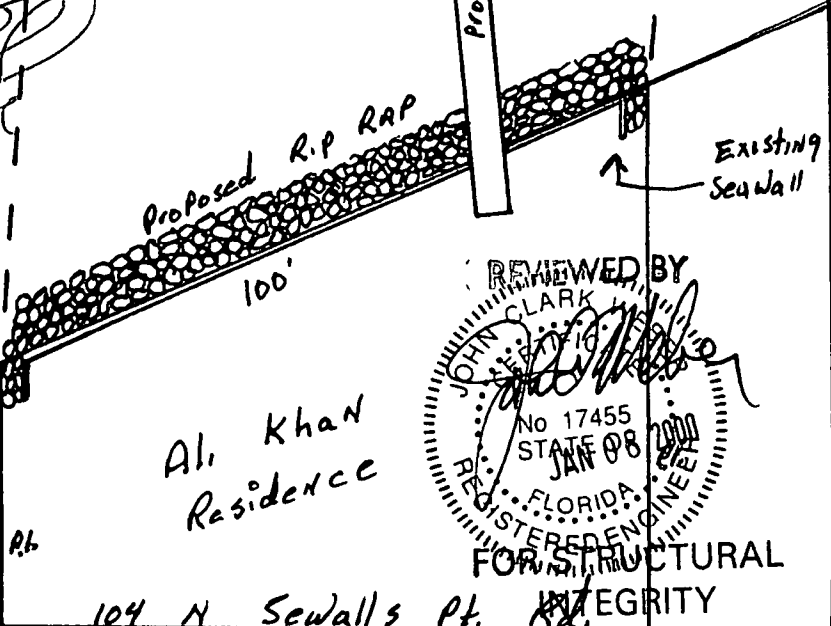
INDIAN RIVER

Proposed Dock Permit # 43-0144554-001

VIDEO TOWN OF SEWALL'S POINT  
REVIEW;   
BLOG OFFICIAL

TOWN COPY  
104 N. SEWALLS PT. RD.

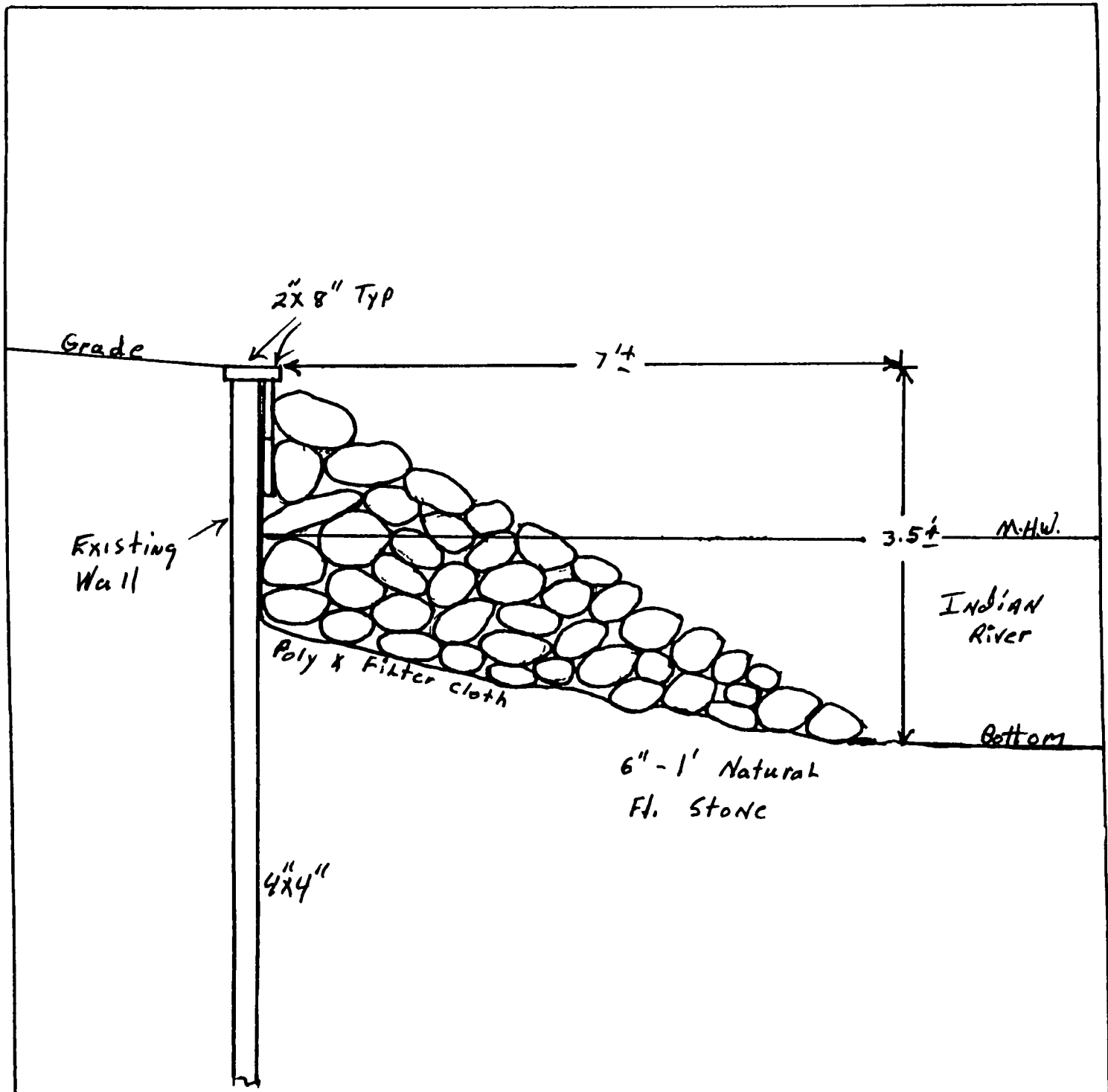
**PN 4792**  
M.H.W.



REVIEWED BY  
JOHN CLARK  
No 17455  
STATE FLORIDA  
REGISTERED ENGINEER  
JAN 08  
FOR STRUCTURAL INTEGRITY

N.T.S.

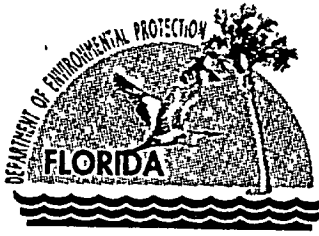
104 N Sewalls Pt. Rd.



VIEWED BY  
 JOHN CLARK  
 No 17455  
 STATE OF FLORIDA  
 JAN 08 2000  
 REGISTERED PROFESSIONAL ENGINEER  
 INTEGRITY

RIP RIP Dr Ali Khan 104 N Sewalls Pt. Rd.





Jeb Bush  
Governor

# Department of Environmental Protection

Port St Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St Lucie, FL 34952  
(561)871-7662 (561)335-4310

David B. Struhs  
Secretary

**APR 24 1999**

Ali Kahn  
104 North Sewall's Point Road  
Sewall's Point, FL 34996

Re File No 43-0144554-003  
Martin County

Dear Mr Kahn

On March 26, 1999, we received your notice of intent to use a Noticed General Permit (NGP) pursuant to Rule 62-341.431, Florida Administrative Code (F A C) to perform the following activities: construct a 100' x 7' riprap revetment at the face of an existing seawall in the Jensen Beach to Jupiter Inlet Aquatic Preserve, O F W (Class III waters of the state), located at 104 North Sewall's Point Road (Section 37, Township 41 South, Range 41 East) Sewall's Point, Martin County.

Your intent to use a NGP has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project **may not** have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

### **Regulatory Review**

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F S), Title 62, F A C, and in accordance to operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F A C. Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341.431, F A C).

Activities performed under the NGP are subject to the general conditions required in Rule 62-341.215, F A C (attached), and to the specific conditions of the permit for which notice was given (62-341.431 F A C) (attached). Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties. A stamped plan view and vicinity map for the project are attached.

Please be advised that the construction phase of the NGP must be completed within 5 years from the date the notice to use the NGP was received by the Department. If you wish to continue this noticed general permit beyond the expiration date, you must notify the Department at least 30 days before its expiration.

*"Protect, Conserve and Manage Florida's Environment and Natural Resources"*

Ali Kahn  
File No 43-0144554/003  
Page Two

**Proprietary Review (related to state-owned lands)**

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F S , Chapters 18-20 and 18-21, F A C , and Section 62-343 075, F A C

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253 77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

**Federal Review (State Programmatic General Permit)**

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U S Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U S Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U S Army Corps of Engineers (Corps) General conditions apply to your project, as attached. **No further permitting for this activity is required by the Corps.** The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.

If you change the project from what you submitted, the authorizations granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

**NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS**

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106 111, F A C , a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place, or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

The Department will not publish notice of this determination *Publication of this notice by you is optional and not required for you to proceed.* However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits

If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place

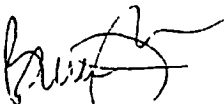
If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50 011 and 50 031, F S In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice

Florida Department of Environmental Protection  
Southeast District - Port St Lucie Branch Office  
Submerged Lands & Environmental Resources Program  
1801 SE Hillmoor Drive Suite C-204, Port St Lucie, FL 34952

If you revise your project after submitting the initial joint application, please contact us as soon as possible Also, if you have any questions, please contact **Bruce Jerner** of this office, at telephone (561) 871-7662 When referring to this project, please use the FDEP file name number listed above

Sincerely,

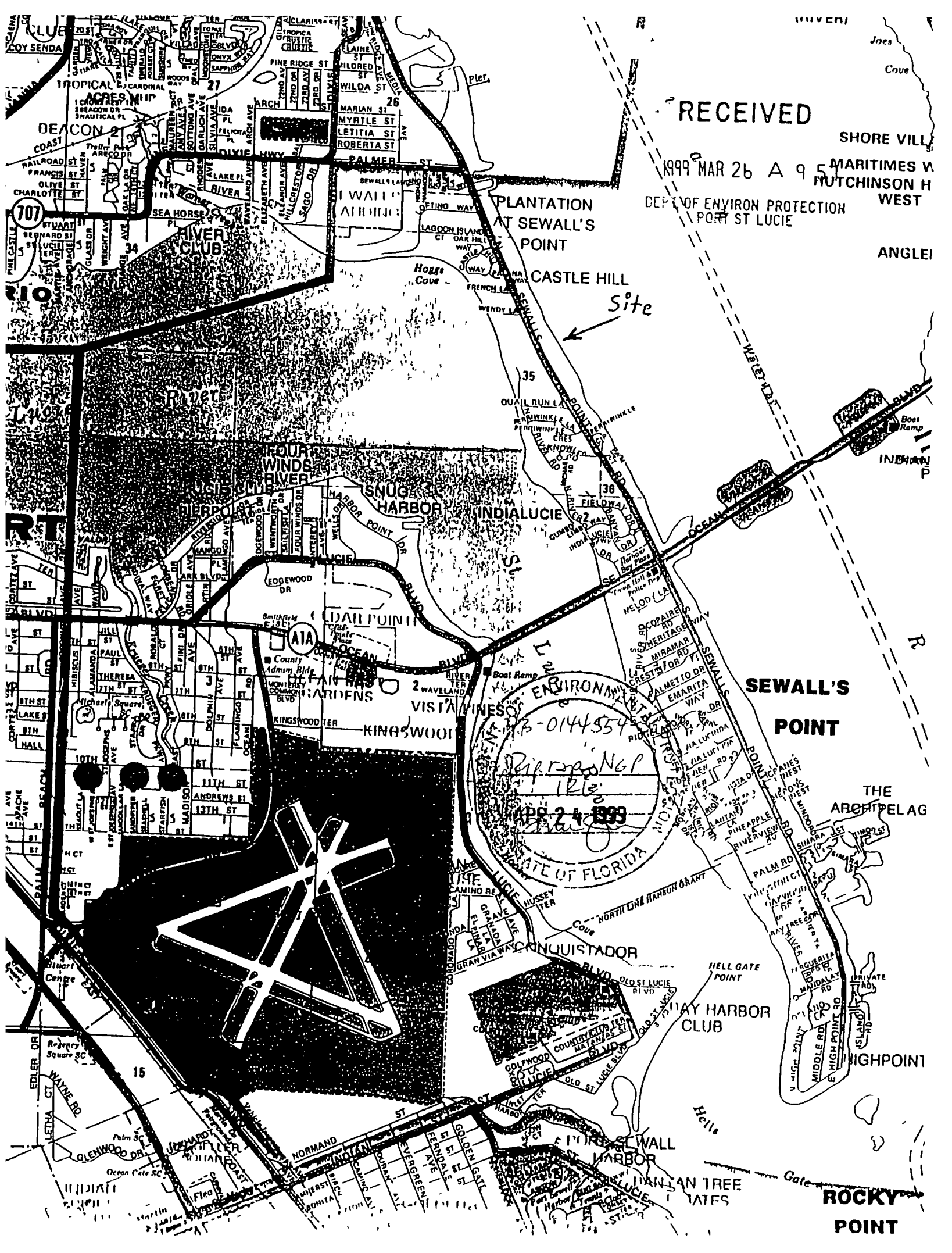


*to*  
Gary N Roderick  
Environmental Administrator

GNR/BJ/lmw

Enclosures NGP General Conditions 62-341 215, F A C  
NGP Specific Conditions 62-341 431, F A C  
General Consent Conditions  
Federal General Conditions  
Federal Manatee Conditions  
Federal Permit Transfer Request  
Attachment A- Newspaper Publication Notice

cc U S Army Corps of Engineers, Stuart  
Robert Sandy Construction, Inc , (Agent) [without enclosures]



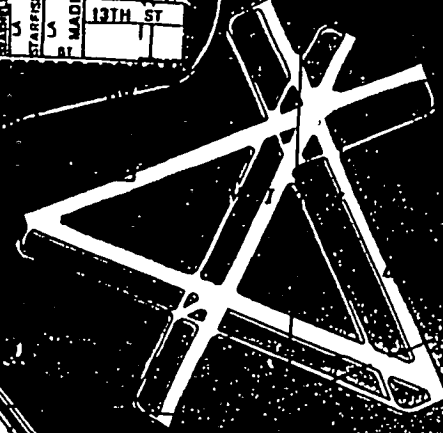
RECEIVED

1999 MAR 26 A 9 55  
DEPT OF ENVIRON PROTECTION  
PORT ST LUCIE

SHORE VILL  
MARITIMES W  
MUTCINSON H  
WEST

Site

ENVIRONMENTAL  
B-0144554  
RIPREP NGP  
12/2  
APR 24 1999  
STATE OF FLORIDA



SEWALL'S  
POINT

ROCKY  
POINT

2000 ~~1999~~ ~~1998~~

# Town of Sewall's Point Building Department - Inspection Log

Wed, 2-9-00

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4702	Perry	sheathing	Partial	last before
④	18 N. Ridgeview	for roof	By	touch - NOT POSSIBLE
<del>4792</del>	<del>Kohn</del>	<del>hd cap</del>	<del>PASSED</del>	<del>IN PROGRESS</del>
⑧	<del>104 N. Hill Rd</del>			
4775	Compo	slab	Passed	late AM
⑩	5 Paloma Way C. Hill		By	NOTE: MC SUB HAS NOT PUL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4732	Tettamenti	nailing	Passed	Partial
⑦	19 Lofting Way Plantation	Partial GARAGE Concrete Slab	By	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4758	Gimes	final	Partial By	11-30 if possible
⑨	15 C Hill Way	C.O. (WALK THRU)	need. Pull Reception in K 100 2 2000 - F	2 - Rance Vent cut T. Estom. ④ S. - Elv...
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4665	Nicklas (SP)	frame		R. 11 ... F. 11
⑫	21 C Hill Way	all trades (REINSPECT)		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

INSPECTOR:

DATE: 2/9/00

**4906**

**METER**

**CHANGEOUT**

MASTER PERMIT NO. N/A

**TOWN OF SEWALL'S POINT**

Date 4/25/00 BUILDING PERMIT NO. 4906  
 Building to be erected for MATBOOB ALIKHAN Type of Permit METER OUT (REPL)  
 Applied for by LEONARD KROS. ELECT. INC (Contractor) Building Fee \$  
 Subdivision \_\_\_\_\_ Lot 2E Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 104 N. SEWALL'S POINT RD Impact Fee \_\_\_\_\_  
 Type of structure 35-37-41-000 000-00101.00000 A/C Fee \_\_\_\_\_  
 Parcel Control Number \_\_\_\_\_ Electrical Fee \$ 30.00  
 \_\_\_\_\_ Plumbing Fee \_\_\_\_\_  
 \_\_\_\_\_ Roofing Fee \_\_\_\_\_  
 Amount Paid \$ 30.00 Check # 16259 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
 Total Construction Cost \$ 230.00 TOTAL Fees \$ 30.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

**BUILDING PERMIT** **METER CHANGE-OUT**

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>4/26/00</u>

FLOOD ZONE \_\_\_\_\_ LOWEST HABITABLE FLOOR ELEV. \_\_\_\_\_

**24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455**  
**WORK HOURS – 8:00 AM UNTIL 5:00 PM**  
**MONDAY THROUGH SATURDAY**

New Construction     Remodel     Addition     Demolition

**This permit must be visible from the street, accessible to the inspector.**  
**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,**  
**NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.**  
**DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

RECEIVED
APR 24 2000
BY _____

Owner's Name: MAHBOOB M. ALIKHAN Phone No. 781-1224  
 Owner's Present Address: \_\_\_\_\_  
 Fee Simple Titleholder's Name & Address if other than owner: \_\_\_\_\_

Location of Job Site: 104 North Sewall's Point Road  
 TYPE OF WORK TO BE DONE: Replace Analog meter can  
 CONTRACTOR INFORMATION:  
 Contractor/Company Name: LEONARD BROS. Electric Inc Phone No. 287-2247  
 COMPLETE MAILING ADDRESS: P.O. Box 3384 Stuart, Fl. 34995  
 State Registration: \_\_\_\_\_ State License EC 0001282  
 Legal Description of Property: Lot 2E  
 Parcel Number: 35-37-41-000000-0010100000

### ARCHITECT/ENGINEER INFORMATION

Architect \_\_\_\_\_ Phone No. \_\_\_\_\_  
 Address \_\_\_\_\_  
 Engineer \_\_\_\_\_ Phone No. \_\_\_\_\_  
 Address \_\_\_\_\_

Area Square Footage: Living Area \_\_\_\_\_ Garage Area \_\_\_\_\_ Carport \_\_\_\_\_  
 Accessory Bldg. \_\_\_\_\_ Covered Patio \_\_\_\_\_ Scr. Porch \_\_\_\_\_ Wood Deck \_\_\_\_\_  
 Type Sewage: \_\_\_\_\_ Septic Tank Permit # from Health Dept. \_\_\_\_\_  
 NEW electrical SERVICE SIZE \_\_\_\_\_ AMPS

### FLOOD HAZARD INFORMATION

flood zone \_\_\_\_\_ minimum Base Flood Elevation (BFE) \_\_\_\_\_ NGVD  
 proposed finish floor elevation \_\_\_\_\_ NGVD (minimum 1 foot above BFE)  
 Cost of construction or Improvement: 230.00  
 Fair Market Value (FMV) prior to improvement \_\_\_\_\_  
 Substantial Improvement 50% of FMV yes \_\_\_\_\_ No \_\_\_\_\_  
 Method of determining FMV \_\_\_\_\_

### SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical \_\_\_\_\_ State License \_\_\_\_\_  
 Mechanical \_\_\_\_\_ State License# \_\_\_\_\_  
 Plumbing \_\_\_\_\_ State License# \_\_\_\_\_  
 Roofing \_\_\_\_\_ State License# \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

### OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE \_\_\_\_\_  
 Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 1998 by \_\_\_\_\_ who is personally known to me or has produced or has produced \_\_\_\_\_ and who did (did not) take an oath.

CONTRACTOR SIGNATURE \_\_\_\_\_  
 Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 1998 by \_\_\_\_\_ who is personally known to me or has produced \_\_\_\_\_ and who did (did not) take an oath.



**TREE REMOVAL (Attach sealed survey)**

No. of trees to be removed \_\_\_\_\_ No. to be retained \_\_\_\_\_ No. to be planted \_\_\_\_\_  
Specimen tree removed \_\_\_\_\_ Fee \_\_\_\_\_ Authorized/Date \_\_\_\_\_  
DEVELOPMENT ORDER # \_\_\_\_\_

**1. ALL APPLICATIONS REQUIRE :**

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

**ADDITIONAL Required Documents are:**

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official \_\_\_\_\_

Approved by Town Engineer \_\_\_\_\_

<b>ACORD. CERTIFICATE OF LIABILITY INSURANCE</b>		DATE (MM/DD/YY) <b>04/19/00</b>
PRODUCER 561-220-2933  THE DICKMEYER AGENCY 607 St. Lucie Crescent Stuart, FL 34994  INSURED  LEONARD BROTHERS ELECTRIC INC. P.O. Box 3384 Stuart, FL 34995	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW  INSURERS AFFORDING COVERAGE  <i>London</i> National Insurance Co.  INSURER A INSURER B INSURER C INSURER D INSURER E	
<b>FILE</b> <i>lie/ins</i> <b>FILE</b>		<b>COPY RECEIVED</b> APR 19 2000 BY: <i>SA</i>

**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY COMMERCIAL GENERAL LIABILITY CLAIMS MADE   OCCUR  GENL AGGREGATE LIMIT APPLIES PER POLICY   PRO   LOC				FACTORY BUILDING \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS COMPAGG \$
	AUTOMOBILE LIABILITY ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Ea person) \$ BODILY INJURY (Per accident) \$ PHYSICAL DAMAGE (Per accident) \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY FA ACCIDENT \$ OTHER THAN AUTO ONLY FA ACC \$ AGG \$
	EXCESS LIABILITY OCCUR   CLAIMS MADE  DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS LIABILITY	770-01114100	04/01/00	04/01/01	X WC STATUTORY LIMITS   OTHER \$ PER EACH ACCIDENT \$ 100,000 EL DISEASE EA EMPLOYEE \$ 100,000 EL DISEASE POLICY LIMIT \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED INSURER LETTER</b>	<b>CANCELLATION</b>
TOWN OF SEWALLS POINT Building Dept. 1 South Sewalls Point Road Stuart, FL 34996  Attn: Edwin Arnold		SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER ITS AGENTS OR REPRESENTATIVES  AUTHORIZED REPRESENTATIVE <i>James E. Dickmeyer</i>

# ACORD. CERTIFICATE OF LIABILITY INSURANCE

SR AM  
LE08001

DATE (MM/DD/YY)  
04/19/00

**PRODUCER**  
Huckleberry, Sibley & Harvey  
Insurance & Bonds, Inc  
1901 Lee Road  
Winter Park FL 32789  
Phone 407-647-1616

*Handwritten:* **FILE**

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

**INSURED**  
  
Leonard Brother Electric, Inc.  
P.O. Box 3384  
Stuart FL 34995

**INSURERS AFFORDING COVERAGE**

INSURER A	AUTO OWNERS INSURANCE CO
INSURER B	<b>RECEIVED</b> APR 25 2000
INSURER C	
INSURER D	
INSURER E	
INSURER F	

**COVERAGES**

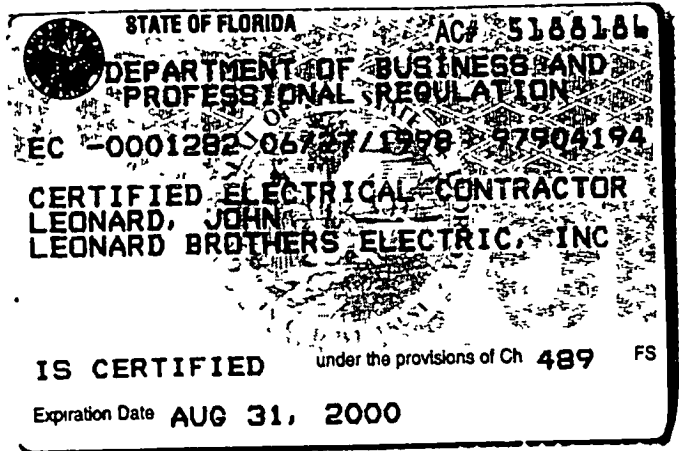
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSURER LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<b>GENERAL LIABILITY</b>	20574434-00	03/06/00	03/06/01	EACH OCCURRENCE \$ 500,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 500,000
					GENERAL AGGREGATE \$ 500,000
					PRODUCTS - COMPROP AGG \$ 500,000
					GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC
A	<b>AUTOMOBILE LIABILITY</b>	9542405300	03/06/00	03/06/01	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				
	<input checked="" type="checkbox"/> NON-OWNED AUTOS				
	<b>GARAGE LIABILITY</b>				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY AGG \$
	<b>EXCESS LIABILITY</b>				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
					\$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>				WC STATE-TORY LIMITS <input type="checkbox"/> OTHER \$
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
A	<b>PROPERTY</b>	20584435-00	03/06/00	03/06/01	CONTENTS 25000

**COPY**

DESCRIPTION OF OPERATION & LOCATION & VEHICLES & EXCLUSIONS ADDED BY ENDORSEMENTS/SPECIAL PROVISIONS  
Att: Edwin Arnold fax 561-220-4765

<b>CERTIFICATE HOLDER</b>	<b>ADDITIONAL INSURED, INSURER LETTER</b>	<b>CANCELLATION</b>
TOWN OF SEWALLS POINT BUILDING DEPARTMENT 1 SOUTH SEWALLS POINT ROAD STUART FL 34996	TOWNSEW	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.



MARTIN COUNTY ORIGINAL  
 1999 COUNTY OCCUPATIONAL LICENSE 2000  
 Larry C O Steen Tax Collector P O Box 9013, Stuart FL 34995  
 (561) 288 5604

LICENSE 1982 500 184 CERT MC00181  
 PHONE 561 287 2247 SIC NO 0000  
 LOCATION  
 3231 SF DOMINICA TER

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR \$	0.00	LIC FEE \$	25.00
\$	0.00	PENALTY \$	0.00
\$	0.00	COL FEE \$	0.00
\$		TRANSFER \$	0.00
TOTAL			25.00

LEONARD BROTHERS ELECTRIC INC  
 PO BOX 3384  
 STUART FL 34995-3384

ELEC. CONTRACTOR

1 OCTOBER 2000 999090101 1727 PAID

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection:  Mon  Wed  Fri 4-26, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	REMARKS
<del>4906</del>	Alikahn	meter can	Passed	10: -10:30 if possible
<b>6</b>	<del>104 N. S.P. Rd.</del> FPL Replacing under Ground Service. Temp TRANSFORMER being use	change	BG	
4803	Foalia	roof frame	Reject	MISSING BRACING
<b>5</b>	107 H Sewall W Foalia	1/2 trusses	Fee BG	Letter for TRUSS were str Add Rat Ribs Tightened Bolt + nut
4527	Seely	2nd story	Passed	
<b>7</b>	27 Lifting Way Gribben	tie-beam FOR HOUSE	BG	
4531	Lino	Pool Final	Passed	
5B	6 Island Rd		BG	
4908	NICKLAS 21 CASTLE HILL WAY MR MARTIN CORP	STORM SHUTTER - FINAL	PASSED EA	- REQUIRED FOR C.O OK TO RELEASE UPON COMPLETION.
4904	MIRANDA 34 CASTLE HILL WAY O/B	PRE-DEVELOPMENT T/R PERMIT INSPECTION	PASSED (AS NOTED)	

OTHER T/R PERMIT APPL. - S.S. RIVER RD; FRANEIS ✓ APPROVED  
 T/R " " - 6 MIDDLE RD; CLEMENTS ✓ HOLD - ADD'L INFO/REPL. INFO REQ  
 T/R " " - 8 PALMISTO DR; FLUIT ✓ NO PERMIT REQUIRED; NON-NATIVE SHROB,

INSPECTOR (Name/Signature) \_\_\_\_\_

**8282**

**DOCK**

Martin County # SP01 -  
MASTER PERMIT NO. 20060053

TOWN OF SEWALL'S POINT

Receipt

BUILDING PERMIT NO. 8282

Date 6-23-06

Building to be erected for Alikhan

Type of Permit Rebuild Deck

Applied for by O B

(Contractor)

Building Fee 240-

Subdivision Govt Lot Lot 2 Block

Radon Fee

Address 104 N Sewalls Pt Rd

Impact Fee

Type of structure SFR

A/C Fee

Electrical Fee

Plumbing Fee

Parcel Control Number.

35-37-41-000-000-0010100000

Roofing Fee

Amount Paid \$240- Check # 1382 Cash Other Fees ( )

Total Construction Cost \$ 20000-

TOTAL Fees 240-

Signed Alikhan  
Applicant

Signed Valerie Meyer  
Town Building Official Dept Clerk

2/26/07 Per John Adams -

\$50 Renewal Insp Fee when complete -

special circumstances behind this permit

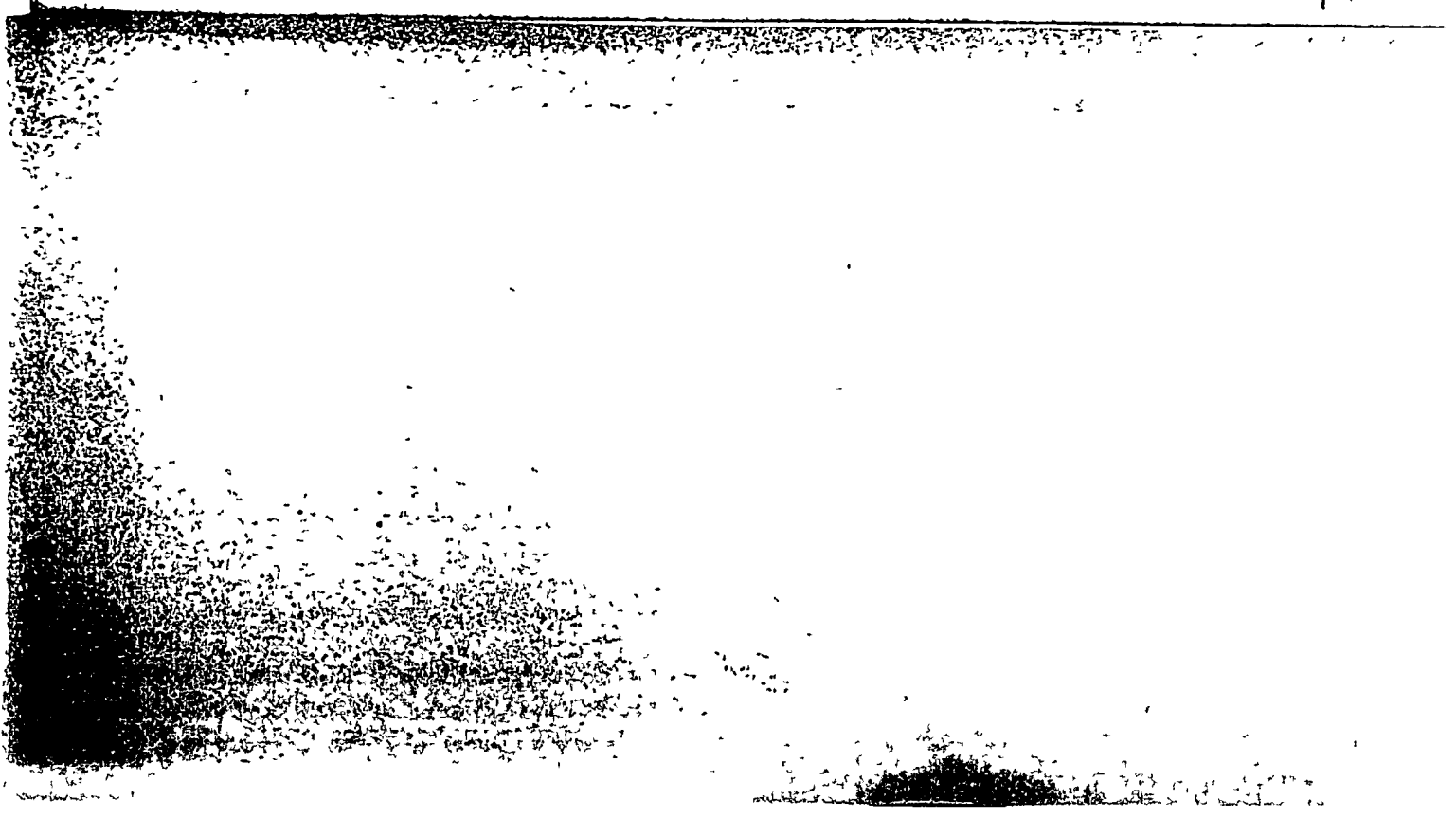
Special General Fee \$50  
Permit Fee \$330  
Total \$380

Main County # SP01 -  
MASTER PERMIT NO. 2006005

### TOWN OF SEWALL'S POINT

Date 6-1-06 BUILDING PERMIT NO. 3232  
 Building to be erected for Turkey Type of Permit Permit to Build  
 Applied for by DI (Contractor) Building Fee 540-  
 Subdivision Sub 1st Lot 2 Block \_\_\_\_\_ Radon Fee \_\_\_\_\_  
 Address 100 W Sewall's Pt Rd Impact Fee \_\_\_\_\_  
 Type of structure FR A/C Fee \_\_\_\_\_  
 Parcel Control Number \_\_\_\_\_ Electrical Fee \_\_\_\_\_  
35-37-41 000-02-00101 0000 Plumbing Fee \_\_\_\_\_  
 Amount Paid 240- Check # 1587 Cash \_\_\_\_\_ Other Fees ( \_\_\_\_\_ ) \_\_\_\_\_  
 Total Construction Cost \$ 2000- TOTAL Fees 540-

Signed [Signature] Applicant  
 Signed [Signature] Town Building Official Sept 2006





RECEIVED  
15-3104 D

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number \_\_\_\_\_

Date 5/26/06

OWNER/TITLEHOLDER NAME MATTHEW ALIKHAN SM ALIKHAN Phone (Day) 772-523-9337 (Fax) 0-9338

Job Site Address 104 N Sewalls Pt Rd City SEWALL'S POINT State FL Zip 34986

Legal Desc Property (Subd/Lot/Block) S 100' of N 200' of ENT Parcel Number 35-37-41-000-000-001 01-0000

Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Description of Work To Be Done rebuild existing dock

WILL OWNER BE THE CONTRACTOR?

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)  
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES

Estimated Cost of Construction or Improvements \$20000-  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value \_\_\_\_\_

CONTRACTOR/Company \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

State Registration Number \_\_\_\_\_ State Certification Number \_\_\_\_\_ Martin County License Number \_\_\_\_\_

SUBCONTRACTOR INFORMATION

Electrical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
Mechanical \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
Plumbing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_  
Roofing \_\_\_\_\_ State \_\_\_\_\_ License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ Lic # \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios \_\_\_\_\_ Screened Porch \_\_\_\_\_  
Carport \_\_\_\_\_ Total Under Roof \_\_\_\_\_ Wood Deck \_\_\_\_\_ Accessory Building \_\_\_\_\_

NOTICE In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts state agencies or federal agencies

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2004  
National Electrical Code 2002 Florida Energy Code 2004 Florida Accessibility Code 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

OWNER OR AGENT SIGNATURE (required)

Matthew Alikhan  
State of Florida, County of Martin

This the 26th day of May, 2006  
by Saira Alikhan who is personally

known to me or produced FL Licensed  
as identification Valerie Meyer

My Commission Expires \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

\_\_\_\_\_  
On State of Florida, County of \_\_\_\_\_

This the \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_\_\_  
by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_  
As identification \_\_\_\_\_

My Commission Expires \_\_\_\_\_  
Notary Public

Notary Public  
**VALERIE MEYER**  
MY COMMISSION # DD552119  
EXPIRES May 14 2010  
Seal  
Florida Notary Service.com

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

RECEIVED  
12/14/05

Revised 5/3/06

Town of Sewall's Point  
BUILDING PERMIT APPLICATION

Date \_\_\_\_\_ Permit Number \_\_\_\_\_

OWNER/TITLEHOLDER NAME Mahboob Ali Khan Phone (Day) 460-1480 (Fax) \_\_\_\_\_

Job Site Address 104 N Sewalls Point Road City Stuart State FL Zip 34994

Legal Desc Property (Subd/Lot/Block) S 100' of N 200' of Gov Lot 2 Parcel Number 35-37-41-000-000-0010

Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Description of Work To Be Done Rebuild dock destroyed in Hurricane

WILL OWNER BE THE CONTRACTOR?

YES  NO

(If no, fill out the Contractor & Subcontractor sections below)

(If yes Owner Builder Affidavit must accompany application)

COST AND VALUES.

Estimated Cost of Construction or Improvements \$ \_\_\_\_\_  
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value \_\_\_\_\_

CONTRACTOR/Company Hammerhead Marine Const. Phone 336-7420 F - 336-7370

Street 212 SW Conant Ave - Unit A City PSL State FL Zip 34953

State Registration Number N/A State Certification Number N/A Martin County License SPO3137

SUBCONTRACTOR INFORMATION

Electrical N/A State \_\_\_\_\_ License Number \_\_\_\_\_  
Mechanical N/A State \_\_\_\_\_ License Number \_\_\_\_\_  
Plumbing N/A State \_\_\_\_\_ License Number \_\_\_\_\_  
Roofing N/A State \_\_\_\_\_ License Number \_\_\_\_\_

ARCHITECT \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ENGINEER Paul Weld, Inc. Phone Number 785-9888  
Street 1984 SW Biltmore Street City PSL State FL Zip 34984

AREA SQUARE FOOTAGE - SEWER = \_\_\_\_\_ ELECTRIC \_\_\_\_\_ LIVING \_\_\_\_\_

and there may be additional permits required  
AT TIME OF APPLICATION Florida Building Code  
National Electrical Code 2002 Florida Energy Code 2002

OWNER OR AGENT SIGNATURE (required)

[Signature]  
State of Florida, County of Martin  
by Jenna Deaf who is personally known to me or produced by [Signature] Notary Public  
My Commission Expires \_\_\_\_\_

CONTRACTOR SIGNATURE (required)

[Signature]  
On State of Florida, County of Martin  
by Jenna Deaf who is personally known to me or produced by [Signature] Notary Public  
My Commission Expires \_\_\_\_\_

NOTARY PUBLIC  
STATE OF FLORIDA  
Notary Public State of Florida  
Daniel J Mattia  
My Commission DD411604  
Expires 03/27/2009

NOTARY PUBLIC  
STATE OF FLORIDA  
Notary Public State of Florida  
Daniel J Mattia  
My Commission DD411604  
Expires 03/27/2009

PERMIT # \_\_\_\_\_

TAX FOLIO # \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 104 N Sewall's Pt RD Stuart, FL 34946

GENERAL DESCRIPTION OF IMPROVEMENT: 5100' of N 200' of 60' 10' 2' E of RD  
Rebuild destroyed dock due to hurricane

OWNER: MATTHEW B ALIKHAN SAIRA ALIKHAN

ADDRESS: 104 N Sewall's Pt RD Stuart, FL 34946

PHONE # 772-523-4338 FAX # \_\_\_\_\_

CONTRACTOR: owner build

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

SURETY COMPANY (IF ANY): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

BOND AMOUNT: \_\_\_\_\_

LENDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7, FLORIDA STATUTES

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

IN ADDITION TO HIMSELF, OWNER DESIGNATES \_\_\_\_\_

OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES

PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

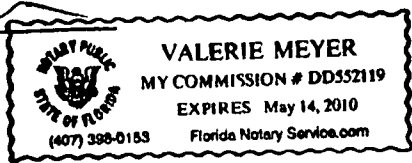
EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_  
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE

Saira Alikhan  
SIGNATURE OF OWNER

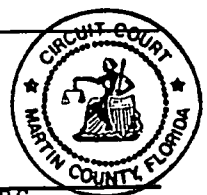
SWORN TO AND SUBSCRIBED BEFORE ME THIS 26 DAY OF May, 2006  
BY Saira Alikhan

Valerie Meyer  
NOTARY SIGNATURE

/data/gmd/bzd/bldg\_forms/Noc.sw



PERSONALLY KNOWN  
PRODUCED ID  
TYPE OF ID FL Driver's License



INSTR # 1927103 OR BY 02148 PG 0202 RECD 05 31/2006 02:39:32 PM  
Pg 0302: (1pg)  
MARSHA EWING MARTIN COUNTY CLERK

NOTICE OF COMMENCEMENT

Permit No \_\_\_\_\_  
State Of Florida

Tax ID # \_\_\_\_\_  
County Of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 13, Florida Statute the following information is provided in this Notice of Commencement

Legal Description of property and street address, if available 104 N. Sewalls Point Road, Stuart FL, 34996  
S 100' OF N 200' OF Gov lot 2 E of Rd

General description of improvements Rebuild destroyed dock (Due to Hurricane)  
Owner Mahboob Alikhan  
Address 104 N Sewalls Point Rd., Stuart FL 34996  
Owner's interest in site of improvement \_\_\_\_\_

See Simple Title holder (if other than owner) \_\_\_\_\_  
Address \_\_\_\_\_

Contractor Hammerhead Marine Construction, Inc Phone # (772) 336-7420  
Address 2121 SW Conant Ave., Port St Lucie, FL 34953 Fax # (772) 336-7370

Surety \_\_\_\_\_ Phone # \_\_\_\_\_  
Address \_\_\_\_\_ Fax # \_\_\_\_\_  
Amount of Bond \$ \_\_\_\_\_

Lender \_\_\_\_\_ Phone # \_\_\_\_\_  
Address \_\_\_\_\_ Fax # \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713 13 (1) (a) 7, Florida Statutes

Name \_\_\_\_\_ Phone # \_\_\_\_\_  
Address \_\_\_\_\_ Fax # \_\_\_\_\_

In addition to himself, owner designates \_\_\_\_\_ of \_\_\_\_\_ (Phone # \_\_\_\_\_  
Fax # \_\_\_\_\_) to receive a copy of the Lienor's Notice as provided in Section 713 13(1)(b), Florida Statutes  
Expiration date of notice of commencement is one year from the date of recording unless a different date is specified  
\_\_\_\_\_(Date)

*Mahboob Alikhan*

OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF St Lucie  
Acknowledged before me this 27 day of December 2005 by Mahboob Alikhan who is personally known to me or  
who has produced N/A as identification

(seal)

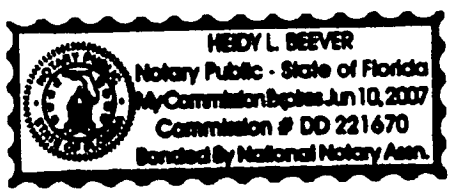
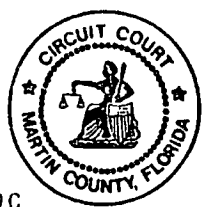
*Heidy L. Beever*  
SIGNATURE OF NOTARY  
Heidy L. Beever  
TYPE OR PRINT NAME OF NOTARY

NOTARY PUBLIC TITLE  
DD 221670 COMMISSION NUMBER

STATE OF FLORIDA  
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE  
FOREGOING \_\_\_\_\_ PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHA SWING CLERK

BY [Signature] DC  
DATE 12/11/05



INSTR # 1907225 OF BK 02107 PG 2224 RECD 02/01/2006  
Pg 22247 (1pg)  
MARSHA SWING CLERK

11:11:16 AM

**TOWN OF SEWALL'S POINT**  
**ONE SOUTH SEWALL'S POINT ROAD**  
**SEWALL'S POINT, FLORIDA 34996**

**TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT**  
**(To be submitted if permit is to be pulled by Owner/Builder)**

**DISCLOSURE STATEMENT**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct FICA and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7)

I have read the above and agree to comply with the provisions as stated.

Name: MAMBOOB ALKHTAN  
SARA ALKHTAN Date: 5/26/06

Signature: *S. Alkhtan*

Address: 104 N Sewall's Pt

City & State: STUART, FL

Permit No \_\_\_\_\_



# MARTIN COUNTY BUILDING PERMIT

**CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.**

Permit Number	SP01 - 20060053
Permit Type	SEWALLS POINT
Date Issued	22-JUN-2006
Project	
Scope of Work	rebuild existing dock

Applicant/Contact	ALIKHAN, ZEHRA M /	
Parcel Control Number	35-37-41-000-000-0010 1-00000	
Subdivision		
Construction Address	104 SEWALLS POINT RD	
Location Description		
Owner Name	ALIKHAN, ZEHRA M	
Prime Contractor	OWNER	CONTACT OWNER
		License No

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

**"WARNING TO OWNER, YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**  
**A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION**

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR

### INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.  
 The inspections listed below may not represent all necessary required inspections for the scope of work

6099 Residential Final \_\_\_\_\_

# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
01/31/2006

<b>PRODUCER</b> A BETTER DEAL INSURANCE AGENCY 1026 SW Bayshore Blvd Port St Lucie, FL 34983 (772)871-9133	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
	<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC#</b>
<b>INSURED</b> HAMMERHEAD MARINE CONSTRUCTION INC 2121 SW CONANT AVE STE A, PORT ST LUCIE, FL 34953	INSURER A	CANAL INDEMNITY
	INSURER B	
	INSURER C	
	INSURER D	
	INSURER E	

**COVERAGES**  
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSR LTY	ADD'L PERM	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	GL90472	01/25/06	01/25/07	EACH OCCURRENCE \$ 300,000
		GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PROJ. <input type="checkbox"/> LOC				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 300,000 GENERAL AGGREGATE \$ 600,000 PRODUCTS COMP/OP AGG \$ 300,000
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ AGG \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
		WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROVISIONS PARTIAL OR EXECUTIVE DIVISIONS ARE EXCLUDED? If yes describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS <input type="checkbox"/> OTH ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE POLICY LIMIT \$
		OTHER				

DESCRIPTION OF OPERATIONS/ LOCATIONS/ VEHICLES/ EXCLUSIONS ADDED BY ENDORSEMENT/ SPECIAL PROVISIONS  
**MARINE CONSTRUCTION**

<b>CERTIFICATE HOLDER</b> SEWALLS POINT 1 SOUTH SEWALLS POINT ROAD STUART FL 34996	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES AUTHORIZED REPRESENTATIVE <i>SL Bickel</i>
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# ACORD. CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)

12/13/2005

<b>PRODUCER</b> Paul Lynch & Associates, Inc. 701 N Federal Hwy, Suite 401 Stuart, FL 34994 772 232-9371		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
<b>INSURED</b> Hammerhead Marine Construction, Inc  2121 SW Conant Avenue, Ste A Port St. Lucie, FL 34953 772-336-7420		<b>INSURERS AFFORDING COVERAGE</b>	<b>NAIC#</b>
		INSURER A: American International Group	
		INSURER B: Lloyds/Osprey	
		INSURER C:	
		INSURER D:	
		INSURER E:	

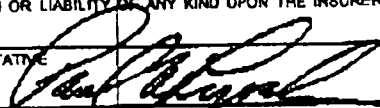
**COVERAGES**

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

FORM NO. / LTR. / REV.	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC.				EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/DP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$  BODILY INJURY (Per person) \$  BODILY INJURY (Per accident) \$  PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY EA ACCIDENT \$ OTHER THAN AUTO ONLY EA ACC \$ ACC \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	WC5846534	09/29/05	09/29/06	WC BY STATUTORY LIMITS TOY ER E. EACH ACCIDENT \$ 1,000,000 E. DISEASE EA EMPLOYEE \$ 1,000,000 E. DISEASE POLICY LIMIT \$ 1,000,000
B	OTHER Maritime Employers Liability (Jones Act)	MS051485	10/07/05	10/07/06	Limit: \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Marine contractor.

<b>CERTIFICATE HOLDER</b>  Town of Sewalls Point 1 South Sewalls Point Road Stuart, FL 34996 FAX 772-220-4765	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES AUTHORIZED REPRESENTATIVE 
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© ACORD CORPORATION 1988



2005-2006 MARTIN COUNTY ORIGINAL COUNTY OCCUPATIONAL LICENSE

Larry C O Steen, Tax Collector, P O. Box 8013, Stuart, FL 34985 (772) 288-5804

LICENS# 2002-520-003 CERT SPO3137 PHONE (772) 336-3677 SIC NO 023499 LOCATION 2121 CONANT AVE A PSL

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$	.00	LIC FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL		25.00	

IS HEAVY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF MARINE CONSTR/DOCKS/SEA WALLS/LIFTS

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 SEPTEMBER 05 DAY OF AND ENDING SEPTEMBER 30 2006

RESPOL, DENNIS F. (OWNER) HAMMERHEAD MARINE CONSTRUCTION INC 2121 CONANT AVE #A PORT ST LUCIE FL 34953

RECEIPT OF PAYMENT LARRY C. O' STEEN 6810 99 09/28/2005 OCT1 MARINAL 26127500000000000000

2005-2006

ST LUCIE COUNTY OCCUPATIONAL LICENSE

BOB DAVIS, CPA, CGFO, CFC, ST LUCIE COUNTY TAX COLLECTOR

ACCOUNT 1622-20000001

EXPIRES SEP 30, 2006

ACILITIES IN MACHINES TYPE OF BUSINESS

1622-DOCK CONSTRUCTION

BUSINESS LOCATION

2121 Conant Ave City of Pt St Lucie

NAME MAILING ADDRESS

Dennis Respol Hammerhead Marine Const Inc Respol, Dennis 2121 Conant Ave Port St Lucie FL 34953

18844

EMPLOYEES 1-10

X RENEWAL NEW LICENSE TRANSFER- ORIGINAL TAX 11 25

AMOUNT PENALTY COLLECTION COST TOTAL 11.25

Please see back for additional information

P01000000727

PAID 09/13/2005 99-20050913-168164 11 25



**MARTIN COUNTY, FLORIDA**  
**Construction Industry Licensing Board**  
**Certificate of Competency**

**MARINE CONTRACTOR**

License Number SP03137 Expires 30-SEP-2007

**RESPOL, DENNIS**

**HAMMERHEAD MARINE CONSTRUCTION INC**

**2121 SW CONANT AVE STE A**

**PORT ST LUCIE, FL 34953**



# Department of Environmental Protection

Jeb Bush  
Governor

Port St Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St Lucie, FL 34952  
(772) 398-2806 Fax (772) 398-2815

Colleen M Castille  
Secretary

**MAY 12 2006**

Mahboob Alikhan  
104 N Sewall's Point Road  
Stuart, FL 34996

Re File No · 43-0144554-004  
File Name. Alikhan, Mahboob

Dear Dr Alikhan

On April 21 2006, we received your application for an exemption to perform the following activities repair and replace an existing 1,520 square foot dock with an access walkway measuring 4' wide by 360' long, ending in a terminal platform measuring 20' wide by 4' long, in the same location and configuration The project is located in the Jensen Beach to Jupiter Inlet Aquatic Preserve, an Outstanding Florida Waters, Class III Waters of the State, adjacent to 104 N Sewall's Point Road, (Section 35, Township 37 South, Range 41 East), Stuart, Martin County, (Latitude 27° 12' 54 5" N, Longitude 80° 12' 26 31" W)

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for work in wetlands or waters of the United States The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below Please read each section carefully. Your project may not have qualified for all three forms of authorization If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it

## 1. Regulatory Review. GRANTED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F S ), Title 62, Florida Administrative Code (F A.C ), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F A C

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4 051(3)(d), F A C

## 2. Proprietary Review (related to state-owned lands). – GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands The Department has the authority to review your project under Chapters 253 and 258, F S , Chapters 18-20 and 18-21, F A C , and Section 62-343 075, F A C

Your project will occur on sovereign submerged land and will require authorization from the Board of Trustees to use public property As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for a letter of consent to use sovereign submerged lands Therefore, pursuant to Chapter 253 77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the project

*"More Protection, Less Process"*

*Printed on recycled paper*

**3. Federal Review (State Programmatic General Permit). GRANTED**

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached Corps general conditions apply to your project. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

**NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS**

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements under Rule 40E-4.051(3)(d), F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized under the exemption established under Rule 40E-4.051(3)(d), F.A.C.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement.

File Name Alikhan, Mahboob  
FDEP File No 43-0144554-004  
Page 3

section of a newspaper of general circulation in the county where the activity is to take place A single publication will suffice

If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice

Florida Department of Environmental Protection  
Southeast District Branch Office  
1801 SE Hillmoor Drive, Suite C-204  
Port St. Lucie FL 34952

If you have any questions, please contact Cindy Lott at 772/398-2806 or at cynthia.lott@dep.state.fl.us. When referring to your project, please use the FDEP file name and number listed above

Sincerely,



James M Sellers  
Environmental Supervisor  
Florida Department of Environmental Protection  
Southeast District Branch Office

5/12/06  
Date

JMS/cl

Enclosures

cc USACOE – Palm Beach Gardens, [Brandon.Howard@saj02.usace.army.mil] [without enclosures]  
Dana Rankin, Jerner and Associates, Inc, (agent) [without enclosures]  
Michael J. Buono, 106 N Sewalls Point Rd, Stuart, FL 34996 (neighbor)  
Kari S Lydon, 108 N Sewalls Point Rd, Stuart, FL 34996 (neighbor)  
Forrest P. And Lynn A. Jordan, Po Box 412, Palm City, FL 34991 (neighbor)  
Applied Properties, L L C, 2500 Bond St, University Park, IL 60466 (neighbor)

Indian River

2000+ to opposite Shoreline

Depth based on MHW

25' 20'

1999 MAR 25 12 10 00

DEPT. OF ENVIRONMENTAL PROTECTION  
PORT ST. LUCIE

1" = 30'

Dock will be built so vessel will moor in unvegetated Area. To be field located

Khan residence  
+ N Sewalls Pt. Rd.  
Sewalls Point.

