

126 North Sewall's Point Road

4514

SFR

Town of Sewall's Point

Date 11/23/98

P.I.N. _____

BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL 3740' Living SF 4540' TOTAL CF

Main House only

OTHER: _____ CONTRACT PRICE \$414,000.00

Owner's Name ANTHONY + MARY CICONIA

Owner's Address 179 HAMPTON, JUPITER

Fee Simple Titleholder's Name (If other than owner) N/A

Fee Simple Titleholder's Address (If other than owner) N/A

City N/A State _____ Zip _____

Contractor's Name CARRIAGE HOUSE CUSTOM HOMES INC.

Contractor's Address 901 MAINSAIL CIRCLE

City JUPITER State FL. Zip 33477

Job Name CICONIA

Job Address 126 NORTH SEWALL'S POINT ROAD

City SEWALL'S POINT State FL. Zip _____

Legal Description LOT #3, INDIAN RIVER HAMMOCKS

Bonding Company N/A

Bonding Company Address N/A

City N/A State _____ Zip _____

Architect/Engineer's Name AHERN + ASSOCIATES, ARCHITECTS, P.A.

Architect/Engineer's Address AHERN + ASSOCIATES, ARCHITECTS, P.A.

Mortgage Lender's Name N/A

Mortgage Lender's Address N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

~~4514~~

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Mary D. Cicina 11/20/98 Gregory Cicini
Owner or Agent Date

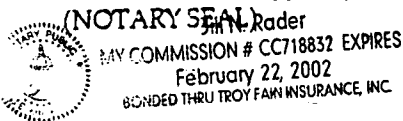
Duane C. Heiser 11/24/98
Contractor Date

COUNTY OF ~~MARTIN~~ Palm Beach
STATE OF FLORIDA

Sworn to and subscribed before me this 20 day of November 1998 by
Mary and Anthony Cicini who: [] is/are personally known to me, or [] has/have produced
as identification, and who did not take an oath.

Name: Jill N. Rader

Typed, printed or stamped



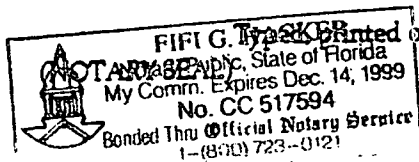
I am a Notary Public of the State of Florida having a
commission number of CC 718832 and my
commission expires: 2/22/2002

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 14 day of Nov, 1998 by
Duane C. Heiser who: [] is/are personally known to me, or [] has/have produced
as identification, and who did not take an oath.

Name: F. G. Becker

Typed, printed or stamped



I am a Notary Public of the State of Florida having a
commission number of _____ and my
commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. CG-C012104

Contractor's Certificate of Competency No. CG-C012104

APPLICATION APPROVED BY Duane C. Heiser Permit Officer

Building Commissioner

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

126 N. SEWALL'S POINT ROAD, SEWALL'S POINT (LOT #3 INDIAN RIVER HAMMOCKS)

GENERAL DESCRIPTION OF IMPROVEMENT: RESIDENTIAL HOUSE

OWNER: ANTHONY & MARY CICCONIA

ADDRESS: 179 HAMPTON PLACE, JUPITER

PHONE #: 561-575-9489

FAX #: 687-3804

CONTRACTOR: CARRIAGE HOUSE CUSTOM HOMES INC.

ADDRESS: 901 MAINSAIL CIRCLE, JUPITER, FL.

PHONE #: 561-748-6600

FAX #: 561-748-6600

SURETY COMPANY (IF ANY) N/A

ADDRESS: _____

PHONE # _____

FAX #: _____

BOND AMOUNT: N/A

LENDER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: CARRIAGE HOUSE CUSTOM HOMES

ADDRESS: 901 MAINSAIL CIRCLE, JUPITER, FL.

PHONE #: 561-748-6600

FAX #: 561-748-6600

IN ADDITION TO HIMSELF, OWNER DESIGNATES FRANK RUSSO OF CARRIAGE HOUSE HOMES TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

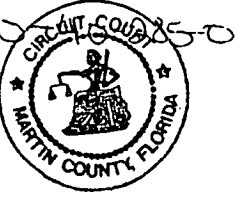
EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Anthony Cicconia
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 2nd DAY OF December 1998 BY Anthony Cicconia

Jill N. Rader
NOTARY SIGNATURE

OR
PERSONALLY KNOWN
PRODUCED ID
STATE OF FLORIDA Florida Drivers License
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA STILLER, CLERK
BY *Wood* B.C.
DATE 10.0.98





STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CENTRAX #: 43-99-00638
 DATE PAID: _____
 FEE PAID: \$ _____
 OSTDSNBR: 98-0635- -N

CONSTRUCTION PERMIT FOR:

- New System Existing System Improving Existing Innovative Other
 Repair Abandonment Temporary

APPLICANT: CICORIA, ANTHONY & MARY AGENT: 95-0, PROPERTY OWNER

PROPERTY STREET ADDRESS: SEWALLS POINT Rd SEWALLS POINT FL 34996

LOT: 3 BLOCK: _____ SUBDIVISION: INDIAN RIVER HAMMOCK
 Section/Township/Range/Parcel No. _____
 PROPERTY ID #: _____ (OR TAX ID NUMBER)

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF 19-6, FAC
 DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY 5-10 YEAR TIME
 PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT,
 REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS
 PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM
 COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

1500 Gallons SEPTIC TANK MULTI-COMPARTMENT/IN-SERVICE Y
 0 Gallons MULTI-COMPARTMENT/IN-SERVICE N
 0 GALLONS GREASE INTERCEPTOR CAPACITY
 0 GALLONS FOSING TANK CAPACITY 0 GALLONS @ 10 FOSING PER 2' DIA 4' DIA 0
 750 SQUARE FEET PRIMARY DRAINFIELD SYSTEM Trench 4' x 62' S
 923 SQUARE FEET 2nd 18' x 51'3 SYSTEM
 TYPE SYSTEM: N STANDARD N FILLED Y IMPOSE N N
 CONFIGURATION: Y TRENCH Y BEI N
 ELEVATION TO BENCHMARK: Crown of Road 4.21
 ELEVATION OF PROPOSED SYSTEM SIDE 10.3 INCHES BELOW BENCHMARK/BENCHMARK POINT
 BOTTOM OF DRAINFIELD TO BE 13.7 INCHES BELOW BENCHMARK/BENCHMARK POINT
 DITCH REQUIRED: 45.0 INCHES EXCAVATION REQUIRED: 0.0 INCHES

OTHER REMARKS:
 Sleeve potable water lines within 10 feet of drainfield. Potable water lines shall be
 installed within 2 ft of drainfield. Maintain 75 feet from surface water. The top of the
 stubout pipe to be a minimum elev. of 36" above CR 4.21. The top of the drainfield pipe to
 be a minimum elev. of 24" above CR 4.21. The top of the septic tank to be a minimum elev. of
 18" above CR 4.21. The drainfield aggregate must be at least 21.5 feet from the property
 line(s). Install an approved outlet filter device in the septic tank. Do not exceed 18"
 of cover on the top of the drainfield. "See the attached special conditions list."

REGISTRAR: Angela M. Black TITLE: Environmental Specialist
 APPROVED BY: Cross, Ray TITLE: Env. Supervisor II
 DATE: 11/18/98 EXPIRATION: 5/18/00
 License Number: 5014-000-0000

ORIGINAL
MASTER PERMIT NO. 4514
(EXPIRATION 12/2/99)

TOWN OF SEWALL'S POINT

Date 12/2/99 BUILDING PERMIT NO. 4756
 Building to be erected for A & M CICORIA Type of Permit S.F.R. (RENEWAL)
 Applied for by CARRIAGE HOUSE (Contractor) Building Fee * 371.20
 Subdivision INDIAN RIVER HAMMOCK Lot 3 Block _____ Radon Fee _____
 Address 126 N. SEWALL'S POINT RD Impact Fee _____
 Type of structure S.F.R. (UNDER CONSTRUCTION) A/C Fee _____
 Parcel Control Number: _____ Electrical Fee _____
 _____ Plumbing Fee _____
 _____ Roofing Fee _____

* BLDG. FEE CALCULATION
 RENEWAL (1 MONTH)
 10% OF ORIG. PERMIT FEE

Amount Paid \$371.20 Check # 8735 Cash _____ Other Fees (_____) \$371.20
 Total Construction Cost \$ 414,000.00 (ORIGINAL PERMIT ESTIMATE) TOTAL Fees _____

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

12/30/99 2ND 1 MONTH EXTENSION
EXPIRATION DATE: 2/1/00
PO. #371.20; ac. W. 8781 (12/30/99)
TOWN OF SEWALL'S POINT
ORIGINAL MASTER PERMIT NO. 4514
(EXPIRATION 12/2/99)

Date 12/2/99

BUILDING PERMIT NO. 4756

Building to be erected for ASH M CIGORIA
Type of Permit S.F.R. (RENEWAL)

Applied for by CAROL ANN HOUSE
(Contractor) Building Fee \$ 371.20

Subdivision HUNTER RIVER HAVEN Lot 3 Block Radon Fee

Address 126 N SEWALL'S POINT RD Impact Fee

Type of structure S.F.R. (UNDER CONSTRUCTION) A/C Fee

Parcel Control Number: * Bldg. Fee CALCULATION
RENEWAL (1 MONTH)
10% of orig. PERMIT FEE Electrical Fee

Amount Paid \$ 371.20 Check # 8735 Cash Plumbing Fee

Total Construction Cost \$ 414.00 (ORIGINAL PERMIT ESTIMATE) TOTAL Fees Roofing Fee \$ 371.20

Signed [Signature] Signed [Signature]

Applicant Town Building Inspector P.F. CINC

FLORIDA STATE DEPARTMENT OF
BUSINESS AND PROFESSIONAL REGULATION
DIVISION OF HOTELS AND RESTAURANTS
BUREAU OF ELEVATOR SAFETY
1940 North Monroe Street
Tallahassee, Florida 32399-1013
Phone: 850-488-9097 Fax: 850-922-6208

CERTIFICATE OF COMPETENCY

Jeb Bush
Governor

344
Certificate Number

Cynthia A. Henderson
Secretary

This certifies that
Charles S. McGee

has successfully passed a competency examination
administered by the Division and is hereby certified to construct,
install, inspect, maintain, or repair any elevator in the State of
Florida. Expires on December 31, 1999

W.R. [Signature]

Bureau Chief

FORM HR 5023-008

Revised 1999 February 01

ELEVATION CERTIFICATE

U.M.B. NO 3007-1
Expires May 31, 1999

Job# 1713-03-01

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME	<u>ANTHONY CICORIA</u>	POLICY NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER	<u>126 N. SEWALLS POINT ROAD</u>	COMPANY NAIC NUMBER
OTHER DESCRIPTION (Lot and Block Numbers, etc.)	<u>LOT 3, INDIAN RIVER HAMMOCKS</u>	
CITY	<u>SEWALLS POINT</u>	STATE
		<u>FLA.</u>
		ZIP CODE

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

CORRECTED CERT. (12/30/99)

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (In AO Zones, use depth)
<u>120164</u>	<u>0001</u>	<u>D</u>	<u>6/16/92</u>	<u>V-13</u>	<u>ELEV. 10.00</u>

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

1. Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 5.
- 2(a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
- (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of 12 feet NGVD (or other FIRM datum—see Section B, Item 7).
- (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
- (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
3. Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
4. Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
5. The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
6. The elevation of the lowest grade immediately adjacent to the building is: 3 feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

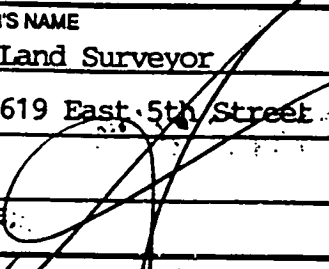
1. If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
2. Date of the start of construction or substantial improvement _____

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), Vi-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

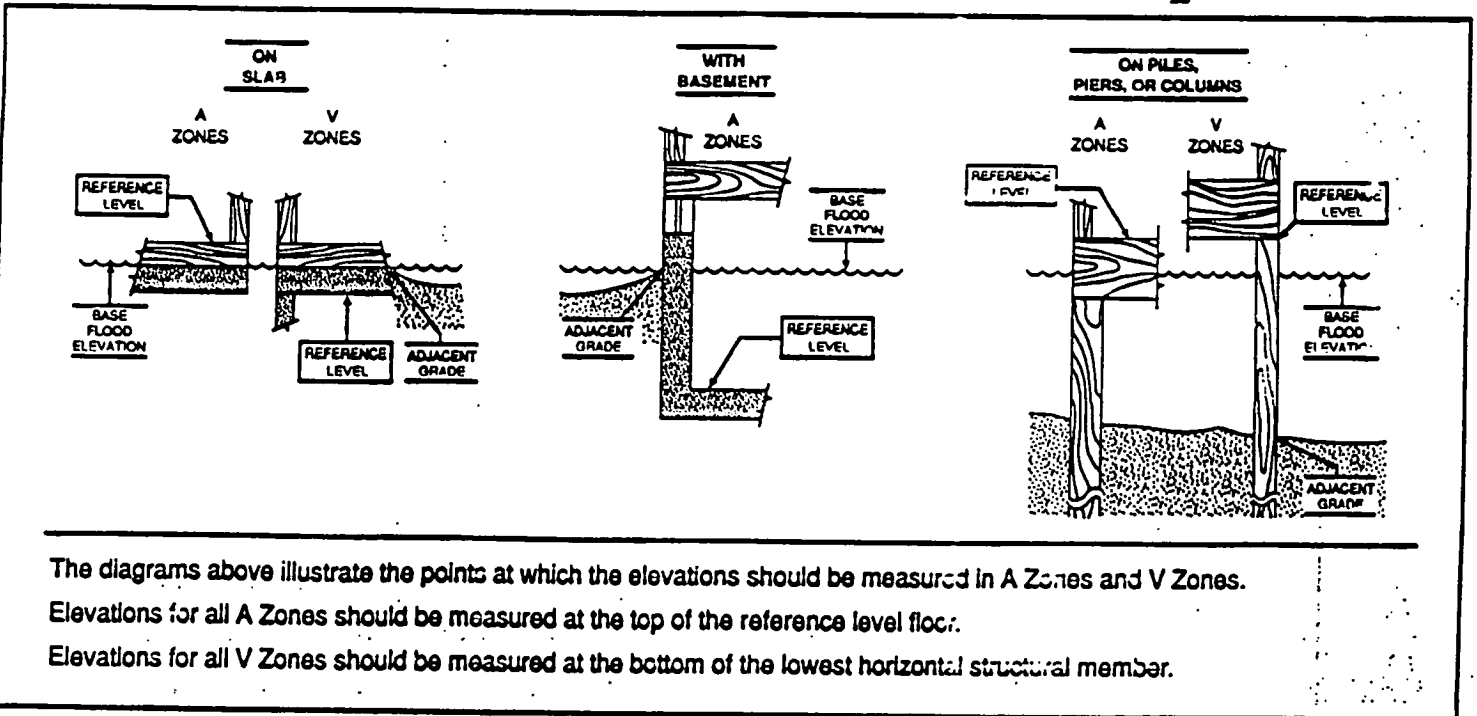
Reference level diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Stephen J. Brown	4049
CERTIFIER'S NAME	LICENSE NUMBER (or Affix Seal)
Land Surveyor	Stephen J. Brown, Inc.
TITLE	COMPANY NAME
619 East 5th Street	Stuart Florida 34994
ADDRESS	CITY STATE ZIP
SIGNATURE	DATE PHONE
	2/10/99 (561) 288-7176

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS:



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones. Elevations for all A Zones should be measured at the top of the reference level floor. Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

A.M. ENGINEERING AND TESTING, INC.

450 SOUTH OLD DIXIE HIGHWAY, SUITE 2

JUPITER, FLORIDA 33458

(561) 745-1060 OFFICE - (561) 745-0981 FAX

4519

REPORT OF DENSITY OF SOIL IN PLACE

December 18, 1998

Project No. 305

Lab No. 4

Carriage House Homes
901 Main Sail Circle
Jupiter, Florida 33477

Project: 126 North Sewalls Point Road, Sewalls Point
Stemwall Footings / Permit No. 4514

TEST DATE	TEST NO.	TEST LOCATION	LIFT, EL...	DENSITY		% COMP
				DRY	MAX	
12-18-98	1	North Center	0-1'	102.8	106.8	96.3
	2	Northwest Center	0-1'	103.3	106.8	96.7
	3	Center Area	0-1'	104.0	106.8	97.4
	4	Southeast Area	0-1'	104.6	106.8	97.9
	5	Southwest Area	0-1'	105.1	106.8	98.4

REMARKS: All elevation below footing grade.

Respectfully submitted,

A.M. ENGINEERING AND TESTING, INC.



Richard Boyette, P.E.
Vice President

A.M. ENGINEERING AND TESTING, INC.

450 SOUTH OLD DIXIE HIGHWAY, SUITE 2

JUPITER, FLORIDA 33458

(561) 745-1060 OFFICE - (561) 745-0981 FAX

REPORT OF DENSITY OF SOIL IN PLACE

March 9, 1999

Project No. 305

Lab No. 5

Carriage House Homes
901 Main Sail Circle
Jupiter, Florida 33477


Project: 126 North Sewallis Point Road, Sewallis Point
Slab Area For Garage / Permit No. 4514

TEST DATE	TEST NO.	TEST LOCATION	LIFT, EL...	DENSITY		% COMP
				DRY	MAX	
3-5-99	1	Southwest Area	0-1'	99.9	104.7	95.4
	2	Northeast Area	0-1'	101.8	104.7	97.2
	3	Center Area	0-1'	100.2	104.7	95.7

REMARKS: All elevation below slab grade.

Respectfully submitted,

A.M. ENGINEERING AND TESTING, INC.


Richard Boyette, P.E.
Vice President

AHERN & ASSOCIATES, ARCHITECTS, P. A.

January 27, 1999

Mr. Robert Bott
Sewall's Point Building Department

PROJECT: CICORIA RESIDENCE

PERMIT: 4514

RE: GARAGE Floor Slab Modification


Dear Sirs:

The garage slab edge thickness was changed to 12" wide x 8" deep edge with 2-#5 rebars continuous. This was done because the garage slab actually floats above the structural load bearing footing.

If you have any questions or require clarification of the project, please feel free to call.

Thank you for your attentive reviews.

Sincerely,



John M. Ahern, Architect

cc: file
General Contractor

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
08/10/98

PRODUCER GARDENS INSURANCE AGY P O BOX 30099 PLM BCH GARDENS FL 33420	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. COMPANIES AFFORDING COVERAGE COMPANY A MARYLAND CASUALTY COMPANY B COMPANY C COMPANY D
INSURED CARRIAGE HOUSE CUSTOM HOMES INC. 721 U. S. HWY. #1, STE 217 NORTH PALM BEACH, FL 33408	

COVERAGES
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	RGM25135469	3/22/98	3/22/99	GENERAL AGGREGATE \$ 600,000 PRODUCTS - COMP/OP AGG \$ 600,000 PERSONAL & ADV INJURY \$ 300,000 EACH OCCURRENCE \$ 300,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 10,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				WC STATUTORY LIMITS OTH-ER EL EACH ACCIDENT \$ EL DISEASE-POLICY LIMIT \$ EL DISEASE-EA EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER _____	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE JOYCE HUGHES <i>Joyce Hughes</i>
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AC# 5189916

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/27/1998	97904220	CG - C012104

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489
Expiration date: AUG 31, 2000

HEISER, DUANE C
CARRIAGE HOUSE CUSTOM HOMES INC
721 US #1 STE 217
NORTH PALM BEACH FL 33408

LAWTON CHILES
GOVERNOR

DISPLAY AS REQUIRED BY LAW

RICHARD T. FARRELL
SECRETARY

STATE OF FLORIDA
PALM BEACH COUNTY

CLASSIFICATION

CONTRACTOR

COUNTY OCCUPATIONAL LICENSE

OC-032

THIS LICENSE IS IN ADDITION TO AND NOT IN LIEU OF ANY OTHER LICENSE REQUIRED BY LAW OR MUNICIPAL ORDINANCE AND IS SUBJECT TO REGULATIONS OF ZONING, HEALTH AND ANY OTHER LAWFUL AUTHORITY. COUNTY ORDINANCE NUMBER 72-7.

1995-10118
CARRIAGE HOUSE CUSTOM HOMES
INC
HEISER DUANE C
721 US #1 STE 217
NORTH PALM BEACH FL 33408

EXPIRES: 9-30-99

CNTY \$25.00

TOTAL \$25.00

IS HEREBY LICENSED AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE FIRST DAY OF OCTOBER AND ENDING ON THE THIRTIETH DAY OF SEPTEMBER TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF:

GENERAL CONTRACTOR
CGC012104

THIS IS NOT A BILL - DO NOT PAY

PAID. PBC TAX COLLECTOR CK
\$25.00 OCC 4 02046 09-04-1998

JOHN K. CLARK, CFC
TAX COLLECTOR, PALM BEACH COUNTY

THIS LICENSE VALID ONLY WHEN RECEIPTED BY TAX COLLECTOR
LICENSE MUST BE DISPLAYED CONSPICUOUSLY AT ESTABLISHMENT OR PLACE OF BUSINESS

Dwelling Only

Cicouis

126 N. Sewall's Point

PLAN REVIEW
SEWALL'S POINT

Carriage house (Custom Homes)

residential

Town Ordinances

- Completed application for permit
- Impact fee receipt *Schar -*
- Notice of Commencement if over \$2,500.00
- Applicable permits from other agencies (ie) DEP, Sewer and Irrigation, Road use *COPY*
- Approval from homeowners Association or Arch. Review
- License and insurance for General and Subs, or affidavit for Owner Builder
- Signed and Sealed building plans
- Wind load certifications for 140mph. exposure D + V zone
- Survey showing: FFE, flood zone, setbacks, sq. ft. of lot, and impervious surfaces
- Landscaping Plan
- Zoning applicable *X-1*
- Setbacks for zoning *OE*
- Flood Zone *V-13 + A-10*
- First floor Elevation: *not shown (NGVD) 12.6*
- Overall height not to include chimney, vents, cupola *27'*
- Tree permit: *Double Fee After the Fact*
- Florida energy code forms

~~Home Contractors Inc. @ Fairboard entry~~

Plans to include

- ~~Site Plan showing retainage of stormwater and proposed elevations, *Drainage calculated*~~
~~attach calculations *Site to retain 1.5' eq. 1.5' eq. 1.5' eq.*~~
- Driveway and parking plans
- Exterior elevations
- Foundation Plan, bottom of all footings 12" below finished grade
- Framing plan showing ceiling heights, egress windows, safety glazing
- Typical wall sections
- ~~Roof Plan with truss engineering~~
- ~~Door and Window engineering *See site for rough dimensions*~~
- Electrical Calculations, conformance with 1996 NEC
- Smoke detectors in compliance with NFPA ~~72~~ *72*
- Plumbing riser showing vent, drain sizes
- Conformance with South Florida Code for 140mph. wind exposure D
- ~~Storm protection required for all doors and windows~~
- Mechanical Plan showing sizes of ducts
- Cross sections, details, elevations
- ~~Specifications on gravity, uplift connections *Velocity U-zone*~~
- Attic access 22" X 36

* AC pad or equipment not allowed outside of bldg lines in required setbacks

Check on Insp

Show on Formboard Soney

BB

Florida Accessibility Code 8^{3/4} - 12⁴

- Stairs risers ~~7~~ max. height, ~~4~~ min. depth, nosing 1 1/2" max
- Handrail 42" high
- thresholds max. height 1/2"
- 3 or more steps 30" sq. landing at top, doors not to swing over steps.
- 29" clear openings to toilet facilities 1st Floor Ok. back #3

Local Amendments to the South Florida

Lintels 4-22

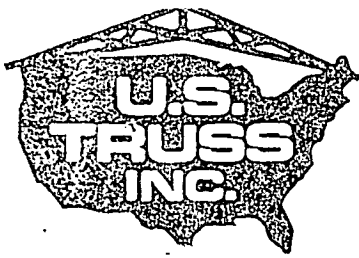
- filled cells in lieu of poured columns require #5 bars placed in both jambs of all openings and 2 #5 bars at each corner poured solid and lapped properly
- Copper wiring from load side of meter base
- Wood 6" clearance from grade
- Attic ventillation
- Guardrails for decks, balaconies etc.
- Toilet room ventilation
- Fireplace details
- ~~Gas plan and permit~~ Check on Inspr
- Jacuzzi pump access and shock prevention
- Thickened edges on all concrete slabs, 8" width and depth with 1 #3 continous
- ~~V-Zone requirements~~
- Stairwell protection if storage under stairs, type X 5/8 drywall

Robert A. Bott
Plans Examiner

12-1-98
Date

[Signature]
Owner or Builder

12-2-98
Date



ATTENTION

U.S. TRUSS, INC.

GENERAL NOTES CONCERNING WOOD TRUSSES: to be used with truss engineering and truss layout; this information should be read by the architect, engineer of record, builder, and truss erector.

1. The following is an enlargement of the note appearing at the center bottom of the truss engineering:

THIS TRUSS IS DESIGNED USING CRITERIA RECOMMENDED BY THE TRUSS PLATE INSTITUTE (TPI) AND NATIONAL DESIGN SPECIFICATIONS (NDS). LUMBER MUST BE IDENTIFIED BY A GRADE MARK OF AN APPROVED LUMBER INSPECTION AGENCY, FRT LUMBER IS NOT TO BE USED WITH THIS DESIGN. CONNECTOR PLATES ARE TO BE USED ON BOTH FACES OF TRUSS, TO BE 20 GAUGE (UNLESS OTHERWISE NOTED) GALVANIZED ASTM A446 STEEL MEETING ALL SPECIFICATIONS OF TPI, BEARING THE MANUFACTURER'S NAME. CONNECTOR PLATE TYPE AS IDENTIFIED IN THE TRUSS DESIGN MUST BE APPROVED BY THE GOVERNING BUILDING CODE. TRUSS MUST BE ASSEMBLED IN ACCORDANCE WITH CURRENT TPI QUALITY CONTROL STANDARDS. WARNING: TRUSSES REQUIRE EXTREME CARE AND CAUTION IN HANDLING, ERECTION, AND BRACING. SEE TPI HIB-91 FOR TEMPORARY BRACING REQUIRED DURING ERECTION. THIS BRACING IS EXTREMELY IMPORTANT AND ERECTOR IS CAUTIONED TO SEEK PROFESSIONAL ADVISE IF THERE ARE ANY UNCERTANTIES ABOUT ERECTION BRACING. THE TOP CHORD SHALL BE Laterally braced with plywood sheathing fastened as set forth in the governing building code unless otherwise noted. The bottom chord shall be laterally braced with a rigid ceiling and additional bracing as required by the building code unless otherwise noted. Additional permanent bracing may be required as shown on this design.

2. A copy of HIB-91 summary sheet; commentary and recommendations for handling, installing & bracing metal plate connector wood trusses. THE TRUSS ERECTOR MUST READ HIB-91 AND UNDERSTAND IT! If he has any questions or is uncertain about the procedure for using erection bracing while installing the trusses, he should seek professional advise. The builder must verify that the truss erector understands HIB-91 and that the erector follows its recommendations. The erection of trusses can be dangerous if proper handling and proper erection bracing is not used. Additionally, all multiple member trusses (2, 3 or 4 member girders) should be fastened together properly before erection

3. The truss erector is responsible for erection bracing of the trusses to prevent dominoing or collapse of the trusses during the erection process. Permanent bracing of individual truss members that may be required is shown on the truss engineering. The truss layout, truss engineering, and HIB-91 must be present at the jobsite during the erection of the trusses. Additional bracing that may be required for the overall stability of the building is the responsibility of the architect or the engineer of record.

CONTINUATION OF GENERAL NOTES CONCERNING WOOD TRUSSES:

4. The truss manufacturer must follow the truss engineering provided by U.S. Truss, Inc.. Any questions or problems that the truss manufacturer has regarding the truss engineering should be addressed to U.S. Truss, Inc. THE TRUSS MANUFACTURER MUST FOLLOW QUALITY CONTROL STANDARDS AS SET FORTH BY T.P.I. The truss manufacturer must also be approved to ship trusses into the municipality of the project in question. Only the connector plate types specified on the truss engineering may be used. Connector plates manufactured by another plate manufacturer or plates of a different type manufactured by the same manufacturer will require that the truss engineering be redone for that particular connector plate type. Only (1) connector plate type may be used on any one unit of the project.

5. Connector plate sizes shown on the engineering are in inches, with the width of connector plate (dimension perpendicular to rows of teeth) given first and length second. Plates may be rotated 90 degrees as shown on engineering, however, actual width of connector plate is still given first. NO WANE OR KNOTS SHOULD OCCUR IN THE CONNECTOR PLATE AREA unless connector plate is enlarged in accordance with T.P.I. standards. All connector plates are to be placed on BOTH FACES of truss and located as shown on the engineered truss drawing. All connector plates shown on the truss engineering are 20 gauge connector plates unless otherwise noted on the drawing.


6. The truss layout and all truss engineering and associated literature for the trusses provided by U.S. Truss, Inc. MUST BE SUBMITTED TO THE ENGINEER OF RECORD for the project and he/or she must approve the layout and engineering for general conformance with his/ or her intentions for the project. If an engineer of record does not exist for the project, the truss engineering, layout, etc. must be submitted to THE ARCHITECT OF RECORD for his/ or her approval.


7. The builder must verify all dimensions on the truss layout and truss engineering before the start of truss manufacturing.


8. Abbreviations for lumber shown on truss engineering:
D or DEN= Dense; SEL STR or SEL STRUC= Select Structural
N-D or N= Non Dense;
SP or S.Pine of So. Pine= Southern Pine


9. U.S. Truss, Inc. (and its engineers) make no warranties (expressed or implied) for its truss engineering unless all of the above items are followed and the trusses are manufactured and erected in accordance with the truss engineering and the governing building code.

PAGE	TR. MARK	PAGE	TR. MARK	PAGE	TR. MARK	PAGE	TR. MARK
1 THRU 6	HIB SUMMARY HANDLING INSTALLING BRACING	31	H16	55	H7	79	TC 55
		32	HGT1	56	H5E	80	TC 53
7/8	GENERAL NOTES	33	T HGT1	57	H7B	81	E 37
9 9A	SIMPSON HANGERS	34	T2	58	T6	82	E 3610
10	SIMPSON HANGERS 2x6	35	H25-T1	59	HHGT1	83	E 37B
11 11A	SOUTHEASTERN METALS HANGERS	36	H23	60	MGT2	84	E 35 C 35
12	PIGGY BACK @ PLANT	37	H21 H19	61	PB12	85	C 33
13	PIGGY BACK IN FIELD	38	H17	62	PB T1	86	C 31
14 15	STANDARD HIP, CORNER, END JACKS	39	H15	63	PB H	87	C 35A
16	STANDARD VALLEY TRUSSES	40	H13	64	PB 25	88	C 53H
17	BRACING CABLE END	41	THH11	65	PB 23	89	32
18	UPLIFT. CABLE END & END JACKS	42	THH9	66	PB 21	90	V16
19 19A	HANGING AIR HANDLING UNITS	43	THH7	67	PB 22	91	V12
20	STA. REPAIR BROKEN WEBS	44	H11 15A	68	PB 20	92	V 8
21	LATERAL BRACING	45	THH13E	69	PB 18	93	V 4
22	TOP OR BOTTOM CHORD BRACING	46	THH11A	70	PB 16	94	HV16
23	T3	47	THH9A	71	TH 37	95	HV12
24	T4	48	HH2	72	TH 3610	96	MV6
25	H20 H18	49	MGT1	73	H 37	97	MV4
26	H16	50	HH11 HH9	74	H 35	98	MV2
27	H14	51	MGT3	75	H 32	99	
28	H12	52	GT1	76	H 3610	100	
29	H10	53	T5	77	TC 37	101	
30	H8	54	H9 H11	78	TC 3610	102	

 This safety alert symbol is used to attract your attention! **PERSONAL SAFETY INVOLVED!** When you see this symbol - **BECOME ALERT - NEED ITS MESSAGE.**

 **CAUTION:** A CAUTION identifies safe operating practices or indicates unsafe conditions that could result in personal injury or damage to structures.

 **DANGER:** A DANGER designates a condition where failure to follow instructions or heed warning will most likely result in serious personal injury or death or damage to structures.

 **WARNING:** A WARNING describes a condition where failure to follow instructions could result in severe personal injury or damage to structures.


HIB-91 Summary Sheet


COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES ©



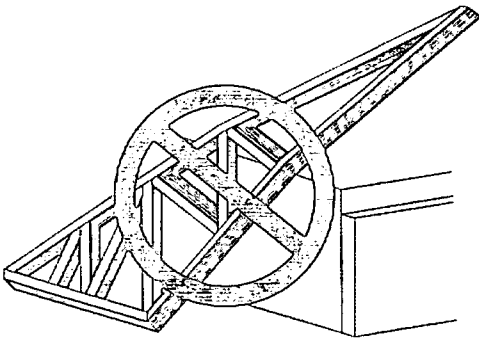
It is the responsibility of the installer (builder, building contractor, licensed contractor, erector or erection contractor) to properly receive, unload, store, handle, install and brace metal plate connected wood trusses to protect life and property. The installer must exercise the same high degree of safety awareness as with any other structural material. TPI does not intend these recommendations to be interpreted as superior to the project Architect's or Engineer's design specification for handling, installing and bracing wood trusses for a particular roof or floor. These recommendations are based upon the collective experience of leading technical personnel in the wood


truss industry, but must, due to the nature of responsibilities involved, be presented as a guide for the use of a qualified building designer or installer. Thus, the Truss Plate Institute, Inc. expressly disclaims any responsibility for damages arising from the use, application or reliance on the recommendations and information contained herein by building designers, installers, and others. Copyright © by Truss Plate Institute, Inc. All rights reserved. This document or any part thereof must not be reproduced in any form without written permission of the publisher. Printed in the United States of America.

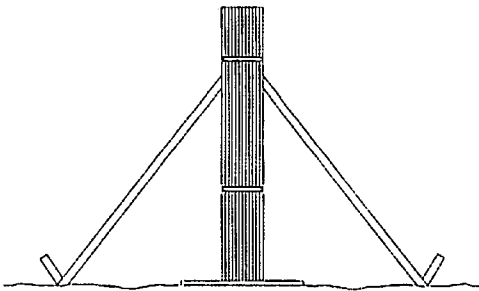
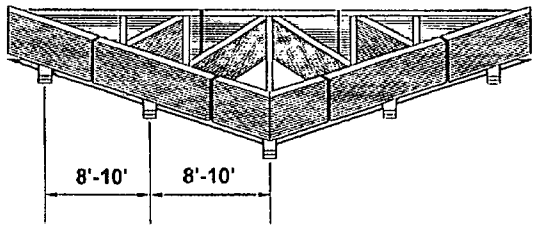
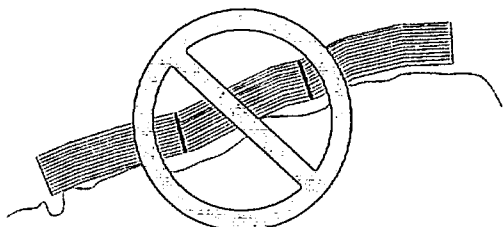
 **CAUTION:** The builder, building contractor, licensed contractor, erector or erection contractor is advised to obtain and read the entire booklet "Commentary and Recommendations for Handling, Installing & Bracing Metal Plate Connected Wood Trusses, HIB-91" from the Truss Plate Institute.


 **CAUTION:** All temporary bracing should be no less than 2nd grade marked lumber. All connections should be made with minimum of 2-1/2" nails. All trusses assumed 2' on-center or less. All multi-ply trusses should be connected together in accordance with design drawings prior to installation.


TRUSS STORAGE.




 **CAUTION:** Trusses should not be unloaded on rough terrain or uneven surfaces which could cause damage to the truss.





 **CAUTION:** Trusses stored horizontally should be supported on blocking to prevent excessive lateral bending and lessen moisture gain.

 **CAUTION:** Trusses stored vertically should be braced to prevent toppling or tipping.

 **WARNING:** Do not break banding until installation begins. Care should be exercised in banding removal to avoid shifting of individual trusses.

 **DANGER:** Do not store bundles upright unless properly braced. Do not break bands until bundles are placed in a stable horizontal position.