4' Above MHW

Dock is 4' x 20' 80 sq ft  
{ 60 sq ft is 5' Above MHW }

Approach is 4' wide x 360' Long. 5' Above MHW  
Handrail on both sides of approach

Construction will be as follows. Piles set by hand with water jet.

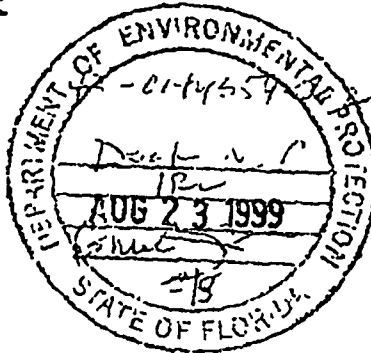
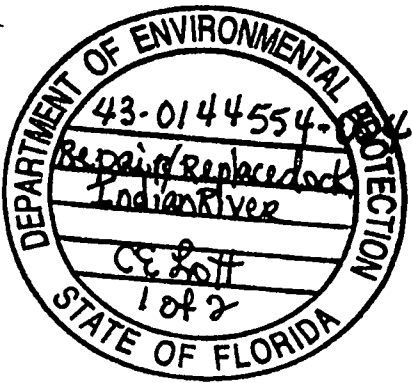
Spacing shall be spaced 2" apart. min.

Apparent Riparian Line

Apparent Riparian Line

Approach 1440 sq'

360'



25' min  
10'  
25' min

100' wide

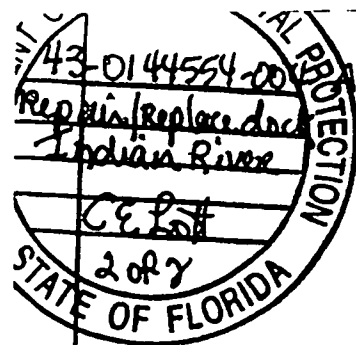
Residence Dr. Alikhan

MHW

pl.

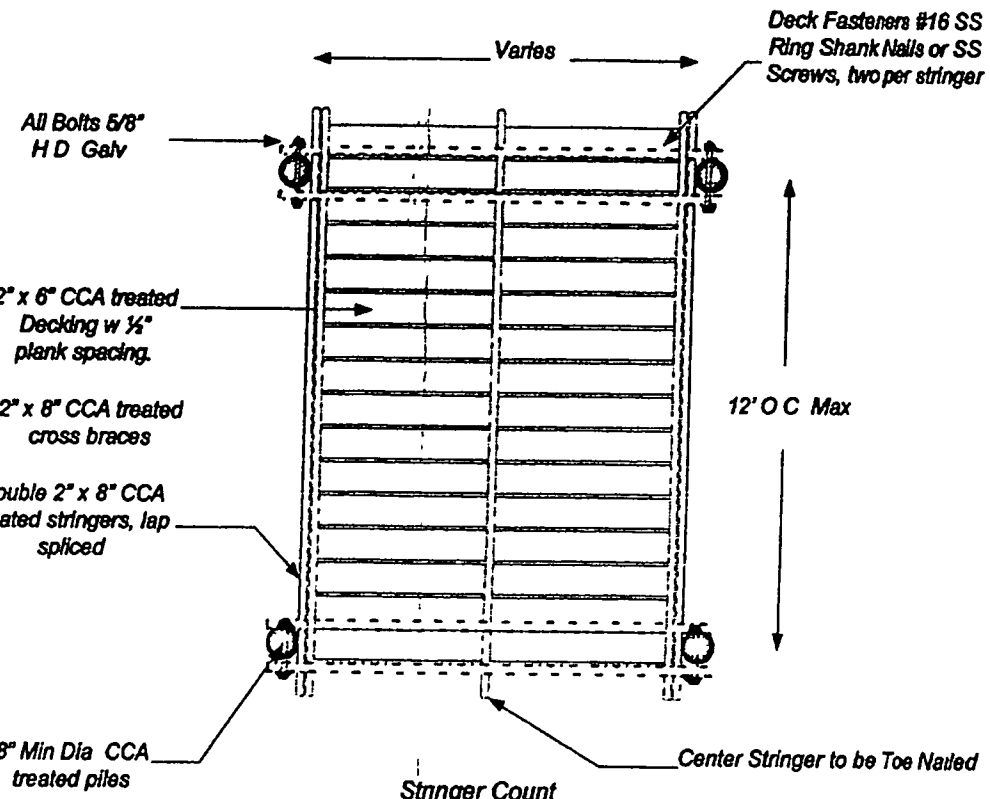
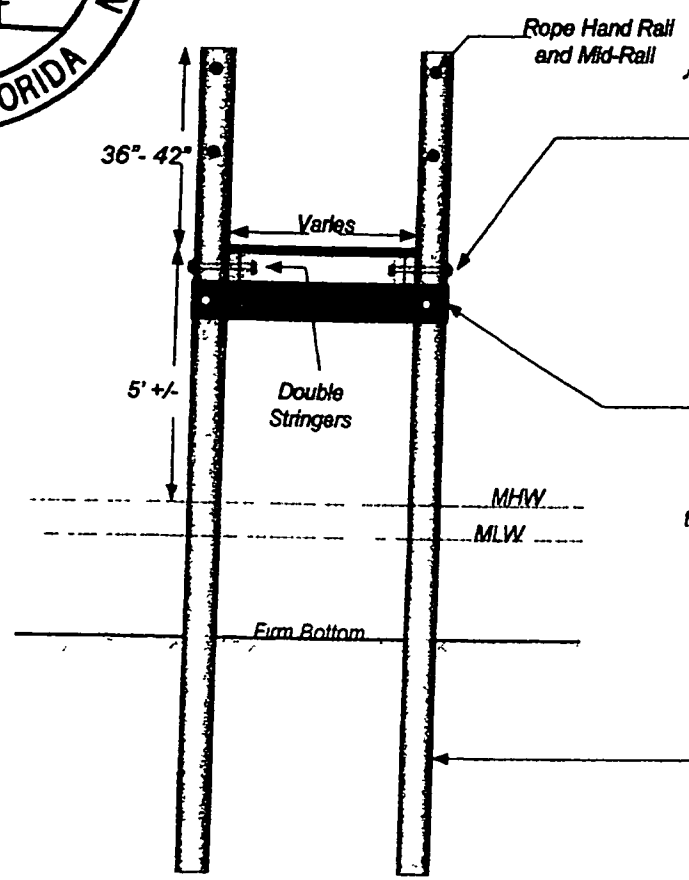
pl.

Robert Sando Construction



**Access Pier & Terminal Detail  
Section Thru**

**Access Pier & Terminal Detail  
Plan View**



All Bolts 5/8" H D Galv

2" x 6" CCA treated Decking w 1/2" plank spacing.

2" x 8" CCA treated cross braces

Double 2" x 8" CCA treated stringers, lap spliced

8" Min Dia CCA treated piles

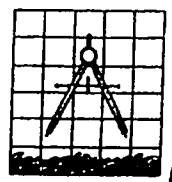
**Stringer Count**

<4' Wide	Two
4' - 6' Wide	Three
8' Wide	Four

Pilings jettied to a minimum depth of 6' and as necessary to provide adequate bearing and stability

\* See plan details for access & terminal dimensions

**Mahboob Alikhan**  
104 N Sewall's Point Road  
Stuart, FL 34996



Design & Drawing by DR  
**Jemer & Associates, Inc.**  
Environmental Consulting  
110 SW 5th Street  
Stuart, FL 34994  
Ph (772)283-2950/ Fax (772)283-2760

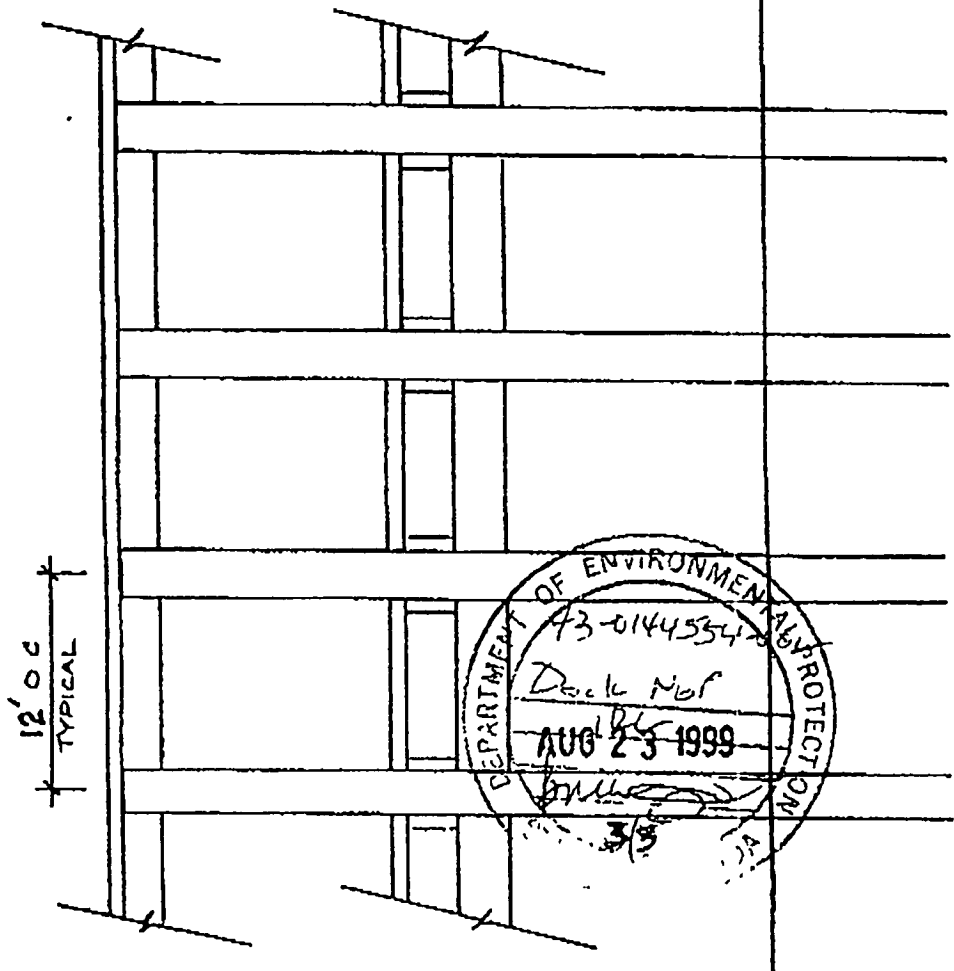
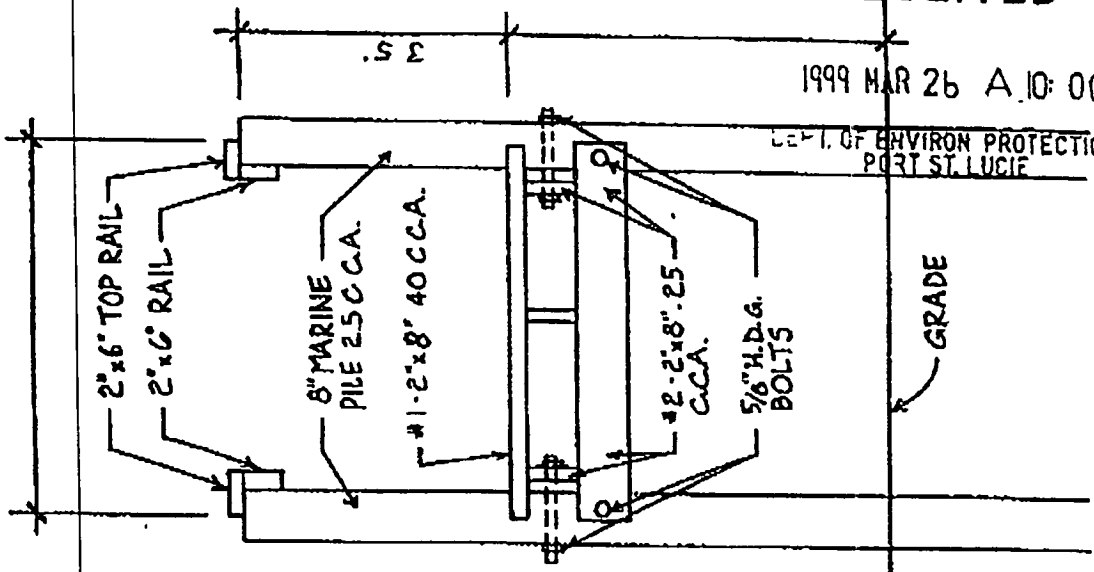
Scale 1" = 4'  
Date 04/19/06

Structural

RECEIVED

1999 MAR 26 A.10:00

DEPT. OF ENVIRON PROTECTION  
PORT ST. LUCIE



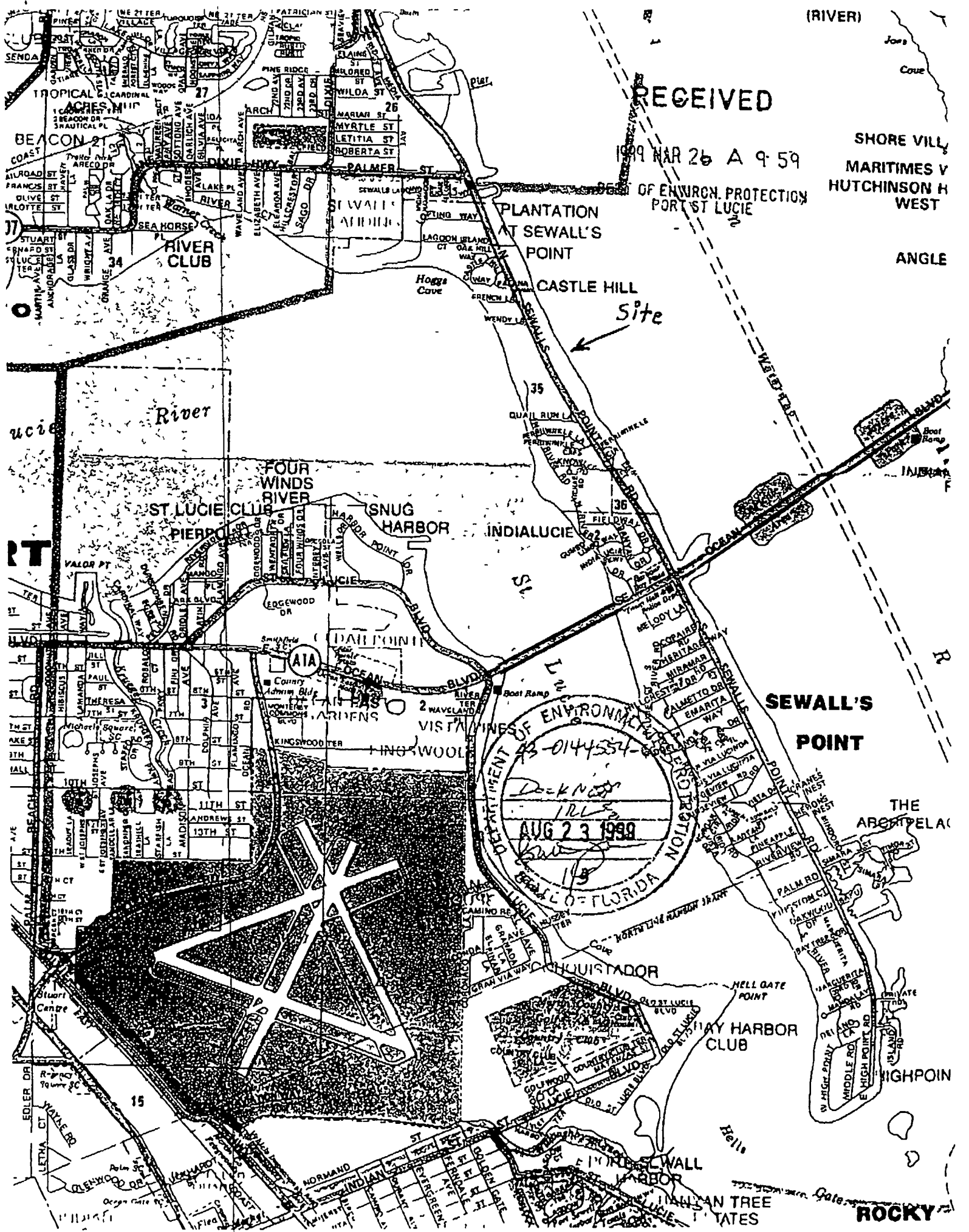
\*NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
 43-0144554  
 Dock No. 1  
 AUG 23 1999  
 [Signature]

PROPOSED-Dock For  
DR. Ali Khan

ROBERT SANDY CONSTRUCTION





RECEIVED

1999 MAR 26 A 9 59

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
PORT ST LUCIE

SHORE VILL  
MARITIMES V  
HUTCHINSON H  
WEST

ANGLE

PLANTATION  
AT SEWALL'S  
POINT

CASTLE HILL

Site

St. Lucie River

FOUR WINDS RIVER

ST. LUCIE CLUB

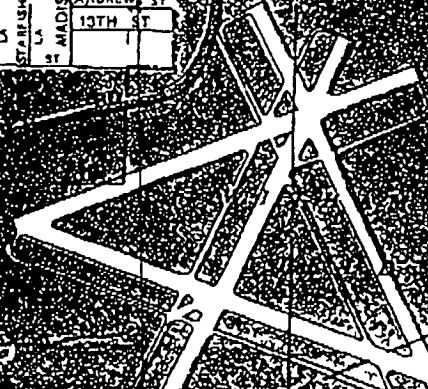
SNUG HARBOR

INDIALUCIE

SEWALL'S  
POINT

THE ABORT PELAC

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
FLORIDA  
AUG 23 1999  
Dock near  
126  
13



HAY HARBOR CLUB

ROCKY

# TOWN OF SEWALL'S POINT

## Building Department - Inspection Log

Date of Inspection  Mon  Wed  Fri 3-28, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
0027	Carlson/Brennan	roof metal		
3	3 Tuscan La	lathe	PASS	
	Masterpiece	WINDOWS		INSPECTOR <i>AM</i>
8531	Cummings	guest house underground plumb. rough	PASS	
5	835 River Rd	electrical ground rough	PASS	
	Elias Mgmt.	AFTER 9:30		INSPECTOR <i>AM</i>
Tree	Wittles	Tree	PASS	
1	20 <sup>th</sup> Ridgeview			
	Steve Conway			INSPECTOR <i>AM</i>
Tree	Morales	Tree	PASS	
2	10 <sup>th</sup> Ridgeview Rd.			
	OB			INSPECTOR <i>AM</i>
<del>8308</del>	<del>Smith</del>	<del>FRIDAY</del>		
	24 Middle			
	Water Const			INSPECTOR
<del>0053</del>	<del>Nakamura</del>	<del>final dock</del>	<del>PASS</del>	<del>Close</del>
4	104 N. Sewall Pt			
	OB			INSPECTOR <i>AM</i>
C.E.		DEAD TREE		
	8 N. RIDGEVIEW	OVERHANGING		
		ROAD		INSPECTOR
OTHER:	8172 MALTANO	<del>AT POINT</del> CANCEL W/IL		
	23 MIDDLE RD	FOOTING		
	KEN WENDELL			

**9080**

**SLAB EXTENTION**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	9080	DATE ISSUED	JANUARY 8, 2009
SCOPE OF WORK	EXTEND PATIO SLAB		
CONDITIONS			
CONTRACTOR	SANCO CONSTRUCTION		
PARCEL CONTROL NUMBER	353741-000-000-00101-0	SUBDIVISION	GOV LOT 2
CONSTRUCTION ADDRESS	104 N SEWALLS PT RD		
OWNER NAME	TESTEBO FASTIGHETS AKTIEBOLAG		
QUALIFIER	ROBERT SANANDAJIAN	CONTACT PHONE NUMBER	215-1578

**WARNING TO OWNER - YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER	9080		
ADDRESS	104 N SEWALLS PT RD		
DATE	1/8/09	SCOPE.	EXTEND (PATIO)

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
------------------------------------	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)  
 (No plan submittal fee)

**SANCO CONSTRUCTION, INC.**

PH 772-232-0024  
 1127 NE QUINN PLACE  
 JENSEN BEACH, FL 34957



BRANCH 00288

DATE 1/8/09

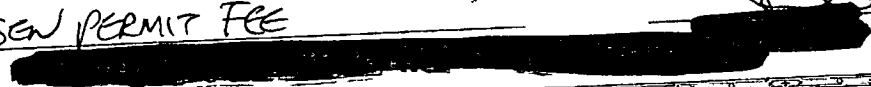
PAY TO THE ORDER OF Town of Sewall's Point \$ 155<sup>00</sup>/<sub>100</sub>  
One Hundred Fifty Five DOLLARS



**WACHOVIA**  
 Wachovia Bank, N.A.  
 wachovia.com

*[Handwritten Signature]*

FOR NESSER PERMIT FEE



	\$	
<b>TOTAL BUILDING PERMIT FEE</b>	\$	

ACCESSORY PERMIT	Declared Value	\$	6950
Total number of inspections @ \$75.00 each	2	\$	150
Road impact assessment (04% of construction value - \$5.00 min)		\$	5
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	155

RECEIVED

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date DATE 1/7/09 Permit Number

OWNER/TITLEHOLDER NAME NESSEN GRUPPEN Phone (Day) (Fax)

Job Site Address 104 SEWELL POINT DRIVE City SEWELL POINT State FL Zip

Legal Description S 100' of N 200' of Gov Parcel Control Number 35374100000001010000

Owner Address (if different) City Sewall's Pt State FL Zip

Scope of work (please be specific) EXTEND PATIO SLAB

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO

COST AND VALUES (Required on ALL permit applications) Estimated Value of Improvements \$ 6950.00

CONTRACTOR/Company SANCO CONSTRUCTION INC Phone 772 232 0024 Fax 772 232 0024

Street 1127 N.E. QUINN PL City JENSEN BEACH State FL Zip 34957

State License Number C6C061003 OR Municipality License Number

LOCAL CONTACT: ROBERT SANDOZ Phone Number: 772 215 1178

DESIGN PROFESSIONAL DAN BRADEN Lic# Phone Number 772 287 8258

Street 417 COCONUT AVE City STUART State FL Zip 34996

AREAS SQUARE FOOTAGE Living Garage Covered Patios/ Porches Enclosed Storage

Carport Total under Roof Elevated Deck Enclosed area below BFE\*

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2004 W/ 2006 REV National Electrical Code 2005 Florida Energy Code 2004/6 Florida Accessibility Code 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS

- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT
2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95
4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER SIGNATURE (required) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED) Thomas Ed Young Jr

State of Florida, County of Martin

This the 7th day of January 2009

by Thomas Ed Young Jr who is personally

known to me or produced Drivers License

as identification Michele Lesniak

My Commission Expires

CONTRACTOR SIGNATURE (required) Robert David Sandoz

On State of Florida, County of Martin

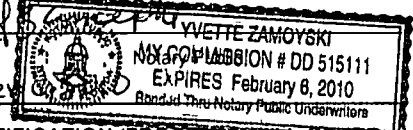
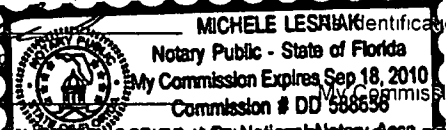
This the 7th day of January 2009

by Robert David Sandoz who is personally

known to me or produced FL Drivers License

as identification Yvette Zamoycki

My Commission Expires February 8, 2010



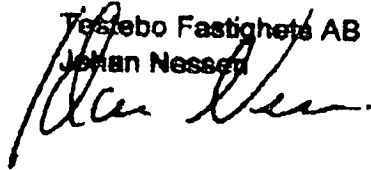
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED BY NATIONAL DATES OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

2009-01-07

**POWER OF ATTORNEY**

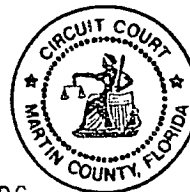
The right for April Young or Edward Young, 814 SE Flamingo Ave. Stuart, Florida, to pull the permit concerning rebuilding the house on 104 N Sewalls Point Road, Stuart, Florida.

Testebo Fastighets AB  
Johan Nesson



STATE OF FLORIDA  
MARTIN COUNTY

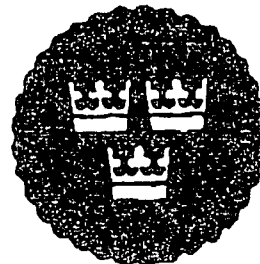
THIS IS TO CERTIFY THAT THE  
FOREGOING 2 PAGES IS A TRUE  
AND CORRECT COPY OF THE ORIGINAL  
MARSHA EWING CLERK



BY [Signature] DC  
DATE 1/7/09



Registration number: 556221-9096  
Date of registration: 1982-10-21  
Company name: Testebo Fastighets Aktiefbolag  
Address: Box 22047  
104 22 STOCKHOLM  
Registered office: Stockholm  
Share capital: SEK 150 000



The company is registered as a private limited liability company

**BOARD MEMBER, MANAGING DIRECTOR**  
471017-0418 Nessen, Nils Johan Olof, Parmmatargatan 11,  
112 24 STOCKHOLM

**DEPUTY MEMBERS OF THE BOARD**  
490206-6903 Nessen, Eva Katarina, Parmmatargatan 11, 112 24 STOCKHOLM

**AUDITORS**  
690307-7136 Mattis, Per Göran, c/o Lindebergs Grant Thornton, Box 5756,  
114 87 STOCKHOLM

**DEPUTY AUDITORS**  
700522-7231 Östblom, Björn Mikael, c/o Lindebergs Grant Thornton,  
Box 5756, 114 87 STOCKHOLM

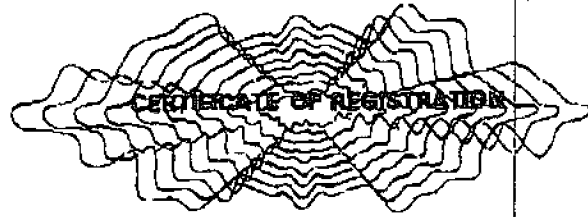
**SIGNATORY POWER**  
Nessen, Nils Johan Olof  
Nessen, Eva Katarina  
individually,  
are entitled to sign on behalf of the company.

**FINANCIAL YEAR**  
Registered financial year: 0101 - 1231  
Latest annual report submitted covers financial  
period 20060101-20061231

**DATE OF REGISTRATION OF CURRENT AND PREVIOUS COMPANY NAMES**  
1982-10-21 Testebo Fastighets Aktiefbolag

CONTD.





Registration number: 556221-9096  
Date of registration: 1982-10-21  
Company name: Testebo Fastighets Aktiebolag

SUNDSVALL 2008-03-10  
Ex officio

  
ANNA-KARIN ÖSTIN



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 1-12-2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9035	AT+T	Final	FAIL	STABILIZE SOIL AROUND EQUIPMENT
<del>9035</del>	5 Riv Vista DR Priority Elec			INSPECTOR <i>[Signature]</i>
<del>9080</del>	<del>Testabo</del>	<del>Rehook</del>	<del>PASS</del>	
2	104 N Sewalls SANCOS	(1234 Code)		INSPECTOR <i>[Signature]</i>
9032	HOOKER 6 MORGAN CIR WILCO	FINAL	PASS	CLOSE INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR



**9182**

**REROOF**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER.	9182	DATE ISSUED.	JUNE 10, 2009
SCOPE OF WORK.	REROOF		
CONDITIONS.			
CONTRACTOR.	ONSHORE ROOFING		
PARCEL CONTROL NUMBER.	353741-000-000-001010	SUBDIVISION	GOV LOT 2
CONSTRUCTION ADDRESS	104 N SEWALLS POINT RD		
OWNER NAME	TESTEBO FASTIGHETS AKTIEBOLAG		
QUALIFIER.	JOSEPH KOLINOSKI	CONTACT PHONE NUMBER.	485-8993

**WARNING TO OWNER. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8:00AM TO 4:00PM      INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**

RECEIVED

DATE: 5-12-09  
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date \_\_\_\_\_ BUILDING PERMIT APPLICATION Permit Number \_\_\_\_\_  
OWNER/TITLEHOLDER NAME TESTERO FASTIGHERS AKTIE BOLAG Phone (Day) 287-4967 (Fax) \_\_\_\_\_  
Job Site Address 101 N Sewalls Pt Rd City Sewalls Pt. State FL Zip \_\_\_\_\_  
Legal Description S 100' of N 200' of Gov Lot 2 Parcel Control Number 35 3741000 00000 1010  
Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Scope of work (please be specific) Re-roof tile to S-V metal

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications)  
Estimated Value of Improvements \$ 16,980  
(No fee of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 \_\_\_ AE9 \_\_\_ AE8 \_\_\_ X \_\_\_  
**FOR ADDITIONS, REMODELS AND RE ROOF APPLICATIONS ONLY**  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company Onshore Roofing Specialists Phone 485-8993 Fax \_\_\_\_\_  
Street 1066 SE St Lucie Blvd City SLA State FL Zip \_\_\_\_\_  
State License Number CCC1328994 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_

LOCAL CONTACT Trisha Neal Quigley Phone Number 485-8993  
DESIGN PROFESSIONAL \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREAS SQUARE FOOTAGE Living 550 Garage 704 Covered Patios/ Porches 179 Enclosed Storage \_\_\_\_\_  
Carport \_\_\_\_\_ Total under Roof 1254 Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_  
\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non Conversion Covenant Agreement 2007 FBC

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2004 W/ 2006 REV  
National Electrical Code 2005 Florida Energy Code 2004/6 Florida Accessibility Code 2004/6 Florida Fire Prevention Code 2004/6

**NOTICES TO OWNERS AND CONTRACTORS**  
1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT  
2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES  
3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95  
4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER SIGNATURE (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
[Signature]

CONTRACTOR SIGNATURE (required)  
[Signature]

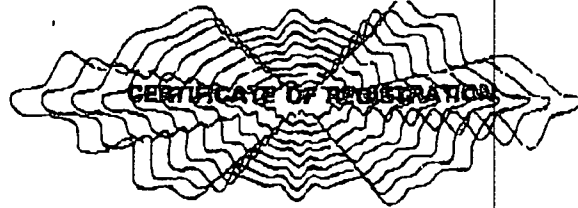
State of Florida County of Martin  
This the 10 day of May, 2009  
by Nils Johan Nesson who is personally  
known to me or produced [Signature]

On State of Florida County of Martin  
This the 10 day of May, 2009  
by Joseph Kolinoski who is personally  
known to me or produced [Signature]

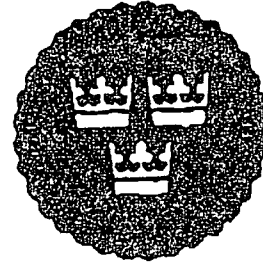
as identification TRISHA NEAL QUIGLEY  
Comm# DD0706197  
My Commission Expires 8/25/2011

As identification TRISHA NEAL QUIGLEY  
Comm# DD0706197  
My Commission Expires 8/25/2011

SINGLE FAMILY PERMITS FOR ALL OTHERS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION FBC 105 3 2 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Registration number: 556221-9096  
Date of registration: 1982-10-21  
Company name: Testebo Fastighets Aktiebolag  
Address: Box 22047  
104 22 STOCKHOLM  
Registered office: Stockholm  
Share capital: SEK 150 000



The company is registered as a private limited liability company

**BOARD MEMBER, MANAGING DIRECTOR**

471017-0418 Nessen, Nils Johan Olof, Parmmatargatan 11,  
112 24 STOCKHOLM

**DEPUTY MEMBERS OF THE BOARD**

490206-6903 Nessen, Eva Katarina, Parmmatargatan 11, 112 24 STOCKHOLM

**AUDITORS**

690307-7136 Mattis, Per Göran, c/o Lindebergs Grant Thornton, Box 5756,  
114 87 STOCKHOLM

**DEPUTY AUDITORS**

700522-7231 Östblom, Björn Mikael, c/o Lindebergs Grant Thornton,  
Box 5756, 114 87 STOCKHOLM

**SIGNATORY POWER**

Nessen, Nils Johan Olof  
Nessen, Eva Katarina  
individually,  
are entitled to sign on behalf of the company.

**FINANCIAL YEAR**

Registered financial year: 0101 - 1231  
Latest annual report submitted covers financial  
period 20060101-20061231

**DATE OF REGISTRATION OF CURRENT AND PREVIOUS COMPANY NAMES**  
1982-10-21 Testebo Fastighets Aktiebolag

CONTD.

Included w/renovation permit

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500 00

PERMIT # \_\_\_\_\_ TAX FOLIO # 35374200000 001010

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713 FLORIDA STATUTES THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE) 104 Sewalls Pt Rd. S 100' of N 200' of 60V Lot 2 E of Rd

GENERAL DESCRIPTION OF IMPROVEMENT Re-Roof, garage addition, Convert existing garage to Bath, Replace windows

OWNER NAME Tese BO FASTIG HETS AKTIE BOLAG ADDRESS P.O. BOX 23047 10422 Stockholm PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

INTEREST IN PROPERTY owner NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER)

CONTRACTOR Demarest Construction ADDRESS 800 Se Indian St Stuart, FL 34996 PHONE NUMBER 220-0065 FAX NUMBER 220-0227

SURETY COMPANY (IF ANY) ADDRESS PHONE NUMBER FAX NUMBER BOND AMOUNT

LENDER/MORTGAGE COMPANY ADDRESS PHONE NUMBER FAX NUMBER

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a) 7 FLORIDA STATUTES

NAME ADDRESS PHONE NUMBER FAX NUMBER

IN ADDITION TO HIMSELF OR HERSELF OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_ TO RECEIVE A COPY OF THE LIENOR S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

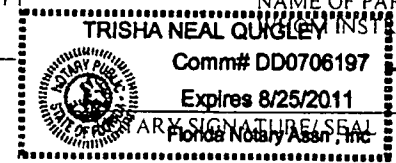
EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_ ( EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

WARNING TO OWNER ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I SECTION 713.13 FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

SIGNATURE OF OWNER OR OWNER S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER Nils Johan Olaf Nesson - Director officer SIGNATORY'S TITLE/OFFICE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6 DAY OF May 20 09 BY Nils Nesson AS officer FOR

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED



NAME OF PARTY ON BEHALF OF TRISHA NEAL QUIGLEY INSTRUMENT WAS EXECUTED

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525 FLORIDA STATUTES)

SIGNATURE OF NATURAL PERSON SIGNING ABOVE

INSTR # 2146925 OR BK 02390 PG 1711 RECD 05/15/2009 12:22:43 PM PG 1711 (199) MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**RESIDENTIAL REROOF WINDSTORM LOSS  
 MITIGATION CERTIFICATION  
 (FLORIDA STATUTE 553 844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual" Effective date October 1 2007

Note These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Valuc show proof of insured value of residential structure or a copy of the ad-valorem tax value
- Provide copy of contract

All re-roofs regardless of value shall comply with the following

Re-nailing All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in o.c along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

✓  
 \_\_\_\_\_  
 \_\_\_\_\_

*Comply w/ section 1507 2 3 FBC*

All joints in roof sheathing shall be covered with a minimum of 4 in strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment

\_\_\_\_\_

Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet No additional underlayment is required

\_\_\_\_\_

Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-moped shall be deemed to meet the requirements for secondary water barrier

Residential Structures valued at \$300,000 or more shall comply with the following

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
  1. Sufficient amount of eave sheathing shall be removed to view 6 ft of roof rafters
  2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding
    - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
    - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
    - c. Refer to sections 201.3 1 to 201 3 4 for prescriptive requirements

## METAL ROOF MATERIALS LIST

- 30# UNDERLAYMENT
- 15# SLIP SHEET
- Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2/12 to 4/12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet)
- 5V-METAL ROOF PANEL SYSTEM

Date Pending FBC Approval  
Date Approved

01/01/2009  
02/03/2009

Summary of Products		
FL #	Model, Number or Name	Description
10490 1	1 - "PBR"	Roof Panel - 26 Gauge Steel, 36" Width, Attached to Plywood Deck w/Optional Rigid Insulation
<b>Limits of Use</b> Approved for use in HVHZ No Approved for use outside HVHZ Yes Impact Resistant No Design Pressure +N/A/-76 75 Other The required design wind loads shall be determined for each project per FBC, 2007, Section 1603 1 4 Any rational analysis shall be prepared by a qualified design professional and in compliance with FBC 2007, Sections 104, 105, 106 The maximum fastener spacing listed herein shall not be exceeded This product is not approved for use in the High Velocity Hurricane Zone		<b>Installation Instructions</b> <a href="#">FL10490 RO II 1-PBR 26gaOnPlywood 36in INSTALLATION pdf</a> Verified By James L Buckner, P E P E #31242 Created by Independent Third Party Yes <b>Evaluation Reports</b> <a href="#">FL10490 RO AE 1-PBR 26gaOnPlywood 36in EVALREPORT pdf</a> Created by Independent Third Party Yes
10490 2	2 - "1 in Nailstrip"	Roof Panel - 24 Gauge Steel, 16" Width, Attached to Plywood Deck w/Optional Rigid Insulation
<b>Limits of Use</b> Approved for use in HVHZ No Approved for use outside HVHZ Yes Impact Resistant No Design Pressure +N/A/-106 75 Other The required design wind loads shall be determined for each project per FBC, 2007, Section 1603 1 4 Any rational analysis shall be prepared by a qualified design professional and in compliance with FBC 2007, Sections 104, 105, 106 The maximum fastener spacing listed herein shall not be exceeded This product is not approved for use in the High Velocity Hurricane Zone		<b>Installation Instructions</b> <a href="#">FL10490 RO II 2-1inNailStrp 24GaSteelonWood 16in INSTALLATION pdf</a> Verified By James L Buckner, P E P E #31242 Created by Independent Third Party Yes <b>Evaluation Reports</b> <a href="#">FL10490 RO AE 2-1inNailStrp 24GaSteelonWood 16in EVALREPORT pdf</a> Created by Independent Third Party Yes
10490 3	3 - "1-3/4 in SnapLock" (Aluminum)	Roof Panel - 0 032 Aluminum, 14" Width, Attached to Plywood Deck w/Optional Rigid Insulation
<b>Limits of Use</b> Approved for use in HVHZ No Approved for use outside HVHZ Yes Impact Resistant No Design Pressure +N/A/-114 25 Other The required design wind loads shall be determined for each project per FBC, 2007, Section 1603 1 4 Any rational analysis shall be prepared by a qualified design professional and in compliance with FBC 2007, Sections 104, 105, 106 The maximum fastener spacing listed herein shall not be exceeded This product is not approved for use in the High Velocity Hurricane Zone		<b>Installation Instructions</b> <a href="#">FL10490 RO II 3-1 75in 0 032AlumonWood 14in INSTALLATION pdf</a> Verified By James L Buckner, P E P E #31242 Created by Independent Third Party Yes <b>Evaluation Reports</b> <a href="#">FL10490 RO AE 3-1 75in 0 032AlumonWood 14in EVALREPORT pdf</a> Created by Independent Third Party Yes
10490 4	4 - "1-3/4 in SnapLock" (Steel)	Roof Panel - 24 Gauge Steel, 18" Width, Attached to Plywood Deck w/Optional Rigid Insulation
<b>Limits of Use</b> Approved for use in HVHZ No Approved for use outside HVHZ Yes Impact Resistant No Design Pressure +N/A/-156 75 Other The required design wind loads shall be determined for each project per FBC, 2007, Section 1603 1 4 Any rational analysis shall be prepared by a qualified design professional and in compliance with FBC 2007, Sections 104, 105, 106 The maximum fastener spacing listed herein shall not be exceeded This product is not approved for use in the High Velocity Hurricane Zone		<b>Installation Instructions</b> <a href="#">FL10490 RO II 4-1 75in 24GaonWood 18in INSTALLATION pdf</a> Verified By James L Buckner, P E P E #31242 Created by Independent Third Party Yes <b>Evaluation Reports</b> <a href="#">FL10490 RO AE 4-1 75in 24GaonWood 18in EVALREPORT pdf</a> Created by Independent Third Party Yes
10490 5	5 - "copper clad stainless"	Roof Panel - 0 016" Copper-Clad Stainless Steel, 16" Width, Attached to Plywood Deck w/Optional Rigid Insulation
<b>Limits of Use</b> Approved for use in HVHZ No Approved for use outside HVHZ Yes Impact Resistant No Design Pressure +N/A/-76 75 Other The required design wind loads shall be determined for each project per FBC, 2007, Section 1603 1 4 Any rational analysis shall be prepared by a qualified design professional and in compliance with FBC 2007, Sections 104, 105, 106 The maximum fastener spacing listed herein shall not be exceeded This product is not approved for use in the High Velocity Hurricane Zone		<b>Installation Instructions</b> <a href="#">FL10490 RO II 5-CuCladSS 016CuOnWood 16in INSTALLATION pdf</a> Verified By James L Buckner, P E P E #31242 Created by Independent Third Party Yes <b>Evaluation Reports</b> <a href="#">FL10490 RO AE 5-CuCladSS 016CuOnWood 16in EVALREPORT pdf</a> Created by Independent Third Party Yes
10490 6	6 - "5-V Crimp"	Roof Panel - 26 Gauge Steel, 24" Width, Attached to Plywood Deck w/Optional Rigid Insulation

<p><b>Limits of Use</b>  <b>Approved for use in HVHZ</b> No  <b>Approved for use outside HVHZ</b> Yes  <b>Impact Resistant</b> No  <b>Design Pressure</b> +N/A/-106 75  <b>Other</b> The required design wind loads shall be determined for each project per FBC, 2007, Section 1603 1 4 Any rational analysis shall be prepared by a qualified design professional and in compliance with FBC 2007, Sections 104, 105, 106 The maximum fastener spacing listed herein shall not be exceeded This product is not approved for use in the High Velocity Hurricane Zone</p>	<p><b>Installation Instructions</b>  <u>FL10490 R0 II 6-</u>  <u>SVCnmp 26GaSteelonWood 24in INSTALLATION pdf</u>                  Venfired By James L Buckner, P E P E #31242                  Created by Independent Third Party Yes  <b>Evaluation Reports</b>  <u>FL10490 R0 AE 6-</u>  <u>SVCnmp 26GaSteelonWood 24in EVALREPORT pdf</u>                  Created by Independent Third Party Yes</p>
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[Back](#)

[Next](#)



# CBUCK Engineering

Specialty Structural Engineering

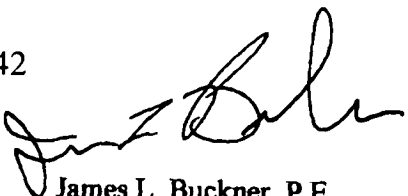
CBUCK, Inc Florida Certificate of Authorization # 8064

**Installation Method**  
*of*  
**South Florida Metal Supply, Inc.**  
**“5-V Crimp”**  
**Metal Roof Assembly**  
*for*  
**Florida Product Approval**  
**# FL 10490.6**  
**Florida Building Code 2007**  
**Per Rule 9B-72**  
**Method: 1 - D**  
**Category: Roofing**  
**Sub - Category: Metal Roofing**

**Product:** “5-V Crimp” Roof Panel  
**Material:** Steel  
**Panel Thickness:** 26 Gauge Minimum  
**Panel Dimensions:** 24” Maximum (Net Coverage)  
**Support Type:** Wood Deck

**Prepared for:**  
**South Florida Metal Supply, Inc.**  
2120 SW Pomo Drive  
Palm City, FL 34990

**Prepared by:**  
**James L. Buckner, P.E.**  
Florida Professional Engineer # 31242  
Florida Evaluation ANE ID 1916  
Project Manager Stephen Peters  
Report No 08-127-5V-24-S6W-IM  
Date 02 / 25 / 08



James L. Buckner, P E  
Florida P E, # 31242  
3/26/08

Contents  
Installation Method Pages 1 – 5

**CBUCK, Inc**  
1334 S Killian Drive, Suite 4, West Palm Beach, Florida 33403  
Phone (561)491-9927 Fax (561)491-9928 Website www.cbuckinc.net



# CBUCK Engineering

Specialty Structural Engineering

*CBUCK, Inc Florida Certificate of Authorization # 8064*

## Evaluated Installation Method

### Attachment Description

#### Roof Panel Fasteners

Type Hex-Head wood screws with weather-sealed washer  
Size #14 x minimum penetration through deck 3/16"  
Corrosion Resistance Per FBC Section 1507.4.4  
Standard Per ANSI/ASME B18.6.1

### Installation

#### METHOD 1:

##### 1 "5-V Crimp" Roof Panel to Deck

- Fastener spacing 16" o c  
(along the length of the panel and within 3" from all ends)
- Fastener spacing Nominal pattern of 12" (along each row)  
(at the top of the major corrugations)

#### METHOD 2:

##### 2 "5-V Crimp" Roof Panel to Deck

- Fastener spacing 8" o c  
(along the length of the panel and within 3" from all ends)
- Fastener spacing Nominal pattern of 12" (along each row)  
(at the top of the major corrugations)

Fasteners shall penetrate through deck a minimum of 3/16"

### Manufacturer's Installation Instructions:

Refer to the manufacturer's installation instructions as a supplemental guide for attachment

### Evaluation Report:

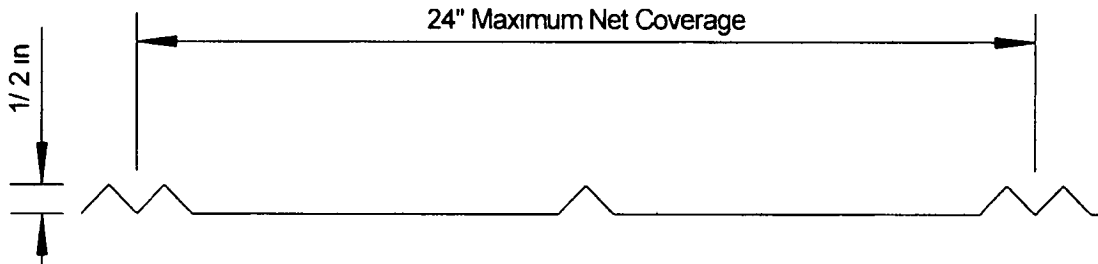
Conditions and Limitations of the Evaluation Report apply

# CBUCK Engineering

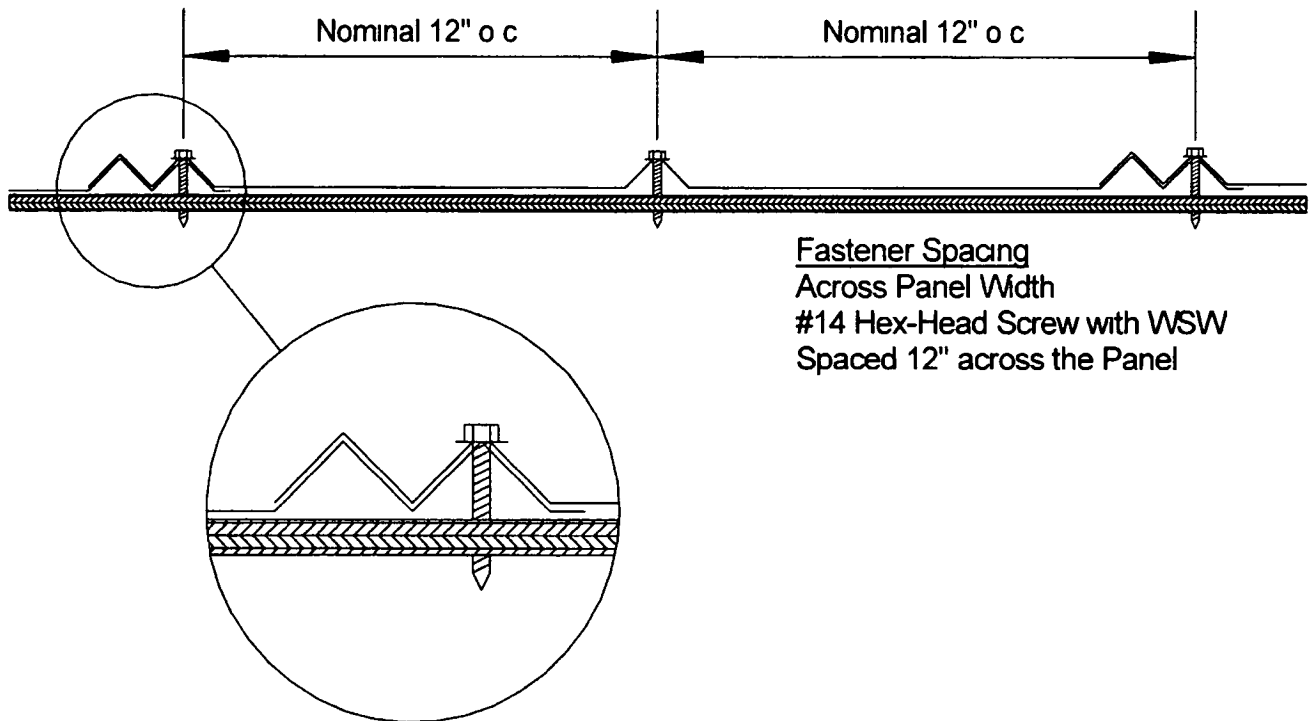
Specialty Structural Engineering

CBUCK, Inc Florida Certificate of Authorization # 8064

## Installation Method South Florida Metal Supply, Inc. "5-V Crimp" ( 26 Ga. Steel ) Attached to Wood Deck



### Panel Profile



### Assembly Profile

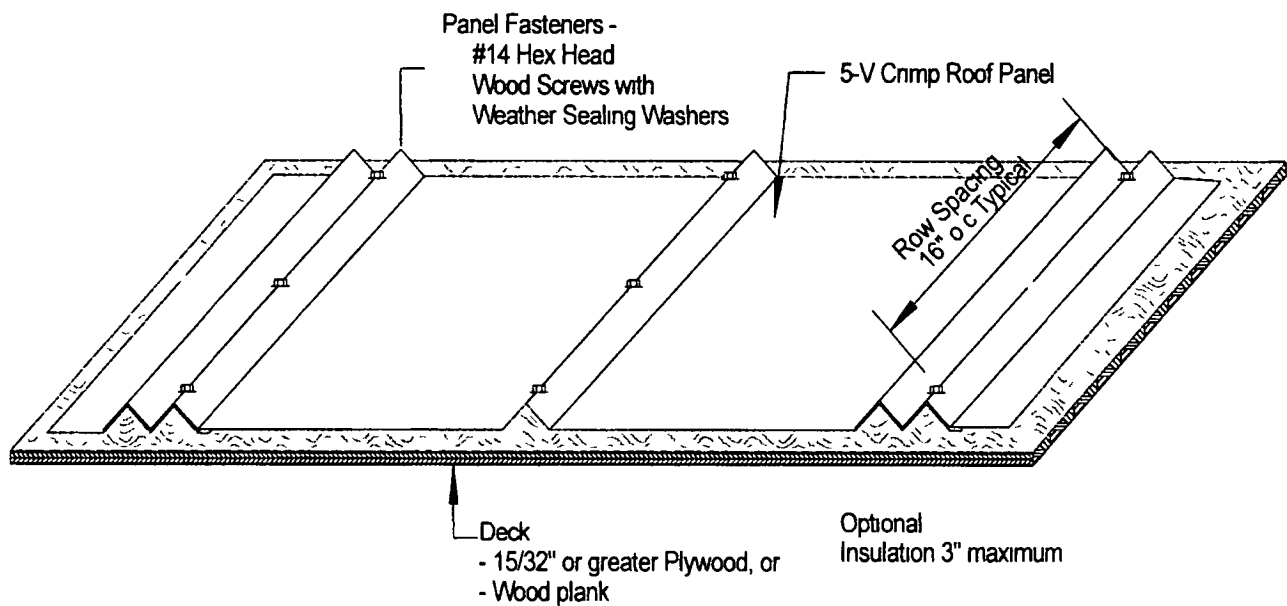
# CBUCK Engineering

Specialty Structural Engineering

CBUCK, Inc Florida Certificate of Authorization # 8064

## Installation Method South Florida Metal Supply, Inc. "5-V Crimp" ( 26 Ga. Steel ) Attached to Wood Deck

### METHOD 1: For 50.50 PSF Design Pressure



**Assembly Isometric View**



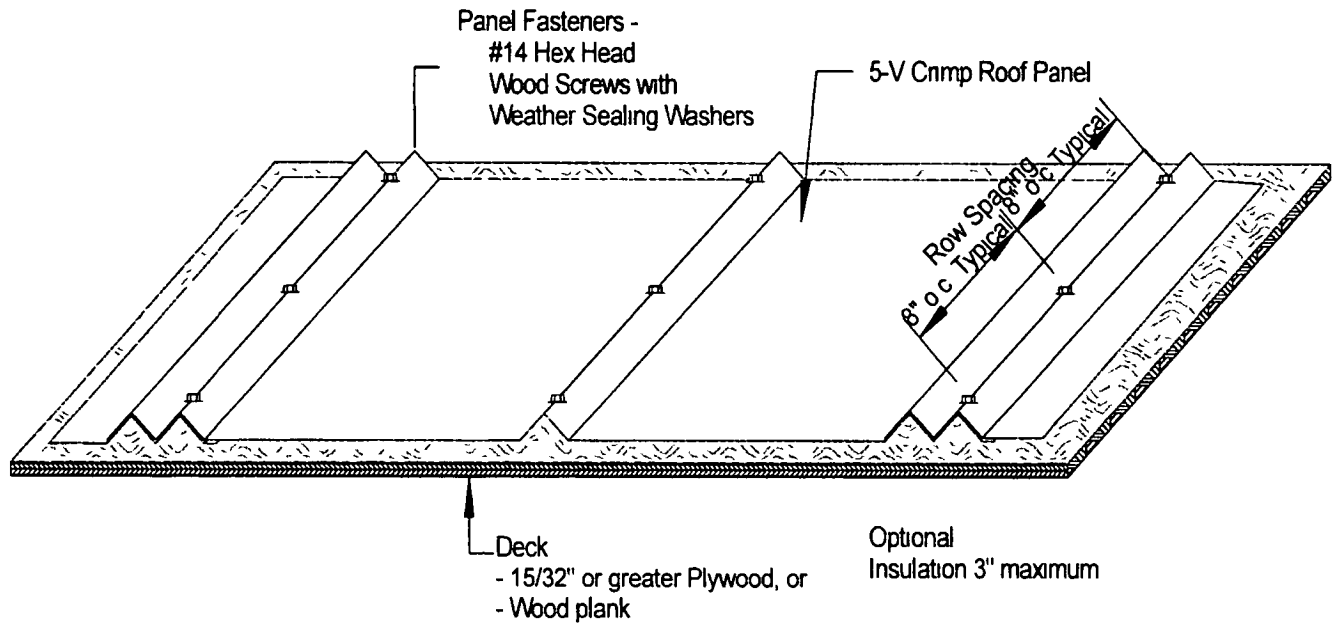
# CBUCK Engineering

Specialty Structural Engineering

*CBUCK, Inc Florida Certificate of Authorization # 8064*

## Installation Method South Florida Metal Supply, Inc. "5-V Crimp" ( 26 Ga. Steel ) Attached to Wood Deck

### METHOD 2: For 106.75 PSF Design Pressure



**Assembly Isometric View**



[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)

FL #	FL10490						
Application Type	New						
Code Version	2007						
Application Status	Approved						
Comments							
Archived	<input type="checkbox"/>						
Product Manufacturer	South Florida Metal Supply, Inc						
Address/Phone/Email	2783 S E Monroe Street Stuart, FL 34997 (772) 223-4055 sflmetalsupply@bellsouth.net						
Authorized Signature	James L Buckner, P E @ CBUCK, Inc jimmy@cuckinc.net						
Technical Representative							
Address/Phone/Email							
Quality Assurance Representative							
Address/Phone/Email							
Category	Roofing						
Subcategory	Metal Roofing						
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received						
Florida Engineer or Architect Name who developed the Evaluation Report	James L Buckner, P E @ C-Buck, Inc						
Florida License	PE-31242						
Quality Assurance Entity	Keystone Certifications, Inc						
Quality Assurance Contract Expiration Date	12/31/2011						
Validated By	Steven M Unch, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received						
Certificate of Independence	<a href="#">FL10490_R0_COI_CertificateOfIndependence.pdf</a>						
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><b>Standard</b></th> <th><b>Year</b></th> </tr> </thead> <tbody> <tr> <td>UL 1897-98</td> <td>1998</td> </tr> <tr> <td>UL 580 w/1998 Revisions</td> <td>1994</td> </tr> </tbody> </table>	<b>Standard</b>	<b>Year</b>	UL 1897-98	1998	UL 580 w/1998 Revisions	1994
<b>Standard</b>	<b>Year</b>						
UL 1897-98	1998						
UL 580 w/1998 Revisions	1994						
Equivalence of Product Standards Certified By							
Sections from the Code							
Product Approval Method	Method 1 Option D						
Date Submitted	03/27/2008						
Date Validated	12/23/2008						



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE
DATE 5-17-09
BUILDING OFFICIAL

RE-ROOF PERMIT CERTIFICATION

PERMIT # \_\_\_\_\_
CONTRACTOR'S NAME Onshore Roofing PHONE # \_\_\_\_\_ FAX \_\_\_\_\_
OWNER'S NAME Nesson \_\_\_\_\_
CONSTRUCTION ADDRESS 104 N Sewalls Pt. Rd. CITY \_\_\_\_\_ STATE \_\_\_\_\_

RE-ROOF RESIDENTIAL (SINGLE FAMILY) \_\_\_\_\_
COMMERCIAL \*\*--RE MOVE/REINSTALL ROOF TOP HVAC EQUIP \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\* DISCONNECT/RECONNECT HVAC ELECTRICAL \_\_\_\_\_ YES \_\_\_\_\_ NO

\*\* REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553 844 F.S. \_\_\_\_\_ YES \_\_\_\_\_ NO - INSURED VALUE OF RESIDENCE \_\_\_\_\_

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION \_\_\_\_\_ YES \_\_\_\_\_ NO

ROOF TYPE HIP \_\_\_\_\_ BOSTON-HIP \_\_\_\_\_ GABLE \_\_\_\_\_ FLAT \_\_\_\_\_ OTHER \_\_\_\_\_

ROOF PITCH 1/12 SLOPE

ROOF DECK.\* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004"

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004"

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING TILE EXISTING COVERING TO BE REMOVED? YES \_\_\_\_\_ NO \_\_\_\_\_

PROPOSED NEW ROOF COVERING S-V

MANUFACTURER Sfm PRODUCT NAME S-V PRODUCT APPR # FL104906

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION

\*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

PROPOSED FLASHING GALV/STEEL \_\_\_\_\_ ALUMINUM \_\_\_\_\_ COPPER \_\_\_\_\_ OTHER \_\_\_\_\_

RIDGEVENT TO BE INSTALLED YES \_\_\_\_\_ NO \_\_\_\_\_

DESCRIPTION OF WORK Re-roof

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING

SIGNATURE OF CONTRACTOR DATE 5-10-09



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-15 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
9078 /	Masterpiece	Home all	FAIL ↓		
	1 Marguerita	plumbing			
	Masterpiece	gas electric			
				INSPECTOR <i>AM</i>	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
9064 /	Masterpiece	Final	PASS	CLOSE	
	1 Marguerita	Land clearing			
	Masterpiece				
				INSPECTOR <i>AM</i>	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
8812	CONWAY	FINAL	FAIL		
	16 S VIA LUCINDIA				
	O.B.				
				INSPECTOR <i>AM</i>	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
<del>9102</del> 9102	<del>12040</del>	<del>dry m</del>	PASS	<del>          </del>	
	104 N Sewalls				
	Onshore				
				INSPECTOR <i>AM</i>	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
				INSPECTOR	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
				INSPECTOR	
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS	
				INSPECTOR	



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

RE Permit # 9182

Date 6-15-09

**Inspection Affidavit**

I Joe Kolinowski, licensed as a(n) Contractor\* /Engineer/Architect,  
 (please print name and circle Lic Type) FS 468 Building Inspector\*

License #, CCC1327609

On or about 6/12/09, I did personally inspect the roof  
 (Date & time)

deck nailing and/or secondary water barrier work at 104 N. Sewalls point  
 (circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the  
 Hurricane Mitigation Retrofit Manual (Based on 553 844 F S )

Signature

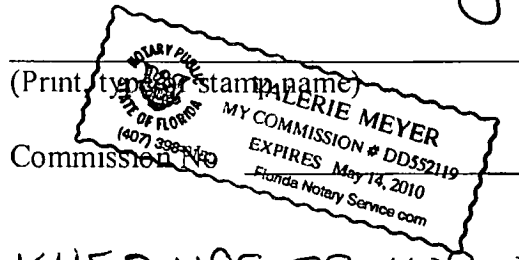
*[Handwritten signature]*

STATE OF FLORIDA  
 COUNTY OF

Sworn to and subscribed before me this 15<sup>th</sup> day of June 2009

By Joseph P. Kolinowski

Valerie Meyer  
 Notary Public, State of Florida



Personally known  or  
 Produced Identification



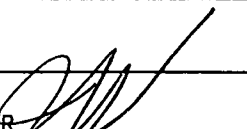

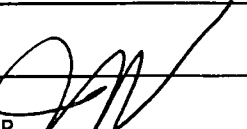
Type of identification produced FDL# K452-495-78-409-0

\* General, Building Residential, or Roofing Contractor or any individual certified under 468 F S to make such an inspection Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-26 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9130	Flaugh	Final fence	PASS	CLOSE
3	6 Indialucie Pt OB			INSPECTOR 
9142	HINNEY	Measure-	PASS	NORTH SIDE &
1	9 MORGAN Cir GRIBBEN	WALL		SOUTH SIDE INSPECTOR 
9182	<del>NESTOR</del>	<del>Final</del>	<del>PASS</del>	<del>CLOSE</del>
2	104 N SPTRD ON SHORE ROOF. 1234 GATE CODE	<del>Final</del>		INSPECTOR 
9185	Bnoid	Final	PASS	CLOSE
	84 N Sewalls Reel Fence			INSPECTOR 
8648	Fitzner	insulation	PASS	
	2 W High Pt OB			INSPECTOR 
				INSPECTOR
				INSPECTOR

**9306**

**LANDSCAPE**  
**LIGHTING**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	9306	DATE ISSUED	NOVEMBER 24, 2009
SCOPE OF WORK	LANDSCAPE LIGHTING		
CONDITIONS			
CONTRACTOR	DG SIROIS ELECTRICAL SERVICES		
PARCEL CONTROL NUMBER	353741-000-000-00101-0	SUBDIVISION	PT GOVT LOT 2
CONSTRUCTION ADDRESS	104 N SEWALLS PI RD		
OWNER NAME	TESTEBO FASTIGHETS AKTIEBOLAG		
QUALIFIER	DANIEL SIROIS	CONTACT PHONE NUMBER	772-878-2643

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM      INSPECTIONS 8 30AM TO 12 00PM - MONDAY, WEDNESDAY & FRIDAY**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**

RECEIVED  
11-18-09

Town of Sewall's Point

Date 11-12-09 BUILDING PERMIT APPLICATION Permit Number \_\_\_\_\_

OWNER/TITLEHOLDER NAME Johan Nessen Phone (Day) \_\_\_\_\_ (Fax) \_\_\_\_\_

Job Site Address 104 N. Sewall's Point Rd City SEWALL State FL Zip 34996

Legal Description South 100feet of North 200feet Lot 2 East Rd. Parcel Control Number \_\_\_\_\_

Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Scope of work (please be specific) LANDSCAPE LIGHTING

**WILL OWNER BE THE CONTRACTOR?**  
(If yes Owner Builder questionnaire must accompany application)  
YES  NO

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO \_\_\_\_\_  
(Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications)  
Estimated Value of Improvements \$ 1500  
(Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)  
Is subject property located in flood hazard area? VE10  AE9  AE8   
**FOR ADDITIONS, REMODELS AND RE ROOF APPLICATIONS ONLY**  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company DE SIO'S ELECTRICAL SERVICES Phone 772-878-2643 Fax 772-336-5181

Street 2884 S.E. Pace Drive City Port St. Lucie State FL Zip 34984

State License Number EC0002941 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_

LOCAL CONTACT 772-260-6010 Phone Number \_\_\_\_\_

DESIGN PROFESSIONAL \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREAS SQUARE FOOTAGE Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_

Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_  
Enclosed non habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2007  
National Electrical Code 2005(2008 after 6/1/09) Florida Energy Code 2007, Florida Accessibility Code 2007, Florida Fire Prevention Code 2007

**NOTICES TO OWNERS AND CONTRACTORS**

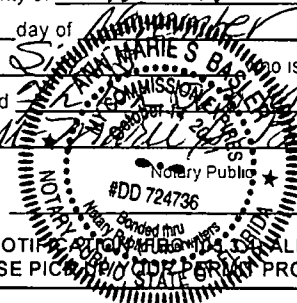
- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT
- 2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES
- 3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50 95
- 4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 5

\*\*\*\*\*A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\*

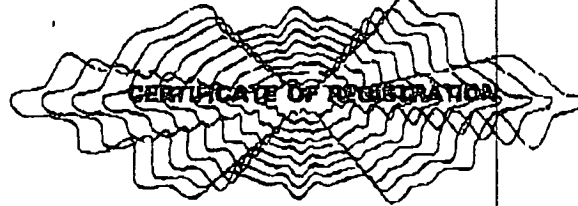
APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER SIGNATURE (required)  
[Signature]  
State of Florida County of Martin  
This the 25th day of Nov  
by Daniel G. Siro who is personally  
known to me or produced FDL#5620-NAT  
as identification Valerdyne  
Notary Public

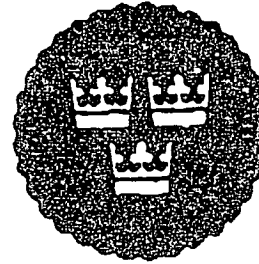
CONTRACTOR SIGNATURE (required)  
[Signature]  
On State of Florida County of Martin  
This the 15th day of November 2009  
by Daniel G. Siro who is personally  
known to me or produced FDL#5620-NAT  
As identification [Signature]  
Notary Public  
#DD 724736



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTICE OF COMMENCEMENT FOR ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2) - PLEASE PICK UP PERMIT PROMPTLY!



Registration number: 556221-9096  
Date of registration: 1982-10-21  
Company name: Testebo Fastighets Aktiebolag  
Address: Box 22047  
104 22 STOCKHOLM  
Registered office: Stockholm  
Share capital: SEK 150 000



The company is registered as a private limited liability company

**BOARD MEMBER, MANAGING DIRECTOR**  
471017-0418 Nessen, Nils Johan Olof, Parmatargatan 11,  
112 24 STOCKHOLM

**DEPUTY MEMBERS OF THE BOARD**  
490206-6903 Nessen, Eva Katarina, Parmatargatan 11, 112 24 STOCKHOLM

**AUDITORS**  
690307-7136 Mattis, Per Göran, c/o Lindebergs Grant Thornton, Box 5756,  
114 87 STOCKHOLM

**DEPUTY AUDITORS**  
700622-7231 Östblom, Björn Mikael, c/o Lindebergs Grant Thornton,  
Box 5756, 114 87 STOCKHOLM

**SIGNATORY POWER**  
Nessen, Nils Johan Olof  
Nessen, Eva Katarina  
individually,  
are entitled to sign on behalf of the company.

**FINANCIAL YEAR**  
Registered financial year: 0101 - 1231  
Latest annual report submitted covers financial  
period 20060101-20061231

**DATE OF REGISTRATION OF CURRENT AND PREVIOUS COMPANY NAMES**  
1982-10-21 Testebo Fastighets Aktiebolag

CONTD.

2009-11-20

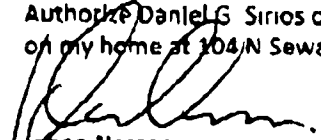
RECEIVED  
11-20-09

To John Adams

Martin County Building Department  
Fax 001 772 220-4765

Re Johan Nessen, Testebo Fastighets AB

Authorize Daniel G. Sirios of DG Sirios Electrical Services, Inc to sign the permit for working  
of my home at 104 N Sewall's Point Road, Stuart Florida



Johan Nessen



TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



### Electrical Load Calculations

Electrical Contractor: DE SIROIS ELECTRICAL License No. EC0002941  
 Phone #: 772-878-2643 Fax #: 772-336-5181  
 Project: NESSEN RESIDENCES Location: 104 N. SEWALL'S POINT RD  
 Existing Service Feeder Size: 2/0 Existing Panel Size: 200 AMP  
 Main Breaker Size: 200 AMP Number of Breakers: 30 SPACES

**Existing Loads**

<u>1730</u> Sq. Ft. X 3 watts per sq. ft.....	<u>5190</u> watts
<u>2</u> Appliance cir. @1500 watts each.....	<u>3000</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
Range @ 8 kw.....	_____ watts
<u>1</u> Dishwasher and disposal @ 1500 watts each.....	<u>1500</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>1350</u> watts
<u>1</u> Water heater @ 4.5 kw .....	<u>4500</u> watts
Tank less water heater.....	_____ watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>1</u> Refrigerator @ 1500 watts.....	<u>1500</u> watts
<u>1</u> Bathroom 1 @ 1500 watts.....	<u>1500</u> watts
<u>1</u> Sprinkler Pump .....	<u>1200</u> watts
<u>1</u> Other <u>COOK TOP</u> .....	<u>4500</u> watts
<u>1</u> Other <u>OVEN</u> .....	<u>4500</u> watts
<u>1</u> Other <u>POOL PUMP</u> .....	<u>1200</u> watts
	<u>33,740</u> Subtotal Watts

**New Loads**

Pool pump.....	_____ watts
Pool light.....	_____ watts
Heat pump.....	_____ watts
Chlorine generator.....	_____ watts
Blower.....	_____ watts
Boatlift.....	_____ watts
<u>1</u> Other <u>LANDSCAPE LIGHTING</u> .....	<u>2000</u> watts
Other .....	_____ watts
Other .....	_____ watts

_____ watts	FILE COPY
_____ watts	TOWN OF SEWALL'S POINT
_____ watts	THESE PLANS HAVE BEEN
_____ watts	REVIEWED FOR CODE COMPLIANCE
_____ watts	DATE <u>11-29-09</u>
_____ watts	<u>J</u>
_____ watts	BUILDING OFFICIAL

35,740 Total Watts

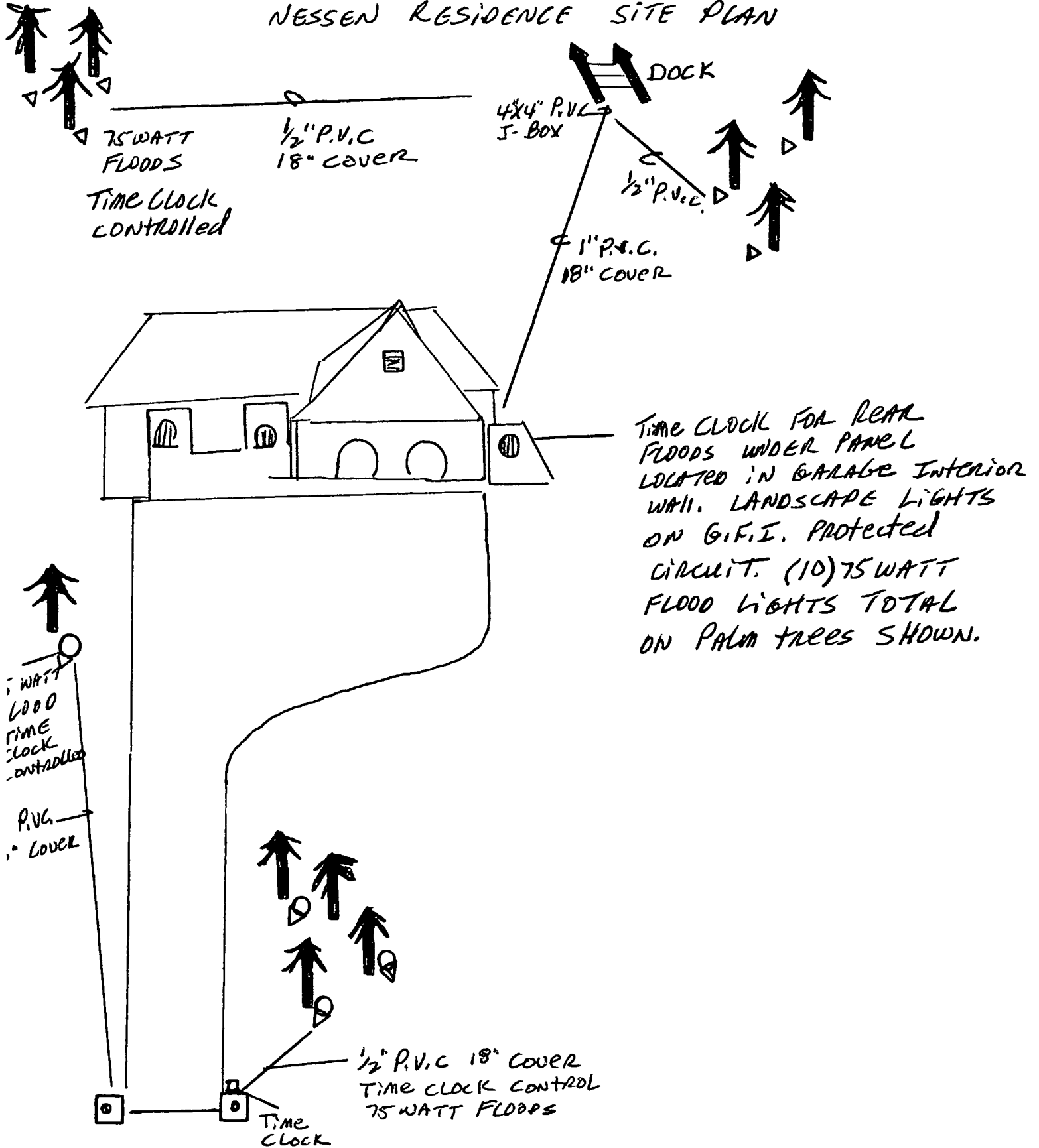
First 10 kw @ 100%.....	<u>10,000</u> watts
Remainder @ 40%.....	<u>19,296</u> watts
A/C heat @ 100% .....	<u>19,000</u> watts

Total watts 30,296 Divided by 240 volts = 126.23 Amps 200 Amp service provided

Prepared by: DANIEL G. SIROIS Date: 11-17-09

D.G. Sirols  
Electrical Services, Inc.  
2684 S.B. Pass Drive  
Port St. Lucie, FL 34984  
(772) 878-2649

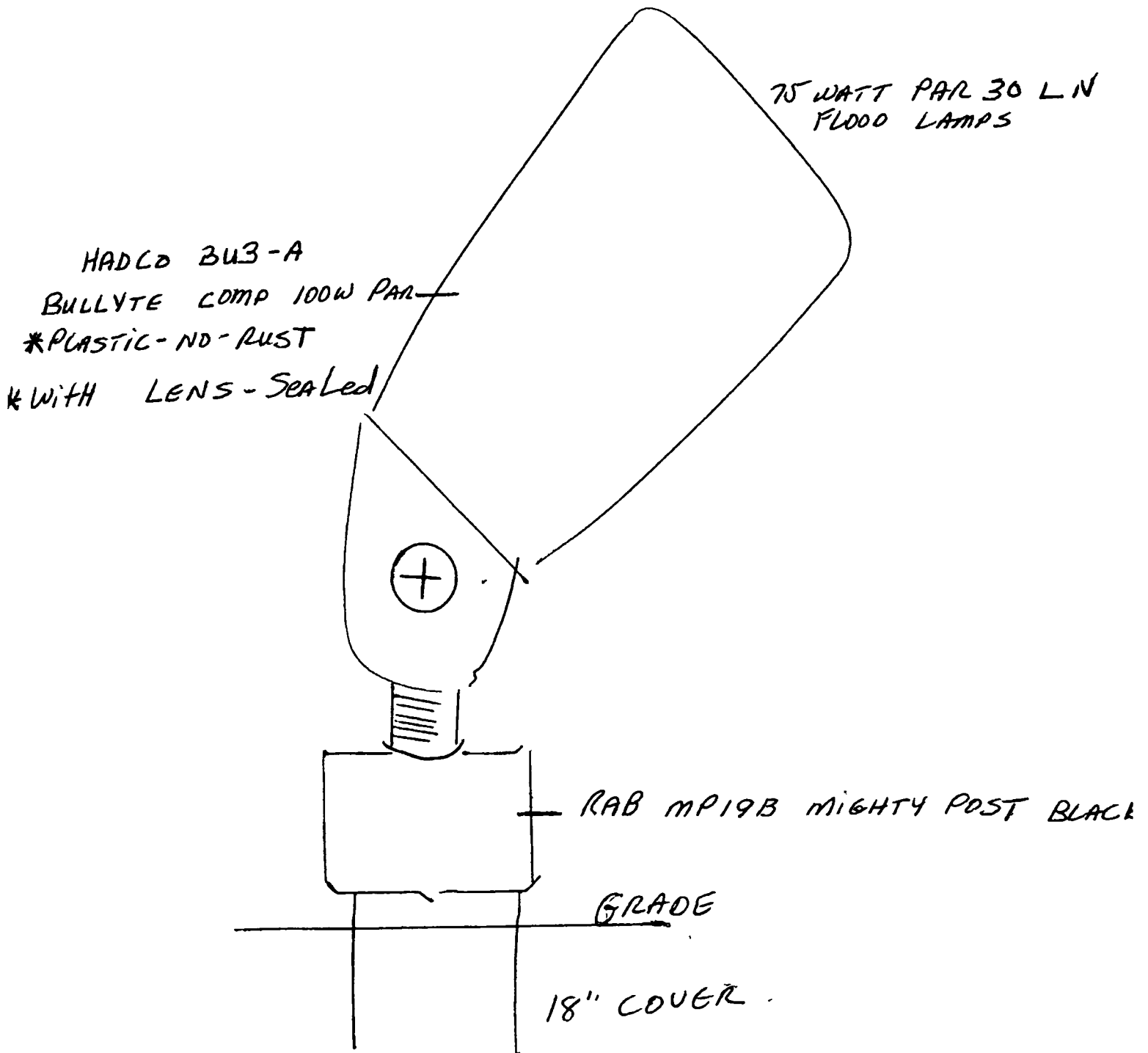
### NESSEN RESIDENCE SITE PLAN



D.G. Sirois  
Electrical Services, Inc.  
2884 S.E. Pass Drive  
Port St. Lucie, FL 34984  
(772) 876-2843

NESSEN RESIDENCE FLOOD LIGHT ASSEMBLY

(10) TOTAL FLOODS AS SHOWN





**TOWN OF SEWALL'S POINT**  
**BUILDING DEPARTMENT**  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



## ELECTRICAL RISER PLAN

For Temporary Power Pole and Single Family Service Change Only

ALL NEW SERVICES (INCLUDING SERVICE CHANGES) MUST BE INSTALLED AT OR ABOVE THE BASE FLOOD ELEVATION IF YOU ARE UNSURE OF THE BFE ON IN THE AREA OF YOUR PROJECT, PLEASE CALL THE BUILDING DEPARTMENT AT 287-2455

**TYPE OF SERVICE:**

OVERHEAD SERVICE →

UNDERGROUND →

Service size 200 Amps

Conductor size 2/0

Meter Main \_\_\_\_\_

Meter Can only X

Service Change \_\_\_\_\_

New Installation \_\_\_\_\_

Grounding Electrode Conductor Size

# 6

# 4

# 2

Other \_\_\_\_\_



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 11-30 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9305	Hompson	sheathing		
	3 W High Pt	dry-in	FAIL	Not Per Plan
	All Am Roofing	in-progress		INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9247	AB ASSOC	Final		
	3700 Se Ocean	(Electric)	Pass	Close
	#3718			
	Rubin Const	FINAL WALK	PASS	INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9196	Frantom	truss &	PARTIAL	STORAGE AREA
<i>(150)</i>	102 N Sewalls	COLUMNS	PASS	GARAGE ONLY
	Reset Const			INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9278	Gilbert	Final		
	8 Mandalay	Roofs		PASS Close
	Open Roofs			INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9274	HARMAN			Per 286 9969
	44 Rio Vista	FINAL		Close
	Real Fence		PASS	INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9371</del>	<del>N. Sewalls</del>	<del>Roofs</del>		
	104 N Sewalls Rd	<del>Roofs</del>	<del>Pass</del>	<del>Close</del>
130-45	DC Service Elect.			INSPECTOR <i>AF</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

**9381**

**GARAGE ADDITION**

**&**

**WINDOWS**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	9381	DATE ISSUED	MARCH 5, 2010
SCOPE OF WORK	GARAGE ADDITION & REMODEL		
CONDITIONS			
CONTRACTOR	DEMAREST CONSTRUCTION		
PARCEL CONTROL NUMBER	353741-000-000-001010	SUBDIVISION	PT OF GOVT LOT 2
CONSTRUCTION ADDRESS.	104 N SEWALLS PT RD		
OWNER NAME	I ESTEBO FASTIGHETS AKTIEBOLAG		
QUALIFIER	ROBERT DEMAREST	CONTACT PHONE NUMBER	220-0065

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH IN _____ MECHANICAL ROUGH IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER

RECEIVED  
DATE: 5-12-09  
TOWN OF SEWALL'S POINT

Date 5-11-09 **Building Permit Application** Permit Number 9381  
OWNER/TITLEHOLDER NAME TESTERBO FASHION'S VIKTIE BRADEN Phone (Day) 287-4967 (Fax) \_\_\_\_\_  
Job Site Address 104 Swalls Pt Rd. City Swalls Pt State FL Zip 34996  
Legal Description S. 100' of N 200' of SW Ct 2 Parcel Control Number 353741000 0000 01010

Owner Address (if different) \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Scope of work (please be specific) Garage Addition & Convert Existing Garage to Bath, Replace  
**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO   
Has a Zoning Variance ever been granted on this property?  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications) Windows  
Estimated Value of Improvements \$ 90,000  
(Notice of Commencement required then or er \$2500 prior to 48 hr inspection \$7 500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 \_\_\_\_\_ AE9 \_\_\_\_\_ AE8   
**FOR ADDITIONS REMODELS AND RE ROOF APPLICATIONS ONLY**  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company Demarest Construction Phone 220-0065 Fax 220 0027  
Street 800 SE Indian St. City Stuart State FL Zip 34997  
State License Number CEA 52954 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_

LOCAL CONTACT BO Demarest Phone Number 220-0065  
DESIGN PROFESSIONAL Braden & Braden License # HC 000032 Phone Number 287-8258  
Street 417 Coconut Ave City Stuart State FL Zip 34996  
AREAS SQUARE FOOTAGE Living 550 Garage 704 Covered Patios/ Porches 179 Enclosed Storage \_\_\_\_\_  
Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_  
\* Enclosed non habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2004 W/ 2006 REV  
National Electrical Code 2005 Florida Energy Code 2004/6 Florida Accessibility Code 2004/6 Florida Fire Prevention Code 2004/6

**NOTICES TO OWNERS AND CONTRACTORS.**

- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT
- 2 THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES
- 3 BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95
- 4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2004 W/ 2006 REVISIONS SECT 105 4 1, 105 4 1 1 - 5

\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\*

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE (required)  
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
Nils Nesson

State of Florida, County of Martin  
This the 5 day of May, 2009  
by Nils Nesson who is personally

known to me or produced as identification \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

TRISHA NEAL QUIGLEY  
Comm# DD0706197  
Expires 3/25/2011  
Florida Notary Assn, Inc

CONTRACTOR SIGNATURE (required)  
Robert Demarest

On State of Florida, County of Martin  
This the 5 day of May, 2009  
by Robert Demarest who is personally

known to me or produced as identification \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

TRISHA NEAL QUIGLEY  
Comm# DD0706197  
Expires 3/25/2011  
Florida Notary Assn, Inc

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!  
OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3 2)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

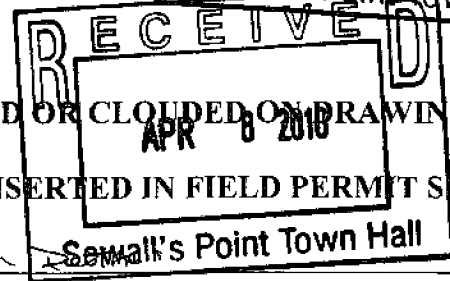
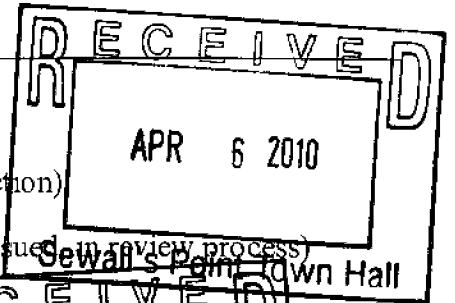
**REVISIONS - CORRECTIONS REQUEST FORM**  
**MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS**

DATE: 4-6-10 PERMIT NUMBER: 9381 Textebo

JOB ADDRESS: 104 N. SEAWALLS POINT RD

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL (Corrections/Permit not issued in review process)
- REVISIONS (Changes to an issued permit)



*done  
4-8-10*

\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S) WINDOW CHANGE, DOWN

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ \_\_\_\_\_  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME MIKE PRINCIPAL SIGNATURE Mike Principal  
 PHONE NUMBER 772-215-6498 FAX NUMBER 772-220-0227

FOR OFFICE USE ONLY: 4-14-10

Reviewed by: [Signature] Date: 4-7-10 Approve  Deny

Additional conditioned space \_\_\_\_\_ sq ft @ \$104.65 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Additional non-conditioned space \_\_\_\_\_ sq. ft. @ \$ 48.90 per sq. ft. \_\_\_\_\_ x 2% = \_\_\_\_\_

Other declared value increase (must be based on value not cost) \_\_\_\_\_ x 2% = \_\_\_\_\_

Other additional fees: \_\_\_\_\_ Revision review fee 2 Pages @ \$25.00/Page 50<sup>00</sup>

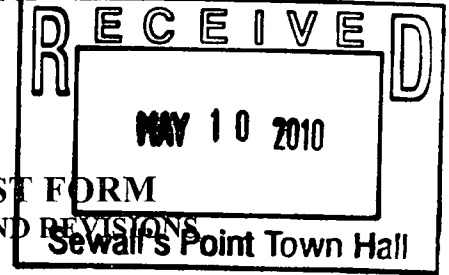
Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 50<sup>00</sup>

Applicant notified by: Valerie 4-14-10 Date: PA #115/10 CK# 12576



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765



**REVISIONS - CORRECTIONS REQUEST FORM**  
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE 5-7-2010 PERMIT NUMBER 9381  
 JOB ADDRESS 107 N. SEAWALLS PT (Teatebo fast)

**PLEASE CHECK ONE OF THE FOLLOWING:**

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

\*\*\*\*ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING\*\*\*\*

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S) ADDED ENTRY DOOR DETAIL / DRIVEWAY DETAIL /  
Pump House Detail

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES  NO  VALUE \$ 5000  
 \*\*\*INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL\*\*\*

CONTACT NAME MIKE PRINCIPAL SIGNATURE Michael Principe  
 PHONE NUMBER 772-215-6495 FAX NUMBER 772-220-0065

FOR OFFICE USE ONLY:

Reviewed by [Signature] Date 5-12-10 Approve  Deny

Additional conditioned space \_\_\_\_\_ sq ft @ \$104.65 per sq ft \_\_\_\_\_ x 2% = \_\_\_\_\_

Additional non-conditioned space \_\_\_\_\_ sq ft @ \$48.90 per sq ft \_\_\_\_\_ x 2% = \_\_\_\_\_

Other declared value increase (must be based on value not cost) 5000 <sup>1 1/2%</sup> x 2% = 50

Other additional fees: 3 insp. @ 75 = 225.00 Revision review fee \_\_\_\_\_ Pages @ \$25.00/Page \_\_\_\_\_

Radon Fee \_\_\_\_\_ Professional Regulation Fee \_\_\_\_\_ Road impact assessment \_\_\_\_\_

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 275.00

Applicant notified by Valerie 5-12-10 Date 5/13/10 CK # 12642

**NOTICE OF COMMENCEMENT**  
 TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT # \_\_\_\_\_ TAX FOLIO # 35374/200000 001010

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713 FLORIDA STATUTES THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE)  
104 Sewalls Pt Rd S 100' of N 200' of box lot 2 E of Rd

GENERAL DESCRIPTION OF IMPROVEMENT Re-roof, garage addition, Convert existing garage to Bath, Replace windows

OWNER NAME TESTE BO FASTLIG, HETS AKTIE BOLAG  
 ADDRESS P.O. BOX 22047 10422 Stockholm  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

INTEREST IN PROPERTY OWNER  
 NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER) \_\_\_\_\_

CONTRACTOR Dempst Construction  
 ADDRESS 800 Se Indian St. Stuart, FL 34996  
 PHONE NUMBER 220-0065 FAX NUMBER 220-0227

SURETY COMPANY (IF ANY) \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_  
 BOND AMOUNT \_\_\_\_\_

LENDER/MORTGAGE COMPANY \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(a)7 FLORIDA STATUTES

NAME \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

IN ADDITION TO HIMSELF OR HERSELF OWNER DESIGNATES \_\_\_\_\_ OF \_\_\_\_\_  
 TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),  
 FLORIDA STATUTES  
 PHONE NUMBER \_\_\_\_\_ FAX NUMBER \_\_\_\_\_

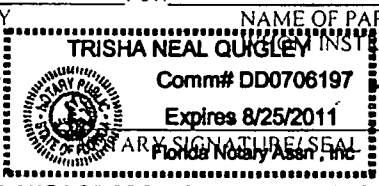
EXPIRATION DATE OF NOTICE OF COMMENCEMENT \_\_\_\_\_  
 (EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED)

**WARNING TO OWNER** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713 PART I SECTION 713.13 FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT

[Signature]  
 SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER  
 SIGNATORY'S TITLE/OFFICE N/S Johan Olaf Nesson - Director officer

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6 DAY OF May 2009  
 BY N/S Nesson AS officer FOR \_\_\_\_\_  
 NAME OF PERSON TYPE OF AUTHORITY

PERSONALLY KNOWN  OR PRODUCED IDENTIFICATION \_\_\_\_\_  
 TYPE OF IDENTIFICATION PRODUCED \_\_\_\_\_



NAME OF PARTY ON BEHALF OF \_\_\_\_\_  
 INSTRUMENT WAS EXECUTED  
[Signature]

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)

[Signature]  
 (Signature of Natural Person Signing Above)

INSTR # 2146925 OR BK 02390 PG 1711 RECD 05/15/2009 12:22:43 PM  
 Pg 1711 (1pg)  
 MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix



104 NSPR  
 TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

RECEIVED  
 APR 5 2010  
 ADDS 50010  
 Sewall's Point Town Hall

SUBCONTRACTORS LIST  
 RESIDENTIAL, ADDITIONAL CONTRACTORS

APPLICANT'S NAME DEMAREST CONST. BLDG PERMIT # 9381  
 MAILING ADDRESS 800 S.E. INDIAN ST. SMART, FL. 34997

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WITH THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE IDENTIFICATION NUMBERS (NOT OCCUPATIONAL LICENSE NUMBERS)

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM	MACY CONST.	CFC 1512437
CFI	- FINISH		
BM	BLOCK MASON	"	
CB	COLUMNS & BEAMS	"	
CA	CARPENTRY ROUGH	"	
GD	GARAGE DOOR	WAYNE DALTON	P002459
DH	DRYWALL - HANG	PERRINI INTERIOR	C/C/A 10859
DF	- FINISH		
IN	INSULATION	"	
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINTING	LEON SCOBARIT	SP 00487
PL	PLASTER & STUCCO	PRECISION PLASTER	MCPS 02501
ST	STAIRS & RAILS		
RO	ROOFING		
TM	TILE & MARBLE		
WD	WINDOWS & DOORS	GLASS Plus	SP 00049
PLU	* PLUMBING	TROPIC PLUMBING	CF 032565
AC	* HVAC	PARAGON A/C	CAC 049209
EL	* ELECTRICAL	TAYLOR ELECT.	EC 13002706





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS		

REQUIRES SEPARATE VERIFICATION FORMS

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

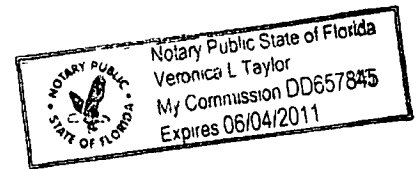
SIGNATURE OF CONTRACTOR  
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida  
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 31<sup>st</sup> day  
 of March, 20 10

NOTARY PUBLIC

MY COMMISSION EXPIRES 6/4/11





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**SUBCONTRACTORS LIST**  
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME Demorest Const. BLDG PERMIT # \_\_\_\_\_  
 MAILING ADDRESS 800 S.E. INDIAN STUART, FL 34997

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION THIS LIST WILL BE RETURNED TO YOU WITH THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917 PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CLERIFICATION NUMBERS (NOT OCCUPATIONAL LICENSE NUMBERS)

GR-wc  
st-cc

GR-wc  
interiors

GR-wc/wc

form

GR-st-form  
form  
form

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM	SITAL SUBCONTRACTORS	CCL061261
CFI	- FINISH		
BM	BLOCK MASON	" "	" "
CB	COLUMNS & BEAMS	" "	" "
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR	WAYNE DALTON	PO02459
DH	DRYWALL - HANG	MOLLOY INTERIORS	SCC 131149710
DF	- FINISH		
IN	INSULATION		
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LP	LP GAS		
PAV	PAINING	LEON SCOBOTKA	SP00487
PL	PLASTER & STUCCO		
ST	STAIRS & RAILS		
RO	ROOFING	ON SITE ROOFING	CCC 1327609
TM	TILE & MARBLE		
WD	WINDOWS & DOORS	GLASS Plus	SP00849
PLU	* PLUMBING	TROPIC PLUMBING	CFC 032565
AC	* HVAC	PARAGON AC	CAL049289
EL	* ELECTRICAL	GRiffin ELECT	EC0002734



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
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 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM		
VS	VACUUM SOUND		
IR	* IRRIGATION		
SH	SHUTTERS	EXISTING	

REQUIRES SEPARATE VERIFICATION FORMS

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

*[Handwritten Signature]*

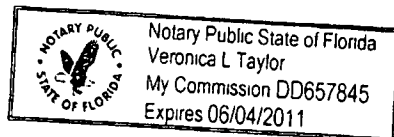
SIGNATURE OF CONTRACTOR  
 (OR OWNER/BUILDER IF APPLICABLE)

STATE OF Florida  
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 23rd day  
 of June, 2009

*[Handwritten Signature]*  
 NOTARY PUBLIC

MY COMMISSION EXPIRES 6/4/11



*[Handwritten signatures]*



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S. Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9381

\*\*\*IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Testabo Fastighets Aktiebolag

CONSTRUCTION ADDRESS 104 N Sewalls Point Rd

PERMIT TYPE:  RESIDENTIAL  COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE:  NEW SERVICE  EXISTING SERVICE  OTHER

SCOPE OF WORK electrical wiring per plans

VALUE OF CONSTRUCTION \$ \_\_\_\_\_

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature] 1730 SW Baltimore St - PSL A 34984  
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME Tamber Contracting, Inc

TELEPHONE NO (772) 873-0556 FAX NO (772) 873-0440  
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER FC13227010

\*\*\* WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT

\*\*\*VERIFICATION OF PARCEL CONTROL NUMBER\*\*\*

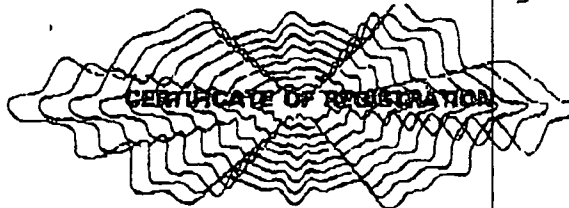
OWNER'S FULL NAME AS STATED ON DEED: Testabo Fastighets Aktiebolag

PARCEL CONTROL # 35-37-41-000-000-00101-0

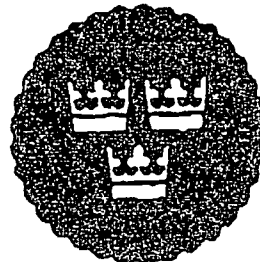
SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLK: \_\_\_\_\_ PHASE: \_\_\_\_\_

SITE ADDRESS 104 N Sewalls Point Rd

SEND OR FAX TO TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



Registration number: 556221-9096  
Date of registration: 1982-10-21  
Company name: Testebo Fastighets Aktiebolag  
Address: Box 22047  
104 22 STOCKHOLM  
Registered office: Stockholm  
Share capital: SEK 150 000



The company is registered as a private limited liability company

**BOARD MEMBER, MANAGING DIRECTOR**  
471017-0418 Nessen, Nils Johan Olof, Parmmatargatan 11,  
112 24 STOCKHOLM

**DEPUTY MEMBERS OF THE BOARD**  
490206-6903 Nessen, Eva Katarina, Parmmatargatan 11, 112 24 STOCKHOLM

**AUDITORS**  
690307-7136 Mattis, Per Göran, c/o Lindebergs Grant Thornton, Box 5756,  
114 87 STOCKHOLM

**DEPUTY AUDITORS**  
700522-7231 Östblom, Björn Mikael, c/o Lindebergs Grant Thornton,  
Box 5756, 114 87 STOCKHOLM

**SIGNATORY POWER**  
Nessen, Nils Johan Olof  
Nessen, Eva Katarina  
individually,  
are entitled to sign on behalf of the company.

**FINANCIAL YEAR**  
Registered financial year: 0101 - 1231  
Latest annual report submitted covers financial  
period 20060101-20061231

**DATE OF REGISTRATION OF CURRENT AND PREVIOUS COMPANY NAMES**  
1982-10-21 Testebo Fastighets Aktiebolag

CONTD.



2587 James River Rd  
West Palm Beach, FL 33411  
Phone 561 312 2041  
Fax 561 537 7229  
Email gcei@bellsouth.net

Gruber Consulting Engineers, Inc

Chad M Gruber  
Professional Engineer

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**ENGINEER DESIGNED**  
**SYSTEM CERTIFICATION**

To Martin County Health Dept

From Chad M Gruber, P E

Re Aktiebolag Residence  
104 N Sewall's Point Rd  
Sewall's Point, FL

Date October 19, 2010

This is to certify that the new septic system installed at 104 N Sewall's Point Rd , Sewall's Point, FL,  
with the following specifications

- 1,050 gal septic tank
- 300 gal pumping tank with simplex Barnes SP33 pumping package
- 50 lift dosed, Infiltrator Quick4 EQ36 chambers in a bed configuration

is in substantial compliance with my approved design and installation requirement dated 6/24/10 as per  
64E-6 004(4)

Should you have any questions, please feel free to contact this office

Sincerely,

Chad M Gruber  
Florida P E Registration #57466

cc Demorest Construction Group



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

RECEIVED  
FEB 16 2009  
MARTIN COUNTY HEALTH DEPT

43-SS-112130  
PERMIT NO  
DATE PAID 2-16-10  
FEE PAID 450.00  
RECEIPT # 1237384  
AP 952660

APPLICATION FOR

- New System     Existing System     Holding Tank     Innovative  
 Repair     Abandonment     Temporary

APPLICANT NESSEN

AGENT STEPHEN J. BROWN, INC TELEPHONE 288-7174

MAILING ADDRESS 619 E 5<sup>TH</sup> ST, STUART, FLA 3499A

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489 105(3)(m) OR 489 552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

5.100' N. 200' LOT 2, SEC. 35, TWP. 37, RL. 41  
LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_ PLATTED 1970

PROPERTY ID # \_\_\_\_\_ ZONING: \_\_\_\_\_ I/M OR EQUIVALENT [ Y /  N ]

PROPERTY SIZE 0.82 ACRES WATER SUPPLY [ ] PRIVATE PUBLIC [ ] <=2000GPD  >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y /  N ] DISTANCE TO SEWER 5000 FT

PROPERTY ADDRESS 104 N. SEWALL'S Pt. ROAD

DIRECTIONS TO PROPERTY EAST TO SEWALL'S POINT ROAD  
NORTH SEWALL'S POINT ROAD

BUILDING INFORMATION  RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SINGLE FAMILY</u>		<u>572<sup>3</sup>/F</u>	
2				
3				
4				

[ ] Floor/Equipment Drains [ ] Other (Specify) \_\_\_\_\_

SIGNATURE STEPHEN J. BROWN DATE 2/15/10

APPLICANT'S NAME: NESSEN

LEGAL DESCRIPTION: S 100', N. 200', Gov't Lot 2, Sec. 35, T. 37, R. 41

**PROPOSED SEPTIC SYSTEM SITE INFORMATION**

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system

NOTE MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. Brown  
FLORIDA PROFESSIONAL NO 4049  
DATE 2/15/10 JOB NO 2896-01-0





# STEPHEN J. BROWN, INC.

Surveyors • Designers • Land Planners • Consultant

## LEGAL DESCRIPTION

That portion of the South 100 feet of the North 200 feet of Government Lot 2, Section 35, TOWNSHIP 37 South, Range 41 East, lying Easterly from the Sewall's Point Road, and extending to the waters of the Indian River.

TOGETHER with all riparian rights owned or controlled by the Grantor; AND ALSO a perpetual easement for the installation of wells and pump houses, and laying of pipe, over and across the North 5 feet and the South 5 feet of the North 200 feet of said Government Lot 2 that lies West of the said Sewall's Point Road, such easement to extend to a distance of 300 feet from the aforesaid road.

I, Johan Nesser

owner of the above referenced property have authorized Stephen J. Brown, Inc. to act as my authorized representative and to act on my behalf in all aspects of an application for a septic system.

Johan Nesser 15-02-2010  
Owner Date



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
EXISTING SYSTEM AND SYSTEM REPAIR EVALUATION

~~257~~ SYSTEM  
257

PERMIT # \_\_\_\_\_

APPLICANT: Testebo Fastigheter Aktiebolag 104 Sewalls Point Rd Stuart

CONTRACTOR / AGENT: COOKE'S ENVIRONMENTAL SERVICES

LOT: 2 BLOCK: \_\_\_\_\_ SUBDIV: \_\_\_\_\_ ID#: \_\_\_\_\_

TO BE COMPLETED BY FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR ATTACH LETTER FROM A PERMITTED SEPTAGE DISPOSAL SERVICE.

EXISTING TANK INFORMATION

[ 900 ] GALLONS SEPTIC TANK/GPD ATU LEGEND: N/A MATERIAL: CON BAFFLED: [ Y /  N ]  
 [ ] GALLONS SEPTIC TANK/GPD ATU LEGEND: \_\_\_\_\_ MATERIAL: \_\_\_\_\_ BAFFLED: [ Y / N ]  
 [ ] GALLONS GREASE INTERCEPTOR LEGEND: \_\_\_\_\_ MATERIAL: \_\_\_\_\_  
 [ ] GALLONS DOSING TANK LEGEND: \_\_\_\_\_ MATERIAL: \_\_\_\_\_ # PUMPS: [ ]

I CERTIFY THAT THE ABOVE NOTED TANKS WERE PUMPED ON 3/10/09. HAVE THE VOLUMES SPECIFIED, ARE STRUCTURALLY SOUND AND HAVE A [ SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE ] INSTALLED.

[Signature] COOKE'S ENVIRONMENTAL SERVICES 3/11/09  
SIGNATURE OF LICENSED CONTRACTOR BUSINESS NAME DATE

EXISTING DRAINFIELD INFORMATION

[ 300 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES [ ] DIMENSIONS. 12 x 25  
 [ ] SQUARE FEET SYSTEM NO. OF TRENCHES [ ] DIMENSIONS: X  
 TYPE OF SYSTEM: [  ] STANDARD [ ] FILLED [ ] MOUND [ ]  
 CONFIGURATION: [ ] TRENCH [  ] BED [ ]  
 DESIGN: [ ] HEADER [ ] D-BOX [  ] GRAVITY SYSTEM [ ] DOSED SYSTEM  
 ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE 23 INCHES [ ABOVE /  BELOW ]

SYSTEM FAILURE AND REPAIR INFORMATION

[ 1979 ] SYSTEM INSTALLATION DATE TYPE OF WASTE [ ] DOMESTIC [ ] COMMERCIAL  
 [ ] GPD ESTIMATED SEWAGE FLOW BASED ON [ ] METERED WATER [ ] TABLE 1, 64E-6, FAC

SITE [ ] DRAINAGE STRUCTURES [ ] POOL [ ] PATIO / DECK [ ] PARKING  
 CONDITIONS: [ ] SLOPING PROPERTY [ ]

NATURE OF FAILURE: [ ] HYDRAULIC OVERLOAD [ ] SOILS [ ] MAINTENANCE [ ] SYSTEM DAMAGE  
 [ ] DRAINAGE / RUN OFF [ ] ROOTS [ ] WATER TABLE [ ]

FAILURE SYMPTOM: [ ] SEWAGE ON GROUND [ ] TANK [ ] D BOX/HEADER [ ] DRAINFIELD  
 [ ] PLUMBING BACKUP [ ]

REMARKS/ADDITIONAL CRITERIA System is working at this time

SUBMITTED BY: [Signature] TITLE/LICENSE SR0031436 DATE: 3/11/09





# COOKE'S

ENVIRONMENTAL SERVICES

## ON-SITE SEWAGE TREATMENT SYSTEM INSPECTION REPORT

Date ordered March 12, 2009  
Date / Time of inspection: \_\_\_\_\_  
Send copy to: \_\_\_\_\_

Requested by Bo Demorest  
Phone No : 772-220-0065  
Fax No : 772-220-0227

### SITE ADDRESS:

104 North Sewalls Point Rd  
Stuart, FL  
\_\_\_\_\_

### BILLING ADDRESS:

Demorest Const  
800 SE Indian St  
Stuart, Fl 34997

### A. GENERAL INFORMATION

1. Age of dwelling: 1979 years (estimate)
2. Number of bedrooms: 3 bathrooms: 2
3. Garbage disposal? \_\_\_\_\_ yes \_\_\_\_\_ no X unknown

### B. System Type

#### 1. Components of on-site treatment system

Septic tank size 900 concrete X block \_\_\_\_\_ fiberglass \_\_\_\_\_  
Date of last septic tank pump out: 3/11/09 unknown X

#### 2. Absorption area

Drainfield size: 300 sq. ft. \_\_\_\_\_ Trench X Bed  
Drainfield type: X rock \_\_\_\_\_ infiltrator \_\_\_\_\_ waffle \_\_\_\_\_

#### EEZZLAY

3. Lift station size: \_\_\_\_\_ fiberglass insert \_\_\_\_\_
  - Concrete \_\_\_\_\_ fiberglass \_\_\_\_\_
  - Number of sump pumps \_\_\_\_\_ warning device: \_\_\_\_\_ yes \_\_\_\_\_ no
  - Warning device: visual \_\_\_\_\_ audio/visual \_\_\_\_\_
  - Sump pump elevated off bottom of lift station? \_\_\_\_\_ yes \_\_\_\_\_ no
  - Check valve: \_\_\_\_\_ yes \_\_\_\_\_ no
  - Purge hole present: \_\_\_\_\_ yes \_\_\_\_\_ no
  - Do electrical connections appear satisfactory? \_\_\_\_\_ yes \_\_\_\_\_ no
  - Was lift station pumped? \_\_\_\_\_ yes \_\_\_\_\_ no
  - Can surface water infiltrate into the tank? \_\_\_\_\_ yes \_\_\_\_\_ no
4. Is any part of the system located below a deck, sidewalk, driveway or any portion of a building? X Yes \_\_\_\_\_ no

#### 5. Comments:

Septic System is working fine at time of inspection

3100 SE WAALER STREET / STUART, FL 34997

phone (772) 781-4300 / fax (772) 287-1570

www.callcookes.com

C. OPERATION TEST: LOCATE TANK AND OPEN COVER

Approximate depth of top of tank 3 inches  
 Approximate depth of top of drainfield 10 inches

- YES (NO) If possible, flush all toilets and run fixtures to determine if they flow into the septic system  
 YES (NO) Introduced water into the septic tank at a rate of 3-6 gpm for 20 to 30 minutes (a garden hose fully opened.) Observe the level of the water in the tank, did the water level rise?  
 YES (NO) Is there any evidence of liquid level line fluctuation?  
 YES (NO) Is there any evidence of leaking water appliances?  
 (YES) NO Does the septic tank need pumping due to solids and sludge levels?  
 YES (NO) Is there root intrusion in the septic tank?  
 (YES) NO Is the septic tank lid sealed properly?  
 YES (NO) Does the septic tank have an outlet filter?  
 YES NO Is the tank multi-chambered?  
 YES (NO) when probing the drainfield to determine it's location, was there excessive moisture,  
 YES (NO) when probing the drainfield area, were roots present?  
 YES (NO) Is there lush vegetation present?  
 (YES) NO Do any drainfield lines appear to be dry?  
 YES (NO) Do the roof or rain gutters empty onto the drainfield area?