 **WARNING:** Do not lift banded trusses by the bands. Do not use damaged trusses.

 **DANGER:** Walking on trusses which are being lifted is extremely dangerous and should be strictly prohibited.

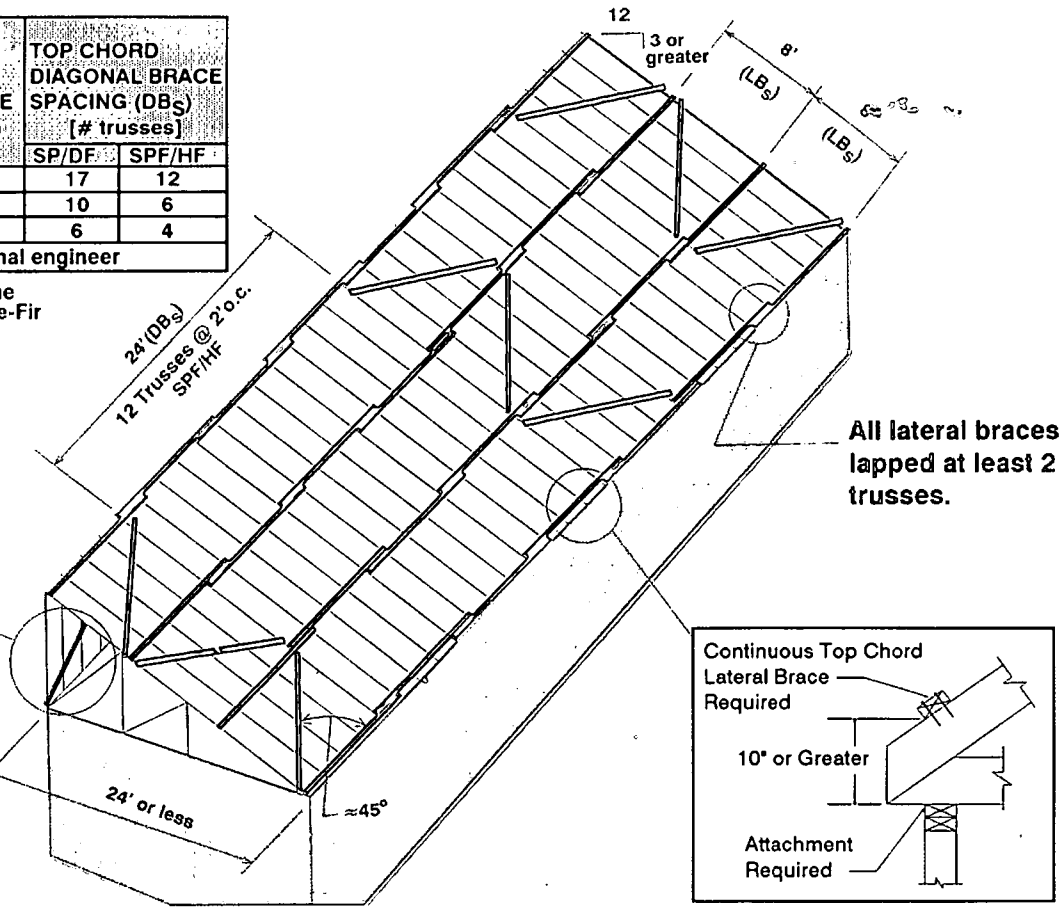
SPAN	MINIMUM PITCH	TOP CHORD LATERAL BRACE SPACING (LB _S)	TOP CHORD DIAGONAL BRACE SPACING (DB _S) [# trusses]	
			SP/DF	SPF/HF
Up to 24'	3/12	8'	17	12
Over 24' - 42'	3/12	7'	10	6
Over 42' - 54'	3/12	6'	6	4
Over 54'	See a registered professional engineer			

DF - Douglas Fir-Larch
HF - Hem-Fir

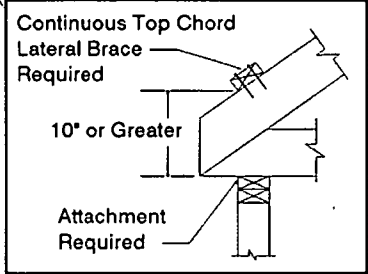
SP - Southern Pine
SPF - Spruce-Pine-Fir

MONO TRUSS

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



Diagonal brace also required on end verticals.

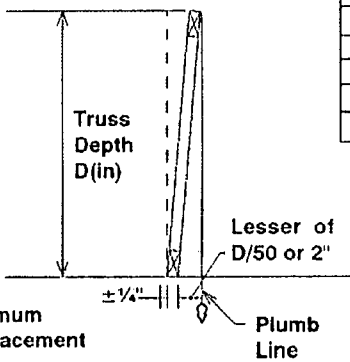


WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

INSTALLATION TOLERANCES

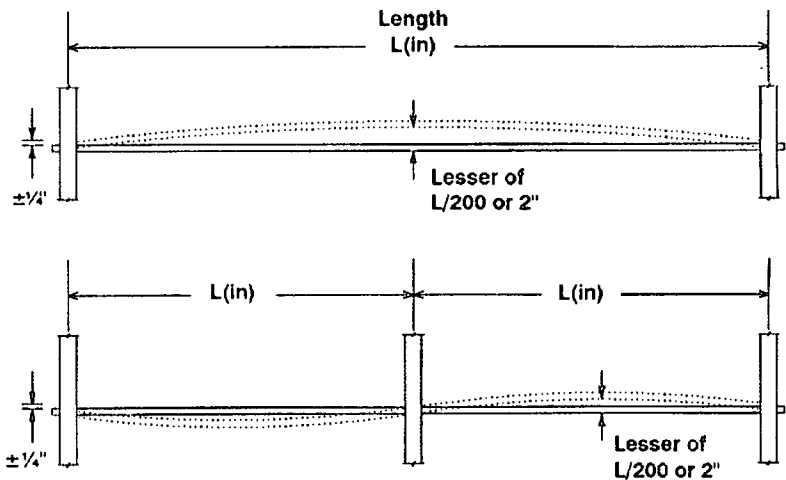
PLUMB

D(in)	D/50	D(ft)
12"	1/4"	1'
24"	1/2"	2'
36"	3/4"	3'
48"	1"	4'
60"	1-1/4"	5'
72"	1-1/2"	6'
84"	1-3/4"	7'
96"	2"	8'
108"	2"	9'



OUT-OF-PLUMB INSTALLATION TOLERANCES.

BOW



L(in)	L/200	L(ft)
50"	1/4"	4.2'
100"	1/2"	8.3'
150"	3/4"	12.5'

L(in)	L/200	L(ft)
200"	1"	16.7'
250"	1-1/4"	20.8'
300"	1-1/2"	25.0'

OUT-OF-PLANE INSTALLATION TOLERANCES.

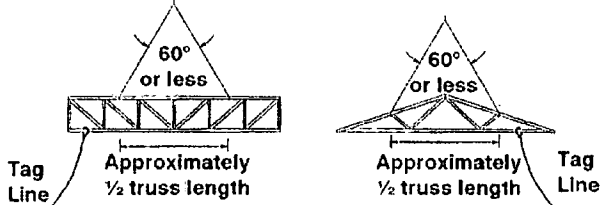
WARNING: Do not cut trusses.

DANGER: Under no circumstances should construction loads of any description be placed on unbraced trusses.

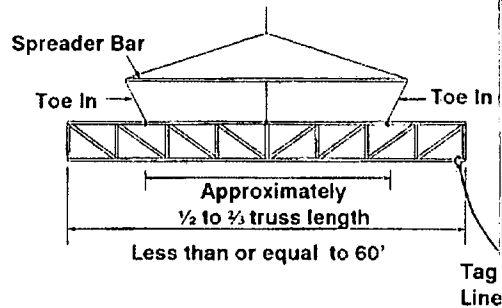
WARNING: Do not attach cables, chains, or hooks to the web members.

WARNING: Do not lift single trusses with spans greater than 30' by the peak.

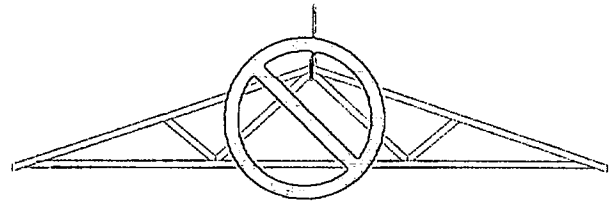
MECHANICAL INSTALLATION



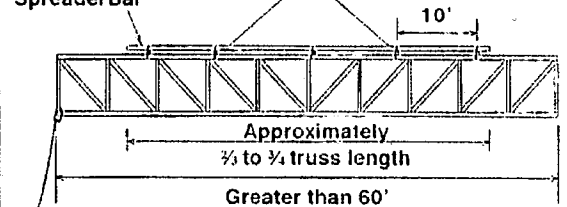
Truss spans less than 30'.



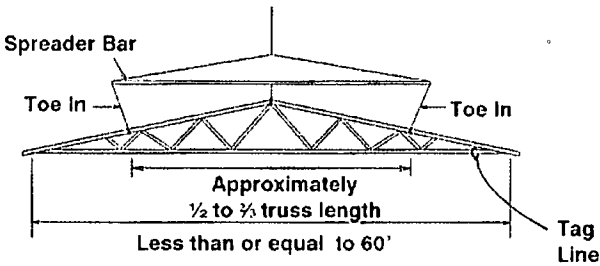
Lifting devices should be connected to the truss top chord with a closed-loop attachment utilizing materials such as slings, chains, cables, nylon strapping, etc. of sufficient strength to carry the weight of the truss. Each truss should be set in proper position per the building designer's framing plan and held with the lifting device until the ends of the truss are securely fastened and temporary bracing is installed.



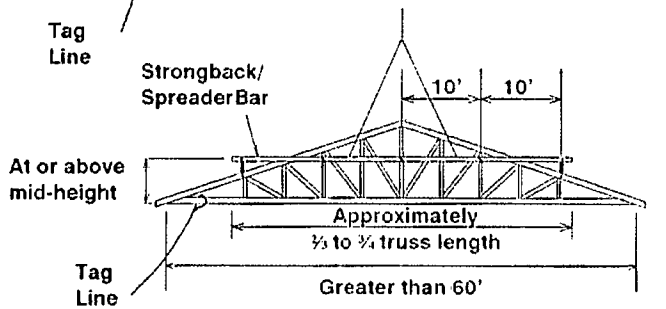
Strongback/Spreader Bar



Tag Line



Tag Line

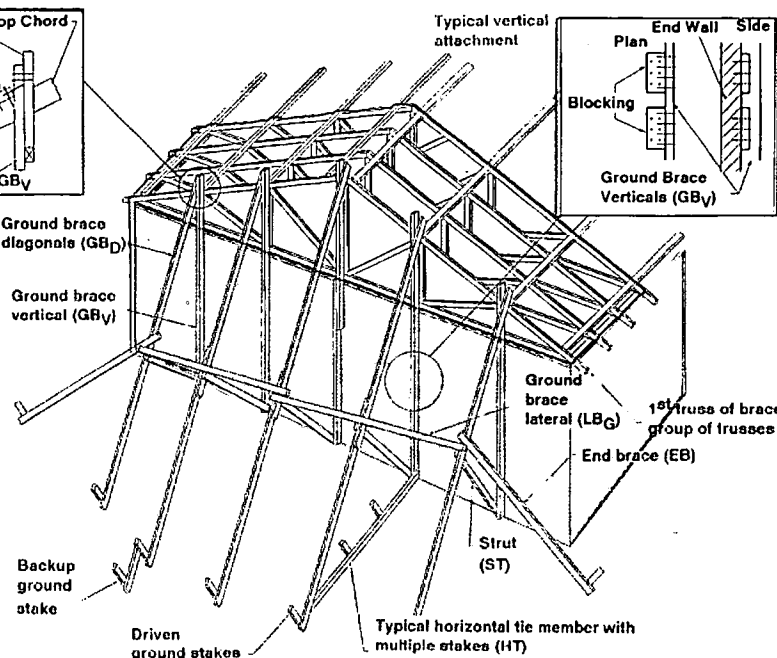
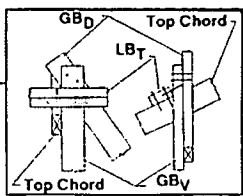
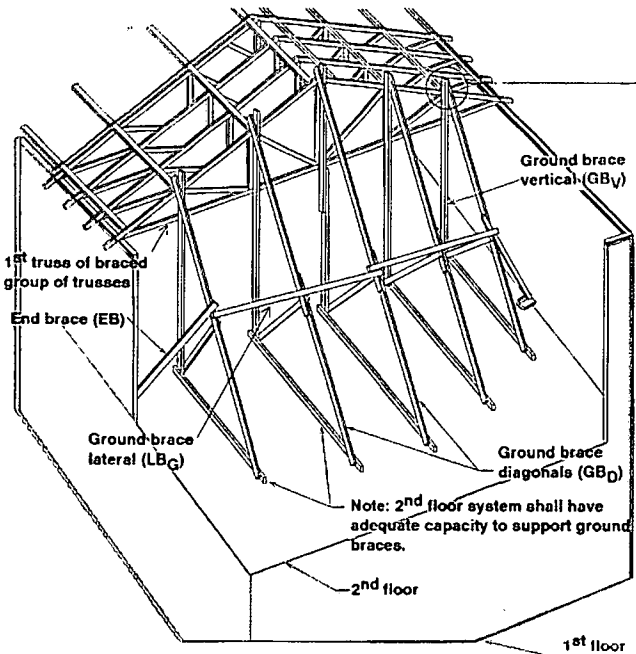


Tag Line

CAUTION: Temporary bracing shown in this summary sheet is adequate for the installation of trusses with similar configurations. Consult a registered professional engineer if a different bracing arrangement is desired. The engineer may design bracing in accordance with TPI's Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses, OSB-04, and in some cases determine that a wider spacing is possible.

GROUND BRACING: BUILDING INTERIOR

GROUND BRACING: BUILDING EXTERIOR



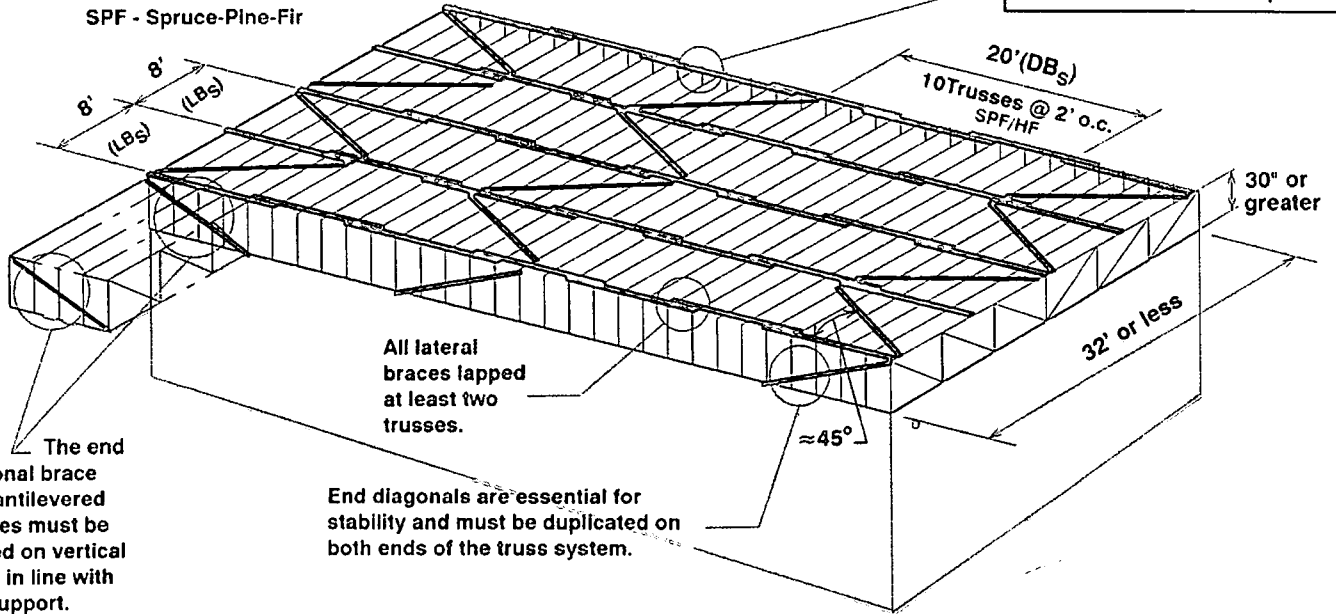
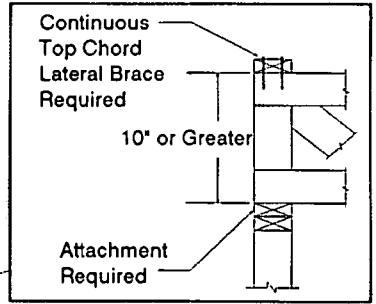
CAUTION: Ground bracing required for all installations.

SPAN	MINIMUM DEPTH	TOP CHORD LATERAL BRACE SPACING (LB _s)	TOP CHORD DIAGONAL BRACE SPACING (DB _s)	
			# trusses	
			SP/DF	SPF/HF
Up to 32'	30"	8'	16	10
Over 32' - 48'	42"	6'	6	4
Over 48' - 60'	48"	5'	4	2
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch SP - Southern Pine
 HF - Hem-Fir SPF - Spruce-Pine-Fir

2x4/2x6 PARALLEL CHORD TRUSS

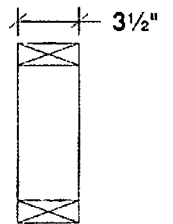
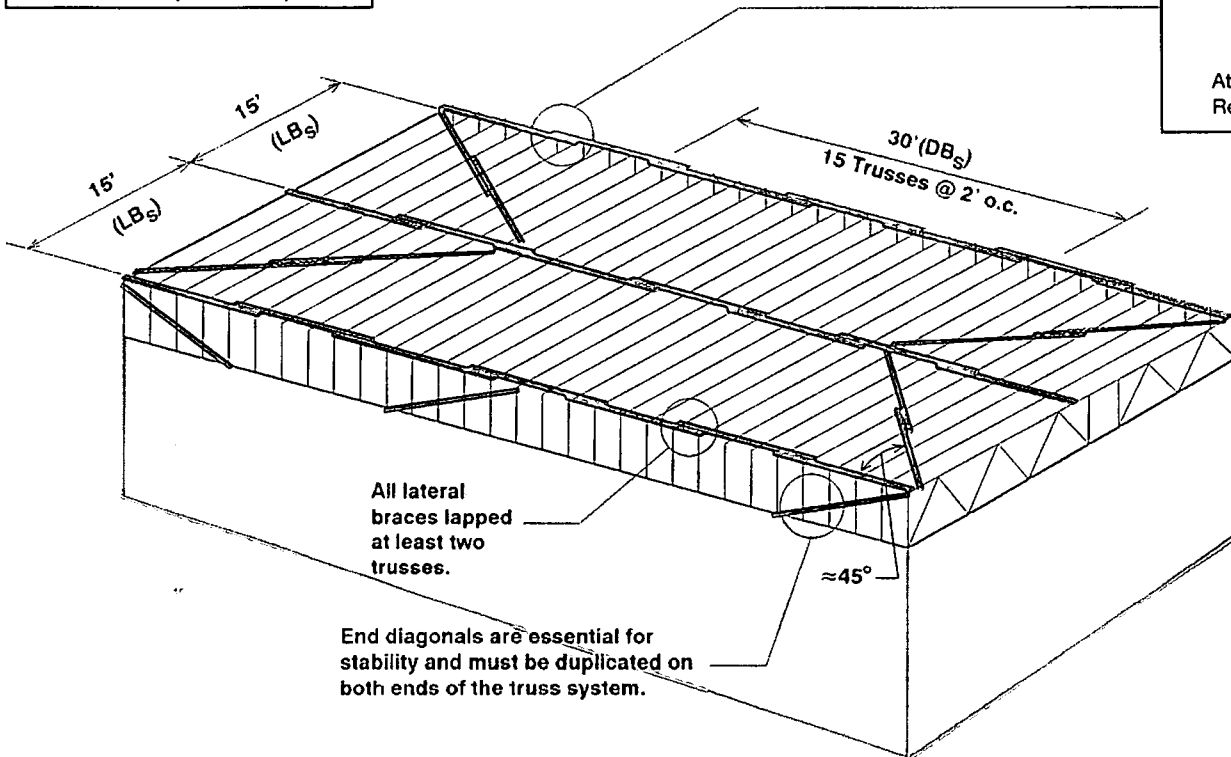
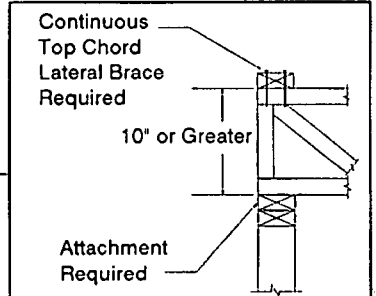
Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.