D. CHECK LIST SUMMARY

1. The condition of the septic tank is acceptable X unacceptable \_\_\_\_\_ N/A \_\_\_\_\_  
 2. The condition of the absorption is acceptable X unacceptable \_\_\_\_\_ N/A \_\_\_\_\_  
 3. The condition of the sump pump acceptable \_\_\_\_\_ unacceptable \_\_\_\_\_ N/A X

E. COMPANY DISCLAIMER:

As a result of our observations and our experience with on-site waste water technology, this report is submitted based on the present condition of the on-site sewage treatment system. Cookes Environmental has not been retained to warrant, guarantee or certify the proper functioning of the system for any period of time in the future. Because of numerous factors (usage, soil characteristics, previous failures etc.) that may affect the proper operation of a septic system as well as the inability of Cookes to supervise or monitor the use and maintenance of the system. This report shall not be construed as a warranty by Cooke's Environmental that the system will function properly.

Cookes Environmental Services DISCLAIMS ANY WARRANTY either expressed or implied arising from the inspection of the system. This report does not address the impact the system may have on ground water.

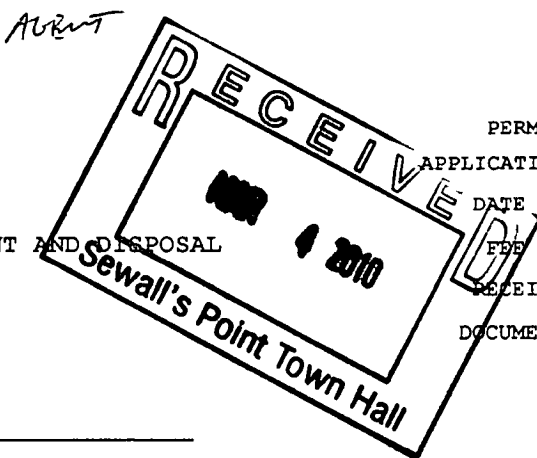
I have studied the information obtained herein and certify that my assessment is honest, thorough and correct to the best of my ability.

NAME Frank Queen TITLE Septic Inspector  
 Print

CONTRACTOR Ravi Bala LICENSE #SA0041226 DATE 3-11-09



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM



PERMIT # 43-SS-1121308

APPLICATION # AP952660

DATE PAID \_\_\_\_\_

FEE PAID \_\_\_\_\_

RECEIPT # \_\_\_\_\_

DOCUMENT # PR800357

CONSTRUCTION PERMIT FOR OSTDS New

APPLICANT Nessen (Nessen)

PROPERTY ADDRESS 104 N Sewall's Point Rd Stuart, FL 34996

LOT S 100' of N 200'o BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

PROPERTY ID # 35-37-41-000-000-00101-0

[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]  
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381 0065, F S , AND CHAPTER 64E-6, F A C DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY

SYSTEM DESIGN AND SPECIFICATIONS

T [ 1,050 ] GALLONS / GPD Septic CAPACITY  
A [ ] GALLONS / GPD N/A CAPACITY  
N [ ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK 1250 GALLONS]  
K [ ] GALLONS DOSING TANK CAPACITY [ ] GALLONS @ [ ] DOSES PER 24 HRS #Pumps [ ]

D [ 334 ] SQUARE FEET Bed SYSTEM  
R [ ] SQUARE FEET N/A SYSTEM  
A TYPE SYSTEM [ ] STANDARD [ ] FILLED [x] MOUND [ ]  
I CONFIGURATION [ ] TRENCH [x] BED [ ]

N  
F LOCATION OF BENCHMARK Top of C M @ 3 52 NGVD

I ELEVATION OF PROPOSED SYSTEM SITE [ 25 00 ] [ INCHES / FT ] [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [ 37 00 ] [ INCHES / FT ] [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT

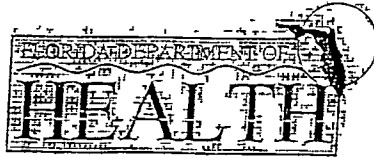
L  
D FILL REQUIRED [ 30 00 ] INCHES EXCAVATION REQUIRED [ ] INCHES

O The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s 64E-6 013(3)(f), FAC  
T All attached general and special conditions must be met prior to final approval  
H Engineer design 2nd system  
E  
R

SPECIFICATIONS BY Chad Gruber TITLE Professional Engineer

APPROVED BY Jeffrey C Gorfado TITLE Environmental Specialist II 091518 Martin CHD

DATE ISSUED 02/25/2010 EXPIRATION DATE 08/25/2011



Martin County Health Department

SEPTIC SYSTEM SPECIAL CONDITIONS FOR PERMIT 43-SS-1121308

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s 64E-6 013(3)(f), FAC

\_\_\_ CONDUCT SOIL BORINGS DURING INSPECTION TO VERIFY SOIL TYPE AND WATER TABLE FROM OTHERS

X FILL REQUIRED NOTED ABOVE MUST BE OF SLIGHTLY LIMITED QUALITY IN THE INSTALLATION AREA WITH A MINIMUM OF 4 FOOT SHOULDER BEYOND THE DRAINFIELD SIDE WALL (ANY UNSUITABLE PAD FILL IN THE SHOULDER AND UNDER THE DRAINFIELD MUST BE REMOVED AND REPLACED WITH SUITABLE SOIL)

X DRAINFIELD MUST BE A MINIMUM OF 7 FEET FROM BUILDING FOUNDATION

\_\_\_ MAINTENANCE SERVICE AGREEMENT REQUIRED

\_\_\_ ANNUAL OPERATING PERMIT FROM MARTIN CO HEALTH DEPARTMENT IS REQUIRED

X MAINTAIN A MINIMUM OF 287 FEET FROM SURFACE WATER

X THE DRAINFIELD MUST BE AT LEAST 15 FEET FROM X PROPERTY LINES \_\_\_ BUILDING FOUNDATION \_\_\_ OTHER \_\_\_\_\_

X INSTALL AN APPROVED OUTLET FILTER DEVICE IN THE SEPTIC TANK

X A MINIMUM OF 6 INCHES AND MAXIMUM OF 18 INCHES OF MODERATELY OR SLIGHTLY LIMITED SOIL CAP IS ALLOWED OVER DRAINFIELD

X STATE CODE REQUIRES A MINIMUM DRAINFIELD SIZE OF 334 BEO SQUARE FEET

X THE DRAINFIELD MUST BE PROPERLY GRADED AND STABILIZED PRIOR TO FINAL APPROVAL

\_\_\_ THIS PERMIT IS ISSUED FOR AIR INJECTION REPAIR PROCESS ONLY

X POTABLE WATER LINES WITHIN 10 FEET OF THE SYSTEM MUST BE SLEEVED AND SEALED AND CANNOT BE WITHIN 2 FEET OF THE SYSTEM

\_\_\_ POTABLE WATER LINES WITHIN 5 FEET OF A DRAINFIELD SHALL NOT BE LOWER THAN THE DRAINFIELD ELVEVATION

X POTABLE WATER LINES MUST BE INSTALLED AND EXPOSED AT THE TIME OF THE INITIAL INSTALLATION INSPECTION



Martin County Health Department

SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS- 1121308

- If the minimum finished floor foundation elevation (F F E ) is below the drainfield filled elevation of 30 inches (above original grade 5.6 ), please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm) Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes Note Local building authority determines minimum F F E and stub out requirements Health Department recommendations are used for drainfield fill and setback requirements only
For single-family homes, if the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required
Septic system must be installed in unobstructed area as shown on the approved site plan Alteration of the information or conditions of this permit found to be in non-compliance will be sufficient cause for revocation of this permit If any information on a permit changes, an amended application and \$50 review fee must be submitted to our office immediately
Future ponds or surface water created onsite must be greater than 75' from septic system
The mound area must be sodded prior to a request for final grade inspection
Non-potable irrigation lines must be separated from the drainfield by two feet unless an approved backflow prevention device is properly installed
A \$75.00 re-inspection fee is required if violations are found during the septic system inspection
If an inspector does not witness the work conducted during a septic abandonment, the contractor must submit a statement that the work was completed
If a professional engineer designs the septic system, the engineer must certify that the installed system complies with the design and installation requirements
For commercial operations, occupational approval will not be given until all requirements for an onsite public water system, food operation or institutional establishment are met

ADDITIONAL CONDITIONS LIST Special conditions marked X are in effect

- X 1 Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation The driveway cannot be constructed within 4 feet of the system's available area
2 Prior to final construction approval, the property owner must apply for an operating permit and pay the \$ Annual Permit Fee (For Indus /Manuf Aerobic System Commercial System Performance-Based)

Excavation requirements (Note Excavation refers to removal of natural or existing soils, not pad fill)

- 1 Excavate one foot beyond drainfield area to a depth of inches below natural/ existing grade elevation of feet N G V D / Assumed In addition to item #1, 33% of unsuitable soils at depths greater than inches below #1 elevation above must be removed to a depth of slightly limited soils
2 If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction
X 3 If a mound or filled drainfield is proposed, see following sketch An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system No boulders or trees are allowed within the drainfield or drainfield shoulder area Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation

Completed By [Signature] Date 2/25/10

See Reverse Side for Mound or Filled Drainfield Requirements



Access 1234  
Case

47004207  
2-19-10

\*NEED to wait until  
WELL IS Aband\*

PERMIT # 43-SS-1121308  
AP 952660



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATIONS

APPLICANT Nessen AGENT SJB

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION Long Leg 21

PROPERTY ID # \_\_\_\_\_ [Section/Township/Parcel No or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON ENGINEERS  
MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL COMPLETE ALL ITEMS

PROPERTY SIZE CONFORMS TO SITE PLAN  YES  NO NET USABLE AREA AVAILABLE .82 ACRES  
TOTAL ESTIMATED SEWAGE FLOW 200 + GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE 2]  
AUTHORIZED SEWAGE FLOW 250 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]  
UNOBSTRUCTED AREA AVAILABLE 1500 SQFT UNOBSTRUCTED AREA REQUIRED 500 SQFT

BENCHMARK/REFERENCE POINT LOCATION TOP of 4x4 c.m. @ 3.52 NGVD  
ELEVATION OF PROPOSED SYSTEM SITE IS 20 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES  
SURFACE WATER 287 FT DITCHES/SWALES \_\_\_\_\_ FT NORMALLY WET?  YES  NO  
WELLS PUBLIC \_\_\_\_\_ FT LIMITED USE \_\_\_\_\_ FT PRIVATE \_\_\_\_\_ FT NON-POTABLE 65 FT  
BUILDING FOUNDATIONS 7 FT PROPERTY LINES 19 FT POTABLE WATER LINES \_\_\_\_\_ FT

SITE SUBJECT TO FREQUENT FLOODING?  YES  NO 10 YEAR FLOODING?  YES  NO  
10 YEAR FLOOD ELEVATION FOR SITE \_\_\_\_\_ FT MSL/NGVD SITE ELEVATION 4.9 FT MSL/NGVD  
5.6

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
1042 5/6 YEL/GR	SAND (fzlc)	0 TO 12
1042 6/1 GR	SAND	12 TO 18
1042 7/1 CL/GR	SAND	18 TO 24
1042 8/1 WH	SAND	24 TO 42
Refusal (Too WET)		42 TO 72
		TO
		TO
		TO
* OBSERVED H <sub>2</sub> O @ 36" w/ 12" fill TO		
USDA SOIL SERIES #4 Waverland CLC		

SOIL PROFILE INFORMATION SITE 2

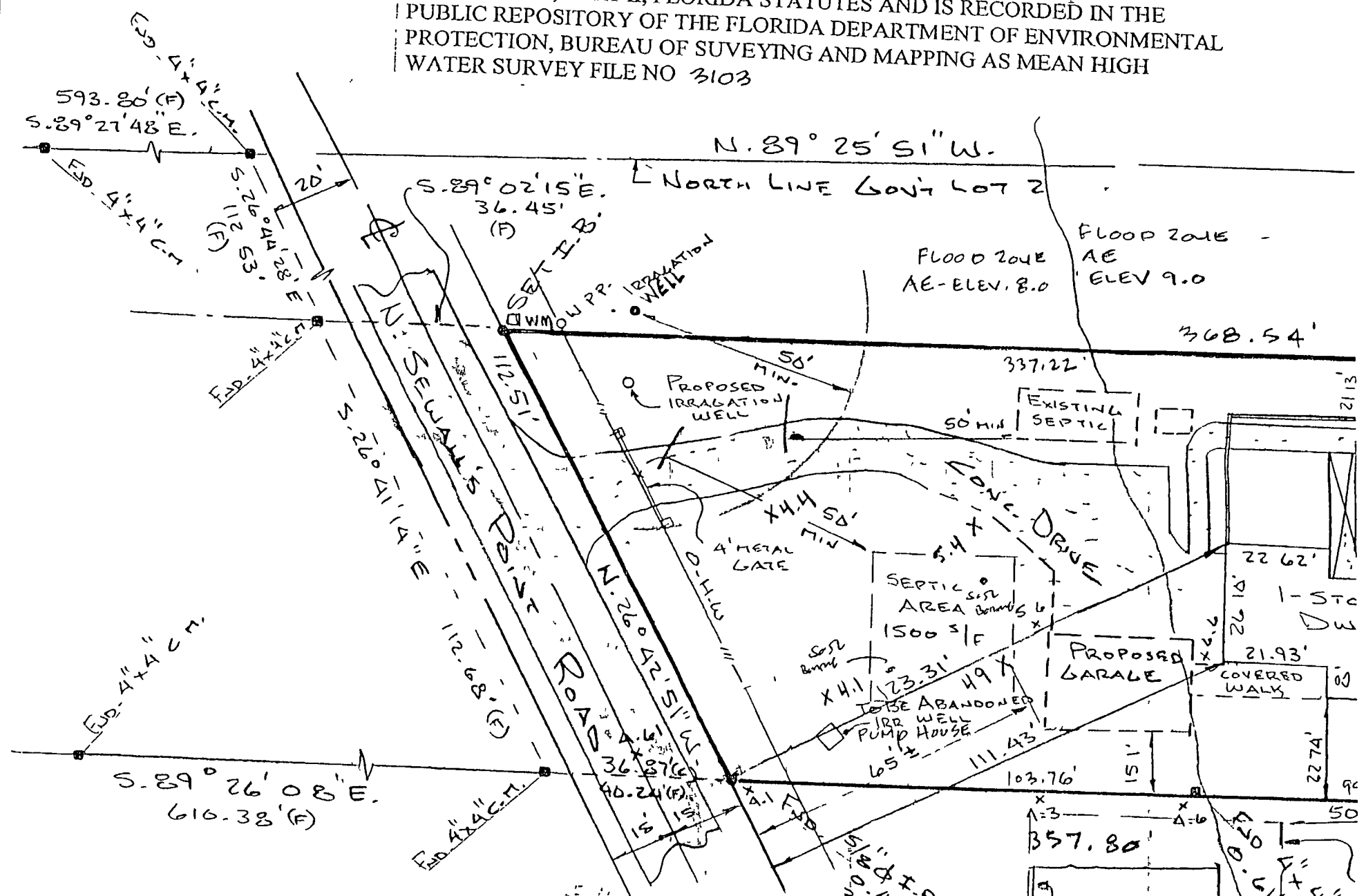
MUNSELL #/COLOR	TEXTURE	DEPTH
1042 6/1 GR	SAND	0 TO 6
1042 7/1 CL/GR	SAND	6 TO 12
1042 8/1 WH	SAND	12 TO 36
Refusal (Too WET)		36 TO 72
		TO
		TO
		TO
		TO
* OBSERVED H <sub>2</sub> O @ 18"		
USDA SOIL SERIES #4 Waverland CLC		

OBSERVED WATER TABLE 18 INCHES [ABOVE / BELOW] EXISTING GRADE TYPE [PERCHED / APPARENT]  
ESTIMATED WET SEASON WATER TABLE ELEVATION 12 INCHES [ABOVE / BELOW] EXISTING GRADE  
HIGH WATER TABLE VEGETATION  YES  NO MOTTLING  YES  NO DEPTH \_\_\_\_\_ INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING 0.8/0.6 PS DEPTH OF EXCAVATION \_\_\_\_\_ INCHES  
DRAINFIELD CONFIGURATION  TRENCH  BED  OTHER (SPECIFY)

REMARKS/ADDITIONAL CRITERIA 2/21/10 see attached well abandonment permit  
02/23/10 EXISTING GARAGE FPE = 35" SIZE #1 ELV = 64" S27E #2 ELV = 72"  
EXISTING TRENCH WALL ABANDONMENT (SEE PERMIT #43-SS-13204) ESTIMATED  
WET SEASON H<sub>2</sub>O TABLE ELV GROUND AT 12" (S27E #2) WHERE OBSERVED (APP TO  
BE TREAT INFORMATION) ALSO H2O TABLE DATA FOR PERMIT #43-SS-1000823  
SITE EVALUATED BY Dwain Lee Orange DATE 02/23/10

THE MEAN HIGH WATER SURVEY DEPICTED HEREON COMPLIES WITH CHAPTER 177, PART II, FLORIDA STATUTES AND IS RECORDED IN THE PUBLIC REPOSITORY OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF SURVEYING AND MAPPING AS MEAN HIGH WATER SURVEY FILE NO 3103



AC ACRE  
 BM BENCHMARK  
 A/C AIR CONDITIONER  
 ALUM ALUMINUM  
 AVE AVENUE  
 BRG BEARING  
/>

CHD CHORD DISTANCE  
 CONC CONCRETE  
 CBS CONC BLOCK STRUCTURE  
 CM CONCRETE MONUMENT  
 CNR COULD NOT READ  
 CPP CONCRETE POWER POLE  
 COR CORNER

ES ELEV  
 ENCL ENCLOSURE  
 ENCR X 17 00 ENCROACHMENT  
 FT FEET  
 F FIELD MEASUREMENT

SIT  
 IB IRON BAR  
 IP IRON PIPE  
 I.B. & C IRON-BAR & CAP  
 LE LANDSCAPE EASEMENT  
 LB LICENSE BUSINESS  
 LP LIGHT POLE



Charlie Crist  
Governor

Ana M. Viamonte Ros, M.D., MPH  
State Surgeon General

## Martin County Health Department

### ADDITIONS OR RENOVATIONS TO AN EXISTING RESIDENTIAL BUILDING CONNECTED TO AN EXISTING SEPTIC TANK SYSTEM

#### **A For existing septic systems more than three years old CALL FOR APPOINTMENT TO ENSURE FAST TRACK PERMITTING!!**

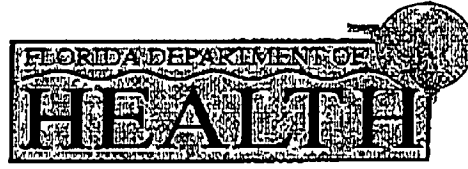
- 1 The addition or renovation causes no changes to sewage flow categories listed on Table I (not increasing building area and/or bedroom(s), the customer)
  - A Completes and submits page one of the septic application DH4015 (Page 1) for a miscellaneous plan review
  - B Has the licensed septic tank contractor complete and submit the form titled "Existing System and System Repair Evaluation (DH 4015, Pg 4)"
  - C Submits three copies of a site plan drawn to scale showing all septic system location requirements
  - D Submits one copy of the existing floor plan and three copies of the proposed living area addition
  - E Submits \$85 miscellaneous plan review fee
  
- 2 The addition or renovation cause changes to sewage flow categories listed on Table I, the customer
  - A Needs to contact a certified septic tank contractor, surveyor or engineer to complete and submit an application as a "Modification" to an existing system (DH 4015, Page 1)
  - B Submit three copies of the site plan signed and sealed by the surveyor or engineer or drawn to scale by a septic tank contractor and the form #1. The site plan must include all information as required in Chapter 64E-6, F A C for a new system application site plan
  - C Has the licensed septic tank contractor complete and submit the form titled "Existing System and System Repair Evaluation (DH 4015, Pg 4)"
  - D Submits one copy of the existing floor plan and three copies of the proposed living area addition. If there is an assigned agent, submit a letter from the applicant authorizing that person to be their agent
  - E Submits the fee of \$430.00

#### **B For existing septic systems less than three years old CALL FOR APPOINTMENT TO ENSURE FAST TRACK PERMITTING!**

- 1 The addition or renovation causes no changes to sewage flow categories listed on attached Table I, the customer
  - A Completes and submits page one of the septic application DH 4015 (Page 1) for a miscellaneous plan review
  - B Submits one copy of the existing floor plan and three copies of the proposed living area addition
  - C Submits \$85 miscellaneous plan review fee
  
- 2 The addition or renovation causes changes to sewage flow categories listed on the attached Table I, the customer
  - A Needs to contact a certified septic tank contractor, surveyor or engineer to complete and submit an application as a "Modification" to an existing system (DH 4015, page 1). Submit three copies of the site plan signed and sealed by the surveyor or engineer or drawn to scale by a septic tank contractor. The site plan must include all information as required in Chapter 64E-6, F A C for a new system application site plan
  - B Submits one copy of the existing floor plan and three copies of the proposed living area addition. If there is an assigned agent, submit a letter from the applicant authorizing that person to be their agent
  - C Submits the fee of \$430.00. Note: To determine if the system is oversized and meets code requirements, the customer must attach a copy of approved system inspection showing such system

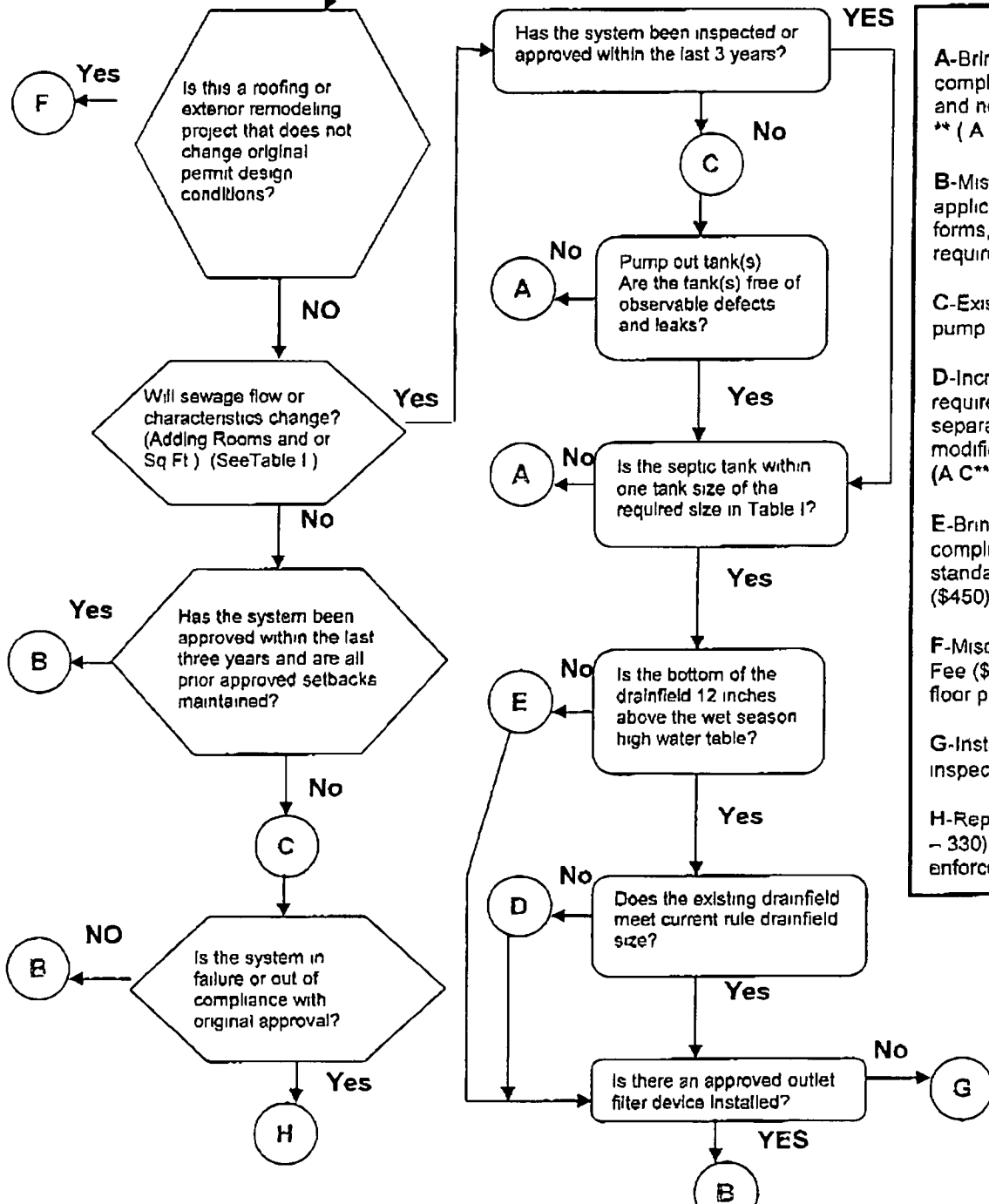
\*\*Modification permit approval may take several days depending upon any necessary changes to the application package

j:\eh\docs\forms\septics\additions to a building.doc 10/17/2007



*Martin County Health Department*

**EXISTING RESIDENTIAL SYSTEM APPROVAL/MODIFICATION DECISION TREE**



- A**-Bring system into full compliance with current rule and new permit fees \*\* ( A B \*\* E )
- B**-Miscellaneous plan review application fee (\$85) with forms, site plan and floors plan required
- C**-Existing system inspection, pump out and site eval (H)
- D**-Increase drainfield to current required, maintain current separation (12" minimum) – modification fees (\$430) (A C\*\*E )
- E**-Bring drainfield into full compliance with new system standards-new permit fees (\$450) (A C\*\*E )
- F**-Miscellaneous application Fee (\$50) Application form and floor plans required
- G**-Install outlet filter \$75 re-inspection fee (J)
- H**-Repair permit and fees (\$215 – 330) \*\* (A C \*\*G ) or enforcement

\*\* If an existing inspection has been done, CHD should not charge an additional site evaluation fee unless the site location changes  
 J:\ah\docs\forms\septic\decs tree for resd septic.doc 5/1/07



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*Martin County Health Department*

**LOT SIZE REQUIREMENTS FOR LOTS PLATTED PRIOR TO 1972**

**I WITH PUBLIC WATER:**

- A One bedroom with no more than 750 sq ft of heated or cooled area per unit = 1742 sq. ft
  - B One bedroom with 750 - 1200 sq ft of heated or cooled area per unit or two bedrooms with no more than 1200 sq ft of heated or cooled area per unit = 3485 sq ft
  - C Two bedrooms with 1201-2250 sq ft of heated or cooled area per unit or three bedrooms with no more than 2250 sq ft of heated or cooled area per unit = 5227 sq ft
  - D Three bedrooms with 2251 - 3300 sq ft of heated or cooled area per unit or four bedrooms with no more than 3300 sq ft. of heated or cooled area per unit = 6970 sq ft
- \* **NOTE:** An additional increase in lot size of 1742 sq ft will be required for each additional bedroom or heated or cooled building area increase up to 750 sq ft

**II. WITH PRIVATE WATER:**

- A One bedroom with less than 750 sq ft of heated or cooled area per unit = 2904 sq ft
  - B One bedroom with 750-1000 sq ft of heated or cooled area per unit or two bedrooms with less than 1000 sq ft of heated or cooled area per unit = 5500 sq. ft
  - C One bedroom or two bedrooms with 1001 - 1200 sq ft of heated or cooled area per unit = 5808 sq ft.
  - D Two bedrooms with 1201-2250 sq ft of heated or cooled are per unit or three bedrooms with no more than 2250 sq ft of heated or cooled area per unit = 8712 sq ft
  - E Three bedrooms with 2251 - 3300 sq ft of heated or cooled area per unit or four bedrooms with no more than 3300 sq ft of heated or cooled area per unit = 11,616 sq ft
- \* **NOTE:** An additional increase in lot size of 2904 sq ft will be required for each additional bedroom or heated or cooled building area increase up to 750 sq ft

J docs/forms/septic



**A. M. ENGINEERING AND TESTING, INC.**  
 590 N.W. MERCANTILE PLACE  
 PORT ST. LUCIE, FLORIDA 34986  
 OFFICE: (772) 924-3575 FAX: (772) 924-3580

PN9381

**REPORT OF STEM WALL FOOTING COMPACTION**

**Client:** Demorest Construction Group, Inc.  
 800 Southeast Indian Street  
 Stuart, Florida 34997  
**Site:** 104 N. Sewall's Point Road  
 Stuart, Martin County, Florida  
 Stem Wall Footing for Garage Addition

**Report Date:** April 8, 2010  
**Project No:** 1095  
**Lab No:** 103  
**Technician:** B Leadley  
**Permit No:**

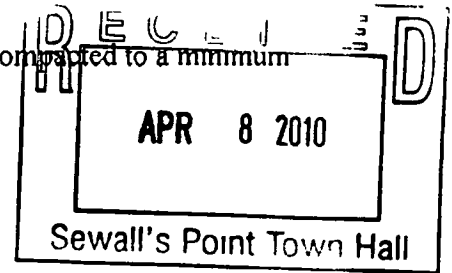
Density tests and Hand Cone Penetrometer (HCP) readings were made below footing grade to a depth of two feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The density tests were performed in general compliance with ASTM D 6938. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	Dry Density (pcf)		Percent Compaction
				In Place	Proctor	
1	4/6/10	Northwest Corner	0 - 1	107.7	109.0	98.8
2		Southwest Corner	0 - 1	108.4	109.0	99.4
3		Southeast Corner	0 - 1	107.6	109.0	98.7

\* Elevations are below bottom of footing

In the locations and depths that were tested, the soil beneath the footings has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557)

Additional compaction tests are required for the stem wall backfill beneath the slab.

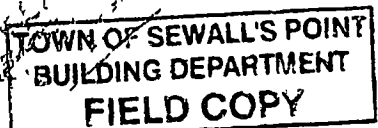
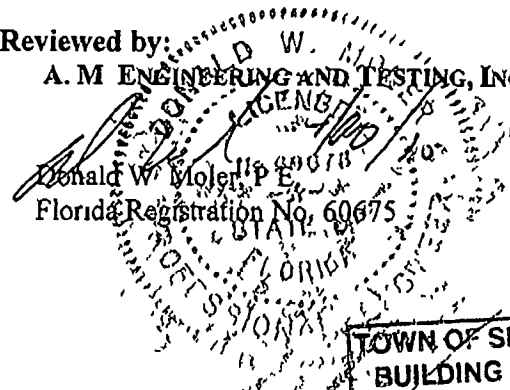


**Distribution:**

Client - 2

DWM/js

Reviewed by:  
 A. M. ENGINEERING AND TESTING, INC.



PN 9381



**A. M. ENGINEERING AND TESTING, INC.**  
 590 N.W. MERCANTILE PLACE  
 PORT ST. LUCIE, FLORIDA 34986  
 OFFICE: (772) 924-3575 FAX: (772) 924-3580

**REPORT OF STRIPPED SURFACE COMPACTION**

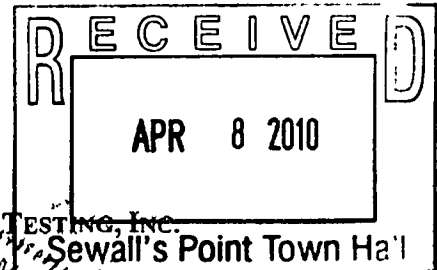
<p><b>Client</b> Demorest Construction Group, Inc.                  800 Southeast Indian Street                  Stuart, Florida 34997</p> <p><b>Site</b> 104 N. Sewall's Point Road                  Stuart, Martin County, Florida                  Stripped Surface/Proofroll (Slab Area) for Garage Addition</p>	<p><b>Report Date</b> April 8, 2010  <b>Project No</b> 1095  <b>Lab No</b> 104  <b>Technician</b> R. Marchand  <b>Permit No</b> .</p>
--	---

Hand Cone Penetrometer (HCP) readings were made below footing grade to a depth of two feet at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	HCP Reading	% Compaction	
					In Place	Min Req'd
1	4/2/10	Middle of East Section	0 - 1	70	95+	95
2		Middle of Central Section	0 - 1	70	95+	95
3		Middle of West Section	0 - 1	70	95+	95

\* Elevations are below stripped surface

In the locations and depths that were tested, the soil has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). No soil borings were performed below bottom of proposed slab.

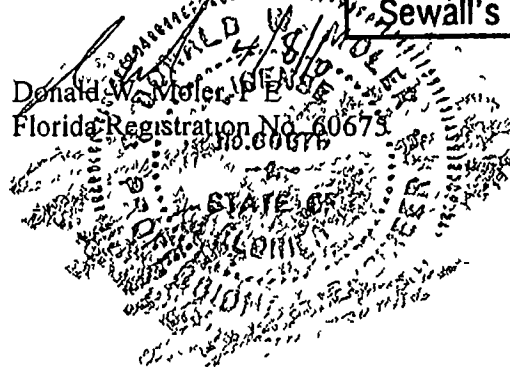


**Distribution:**

- Client - 2
- Bldg. Dept. - 1
- DWM/js

**Submitted by:**

A. M. ENGINEERING AND TESTING, Inc.  
 Sewall's Point Town Hall





**A. M. ENGINEERING AND TESTING, INC.**

590 N.W. MERCANTILE PLACE  
 PORT ST. LUCIE, FLORIDA 34986  
 OFFICE (772) 924-3575 FAX: (772) 924-3580

PN9381

**REPORT OF FOUNDATION PAD COMPACTION**

**Client:** Demorest Construction Group, Inc.  
 800 Southeast Indian Street  
 Stuart, Florida 34997

**Site:** 104 N. Sewall's Point Road  
 Stuart, Martin County, Florida  
 Interior Slab fill in Existing Garage

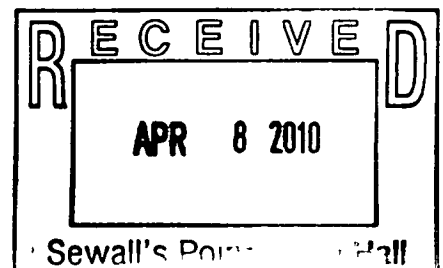
**Report Date:** April 8, 2010  
**Project No:** 1095  
**Lab No:** 105  
**Technician:** R Marchand  
**Permit No:**

Hand Cone Penetrometer (HCP) readings were made above existing slab to a depth of one foot at a minimum of three locations. At the time of our testing no information was available regarding the foundation setbacks. The HCP test, in conjunction with information about the soil type, is empirically correlated to the relative density of subsurface soils.

Density Test No.	Date Tested	Location	Elevation (feet)	HCP Reading	% Compaction	
					In Place	Min Req'd
1	4/8/10	Southwest Corner	0 - 1	60	95+	95
2		Center Area	0 - 1	60	95+	95
3		Northeast Corner	0 - 1	60	95+	95

\* Elevations are above existing slab

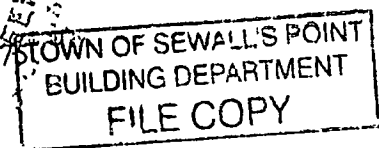
In the locations and depths that were tested, the soil has been compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D 1557). No soil borings were performed below the recently placed soil.



**Distribution:**

- Client - 2
- Bldg. Dept - 1
- DWM/js

Submitted by DONALD W. MOLE  
 A. M. ENGINEERING AND TESTING, INC.  
 DONALD W. MOLE, P.E.  
 Florida Registration No. 60675





# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 88.2**

The higher the score, the more efficient the home

Nessen Residence, . . .

<p>1 New construction or existing Addition <input type="checkbox"/></p> <p>2 Single family or multi-family Single family <input type="checkbox"/></p> <p>3 Number of units if multi-family 1 <input type="checkbox"/></p> <p>4 Number of Bedrooms 2 <input type="checkbox"/></p> <p>5 Is this a worst case? No <input type="checkbox"/></p> <p>6 Conditioned floor area (ft<sup>2</sup>) 516 ft<sup>2</sup> <input type="checkbox"/></p> <p>7 Glass type<sup>1</sup> and area (Label reqd by 13-104 4 5 if not default)</p> <p style="margin-left: 20px;">a U-factor Description Area</p> <p style="margin-left: 40px;">(or Single or Double DEFAULT) 7a (Dble U=0 5) 97 0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b SHGC</p> <p style="margin-left: 40px;">(or Clear or Tint DEFAULT) 7b (SHGC=0 32) 97 0 ft<sup>2</sup> <input type="checkbox"/></p> <p>8 Floor types</p> <p style="margin-left: 20px;">a Slab-On-Grade Edge Insulation R=0 0 516 0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>9 Wall types</p> <p style="margin-left: 20px;">a Concrete Ext Insul Exterior R=4 0 687 0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e N/A <input type="checkbox"/></p> <p>10 Ceiling types</p> <p style="margin-left: 20px;">a Under Attic R=19 0 516 0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>11 Ducts</p> <p style="margin-left: 20px;">a Sup Unc Ret Unc AH Attic Sup R=6 0 80 0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p>	<p>12 Cooling systems</p> <p style="margin-left: 20px;">a Central Unit Cap 24 0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER 13 00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>13 Heating systems</p> <p style="margin-left: 20px;">a Electric Strip Cap 6 6 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP 1 00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>14 Hot water systems</p> <p style="margin-left: 20px;">a Electric Resistance Cap 40 0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF 0 92 <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery Solar</p> <p style="margin-left: 40px;">DHP-Dedicated heat pump)</p> <p>15 HVAC credits MZ-C MZ-H <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan CV-Cross ventilation</p> <p style="margin-left: 20px;">HF-Whole house fan</p> <p style="margin-left: 20px;">PT-Programmable thermostat</p> <p style="margin-left: 20px;">MZ-C-Multizone cooling</p> <p style="margin-left: 20px;">MZ-H-Multizone heating)</p>
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**TONY G. SEWALL'S POINT**  
**PLANNING DEPARTMENT**  
**FILE COPY**

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature \_\_\_\_\_ Date \_\_\_\_\_

Address of New Home \_\_\_\_\_ City/FL Zip \_\_\_\_\_



*\*NOTE The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

1 Predominant glass type. For actual glass type and areas see Summer & Winter Glass output on pages 2&4 EnergyGauge® (Version FLRCSB v4 5 2)

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS , , ,	PERMIT #
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BASE	AS-BUILT																													
<b>GLASS TYPES</b> 18 X Conditioned X BSPM = Points Floor Area	<table style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:15%;">Type/SC</th> <th style="width:15%;">Overhang Ornt Len Hgt</th> <th style="width:15%;">Area X SPM X SOF = Points</th> </tr> </thead> </table>	Type/SC	Overhang Ornt Len Hgt	Area X SPM X SOF = Points																										
Type/SC	Overhang Ornt Len Hgt	Area X SPM X SOF = Points																												
<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%; text-align: right;">18</td> <td style="width:15%; text-align: right;">516 0</td> <td style="width:15%; text-align: right;">30 53</td> <td style="width:15%; text-align: right;">2836 0</td> </tr> </table>	18	516 0	30 53	2836 0	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%;">1 Double,U=0 47,SHGC=0 32</td> <td style="width:15%;">E 2 0 8 0</td> <td style="width:15%;">37 0</td> <td style="width:15%;">31 14 0 92</td> <td style="width:15%; text-align: right;">1057 0</td> </tr> <tr> <td>2 Double,U=0 47 SHGC=0 32</td> <td>S 2 0 8 0</td> <td>40 0</td> <td>26 33 0 87</td> <td style="text-align: right;">920 0</td> </tr> <tr> <td>3 Double,U=0 49,SHGC=0 23</td> <td>W 2 0 9 0</td> <td>21 0</td> <td>18 04 0 94</td> <td style="text-align: right;">355 0</td> </tr> <tr> <td>4 Double,U=0 47 SHGC=0 32</td> <td>W 2 0 8 0</td> <td>20 0</td> <td>27 83 0 92</td> <td style="text-align: right;">510 0</td> </tr> <tr> <td colspan="2"><b>As-Built Total</b></td> <td style="text-align: right;"><b>118 0</b></td> <td></td> <td style="text-align: right;"><b>2842 0</b></td> </tr> </table>	1 Double,U=0 47,SHGC=0 32	E 2 0 8 0	37 0	31 14 0 92	1057 0	2 Double,U=0 47 SHGC=0 32	S 2 0 8 0	40 0	26 33 0 87	920 0	3 Double,U=0 49,SHGC=0 23	W 2 0 9 0	21 0	18 04 0 94	355 0	4 Double,U=0 47 SHGC=0 32	W 2 0 8 0	20 0	27 83 0 92	510 0	<b>As-Built Total</b>		<b>118 0</b>		<b>2842 0</b>
18	516 0	30 53	2836 0																											
1 Double,U=0 47,SHGC=0 32	E 2 0 8 0	37 0	31 14 0 92	1057 0																										
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3 Double,U=0 49,SHGC=0 23	W 2 0 9 0	21 0	18 04 0 94	355 0																										
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<b>As-Built Total</b>		<b>118 0</b>		<b>2842 0</b>																										
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# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS , , ,	PERMIT #
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BASE	AS-BUILT
<b>Summer Base Points: 5511.3</b>	<b>Summer As-Built Points: 5133.3</b>
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points (System - Points) (DM x DSM x AHU)
<b>5511.3 0.3250 1791.2</b>	<small>(sys 1 Central Unit 24000btuh SEER/EFF(13 0) Ducts Unc(S) Unc(R) Att(AH) R6 0(INS)</small> <b>5133.3 1.00 1 350 0.260 0.950 1711.8</b>

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS , , ,	PERMIT #
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BASE	AS-BUILT																														
<b>GLASS TYPES</b> 18 X Conditioned X BWPM = Points Floor Area	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">Type/SC</th> <th style="width: 10%;">Overhang Ornt</th> <th style="width: 10%;">Len</th> <th style="width: 10%;">Hgt</th> <th style="width: 10%;">Area X WPM X WOF = Points</th> </tr> </thead> <tbody> <tr> <td>1 Double,U=0.47,SHGC=0.32</td> <td>E</td> <td>2.0</td> <td>8.0</td> <td>37.0 2.12 1.02 80.0</td> </tr> <tr> <td>2 Double,U=0.47,SHGC=0.32</td> <td>S</td> <td>2.0</td> <td>8.0</td> <td>40.0 2.04 1.02 83.0</td> </tr> <tr> <td>3 Double,U=0.49,SHGC=0.23</td> <td>W</td> <td>2.0</td> <td>9.0</td> <td>21.0 2.67 1.00 56.0</td> </tr> <tr> <td>4 Double U=0.47 SHGC=0.32</td> <td>W</td> <td>2.0</td> <td>8.0</td> <td>20.0 2.46 1.00 49.0</td> </tr> <tr> <td colspan="4"><b>As-Built Total</b></td> <td style="text-align: right;"><b>118.0 268.0</b></td> </tr> </tbody> </table>	Type/SC	Overhang Ornt	Len	Hgt	Area X WPM X WOF = Points	1 Double,U=0.47,SHGC=0.32	E	2.0	8.0	37.0 2.12 1.02 80.0	2 Double,U=0.47,SHGC=0.32	S	2.0	8.0	40.0 2.04 1.02 83.0	3 Double,U=0.49,SHGC=0.23	W	2.0	9.0	21.0 2.67 1.00 56.0	4 Double U=0.47 SHGC=0.32	W	2.0	8.0	20.0 2.46 1.00 49.0	<b>As-Built Total</b>				<b>118.0 268.0</b>
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# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS , , ,	PERMIT #
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BASE			AS-BUILT					
<b>Winter Base Points.</b>		<b>-316.8</b>	<b>Winter As-Built Points</b>				<b>-465.2</b>	
Total Winter Points	X System Multiplier	= Heating Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points
<b>-316.8</b>	<b>0.5540</b>	<b>-175.5</b>	<small>(sys 1 Electric Strip 6600 btuh , EFF(1.0) Ducts Unc(S),Unc(R),Att(AH),R6.0</small> <b>-465.2</b> <b>1.000</b> <small>(1.099 x 1.137 x 1.14)</small> <b>1.000</b> <b>0.950</b> <b>-629.5</b> <b>-465.2</b> <b>1.00</b> <b>1.425</b> <b>1.000</b> <b>0.950</b> <b>-629.5</b>					

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS , , ,	PERMIT #
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BASE				AS-BUILT										
<b>WATER HEATING</b>				Tank	EF	Number of	X	Tank	X	Multiplier	X	Credit	=	Total
Number of	X	Multiplier	=	Volume		Bedrooms		Ratio				Multiplier		
Bedrooms														
2		2273 00	=	40 0	0 92	2		1 00		2273 00		1 00	=	4546 0
<b>As-Built Total</b>													<b>4546 0</b>	

<b>CODE COMPLIANCE STATUS</b>													
BASE					AS-BUILT								
Cooling	+	Heating	+	Hot Water	=	Total	Cooling	+	Heating	+	Hot Water	=	Total
Points		Points		Points		Points	Points		Points		Points		Points
1791		-175		4546		6162	1712		-630		4546		5628

PASS



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS , , ,	PERMIT #
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### 6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606 1 ABC 1 1	Maximum 3 cfm/sq ft window area, 5 cfm/sq ft door area	
Exterior & Adjacent Walls	606 1 ABC 1 2 1	Caulk gasket, weatherstrip or seal between windows/doors & frames, surrounding wall, foundation & wall sole or sill plate, joints between exterior wall panels at corners, utility penetrations, between wall panels & top/bottom plates, between walls and floor EXCEPTION Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate	
Floors	606 1 ABC 1 2 2	Penetrations/openings >1/8" sealed unless backed by truss or joint members EXCEPTION Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams	
Ceilings	606 1 ABC 1 2 3	Between walls & ceilings penetrations of ceiling plane of top floor, around shafts, chases, soffits chimneys, cabinets sealed to continuous air barrier, gaps in gyp board & top plate, attic access EXCEPTION Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams	
Recessed Lighting Fixtures	606 1 ABC 1 2 4	Type IC rated with no penetrations, sealed, or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation or Type IC rated with < 2 0 cfm from conditioned space, tested	
Multi-story Houses	606 1 ABC 1 2 5	Air barrier on perimeter of floor cavity between floors	
Additional Infiltration reqts	606 1 ABC 1 3	Exhaust fans vented to outdoors, dampers, combustion space heaters comply with NFPA, have combustion air	

### 6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences )

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612 1	Comply with efficiency requirements in Table 612 1 ABC 3 2 Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided External or built-in heat trap required	
Swimming Pools & Spas	612 1	Spas & heated pools must have covers (except solar heated) Non-commercial pools must have a pump timer Gas spa & pool heaters must have a minimum thermal efficiency of 78%	
Shower heads	612 1	Water flow must be restricted to no more than 2 5 gallons per minute at 80 PSIG	
Air Distribution Systems	610 1	All ducts fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610 Ducts in unconditioned attics R-6 min insulation	
HVAC Controls	607 1	Separate readily accessible manual or automatic thermostat for each system	
Insulation	604 1, 602 1	Ceilings-Min R-19 Common walls-Frame R-11 or CBS R-3 both sides Common ceiling & floors R-11	

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name	Demorest-Nessen	Builder	Paragon Indoor Air Quality
Address		Permitting Office	
City, State		Permit Number	
Owner	Nessen Residence	Jurisdiction Number	
Climate Zone	South		

<p>1 New construction or existing Addition <input type="checkbox"/></p> <p>2 Single family or multi-family Single family <input type="checkbox"/></p> <p>3 Number of units if multi-family 1 <input type="checkbox"/></p> <p>4 Number of Bedrooms 2 <input type="checkbox"/></p> <p>5 Is this a worst case? No <input type="checkbox"/></p> <p>6 Conditioned floor area (ft<sup>2</sup>) 516 ft<sup>2</sup> <input type="checkbox"/></p> <p>7 Glass type<sup>1</sup> and area (Label reqd by 13-104.4.5 if not default)</p> <p style="margin-left: 20px;">a U-factor Description Area (or Single or Double DEFAULT) 7a (Dble U=0.5) 97.0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b SHGC (or Clear or Tint DEFAULT) 7b (SHGC=0.32) 97.0 ft<sup>2</sup> <input type="checkbox"/></p> <p>8 Floor types</p> <p style="margin-left: 20px;">a Slab-On-Grade Edge Insulation R=0.0 516.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>9 Wall types</p> <p style="margin-left: 20px;">a Concrete Ext Insul Exterior R=4.0 687.0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e N/A <input type="checkbox"/></p> <p>10 Ceiling types</p> <p style="margin-left: 20px;">a Under Attic R=19.0 516.0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>11 Ducts</p> <p style="margin-left: 20px;">a Sup Unc Ret Unc AH Attic Sup R=6.0 80.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p>	<p>12 Cooling systems</p> <p style="margin-left: 20px;">a Central Unit Cap 24.0 kBtu/hr <input type="checkbox"/> SEER 13.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>13 Heating systems</p> <p style="margin-left: 20px;">a Electric Strip Cap 6.6 kBtu/hr <input type="checkbox"/> COP 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c N/A <input type="checkbox"/></p> <p>14 Hot water systems</p> <p style="margin-left: 20px;">a Electric Resistance Cap 40.0 gallons <input type="checkbox"/> EF 0.92 <input type="checkbox"/></p> <p style="margin-left: 20px;">b N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c Conservation credits (HR-Heat recovery Solar DHP-Dedicated heat pump)</p> <p>15 HVAC credits MZ-C MZ-H <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan CV-Cross ventilation HF-Whole house fan PT-Programmable Thermostat MZ-C-Multizone cooling MZ-H-Multizone heating)</p>
--	--

Glass/Floor Area 0.23	Total as-built points 5628	PASS
	Total base points 6162	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

**PREPARED BY:** Kevin M. Hardy


**DATE:** 6-3-09

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code

**OWNER/AGENT** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL** [Signature]

**DATE** 6-15-09

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4  
EnergyGauge® (Version FLRCSB v4.5.2)



**Project Information**

For Nessen Residence, Demorest Construction

Notes

**Design Information**

Weather West Palm Beach, FL, US

**Winter Design Conditions**

Outside db 47 °F  
 Inside db 68 °F  
 Design TD 21 °F

**Summer Design Conditions**

Outside db 91 °F  
 Inside db 74 °F  
 Design TD 17 °F  
 Daily range L  
 Relative humidity 50 %  
 Moisture difference 59 gr/lb

**Heating Summary**

Structure 4858 Btuh  
 Ducts 486 Btuh  
 Central vent (55 cfm) 1275 Btuh  
 Humidification 0 Btuh  
 Piping 0 Btuh  
 Equipment load 6619 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 8542 Btuh  
 Ducts 854 Btuh  
 Central vent (55 cfm) 1032 Btuh  
 Blower 0 Btuh  
 Use manufacturer's data n  
 Rate/swing multiplier 0.96  
 Equipment sensible load 10011 Btuh

**Infiltration**

Method Simplified  
 Construction quality Average  
 Fireplaces 0

	Heating	Cooling
Area (ft <sup>2</sup> )	516	516
Volume (ft <sup>3</sup> )	4644	4644
Air changes/hour	0.61	0.32
Equip AVF (cfm)	47	25

**Latent Cooling Equipment Load Sizing**

Structure 1798 Btuh  
 Ducts 609 Btuh  
 Central vent (55 cfm) 2226 Btuh  
 Equipment latent load 4634 Btuh  
 Equipment total load 14645 Btuh  
 Req total capacity at 0.70 SHR 1.2 ton

**Heating Equipment Summary**

Make  
 Trade  
 Model  
 GAMA ID n/a  
 Efficiency 100 EFF  
 Heating input 0 Btuh  
 Heating output 6619 Btuh  
 Temperature rise 8 °F  
 Actual air flow 750 cfm  
 Air flow factor 0.140 cfm/Btuh  
 Static pressure 0 in H2O  
 Space thermostat

**Cooling Equipment Summary**

Make York  
 Trade Micro Channel  
 Cond TCGD24S41S1  
 Coil AHP30B3XH21  
 ARI ref no  
 Efficiency 13 EER  
 Sensible cooling 16800 Btuh  
 Latent cooling 7200 Btuh  
 Total cooling 24000 Btuh  
 Actual air flow 750 cfm  
 Air flow factor 0.080 cfm/Btuh  
 Static pressure 0 in H2O  
 Load sensible heat ratio 0.69

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**Project Information**

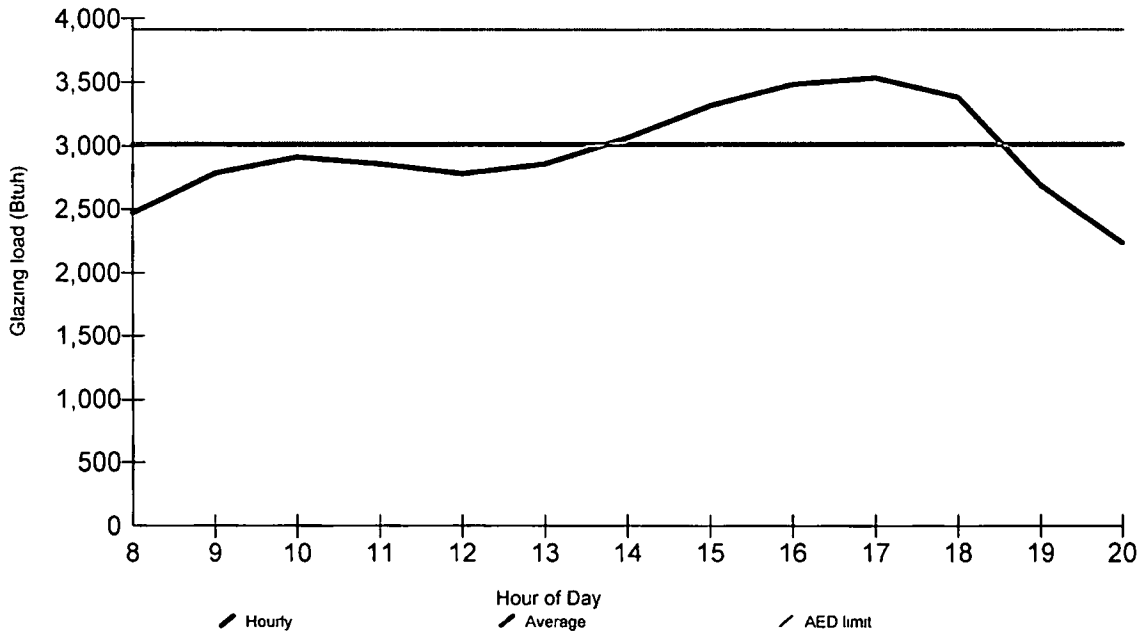
For Nessen Residence, Demorest Construction

**Design Conditions**

<b>Location:</b>		<b>Indoor:</b>		<b>Heating</b>	<b>Cooling</b>
West Palm Beach, FL, US		Indoor temperature (°F)		68	74
Elevation	10 ft	Design TD (°F)		21	17
Latitude	27°N	Relative humidity (%)		50	50
<b>Outdoor:</b>		Moisture difference (gr/lb)		12.8	59.3
	<b>Heating</b>	<b>Cooling</b>	<b>Infiltration:</b>		
Dry bulb (°F)	47	91			
Daily range (°F)	-	13 (L )			
Wet bulb (°F)	-	78			
Wind speed (mph)	15.0	7.5			

**Test for Adequate Exposure Diversity**

**Hourly Glazing Load**



**Maximum hourly glazing load exceeds average by 17.4%.**  
**House has adequate exposure diversity (AED), based on AED limit of 30%.**  
**AED excursion. 0 Btuh**

*Bold/italic values have been manually overridden*

# Right-J® Worksheet Addition Paragon Indoor Air Quality

Job 1  
Date Jun 02, 2009  
By

7846 Ellipse Way Stuart Fl 34997 Phone 772-220-2487 Fax 772-220-3787 Email kevinsharkeyac@bellsouth.net

		Room name		Exposed wall		Ceiling height		Room dimensions		Room area		Addition		Bedroom sm	
1				90 ft		670 ft		90 ft		215 x 120 ft		5160 ft <sup>2</sup>		335 ft heat/cool	
2														2580 ft <sup>2</sup>	
3															
4															
5															
	Ty	Construction number	U-value (Btuh/ft <sup>2</sup> ·°F)	Or	HTM (Btuh/ft <sup>2</sup> )		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		Area (ft <sup>2</sup> ) or perimeter (ft)		Load (Btuh)		
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	13A-4ocs	0.143	e	3.00	2.97	193	156	468	463	0	0	0	0	
	G	4A5-2ow	0.470	e	9.87	36.00	37	0	365	1332	0	0	0	0	
	W	13A-4ocs	0.143	s	3.00	2.97	226	186	559	552	113	93	279	276	
	G	4A5-2ow	0.470	s	9.87	15.04	40	80	395	602	20	20	197	301	
11	W	13A-4ocs	0.143	w	3.00	2.97	386	345	1036	1024	193	172	517	510	
	G	10D-w	0.490	w	10.29	26.62	21	0	216	559	21	0	216	559	
	G	4A5-2ow	0.470	w	9.87	36.00	20	0	197	720	0	0	0	0	
	C	16A-19md	0.049	-	1.03	3.70	516	516	531	1908	258	258	265	954	
	F	22A-cpl	0.989	-	0.00	0.00	516	0	0	0	258	0	0	0	
6	c) AED excursion									0				83	
	Envelope loss/gain								3768	7159			1475	2683	
12	a) Infiltration								1090	463			414	176	
	b) Room ventilation								0	0			0	0	
13	Internal gains		Occupants @	230	4					920	2			460	
			Appliances @	1200	0					0	0			0	
	Subtotal (lines 6 to 13)								4858	8542			1889	3319	
	Less external load								0	0			0	0	
	Less transfer								0	0			0	0	
	Redistribution								0	0			0	0	
14	Subtotal								4858	8542			1889	3319	
15	Duct loads							10%	10%	486	854	10%	10%	189	332
	Total room load								5344	9396			2078	3651	
	Air required (cfm)								750	750			292	291	

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# Right-J® Worksheet Addition Paragon Indoor Air Quality

Job 1  
Date Jun 02, 2009  
By

7846 Ellipse Way Stuart Fl 34997 Phone 772-220-2487 Fax 772-220-3787 Email kevinsharkeyac@bellsouth.net

1 2 3 4 5	Room name Exposed wall Ceiling height Room dimensions Room area				Bedroom lg 33.5 ft 9.0 ft heat/cool 21.5 x 12.0 ft 258.0 ft²									
	Ty	Construction number	U-value (Btuh/ft²·°F)	Or	HTM (Btuh/ft²)		Area (ft²) or perimeter (ft)		Load (Btuh)		Area or perimeter		Load	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	13A-4ocs	0.143	e	3.00	2.97	193	156	468	463				
	G	4A5-2ow	0.470	e	9.87	36.00	37	0	365	1332				
	W	13A-4ocs	0.143	s	3.00	2.97	113	93	279	276				
	G	4A5-2ow	0.470	s	9.87	15.04	20	20	197	301				
11	W	13A-4ocs	0.143	w	3.00	2.97	193	173	520	513				
	G	10D-w	0.490	w	10.29	26.62	0	0	0	0				
	G	4A5-2ow	0.470	w	9.87	36.00	20	0	197	720				
	C	16A-19md	0.049	-	1.03	3.70	258	258	265	954				
	F	22A-cpl	0.989	-	0.00	0.00	258	0	0	0				
6	c) AED excursion									-83				
	Envelope loss/gain								2293	4476				
12	a) Infiltration								676	287				
	b) Room ventilation								0	0				
13	Internal gains				Occupants @ 230		2			460				
					Appliances @ 1200		0			0				
	Subtotal (lines 6 to 13)								2969	5223				
	Less external load								0	0				
	Less transfer								0	0				
	Redistribution								0	0				
14	Subtotal								2969	5223				
15	Duct loads						10%	10%	297	522				
	Total room load								3265	5745				
	Air required (cfm)								458	459				

Printout certified by ACCA to meet all requirements of Manual J 8th Ed



**TOWN OF SEWALL'S POINT BUILDING DEPARTMENT**  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

**WINDOW/DOOR SCHEDULE**

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	35	SH		X	EXAMPLE
1	53x50 7/8	34	SH	X		
2	53x50 7/8	34	SH	X		
3	72x80	60x80	SGD	X		
4	24x26	Custom	SH	X		
5	53 1/2 x 50 3/4	34	SH	X		
6	37x50 3/4	24	SH	X		
7	53 1/2 x 50 3/4		SH	X		
8	72x80	60x80	SGD	X		
9	72x80	60x80	SGD	X		
10	72x80	60x80	SGD	X		
11	37x50 3/4	DBL 24		X		DBL 24 milled together
12						
13						
14						
15						
16						
17						
18						
19						
20						
21						
22						
23						
24		TOWN OF SEWALL'S POINT				
25		BUILDING DEPARTMENT				
26		FILE COPY				
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 380 SF.

\*PERCENTAGE OF NEW GLAZED AREA: 100 %  
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

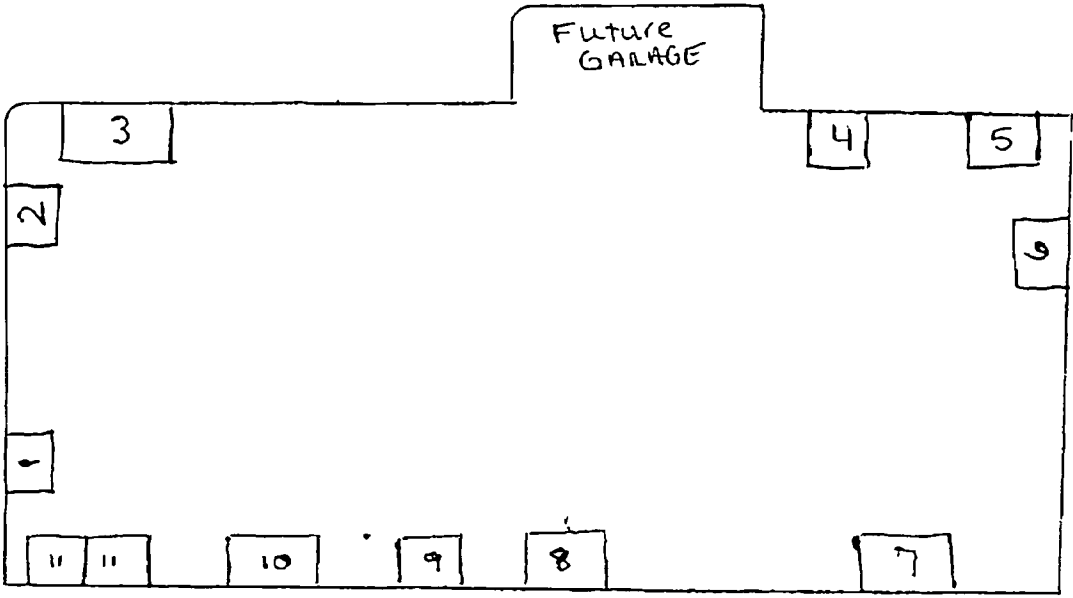
NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two-family dwellings; within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC: EXISTING BUILDING 507.3

\* TYPE WINDOWS

SH - SINGLE HUNG                      Awn - AWNING                      SL - SLIDING  
 DH - DOUBLE HUNG                    CAS - CASEMENT                    FIX - FIXED

104 N Sewalls Point

-W-

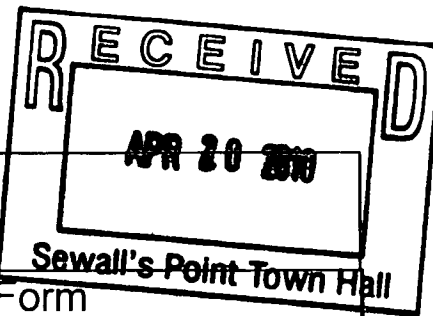


-S-

-N-

-E-

PN9381



# TJ Truss Corp.

2801 Industrial Ave Two, Fort Pierce, FL 34946

## Engineering Package Certification Form

Contractor/Builder **Demorest Construction Group Inc**

Job #

Project Nessen Res /

100161

Model

City/County of Jurisdiction MARTIN

Occupancy Type

Engineer or Architect of Record

Roof / Floor Truss Company TJ Truss Corp

Truss Company Address 2801 Industrial Ave #2 Fort Pierce FL 34946

Truss Company Contact Info Phone 772-466-3388 Fax 772-466-9329

Engineering Software Supplier Alpine Engineered Products

Engineering Software Version VIEW Version 9 01 01 0124 02

*OPR*  
*FW*  
*4/20/10*

I certify that the engineering for the trusses listed on the attached index sheet has been designed and checked for compliance with the Florida Building Code 2007 and are in conformance with the Florida Administrative Code Chapter 61G15-31 003 The truss system has been designed to provide adequate resistance to wind loads and forces as required by the following provisions

Design Criteria	ASCE 7-05					*non-concurrent
	TCLL	TCDL	BCLL	BCDL	TL	Duration Factor
Loading (PSF)	20	7	10 *	10	37	1 25
Wind Speed	140 mph				Exposure B	
Mean Roof Height	Auto	Feet				

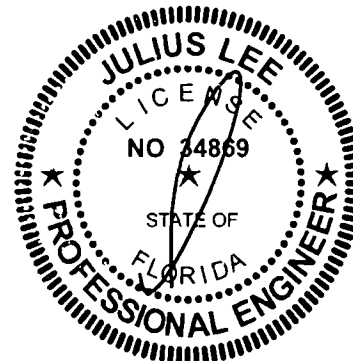
Engineer Julius Lee, 1109 Coastal Bay Blvd, Boynton Beach FL 33435  
Attached is an index sheet submitted in accordance with the Department of Professional Engineering Tallahassee FL Engineering sheets are photocopies of the original design and approved by me

If structural Engineer of Record is not listed above then he did not exist as of the seal date per section 61G15-31 003(5a) of the Florida Administrative Code

As witnessed by my seal I hereby certify that the above information is true and correct to the best of my knowledge and electronically sealed in accordance with SS 668 001-668 006

Name Julius Lee, P E  
Certification # 34869

Apr 09 2010



1109 COASTAL BAY  
BOYNTON BCH, FL 33435  
ELECTRONICALLY SEAL  
IN ACCORDANCE TO  
SS 668 001-668 006

SUPLIST TXT

Jobkey 100161  
 Company TJ Truss Corp  
 Address 2801 Industrial Ave #2  
 Fort Pierce, FL 34946  
 Phone 772-466-3388  
 Site Address 104 N Sewalls Point

Sewalls Point, FL-

SUPPORT REPORT		JOB DESCRIPTION		100161		CLOSED		
WIND CODE	-----	WIND MPH	140	BLDG TYPE				
TRUSS DESC	TRUSS SPAN-ft	SUPPORT SIZE-in	SUPPORT TYPE	BEARING XLOC-ft	BEARING YLOC-ft	REACT MAX +#	REACT MAX -#	MAX WIND UPLFT -#
A01	22 00	8 00	WALL	0 000	10 000	912		-347
A01	22 00	8 00	WALL	21 333	10 000	912		-347
AGE	22 00	264 00	WALL	0 000	10 000	2118		-808

\*HANGER denotes a hanger calculated by the layout program Refer to the layout HANGER SCHEDULE for complete list of hangers and nails required



Top chord 2x4 SP #2  
 Bot chord 2x4 SP #2  
 Webs 2x4 SP #3  
 Lt Level Return 2x4 SP #3 Rt Level Return 2x4 SP #3

Bottom chord checked for 10 00 psf non-concurrent live load

Calculated vertical deflection is 0 20 due to live load and 0 41 due to total load at X = 16-8-12

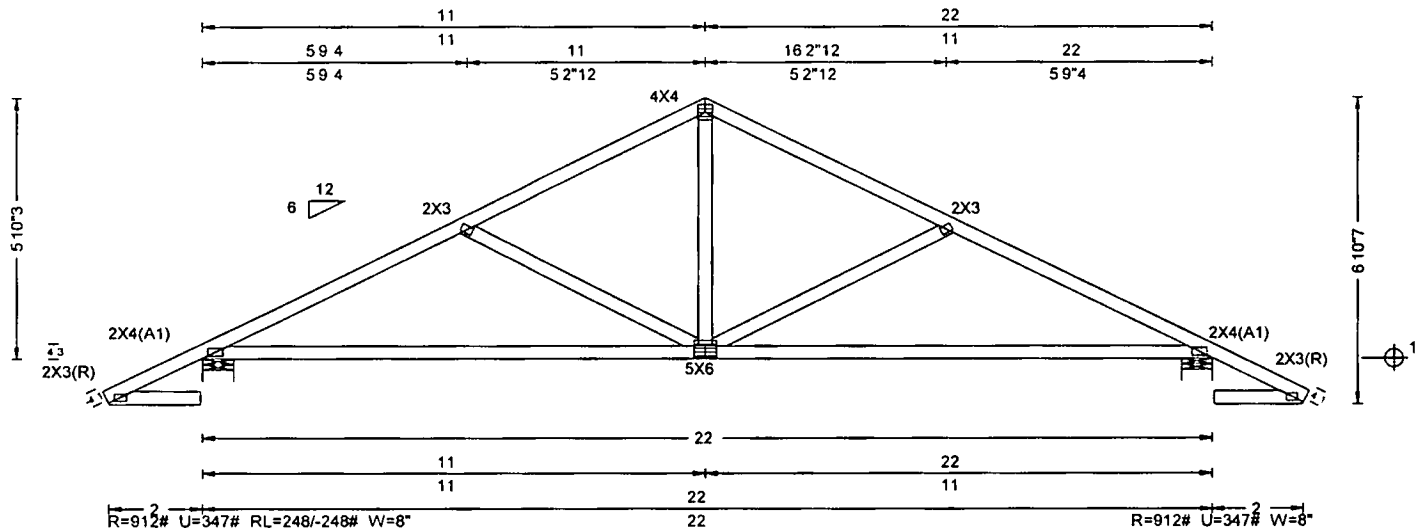
Deflection meets L/360 live and L/240 total load

140 mph wind 15 00 ft mean hgt ASCE 7-05 CLOSED bldg Located anywhere in roof CAT II EXP B wind TC DL=4 2 psf  
 wind BC DL=5 0 psf lw=1 00 GCpi(+/-)=0 18

Wind reactions based on MWFRS pressures

IN LIEU OF STRUCTURAL PANELS OR RIGID CEILING USE PURLINS

CHORD	SPACING(IN OC)	START(FT)	END(FT)
TC	63	-1 82	23 82
BC	120	0 15	21 85



LEFT RAKE = 2'2"13  
 LEFT JIG = 12'5'8  
 DESC = A01  
 PLT TYP -WAVE

RIGHT RAKE = 2'2"13  
 RIGHT JIG = 12'5'8  
 SEQ = 4434  
 SCALE = 0 2500

DESIGN CRIT FBC2007RES/TPA-2002 FDR1+ 0%(0%/5/0)

QTY= 15 TOTAL= 15

REV 9 01 01 0124 02

**J TRUSS CORP**

2900 Industrial 33rd  
 Fort Pierce, FL 34946  
 Phone ((2) 466-3388  
 Fax ((2) 466-9329

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING HANDLING SHIPPING INSTALLING AND BRACING REFER TO HB-91 (HANDLING INSTALLING AND BRACING) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE 583 DONOFRIO DR SUITE 200 MADISON WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR ALPINE ENGINEERED PRODUCTS INC SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING HANDLING SHIPPING INSTALLING AND BRACING OF TRUSSES DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI ALPINE CONNECTORS ARE MADE OF 20GA ASTM A653 GR40 GALV STEEL EXCEPT AS NOTED APPLY CONNECTORS TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN POSITION CONNECTORS PER DRAWINGS 160 A-Z THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSITPI 1 1995 SECTION 2

Julius Lee P E  
 License # 34869

1109 Coastal Bay Blvd  
 Boynton Beach FL 33435

TC LL	20 Opsf
TC DL	7 Opsf
BC DL	10 Opsf
BC LL	10 Opsf
TOT LD	37 Opsf
DUR FAC	1 25
SPACING	24 0"

REF	
DATE	04-09-2010
DRWG	
O/A LEN	22
JOB #	100161
TYPE	COMN

Top chord 2x4 SP #2  
 Bot chord 2x4 SP #2  
 Webs 2x4 SP #3  
 Lt Level Return 2x4 SP #3 Rt Level Return 2x4 SP #3

140 mph wind 15 00 ft mean hgt ASCE 7-05 CLOSED bldg Located anywhere in roof CAT II EXP B wind TC DL=4 2 psf  
 wind BC DL=5 0 psf lw=1 00 GCpi(+/-)=0 18

IN LIEU OF STRUCTURAL PANELS OR RIGID CEILING USE PURLINS

CHORD	SPACING(IN OC)	START(FT)	END(FT)
TC	75	-1 82	23 82
BC	75	0 15	21 85

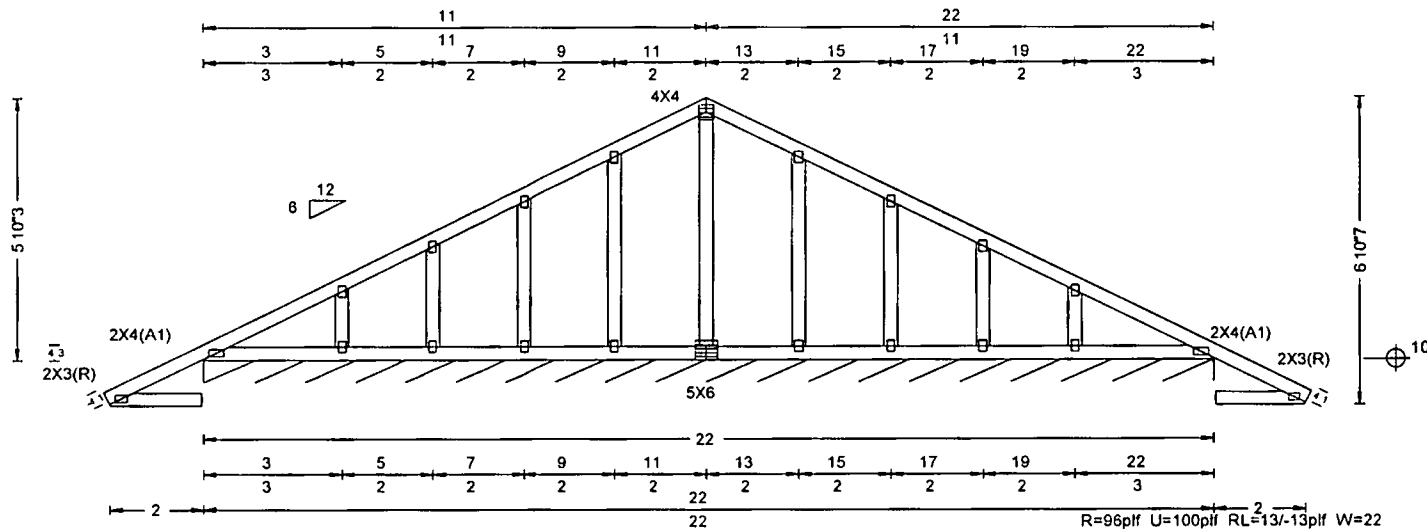
Wind reactions based on MWFRS pressures

All plates are 2X3 except as noted

Bottom chord checked for 10 00 psf non-concurrent live load

Calculated vertical deflection is 0 00' due to live load and 0 00' due to total load at X = 0-6-8

Deflection meets L/360 live and L/240 total load




LEFT RAKE = 22'13  
 LEFT JIG = 12'5'8  
 DESC = AGE  
 PLT TYP WAVE

RIGHT RAKE = 2'2"13  
 RIGHT JIG = 12'5'8  
 SEQ = 4446  
 SCALE = 0 2500

QTY= 2 TOTAL= 2

REV 9 01 01 0124 02

**TRUSS CORP**  
  
 2900 Industrial 33rd  
 Fort Pierce, FL 34946  
 Phone: (888) 466-3388  
 Fax: (888) 466-9329

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING HANDLING SHIPPING INSTALLING AND BRACING REFER TO HB 91 (HANDLING INSTALLING AND BRACING) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE 583 D ONOFRIO DR. SUITE 200 MADISON WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR ALPINE ENGINEERED PRODUCTS INC SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING HANDLING SHIPPING INSTALLING AND BRACING OF TRUSSES DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI ALPINE CONNECTORS ARE MADE OF 20GA ASTM A853 GR40 GALV STEEL EXCEPT AS NOTED APPLY CONNECTORS TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN POSITION CONNECTORS PER DRAWINGS 160 A-Z THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 1995 SECTION 2

Julius Lee P E  
 License # 34869

1109 Coastal Bay Blvd  
 Boynton Beach FL 33435

TC LL	20 0psf	REF
TC DL	7 0psf	DATE 04-09 2010
BC DL	10 0psf	DRWG
BC LL	10 0psf	O/A LEN 22
TOT LD	37 0psf	JOB # 100161
DUR FAC	1 25	TYPE GABL
SPACING	24 0"	

\* BC LL=10 PSF Non-Concurrent

**TOWN OF SEWALLS POINT**

**BUILDING DEPARTMENT - INSPECTION LOG**

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4-9-10** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9380	Jenkins	Final AC		OFF RIDGELAND
1PM	4 Sabal Ct Knauss & Crane		PASS	Close INSPECTOR <i>A</i>
9376	Marney	Final Roof		
	121 Hillcrest Dr JA Taylor		PASS	Close INSPECTOR <i>A</i>
CE	35 W. High St 23 Middle Rd 21 Middle Rd	overgrown trees, shrubs - too high Roof -complaintant - Joanne Mariano 221-2157 lg oak tree		TREES ARE OK INSPECTOR <i>A</i>
9345	Kremer	Final Sewall		
1st	23 Ridgeland Seaside Marine		PASS	Close INSPECTOR <i>A</i>
9381	<del>104 N Sewalls</del> Demarest	<del>UG</del>	<del>PASS</del>	<del>INSPECTOR <i>A</i></del>
9400	Brewer	Final Roof		
	12 Copaire Rd Stuart Roofing		CANCEL	PER CONTRACTOR INSPECTOR
9389	Morris	Final Lamp Post		
	120 Hillcrest OB		PASS	Close INSPECTOR <i>A</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 4-16-10 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9381</del>	<del>Terraco</del> <del>104 N Sewalls</del>	<del>Fire beam</del> <del>Columns</del>	<del>Pass</del>	
	<del>Demorest</del>			INSPECTOR <i>AT</i>
9383	Dan Massis 24 Ridgeland Harbor Point Marina Scott (485-2298)	deck Yrinal	Pass	<del>WALL</del> INSPECTOR <i>AT</i>
9369	KURTIN 5 MARGARET SILLER	DECK & BOARD	Pass	INSPECTOR <i>AT</i>
9407	KURTIN 5 MARGARET DRIFTWOOD	FOOTING	Pass	INSPECTOR <i>AT</i>
9327	Powers 70 S SPT RD	STRUCTURE w/O Permit	STOP WORK ORDER	221-0832 CONST. INC. TOM GLIBEWELL OWNER PRESENT 349-1219 INSPECTOR
9.30	MARBIT 76 S SPT RD	LOOK AT GAZEBO	GAZEBO	5 OK FOR PERMITTING INSPECTOR
9327	WOODS 32 E. A16th Pt Capital Auto Detail	PRE-POUR WALL 1st LIFT	Pass	INSPECTOR <i>AT</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **4-23-10** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9000	CDZ 4 River Oak Pl Riverview Consect	Final for CO	PASS	PREPARE COC  INSPECTOR <i>[Signature]</i>
<del>92381</del>	<del>104 N. Sewall St</del> Demorest	<del>...</del>	<del>...</del>	<del>...</del> INSPECTOR <i>[Signature]</i>
<del>9287</del> 9287	SHARFI 73 N. RIVER RD STRATICON	FIRE SPRINKLER	PASS	  INSPECTOR <i>[Signature]</i>
9400	BREWEN 12 COPAIRE STUART ROOF	ROOF FINISH	PASS	CODE  INSPECTOR <i>[Signature]</i>
	AKENZ 38 W HIGH PT	TREE	OK	  INSPECTOR <i>[Signature]</i>
	BOTWINIK EMIRITA		OK	  INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

5-3-10

Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9379	BALFOORT			
1st	103 Hillcrest	UNDERGROUND ELECTRICAL	PASS	INSPECTOR <i>A</i>
9415	Freudenberg 115 N Sewalls PANC	Final ASPHALT PAVING	PASS	Close INSPECTOR <i>A</i>
9421	MacMillian 7 Marguerita Flynn's	Final AC	PASS	Close INSPECTOR <i>A</i>
9417	Brauns 8 Via Lucinda JA Taylor	sheathing	PASS	INSPECTOR <i>A</i>
9387	Jaley Holdings 113 Hillcrest Sengale	insulation	PASS	INSPECTOR <i>A</i>
9381	<del>TUNEDO</del> <del>104 N Sewalls</del> Demarest	<del>WINDOW DOOR</del> <del>PAVING</del> <del>PAVING</del> <del>PAVING</del>	<del>PASS</del> <del>PASS</del> <del>PASS</del>	INSPECTOR <i>A</i>
Tree	Morales 10 N. Ridgeway	Tree branches	OK	INSPECTOR <i>A</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **5-5** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9381	Turbo 104 N Sewalls	Plumbing Mechanical Unexcavated	Pass	
	Demorest			INSPECTOR <i>[Signature]</i>
9188	Lerner 15 <sup>th</sup> 37 E High Pt OB	gas final	Pass	
				INSPECTOR <i>[Signature]</i>
9379	BALFOUR 2 PM 103 HILLCREST BALFOUR CONST	SLAB	FAIL <del>Pass</del>	NOT READY
				INSPECTOR
9388	SIARF1 73 N. SP4 RD SMATICON	WALL STEEL	Pass	
				INSPECTOR <i>[Signature]</i>
9417	Braune 3-3 <sup>30</sup> 8 S Via Luanda JA Taylor	dry-in	Pass	
				INSPECTOR <i>[Signature]</i>
9327	Woods (wall) 32 E High Pt Capital Auto.	Columns	Pass	
				INSPECTOR <i>[Signature]</i>
Tree	Roberts 12 N. Ridgeway	Tree	OK	
				INSPECTOR <i>[Signature]</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri May 12, 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9387	<del>103 Hillcrest Ct</del> <del>104 N. SPT RD</del>	<del>WALL INSULATION</del>	<del>PASS</del>	
	DEMANDED			INSPECTOR <i>[Signature]</i>
9388	SPARAF1 73 N. SPT RD SPARAF CON	WALL STEEL	PASS	INSPECTOR <i>[Signature]</i>
9287	SPARAF1 73 N SPT RD SPARAF CON	ROOF PARIPIT FRAMING	PASS	INSPECTOR <i>[Signature]</i>
9379	Balfout 103 Hillcrest Ct Balfout Const	tie down 4G gas tank	PASS	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR



# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue




 Wed

 Thur

 Fri

5-17-10

Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9432	McKeon 7 Guaila Open Permit	Final Permit	Cancel	
				INSPECTOR
9421	 Demolition	 Demolition	 Demolition	
				INSPECTOR <i>JA</i>
9422	Gandhi 23 N Via Lucinda Scott Holmes	Final Reroof	PASS	Close
				INSPECTOR <i>JA</i>
9379	Balford 1st 103 Hillcrest Balford	Fire Columns 8'	PASS	
				INSPECTOR <i>JA</i>
9428	Walker 21 W. High Pt Scott Holmes	Final Garage	PASS	Close
				INSPECTOR <i>JA</i>
Tree	Kupinae 1435 River Rd	Tree	OK	
				INSPECTOR
		INVESTIGATE		
	40 N Sewalls Pt Rd	work w/o permit	OK	
				INSPECTOR

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **5-20-10** Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9426	Bonaface 635 River Rd Code Red Roofers	in-progress	PASS	INSPECTOR <i>A</i>
9431	Viner 10 Pineapple Ln Flynn's	Final AC	PASS	Close INSPECTOR <i>A</i>
9241	Comcast 105 Abbie Ct	Final Cables	PASS	Close INSPECTOR <i>A</i>
9412	Comcast 715 River	Final cables	PASS OK	Close INSPECTOR <i>A</i>
<del>9381</del>	<del>104 W Sewalls</del> Demorest	<del>Final</del>	<del>PASS</del>	<del>INSPECTOR <i>A</i></del>
Tree	Martin 23 Island Rd	Tree	OK	INSPECTOR
9409	Kurtin S Mandalay Driftwood	dry-in/metal	PASS	INSPECTOR <i>A</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

6-4-10

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9381	Tishbo	Aluminum		
	104 N Sewalls		Pass	
	Demorest			INSPECTOR <i>AV</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9409	Kurtin	electric	NO PLANS	
	5 Mandalay	framing	RESET	
	Durwood		FOR MONDAY	INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9388	Sharfi	wall steps		
	13 N Sewalls	NORTH SIDE	Pass	
	Station			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9287	SAARF1			
	73 N Sewalls Pt Rd	Dry-IN	Pass	
	STATION	METAL		INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9461	Dallas	door		
	1 Castle Hill	attachment	Pass	
	Creation Bldg.			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9327	Woods	wall steel		
PM	32 E High Pt		Pass	
	Capital Auto.			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Trees	Creeden	Trees		
	176 S Sewalls		OK	
				INSPECTOR <i>A</i>

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri 6-17 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9311	Subin 8 Palm Ct Driftwood	frame all sitting room	Pass	INSPECTOR <i>A</i>
9379	Balford 1st 105 Hillcrest Ct Balford	roof sheathing	Pass	INSPECTOR <i>A</i>
9460	Johnson 2 Oakhill Way Stuart Fence	Final Fence	Pass	Close INSPECTOR <i>A</i>
<del>9381</del>	<del>104 N Sewalls Demorest</del>	<del>Final roof Final AC Final window door</del>	<del>Pass</del>	<del>INSPECTOR <i>A</i></del>
Tree	Civello 31 Fieldway	Tree	ok	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection  Mon  Tue  Wed  Thur  Fri **11/29/2010** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8648	Fitzner	Final		
9.00 <del>7.00</del>	2 W High Pt OB		FAIL	CONT. HAS LIST
		Gen 201-9072		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9051	Behrman	Final		
1st	3602 St Ocean Comm Cont	see <del>matter</del>		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9509	Shanfi	gas for fire pat.		
	73 N Sewalls	Tennis Par	PASS	
	Mosley 260-1188 Ron			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<del>9381</del>	<del>FOOTBALL</del>	<del>FOOTBALL</del>	<del>PASS</del>	<del>Close</del>
930	Demarest - (Mike 315-6495)			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9631	Hardin	rough-in		
3 9 AM	275 River Stratton	mech elec plumbing	PASS FOR TUESDAY	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9594	Harbour Bay	Final		
10.00	3725 St Ocean		PASS	Close
	NB Assoc / Engelbrecker			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	KLEIN	C.E. INSP.	PASS	<i>[Signature]</i>
	8 PLAINES NEST			
	21 PUMPKIN LA			INSPECTOR



TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765



**CERTIFICATE OF:  OCCUPANCY  COMPLETION**

- Single Family Residence  Other GARAGE Addition & Remodel
- Temporary Expiration Date \_\_\_\_\_
- Partial (Area description) \_\_\_\_\_

BUILDING PERMIT NO 9381 DATE OF ISSUE March 5, 2010  
 OWNER(S) TESTEBO FASTIGHETS AKTIEBOLAG PROPERTY ADDRESS 104 N. Sewall's Pt Rd  
 LEGAL DESCRIPTION LOT Pt of Gov Lot 2 BLOCK \_\_\_\_\_ SUBDIVISION Gov Lot 2  
 GENERAL CONTRACTOR DEMAREST CONSTRUCTION LIC/CERT NO CBCA52954  
 ARCHITECT OR ENGINEER BRADEN & BRADEN LIC/CERT NO AAC 000032  
 CODE EDITION FBC 2007 CONST TYPE III B USE SFR ACC. OCCUPANCY N/A  
 OCCUPANT LOAD N/A SPRINKLERS REQUIRED N/A SPRINKLERS USED N/A


**INSPECTION RECORDS**

Inspection Type	Date Approved	Inspection Type	Date Approved
UNDERGROUND PLUMBING	<u>4-9-10</u>	UNDERGROUND GAS	<u>N/A</u>
UNDERGROUND MECHANICAL	<u>N/A</u>	UNDERGROUND ELECTRICAL	<u>4-9-10</u>
STEM-WALL FOOTING	<u>4-9-10</u>	FOOTING	<u>(SLAB)</u>
SLAB	<u>4-9-10, 4-23-10</u>	TIE BEAM/COLUMNS	<u>4-16-10</u>
ROOF SHEATHING	<u>4-23-10, 5-3-10</u>	WALL SHEATHING	<u>N/A</u>
TIE DOWN / TRUSS ENG	<u>4-23-10, 5-3-10</u>	INSULATION	<u>5-12-10</u>
WINDOW/DOOR BUCKS	<u>5-3-10</u>	LATH	<u>5-20-10</u>
ROOF DRY-IN/METAL	<u>5-17-10</u>	ROOF TILE IN-PROGRESS	<u>N/A</u>
PLUMBING ROUGH-IN	<u>5-5-10</u>	ELECTRICAL ROUGH-IN	<u>5-5-10</u>
MECHANICAL ROUGH-IN	<u>5-5-10</u>	GAS ROUGH-IN	<u>N/A</u>
FRAMING	<u>5-3-10, 5-5-10 +</u>	METER FINAL	<u>(FINAL)</u>
FINAL PLUMBING	<u>11-29-10</u>	FINAL ELECTRICAL	<u>11-29-10</u>
FINAL MECHANICAL	<u>11-29-10</u>	FINAL GAS	<u>N/A</u>
FINAL ROOF	<u>11-29-10</u>	BUILDING FINAL	<u>11-29-10</u>
DRIVEWAY SLAB	<u>6-4-10</u>	WINDOW INSTALLATION	<u>5-17-10</u>

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property

Entered at Sewall's Point, Florida, this 13<sup>th</sup> day of January, 2011

  
 John R. Adams, CBO  
 Building Official, Town of Sewall's Point

**9442**

**FENCE**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK  
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	9442	DATE ISSUED	MAY 20, 2010
SCOPE OF WORK	FENCE		
CONDITIONS			
CONTRACTOR	SIUART FENCE		
PARCEL CONTROL NUMBER	353741-000-000-001010	SUBDIVISION	PT GOV LOT 2
CONSTRUCTION ADDRESS	104 N SEWALLS PT RD		
OWNER NAME	TESTEBO FASTIGHETS AKTIEBOLAG		
QUALIFIER	CHESTER RICHMOND	CONTACT PHONE NUMBER	288-1151

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM**

### REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

### BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9442		
ADDRESS	104 N SEWALLS PT RD		
DATE:	5/20/10	SCOPE:	FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350 00 SFR, \$175 00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space (@ \$110 25 per sq ft )		s f	
Total square feet non-conditioned space (@ \$51 60 per sq ft )		s f	
Total Construction Value		\$	
Building fee (2% of construction value SFR or >\$200K)		\$	
Building fee (1% of construction value < \$200K + \$75 per insp )			
Total number of inspections (Value < \$200K) @\$75 ea		\$	
Radon Fee (\$ 005 per sq ft under roof)		\$	
DBPR Licensing Fee (\$ 005 per sq ft under roof)		\$	
Road impact assessment ( 04% of construction value - \$5 00 min )			
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	

ACCESSORY PERMIT	Declared Value	\$	
Total number of inspections @ \$75 00 each		\$	75
Road impact assessment ( 04% of construction value - \$5 00 min )		\$	5
<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	80

### Town of Sewall's Point BUILDING PERMIT APPLICATION

Permit Number: 9442

Date 5/11/2010

OWNER/TITLEHOLDER NAME Testebo F. Aktiebolag Phone (Day) 220 0065 (Fax) \_\_\_\_\_

Job Site Address 104 N Sewalls Point Rd City Sewalls Pt State FL Zip \_\_\_\_\_

Legal Description S 100' of N 200' of GOV LOT 2 Parcel Control Number 35.37 41 000 000 00101.0

Owner Address (if different) Box 22047 Stockholm City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Scope of work (please be specific) 50' x 3' Green Chain link & 110' of 4' Green chain link fence

**WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES \_\_\_\_\_ NO

**Has a Zoning Variance ever been granted on this property?**  
YES \_\_\_\_\_ (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)

**COST AND VALUES** (Required on ALL permit applications)  
Estimated Value of Improvements \$ 1700.00  
(Notice of Commencement required when over \$2500 prior to first inspection \$7 500 or HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8  X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY.**  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company Stuart Fence Company Phone 288-1151 Fax 288 3035

Street PO Box 2636 City Stuart State FL Zip 34995

State License Number \_\_\_\_\_ OR Municipality CFE3584 License Number \_\_\_\_\_

LOCAL CONTACT Chester Richmond Phone Number 288 1151

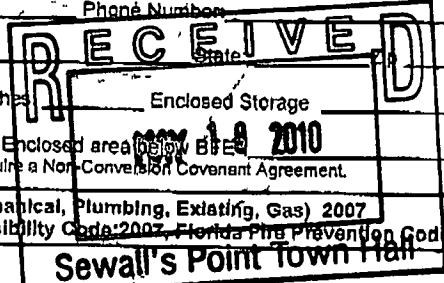
DESIGN PROFESSIONAL \_\_\_\_\_ Lic# \_\_\_\_\_ Phone Number \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

AREAS SQUARE FOOTAGE: Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_  
Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below Base Flood Elevation \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Exlating, Gas) 2007  
National Electrical Code 2005(2008 after 6/1/09) Florida Energy Code 2007, Florida Accessibility Code 2007, Florida Fire Prevention Code 2007



**NOTICES TO OWNERS AND CONTRACTORS:**  
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT  
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES  
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 08-05  
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID, REF FBC 2004 W/ 2006 REVISIONS SECT 105 4.1, 106 4.1.1 - 5.

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS \*\*\*\*\***

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

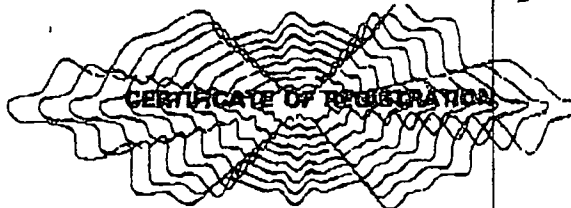
OWNER SIGNATURE (required)  
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)  
[Signature]  
State of Florida, County of Martin  
This the 11th day of May, 2010  
by Nils Nessen who is personally  
known to me or produced

CONTRACTOR SIGNATURE (required)  
[Signature]  
On State of Florida, County of Martin  
This the 14 day of May, 2010  
by Chester Richmond who is personally  
known to me or produced

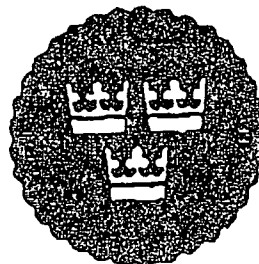
as Identification Veronica L Taylor  
Notary Public  
My Commission Expires 6/4/11

as Identification Kathryn Pereny  
Notary Public  
MY COMMISSION # DD049089  
EXPIRES February 14 2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY  
APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105 3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



Registration number: 556221-9096  
 Date of registration: 1982-10-21  
 Company name: Testebo Fastighets Aktiebolag  
 Address:  
     Box 22047  
     104 22 STOCKHOLM  
 Registered office: Stockholm  
 Share capital: SEK 150 000



The company is registered as a private limited liability company

**BOARD MEMBER, MANAGING DIRECTOR**

471017-0418 Nessen, Nils Johan Olof, Parmmätargatan 11,  
112 24 STOCKHOLM

**DEPUTY MEMBERS OF THE BOARD**

490206-6903 Nessen, Eva Katarina, Parmmätargatan 11, 112 24 STOCKHOLM

**AUDITORS**

690307-7136 Mattis, Per Göran, c/o Lindebergs Grant Thornton, Box 5756,  
114 87 STOCKHOLM

**DEPUTY AUDITORS**

700522-7231 Östblom, Björn Mikael, c/o Lindebergs Grant Thornton,  
Box 5756, 114 87 STOCKHOLM

**SIGNATORY POWER**

Nessen, Nils Johan Olof  
Nessen, Eva Katarina  
individually,  
are entitled to sign on behalf of the company.

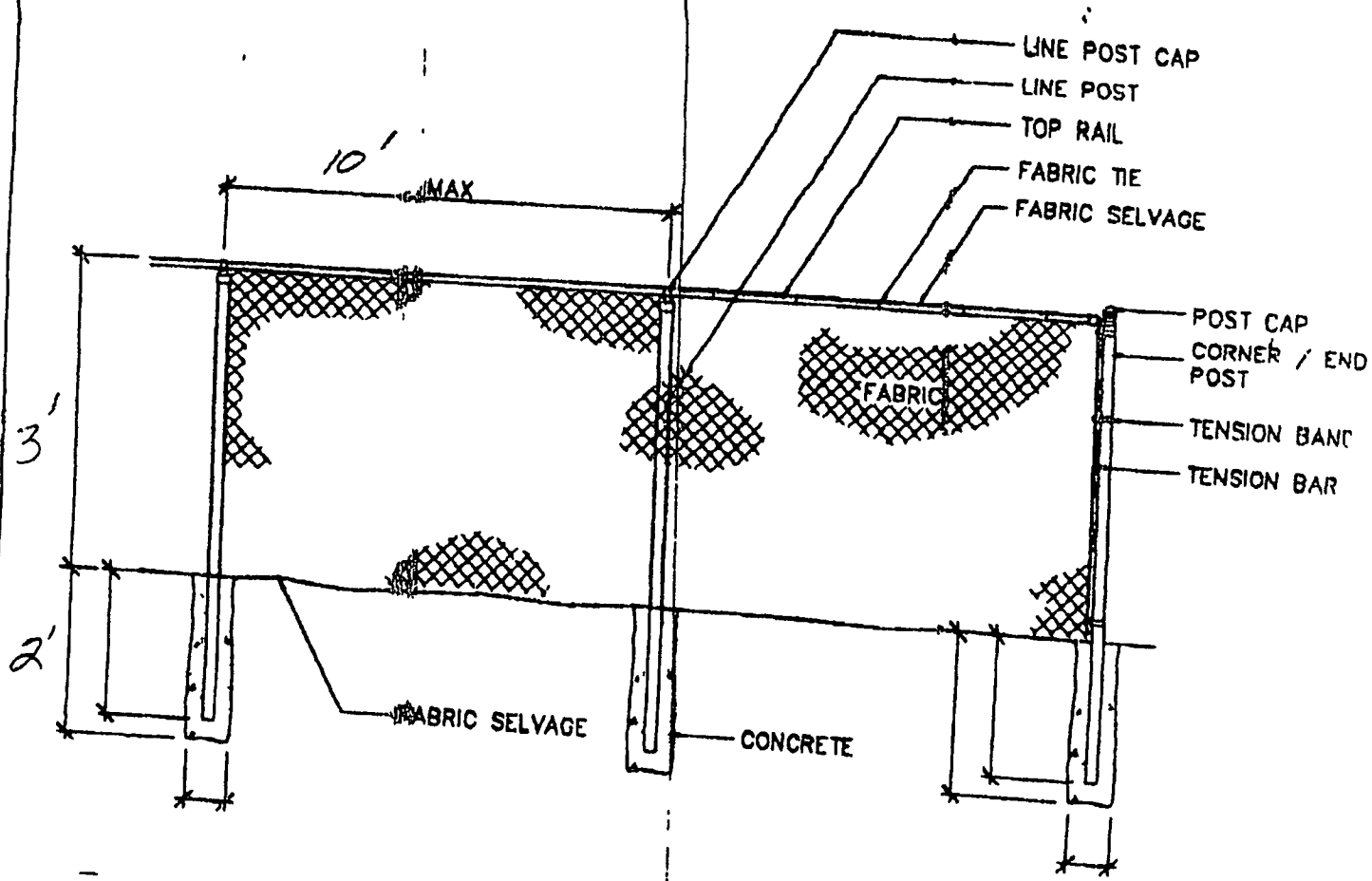
**FINANCIAL YEAR**

Registered financial year: 0101 - 1231  
Latest annual report submitted covers financial  
period 20060101-20061231

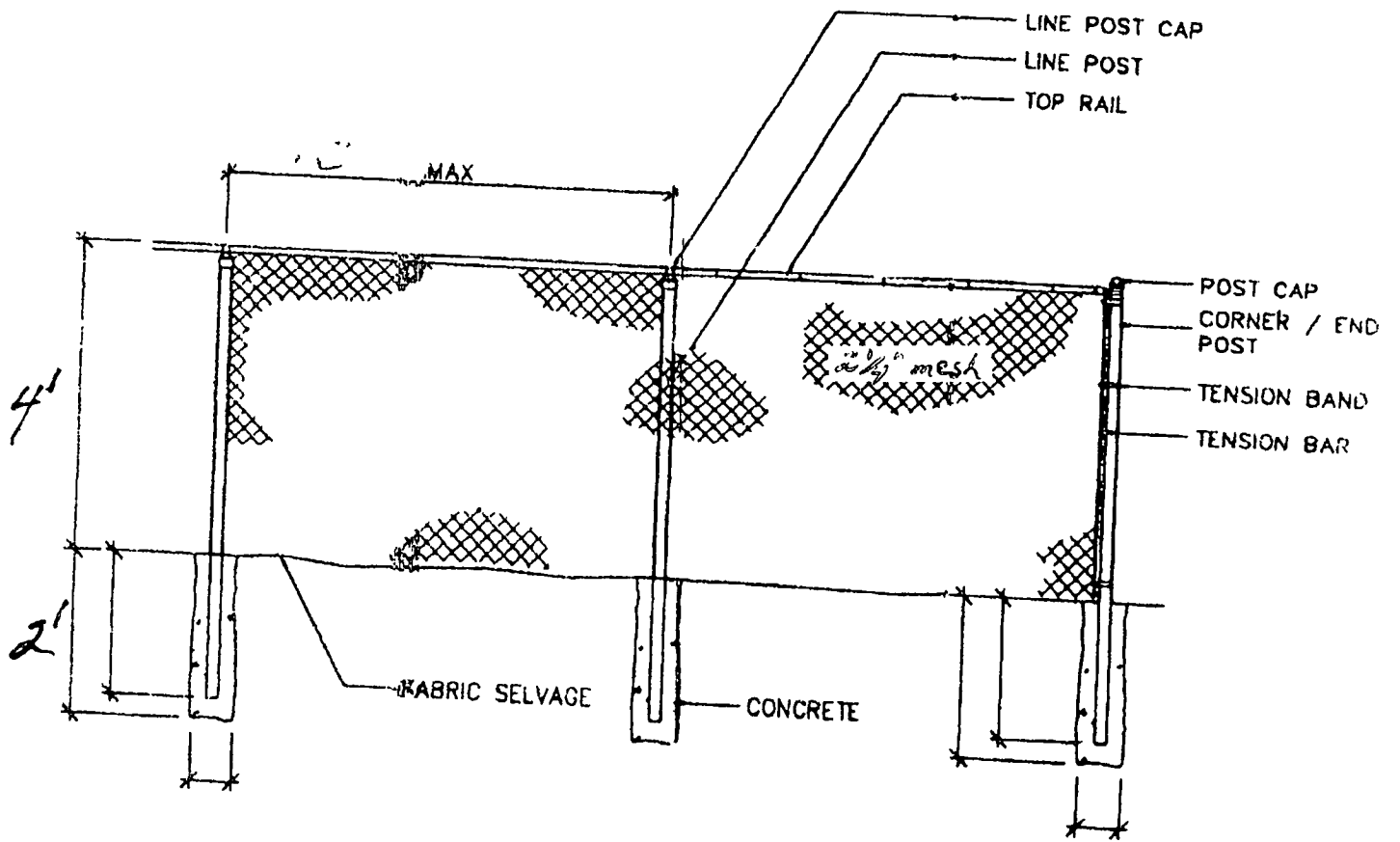
**DATE OF REGISTRATION OF CURRENT AND PREVIOUS COMPANY NAMES**

1982-10-21 Testebo Fastighets Aktiebolag

CONTD.