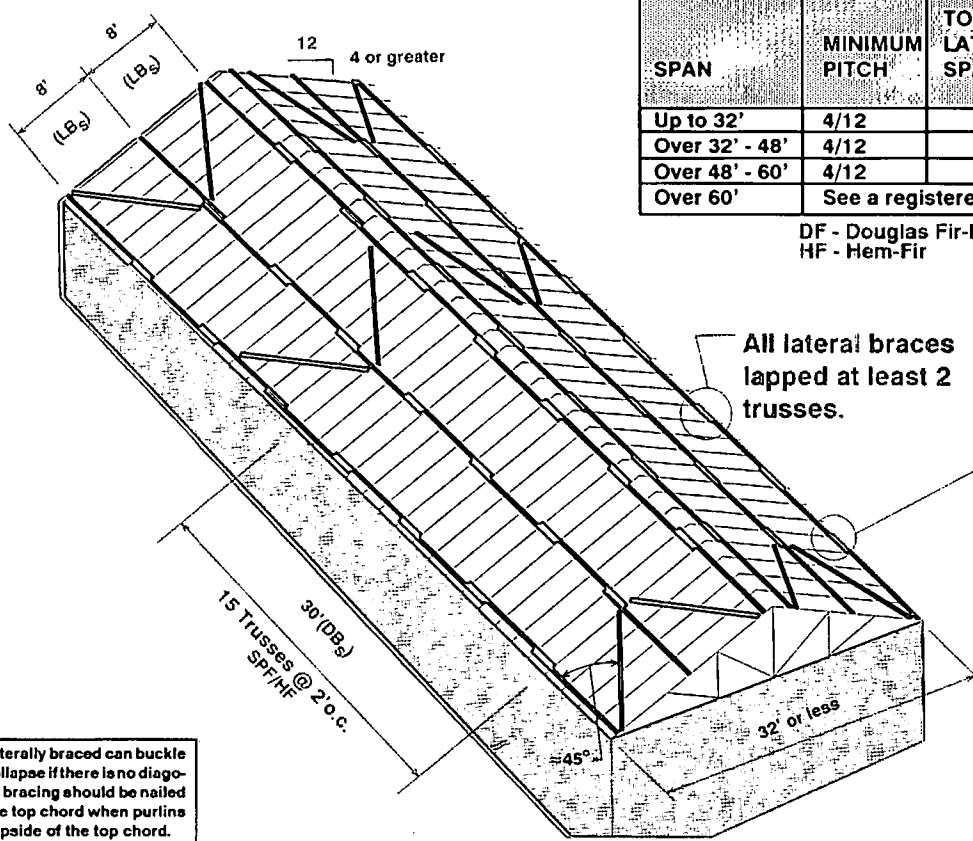
WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.

4x2 PARALLEL CHORD TRUSS: TOP CHORD

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

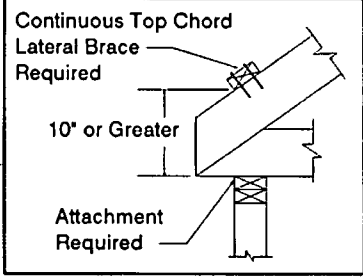


Trusses must have lumber oriented in the horizontal direction to use this brace spacing.



SPAN	MINIMUM PITCH	TOP CHORD LATERAL BRACE SPACING (LBs)	TOP CHORD DIAGONAL BRACE SPACING (DBs) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	4/12	8'	20	15
Over 32' - 48'	4/12	6'	10	7
Over 48' - 60'	4/12	5'	6	4
Over 60'	See a registered professional engineer			

DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir



All lateral braces lapped at least 2 trusses.

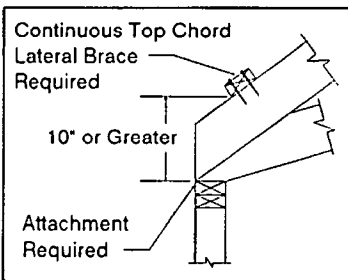
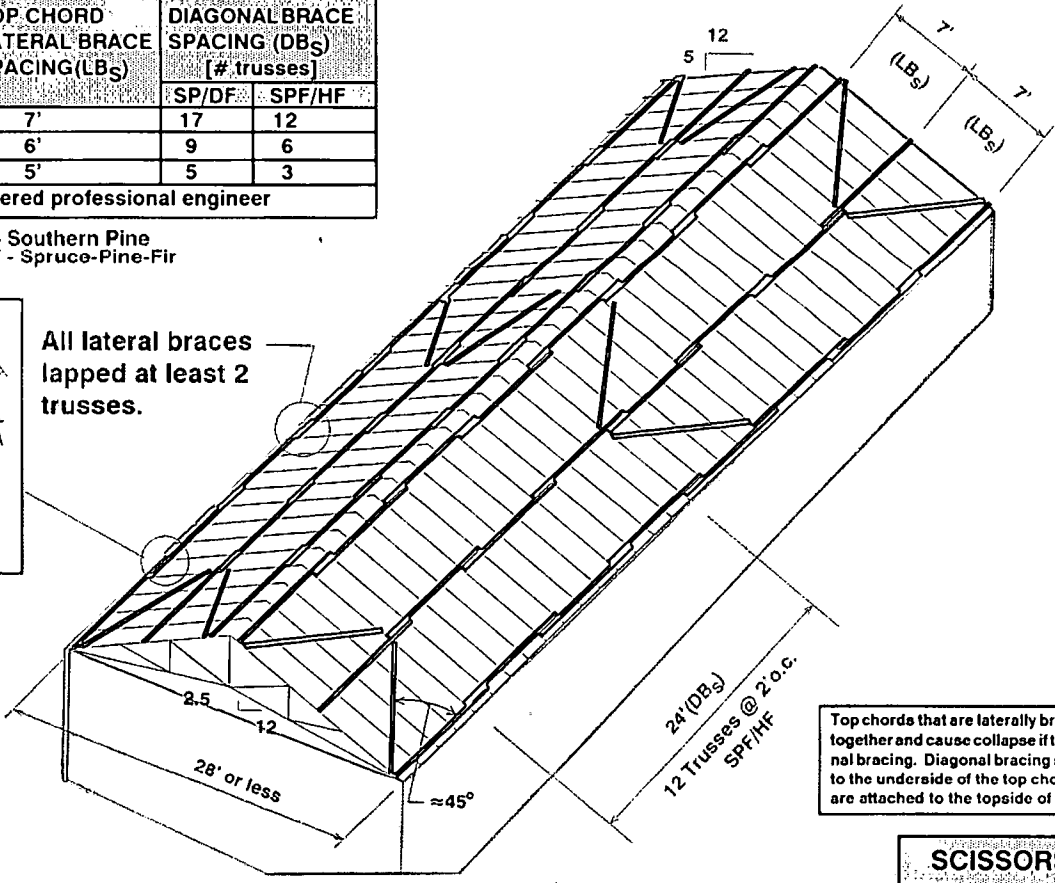
Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

PITCHED TRUSS

WARNING: Failure to follow these recommendations could result in severe personal injury or damage to houses or buildings.

SPAN	MINIMUM PITCH DIFFERENCE	TOP CHORD LATERAL BRACE SPACING (LBs)	TOP CHORD DIAGONAL BRACE SPACING (DBs) [# trusses]	
			SP/DF	SPF/HF
Up to 28'	2.5	7'	17	12
Over 28' - 42'	3.0	6'	9	6
Over 42' - 60'	3.0	5'	5	3
Over 60'	See a registered professional engineer			

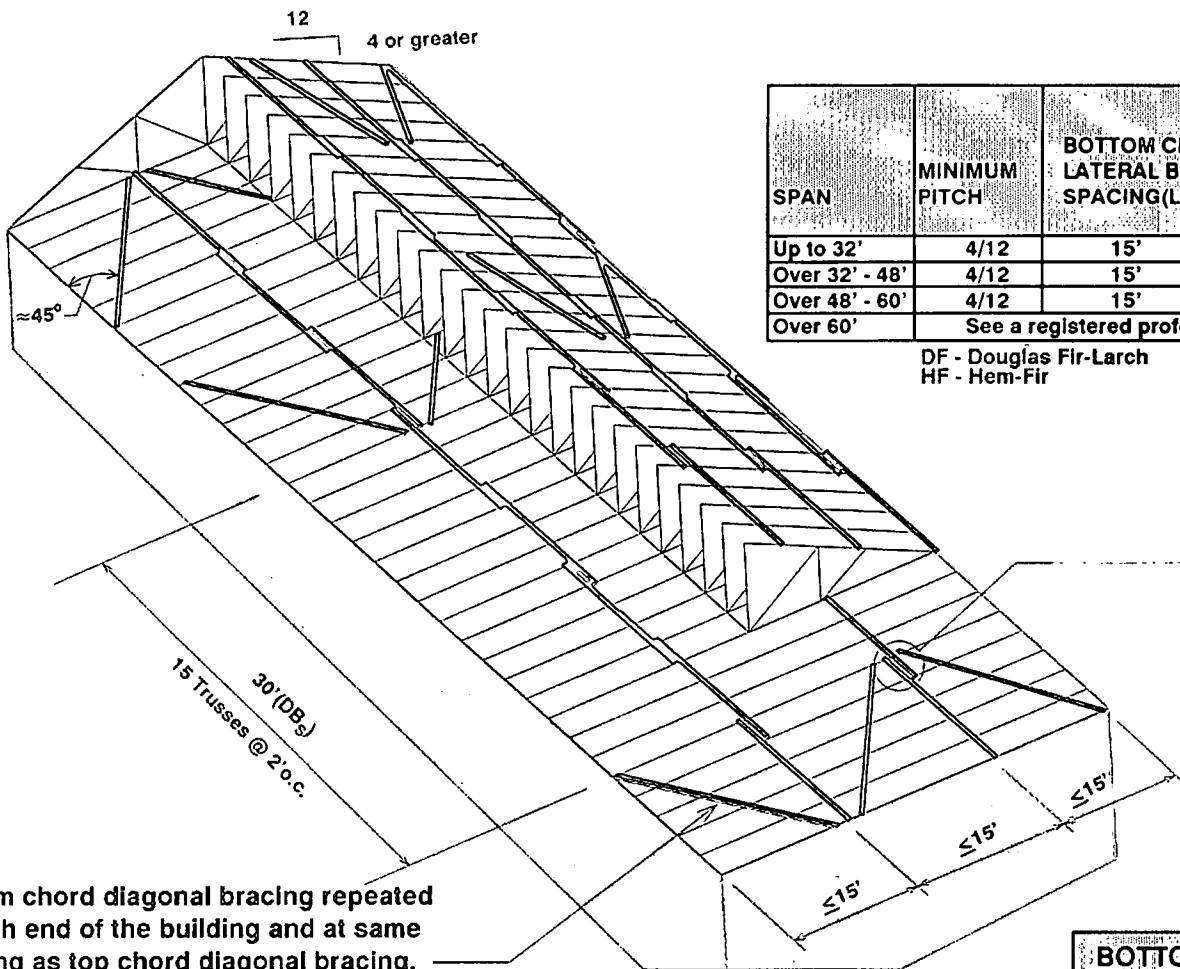
DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir



All lateral braces lapped at least 2 trusses.

Top chords that are laterally braced can buckle together and cause collapse if there is no diagonal bracing. Diagonal bracing should be nailed to the underside of the top chord when purlins are attached to the topside of the top chord.

SCISSORS TRUSS



SPAN	MINIMUM PITCH	BOTTOM CHORD LATERAL BRACE SPACING (LBs)	BOTTOM CHORD DIAGONAL BRACE SPACING (DBs) [# trusses]	
			SP/DF	SPF/HF
Up to 32'	4/12	15'	20	15
Over 32' - 48'	4/12	15'	10	7
Over 48' - 60'	4/12	15'	6	4
Over 60'	See a registered professional engineer			

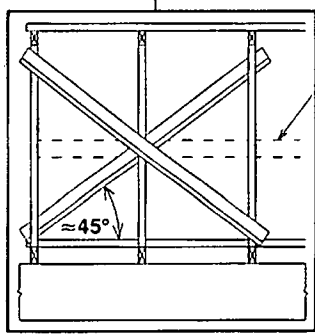
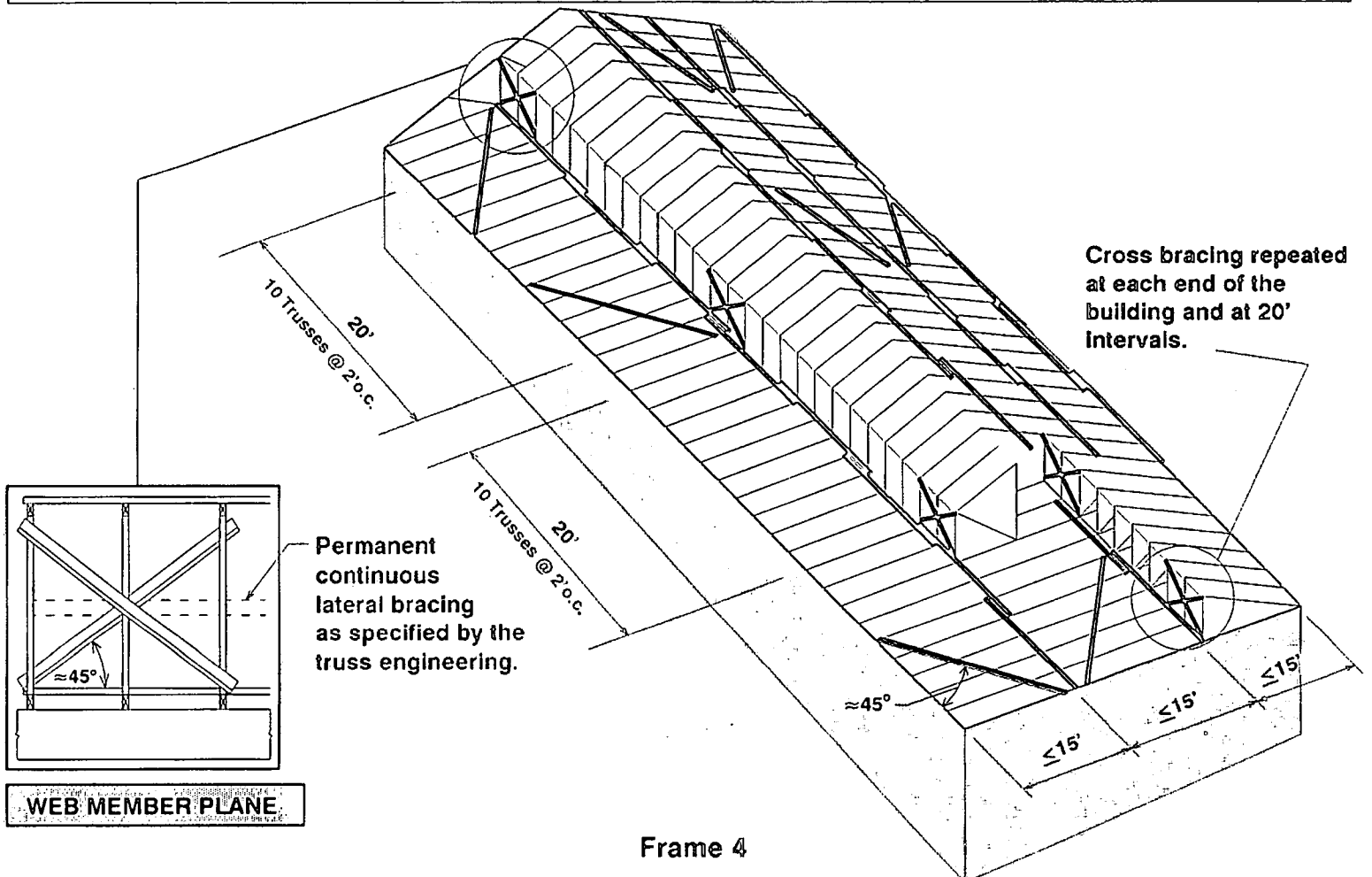
DF - Douglas Fir-Larch
 HF - Hem-Fir
 SP - Southern Pine
 SPF - Spruce-Pine-Fir

Bottom chord diagonal bracing repeated at each end of the building and at same spacing as top chord diagonal bracing.

All lateral braces lapped at least 2 trusses.

BOTTOM CHORD PLANE

WARNING: Failure to follow these recommendations could result in severe personal injury or damage to trusses or buildings.



WEB MEMBER PLANE

Frame 4



SBCCI PUBLIC SAFETY TESTING AND EVALUATION SERVICES INC.

900 Montclair Road, Suite A; Birmingham, Alabama 35213-1206

a Participating Member of the NES, Inc.