**CHAIN LINK FENCING DETAIL**  
 GREEN VINYL



**CHAIN LINK FENCING DETAIL**  
*GREEN VINYL*

# TOWN OF SEWALLS POINT

## BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

6-2-10

Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9442	104 N. Sewalls	Fence	Pass	INSPECTOR [Signature]
	Stuart Fence			
7419	BEEELITZ 10 S VIA LUCINDA CASTLE CONST	COLUMNS	PASS	INSPECTOR [Signature]
9388	SHARFI 73 N. SPY RD STRADICON	WALL/STEPS STEEL	PASS	INSPECTOR [Signature]
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

**11252**

**A/C CHANGEOUT**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

## BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK**

**A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER	11252	DATE ISSUED	April 21, 2015
SCOPE OF WORK.	A/C Change Out		
CONTRACTOR	Sharkey Air		
PARCEL CONTROL NUMBER	35-37-41-000-00101-0	SUBDIVISION	Gov Lot 2
CONSTRUCTION ADDRESS.	104 N Sewall's Point Road		
OWNER NAME	Testebo		
QUALIFIER	Kevin M Sharkey	CONTACT PHONE NUMBER	220-2487

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.**

NOTICE IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE  
 CALL 287-2455 - 8 00AM TO 4 00PM**

**INSPECTIONS 9 00AM TO 3 00PM - MONDAY THROUGH FRIDAY**

### INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

**ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER**





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**BUILDING PERMIT RECEIPT**

PERMIT NUMBER:	11252		
ADDRESS:	104 N Sewall's Point Road		
DATE ISSUED.	4/21/2015	SCOPE OF WORK:	A/C Change Out

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
------------------------------------	--	----------------	----	--

Plan Submittal Fee (\$350 00 SFR, Remodel >\$200K)		\$	
Plan Submittal Fee (175 00 Remodel <\$200K, Tennant Improvement)		\$	-
Plan Submittal Fee (100 00 Remodel <\$100k)		\$	
Total square feet air-conditioned spa @ per sq ft s f		\$	-
Total square feet non-conditioned space, or interior remodel @ per sq ft s f		\$	-
Total square feet remodel with new trusses @ per sq ft s f		\$	-
Total Construction Value		\$	\$ -
Building fee (2% of construction value SFR or >\$200K)		\$	n/a
Total number of inspections (Value < \$200K) \$ 150 00 per insp # insp		\$	-
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	n/a
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min )		\$	n/a
Technology Fee (0 04% of Construction Value - \$5 min)			n/a
Road impact assessment (0 4% of construction value - \$20 min )			n/a
Martin County Impact Fee		\$	
<b>TOTAL BUILDING PERMIT FEE</b>		\$	\$ -

<b>ACCESSORY PERMIT</b>	Declared Value	\$	\$ 6,565 00
Total number of inspections @ \$ 150 00 per insp # insp		1	\$ 150 00
Dept of Comm Affairs Fee (1 5% of permit fee - \$2 00 min)		\$	\$ 2 25
DBPR Licensing Fee (1 5% of permit fee - \$2 00 min )		\$	\$ 2 25
Technology Fee (0 04% of Construction Value - \$5 min)			\$ 5 00
Road impact assessment (0 4% of construction value - \$20 min )			\$ 26 26

<b>TOTAL ACCESSORY PERMIT FEE:</b>		\$	<b>185.76</b>
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# Town of Sewall's Point

## BUILDING PERMIT APPLICATION

Permit Number: \_\_\_\_\_

Date: 4/20/15OWNER/LESSEE NAME TESTERO FASTIGHETS AKTIEBOLAG Phone (Day) 772-678-6320 (Fax) \_\_\_\_\_Job Site Address 104 N SEWALLS POINT RD City SEWALLS POINT State FL Zip 34996Legal Description S 100' OF N 200' OF GOV LOT 2 E OF RD Parcel Control Number 35-37-41-000-000-00101-0

Fee Simple Holder Name \_\_\_\_\_ Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Telephone \_\_\_\_\_

**\*SCOPE OF WORK (PLEASE BE SPECIFIC):****WILL OWNER BE THE CONTRACTOR?**  
(If yes, Owner Builder questionnaire must accompany application)  
YES  NO **Has a Zoning Variance ever been granted on this property?**  
YES  (YEAR) \_\_\_\_\_ NO   
(Must include a copy of all variance approvals with application)**COST AND VALUES** (Required on ALL permit applications)  
Estimated Value of Improvements \$ 6565.00.00  
(Notice of Commencement required when over \$2500 prior to first inspection \$7 500 on HVAC change out)  
Is subject property located in flood hazard area? VE10 AE9 AE8 X  
**FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY**  
Estimated Fair Market Value prior to improvement \$ \_\_\_\_\_  
(Fair Market Value of the Primary Structure only, Minus the land value)  
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATIONConstruction Company SHARKEY AIR LLC Phone 772-220-2487 Fax 772-220-3787Qualifiers name KEVIN M SHARKEY Street 7862 SW ELLIPSE WAY City STUART State FL Zip 34997State License Number CAC816853 OR Municipality \_\_\_\_\_ License Number \_\_\_\_\_LOCAL CONTACT KATE WIEGERINK Phone Number 772-220-2487

DESIGN PROFESSIONAL \_\_\_\_\_ Fla License# \_\_\_\_\_

Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone Number \_\_\_\_\_

AREAS SQUARE FOOTAGE Living \_\_\_\_\_ Garage \_\_\_\_\_ Covered Patios/ Porches \_\_\_\_\_ Enclosed Storage \_\_\_\_\_

Carport \_\_\_\_\_ Total under Roof \_\_\_\_\_ Elevated Deck \_\_\_\_\_ Enclosed area below BFE\* \_\_\_\_\_

\* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas) 2010  
National Electrical Code 2008, Florida Energy Code 2010, Florida Accessibility Code 2010, Florida Fire Prevention Code 2010**WARNINGS TO OWNERS AND CONTRACTORS:**

- 1 YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY WHEN FINANCING. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION
- 2 IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95
- 4 THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID REF FBC 2007 SECT 105 4 1, 105 4 11 - 5

**\*\*\*\*\* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS\*\*\*\*\***

AFFIDAVIT APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE.

X \_\_\_\_\_

State of Florida, County of \_\_\_\_\_

On This the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

by \_\_\_\_\_ who is personally

known to me or produced \_\_\_\_\_

As identification \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE

\_\_\_\_\_  
State of Florida, County of MARTINOn This the 20TH day of APRIL 2015by KEVIN M SHARKEY who is personally

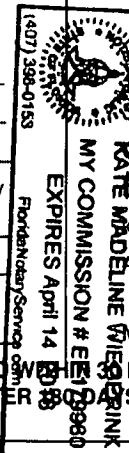
known to me or produced \_\_\_\_\_

As identification \_\_\_\_\_

Notary Public

My Commission Expires APRIL 14, 2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105 3 4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 30 DAYS (FBC 105 3 2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
2/18/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Deakins-Carroll Insurance Agency PO Box 1597  Port Salerno FL 34992		<b>CONTACT NAME:</b> Barbara Walenius <b>PHONE:</b> (772) 287-2030 <b>FAX:</b> (772) 288-2401 <b>E-MAIL:</b> barbaraw@deakinscarroll.com <b>ADDRESS:</b>	
<b>INSURED</b> Sharkey Air LLC and The Cool Guys LLC dba Paragon Indoor Air Quality 7862 SW Ellipse Way Stuart FL 34997		<b>INSURER(S) AFFORDING COVERAGE</b> INSURER A: Old Dominion Insurance Company INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:	

**COVERAGES** CERTIFICATE NUMBER: 14/15 GL BA UM REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INBR LTR	TYPE OF INSURANCE	ADDL. ENDORSEMENTS (INBR LTR)	POLICY NUMBER	POLICY EXP. (MM/DD/YYYY)	POLICY EXP. (MM/DD/YYYY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GENL. AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO. <input type="checkbox"/> LOC		PC09576E	3/4/2014	3/4/2015	CASH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Per occurrence) \$ 500,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP ACC \$ 2,000,000
A	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS		0109576E	3/4/2014	3/4/2015	COMBINED SINGLE LIMIT (Per accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Medical payments \$ 5,000
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED. RETENTION \$		CO09576E	3/4/2014	3/4/2015	CASH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A				WC STAT. JOB LIMITS <input type="checkbox"/> <input type="checkbox"/> OI/FC E.L. CASH ACCIDENT \$ E.L. DISEASE - BA EMPLOYEE \$ E.L. DISEASE POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

**CERTIFICATE HOLDER**

220-4765

Sewall's Point, Town of  
 1 South Sewall's Point Road  
 Stuart, FL 34996

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS

AUTHORIZED REPRESENTATIVE

Lee Carroll/RENEXA *Lee Carroll*



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
7/24/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> TriGen Insurance Solutions, Inc. 315 SE Mixer Blvd Suite 211 Boca Raton FL 33432	<b>CONTACT NAME:</b> Tamika Lynch <b>PHONE:</b> <b>FAC. No. Ext.:</b> (877) 987-4436 <b>FAX:</b> <b>E-MAIL:</b> <b>ADDRESS:</b> cert@trigenagroupinc.com
	<b>INSURER(S) AFFORDING COVERAGE</b> INSURER A: Guarantee Insurance Company NAIC # 11398 INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:

**INSURED** (941) 343-8168  
 Florida Resource Management  
 Alt. Empl: Sharkey Air, LLC  
 363 Interstate Blvd  
 Sarasota FL 34240

**COVERAGES** **CERTIFICATE NUMBER:** Cert ID 3163 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS

INSURANCE CLASSIFICATION	TYPE OF INSURANCE	AGGREGATE LIMIT	POLICY NUMBER	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS
1	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> GEN. AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (EA occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NONOWNED AUTOS					
2	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/OWNER EXCLUDED? (Mandatory in NH) (If yes, describe under DESCRIPTION OF OPERATIONS below)	Y/N <input type="checkbox"/> N/A		MCP50005130302C	7/30/2014	7/30/2015

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES** (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
 Coverage provided for all leased employees but not subcontractors of Sharkey Air, LLC Location coverage effective 7/30/14

<b>CERTIFICATE HOLDER</b>  Town Of Sevall's Point One S. Sevall's Point Road Sevall's Point FL 34996	<b>CANCELLATION</b> SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Carla Brock</i>

AC# 6320756

V10A/LLU 3101

P 004/005

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L12083002027

DATE	BATCH NUMBER	LICENSE NBR.
08/30/2012	128063330	CAC1816853

The CLASS B AIR CONDITIONING CONTRACTOR  
Named below IS CERTIFIED  
Under the provisions of Chapter 489, FS  
Expiration date: AUG 31, 2014



SHARKEY, KEVIN MICHAEL  
SHARKEY AIR LLC  
7862 SW ELLIPSE WAY  
STUART

FL 34997

RICK SCOTT  
GOVERNOR

KEN LAWSON  
SECRETARY

DISPLAY AS REQUIRED BY LAW

2014-2015 MARTIN COUNTY ORIGINAL BUSINESS TAX RECEIPT

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR 3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994 (772) 288-5604

ACCOUNT 2012-518-0018 CERT CAC18156853
PHONE (772) 220-2487 SIC NO 238220
LOCATION 7862 SW ELLIPSE WAY S STU



CHARACTER COUNTS IN MARTIN COUNTY

Table with columns: PREV YR, LIC FEE, PENALTY, COL FEE, TRANSFER, TOTAL. Values: .00, 26.25, .00, .00, .00, 26.25

HAS SATISFIED REQUIREMENTS TO ENGAGE IN THE BUSINESS PROFESSION OR OCCUPATION OF A/C CONTRACTOR

SHARKEY, KEVIN M. (OWNER-QUALIFIER) SHARKEY AIR, LLC. 7862 SW ELLIPSE WAY #5 STUART, FL 34997

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

26 DAY OF AUGUST 14 2015 AND ENDING SEPTEMBER 30.

11 2013 43907 0002 26 25 PAID

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE

ANYONE DOING BUSINESS WITHOUT A VALID BUSINESS TAX RECEIPT IS SUBJECT TO A \$250 FINE. IF NOT PAID BY SEPT. 30TH, A DELINQUENT PENALTY OF 10% FOR THE MONTH OF OCTOBER, PLUS A 5% PENALTY FOR EACH MONTH THEREAFTER UP TO 25%, PLUS COLLECTION COSTS WILL APPLY

NOTE -A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS BUSINESS TAX RECEIPT EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS



Johan NESSA PROPOSAL

Submitted To Demorest Construction Phone 220-0065 Fax. 220-0227 Date 04/15/15  
Street Job Address 104 N Sewalls Pt Rd.  
City-State-Zip Air Handler Location. attic X - garage - closet

**INCLUDES.**

Furnish and install 3 1/2 -ton American Standard 16 SEER split system with 7 KW electric heat.

- ❖ One year parts and labor. Nine additional years on parts, coils and compressor.
- ❖ Remove and haul away existing equipment
- ❖ Emergency pan on horizontal units
- ❖ Emergency float switch
- ❖ Plenum Transitions
- ❖ Hurricane clips attached to existing condensing unit pad
- ❖ We will reconnect to existing duct, electric, copper line set and drains
- ❖ R 410A Refrigerant
- ❖ ACCESSORIES Programmable Thermostat
- ❖ Includes tax and labor

**WE PROPOSE HEREBY TO FURNISH MATERIAL AND LABOR-COMPLETE IN ACCORDANCE WITH ABOVE SPECIFICATIONS, FOR THE SUM OF \$ 5,970.00**

Coil Coat \$ 595.00

Sub-total \$ 6,565.00

Minus FPL Rebate \$ - 234.00

**Total out of pocket with all options and rebates: \$ 6,331.00**

**PAYMENT TO BE MADE AS FOLLOWS: Per normal draw**

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED  
ALL WORK TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES  
ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON VERBAL/Written ORDERS, AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE OUR WORKERS ARE FULLY COVERED BY WORKMEN'S COMPENSATION INSURANCE. FINAL PAYMENT WILL BE MADE PRIOR TO START UP OF NEW SYSTEM(S) IN THE EVENT THAT THE AIR CONDITIONING SYSTEM IS NOT PAID FOR, WE HAVE THE RIGHT TO REMOVE IT AT ANY TIME

AUTHORIZED SIGNATURE — KMS —

NOTE THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN 30 DAYS

ACCEPTANCE OF PROPOSAL - THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND HEREBY ACCEPTED YOU ARE AUTHORIZED TO DO THE WORK AS SPECIFIED, PAYMENT WILL BE MADE AS OUTLINED ABOVE ANY LITIGATION AS A RESULT OF NON PAYMENT WILL TAKE PLACE IN MARTIN COUNTY, FL

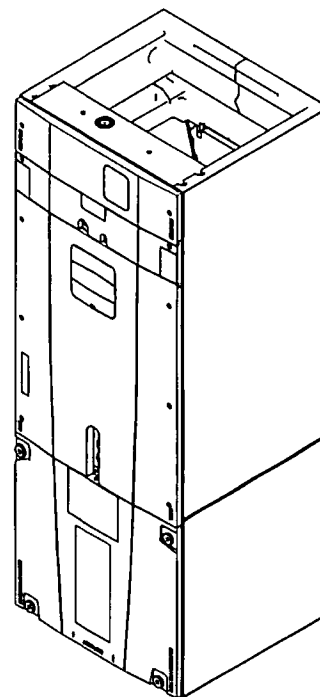
SIGNATURE

DATE

04-30-2015

# Specification

**3 Ton Convertible Air Handler**  
**TAM7A0C36H31SD — Standard Coil**  
**TAM7A0C36H31EA — Black Epoxy Coil**



TAG \_\_\_\_\_

## **▲ SAFETY WARNING**

Only qualified personnel should install and service the equipment. The installation, starting up, and servicing of heating, ventilating, and air-conditioning equipment can be hazardous and requires specific knowledge and training. Improperly installed, adjusted or altered equipment by an unqualified person could result in death or serious injury. When working on the equipment, observe all precautions in the literature and on the tags, stickers, and labels that are attached to the equipment.





HEATING & AIR CONDITIONING

# PRODUCT SPECIFICATIONS

<b>MODEL</b>	<b>TAM7A0C36H31SD TAM7A0C36H31EA</b>
<b>RATED VOLTS/PH/HZ</b>	200-230/1/60
<b>RATINGS (a)</b>	See O D Specifications
<b>INDOOR COIL — Type</b>	Plate Fin
Rows — F P I	3 — 14
Face Area (sq ft )	5 50
Tube Size (in )	3/8
Refrigerant Control	EEV
Drain Conn Size (in )(b)	3/4 NPT
<b>DUCT CONNECTIONS</b>	See Outline Drawing
<b>INDOOR FAN — Type</b>	Centrifugal
Diameter-Width (In )	11 x 10
No Used	1
Drive — No Speeds	Direct - Variable
CFM vs in w g	See Fan Performance Table
No Motors — H P	1 — 1/2
Motor Speed RPM	Variable ECM
Volts/Ph/Hz	208-230/1/60
F L Amps	3 0 — 3 9 (c)
<b>FILTER</b>	
Filter Furnished?	No
Type Recommended	Throwaway
No -Size-Thickness	1 — 22 x 20 — 1 In
<b>REFRIGERANT</b>	<b>R-410A</b>
Ref Line Connections	Brazed
Coupling or Conn Size-In Gas	7/8
Coupling or Conn Size-in Liq	3/8
<b>DIMENSIONS</b>	H x W x D
Crated (In )	57-1/4 x 25-1/4 x 23-1/2
Uncrated	56-15/16 x 23-1/2 x 21-3/4
<b>WEIGHT</b>	
Shipping (Lbs )/Net (Lbs )	157/146

(a) These Air Handlers are AHRI certified with various Split System Air Conditioners and Heat Pumps (AHRI STANDARD 210/240)

(b) 3/4" Male Plastic Pipe (Ref ASTM 1785-76)

(c) Check motor nameplate for actual FLA

TAM7A0C36H31SD, TAM7A0C36H31EA											
Heater Model No	No of Circuits	240 Volt					208 Volt				
		Capacity		Heater Amps per Circuit	Minimum Circuit Ampacity	Maximum Overload Protection	Capacity		Heater Amps per Circuit	Minimum Circuit Ampacity	Maximum Overload Protection
		kW	BTUH				kW	BTUH			
No Heater	0	-	-	3 0 **	4	15	-	-	3 0 **	4	15
BAYEVAC04++1	1	3 84	13100	16 0	24	25	2 88	9800	13 8	21	25
BAYEVAC05++1	1	4 80	16400	20 0	29	30	3 60	12300	17 3	25	25
BAYEVAC08++1	1	7 68	26200	32 0	44	45	5 76	19700	27 7	38	40
BAYEVAC10++1	1	9 60	32800	40 0	54	60	7 20	24600	34 6	47	50
BAYEVAC10LG3	1-3 PH	9 60	32800	23 1	32	35	7 20	24600	20 0	28	30
BAYEVC15LG3	1-3 PH	14 40	42000	34 6	47	50	10 80	36900	30 0	41	45
BAYEVC15BK1- Circuit 1 (a)	2	9 60	32800	40 0	54	60	7 20	24600	34 6	47	50
BAYEVC15BK1- Circuit 2		4 80	16400	20 0	25	25	3 60	12300	17 3	22	25
BAYEVC20BK1- Circuit 1 (a)	2	9 60	32800	40 0	54	60	7 20	24600	34 6	47	50
BAYEVC20BK1- Circuit 2		9 60	32800	40 0	50	50	7 20	24600	34 6	43	45

1 \*\* Motor Amps

2 See Air Handler nameplate for additional information

3 Heater model numbers may have additional suffix digits



**STANDARD CONSTRUCTION**

**MATERIAL**  
14 GAUGE/G-90 ASTM A-653 COLD-ROLLED GALVANIZED STEEL

**STANDARD SIZES**

TYPE	BASE DEPTH	WIDTH	HEIGHT	PACK QTY.
CUTD4	1 25"	1"	4"	4 PKG
CUTD4-B	1 25"	1"	4"	BULK
CUTD6	1 25"	1"	6"	4 PKG
CUTD6-B	1 25"	1"	6"	BULK
CUTD8-B	1 25"	1"	8"	BULK
CUTD11-B	1 25"	1"	11"	BULK
CUTD14-B	1 25"	1"	14"	BULK
CUTD18-B	1 25"	1"	18"	BULK

**FEATURES**

**GALVANIZED STEEL PROVIDES EXCELLENT CORROSION RESISTANCE AND LONGEVITY**

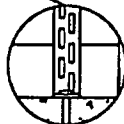
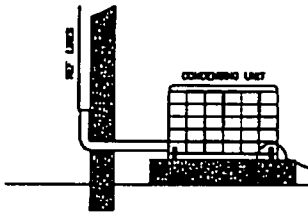
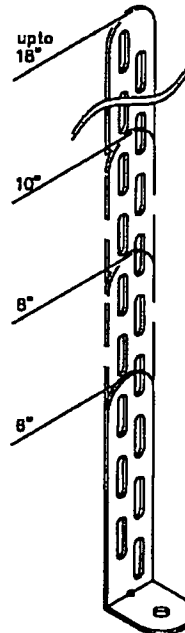
**SLATTED DESIGN PROVIDES A UNIVERSAL MOUNT**

**AVAILABLE IN PEG BOARD DISPLAY PACKAGES (4 PER PACKAGE) UPTO 6"**

**BULK PACKAGING AVAILABLE FOR ALL SIZES.**

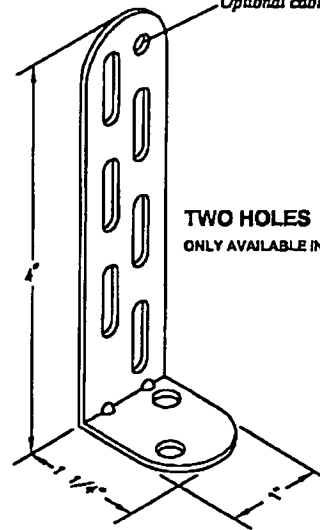
**AVAILABLE IN ALUMINUM FOR EVEN GREATER CORROSION RESISTANCE (MODEL CUTDAX)**

**SINGLE HOLE DESIGN**



*anchor with (1) 1/4" diameter ITW Buldex (or equivalent) carbon steel Tapcon embedded 1-3/4" minimum into 3,000 psi concrete with 2-1/2" minimum edge distance.*

*Optional cable hole*



**TWO HOLES DESIGN ONLY AVAILABLE IN 4" HEIGHT**

**NOTE: ENGINEERING DATA AND CALCULATIONS AVAILABLE UPON REQUEST**

JOB NAME:
LOCATION:
ARCHITECT:
ENGINEER:
CONTRACTOR:
CONTACT MIAMI TECH INC FOR ADDITIONAL INFORMATION OR WITH SPECIAL REQUIREMENTS. 3811 NW 74TH ST MIAMI, FL 33147 PHONE. 305-693-7054 FAX. 305-693-6152  WEB WWW.MIAMITECH.COM EMAIL. SALES@MIAMITECH.COM

**CUTD**

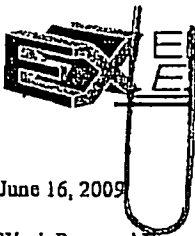
**CONDENSING UNIT TIE DOWN  
PRODUCT SPECIFICATIONS**



DESIGNED BY AF	DATE 08-01-2009	SCALE NOT TO SCALE
CHECKED BY IV	DATE 08-30-2010	KEYWORD IG

**CUTD**

**NOTE: ALL DRAWINGS SUBJECT TO CHANGE WITHOUT PRIOR NOTICE.**



June 16, 2009

Work Prepared For

Miami Tech, Inc  
3611 NW 74<sup>th</sup> Street  
Miami, FL 33147

Certification valid for  
one (1) project site  
only

Regarding A/C Unit Tiedown to Concrete

Attention Building Official

This office has reviewed the design requirements for the installation of air conditioning units onto concrete slabs using Miami Tech Condensing Unit Tiedowns (CUTD-1). The tiedown or clip used for the installation shall be fabricated using galvanized steel (ASTM A653, Grade 33 minimum), measuring 4"-18" tall x 1" wide x 14ga (0.070" minimum), with layout as described below, and a maximum height of 60" per unit. The lower leg of each clip shall be anchored to the concrete host structure with (1) 1/4" diameter ITW Buildex (or equivalent) carbon steel Tapcon embedded 1-3/4" minimum into 3,000 psi concrete with 2-1/2" minimum edge distance. The upper leg of each clip shall utilize a minimum of (2) #10 sheet metal screws anchored through the clip into the minimum 22-gauge (0.028" minimum) steel housing (ASTM A653, Grade 33 minimum). Maximum wind pressures for use with this installation are as noted below, additional anchors may be utilized to achieve higher pressures, as shown.

**Table 1:** (1) clip required at each corner of unit or (2) each opposite face for a total of (4) per unit

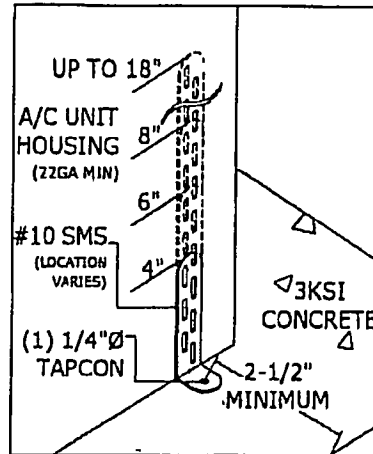
Maximum Unit Face, Area (ft <sup>2</sup> )	(2) SMS	(3) SMS	(4) SMS
4	+/- 114 PSF	+/- 150 PSF	+/- 150 PSF
7	+/- 65 PSF	+/- 98 PSF	+/- 127 PSF
9	+/- 50 PSF	+/- 76 PSF	+/- 98 PSF
12	+/- 38 PSF	+/- 57 PSF	+/- 74 PSF
15	+/- 30 PSF	+/- 45 PSF	+/- 59 PSF

Note: (1) Tapcon acceptable for both one- and two-anchor hole versions of the CUTD

**Table 2:** (2) clips required at each corner of unit or (4) each opposite face for a total of (8) per unit

Maximum Unit Face, Area (ft <sup>2</sup> )	(2) SMS	(3) SMS	(4) SMS
20	+/- 45 PSF	+/- 68 PSF	+/- 91 PSF
25	+/- 36 PSF	+/- 54 PSF	+/- 73 PSF
30	+/- 33 PSF	+/- 50 PSF	+/- 66 PSF
35	+/- 30 PSF	+/- 46 PSF	+/- 61 PSF

Note: (1) Tapcon acceptable for both one- and two anchor hole versions of the CUTD



All other installation work shall follow the minimum requirements of the 2007 Florida Building Code with 2009 supplements. Thank you for your attention to this matter.

Respectfully,

**JUN 17 2009**

Frank L. Bennardo, P.E.  
ENGINEERING EXPRESS®  
#PE0046549 | Cert. Auth. 9885  
09-MTI-0001



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2014

# Certificate of Product Ratings

AHRI Certified Reference Number 5873961 Date 4/20/2015

CEE Tier CEE Tier 2

Product Split System Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number 4A7A6042H1

Indoor Unit Model Number \*AM7A0C36H31

Manufacturer AMERICAN STANDARD

Trade/Brand name AMERICAN STANDARD

Series name GOLD XI

Manufacturer responsible for the rating of this system combination is AMERICAN STANDARD

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing

Cooling Capacity (Btuh)	41000
EER Rating (Cooling)	13.00
SEER Rating (Cooling)	16.00
IEER Rating (Cooling)	

**AHRI CERTIFIED**  
www.ahridirectory.org

\* Ratings followed by an astensk ( ) indicate a voluntary rerate of previously published data unless accompanied with a WAS which indicates an involuntary rerate

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#### TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced, copied, disseminated, entered into a computer database, or otherwise utilized in any form or manner or by any means, except for the user's individual, personal and confidential reference.

#### CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at [www.ahridirectory.org](http://www.ahridirectory.org), click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued which is listed above, and the Certificate No. which is listed at bottom right.



we make life better™

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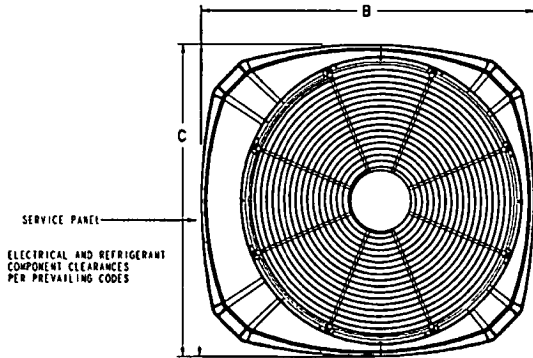
CERTIFICATE NO.: 130740312437474082

TAG \_\_\_\_\_

**SPECIFICATION**

NOTE All dimensions are in mm/inches

**3 1/2 Ton Split System Cooling – 1 Ph  
4A7A6042H**



SERVICE PANEL  
ELECTRICAL AND REFRIGERANT  
COMPONENT CLEARANCES  
PER PREVAILING CODES

TOP DISCHARGE AREA SHOULD BE UNRESTRICTED FOR AT LEAST 1524 (5 FEET) ABOVE UNIT. UNIT SHOULD BE PLACED SO ROOF RUN OFF WATER DOES NOT POUR DIRECTLY ON UNIT AND SHOULD BE AT LEAST 305 (12") FROM WALL AND ALL SURROUNDING SHRUBBERY ON TWO SIDES OTHER TWO SIDES UNRESTRICTED

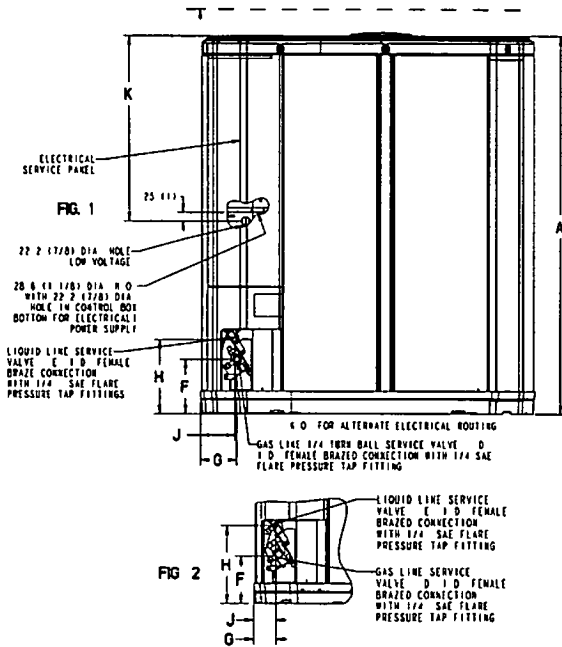


FIG 1

FIG 2

From Dwg D152862

MODELS	BASE	A	B	C	D	E	F	G	H	J	K
4A7A6042H	4	1045 (41 1/8)	948 (37 1/4)	870 (34 1/4)	7/8	3/8	152 (6)	98 (3-7/8)	219 (8-5/8)	88 (3-3/8)	508 (20)

**Product Specifications**

OUTDOOR UNIT ①②	4A7A6042H1000A
POWER CONNS — V/PH/HZ ③	208/230/1/60
MIN BRCH CIR AMPACITY	23
BR CIR PROT RTG — MAX (AMPS)	40
COMPRESSOR	DURATION™ - SCROLL
NO USED - NO SPEEDS	1 - 1
VOLTS/PH/HZ	208/230/1/60
R L AMPS ⑦ - L R AMPS	17.9 - 112
FACTORY INSTALLED	
START COMPONENTS ⑧	NO
INSULATION/SOUND BLANKET	YES
COMPRESSOR HEAT	NO
OUTDOOR FAN	PROPELLER
DIA (IN) - NO USED	27.6 - 1
TYPE DRIVE - NO SPEEDS	DIRECT - 1
CFM @ 0.0 IN WG ④	4420
NO MOTORS - HP	1 - 1/5
MOTOR SPEED R P M	850
VOLTS/PH/HZ	200/230/1/60
FL AMPS	0.93
OUTDOOR COIL — TYPE	SPINE FIN™
ROWS - F P I	1 - 24
FACE AREA (SQ FT)	27.86
TUBE SIZE (IN)	3/8
REFRIGERANT	
LBS — R-410A (O D UNIT) ⑤	8 LBS, 4 OZ
FACTORY SUPPLIED	YES
LINE SIZE - IN O D GAS ⑥	7/8
LINE SIZE - IN O D LIQ ⑥	3/8
CHARGING SPECIFICATION	
SUBCOOLING	8°F
DIMENSIONS	H X W X D
CRATED (IN)	46.4 x 35.1 x 38.7
WEIGHT	
SHIPPING (LBS)	272
NET (LBS)	235

- ① Certified in accordance with the Air Source Unitary Air-conditioner Equipment certification program, which is based on AHRI standard 210/240
- ② Rated in accordance with AHRI standard 270
- ③ Calculated in accordance with Natl Elec Codes. Use only HACR circuit breakers or fuses.
- ④ Standard Air — Dry Coil — Outdoor
- ⑤ This value approximate. For more precise value see unit nameplate.
- ⑥ Max. linear length 60 ft. Max. lift Suction 60 ft. Max. lift Liquid 60 ft. For greater length consult refrigerant piping software Pub. No. 32-3312-0 (denotes latest revision)
- ⑦ This value shown for compressor RLA on the unit nameplate and on this specification sheet is used to compute minimum branch circuit ampacity and max fuse size. The value shown is the branch circuit selection current.
- ⑧ No means no start components. Yes means quick start kit components. PTC means positive temperature coefficient starter

**Sound Power Level**

Model	A-Weighted Sound Power Level [dB(A)]	Full Octave Sound Power [dB]							
		63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
4A7A6042H1	75	49	69	74	77	75	70	62	51

Note Rated in accordance with AHRI Standard 270-2008



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S. Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT  
 BUILDING DEPARTMENT  
 FILE COPY

**Air Conditioning Change out Affidavit**

Residential  Commercial \_\_\_\_\_  
 Package Unit  Yes  No (Use Condenser side of form below for equipment listing)  
 Duct Replacement  Yes  No - Refrigerant line replacement  Yes  No  
 Flushing Existing Refrigerant lines  Yes  No - Adding Refrigerant Drier  Yes  No  
 Rooftop A/C Stand Installation  Yes  No - Curb Installation  Yes  No  
 Smoke Detector in Supply (over 2000 CFM)  Yes  No

**One form required for each A/C system installed**

**REPLACEMENT SYSTEM COMPONENTS**

**Air handler:** Mfg AMER STD Model# 4A7A6042H1  
 Volts 200/230 CFM's 1459 Heat Strip 8 Kw \_\_\_\_\_  
 Min Circuit Amps 44 Wire gauge 8  
 Max Breaker size 45 Min Breaker size 45  
 Ref line size Liquid 3/8 Suction 7/8  
 Refrigerant type 410A  
 Location Existing  New \_\_\_\_\_  
 Attic/Garage/Closet (specify) ATTIC  
 Access \_\_\_\_\_

**Condenser:** Mfg AMER STD Model# \*AM7A0C36H3  
 Volts 208/230 SEER/EER 16 BTU's 41000  
 Min Circuit Amps 23 Wire gauge 8  
 Max Breaker size 40 Min Breaker size 23  
 Ref line size Liquid 3/8 Suction 7/8  
 Refrigerant type 410A  
 Location Existing  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof RIGHT  
 Condensate Location RIGHT

**NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION**

**EXISTING SYSTEM COMPONENTS**

**Air handler:** Mfg TRANE Model# TWE042  
 Volts 200/230 CFM's 1450 Heat Strip 8 Kw \_\_\_\_\_  
 Min Circuit Amps 40 Wire gauge 8  
 Max Breaker size 40 Min Breaker size 45  
 Ref line size Liquid 3/8 Suction 7/8  
 Refrigerant type R22  
 Location Ext  New \_\_\_\_\_  
 Attic/Garage/Closet (specify) ATTIC  
 Access \_\_\_\_\_

**Condenser:** Mfg TRANE Model# 2TTR2042  
 Volts 208/230 SEER/EER ? BTU's 40800  
 Min Circuit Amps 25 Wire gauge 8  
 Max Breaker size 40 Min Breaker size 25  
 Ref line size Liquid 3/8 Suction 7/8  
 Refrigerant type R22  
 Location Ext  New \_\_\_\_\_  
 Left/Right/Rear/Front/Roof RIGHT  
 Condensate Location RIGHT

**Certification:**

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

[Signature]  
 Signature

4-20-15  
 Date



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
 One S Sewall's Point Road  
 Sewall's Point, Florida 34996  
 Tel 772-287-2455 Fax 772-220-4765

**FLORIDA ENERGY CONSERVATION CODE**  
**Mandatory Duct Inspection Certification for HVAC change-out**

For use when part of the duct and/or HVAC system has been replaced (Section 101.4 7 1 1 & FS 553 912)

Owner TESTEBO FASTIGHETS AKTIEBOLAG Contractor name SHARKEY AIR LLC

Street address 104 N SEWALLS POINT RD Jurisdiction TOWN OF SEWALLS POINT

City SEWALLS POINT Permit No \_\_\_\_\_

Zip 34996 Final inspection date \_\_\_\_\_

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4 7 1 1 as indicated below

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent
- Ducts are located within conditioned space (Section 101.4 7 1 1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4 7 1 1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4 7 1 1 exception 3)

Signature *Kevin M Sharkey* Date 4-20-15

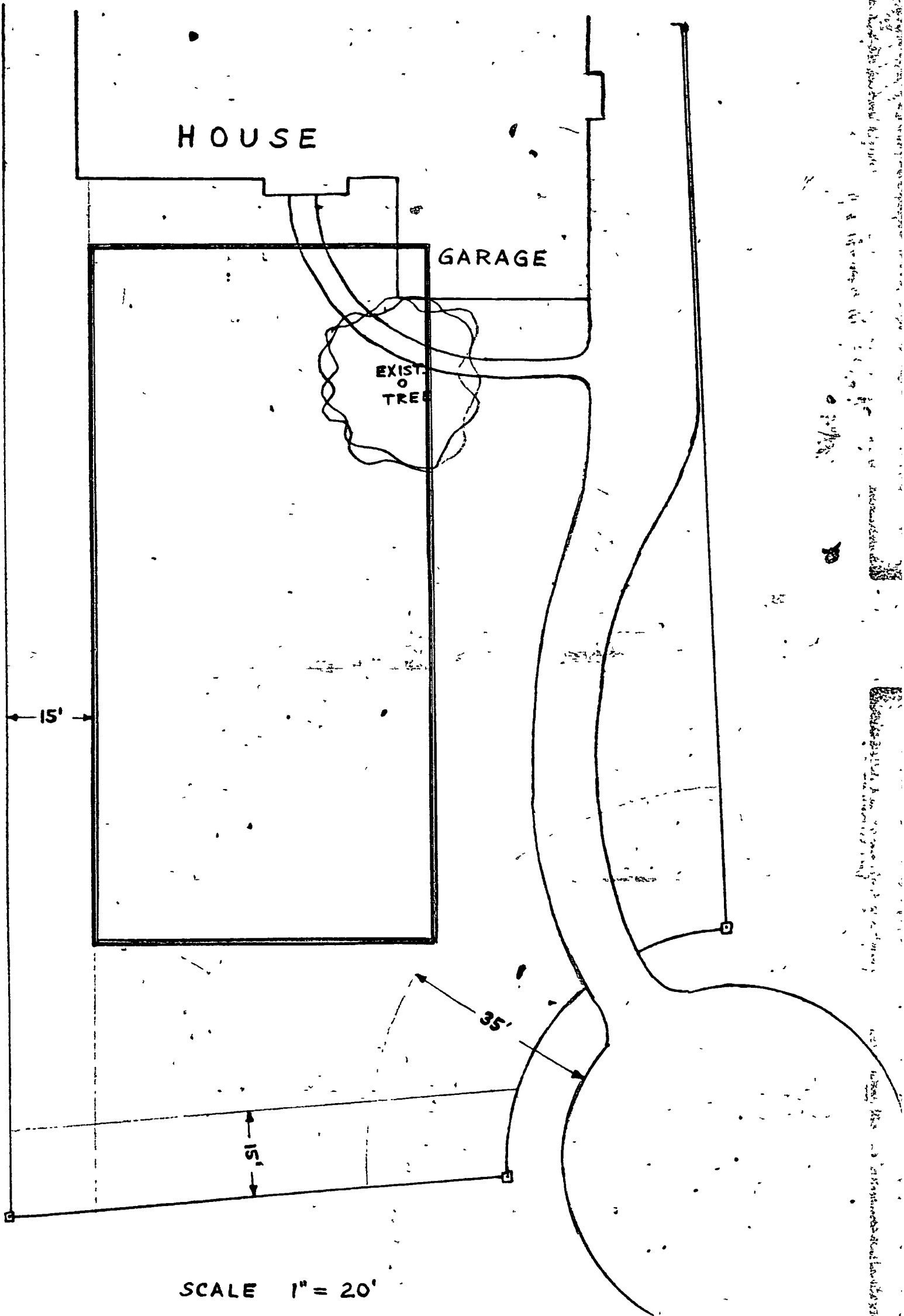
Printed Name KEVIN M. SHARKEY

Contractor License # CAC1816853

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.)

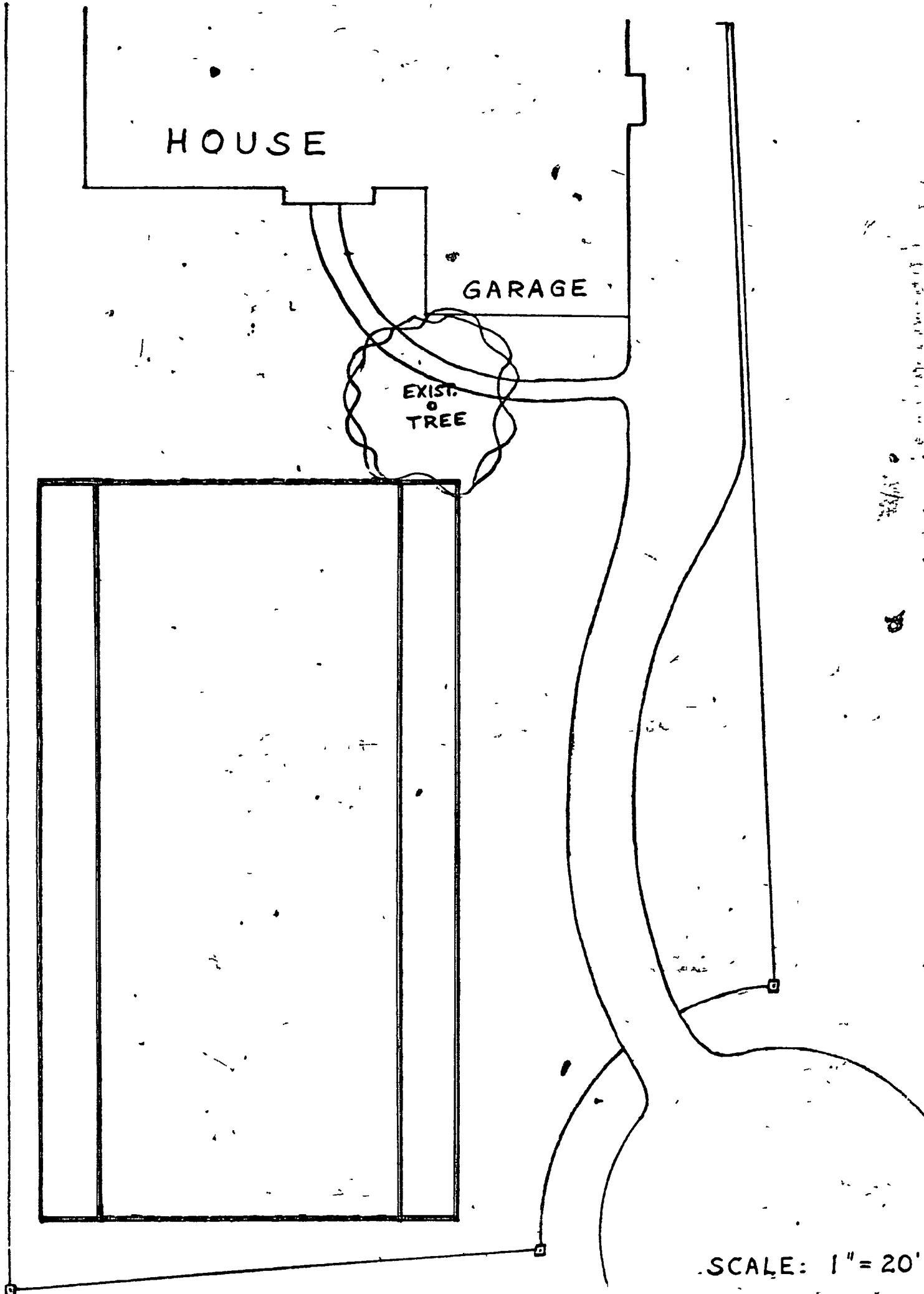
Signature \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_



SCALE 1" = 20'





HOUSE

GARAGE

EXIST.  
TREE

SCALE: 1" = 20'

**————** TENNIS COURT BOUNDARIES AS SHOWN  
ON PLANS SIGNED BY SEWALL'S POINT  
BUILDING COMMISSIONER & INSPECTOR  
**————** TENNIS COURT AS CONSTRUCTED

FLORIDA ABSTRACT & TITLE INSURANCE COMPANY

OF STUART, FLORIDA

SPECIAL CERTIFICATE NO. 15252

We hereby certify that we have caused a search to be made of the Public Records of Martin County, Florida and find as of this date that all of Property owners lying with 300 feet of That Portion of the North 200 feet of Government Lot 2, Section 35, Township 37 South, Range 41 East of Sewalls Point Road and extending to waters of the Indian River, are as follows:

Steven Steger et ux  
Rt. 1 Sewalls Point Road  
Jensen Beach, Florida

Kenneth P. Burns et ux  
2046 Mershon Drive  
Ann Arbor, Mi. 48103

F. J. Niebling et ux  
Box 1822  
Stuart, Florida

Harry Patterson  
Rt. 1, Box 7  
Jensen Beach

Dorothy Fithian  
Rt. 1 Box 594  
Jensen Beach, Florida

Writfield H. Alley  
Rt 1, Sewalls Point  
Jensen Beach, Florida

R. H. Dewey et ux  
Box 785  
Jensen Beach, Florida

C. B. Neville et ux  
326 Edgewater Road  
Savannah, Ga. 31406

Donald Wright  
325 Liberty Street  
Conneaut, Ohio 44030

Grame Wheeler et ux  
Box 228  
Stuart, Florida

J. P. Heiderscheid et ux  
Rt. 1 Box 11  
Jensen Beach, Florida

Victor Viola et ux  
105 Sewall's Point Road  
Jensen Beach, Florida

Jan Michael Gôdsy et ux  
99 Sewalls Point Road  
Jensen Beach, Florida

William McDowell  
Box 606  
Jensen Beach, Florida

Margaret Smithbowen  
97 Sewalls Point Road  
Jensen Beach, Florida

Vincent J. Vilardi et ux  
Box 1285  
Stuart, Florida

Alton Burnett et ux  
112 N Sewalls Point Road  
Jensen Beach, Florida

Vincent Capuano et ux  
3980 Wolkow Avenue  
Seafood, Long Island, New York 11783

IN WITNESS WHEREOF, FLORIDA ABSTRACT & TITLE INSURANCE COMPANY OF STUART, has caused this Certificate to be executed in its name by its undersigned officer, and its corporate seal to be affixed hereto, this 2nd day of May, 1977 at 8:00 o'clock a.m.

FLORIDA ABSTRACT & TITLE INSURANCE  
COMPANY OF STUART

BY Sandra Kelley  
SANDRA KELLEY

CRARY, BUCHANAN & MEGINNISS

CHARTERED  
ATTORNEYS AT LAW

EVANS CRARY (1905-1968)  
EVANS CRARY JR  
WILLIAM F CRARY  
LARRY E BUCHANAN  
WALTER M MEGINNISS  
JAMES L S BOWDISH

POST OFFICE DRAWER 24  
201 FIRST NATIONAL BANK BUILDING  
STUART FLORIDA 33494

TELEX AMRIT STRT 513 429  
TELEPHONE (305) 287-2600

May 24, 1977

Our office represents Mr. and Mrs. C. B. Neville who are the owners of that certain property described on the attached exhibit, which property fronts along the Indian River within the corporate limits of Sewall's Point. This property was purchased by Mr. and Mrs. Neville on January 6, 1976 and is 200 feet in width. After the purchase of the property my clients listed 100 feet of the property for sale with a local broker and have obtained a contract from a buyer.

However, on November 17, 1976, the Town of Sewall's Point passed Zoning Ordinance No. 95, which set a minimum lot width of 120 feet, making it impossible to sell this property. Accordingly, pursuant to Section XV (b) (3), we have asked for a public hearing before the Board of Zoning Adjustments of Sewall's Point, seeking a variance of the lot width requirements for my clients' property. If granted, this variance would permit my clients to sell 100 feet of their property and would allow their purchaser to build on that lot, and would also allow my clients to build on the remaining 100 feet.

This hearing will be held before the Board of Zoning Adjustments on June 13, 1977 at 7:30 o'clock P.M. in the Town Hall located at the corner of AlA and Sewall's Point Road. You are invited to attend the meeting or may address any comments with regard to the variance being sought, to:

The Town Clerk,  
Town of Sewall's Point  
#1 South Sewall's Point Road  
Jensen Beach, Florida 33457

Sincerely,

LARRY E. BUCHANAN  
Attorney for Mr. and Mrs. C. B. Neville

LEB/ljm

Enclosure

EXHIBIT "A"

That portion of the North 200 feet of Government Lot 2, Section 35, Township 37 South, Range 41 East, lying easterly from the Sewell's Point Road, and extending to the waters of the Indian River; TOGETHER with all riparian rights, AND ALSO a perpetual Easement for the installation of wells and pump houses, and laying of pipe, over and across the North 5 feet and the South 5 feet of the North 200 feet of said Government Lot 2 that lies West of the said Sewell's Point Road, such Easement to extend a distance of 300 feet from the aforesaid Road.

*Copy to  
Sewall's Point  
JAS  
WCK  
JL*

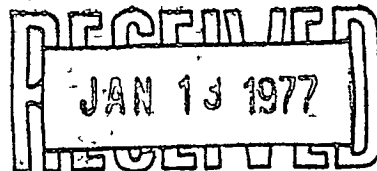
**LOCKHART REALTY, INC**  
SEWALL'S POINT JENSEN BEACH FLORIDA 33457

TRUDE E KENNEDY  
REALTOR

January 12, 1977

OFFICE (305) 287 1777  
RESIDENCE (305) 287 5686

Mr. and Mrs. C. B. Neville  
326 Edgewater Road  
Savannah, Georgia 31406



Dear Mr. and Mrs. Neville:

We have just recently had the opportunity of obtaining a copy of the new zoning ordinance #95 of the Town of Sewall's Point, which was passed on the seventeenth day of November, 1976.

I quote to you from page 9 of said ordinance the paragraph relating to minimum required lot dimensions;

No residential lot shall have a width (exclusive of private road, right-of-way or easement for access to another lot or street) of less than one hundred twenty (120) feet except in the case of irregularly shaped lots where the average width of front and back lot lines shall be a minimum of one hundred twenty (120) feet provided, however, that neither front or rear line shall be less than seventy-five (75) feet.

I have just today discussed your particular situation with Commissioner John Rossiter, explaining to him that you bought 200 feet of Indian Riverfront property with the intent of dividing same in half; selling the north 100 feet, and building your home on the south 100 feet.

I explained that we have had the 100 feet on Multiple Listing for sale, as there was no way that you could afford to build your home on the entire piece of land, at its high cost.

The new zoning ordinance would not allow the division of the property, and it appears that you should contact the Board of Adjustment and plead your hardship case with them, asking for the granting of a variance which will allow you to divide the property in half.

I would suggest that for any further information pertaining to this, that you contact the Town Commissioners so that you are sure nothing is lost in my interpretation of anything they might say.



Mr. and Mrs. C. B. Neville

January 12, 1977

Page two

I am sorry to have had to bring you this bad news but I felt that you should be made aware of same as soon as it came to my attention.

With my best personal regards.

Yours sincerely,

LOCKHART REALTY, INC.

Gertrude E. Kennedy  
(Trude E.)

GEK:vy

cc: Commissioners of the Town of Sewall's Point

CRARY, BUCHANAN & MEGINNISS

CHARTERED  
ATTORNEYS AT LAW

*Copy to all Commissioners,  
General Graham & Atty  
Shurlow  
5/12/77  
Copy to Bd Members 5/23/77*

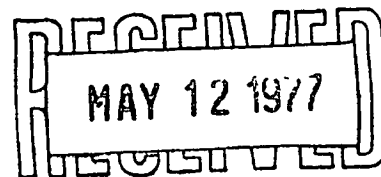
EVANS CRARY (1905-1968)  
EVANS CRARY JR  
WILLIAM F CRARY  
LARRY E BUCHANAN  
WALTER M MEGINNISS  
JAMES L S BOWDISH

POST OFFICE DRAWER 24  
201 FIRST NATIONAL BANK BUILDING  
STUART, FLORIDA 33494

TELEX AMRIT STRT 513-429  
TELEPHONE (305) 287-2600

May 10, 1977

Ms. Margaret Miller, Town Clerk  
Town of Sewall's Point  
#1 South Sewall's Point Road  
Jensen Beach, Florida 33457



Dear Ms. Miller:

Our office represents C. B. Neville and Lucy M. Neville, his wife, who are the owners of the following described real property located within the corporate limits of Sewall's Point:

That portion of the North 200 feet of Government Lot 2, Section 35, Township 37 South, Range 41 East, lying Easterly from the Sewall's Point Road, and extending to the waters of the Indian River.