Evaluation Reports are the opinion of the Committee on Evaluation, based on the findings, and do not constitute or imply an approval or acceptance by any local community. The Committee, in review of the data submitted, finds that in their opinion the product, material, system, or method of construction specifically identified in this report conforms with or is a suitable alternate to that specified in the Standard Codes, **SUBJECT TO THE LIMITATIONS IN THIS REPORT.**

The Committee on Evaluation has reviewed the data submitted for compliance with the *Standard Building Code*, the *SBCCI Standard for Hurricane Resistant Residential Construction SSTD 10-96*, and the *CABO One and Two Family Dwelling Code* and submits to the Building Official or other authority having jurisdiction the following report. The Committee on Evaluation, SBCCI PST & ESI and its staff are not responsible for any errors or omissions to any documents, calculations, drawings, specifications, tests or summaries prepared and submitted by the design professional or preparer of record that are listed in the Substantiating Data Section of this report. Copyrighted © 1997 SBCCI PST & ESI

REPORT NO.: 9733

EXPIRES: See current SBCCI PST & ESI EVALUATION REPORT LISTING

CATEGORY: DOORS AND WINDOWS

SUBMITTED BY:

K. D. I., INC.
3705 SHARES PLACE
RIVIERA BEACH, FLORIDA 33404

1. PRODUCT TRADE NAME

KDI Glass Windows and Doors:

- 1.1 Casement Window
- 1.2 Fixed Glass Window
- 1.3 Single Hung Window
- 1.4 Glass Siding Door

2. SCOPE OF EVALUATION

- 2.1 Structural - Transverse Wind Loads
- 2.2 Air and Water Infiltration

3. USES

KDI Glass Windows and Doors are used as glazed openings with specified allowable wind pressures.

4. DESCRIPTION

4.1 General

KDI Glass Windows are constructed with aluminum frame and annealed glass. The aluminum complies with 6063 Alloy. The windows were load tested under ASTM E 330 to establish allowable transverse wind loads. See Table 1 for allowable loads.

4.2 Models

4.2.1 Casement Window: KDI Casement Windows use 3/16 inch annealed glass. Window size inside dimensions vary from 18" x 24" to 37" x 73" maximum. The standard size windows may be combined using a mullion designed to resist the allowable wind load, mullions may be reinforced with a steel channel, ASTM A 514, minimum yield 90,000 psi.

4.2.2 Fixed Glass Window: KDI Fixed Glass Windows use 1/4 inch tempered glass. Window size is 73 inches by 84-1/2 inches overall.

4.2.3 Single Hung Window: KDI Single Hung Windows use 3/16 inch Annealed glass. Window size is 53-1/8 inches by 74 inches overall.

4.2.4 Glass Sliding Door: KDI Glass Sliding Doors use 3/16 inch tempered glass. Overall size is 97-1/4 inches by 96-1/4 inches (nominal 8 foot by 8 foot).

5. INSTALLATION

5.1 General

KDI Glass Windows and Doors are installed in accordance with the manufacturer's published installation instructions, engineering drawings, and this report.

The manufacturer's published installation instructions and this report shall be strictly adhered to and a copy of these instructions shall be available at all times on the job site during installation.

The instructions within this report govern if there are any conflicts between the manufacturer's instructions and this report.

5.2 Allowable Transverse Wind Loads

The design wind loads on the glass windows and doors shall be determined in accordance with Section 1606 of the *Standard Building Code*® and shall not exceed the allowable transverse wind loads shown in Table 1.

TABLE 1
ALLOWABLE TRANSVERSE WIND LOADS

MODEL	W (MAX) INCHES	H (MAX) INCHES	DRAWING NUMBER	DESIGN LOAD POSITIVE (PSF)	DESIGN LOAD NEGATIVE (PSF)	NOTES
Casement Window	37	73	96-101	50	66	3
Fixed Glass Window	73	84-1/2	97-003	56	70	3
Single Hung Window	53-1/8	74	97-002	42	55	2,3
Sliding Glass Door	97-1/4	96-1/4	97-001	43	54	3

Table Notes:

1. SI Units Conversion: 1 in. = 25.4 mm, 1 ft = 0.3 m, 1 psf = 48 Pa
2. Single Hung Window: Negative Load may be increased to 60 psf when reinforced with a 1" x 1" x 1/8" aluminum channel 50" long on top rail of bottom sash attached with (8) #8 x 5/8 inch SMS @ 7" on center.
3. Fastener size and spacing are noted on engineering drawings.

6. SUBSTANTIATING DATA

- 6.1 Manufacturer's descriptive literature, specifications, and installation instructions.
- 6.2 Test reports, transverse wind load pressure under ASTM E 330, air infiltration under ASTM E 283, and water infiltration under ASTM E 331, Hurricane Engineering & Testing Inc., signed and sealed by Hector M. Medina, P.E.:
 - Casement Window, size 37" w x 73" h, Report No. HETI-96-1056, Dwg. No. 96-101, dated October 9, 1996.
 - Fixed Glass Windows, size 73" x 84-1/2", Report No. HETI-96-1081, Dwg. No. 97-003, dated February 6, 1997.
 - Single Hung Window, size 53-1/8" x 74", Report No. HETI-96-1079, Dwg. No. 97-002, dated February 6, 1997.
 - Glass Sliding Door, size 97-1/4" x 96-1/4", Report No. HETI-96-1078, Dwg. No. 97-001, dated February 6, 1997.
- 6.3 Engineering calculations, signed, sealed, and dated by K. Venkatesan, M.S., P.E.:
 - Letter report, April 16, 1997, signed by Syed Waqar Ali, PhD., clarifying sizes tested and compliance with AAMA 101-93.
 - Casement window 37" w x 73" h, dated November 22, 1996.
 - Fixed Glass Window, size 73" x 84", dated February 12, 1997.
 - Single Hung Window, size 53-1/8" x 74", dated February 12, 1997.
 - Glass Sliding Door, size 8-0 x 8-0, dated February 12, 1997.
 - Anchorage Calculation for 37" x 73" Casement Window, dated March 6, 1997.
- 6.4 Engineering drawings, prepared by K.D.I., Inc., signed, sealed, and dated by K. Venkatesan, M.S., P.E.:
 - 96-101, Casement Window Details, dated November 14, 1996.

- 97-003, Fixed Glass Window Details, dated February 5, 1997.
- 97-002, Single Hung Window, dated February 5, 1997.
- 97-001, Glass Sliding Door, dated February 5, 1997.

6.5 Mill order certificate, Certified Test report, Benada Aluminum of Florida, signed by Dominic Strammello, Plant Manager, dated February 15, 1997.

7. CODE REFERENCES

Standard Building Code® - 1997 Edition

Section 103.7	Alternate Materials and Methods
Section 1606	Wind Loads
Chapter 17	Structural Tests and Inspections
Section 1707.4	Exterior Window and Door Assemblies
Chapter 24	Glass and Glazing

SBCCI Standard for Hurricane Resistant Residential Construction® SSTD10-96

Section 101.4	Alternate Materials and Methods
Section 101.3	Integrity of Building Envelope
Section 101.6	Design Concepts
Section 104	Design Criteria
Appendix B	Design Load Assumptions

CABO One and Two Family Dwelling Code - 1995 Edition with 1996/1997 Amendments

Section 108	Alternate Materials and Systems
Section 301	Design Criteria
Section 308.5	Glazing - Wind Loads
Chapter 6	Wall Construction

8. COMMITTEE FINDINGS

The Committee on Evaluation in review of the data submitted finds that, in their opinion, the KDI Glass Windows and Doors as described in this report conform with or are suitable alternates to that specified in the *Standard Building Code*®, the *SBCCI Standard for Hurricane Resistant Residential Construction*® SSTD10-96, and the *CABO One and Two Family Dwelling Code* or Supplements thereto.

9. LIMITATIONS

- 9.1 This Evaluation Report and the installation instructions, and engineering drawings when required by the building official, shall be submitted at the time of permit application.
- 9.2 The windows and doors shall be installed in accordance with the installation instructions in this report and the manufacturer's published installation instructions.
- 9.3 The structural elements supporting window and door track brackets shall be designed by a registered professional engineer for the wind loads shown on the drawings. The calculations shall be signed, sealed, and dated, and submitted to the building official when applying for a permit.
- 9.4 The windows and doors shall not be installed in areas where the transverse wind loads exceed the allowable loads shown in Table 1.
- 9.5 Fire performance of the windows and doors is outside the scope of this Evaluation Report.
- 9.6 KDI Glass Windows and doors used in hazardous locations as defined under 2405.2 of the SBC shall be labeled and listed as complying with ANSI Z97.1 and CPSC 16 CFR, Part 1201.

10. IDENTIFICATION

Each KDI Glass Window and Door covered by this report shall be labeled with the manufacturer's name and/or trademark, the SBCCI Public Safety Testing and Evaluation Services Inc. Seal or initials (SBCCI PST & ESI), and the number of this report for field identification.

The phrase "Refer to this Evaluation Report for Code compliance" shall be printed in the manufacturer's literature and installation instructions referencing this Evaluation Report number.

11. PERIOD OF ISSUANCE

SEE CURRENT SBCCI PST & ESI EVALUATION REPORT LISTING FOR STATUS OF THIS EVALUATION REPORT.

For information on this report contact:
Michael P. O'Reardon, P.E.
205/599-9800

HURRICANE ENGINEERING & TESTING INC.

Computer Controlled Product Testing & Design,
..... Wind Load Analysis

Air and Water Infiltration Test Uniform Static Air Pressure Test & Forced Entry Resistance Test

DATE OF TEST: Nov 26, 1996
DATE OF REPORT: Feb 06, 1997

REPORT NUMBER: HETI-96-1078
MANUFACTURER: KDI Windows
3705 Shares PL, Riviera Bch, FL 33404

TEST LOCATION: Hurricane Engineering & Testing Inc.
8532 N.W. 64 Street Miami, FL 33166

LAB. CERTIFICATION NUMBER: 95-0118.02

PRODUCT: Sliding Glass Door

PRODUCT SIZE: 97-1/4"w x 96-1/4"h x 4"

DESIGN LOADS (psf): +43.3, -54.0

DRAWING NUMBER: 97-001 K. Venkatesian 2/5/97
NOTE: HETI stamped drawing is an integral part of this report.

TEST WITNESSED BY: (full or partial)
Dr. Wakar Ali (HETI)
Mr. Terry C. Agee, E.I.T., (HETI)
Mr. Dennis Hoenich (KDI)
Mr. Fred Bandy (KDI)

HURRICANE ENGINEERING & TESTING INC.

Computer Controlled Product Testing & Design,
.....Wind Load Analysis

Air and Water Infiltration Test Uniform Static Air Pressure Test

DATE OF TEST: Dec 04, 1996
DATE OF REPORT: Feb 6, 1997

REPORT NUMBER: HETI-96-1079
MANUFACTURER: KDI Windows
3705 Shares PL, Riviera Bch, FL 33404

TEST LOCATION: Hurricane Engineering & Testing Inc.
8532 N.W. 64 Street Miami, FL 33166

PRODUCT: Single Hung Windows

PRODUCT SIZE: Sample I, II & III 56"x78"

DESIGN LOADS (psf): Sample I (Air and Water Infiltration Test and preloads only)
Sample II +42.0, -60.0
Sample III +42.0, -55.0

DRAWING NUMBER: 97-002 K. Venkatesian 2/5/97
NOTE: HETI stamped drawing is an integral part of this report.

TEST WITNESSED BY: (full or partial)
Dr. Wakar Ali (HETI)
Mr. Terry C. Agee, E.I.T., (HETI)
Mr. Dennis Hoenich (KDI)
Mr. Fred Bandy (KDI)

HURRICANE ENGINEERING & TESTING INC.

Computer Controlled Product Testing & Design,
..... Wind Load Analysis

Air and Water Infiltration Test Uniform Static Air Pressure Test

DATE OF TEST: Dec 09, 1996

DATE OF REPORT: Feb 06, 1997

REPORT NUMBER: HETI-96-1081
MANUFACTURER: KDI Windows
3705 Shares PL, Riviera Bch, FL 33404

TEST LOCATION: Hurricane Engineering & Testing Inc.
8532 N.W. 64 Street Miami, FL 33166

PRODUCT: Fixed Picture Window

PRODUCT SIZE: 73" x 84-1/2" x 2.3"

DESIGN LOADS (psf): +56.0 -70.0

DRAWING NUMBER: 97-003 K. Venkatesian 2/5/97

NOTE: HETI stamped drawing is an integral part of this report.

TEST WITNESSED BY: (full or partial)
Dr. Wakar Ali (HETI)
Mr. Terry C. Agee, E.I.T., (HETI)
Mr. Dennis Hoenich (KDI)
Mr. Fred Bandy (KDI)

Project Summary

Client:	Company: Wojcieszak & Associates
Address:	Representative:
City:	Address:
Phone:	City:
Fax:	Phone:
	Fax:
	Comment:

Design Data

Project Name:	Cicoria Family Residence
Reference City:	West Palm Beach, Florida
Daily Temperature Range:	Medium
Latitude:	26 Degrees
Elevation:	15 Feet

	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel.Hum.	Indoor Dry Bulb	Grains Difference
Winter:	45	N/A	N/A	72	N/A
Summer:	91	79	50%	75	66

Check Figures

Total Building Supply CFM:	3639	CFM per square foot:	1.083
Square feet of room area:	3,362	Square feet per ton:	415.734

Building Loads

Total heating required with outside air:	60,649 Btuh	60.649 MBH
Total sensible gain:	74,723 Btuh	83 %
Total latent gain:	15,482 Btuh	17 %
Total cooling required with outside air:	90,205 Btuh	7.517 Tons (based on sensible + latent)
		8.087 Tons (based on 77% sensible capacity)

Notes

Calculations are based on 7th edition of ACCA **Manual J**.
All computed results are estimates as building use and weather may vary.
Be sure to select a unit that meets both sensible and latent loads.



System #1 Summary Loads

Component Description	Area Quan	Sen. Loss	Lat. Gain	Sen. Gain	Total Gain
1A Window Tint Glass Wood Frame	118	3,155	0	4,267	4,267
7A Skylight Single Tint Glass Wood Frame	4	120	0	744	744
8A Glass Door Single Tint Glass Wood Frame	42	1,123	0	2,596	2,596
14B Wall 8" or 12" Block + R-4.2	926	5,950	0	2,711	2,711
16G Ceiling R-30 Insulation	1,054	939	0	1,390	1,390
22A Slab on Grade No Edge Insulation	107	2,340	0	0	0
Subtotals for structure:	2,251	13,627	0	11,708	11,708
Active People:	3	0	690	900	1,590
Inactive People:	3	0	450	750	1,200
Appliances:	0	0	0	500	500
Lighting:	0	0		0	
Ductwork:	0	871	0	1,513	1,513
Infiltration: Winter CFM: 127.7, Summer CFM: 72.9	164	3,791	3,278	1,284	4,562
Ventilation: Winter CFM: 0.0, Summer CFM: 0.0	0	0	0	0	0
Sensible Gain Total:				16,655	
Temperature Swing Multiplier:				X1.00	
System Load Totals:		18,289	4,418	16,655	21,073

Check Figures

Supply CFM:	1,000	CFM per square foot:	0.945
Square feet of room area:	1,058	Square feet per ton:	586.966

System Loads

Total heating required with outside air:	18,289 Btuh	18.289 MBH
Total sensible gain:	16,655 Btuh	79 %
Total latent gain:	4,418 Btuh	21 %
Total cooling required with outside air:	21,073 Btuh	1.756 Tons (based on sensible + latent)
		1.802 Tons (based on 77% sensible capacity)

Notes

Calculations are based on 7th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

System #2 Summary Loads

Component Description	Area Quan	Sen. Loss	Lat. Gain	Sen. Gain	Total Gain
1A Window Tint Glass Wood Frame	160	4,277	0	7,902	7,902
8A Glass Door Single Tint Glass Wood Frame	208	5,560	0	12,855	12,855
9A French Door Single Tint Glass Wood Frame	36	909	0	2,225	2,225
14B Wall 8" or 12" Block + R-4.2	410	2,634	0	1,199	1,199
16G Ceiling R-30 Insulation	1,488	1,326	0	1,964	1,964
22A Slab on Grade No Edge Insulation	71	1,553	0	0	0
Subtotals for structure:	2,373	16,259	0	26,145	26,145
Active People:	7	0	1,610	2,100	3,710
Inactive People:	6	0	900	1,500	2,400
Appliances:	0	0	0	1,200	1,200
Lighting:	0	0		0	
Ductwork:	0	1,098	0	3,288	3,288
Infiltration: Winter CFM: 191.9, Summer CFM: 109.7	404	5,699	4,926	1,931	6,857
Ventilation: Winter CFM: 0.0, Summer CFM: 0.0	0	0	0	0	0
Sensible Gain Total:				36,164	
Temperature Swing Multiplier:				X1.00	
System Load Totals:		23,056	7,436	36,164	43,600

Check Figures

Supply CFM:	1,644	CFM per square foot:	1.105
Square feet of room area:	1,488	Square feet per ton:	380.188

System Loads

Total heating required with outside air:	23,056 Btuh	23.056 MBH
Total sensible gain:	36,164 Btuh	83 %
Total latent gain:	7,436 Btuh	17 %
Total cooling required with outside air:	43,600 Btuh	3.633 Tons (based on sensible + latent)
		3.914 Tons (based on 77% sensible capacity)

Notes

Calculations are based on 7th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.



System #3 Summary Loads

Component Description	Area Quan	Sen. Loss	Lat. Gain	Sen. Gain	Total Gain
1A Window Tint Glass Wood Frame	140	3,744	0	6,492	6,492
7A Skylight Single Tint Glass Wood Frame	16	478	0	2,112	2,112
8A Glass Door Single Tint Glass Wood Frame	84	2,245	0	5,191	5,191
14B Wall 8" or 12" Block + R-4.2	898	5,769	0	2,629	2,629
16G Ceiling R-30 Insulation	800	713	0	1,056	1,056
22A Slab on Grade No Edge Insulation	109	2,384	0	0	0
Subtotals for structure:	2,047	15,333	0	17,480	17,480
Active People:	3	0	690	900	1,590
Inactive People:	2	0	300	500	800
Appliances:	0	0	0	0	0
Lighting:	0	0		0	
Ductwork:	0	920	0	1,991	1,991
Infiltration: Winter CFM: 102.8, Summer CFM: 58.7	240	3,051	2,638	1,033	3,671
Ventilation: Winter CFM: 0.0, Summer CFM: 0.0	0	0	0	0	0
Sensible Gain Total:				21,904	
Temperature Swing Multiplier:				X1.00	
System Load Totals:		19,304	3,628	21,904	25,532

Check Figures

Supply CFM:	996	CFM per square foot:	1.22
Square feet of room area:	816	Square feet per ton:	344.222

System Loads

Total heating required with outside air:	19,304 Btuh	19.304 MBH
Total sensible gain:	21,904 Btuh	86 %
Total latent gain:	3,628 Btuh	14 %
Total cooling required with outside air:	25,532 Btuh	2.128 Tons (based on sensible + latent)
		2.371 Tons (based on 77% sensible capacity)

Notes

Calculations are based on 7th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

AHERN & ASSOCIATES, ARCHITECTS, P. A.

December 2, 1998

Mr. Robert Bott
Sewall's Point Building Department

Project: **Cicoria Residence**

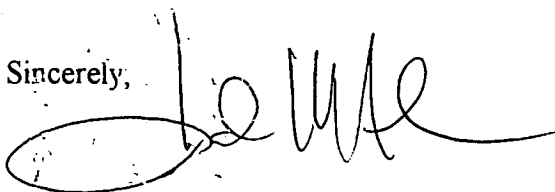
RE: Wind load design.

Dear Sirs:

The building was designed for 140 MPH wind load per ASCE-7-93 design criteria. If you have any questions or require clarification of the project, please feel free to call.

Thank you for your attentive reviews.

Sincerely,

A handwritten signature in black ink, appearing to read "John M. Ahern". The signature is fluid and cursive, with a large loop at the beginning and a long tail extending to the right.

John M. Ahern, Architect

cc: file
General Contractor

AHERN & ASSOCIATES, ARCHITECTS, P. A.

June 23, 1999

Mr. Richard Macy
Sewall's Point Building Department

PROJECT: CICORIA RESIDENCE

PERMIT: 4514

RE: Rear Stairway elimination

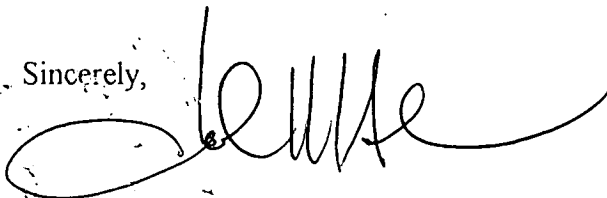
Dear Sirs:

The rear stairway from the patio may be eliminated. Although it is convenient to the occupants, it is not required for residential emergency egress by the code.

If you have any questions or require clarification of the project, please feel free to call.

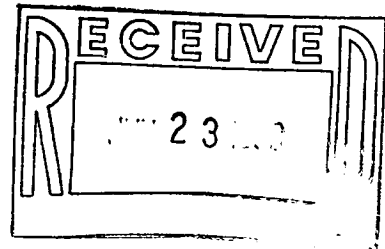
Thank you for your attentive reviews.

Sincerely,



John M. Ahern, Architect

cc: file
General Contractor



October 8, 1999

Brad Granfield
Granfield-Granfield Architects
3601 SE Ocean Blvd
Suite 002
Stuart, FL 34996

Re: Zarro Residence

Dear Brad:

All CMU walls below NGVD = 10.0, running in the north to south direction, for the above referenced project are non-load bearing and are designed as breakaway walls, with the exception of the stair and elevator core walls. All CMU walls below NGVD = 10.0, running in the east to west direction are bearing structural shear walls and are engineered to resist expected storm surge forces.

The design live load section of the general structural notes on sheet A-5 of the construction drawings refers to exposure C. This note should say exposure D.

If you have any questions or concerns or if I can be of any future service, please do not hesitate to contact me.

Sincerely,



T. Stiles Peet, P.E.

SOUTHEAST ELEVATOR, INC.

905 WAGNER PLACE FT. PIERCE, FL. 34982
PHONE (561) 461-0030 FAX (561) 461-9008

January 27, 2000

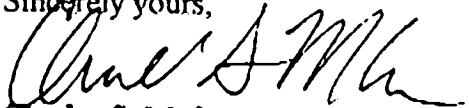
Carrige House Custom Homes
Mr. Russo

RE: Cicoria Residence

Dear Mr. Russo,

The elevator installed at the Cicoria residence has been installed and tested by our company. This elevator meets all Florida State, and FEMA requirements requested by the local city inspector.

Sincerely yours,


Charles S. McGee
Southeast Elevator, Inc.

RECEIVED
JAN 28 2000
BY: EA @ SITE

(final inspection)
126 N. SEWELL'S POINT RD

1-561-461-9008
6/15/00
FAX TRANSMITTAL 1 PAGES
TO: SCOTT
FROM: BO ARWOLD
S.P.

RE: CONCALL

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

TEMPORARY ELECTRIC HOOK-UP AGREEMENT: PN _____.

CICORIA, 179 Hampton Pl. Jupiter FL.

OWNER: _____ ADDRESS: _____

PROJECT ADDRESS: 126 N. Sewall's Pt. Rd.; LEGAL: LOT 3 BLK _____ SUB INDIAN RIVER HAMMOCK

GENERAL CONTRACTOR: CARRIAGE HOUSE CUSTOM HOMES; LIC/CERT No. _____

ADDRESS: 901 MANSAIL CIRCLE, JUPITER; TEL 748-6600; FAX 748-6600

ELECTRICAL CONTRACTOR: Blasera Electric; LIC/CERT No. _____

ADDRESS: P.O. Box 7305, Port St. Lucie; TEL 337-0055; FAX _____

WHEREAS, pursuant to the provisions of, and governed by, Sections 0307.6 and 4504.6 of the South Florida Building Code as adopted in Section 4-16 of the Codes and Ordinances of the Town of Sewall's Point, temporary electrical service for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested a temporary electrical hook-up of 126 N. Sewall's Point Road for the purpose of checking ELEVATOR & LIFT STATION at the above designated construction now in progress under a valid building permit; and

WHEREAS, it is necessary to have a temporary electric hook-up for testing of equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT;

1. The parties to this agreement are Edwin B. Arnold, Building Official, Town of Sewall's Point, and the above named responsible persons, firms or corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant a temporary hook-up permit.
3. This temporary hook-up permit shall be effective for 30 calendar days from the date of this agreement, after which time the temporary hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. This temporary electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this 4th day of JANUARY, 2000.

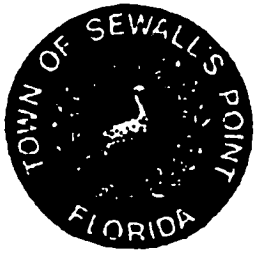
CARRIAGE HOUSE CUSTOM HOMES
Duane E. Hesson
SIGNATURE OF GENERAL CONTRACTOR

Kent Blum
SIGNATURE OF ELECTRICAL CONTRACTOR

Anthony Cicoria
SIGNATURE OF OWNER

EDWIN B. ARNOLD, BUILDING OFFICIAL

Mary O Cicoria

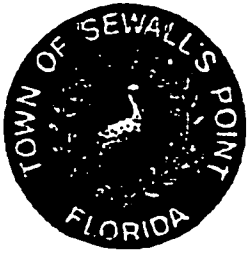


1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4519	126 N. S.P. Rd	Temp Power	OK	called F.P. 2.
4482	MINDORO	ROUGH ELEC FRAMING -	OK	
		STRAPS - Tie Downs		
4462	10 HERITAGE WY	FINAL ROOF FINAL ADDITION	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: 21 ISLAND ROAD, RHODES DAVITS -

INSPECTOR: _____ **DATE:** 12-9-98



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4411	21 Palm	A.C.		
		Elect	OK	
		FRAMMA		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4486	12 OAK Hill	TEMP		CALL FPL.
	CASTLE Hill	Elect.	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4476	1 BAKU	Roof	OK	
		FINAL		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4517	126. N. S. P. Rd	Footing		
			OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4424	22. Kioan / and			
	Jocham		OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____ **MILEAGE :** START _____
 _____ END _____

INSPECTOR: _____ **DATE:** ~~12-21-97~~



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4255	#5 PLANTATION	FOOTING RET-WALL	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4518	117 Hillcrest	FENCE FINN	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	66. S.S. Point Rd	TIE BEAM		Bas Ret will do on way out
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4518	126 N.S. Point	Column Stud	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4466 4411	13 N. River Rd Sinton	Footings	OK	told to tie in mono to girth w/ 2 #5 @ 20"
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4382	6 Mindera	Final	OK	Conditional 30 day temp.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4289	22 Palm Rd	Final Guest Hse	OK	C.O. (6E)

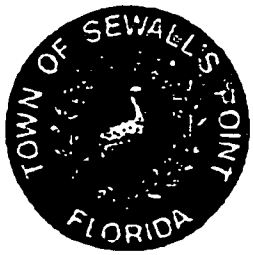
OTHER: _____

MILEAGE : START _____

END _____

INSPECTOR: _____

DATE: _____

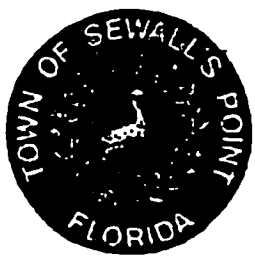


1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4517	126 N S. P. RD	Slab + Beam		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4516	6 ISLAND RD	SLAB	NO	NOT TO PLANS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4255	5 LAGOON ISL. CT PLANTATION	BRAM + COLUMN	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____ **MILEAGE :** START _____
 _____ END _____

INSPECTOR: _____ **DATE:** 2-12-99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	6655. BPOINT. RD	GARAGE		
			NO	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4529	1 N.E. LAGOON ISL.			
			OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4617	136 N. S. Point	SPRINK	OK	
		footing	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4478	ADMIRALS WK	TIE BEAM + PLUMBING		NOT TO PLAN
			NO	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4503	SABIE CT.	GR. ROUGH		
			OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4597	10 MIDDLE RD	ROOF FINAL		
			OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

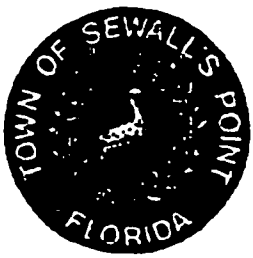
MILEAGE: START

28 RIO VISTA - DRIVEWAY? END

INSPECTOR: _____

DATE: _____

2-19-99



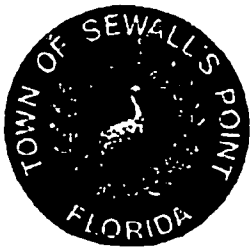
1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

FRIDAY

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
<i>4542</i>	<i>9 SIMARA</i>	<i>RE-ROOF IN PROGRESS</i>		
			<i>OK</i>	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
<i>4514</i>	<i>126 N. SEWALLS PT. RD.</i>	<i>THE BATH</i>		
			<i>OK</i>	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	<i>24 SIMARA</i>			
	<i>Mc KINNEY</i>	<i>INSULATION</i>		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
<i>4537</i>	<i>6 MIDDLE RD</i>			
			<i>OK</i>	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____ **MILEAGE :** START _____
 _____ END _____

INSPECTOR: _____ **DATE:** ~~*3/15/99*~~ _____

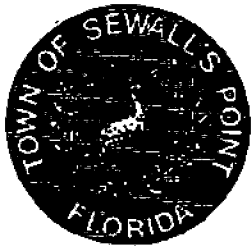


1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4514	126 N. SEWALLS	PT. RD.	SLAB	OK
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	Palm Road	FOOTINGS		
	Frick	PLANTERS	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4556	13 SIMARA ST	PLMG		
	READ	ROUQIT	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4524	1 LAGOON ISL. CT	STEEL		
	PLANTATION		OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4255		FOOTING		
	PLANTATION		OK	
	HECKENBERG			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	LOT 3	TEMP POLE		F.P.L 2234208
	PLANTATION		OK	2886330
				MIKA MOORE
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: BECKER A.C. PAD
CRISPIN Pump House

INSPECTOR: _____ **DATE:** 3-8-99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4514	M. S.P. Road	SHEDDING	OK	
4524	1 A.R. ISLAND CT	ELECT	OK	
4570	E. Hi. Point	STAIRS + WALKS	OK	
4553	16 S. S.P. RD	BEAM + COLUMNS	OK	
4554	8. ST LOUIS CT	STAIN WALL	N/A	NOT Temp Power RE INSPECT FOR \$30.-
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR: _____

DATE: ~~4-6-99~~



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4578	18 Palm Rd	D.C. ELECT	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4516	6 ISLAND WY	TIE BEAM	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4986	12 OAK Hill WY	INSULATION	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4501	36 CASTLE Hill WY	SHEATHING	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4514	126 N. Sewall's Pt	FRAMING & ALL TRADINGS	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4565	3 OAK Hill WY	TIE BEAM		NOT READY RIP - 100 FR.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	8 ST. LUCIE'S CT	FLOOR - RESTOR	OK	

OTHER: _____

INSPECTOR: _____

DATE: 5-19-99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4587	14 CASTLE HILL WY	CATCH BASIN	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
	2 E. HIGH POINT	GR. ROUGH	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4589	X.S. POINT RD	FOOTINGS	OK	
4588	15 CASTLE HILL WY	GR ROUGH	OK	NO PLANS -
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4519	126 N. S. POINT RD	INSULATION	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4579	76 S.S. POINT RD	TIE BEAM	OK	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4597	6 RIDGELAND	POOL STEEL		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4361	23 W. HIGH PT	RET. WALL	OK	

OTHER: _____

INSPECTOR: _____ **DATE:** 5-29-99



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
 Wed. ~~12-1-99~~

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4574	Cicoma 125 N. S.P. Rd.	driveway	PASSED	PERMIT EXPI. 12/2/99 - CONTR. TO REDEEM (1 MONTH) ON 12/2
4650	SWISS Ann 4 Banyan 334-7717	truss tie down TRUSS REPAIRING	FAILED (GABLE FRAMING) → PASS	GABLE END FRAMING NOT PER EGC REINSP (FEE) REQUIRED
4613	Subin 8 Palm Court	insulation	PASSED	(REINSPECT ATTIC) (CONFIDANT)
4750	Lucido 2 Sebel Court	final for c.o.	PTL-OK FOR PTL.C.O.	7:11:AM FOR ISSUANCE 12/2/99
4751		STORM SHUTTERS	PASS	FILING
4620	Laraway 15 Middle Rd.	el. meter	PASSED	PH REQUESTED - called P/L (then) w/ meter release 12/1 2:50 PM
4732	Hurtmead 19 Lotting Way	fl. (rough)	PASSED	
4707	Nicklas 21 C. Hill Way	pool steel gr. (REINSP.)	PASSED	

OTHER: @ MIDDLE ROAD; PRE-PERMIT INSP (ALTEKAT 2018) ✓

INSPECTOR: [Signature] **DATE:** 12/1/99

1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

Recd 12-29-99

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4524	Stevens on 1 Lagoon Island	final	CANCEL	file closed; 1/15/99 permit exp 12/15/99; no action required.
EXP. 12/15/99		FINAL INSP. 8/4/99 - RLM: SEE FILE		
4756	Cicoria 126 W. S. P. Rd.	final	CANCEL	CONTRACTOR TO OFFICE 12/30 FOR FILE REVIEW OF DOCUMENT REQUIREMENTS
(EXP. 1/1/00)		FINAL INSPECTION SEE FILE	(WALK-THRU ONLY)	
4779	Diaz 3 Palama Vista	trees (VERIFY LANDSCAPE & TREE REMOVAL)	PASSED	exit at 9:00 possible
4766	McCarthy 4 North Johnson	Metal + tile	PASSED	OK for T/R permit (12/30 #15.A) PM - if possible
4659	Conway 17 Lofting Way	partial nail roof insp.	CANCEL (NOT READY)	PM pref. on site w/contractor.
4775	Dembinski 4 Knowles Rd.	final roof	PASSED	FIELD CC (MECH) TO CONTR. ✓
4650	Swiss Am 4 Banyan	fram, el. rough pl. rough e.c. rough	FAILED # PASSED PASSED	AM pref. 334-7700 & Helmut 530-7730 #1's if problem

OTHER: * PN 4650; ELECT. RE/INSP. REA.: OUTSIDE DISCONNECT, CONDUCTORS OFF BATH RD. FURRING.
 BLOG - RGH W/ELECT. RE/INSP. (GARAGE FURRING) AC ELECT. 355-7954

INSPECTOR: _____

DATE: _____

~~1999~~ 2000

Town of Sewall's Point

Building Department - Inspection Log

Mon, 1-10-00

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4589	DeGloia 130 N.S.P.Rd.	steel stairs	PASSED	Follow instructions
		DRYWALL SCREW	PASSED	(10 PROGRESS)
4690	Nohej 2 Via Lucinda	final porch enclosure	FAILED	EXT. STAIR HANDRAIL REQUIRED. PER APPROVED PERMIT DUGS.
4657	Foglia 105 H. Sewell	framing trades	PASSED	
4756	Cicoria 126 N.S.P.Rd.	temp. meter	CAUSED	MURKIN 4/12/25 look not ready to We
				BLASTER ELECT: 337-0055
4752	Sinton 33 N. River	pool deck	FAILED	NO SURVEY, COMPACTION TESTS, SOIL TREATMENT
4657	105 H Sewell Way	tin tag metal	PASSED	
4740	140 S Sewall's Pt. Rd.	tin tag metal	PASSED	10:30 ✓

OTHER:

INSPECTOR: [Signature]

DATE: 01/10/00

~~2000~~ **2000**
Town of Sewall's Point
Building Department - Inspection Log

FRI - 1-14-00

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
S 4590	Gabbert 2 High Pt Rd.	① driveway ② footers for well	PASSED	- PTL; SOUTH DRIVE 10:00 NOT READY RECDSP. P.H.
N 4589	DeGios 130 N.S.P. Rd.	steel footer for frame gate	PASSED	- WALL LIMIT & VEG. NOTS ENCL - MADE PLUMB ROTATIONS RE: WALL HGT & PTG. REINF. AS (DSP.
N 4756	Ciccone 12.6 N.S.P. Rd.	Shelter temp. power release	CANCEL	NO SHELTER PERMIT (CANT. DII NOTYREU FIBER' ELEC; / 2:30 VU FRL-223-4208 (CABLE/SHEP)
N 4717	Zerro 124 N.S.P. Rd.	check utilities	CANCEL	KY CONTR 1/15 8:15
S 4760	Brutvan	pool final	PASSED	PERMIT DEC'S (FIELD COPY) RTD TO SITE,
S 4783	Hornsteiter 72 S. RIVER	fence FINAL	PASSED	5'-0" GATE @ S R 3'-6" @ NW N S. OK verify 9'-0" HGT (AL
N 4785	Hansen 32 N.S.P. Rd.	driveway (grade) (IN PROGRESS)	PASSED	Noon prefer - POTEX AREA FOREMAN="PERARAND"

OTHER: ✓ 16 S. SEWALL'S POINT RD. PD 4764 (FENCE); DELIVERED APPROVED FIBER
 RICH DI GROSSA (ADVISED ELEC. TECH. FEB) COPY OF REVISION TO SITE.
 ✓ WEST END RIDGE AND (TOWN SITE) NEW ELEC. METER LOCATION - VERIFY
 (w/ JOE CARLA) SERVICE LOCATION? NOTE: GROUND CLAMP (NECESSARY) (MUST BE ABOVE GRADE)

INSPECTOR: _____ **DATE:** _____

2000 ~~1999~~

Town of Sewall's Point
Building Department - Inspection Log

Fri, 1-28-00

PAGE 1 OF 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4795	Downing 47 S.S. Pt. Rd.	sheathing Partial 2nd story	Partial B.G.	late AM 2nd story South side
4801	Schultz 64 S. S.P. Rd.	final dock et.	Passed B.G.	
4567	Greist 10 Emerence	final fence	Passed B.G.	Rear only. Changed from 7' to 6' High. No Gilt
4752	Sinton 33 N. River Rd. Indialucie	pool deck	PASSED	re-inspect 9:45 NOT Ready.
4514	Cicora 126 N.S.P. Rd. Frank Russo	final fork e.o.	Failed B.G.	GENERATOR will call to set up time
4652	Vance 12 Wendy Lane off N.S.P. Rd. - between Wynn Hill & Castle Hill	final pool	Failed B.G.	286-1172 220-0452 Home
4658	FOGUA 103 HENRY SEWELL	WALLS only INSULATION Pool Deck cancel DRIVEWAY cancel	Passed WG.	No plans or permit on job. Need pool heater REMARKS Bond wire. WALLS only

OTHER: * Final on House Complete. New Permitted walls
& Entry Gate AT Road. With hold issuance of C.O. Powder
Resolutions

T/R PERMIT APPL - 2 VIA LUGNAN NOTICED - SITE #6 RIDGE VIEW

INSPECTOR:

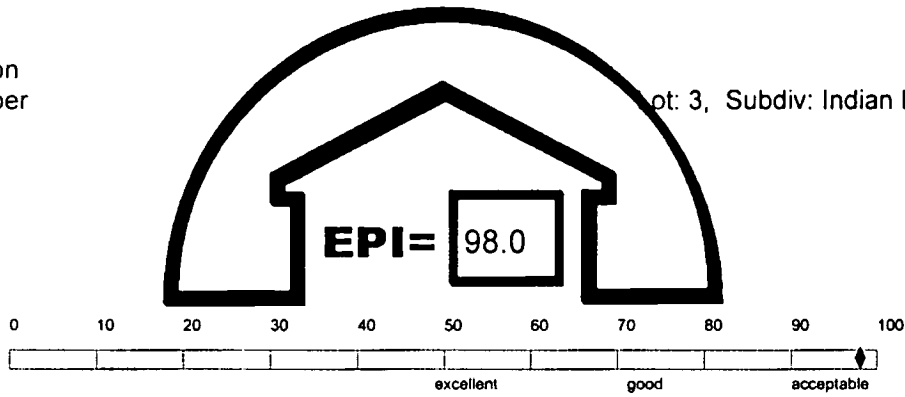
DATE:

1/28/00

ENERGY PERFORMANCE LEVEL DISPLAY CARD

For detailed information of the EPI rating number or for any ITEM listed, ask your Builder for DCA Form 600A-93 or Form 600B-93

Cicoria
 Lot: 3, Subdiv: Indian Riv Hamm, Platbook:
 Stuart FL



The maximum allowable EPI is 100. The lower the EPI the more efficient the home.