On their behalf and at their request, I am submitting this letter to you as a formal application for a hearing before the Board of Zoning Adjustments, seeking a variance on behalf of my clients of the requirement of a minimum of 120 feet for the width of a residential lot as set forth in Section VI, Paragraph E. 1.

The variance requested is for a minimum lot width of 100 feet in order to permit my clients to divide the above described parcel into two buildable lots, each containing 100 feet along the road right-of-way of Sewall's Point Road.

This property was purchased by my clients on December 17, 1975 with the avowed intent and purpose of dividing the said parcel into two buildable lots. Prior to signing a contract for the property and after confirming the then existing requirements of your Town, Mr. and Mrs. Neville purchased the property with the intent of building a retirement home. They ascertained at that time that it would not be economically feasible for them unless they could sell one-half of the property which was permitted by your Ordinance at that time. Shortly after the purchase of their property they listed the same through Lockhart Realty and obtained a purchase agreement on March 2, 1977. During the time of the negotiation of this contract they discovered the requirements for lot width as set forth in your Zoning Ordinance No. 95, which was adopted on November 17, 1976. Mr. and Mrs. Neville had no knowledge of that Ordinance and discovered the same at the time their contract for sale was negotiated.

Ms. Margaret Miller, Town Clerk  
May 10, 1977  
Page 2

A condition of that contract is that the purchasers would have a buildable lot. Mr. and Mrs. Neville's property is located toward the North end of the limits of your Town and fronts along the Indian River. They will not be creating any new roads, nor will a division of their property into two lots result in any additional expenses to the Town of Sewall's Point, but will in fact generate additional ad valorem taxes to the Town in the future. Mr. and Mrs. Neville have been advised through a local real estate broker that there is not an adequate real estate market for a lot that is 200 feet in width whereby they could hope to recoup their original purchase price plus the taxes they have paid for the property.

The variance sought is the minimum variance which will make possible a reasonable use of their land and a hearing before the Board of Zoning Adjustments is requested. Additionally, I have enclosed herewith our check payable to the Town of Sewall's Point in the sum of \$75.00, and I would request that you please notify me of a hearing date, keeping in mind that we need to send notices to the appropriate property owners at least 15 days prior to said hearing date. It is my understanding that your office will have the appropriate Notice of Public Hearing published in the newspaper.

We have in hand the names and addresses of all property owners within 300 feet of the property owned by the Nevilles and I would request that you give us the earliest possible hearing date.

Very truly yours,

  
LARRY E. BUCHANAN

LEB/ljm

CC: Mr. and Mrs. C. B. Neville

# 0955-  
75.00



# **CORRESPONDENCE**



# Department of Environmental Protection

FILE COPY

Lawton Chiles  
Governor

Port St Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204

Virginia B. Wetherell  
Secretary

DEC 01 1998

C B Neville  
534 Miner Drive  
Richmond Hill, GA 31324

former owner of Khan property

Re File No. 43-0144554-001  
Martin County

## REPAIR WORK FOR HURRICANE DAMAGE

Dear Mr. Neville:

FILE COPY

TOWN OF SEWALL'S POINT  
THESE PLANS HAVE BEEN  
REVIEWED FOR CODE COMPLIANCE

DATE: \_\_\_\_\_

BUILDING OFFICIAL  
Gene Simmons

On August 11, 1998, we received your notice of intent to use a Noticed General Permit (NGP) pursuant to Rule 62-341 427, Florida Administrative Code (F A C ) to perform the following activities construct a 1,520 square foot single family docking structure with a 360' X 4' access pier and a 20' X 4' terminal platform and an associated mooring area in the Indian River Lagoon, (Class III waters of the state) Your project is located at 104 North Sewall's Point Road (Section 35, Township 37 South, Range 41 East) Stuart, Martin County

Your intent to use a NGP has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization The authority for review and the outcomes of the reviews are listed below Please read each section carefully Your project may not have qualified for all three forms of authorization If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it

### Regulatory Review

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F S ), Title 62, F A C , and in accordance to operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F A C Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341 427, F A C )

Activities performed under the NGP are subject to the general conditions of Rule 62-341 215, F A C (attached), and to the specific conditions of the permit for which you were issued (Rule 62-341 427, F A C ) (attached) Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties A stamped plan view and vicinity map for the project are attached and methods of construction shall meet the Florida Building Code 2004

Please be advised that the construction phase of the NGP must be completed within 365 days from the date the notice to use the NGP was received by the Department. If you wish to continue this noticed general permit beyond the expiration date, you must notify the Department at least 30 days before its expiration.

- 4. Inspection scheduling 288-5489 between 9:00 am and 4:30 pm
- and revisions 288-5916 between

**Proprietary Review (related to state-owned lands)**

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F S , Chapters 18-20 and 18-21, F.A C , and Section 62-343 075, F.A C

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

**Federal Review (State Programmatic General Permit)**

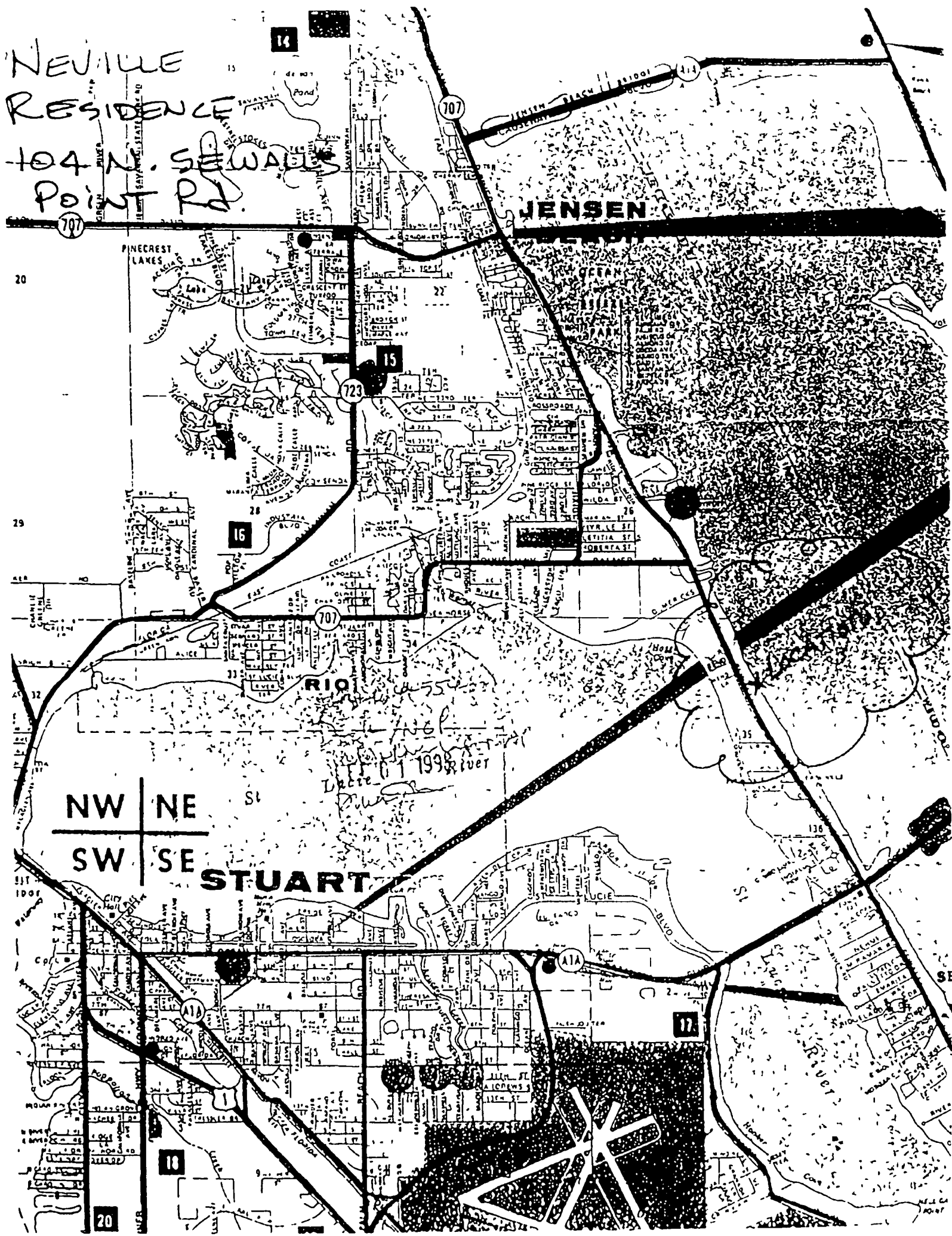
Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U S Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U S Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached U S Army Corps of Engineers (the Corps) general conditions apply to your project. No further permitting for this activity is required by the Corps.

**NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS**

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106 111, F A C , a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place, or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

NEVILLE  
RESIDENCE  
104 N. SEWALLS  
POINT RD



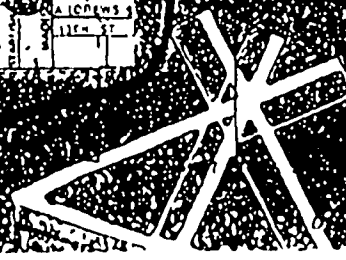
JENSEN

RIQ

STUART

NW NE  
SW SE

Date of 1998 River  
D. J. ...



DEPTHS BASED ON MLW.

1" = 30'

JANGOMEILI CONST. INC.  
JENSEN BEACH, FLA.

CS 634027

NEVILLE RESIDENCE  
104 N. SEWALLS FT RD.  
SEWALLS FT.

CONSTRUCTION WILL BE AS  
FOLLOWS: PILING SET BY  
HAND WITH WATER JET  
& TURNING CLOTH.

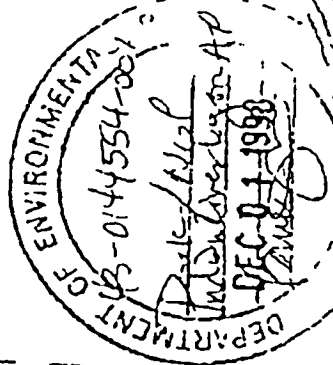
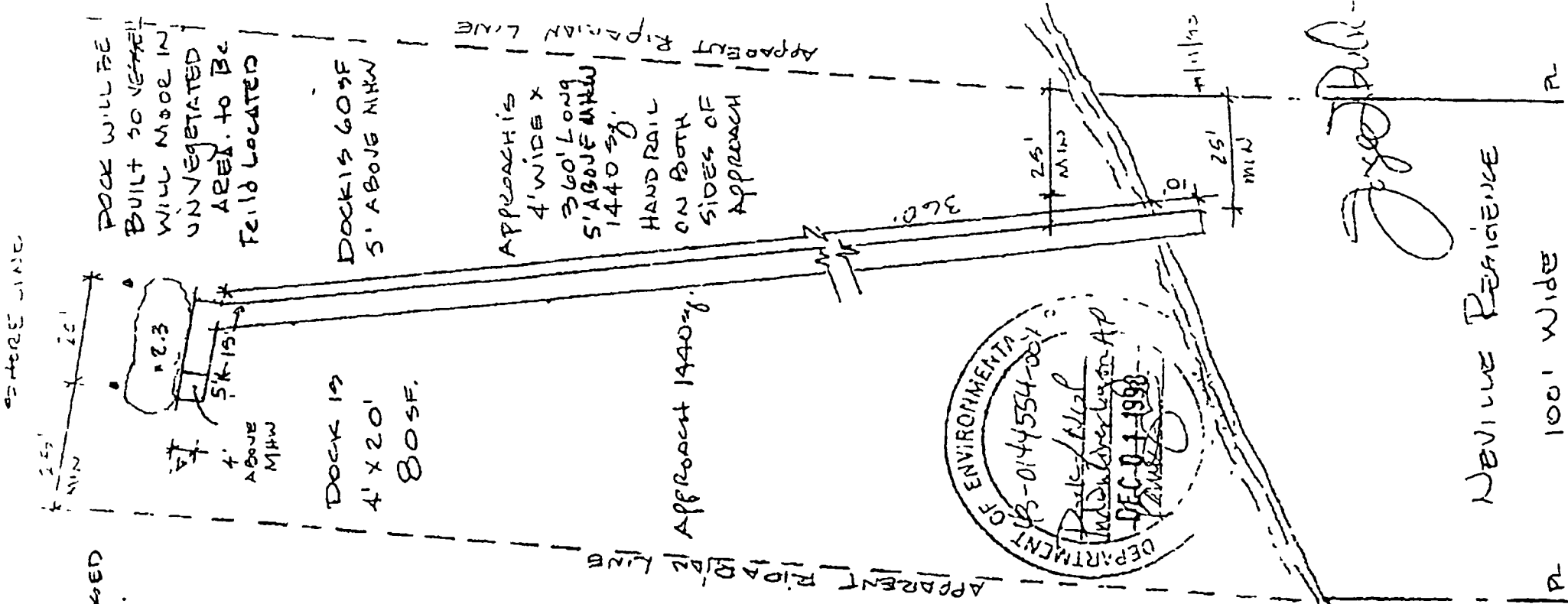
DECKING SHALL BE SPACED  
1/2" APART. MIN.

RECEIVED

AUG 31 1998

Dept of Environ Protection  
Port St Lucie

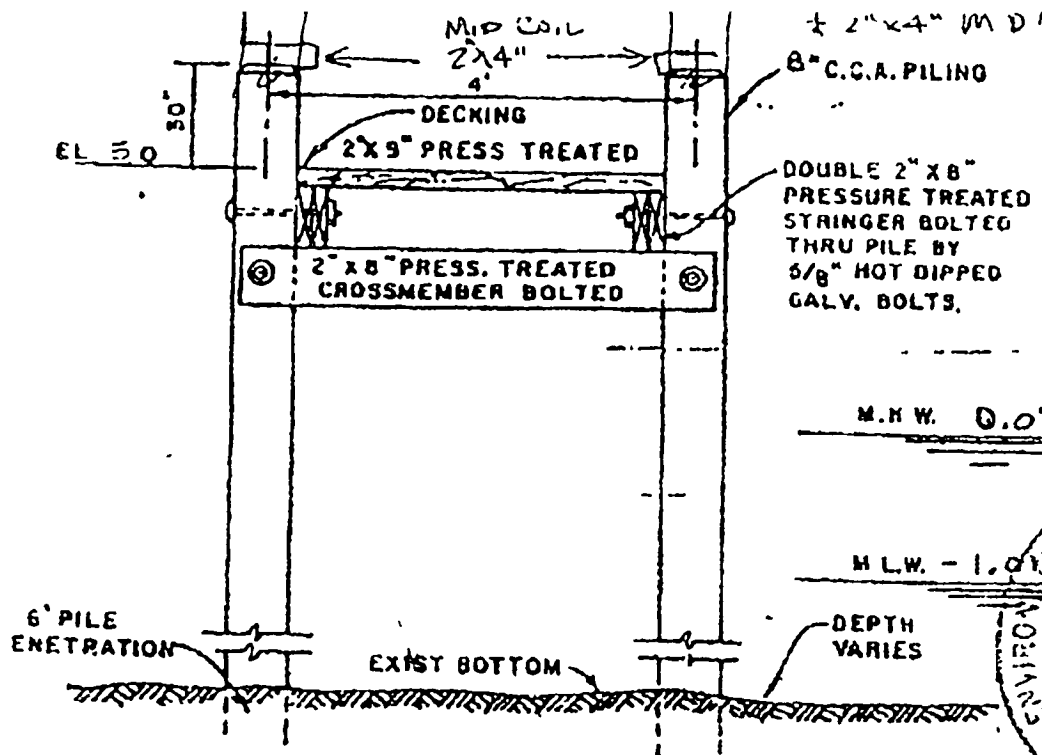
REV. 5/20/98



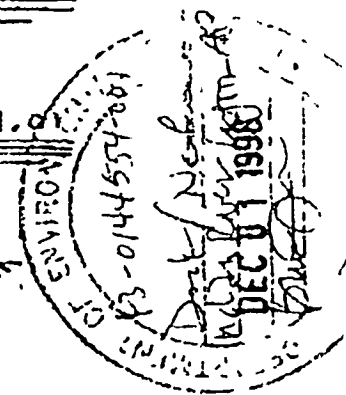
NEVILLE RESIDENCE  
100' WIDE

John Paul

Deck shall be  
5' ABOVE MHW  
WITH Decking  
Spaced 1/2" Apart  
min.



**SECTION**  
**4' PIER DETAIL**

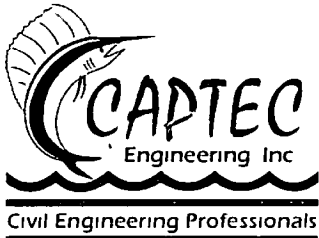


RECEIVED  
AUG 31 1998  
Dept of Environ. Protection  
Port St. Lucie

NEVILLE Residence  
104 N. Seward Pt. Rd.

PAGE 3 OF 6  
Rev 8/98

*Handwritten signature*



May 26, 2006  
932 25

Hammerhead Marine Construction  
C/O Mr Dennis Respol  
2121 SW Conant Avenue – Unit A  
Port St Lucie, FL 34953

***RE: Building Permit Application to rebuild a dock at the Alikhan Residence – 104 N. Sewall's Point Road***

Dear Mr Respol

Please be advised that a review has been performed of the materials received in our office on May 25, 2006, for the above referenced project and offer the following comments

- 1 The proposed dock shall be delineated on the survey

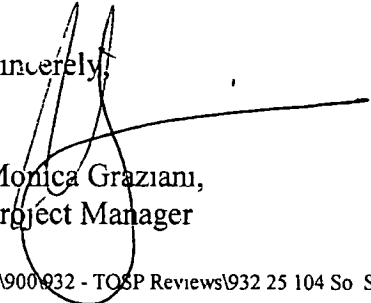
CAPTEC Engineering, Inc , a professional consultant, has been retained by the Town of Sewall's Point to assist the community with zoning issues relative to building permits Any service provided by CAPTEC Engineering, Inc will be a pass-thru' fee to the applicant

CAPTEC Engineering, Inc performed this review for the Town of Sewall's Point in order to confirm compliance with the applicable Codes and Regulations Neither the Reviewer nor the Town of Sewall's Point is the Design Engineer or Architect of Record and, therefore, neither entity accepts responsibility for the accuracy or contents of the design documents and/or other data submitted by the Applicant

Please note suggestions provided by CAPTEC Engineering, Inc are offered in order to assist the Applicant in complying with the Town of Sewall's Point Codes and Regulations However, the Applicant bears the burden of demonstrating that their submittal meets the applicable Town Code requirements

If you should need further clarification or have any questions with regard to this matter, please feel free to contact me

Sincerely,



Monica Graziani,  
Project Manager

P:\900932 - TO&P Reviews\932 25 104 So Sewalls Pt \1st Review 052606 doc



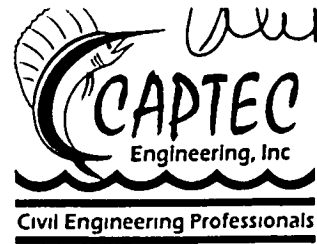
# CAPTEC Engineering, Inc.

301 N.W. Flagler Avenue, Stuart, FL 34994

772.692.4344 \* Fax: 772.692 4341 -

captec1@aol.com

6-15-06  
to MC  
Collect  
29375



*Alikhan*

## Invoice

Tuesday, June 13, 2006

Invoice Number: 9261

To Attention Mr Dennis Respol  
Hammerhead Marine Construction  
Unit A  
2121 SW Conant Avenue  
Port St Lucie, FL 34953

*Saira Alikhan Res.*  
528-9337038

Project: 932.25 Town of Sewall's Point: Permit Review - 104 N Sewall's Point Road

Professional Services for the Period 6/9/2006 to 6/13/2006

Task 2: Plan Review

### Professional Services

<u>Task 2 Plan Review</u>	<u>Bill Hours</u>	<u>Charge</u>
Office Manager	0 25	16 25
Project Coordinator	0 25	13 75
Project Coordinator	0 25	13 75
P E / Project Manager	0 00	0 00
P E / Project Manager	1 00	110 00
<b>Task 2 Plan Review Total</b>	<b>1 75</b>	<b>\$153 75</b>
<b>Professional Services Totals</b>		<b>\$153 75</b>

**\*\*\* Total Project Invoice Amount:**

**\$ 153.75**

Age [redacted] *Payment will stop if receivables reach 60 days.*

MAHBOOB M ALIKHAN  
SAIRA F ALIKHAN  
9610 FAIRWOOD COURT  
PORT ST LUCIE, FL 34986

CAP First  
Asset Management Account

6/23/06

Date

Pay to the order of Captec Engineering \$ 153 75

One hundred fifty-three and 75/100 Dollars



**WACHOVIA SECURITIES**  
Wachovia Bank, N.A.

For [redacted]

*Alikhan*

**Valerie Meyer**

---

**From** "Thomas J Baird" <tbaire@tjbairdlaw.com>  
**To** "bob" <bob@robertburson.com>  
**Cc** <builddpt@sewallspoint.martin.fl.us>  
**Sent** Tuesday, June 27, 2006 12:08 PM  
**Subject** RE: Sewall's Point Dock Permit

Bob, I am of the opinion that the dock permit may be assigned by the prior owner (and holder) of the permit. In reaching this conclusion I am assuming that an owner-builder permit was obtained from the town by the prior owner.

Thomas J Baird, Esq  
 Thomas J Baird, P A  
 11891 U S Highway One, Suite 105  
 North Palm Beach, FL 33408  
 (561) 625-4400  
 (561) 625-0610 - Fax  
 tbaire@tjbairdlaw.com

-----Original Message-----

**From:** bob [mailto:bob@robertburson.com]  
**Sent:** Tuesday, June 27, 2006 10:23 AM  
**To:** mgreen@tjbairdlaw.com, tbaire@tjbairdlaw.com  
**Subject:** FW: Sewall's Point Dock Permit

Ms Green & Mr Baird

I just realized that your email address is different from the email address that I previously typed - so, now using the correct email address, here is my request sent for the 3rd time & to be received by you for the 1st time.

Bob Burson  
 772 286-1616

---

**From:** Robert Burson [mailto:bob@robertburson.com]  
**Sent:** Monday, June 26, 2006 6:47 PM  
**To:** tbaire@tjbairdlaw.com  
**Subject:** Sewall's Point Dock Permit

Mr Baird

Please excuse me if you have already received this e-mail. I have had problems with my outgoing email and am not sure this went out to you so I am sending it again to be sure that it gets to you.

Bob Burson

----- Original Message -----

**Subject:** FW: Sewall's Point Dock Permit,  
**Date:** Mon, 26 Jun 2006 14:20:31 -0400  
**From:** Bob Burson <bob@PA.local>  
**To:** <bob@robertburson.com>

---

**From:** Bob Burson

6/27/2006

**Sent:** Monday, June 26, 2006 2 14 PM

**To:** 'tbaird@fjbairdlaw.com'

**Cc:** 'tony@premierrealtygroup.com', 'sv41969@aol.com', 'bulddpt@sewallspoint.martin.fl.us'

**Subject:** Sewall's Point Dock Permit,

RE 104 North Sewall's Point Road, Assignability of Dock Permit

Mr Baird

On June 12th you were kind enough to discuss with me and with Steve Vitale the question of whether a dock permit issued to an owner of a Sewall's Point home is assignable to someone who purchases the home after the permit is issued and before the work is started. Steve represents the seller (Mahboob Alikhan) and I represent the buyer (Louis & Marilyn Nacamuli).

We had been initially advised by Valerie at the building department that she was unaware of an assignment procedure but, after speaking to the Mayor, she advised us that, if you advise them, in writing, that an assignment is permissible, then the Town will allow the assignment without the buyer having to re-apply and go through the permit process.

If my understanding of our conversation is correct, will you please advise the Sewalls Point Building Department that a permit that is issued to the seller of a property may be assigned to the buyer of the property without the necessity of a new permit application? If so, you may simply reply to all of the addresses on this email and a copy will go to Valerie at the building department.

Thanks

Bob Burson  
772 286-1616

**Valerie Meyer**

---

**From** "Thomas J Baird" <tbaire@tjbairdlaw.com>  
**To** "Valerie Meyer" <builddpt@sewallspoint.martin.fl.us>  
**Cc** "Dan Morris" <corsaircapital@bellsouth.net>  
**Sent** Tuesday, June 27, 2006 12:21 PM  
**Subject** RE: Sewall's Point Dock Permit

My response addressed only the town's permitting, not DEP's processing. I presume the DEP permit would also have to be transferred.

Thomas J Baird, Esq  
Thomas J Baird, P A  
11891 U S Highway One, Suite 105  
North Palm Beach, FL 33408  
(561) 625-4400  
(561) 625-0610 - Fax  
tbaire@tjbairdlaw.com

-----Original Message-----

**From:** Valerie Meyer [mailto:builddpt@sewallspoint.martin.fl.us]  
**Sent:** Tuesday, June 27, 2006 8:07 AM  
**To:** tbaire@tjbairdlaw.com  
**Subject:** Fw: Sewall's Point Dock Permit

----- Original Message -----

**From:** Valerie Meyer  
**To:** Robert Burson, tbaire@fjbairdlaw.com  
**Cc:** Dan Morris  
**Sent:** Monday, June 26, 2006 3:51 PM  
**Subject:** Re: Sewall's Point Dock Permit

Mr Burson

- Please note that the DEP is involved in this matter and they are the ones that allowed this permit to be granted to the Alikhan's - If Mr Baird has authorized this procedure then I presume it is allowable by law.

Valerie

----- Original Message -----

**From:** Robert Burson  
**To:** tbaire@fjbairdlaw.com  
**Cc:** builddpt@sewallspoint.martin.fl.us  
**Sent:** Monday, June 26, 2006 2:22 PM  
**Subject:** Sewall's Point Dock Permit

---

**From:** Bob Burson  
**Sent:** Monday, June 26, 2006 2:14 PM  
**To:** 'tbaire@fjbairdlaw.com'  
**Cc:** 'tony@premierrealtygroup.com', 'sv41969@aol.com', 'builddpt@sewallspoint.martin.fl.us'  
**Subject:** Sewall's Point Dock Permit,

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Thanks

Bob Burson  
772 286-1616

---

No virus found in this incoming message  
Checked by AVG Free Edition  
Version 7.1.394 / Virus Database 268.9.4/375 - Release Date 6/25/2006

**Valerie Meyer**

---

**From** "Valerie Meyer" <builddpt@sewallspoint martin fl us>  
**To** "Robert Burson" <bob@robertburson com>, <tbaire@fjbairdlaw com>  
**Cc** "Dan Morris" <danmorris@bellsouth net>  
**Sent** Monday, June 26, 2006 3 51 PM  
**Subject** Re Sewall's Point Dock Permit

Mr Burson

- Please note that the DEP is involved in this matter and they are the ones that allowed this permit to be granted to the Alikhan's
- If Mr Baird has authorized this procedure then I presume it is allowable by law

Valerie

----- Original Message -----

**From** Robert Burson  
**To** tbaire@fjbairdlaw com  
**Cc** builddpt@sewallspoint martin fl us  
**Sent** Monday, June 26, 2006 2 22 PM  
**Subject** Sewall's Point Dock Permit

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**From:** Bob Burson  
**Sent:** Monday, June 26, 2006 2 14 PM  
**To:** 'tbaire@fjbairdlaw com'  
**Cc:** 'tony@premierrealtygroup com', 'sv41969@aol com', 'builddpt@sewallspoint martin fl us'  
**Subject.** Sewall's Point Dock Permit,

RE 104 North Sewall's Point Road, Assignability of Dock Permit

Mr Baird

On June 12th you were kind enough to discuss with me and with Steve Vitale the question of whether a dock permit issued to an owner of a Sewall's Point home is assignable to someone who purchases the home after the permit is issued and before the work is started Steve represents the seller (Mahboob Alikhan) and I represent the buyer (Louis & Marilyn Nacamuli)

We had been initially advised by Valerie at the building department that she was unaware of an assignment procedure but, after speaking to the Mayor, she advised us that, if you advise them, in writing, that an assignment is permissible, then the Town will allow the assignment without the buyer having to re-apply and go through the permit process

If my understanding of our conversation is correct, will you please advise the Sewalls Point Building Department that a permit that is issued to the seller of a property may be assigned to the buyer of the property without the necessity of a new permit application? If so, you may simply reply to all of the addresses on this email and a copy will go to Valerie at the building department

Thanks

Bob Burson  
772 286-1616

# VARIANCE

SHORELINE

DEPTHS BASED ON MLW.

1" = 30'

SANGIANELLI CONST. INC.  
JENSEN BEACH, FLA.  
C/LA 34027

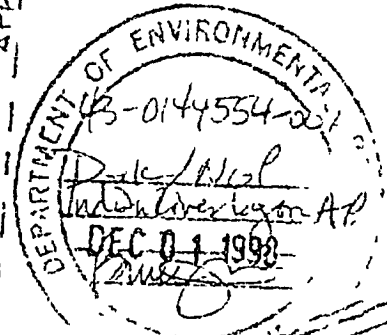
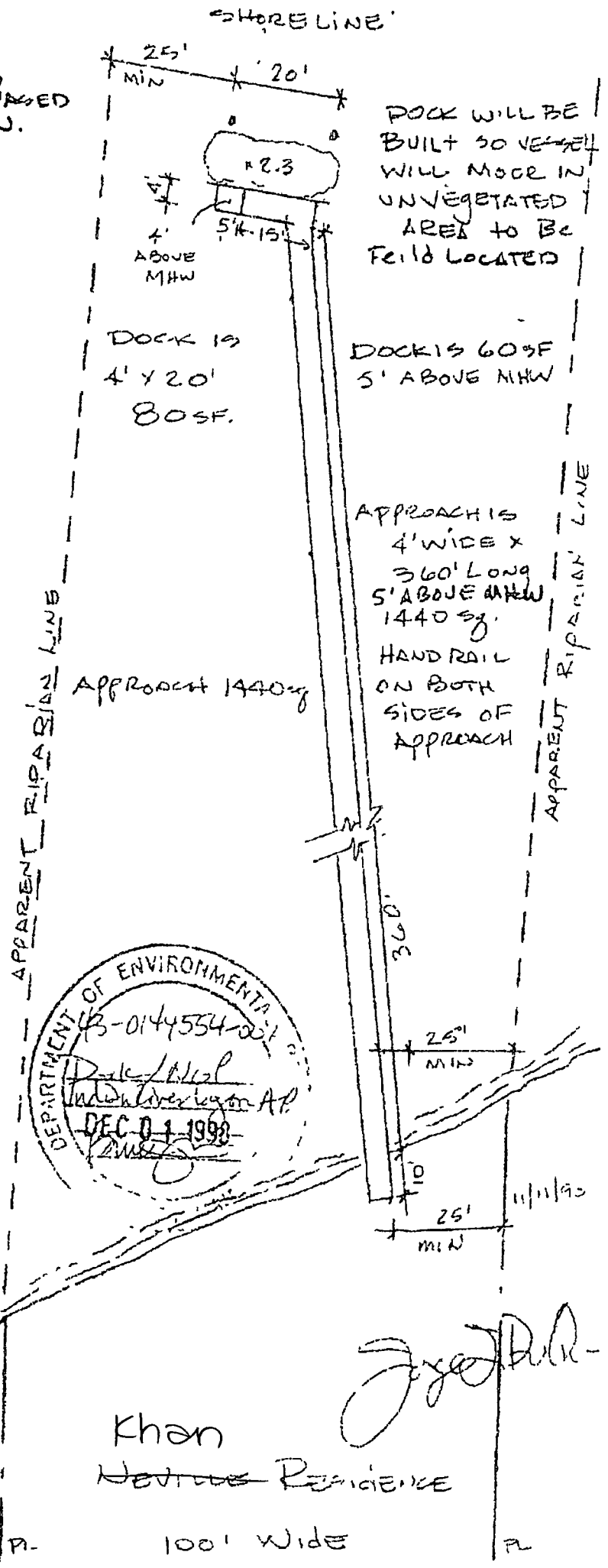
Khan  
~~NEVILLE~~ RESIDENCE  
104 N. SEWALLS PT RD.  
SEWALLS PT.

CONSTRUCTION WILL BE AS FOLLOWS: PILING SET BY HAND WITH WATER JET & TURBIDITY CLOTH.

Decking Shall be Spaced 1/2" APART. MIN.

SITE COPIES

RECEIVED  
AUG 31 1998  
Dept of Environ Protection  
Port St. Lucie



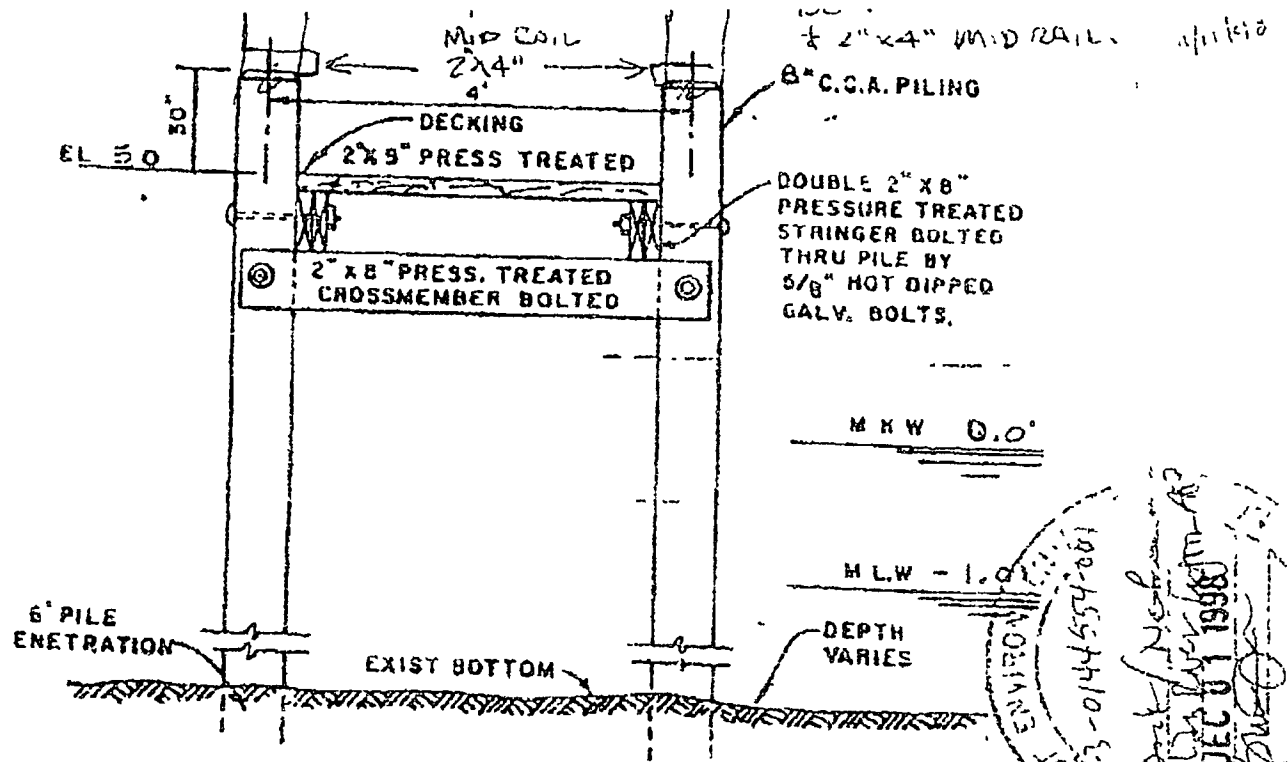
Khan  
~~NEVILLE~~ RESIDENCE

REV. 5/20/95

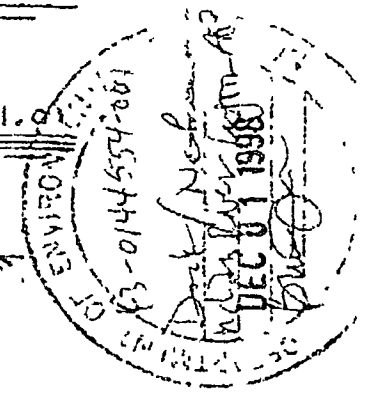


Deck shall be  
5' ABOVE MHW  
WITH Decking  
Spaced 1/2" Apart  
min.

*Project Done*



**SECTION  
4' PIER DETAIL**



**CANGIANELLI**  
Construction

RECEIVED  
AUG 31 1998  
Dept of Environ Protection  
Port St. Lucie

NEVILLE Residence  
104 N. Seawall Pt. Rd.

PAGE 3 OF 6

Rev 3/98

Robert Sandy  
175 SW Fanner Hwy  
Stuart FL 34997

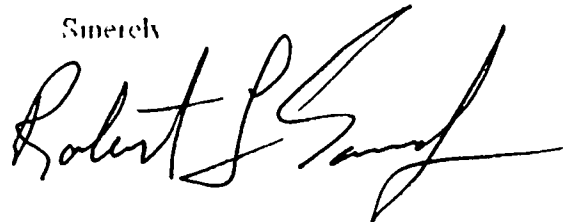
General Contractor CG-C040310

(761) 220-1051

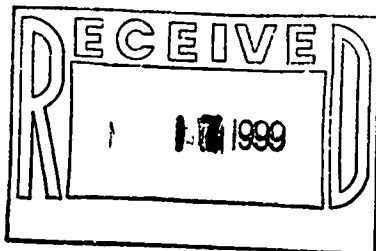
To Sewall's Pt Commissioners  
Re Dock permit for Dr. Ali Kahn

Request permit application for Dr. Ali Kahn to be deferred to a later date. We are in the process of negotiating with the state on a revision to the existing permit that would allow us to build a dock in common with the neighbor to the south. We feel this will minimize the impact on the environment by not building two docks. It will also move the dock to the southern most side of the property which we hope will help mitigate concerns of the property owner to the north.

Sincerely



5-17-99



TOWN OF SEWALL'S POINT, FLORIDA

NOTICE OF APPEAL FROM DENIAL OF DOCK PERMIT

NOTICE IS HEREBY GIVEN, pursuant to Section 4.5-4(d) of the Code of Ordinances of the Town of Sewall's Point, Florida, that the applicant identified below will appeal to the Town Commission of the Town of Sewall's Point, Florida, from the denial of a permit for the construction of a dock on the property located at the street address given below for the reasons indicated below at a meeting of the Sewall's Point Town Commission at the Sewall's Point Town Hall, One South Sewall's Point Road, Sewall's Point, Florida at the time and on the date set forth below, or as soon thereafter as is possible.

NAME OF APPLICANT: Ali Kahn

STREET ADDRESS OF PROPERTY: 104 North Sewall's Point Road

REASON FOR DENIAL OF DOCK PERMIT:

- Failure to obtain letters of no objection from adjacent upland repairing and owners.
- Failure to comply with the standards and criteria for docks in the following respects:
  - Length: \_\_\_\_\_
  - Design: \_\_\_\_\_
  - Construction. \_\_\_\_\_
  - Siting: \_\_\_\_\_
  - Other: \_\_\_\_\_

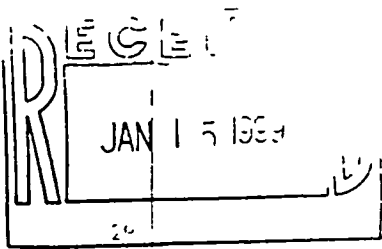
The completed application for the permit to construct the dock may be inspected at the Town Hall during regular business hours. All interested parties may appear at the meeting and may be heard with respect to the appeal. If any person decides to appeal any decision made by the Town Commission with respect to any matter considered at the meeting or hearing, he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

This notice shall be posted on the Town Hall bulletin board and shall be sent by certified mail, return receipt requested, by the applicant and at the applicant's expense, to all record owners of upland riparian property located adjacent to the property involved in the appeal, with the date of mailing being at least fifteen (15) days before the date of the hearing. At or before the public hearing, the applicant shall present proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons.

Dated: 3-31-, 1999

Meeting, Tuesday,  
April 20, 1999  
7:30 PM

Joan H. Barrow  
JOAN H. BARROW, Town Clerk



JANUARY 14, 1999

30 MR ROBERT WIENKE  
33 BUILDING COMMISSIONER  
22 SEWALL'S POINT TOWN HALL  
25 1 SOUTH SEWALL'S POINT ROAD  
2 SEWALL'S POINT, FLORIDA 34996

7 DEAR MR. WIENKE:

RECENTLY I RECEIVED A LETTER FROM CANGIANEWH  
CONSTRUCTION REQUESTING THAT I SIGN AND HAVE  
NOTARIZED A LETTER OF NO OBJECTION TO A DOCK  
BEING CONSTRUCTED AT 104 NORTH SEWALL'S POINT RD.  
WHICH IS THE NEVILLE RESIDENCE

I STRONGLY OBJECT TO THE CONSTRUCTION OF A DOCK  
AT 104 NORTH SEWALL'S POINT ROAD BECAUSE IT WOULD  
GREATLY DIMINISH MY VIEW OVERLOOKING THE INDIAN  
RIVER. IT WOULD ALSO DEVALUE MY HOME FOR  
THAT SPECIFIC REASON. MY HOME IS CURRENTLY ON  
THE MARKET FOR SALE. I DO NOT FEEL THAT MOST PEOPLE  
WHO WOULD BE WILLING TO PAY A SUBSTANTIAL AMOUNT  
OF MONEY TO LIVE ON THE INDIAN RIVER AND ENJOY  
IT'S TRANQUILITY AND LOVELY VIEW CARE TO LOOK OUT  
OVER SOMEONE'S WOOD AND PILINGS STRUNG OUT IN A  
VERY LONG LINE ON A DAILY BASIS.

I WANT TO THANK YOU SO MUCH FOR UNDERSTANDING.

SINCERELY,

Mrs. Joann D. Kizgula

cc: BUILDING OFFICIAL  
SEWALL'S POINT COMMISSIONER

TOWN OF SEWALL'S POINT, FLORIDA

NOTICE OF APPEAL FROM DENIAL OF DOCK PERMIT

NOTICE IS HEREBY GIVEN, pursuant to Section 4 5-4(d) of the Code of Ordinances of the Town of Sewall's Point, Florida, that the applicant identified below will appeal to the Town Commission of the Town of Sewall's Point, Florida, from the denial of a permit for the construction of a dock on the property located at the street address given below for the reasons indicated below at a meeting of the Sewall's Point Town Commission at the Sewall's Point Town Hall, One South Sewall's Point Road, Sewall's Point, Florida at the time and on the date set forth below, or as soon thereafter as is possible.

NAME OF APPLICANT: Dr. Al. Khan

STREET ADDRESS OF PROPERTY 104 N Sewalls Pt. Rd  
Sewalls Pt.

REASON FOR DENIAL OF DOCK PERMIT

Failure to obtain letters of no objection from adjacent upland repairing and owners.

Failure to comply with the standards and criteria for docks in the following respects:

Length \_\_\_\_\_

Design \_\_\_\_\_

Construction. \_\_\_\_\_

Siting \_\_\_\_\_

Other: \_\_\_\_\_

DATE AND TIME OF MEETING Tues Feb 16, 1999, 7:30 P M.

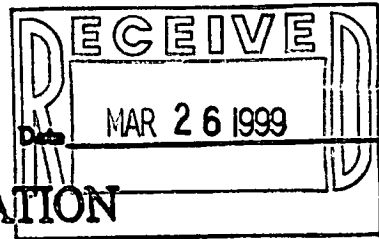
The completed application for the permit to construct the dock may be inspected at the Town Hall during regular business hours. All interested parties may appear at the meeting and may be heard with respect to the appeal. If any person decides to appeal any decision made by the Town Commission with respect to any matter considered at the meeting or hearing, he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

This notice shall be posted on the Town Hall bulletin board and shall be sent by certified mail, return receipt requested, by the applicant and at the applicant's expense, to all record owners of upland riparian property located adjacent to the property involved in the appeal, with the date of mailing being at least fifteen (15) days before the date of the hearing. At or before the public hearing, the applicant shall present proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons.

Dated. January 29, 1999

Joan H. Barrow  
JOAN H. BARROW, Town Clerk

Town of Sewall's Point



PLN \_\_\_\_\_

BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION  ADDITION  ALTERATION  DEMOLITION

RESIDENTIAL  COMMERCIAL \_\_\_\_\_ SF \_\_\_\_\_ CF

OTHER: Deck CONTRACT PRICE \$22,000

Owner's Name Dr. Ali Khan

Owner's Address 104 N Sewalls Pt. Rd., Sewalls Pt.

Fee Simple Titleholder's Name (If other than owner) \_\_\_\_\_

Fee Simple Titleholder's Address (If other than owner) \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Contractor's Name Robert Sandy

Contractor's Address 175 S.W. Kanner Hwy

City Stuart State Fl. Zip 34997

Job Name Dr. Ali Khan

Job Address 104 N Sewalls Pt. Rd.

City Sewalls Pt. State Fl. Zip 34996

Legal Description Sec 35 Township 37S Range 41E93T

Bonding Company \_\_\_\_\_

Bonding Company Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Architect/Engineer's Name \_\_\_\_\_

Architect/Engineer's Address \_\_\_\_\_

Mortgage Lender's Name \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

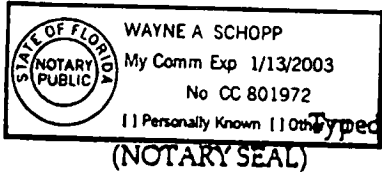
IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]  
Owner or Agent 3-24-99  
Date

Robert L. Sany  
Contractor 3/25/99  
Date

COUNTY OF MARTIN  
STATE OF FLORIDA

Sworn to and subscribed before me this 24 day of March 1999 by Mahboob Ali Khan who: [] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_ as identification, and who did not take an oath.



Name: Wayne A. Schopp  
Typed, printed or stamped

I am a Notary Public of the State of Florida having a commission number of CC 801972 and my commission expires: 1-13-2003

STATE OF FLORIDA  
COUNTY OF MARTIN

Sworn to and subscribed before me this 25 day of March 1999 by Robert Sany who: [] is/are personally known to me, or [ ] has/have produced \_\_\_\_\_ as identification, and who did not take an oath.

Name: Wayne A. Schopp  
Typed, printed or stamped  
(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of CC 801972 and my commission expires: 1/13/2003

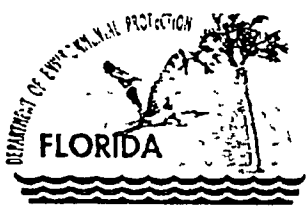
Certificate of Competency Holder

Contractor's State Certification or Registration No. CCC 040310

Contractor's Certificate of Competency No. \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_ Permit Officer

\_\_\_\_\_ Building Commissioner



# Department of Environmental Protection

**FILE COPY**  
Virginia B. Wetherell  
Secretary

Lawton Chiles  
Governor

Port St. Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St. Lucie, FL 34952  
(561)871-7662 (561)335-4310

**DEC 01 1998**

*former owner of Khan Property*

C B Neville  
534 Miner Drive  
Richmond Hill, GA 31324

Re File No 43-0144554-001  
Martin County

Dear Mr Neville

On August 11, 1998, we received your notice of intent to use a Noticed General Permit (NGP) pursuant to Rule 62-341 427, Florida Administrative Code (F A C ) to perform the following activities construct a 1,520 square foot single family docking stucture with a 360' X 4' access pier and a 20' X 4' terminal platform and an associated mooring area in the Indian River Lagoon, (Class III waters of the state) Your project is located at 104 North Sewall's Point Road (Section 35, Township 37 South, Range 41 East) Stuart, Martin County

Your intent to use a NGP has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization The authority for review and the outcomes of the reviews are listed below Please read each section carefully Your project **may not** have qualified for all three forms of authorization If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it

### Regulatory Review

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F S ), Title 62, F A C , and in accordance to operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F A C Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341 427, F A C )

Activities performed under the NGP are subject to the general conditions required in Rule 62-341 215, F A C (attached), and to the specific conditions of the permit for which notice was given (62-341 427, F A C ) (attached) Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties A stamped plan view and vicinity map for the project are attached

Please be advised that the construction phase of the NGP must be completed within 5 years from the date the notice to use the NGP was received by the Department If you wish to continue this noticed general permit beyond the expiration date, you must notify the Department at least 30 days before its expiration



**Proprietary Review (related to state-owned lands)**

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F S , Chapters 18-20 and 18-21, F A C , and Section 62-343 075, F A C

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253 77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

**Federal Review (State Programmatic General Permit)**

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U S Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U S Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached U S Army Corps of Engineers (the Corps) general conditions apply to your project. No further permitting for this activity is required by the Corps.

**NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS**

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106 111, F A C , a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place, or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

The Department will not publish notice of this determination. *Publication of this notice by you is optional and not required for you to proceed*. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits.

If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place.

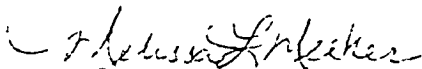
If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50 011 and 50 031, F S. In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection  
Southeast District - Port St Lucie Branch Office  
Submerged Lands & Environmental Resources Program  
1801 SE Hillmoor Drive Suite C-204, Port St Lucie, FL 34952

If you revise your project after submitting the initial joint application, please contact us as soon as possible. Also, if you have any questions, please contact **Bruce Jerner** of this office, at telephone (561) 871-7662. When referring to this project, please use the FDEP file name number listed above.

Sincerely,



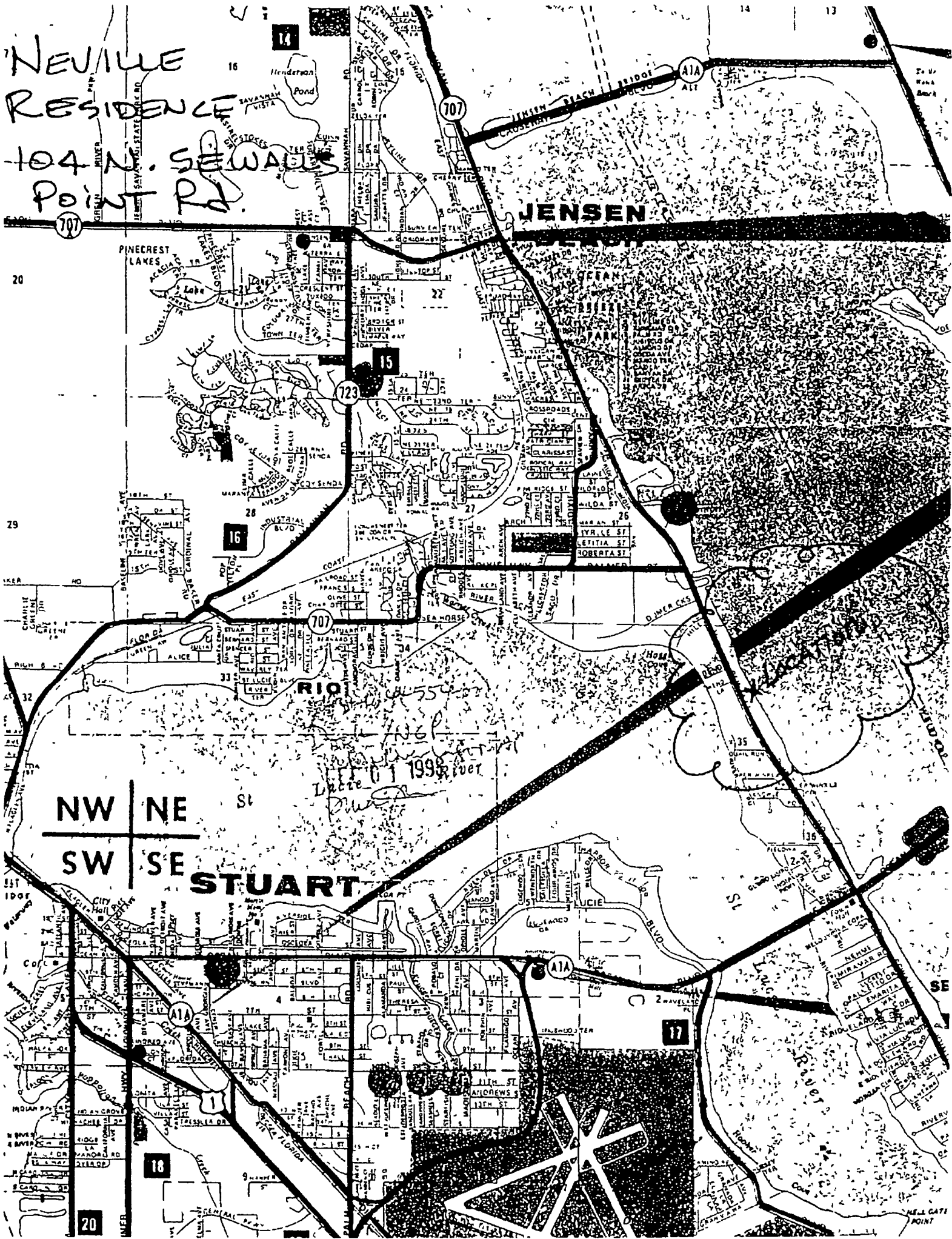
Melissa L. Meeker  
Environmental Administrator

MLMBJ  
pss

Enclosures NGP General Conditions, 62-341 215, F A C  
NGP Specific Conditions, 62-341 427, F A C  
Federal General Conditions  
Federal Manatee Conditions  
Federal Permit Transfer Request  
Attachment A- Newspaper Publication Notice  
Attachment C- Single Family Dock Criteria  
Project Drawings

cc U S Army Corps of Engineers, Stuart (without enclosures)  
Cangianelli Construction, Inc (Agent) (with enclosures)

NEVILLE  
RESIDENCE  
104 N. SEWARD  
POINT RD.