RESIDENTIAL ENERGY PERFORMANCE INDEX

ITEM	HOME VALUE	Low Efficiency	High Efficiency
WINDOWS.....	Single Tint	SINGL CLR	DBL TINT
INSULATION.....			
Ceiling R-Value.....	30.0	R-10	R-30
Wall R-Value.....	4.2	R-0	R-7
Floor R-Value.....	0.0	R-0	R-19
AIR CONDITIONER.....			
SEER.....	12.00	10.0	17.0
		9.7	16.0
HEATING SYSTEM.....			
Electric COP.....	1.00	1.0	3.0
WATER HEATER.....			
Electric EF.....	0.97	0.88	0.96
Gas EF.....	N/A	0.54	0.90
Solar EF.....	N/A	1.0	5.0
OTHER FEATURES.....			
.....			
.....			

I certify that these energy saving features required for the Florida Energy Code have been installed in this house.

Address: _____ Builder Signature: _____ Date: _____
 City/Zip: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Residential Whole Building Performance Method A

Project Name:	Cicoria Residence-Main House	Builder:	
Address:	Lot: 3, Subdiv: Indian Riv Hamm, Platbook:	Permitting Office:	Martin
City, State:	Stuart, FL	Permit Number:	
Owner:	Cicoria	Jurisdiction Number:	531000
Climate Zone:	South		

<table style="width: 100%; border-collapse: collapse;"> <tr><td>1. New construction or existing</td><td style="text-align: right;">New</td><td style="text-align: right;">___</td></tr> <tr><td>2. Single family or multi-family</td><td style="text-align: right;">Single family</td><td style="text-align: right;">___</td></tr> <tr><td>3. Number of units, if multi-family</td><td style="text-align: right;">1</td><td style="text-align: right;">___</td></tr> <tr><td>4. Is this a worst case?</td><td style="text-align: right;">No</td><td style="text-align: right;">___</td></tr> <tr><td>5. Conditioned floor area (ft²)</td><td style="text-align: right;">3740 ft²</td><td style="text-align: right;">___</td></tr> <tr><td>6. Glass area & type</td><td></td><td></td></tr> <tr><td> a. Clear - single pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. Clear - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> c. Tin/other SC - single pane</td><td style="text-align: right;">1147.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> d. Tin/other SC - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td>7. Floor types</td><td></td><td></td></tr> <tr><td> a. Slab-On-Grade Edge Insulation</td><td style="text-align: right;">R=0.0, 287.0(p) ft</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>8. Wall types</td><td></td><td></td></tr> <tr><td> a. Concrete, Int Insul, Exterior</td><td style="text-align: right;">R=4.2, 2234.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> d. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> e. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>9. Ceiling types</td><td></td><td></td></tr> <tr><td> a. Under Attic</td><td style="text-align: right;">R=30.0, 3740.0 ft²</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td>10. Ducts</td><td></td><td></td></tr> <tr><td> a. Sup: Uncond. Ret: Uncond.</td><td style="text-align: right;">Sup. R=6.0, 1.0 ft</td><td style="text-align: right;">___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> </table>	1. New construction or existing	New	___	2. Single family or multi-family	Single family	___	3. Number of units, if multi-family	1	___	4. Is this a worst case?	No	___	5. Conditioned floor area (ft ²)	3740 ft ²	___	6. Glass area & type			a. Clear - single pane	0.0 ft ²	___	b. Clear - double pane	0.0 ft ²	___	c. Tin/other SC - single pane	1147.0 ft ²	___	d. Tin/other SC - double pane	0.0 ft ²	___	7. Floor types			a. Slab-On-Grade Edge Insulation	R=0.0, 287.0(p) ft	___	b. N/A		___	c. N/A		___	8. Wall types			a. Concrete, Int Insul, Exterior	R=4.2, 2234.0 ft ²	___	b. N/A		___	c. N/A		___	d. N/A		___	e. N/A		___	9. Ceiling types			a. Under Attic	R=30.0, 3740.0 ft ²	___	b. N/A		___	c. N/A		___	10. Ducts			a. Sup: Uncond. Ret: Uncond.	Sup. R=6.0, 1.0 ft	___	b. N/A		___	<table style="width: 100%; border-collapse: collapse;"> <tr><td>11. Cooling systems</td><td></td><td></td></tr> <tr><td> a. Central Unit</td><td></td><td style="text-align: right;">Cap: 96.0 kBtu/hr ___ SEER: 12.00 ___</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">___</td></tr> <tr><td> c. 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Glass/Floor Area: 0.31	Total as-built points: 60783.00	EPI = 98.0
	Total base points: 62052.00	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *M. J. [Signature]*


DATE: 11-29-98

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: *B. B. [Signature]*

DATE: 12-1-98

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 3, Subdiv: Indian Riv Hamm, Platbook: , Stuart, FL, PERMIT #:

BASE	AS-BUILT																																																																																																																																																																																		
GLASS TYPES .15 X Conditioned X BWPM = Points Floor Area	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">Type/SC</th> <th rowspan="2">Ornt</th> <th colspan="2">Overhang</th> <th rowspan="2">Area</th> <th rowspan="2">X WPM</th> <th rowspan="2">X WOF</th> <th rowspan="2">= Points</th> </tr> <tr> <th>Len</th> <th>Hgt</th> </tr> </thead> <tbody> <tr> <td>Single, Tint</td> <td>E</td> <td>6.0</td> <td>8.0</td> <td>42.0</td> <td>0.20</td> <td>9.93</td> <td>83.4</td> </tr> <tr> <td>Single, Tint</td> <td>S</td> <td>3.0</td> <td>7.0</td> <td>24.0</td> <td>-1.80</td> <td>0.54</td> <td>-23.2</td> </tr> <tr> <td>Single, Tint</td> <td>S</td> <td>3.0</td> <td>7.0</td> <td>6.0</td> <td>-1.80</td> <td>0.54</td> <td>-5.8</td> </tr> <tr> <td>Single, Tint</td> <td>S</td> <td>3.0</td> <td>7.0</td> <td>51.0</td> <td>-1.80</td> <td>0.54</td> <td>-49.4</td> </tr> <tr> <td>Single, Tint</td> <td>S</td> <td>3.0</td> <td>7.0</td> <td>24.0</td> <td>-1.80</td> <td>0.54</td> <td>-23.2</td> </tr> <tr> <td>Single, Tint</td> <td>S</td> <td>3.0</td> <td>7.0</td> <td>24.0</td> <td>-1.80</td> <td>0.54</td> <td>-23.2</td> </tr> <tr> <td>Single, Tint</td> <td>W</td> <td>3.0</td> <td>7.0</td> <td>12.0</td> <td>0.20</td> <td>5.98</td> <td>14.3</td> </tr> <tr> <td>Single, Tint</td> <td>E</td> <td>6.0</td> <td>8.0</td> <td>210.0</td> <td>0.20</td> <td>9.93</td> <td>416.9</td> </tr> <tr> <td>Single, Tint</td> <td>NE</td> <td>6.0</td> <td>8.0</td> <td>18.0</td> <td>2.90</td> <td>1.28</td> <td>66.8</td> </tr> <tr> <td>Single, Tint</td> <td>N</td> <td>6.0</td> <td>8.0</td> <td>18.0</td> <td>3.70</td> <td>1.13</td> <td>75.0</td> </tr> <tr> <td>Single, Tint</td> <td>W</td> <td>6.0</td> <td>8.0</td> <td>32.0</td> <td>0.20</td> <td>9.93</td> <td>63.5</td> </tr> <tr> <td>Single, Tint</td> <td>NW</td> <td>6.0</td> <td>8.0</td> <td>24.0</td> <td>2.90</td> <td>1.28</td> <td>89.0</td> </tr> <tr> <td>Single, Tint</td> <td>W</td> <td>3.0</td> <td>7.0</td> <td>266.0</td> <td>0.20</td> <td>5.98</td> <td>317.9</td> </tr> <tr> <td>Single, Tint</td> <td>E</td> <td>6.0</td> <td>8.0</td> <td>112.0</td> <td>0.20</td> <td>9.93</td> <td>222.3</td> </tr> <tr> <td>Single, Tint</td> <td>W</td> <td>3.0</td> <td>7.0</td> <td>32.0</td> <td>0.20</td> <td>5.98</td> <td>38.2</td> </tr> <tr> <td>Single, Tint</td> <td>SW</td> <td>3.0</td> <td>7.0</td> <td>24.0</td> <td>-2.00</td> <td>0.54</td> <td>-25.9</td> </tr> <tr> <td>Single, Tint</td> <td>N</td> <td>6.0</td> <td>8.0</td> <td>96.0</td> <td>3.70</td> <td>1.13</td> <td>400.0</td> </tr> <tr> <td>Single, Tint</td> <td>N</td> <td>3.0</td> <td>7.0</td> <td>24.0</td> <td>3.70</td> <td>1.08</td> <td>96.1</td> </tr> <tr> <td>Single, Tint</td> <td>E</td> <td>6.0</td> <td>8.0</td> <td>84.0</td> <td>0.20</td> <td>9.93</td> <td>166.7</td> </tr> <tr> <td>Single, Tint</td> <td>N</td> <td>3.0</td> <td>7.0</td> <td>24.0</td> <td>3.70</td> <td>1.08</td> <td>96.1</td> </tr> <tr> <td colspan="4">As-Built Total:</td> <td>1147.0</td> <td colspan="2"></td> <td>1995.6</td> </tr> </tbody> </table>	Type/SC	Ornt	Overhang		Area	X WPM	X WOF	= Points	Len	Hgt	Single, Tint	E	6.0	8.0	42.0	0.20	9.93	83.4	Single, Tint	S	3.0	7.0	24.0	-1.80	0.54	-23.2	Single, Tint	S	3.0	7.0	6.0	-1.80	0.54	-5.8	Single, Tint	S	3.0	7.0	51.0	-1.80	0.54	-49.4	Single, Tint	S	3.0	7.0	24.0	-1.80	0.54	-23.2	Single, Tint	S	3.0	7.0	24.0	-1.80	0.54	-23.2	Single, Tint	W	3.0	7.0	12.0	0.20	5.98	14.3	Single, Tint	E	6.0	8.0	210.0	0.20	9.93	416.9	Single, Tint	NE	6.0	8.0	18.0	2.90	1.28	66.8	Single, Tint	N	6.0	8.0	18.0	3.70	1.13	75.0	Single, Tint	W	6.0	8.0	32.0	0.20	9.93	63.5	Single, Tint	NW	6.0	8.0	24.0	2.90	1.28	89.0	Single, Tint	W	3.0	7.0	266.0	0.20	5.98	317.9	Single, Tint	E	6.0	8.0	112.0	0.20	9.93	222.3	Single, Tint	W	3.0	7.0	32.0	0.20	5.98	38.2	Single, Tint	SW	3.0	7.0	24.0	-2.00	0.54	-25.9	Single, Tint	N	6.0	8.0	96.0	3.70	1.13	400.0	Single, Tint	N	3.0	7.0	24.0	3.70	1.08	96.1	Single, Tint	E	6.0	8.0	84.0	0.20	9.93	166.7	Single, Tint	N	3.0	7.0	24.0	3.70	1.08	96.1	As-Built Total:				1147.0			1995.6
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As-Built Total:		42.0	117.6																																																																																																																																																																																
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CEILING TYPES Area X BWPM = Points	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Type</th> <th>R-Value</th> <th>Area</th> <th>X WPM</th> <th>= Points</th> </tr> </thead> <tbody> <tr> <td>Under Attic</td> <td>30.0</td> <td>3740.0</td> <td>0.10</td> <td>374.0</td> </tr> <tr> <td colspan="2">As-Built Total:</td> <td>3740.0</td> <td></td> <td>374.0</td> </tr> </tbody> </table>	Type	R-Value	Area	X WPM	= Points	Under Attic	30.0	3740.0	0.10	374.0	As-Built Total:		3740.0		374.0																																																																																																																																																																			
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Under Attic 3740.0 0.10 374.0 Base Total: 3740.0 374.0																																																																																																																																																																																			

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 3, Subdiv: Indian Riv Hamm, Platbook: , Stuart, FL, PERMIT #:

BASE				AS-BUILT						
FLOOR TYPES Area X BWPM = Points				Type		R-Value		Area X WPM = Points		
Slab	287.0(p)	-2.1	-602.7	Slab-On-Grade Edge Insulation		0.0	287.0(p)	-2.10	-602.7	
Raised	0.0	0.00	0.0							
Base Total:			-602.7	As-Built Total:			-602.7			
INFILTRATION Area X BWPM = Points				Type		Area X WPM = Points				
			3740.0	1.20	4488.0	Practice #2		3740.0	1.20	4488.0
Winter Base Points:			4780.7	Winter As-Built Points:			8651.1			
Total Winter Points	X System Multiplier	=	Heating Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	=	Heating Points
4780.7	1.10		5258.8	8651.1	1.00	1.10	1.00	0.95		9040.4

WATER HEATING AND EPI SUMMARY

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 3, Subdiv: Indian Riv Hamm, Platbook: , Stuart, FL, PERMIT #:

BASE				AS-BUILT								
WATER HEATING												
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	X Multiplier	X Credit Multiplier	= Total	
4		3319.00	13276.0	80.0	0.97	4		1.00	3010.14	1.00	12040.6	
											As-Built Total:	12040.6

EPI SUMMARY							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
43517.5		5258.8		13276.0		62052.3	
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
39701.7		9040.4		12040.6		60782.7	

EPI: 98.0



SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 3, Subdiv: Indian Riv Hamm, Platbook: , Stuart, FL, PERMIT #:

BASE				AS-BUILT										
GLASS TYPES														
.15	X	Conditioned	X	BSPM =	Points									
Floor Area				Type/SC	Ornt	Overhang Len Hgt		Area	X	SPM	X	SOF	=	Points
.15		3740.0		109.70										61541.7
					Single, Tint	E	6.0	8.0	42.0	133.90	0.63			3551.6
					Single, Tint	S	3.0	7.0	24.0	132.50	0.70			2226.4
					Single, Tint	S	3.0	7.0	6.0	132.50	0.70			556.6
					Single, Tint	S	3.0	7.0	51.0	132.50	0.70			4731.1
					Single, Tint	S	3.0	7.0	24.0	132.50	0.70			2226.4
					Single, Tint	S	3.0	7.0	24.0	132.50	0.70			2226.4
					Single, Tint	W	3.0	7.0	12.0	133.90	0.77			1241.4
					Single, Tint	E	6.0	8.0	210.0	133.90	0.63			17758.2
					Single, Tint	NE	6.0	8.0	18.0	94.50	0.67			1135.7
					Single, Tint	N	6.0	8.0	18.0	65.20	0.73			854.0
					Single, Tint	W	6.0	8.0	32.0	133.90	0.63			2706.0
					Single, Tint	NW	6.0	8.0	24.0	94.50	0.67			1514.3
					Single, Tint	W	3.0	7.0	266.0	133.90	0.77			27517.9
					Single, Tint	E	6.0	8.0	112.0	133.90	0.63			9471.1
					Single, Tint	W	3.0	7.0	32.0	133.90	0.77			3310.4
					Single, Tint	SW	3.0	7.0	24.0	143.00	0.73			2505.8
					Single, Tint	N	6.0	8.0	96.0	65.20	0.73			4554.8
					Single, Tint	N	3.0	7.0	24.0	65.20	0.82			1275.4
					Single, Tint	E	6.0	8.0	84.0	133.90	0.63			7103.3
					Single, Tint	N	3.0	7.0	24.0	65.20	0.82			1275.4
				As-Built Total:				1147.0						97742.5
WALL TYPES				Area X BSPM = Points		Type		R-Value		Area X SPM		= Points		
Adajcent		0.0		0.0		0.0	Concrete, Int Insul, Exterior		4.2	2234.0	2.28		5093.5	
Exterior		2234.0		1.60		3574.4								
Base Total:		2234.0		3574.4			As-Built Total:			2234.0			5093.5	
DOOR TYPES				Area X BSPM = Points		Type		Area X SPM		= Points				
Adjacent		0.0		0.00		0.0	Exterior Wood		42.0	9.40			394.8	
Exterior		42.0		6.40		268.8								
Base Total:		42.0		268.8			As-Built Total:			42.0			394.8	
CEILING TYPES				Area X BSPM = Points		Type		R-Value		Area X SPM		= Points		
Under Attic		3740.0		0.80		2992.0	Under Attic		30.0	3740.0	0.80		2992.0	
Base Total:		3740.0		2992.0			As-Built Total:			3740.0			2992.0	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 3, Subdiv: Indian Riv Hamm, Platbook: , Stuart, FL, PERMIT #:

BASE				AS-BUILT					
FLOOR TYPES Area X BSPM = Points				Type	R-Value	Area X SPM = Points			
Slab	287.0(p)	-20.0	-5740.0	Slab-On-Grade Edge Insulation	0.0	287.0(p)	-20.00	-5740.0	
Raised	0.0	0.00	0.0						
Base Total:			-5740.0	As-Built Total:			-5740.0		
INFILTRATION Area X BSPM = Points				Type		Area X SPM = Points			
	3740.0	14.70	54978.0	Practice #2		3740.0	14.70	54978.0	
Summer Base Points:			117614.9	Summer As-Built Points:			155460.8		
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier = Cooling Points	
117614.9	0.37		43517.5	155460.8	1.00	1.10	0.28	0.82 39701.7	

RECEIVED
JAN 07 2000
BY: _____

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF ~~MARTIN~~
PALM BEACH

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 414,000.00.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

Emilio Cicora

Mary D. Cicora
Affiant
Property street address:
126 North Sewalls Point Road
Sewalls Point, Florida 34996

Sworn to and subscribed
before me this 4 day of
January, 192000
Teresa S. Hazel
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires: 5/9/03



Teresa S. Hazel
MY COMMISSION # CC827140 EXPIRES
May 9, 2003
BONDED THRU TROY FAIN INSURANCE, INC.