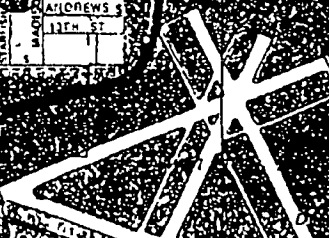
JENSEN

RIO

STUART

NW NE  
SW SE

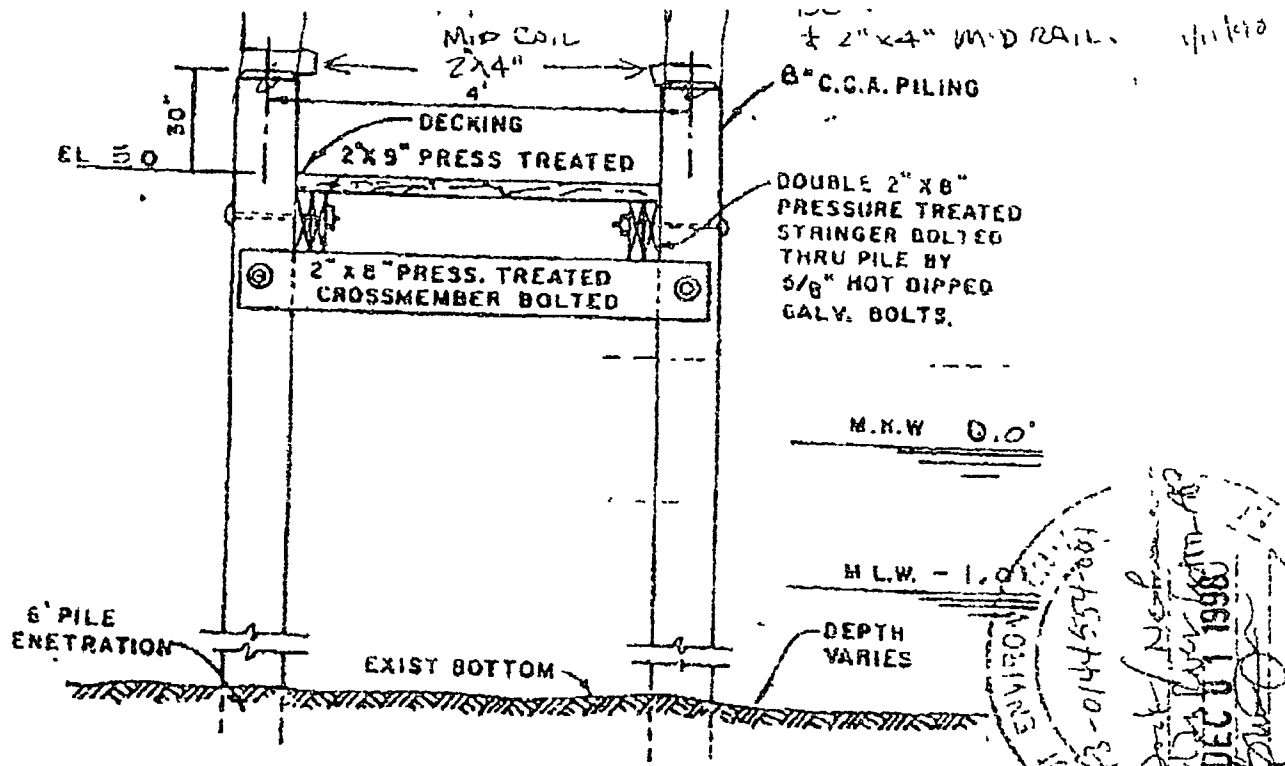
Date of 1998  
River



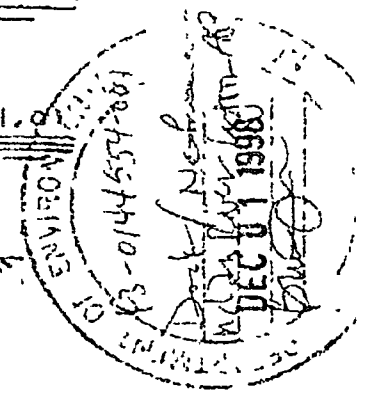


Deck shall be  
5' ABOVE MHW  
WITH Decking  
SPACED 1/2" APART  
MIN.

*Project Done*



**SECTION**  
**4' PIER DETAIL**



**CANGIANELLI**  
*construction*

RECEIVED  
AUG 31 1998  
Dept. of Environ. Protection  
Port St. Lucie

NEVILLE Residence  
104 N. Seward Pt. Rd.

PAGE 3 OF 6  
REV 3/98

# IIL BUILDING INDUSTRY SERVICES

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Date: 3/31/99

To ROBERT SANDY Fax \_\_\_\_\_

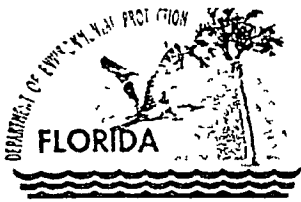
The building permit for property located at 104 N SEWALL'S PT. RD.

has been denied for the following reasons

1. PAY DOCK FEE OF \$240.00
2. PAY PLAN REVIEW FEE OF \$2.11
3. LETTERS OF NO OBJECTION PER SECT. 4-5-4(2)
4. DOCK EXCEEDS MAX. 250' EXTENSION.
5. PROVIDE REFLECTIVE DEVICES PER SECT. 4-5-3(2) ↓
6. DECKING TO BE SPACED 1" APART.
7. OPEN AREA NEEDS TO BE DEFINED

*F Collins, BU979*

TOWN OF SEWALL'S POINT



# Department of Environmental Protection

**FILE COPY**  
Virginia B. Weatherell  
Secretary

Lawton Chiles  
Governor

Port St. Lucie Branch Office  
1801 SE Hillmoor Drive  
Suite C-204  
Port St. Lucie, FL 34952  
(561)871-7662 (561)335-4310

**DEC 01 1998**

*TOWN COPIES*

C B Neville  
534 Miner Drive  
Richmond Hill, GA 31324

Re File No 43-0144554-001  
Martin County

Dear Mr. Neville

On August 11, 1998, we received your notice of intent to use a Noticed General Permit (NGP) pursuant to Rule 62-341.427, Florida Administrative Code (F.A.C.) to perform the following activities: construct a 1,520 square foot single family docking structure with a 360' X 4' access pier and a 20' X 4' terminal platform and an associated mooring area in the Indian River Lagoon, (Class III waters of the state). Your project is located at 104 North Sewall's Point Road (Section 35, Township 37 South, Range 41 East) Stuart, Martin County.

Your intent to use a NGP has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

### Regulatory Review

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance to operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C. Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341.427, F.A.C.).

Activities performed under the NGP are subject to the general conditions required in Rule 62-341.215, F.A.C. (attached), and to the specific conditions of the permit for which notice was given (62-341.427, F.A.C.) (attached). Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties. A stamped plan view and vicinity map for the project are attached.

Please be advised that the construction phase of the NGP must be completed within 5 years from the date the notice to use the NGP was received by the Department. If you wish to continue this noticed general permit beyond the expiration date, you must notify the Department at least 30 days before its expiration.

**Proprietary Review (related to state-owned lands)**

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F S , Chapters 18-20 and 18-21, F A C , and Section 62-343 075, F A C

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253 77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

**Federal Review (State Programmatic General Permit)**

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U S Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U S Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is consistent with the SPGP program. The attached U S Army Corps of Engineers (the Corps) general conditions apply to your project. No further permitting for this activity is required by the Corps.

**NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS**

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106 111, F A C , a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place, or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).



The Department will not publish notice of this determination *Publication of this notice by you is optional and not required for you to proceed* However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits

If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place

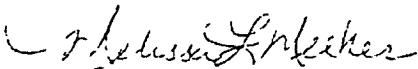
If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50 011 and 50 031, F S In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice

Florida Department of Environmental Protection  
Southeast District - Port St Lucie Branch Office  
Submerged Lands & Environmental Resources Program  
1801 SE Hillmoor Drive Suite C-204, Port St Lucie, FL 34952

If you revise your project after submitting the initial joint application, please contact us as soon as possible Also, if you have any questions, please contact **Bruce Jerner** of this office, at telephone (561) 871-7662 When referring to this project, please use the FDEP file name number listed above

Sincerely,



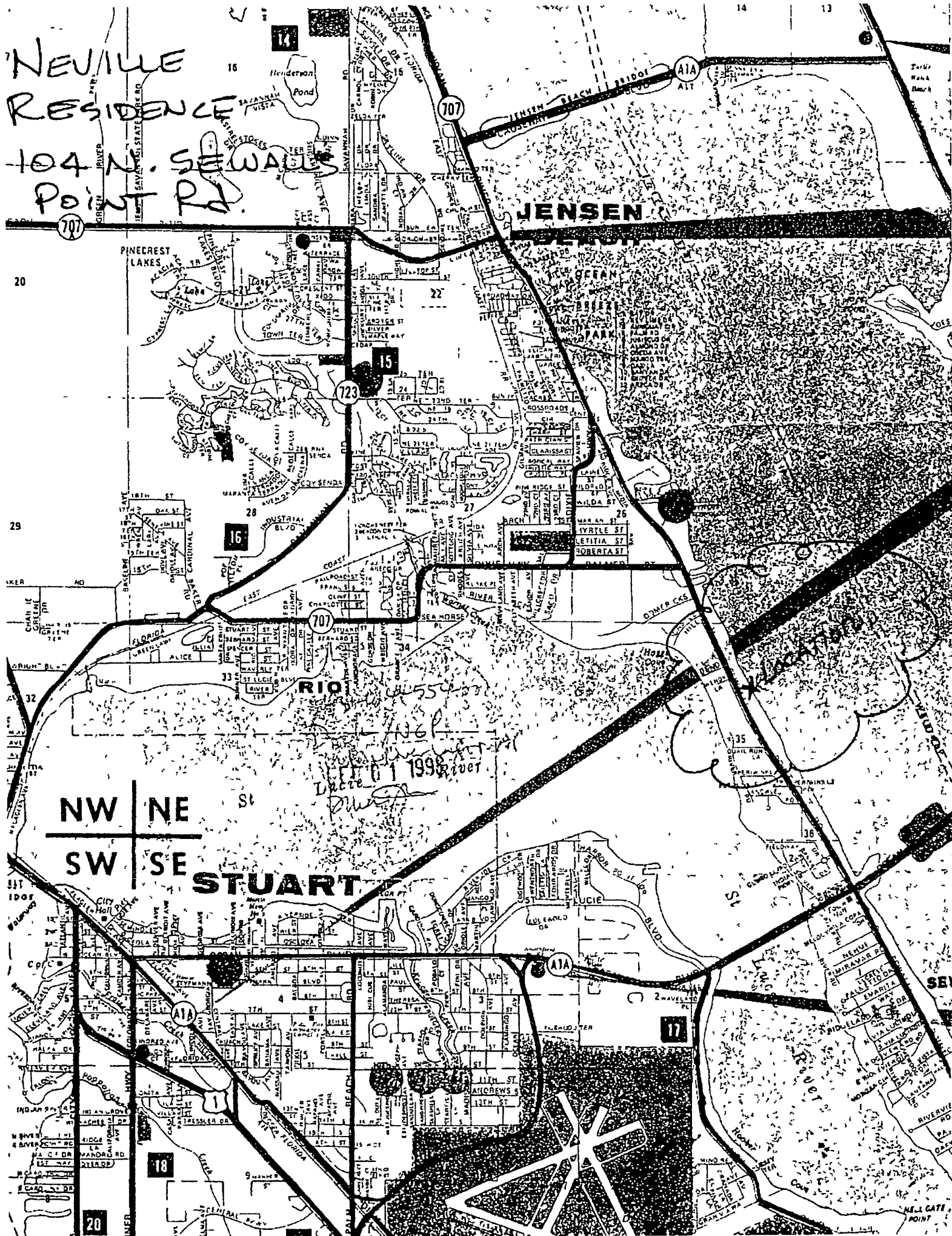
Melissa L Meeker  
Environmental Administrator

MLMBJ *ps*

Enclosures NGP General Conditions, 62-341 215, F A C  
NGP Specific Conditions 62-341 427, F A C  
Federal General Conditions  
Federal Manatee Conditions  
Federal Permit Transfer Request  
Attachment A- Newspaper Publication Notice  
Attachment C- Single Family Dock Criteria  
Project Drawings

cc U S Army Corps of Engineers, Stuart (without enclosures)  
Cangianelli Construction, Inc (Agent) (with enclosures)

NEVILLE  
RESIDENCE  
104 N. SEWALLS  
POINT RD.



DEPTHS BASED ON MLW.

1" = 30'

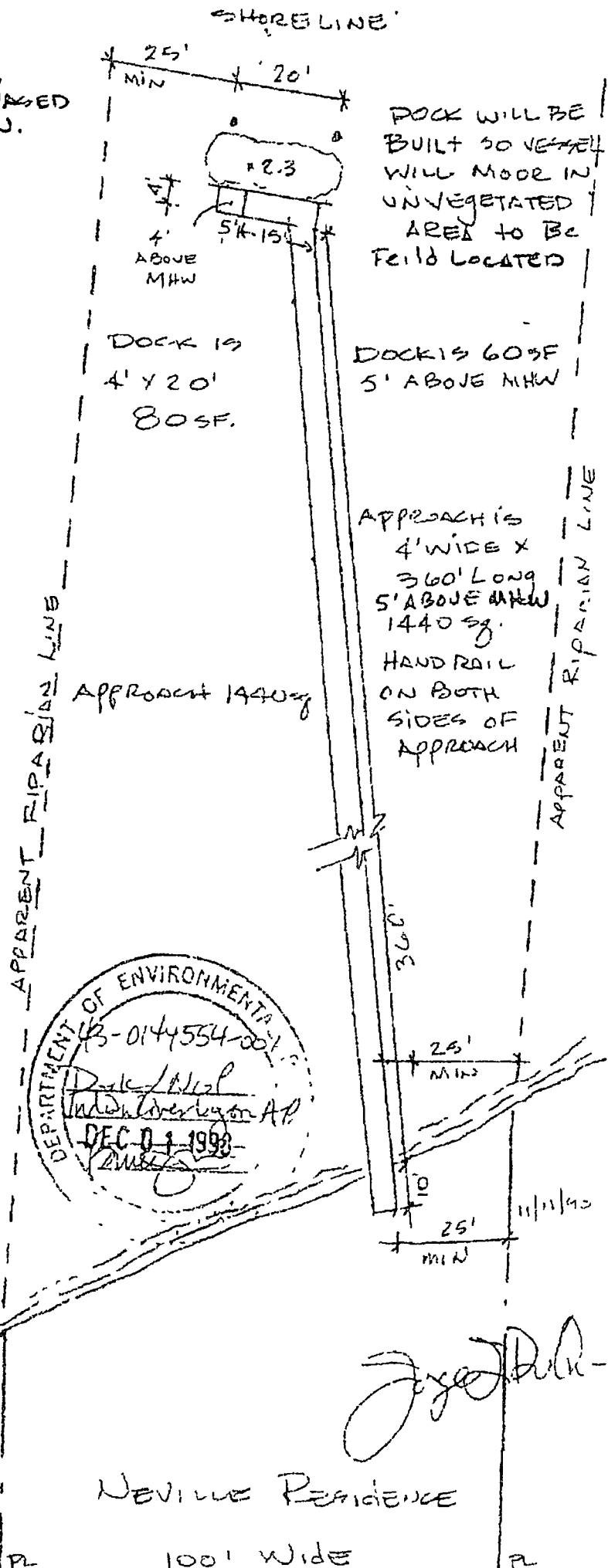
LANGRANELLI CONST. INC  
JENSEN BEACH, FLA.  
CG 64 34027

NEVILLE RESIDENCE  
104 N. SEWALLS PT RD.  
SEWALLS PT

CONSTRUCTION WILL BE AS FOLLOWS: PILING SET BY HAND WITH WATER LOT & TURBIDITY CLOTH.

DECKING STRAU TO SPACED 1/2" APART. MIN.

RECEIVED  
AUG 31 1998  
Dept. of Environ Protection  
Port St. Lucie



DOCK WILL BE BUILT SO VESSEL WILL MOOR IN UNVEGETATED AREA TO BE FIELD LOCATED

DOCK IS 4' x 20' 80 SF.

DOCK IS 60 SF 5' ABOVE MHW

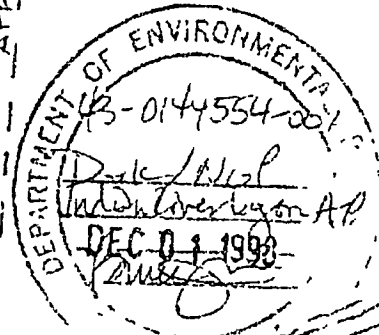
APPROACH IS 4' WIDE x 360' LONG 5' ABOVE MHW 1440 SF.

HAND RAIL ON BOTH SIDES OF APPROACH

APPROACH 1440 SF

APPARENT RIPARIAN LINE

APPARENT RIPARIAN LINE



Jorge P...

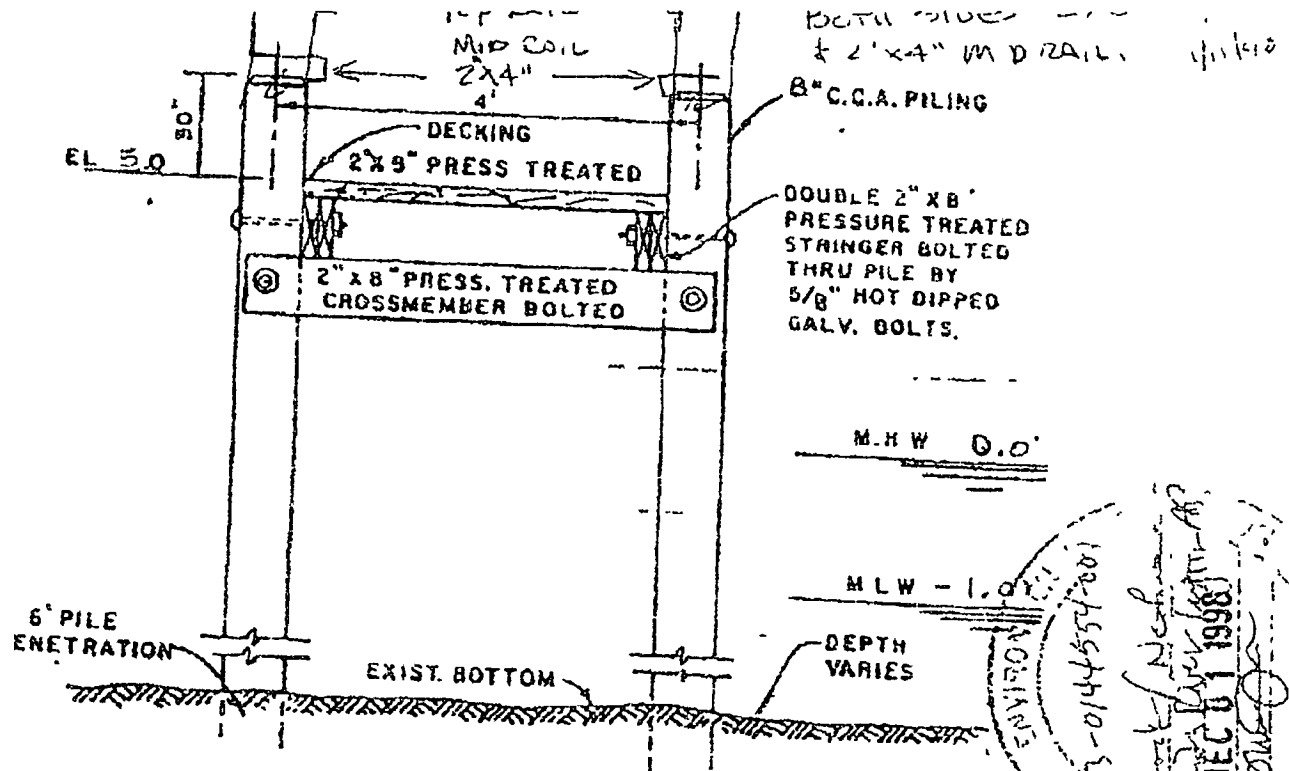
NEVILLE RESIDENCE

100' WIDE

REV. 5/20/98

Deck shall be  
5' ABOVE MHW  
WITH Decking  
Spaced 1/2" Apart  
min.

*Project Draw*



100-5557410-53  
DEC 01 1998  
ENVIRONMENTAL  
PROTECTION  
DEPT. OF ENVIRONMENTAL  
PROTECTION  
PORT ST. LUCA

**SECTION  
4' PIER DETAIL**

**CANGIANELLI**  
construction

RECEIVED  
AUG 31 1998  
Dept. of Environ Protection  
Port St. Lucia

NEVILLE Residence  
104 N. Sevan Pt. Rd.

Page 3 of 6  
Rev 8/96

Resolution No 586  
Page 1

INSTR # 1670998  
CR BK 01782 PG 1984  
RECORDED 06/27/2003 02:01:37 PM  
MARSHA EWING  
CLERK OF MARTIN COUNTY FLORIDA  
RECORDED BY C Burkey

RESOLUTION NO. 586

**A RESOLUTION OF THE TOWN OF SEWALL'S  
POINT, FLORIDA, GRANTING THE APPEAL OF  
MAHBOOB M. ALIKHAN, FROM THE DENIAL OF  
A DOCK PERMIT FOR CONSTRUCTION OF A  
DOCK AT 104 NORTH SEWALL'S POINT ROAD,  
SEWALL'S POINT, FLORIDA**

WHEREAS, Mahboob M AliKhan (the "Applicant") applied to the Town of Sewall's Point Building Department for a Dock Permit to construct a dock at 104 North Sewall's Point Road, Sewall's Point, Florida, and

WHEREAS, the Applicant's application was denied because the proposed dock did not meet the specifications of Chapter 62, Town of Sewall's Point Code of Ordinances, and

WHEREAS, the Applicant filed a Notice of Appeal pursuant to Chapter 62 of the Town Code, and

WHEREAS, the Town Commission held a public hearing on the appeal on March 18 15, 2003, and

WHEREAS, notice of the public hearing was posted at the Town Hall bulletin board and notice of the public hearing was sent by certified mail, return receipt requested, by the Applicant, to all record owners of upland riparian property located adjacent to the property involved in the appeal and the date of the mailing was at least fifteen (15) days before the date of the hearing (or notice was waived by the adjacent owners), and

WHEREAS, the Applicants at the public hearing presented proof of the identity and

Resolution No 586  
Page 2

address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons (or their waiver), and

WHEREAS, the Town Commission at the public hearing made the finding that the Applicants demonstrated an extreme hardship which justified a variance from Chapter 62 of the Town Code,

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, AS FOLLOWS

- 1 The Applicant's appeal is hereby granted
- 2 The Town Building Department, upon the payment of the appropriate permit application fee, shall issue a Dock Permit for the Applicant to construct the dock in accordance with the plans and specifications reviewed by the Town Commission at the public hearing (Exhibit "A" attached)
- 3 This resolution shall not constitute permission or a license, either now or in the future, to conduct any activity other than the construction of the dock as proposed by the Applicant in his permit application. Any material deviation in construction from the Dock Permit, survey, drawings, plans, or other application materials provided to the Town Building Department by the Applicant, shall revoke the approval granted by this resolution and shall be a violation of the Town of Sewall's Point Code of Ordinances

Resolution No 586  
Page 3

The vote was as follows

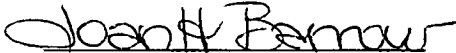
	AYE	NAY
MARC S TEPLITZ, Mayor	<u>✓</u>	<u>      </u>
JAMES D BERCAW, Vice Mayor	<u>✓</u>	<u>      </u>
RICHARD L BARON, Commissioner	<u>✓</u>	<u>      </u>
THOMAS P BAUSCH, Commissioner	<u>✓</u>	<u>      </u>
E DANIEL MORRIS, Commissioner	<u>✓</u>	<u>      </u>

The Mayor thereupon declared this Resolution approved and adopted by the Town Commission of the Town of Sewall's Point on this 18<sup>th</sup> day of March, 2003

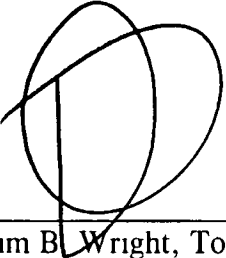
TOWN OF SEWALL'S POINT, FLORIDA

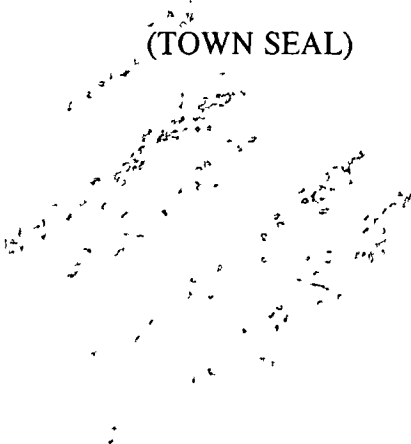
  
\_\_\_\_\_  
MARC S TEPLITZ, Mayor

ATTEST

  
Joan H Barrow, Town Clerk

(TOWN SEAL)

  
\_\_\_\_\_  
Tim B Wright, Town Attorney  
Approved as to form and  
legal sufficiency





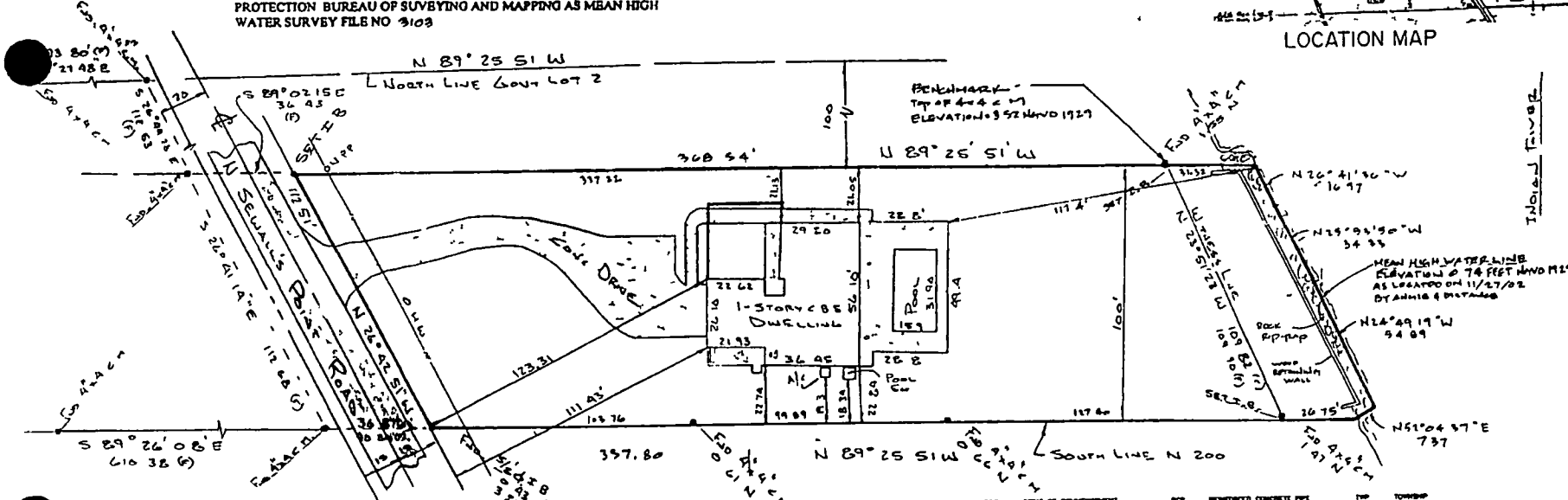
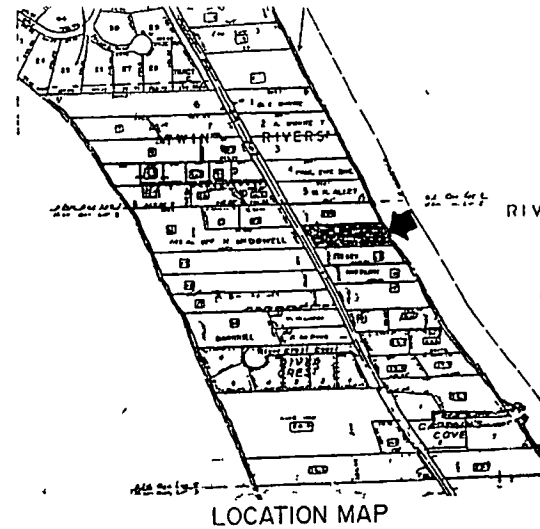


### LEGAL DESCRIPTION

That portion of the South 100 feet of the North 200 feet of Government Lot 2, Section 13, TOWNSHIP 37 South, Range 41 East, lying Easterly from the Sewall's Point Road, and extending to the waters of the Indian River.

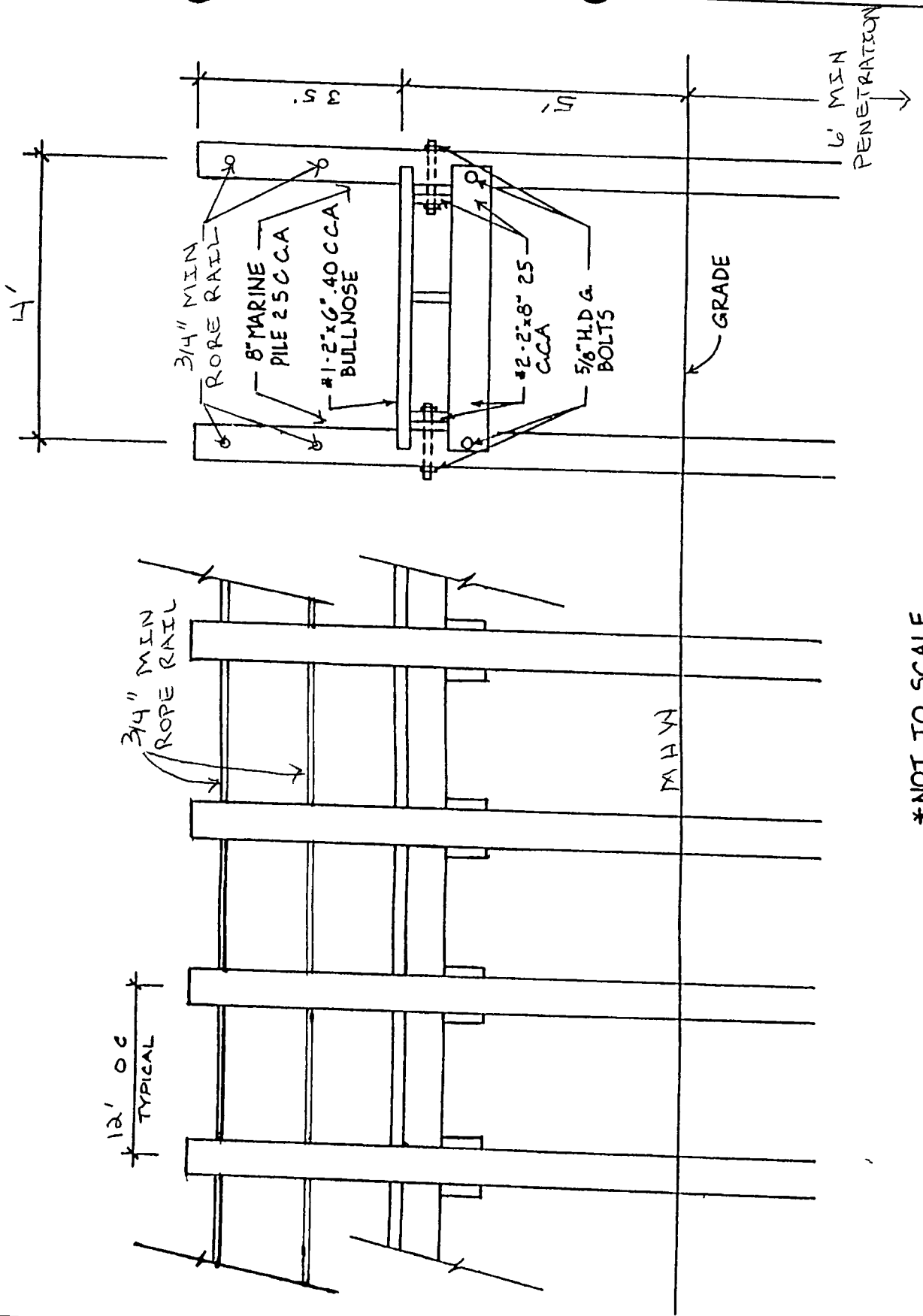
TOGETHER with all riparian rights owned or controlled by the Grantor, AND ALSO a perpetual easement for the installation of wells and pump houses, and laying of pipe, over and across the North 5 feet and the South 5 feet of the North 200 feet of said Government Lot 2 that lies West of the said Sewall's Point Road, such easement to extend to a distance of 100 feet from the aforesaid road

THE MEAN HIGH WATER SURVEY DEPICTED HEREON COMPLIES WITH CHAPTER 177 PART II, FLORIDA STATUTES AND IS RECORDED IN THE PUBLIC REPOSITORY OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF SURVEYING AND MAPPING AS MEAN HIGH WATER SURVEY FILE NO 3103



AC	ACRE	AD	ADJUSTED DISTANCE	AG	AGRICULTURE	AL	ALUMINUM	AM	AMERICAN	AN	ANNULAR	AO	ASBESTOS	AP	APPROXIMATE	AR	ARCH	AS	ASBESTOS	AT	ATLANTIC	AV	AVERAGE	AW	AIRWAY	AX	AXIS	AY	AYERS	AZ	AZIMUTH	BA	BANK	BB	BENCH MARK	BC	BENCH	BD	BENCH	BE	BENCH	BF	BENCH	BG	BENCH	BH	BENCH	BI	BENCH	BJ	BENCH	BK	BENCH	BL	BENCH	BM	BENCH	BN	BENCH	BO	BENCH	BP	BENCH	BQ	BENCH	BR	BENCH	BS	BENCH	BT	BENCH	BU	BENCH	BV	BENCH	BW	BENCH	BX	BENCH	BY	BENCH	BZ	BENCH	CA	CADASTRAL	CB	CADASTRAL	CC	CADASTRAL	CD	CADASTRAL	CE	CADASTRAL	CF	CADASTRAL	CG	CADASTRAL	CH	CADASTRAL	CI	CADASTRAL	CJ	CADASTRAL	CK	CADASTRAL	CL	CADASTRAL	CM	CADASTRAL	CN	CADASTRAL	CO	CADASTRAL	CP	CADASTRAL	CQ	CADASTRAL	CR	CADASTRAL	CS	CADASTRAL	CT	CADASTRAL	CU	CADASTRAL	CV	CADASTRAL	CW	CADASTRAL	CX	CADASTRAL	CY	CADASTRAL	CZ	CADASTRAL	DA	DRAINAGE	DB	DRAINAGE	DC	DRAINAGE	DD	DRAINAGE	DE	DRAINAGE	DF	DRAINAGE	DG	DRAINAGE	DH	DRAINAGE	DI	DRAINAGE	DJ	DRAINAGE	DK	DRAINAGE	DL	DRAINAGE	DM	DRAINAGE	DN	DRAINAGE	DO	DRAINAGE	DP	DRAINAGE	DQ	DRAINAGE	DR	DRAINAGE	DS	DRAINAGE	DT	DRAINAGE	DU	DRAINAGE	DV	DRAINAGE	DW	DRAINAGE	DX	DRAINAGE	DY	DRAINAGE	DZ	DRAINAGE	EA	EASEMENT	EB	EASEMENT	EC	EASEMENT	ED	EASEMENT	EE	EASEMENT	EF	EASEMENT	EG	EASEMENT	EH	EASEMENT	EI	EASEMENT	EJ	EASEMENT	EK	EASEMENT	EL	EASEMENT	EM	EASEMENT	EN	EASEMENT	EO	EASEMENT	EP	EASEMENT	EQ	EASEMENT	ER	EASEMENT	ES	EASEMENT	ET	EASEMENT	EU	EASEMENT	EV	EASEMENT	EW	EASEMENT	EX	EASEMENT	EY	EASEMENT	EZ	EASEMENT	FA	FENCE	FB	FENCE	FC	FENCE	FD	FENCE	FE	FENCE	FF	FENCE	FG	FENCE	FH	FENCE	FI	FENCE	FJ	FENCE	FK	FENCE	FL	FENCE	FM	FENCE	FN	FENCE	FO	FENCE	FP	FENCE	FQ	FENCE	FR	FENCE	FS	FENCE	FT	FENCE	FU	FENCE	FV	FENCE	FW	FENCE	FX	FENCE	FY	FENCE	FZ	FENCE	GA	GAZEBO	GB	GAZEBO	GC	GAZEBO	GD	GAZEBO	GE	GAZEBO	GF	GAZEBO	GG	GAZEBO	GH	GAZEBO	GI	GAZEBO	GJ	GAZEBO	GK	GAZEBO	GL	GAZEBO	GM	GAZEBO	GN	GAZEBO	GO	GAZEBO	GP	GAZEBO	GQ	GAZEBO	GR	GAZEBO	GS	GAZEBO	GT	GAZEBO	GU	GAZEBO	GV	GAZEBO	GW	GAZEBO	GX	GAZEBO	GY	GAZEBO	GZ	GAZEBO	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDICAP	HP	HANDICAP	HQ	HANDICAP	HR	HANDICAP	HS	HANDICAP	HT	HANDICAP	HA	HANDICAP	HB	HANDICAP	HC	HANDICAP	HD	HANDICAP	HE	HANDICAP	HF	HANDICAP	HG	HANDICAP	HH	HANDICAP	HI	HANDICAP	HJ	HANDICAP	HK	HANDICAP	HL	HANDICAP	HM	HANDICAP	HN	HANDICAP	HO	HANDIC
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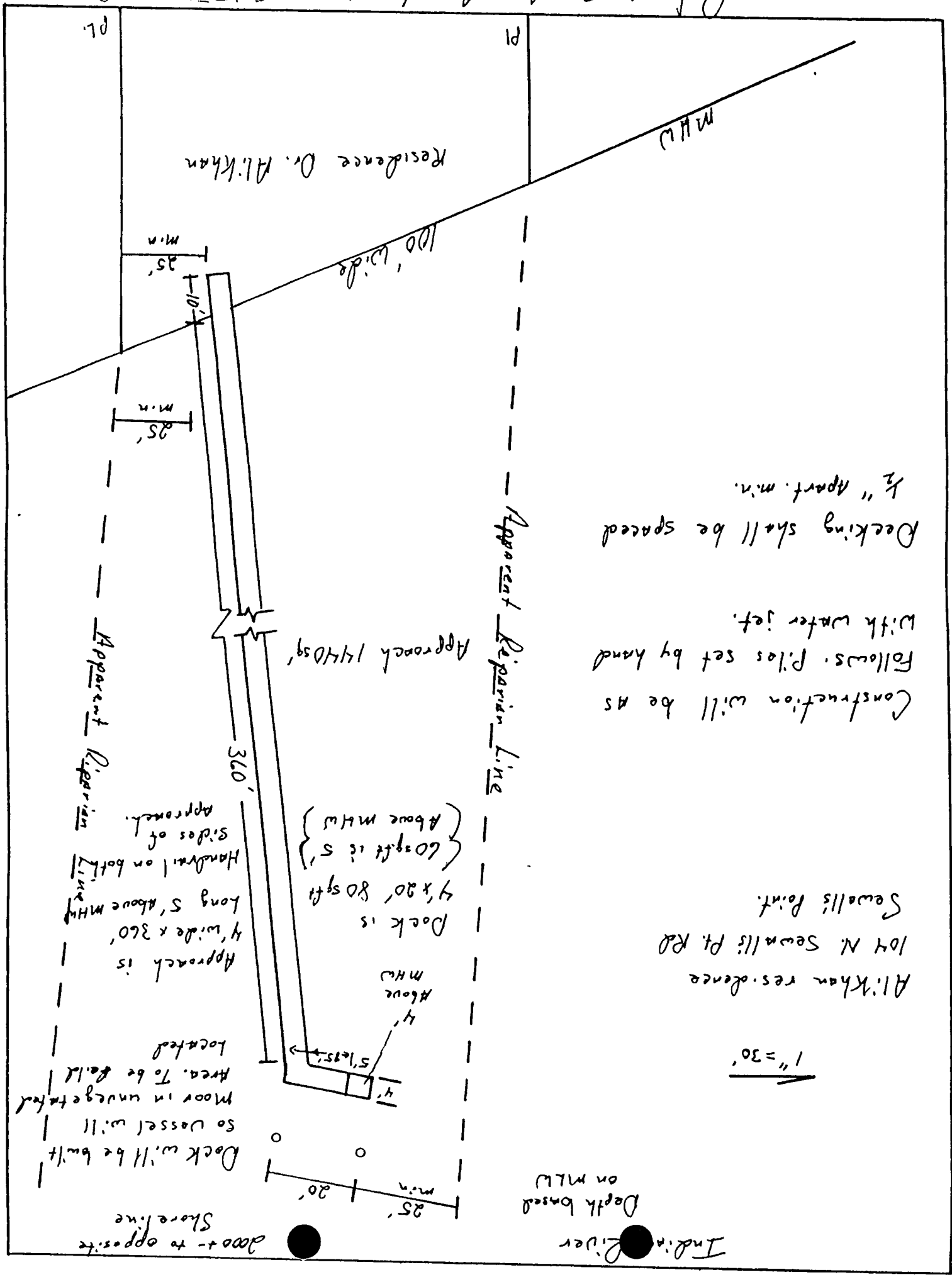


PROPOSED DOCK FOR  
 MAHBOOB ALIKHAN  
 104 N Sewalls Pt. Road

ROBERT SANDY CONSTRUCTION

Sheet 2 of 2

\*NOT TO SCALE



Construction will be as follows. Piles set by hand with water jet. Decking shall be spaced 1/2" apart. min.

All Khan residence  
104 N. Sewalls Pt. Rd  
Sewalls Point.

1" = 30'

Dock to opposite Shoreline

# TOWN OF SEWALL'S POINT

THOMAS BAUSCH  
Mayor

MARC S TEPLITZ  
Vice Mayor

E DANIEL MORRIS  
Commissioner

JAMES D BERCAW  
Commissioner

RICHARD L BARON  
Commissioner



JOSEPH C DORSKY  
Town Manager

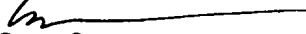
JOAN H BARROW  
Town Clerk

LARRY E McCARTY  
Chief of Police

GENE SIMMONS  
Building Official

JOSE TORRES, JR  
Maintenance

To Mayor and Commissioners

Fm   
Gene Simmons  
Building Official

Date March 11, 2003

Re Dock Application for Mr & Mrs Alikhan/Request for Dock Variance

Attached please find the following documents

- 1 Notice of appeal from denial of dock permit
- 2 Letters of No Objection or proof of service filed at least 15 days prior to the town meeting
- 3 Florida Department of Environmental Protection Permit or Exemption Letter
- 4 Survey

The above dock permit application has been denied due to the fact the proposed dock does not meet the length requirement of 250 feet as outlined in the Town of Sewall's Point Ordinance 62-171. This request is for an extension of **114 feet** from the permitted dock length of **250 0** feet. The Florida Department of Environmental Protection requires the additional **114 feet** length. The proposed length as established by the Florida Department of Environmental Protection for this dock is **364 0** feet. The Vasquez's are requesting an additional **114 feet** to accommodate their proposed boatlift.

The application and submitted documents for permit are complete and thereby only lacks Commission approval for the extension of the dock. Your assistance in this matter is highly appreciated. Upon approval I will issue the permit to Mr and Mrs Alikhan.



Sewall's Point Road, Sewall's Point, Florida 34996  
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail [clerk@sewallspoint.org](mailto:clerk@sewallspoint.org)  
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail [police@sewallspoint.org](mailto:police@sewallspoint.org)

LETTER OF NO OBJECTION

TO WHOM IT MAY CONCERN

I, Michael Buono, being the owner of property located at 106 N Sewall's Point Road, Stuart, adjacent to 104 N Sewall's Point Road, and owned by Mahboob AliKhan, have examined the drawings for the proposed project and have no objection to the project

Michael Buono  
\_\_\_\_\_

Notary

STATE OF Florida

COUNTY OF St Lucie

Sworn to and subscribed before me this 13th day of Feb, 2003,

by \_\_\_\_\_

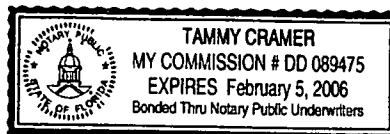
Tammy Cramer  
Notary Public, State of Florida

SEAL

Personally Known to me

Produced ID \_\_\_\_\_

Type Tammy Cramer



**Robert Sandy Construction, Inc.**  
**General Contractor**  
 CGC040310

1028 SW 36<sup>th</sup> Terrace  
 Palm City, FL 34990

Bob 772-220-4051  
 Fax 772-220-9134

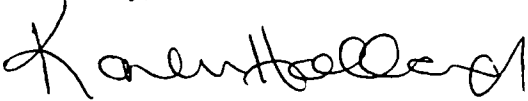
January 28, 2003

Mr & Mrs Peter Grahame  
 14568 N Lake Boulevard  
 West Palm Beach, FL 33412

Dear Mr & Mrs Grahame

We are in the process of applying to the Town of Sewall's Point for a permit to construct a dock on property adjacent to your property. As part of the permit application the Town of Sewall's Point request a letter of no objection from both neighboring property owners. Enclosed is a drawing showing the proposed dock and a letter of no objection. If you have no objection, we ask that you sign and notarize the enclosed letter, initial the attached drawing and return the original to us. The attached copy is for you to keep. If you have any questions or concerns, you may contact Bob at 772-220-4051 and he will be happy to discuss the project with you.

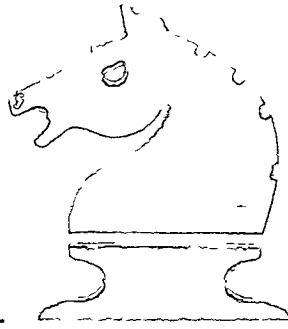
Sincerely,



Karen Holland

Enclosures Letter Of No Objection  
 Drawing of proposed construction  
 Self-addressed stamped envelope

<p><b>SENDER: COMPLETE THIS SECTION</b></p> <ul style="list-style-type: none"> <li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired</li> <li>■ Print your name and address on the reverse so that we can return the card to you</li> <li>■ Attach this card to the back of the mailpiece, or on the front if space permits</li> </ul> <p>1 Article Addressed to          Peter Grahame          14568 N Lake Blvd.          West Palm Beach          FL 33412</p>	<p><b>COMPLETE THIS SECTION ON DELIVERY</b></p> <p>A. Signature  <input checked="" type="checkbox"/> <i>Peter &amp; Grahame</i>    <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p> <p>B Received by (Printed Name)    C <i>PKS</i>          Date of Delivery</p> <p>D Is delivery address different from item 1?    <input type="checkbox"/> Yes          If YES, enter delivery address below    <input type="checkbox"/> No</p> <p>3 Service Type  <input checked="" type="checkbox"/> Certified Mail    <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered    <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail    <input type="checkbox"/> C O D</p> <p>4 Restricted Delivery? (Extra Fee)    <input type="checkbox"/> Yes</p>
<p>2 Article Number (Transfer from)    7002 0860 0001 4771 1112</p>	
<p>PS Form 3811, August 2001    Domestic Return Receipt    102595 02 M-0835</p>	



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# WRIGHT, PONSOLDT & LOZEAU

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TRIAL ATTORNEYS, L L P

TIM B. WRIGHT  
WILLIAM R. PONSOLDT, JR.\*  
LOUIS E. LOZEAU, JR.

\* Board Certified in Business Litigation

June 10, 2003

Mr. Gene Simmons  
Building Official  
Town of Sewall's Point  
1 South Sewall's Point Road  
Sewall's Point, Florida 34996

Re Resolution Granting AliKhan Dock Construction Variance

Dear Mr. Simmons

I enclose my draft resolution approving the dock variance for Mr. AliKhan. I do not have a reduced copy of the construction plan in my file and request that you attach the reduced version in your file as Exhibit "A" and forward the package to Mrs. Barrow for recording. Please contact me if you have any questions.

Sincerely yours,

  
Tim B. Wright

TBW/mcf

Enclosure

cc Mrs. Joan H. Barrow  
Mr. Mahboob M. AliKhan



FILE

July 7, 1977

Mr. Larry E. Buchanan,  
Crary, Buchanan & McGinniss,  
Post Office Drawer 24,  
Stuart, Florida 33494.

Dear Mr. Buchanan:

Re: Neville Variance Request

Attorney Thurlow asked me to send you the enclosed copy of Resolution No. 77-1 re the Variance Request of Mr. & Mrs. C. B. Neville heard June 13, 1977.

Sincerely,

TOWN OF SEWALL'S POINT

Margaret Miller, Town Clerk

M  
Encl.

Copy to Thos. E. Thurlow, Jr.

BEFORE THE BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

RESOLUTION NO. 77- 1

RE. APPLICATION FOR VARIANCE TO  
TOWN OF SEWALL'S POINT  
ZONING ORDINANCE

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That portion of the North 200 feet of Government Lot 2, Section 35, Township 37 South, Range 41 East, lying Easterly from the Sewall's Point Road, and extending to the waters of the Indian River.

WHEREAS, C. B. NEVILLE and LUCY M. NEVILLE, his wife, had heretofore applied for a minor subdivision of the above described real property pursuant to the provisions of Ordinance No. 64 of the Town of Sewall's Point, but prior to the approval thereof Ordinance No. 95 was duly enacted by the Town of Sewall's Point, which in part required a minimum residential lot width of 120 feet, making it impossible to subdivide the above described real property; and

WHEREAS, LARRY E. BUCHANAN, as attorney for C. B. NEVILLE and LUCY M. NEVILLE, his wife, the owners of the above described real property did apply to the Town of Sewall's Point for a variance to allow the subdivision of the above described property into two parcels, each being 100 feet in width; and

WHEREAS, notice of the public hearing on the variance application was duly published and mailed in accordance with the provisions of the Charter and Ordinances of the Town of Sewall's Point, and the laws of the State of Florida, and a public hearing thereon was duly heard on June 13, 1977 at 7:30 o'clock P.M. at the Town Hall of the Town of Sewall's Point, and five members of the Board of Zoning Adjustment of the Town of Sewall's Point were in attendance; and

WHEREAS, the Board of Zoning Adjustment having considered the application for the variance as presented at the public hearing by LARRY E. BUCHANAN, attorney for C. B. NEVILLE and LUCY M. NEVILLE, his wife; and having considered the written and verbal comments from the adjoining property owners and members of the public with respect to the requested variance, and comments from those at the public hearing, and having found that the applicants have otherwise complied with all of the requirements of Ordinance No. 64 with respect to Minor Sub-

divisions, did grant the request for a variance to allow the subdividing of the above described parcel into two lots, each being 100 feet in width on a unanimous vote of all of the members of the Board in favor of the variance.

NOW, THEREFORE, be, and it is hereby RESOLVED by the Board of Zoning Adjustment of the Town of Sewall's Point that:

1. The grant of the variance is consistent with the requirements of Section 163.225(3)(a), Florida Statutes and the requirements of Section XV.B3 of Ordinance 95 of the Town of Sewall's Point.

2. The variance of and to the applicable Ordinances of the Town of Sewall's Point to allow the subdividing of the afore-described real property into two parcels or lots, each to be 100 feet in width, is hereby approved and said lots may hereafter be conveyed separately and apart as buildable residential lots.

3. The Secretary of this Board is hereby authorized and directed to file this Resolution in the Public Records of the Town of Sewall's Point.

DATED this 7<sup>TH</sup> day of July, 1977.

BOARD OF ZONING ADJUSTMENT  
TOWN OF SEWALL'S POINT, FLORIDA

By: D. W. Graham  
D. W. Graham, Chairman

ATTEST:

Margaret Miller  
Margaret Miller, Town Clerk

APPROVED as to form and correctness, this 7<sup>TH</sup> day of July, 1977.

Tom H. Sturges  
Town Attorney

Copy furnished to: LARRY E. BUCHANAN, Esquire



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT  
One S Sewall's Point Road  
Sewall's Point, Florida 34996  
Tel 772-287-2455 Fax 772-220-4765

**TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT**

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner TP Stelo Paskhals AB  
JOHAN NESSEN Address 5821 STARBUCK AVE Phone 772-577-0826  
Contractor EARL GAUVES Address 5821 STARBUCK AVE  
No. of Trees REMOVE ONE Species NORFOLK PINO  
No. of Trees RELOCATE \_\_\_\_\_ Species \_\_\_\_\_  
No. of Trees REPLACE \_\_\_\_\_ Species \_\_\_\_\_

\*\*\*ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION\*\*\*

**ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY**

Reason for tree removal /relocation (See notice above) TREE IS IN HEDGE LINE.  
REMOVING AND REPLACING HEDGES WITH PODOCARPUS

Signature of Property Owner Johan Nassen Date 12/9/13

Approved by Building Inspector [Signature] Date 12-10-13 Fee 1500

NOTES

Cash 12-13-13

SKETCH