(NOTARY SEAL)

JON E. CHICKY, SR.
Mayor

ROBERT M. WIENKE
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

CYRUS KISSLING
Commissioner

DONALD B. WINER
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Acting Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER: ANTHONY/MARY CICORIA ; PROPERTY ADDRESS: 126 N. SEWALL'S POINT ROAD

LEGAL DESCRIPTION: LOT 3 BLOCK _____ SUBDIVISION INDIAN RIVER HAMMOCK

GENERAL CONTRACTOR: CARRIAGE HOUSE CUSTOM HOMES ; LIC/CERT NO. CGC 012104

ADDRESS: 901 MAINSAIL CIRCLE, JUPITER, FL. ; TEL 748-6600, FAX 748-6600

ARCHITECT OR ENGINEER: JOHN M. AHERN ; LIC/REG. NO. AR 12958

ADDRESS: 2233 S. KANNER HWY., STUART, FL. ; TEL 220-8907, FAX 220-8907

PERMIT NO: 4514 ; DATE OF ISSUE: 12/2/98 ; RENEWAL PERMIT NO: 4756 ; DATE OF ISSUE: 12/2/99

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 1ST day of FEBRUARY, 2000. --

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point

COPY

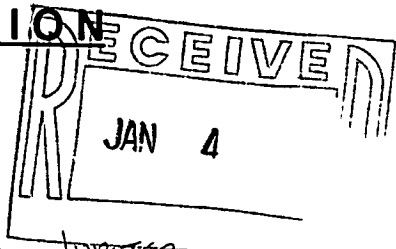
cc: BUDG. FILE
TOWN CLERK
CHIEF OF POLICE

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

STATEMENT OF INSPECTION



To: Building Official, Town of Sewall's Point
FROM: Architect or Engineer of Record
RE: Subject structure described as follows:

OWNER: ANTHONY + MARY CICORIA; ADDRESS: 179 HAMPTON PLACE, JUPITER

PROJECT ADDRESS: 126 N. SEWALL'S POINT ROAD; LEGAL DESCRIPTION: LOT 3 BLK _____ SUB INDIAN RIVER HAMMOCK

GENERAL CONTRACTOR: CARRIAGE HOUSE CUSTOM HOMES; LIC/CERT No. CGC 012104

ADDRESS: 901 MAINSAIL CIRCLE, JUPITER; TEL 748-6600; FAX 748-6600

ARCHITECT OR ENGINEER: JOHN M. AHERN; LIC/REG No. AR 12958

ADDRESS: 2233 S. KANNER HWY, STUART, FL; TEL 220 8907; FAX 220 8907

PERMIT No: 4514; DATE OF ISSUE: 12-2-98; DATE OF THIS STATEMENT: 4 JAN 2000

In accordance with the requirements of Section 0307.2 of the South Florida Building Code, I hereby attest as follows:

- I am the Architect or Engineer who sealed and signed the plans for the subject structure, or
 I am the substitute Architect or Engineer, having been accepted by the Building Official, for the Architect or Engineer who sealed and signed the plans for the subject structure, or
 I am the threshold or special inspector used in accordance with this Code.
- To the best of my knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents.
- To the best of my knowledge, belief and professional judgment, the approved permit plans represent the as-built condition of the structural and envelope components of the structure.

Executed at SEWALL'S PT. TOWN HALL, this 4th day of JAN, 2000.

NAME: JOHN M. AHERN; SIGNATURE: [Signature]; Lic. No: AR12958

STATE OF FLORIDA
COUNTY OF Martin

Sworn to and subscribed before me this 4th day of Jan, 2000, by John M. Ahern, who is personally known to me or who has produced Fl. d. I. as identification and who did not take an oath.

(NOTARY SEAL)



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

[Signature]
Name Joan H. Barrow

I am a Notary Public of the State of Florida and my commission expires: 11-30-02

4736

DOCK

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 01/13/00

BUILDING PERMIT NO. 4736

Building to be erected for ANTHONY CICORIA

Type of Permit DOCK

Applied for by TROPIC MARINE CONST. INC.

(Contractor) Building Fee \$240.00

Subdivision INDIAN RIVER HAMMOCKS Lot 3 Block _____

Radon Fee _____

Address 126 N. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

Parcel Control Number:

35-37-41-000-000-0001.3-00000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$240.00 Check # 09415 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 7,300.00

TOTAL Fees \$240.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector [Signature]

DOCK PERMIT

INSPECTIONS

SETBACKS
PILINGS
BOAT LIFT

DATE _____
DATE _____
DATE _____

FRAMING
WATER
ELECTRIC
DECK
FINAL

DATE _____
DATE _____
DATE _____
DATE 4/5/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

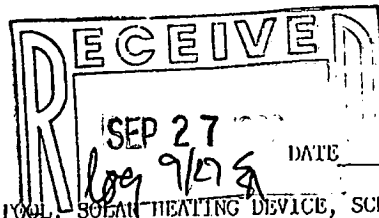
WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**



TAX FOLIO NO. 35-37-41-000-000-0001.3-00000

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

ISSUED
01/15/00
PW 4736

Owner Anthony Cicoria Present address 126 N. Sewall's Point Road

Phone 561-575-9073 Stuart, FL 34996

Contractor Tropic Marine Construction, Inc. Address 130 NE Dixie Highway

Phone 692-4154 Stuart, FL 34994

Where licensed Martin County License number SP01730

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Construction of a 4' x 60' approach leading to an 8' x 20' observation platform.

State the street address at which the proposed structure will be built:

126 N. Sewall's Point Road, Stuart, FL 34996

Subdivision Indian River Hammocks Lot Number 3 Block Number _____

Contract price \$ 7,300.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-tagging" the construction project.

Contractor *[Signature]*

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner *Anthony Cicoria*

TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector Date

Approved: _____ Final approval given: _____
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

<p>PRODUCER</p> <p>Paul Lynch & Associates, Inc. 100 Colorado Avenue, Suite 203 Stuart, FL 34994 561-288-0819 / 561-288-1997</p>	<p>THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.</p> <p style="text-align: center;">COMPANIES AFFORDING COVERAGE</p> <p>COMPANY A New York Marine & General</p> <p>COMPANY B</p> <p>COMPANY C</p> <p>COMPANY D</p>
<p>INSURED</p> <p>Tropic Marine Construction, Inc.</p> <p>130 NE Dixie Highway Stuart, FL 34994 561-692-4154</p>	<div style="border: 2px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="font-size: 2em; text-align: center;">RECEIVED</p> <p style="font-size: 1.5em; text-align: center;">LIAB</p> <p style="font-size: 1.5em; text-align: center;">JUL - 7</p> </div>

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<p>GENERAL LIABILITY</p> <p><input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY</p> <p><input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR</p> <p>OWNER'S & CONTRACTOR'S PROT</p>	MMO-20707ML299	07/02/99	07/02/00	GENERAL AGGREGATE \$2,000,000
	PRODUCTS - COMP/OP AGG \$1,000,000				
	PERSONAL & ADV INJURY \$1,000,000				
	EACH OCCURRENCE \$1,000,000				
	FIRE DAMAGE (Any one fire) \$ 50,000				
	MED EXP (Any one person) \$ 1,000				
	COMBINED SINGLE LIMIT \$				
<p>AUTOMOBILE LIABILITY</p> <p><input type="checkbox"/> ANY AUTO</p> <p><input type="checkbox"/> ALL OWNED AUTOS</p> <p><input type="checkbox"/> SCHEDULED AUTOS</p> <p><input type="checkbox"/> HIRED AUTOS</p> <p><input type="checkbox"/> NON-OWNED AUTOS</p>					<p>BODILY INJURY (Per person) \$</p> <p>BODILY INJURY (Per accident) \$</p> <p>PROPERTY DAMAGE \$</p>
<p>GARAGE LIABILITY</p> <p><input type="checkbox"/> ANY AUTO</p>					<p>AUTO ONLY - EA ACCIDENT \$</p> <p>OTHER THAN AUTO ONLY: \$</p> <p>EACH ACCIDENT \$</p> <p>AGGREGATE \$</p>
<p>EXCESS LIABILITY</p> <p><input type="checkbox"/> UMBRELLA FORM</p> <p><input type="checkbox"/> OTHER THAN UMBRELLA FORM</p>					<p>EACH OCCURRENCE \$</p> <p>AGGREGATE \$</p>
<p>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</p> <p>THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL</p>					<p>WC STATUTORY LIMITS OTH-ER</p> <p>EL EACH ACCIDENT \$</p> <p>EL DISEASE - POLICY LIMIT \$</p> <p>EL DISEASE - EA EMPLOYEE \$</p>
OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

Marine contractor.

<p>CERTIFICATE HOLDER</p> <p>Town of Sewall's Point 1 South Sewall's Point Road Stuart, FL 34996</p>	<p>CANCELLATION</p> <p>SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL <u>30</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.</p> <p>AUTHORIZED REPRESENTATIVE </p>
---	---

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY
HARRIS, MATTHEW E
TROPIC MARINE CONST INC
130 NE DIXIE HWY
STUART , FL 34994

EXPIRES SEPTEMBER 30, 20

00

AUDIT
CONTROL
NUMBER

36343


CERTIFICATE NUMBER

SP01730

CERTIFIED
CONTRACTOR

MARINE CONTRACTOR

SIGNATURE



ATTEST:

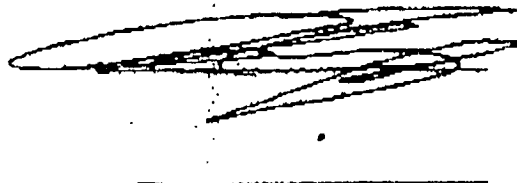
VALERIE A. MESSIER
LICENSING ADMINISTRATOR

8979

RECEIVED
JAN 07 2000
BY: _____


LETTER OF NO OBJECTION

I/We PAT ZARRO and/or LOT 4 being the owner(s) of a certain property adjacent to and abutting the property of ANTHONY CICORIA, who have applied for a building permit to allow for a dock / seawall / boatlift to be constructed, have read and reviewed the drawings of the proposed project. I/We have no objection to the proposed project pursuant to the attached herein.



STATE OF Florida
COUNTY OF Martin

Sworn to and subscribed before me this 23rd day of November 1999

 Marina Byrne
My Commission CC789478
Expires December 27, 2002

Marina Byrne
Notary Public Marina Byrne
My Commission Expires: 12-27-2002

Jan 04 00 08:38p

Birdwhistell/Rothberg

203 389 6512

p.3

Received: 12/10/99 12:19;

561 287 2667

Rothberg Family; Page 4

DEC-10-1999 13:13

PREMIER REALTY

561 287 2667

P.004/004

11/15/1999 12:17

5615759073

AQM COMPANY

PAGE 02

P.02

NOV-15-99 MON 11:49 TROPIC MARINE CONST. INC 561 692 1081

RECEIVED
JAN 07 2000
BY: _____

LETTER OF NO OBJECTION

I/We DAVID ROTHBERG / NAN BIRDWHISTELL being the owner(s) of a certain property adjacent to and abutting the property of ANTHONY CICORIA, who have applied for a building permit to allow for a dock / seawall / boatlift to be constructed, have read and reviewed the drawings of the proposed project. I/We have no objection to the proposed project pursuant to the attached herein.

[Handwritten signature]
[Handwritten signature] X

STATE OF CT
COUNTY OF NEW HAVEN

Sworn to and subscribed before me this 4th day of January 2000 199

[Handwritten signature]
Notary Public

My Commission Expires: 7/31/2001

KATHLEEN S. SCANLON
NOTARY PUBLIC
My Commission Expires 7/31/2001

ADDRESS: 126 N. Sewall's Point Road, Stuart, FL
BUILDING PERMIT #:

SEMINOLE FORM 408

FLA 1977 LAWS
FS 713.13

NOTICE OF COMMENCEMENT

(PREPARE IN DUPLICATE)

State of Florida }
County of Martin

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) Indian River Hammocks, Lot 3
126 N. Sewall's Point Road, Stuart, FL 34996

General description of improvements Construction of dock

Owner Anthony Cicoria
Address 126 N. Sewall's Point Road, Stuart, FL 34996

Owner's interest in site of the improvement
Fee Simple Title holder (if other than owner)

Name
Address

Contractor Tropic Marine Construction, Inc./Matthew E. Harris
Address 130 NE Dixie Highway, Stuart, FL 34994

Surety (if any)

Address Amount of Bond \$
Any person making a loan for the construction of the improvements:

Name:

Address:
Person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name

Address
In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(h), Florida Statutes. Fill in at Owner's option).

Name

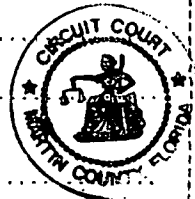
Address
THIS SPACE FOR RECORDER'S USE ONLY

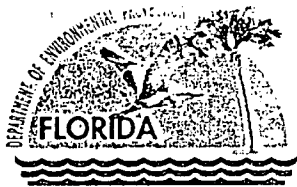
(Signature of Anthony Cicoria)
Owner

Sworn and subscribed before me this 3 day of May 1999

(Signature of Notary Public)

NOTARY PUBLIC
MY COMMISSION # CC 707628
EXPIRES: January 24, 2002
Bonded Thru Notary Public Underwriters





Department of Environmental Protection **COPY**

Lawton Chiles
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561)871-7662 (561)335-4310

Virginia B. Wetherell
Secretary

MAY 28 1999

Anthony Cicoria
179 Hampton Place
Jupiter, FL 33458

File Number: 43-0156438-001
Martin County

Dear Mr. Cicoria:

On May 20, 1999, we received your application for an exemption to perform the following activities: construct a 400 square foot pier with an access measuring 4' wide by 60' long ending in a platform measuring 8' wide by 20' long with no associated mooring. The entire pier shall be constructed a minimum of 5' above mean high water and railed. The project is in the Jensen Beach to Jupiter Inlet Aquatic Preserve (Class III waters of the state), located at 126 N. Sewall's Point Road (Section 35, Township 37 South, Range 41 East), Stuart, Martin County.

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

REGULATORY AUTHORIZATION - EXEMPTION VERIFIED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is exempt from the need to obtain a DEP Environmental Resource Permit under Rule 40E-4.051(3)(b), (F.A.C.). This determination is based solely on the information provided to the Department and the statutes and rules in effect when the application was submitted and is effective only for the specified activity. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required.

PROPRIETARY AUTHORIZATION - GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project may occur on sovereign submerged land and may require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions and Attachment C, the project qualifies for consent to use sovereign submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees for the upland riparian owner to perform the project.

SPGP REVIEW - AUTHORIZATION GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act*.

"Protect, Conserve and Manage Florida's Environment and Natural Resources"

Printed on recycled paper.

Anthony Cicoria
File Number: 43-0156438-001
Page Two

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) General conditions apply to your project, as attached. **No further permitting for this activity is required by the Corps.** The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. If an administrative hearing is timely requested by a substantially affected person, the finding that the proposed activity qualifies for this exemption must be reconsidered, and it is possible that the hearing could result in a determination that the proposed activity does *not* qualify for the exemption. Under Rule 28-106.111, F.A.C., a request for such an administrative hearing must be filed with the Department's Clerk in the Office of General Counsel within 21 days of either: (a) publication of notice in a newspaper of general circulation in the county where the activity is to take place; or (b) the substantially affected person's receipt of written notice which includes the information contained in Attachment (A).

The Department will not publish notice of this determination. *Publication of this notice by you is optional and not required for you to proceed.* However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits.

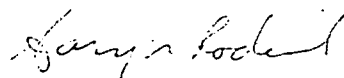
If you wish to limit the time within which *all* substantially affected persons may request an administrative hearing you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. If you wish to limit the time within which any *specific* person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of Sections 50.011 and 50.031, F.S. In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection, Southeast District - Port St. Lucie Branch Office
Submerged Lands & Environmental Resources Program, 1801 SE Hillmoor Drive Suite C-204, Port St. Lucie, FL 34952

Thank you for applying to the Submerged Lands and Environmental Resource Program. If you have questions regarding this matter, please contact **Danna Civetti** of this office, at telephone (561) 871-7662.

Sincerely,



Gary N. Roderick
Environmental Administrator

GNR/DC *BS*

Enclosures: General Consent Conditions
 Federal Manatee Conditions, Federal General Conditions for SPGP III- R1 and Transfer Request
 Attachment A- Notice of Determination of Qualification for Exemption
 Attachment C- Criteria For Single Family Docks Located Within an Aquatic Preserve

cc: U.S. Army Corps of Engineers, Stuart [without enclosures]
 Tropic Marine Construction, Inc.. (Agent) [without enclosures]

Indian River

TN

RECEIVED

1999 MAY 20 A 11:07

DEPT. OF ENVIRONMENTAL PROTECTION
PORT ST. LUCIE

Apparent Riparian Line

Apparent Riparian Line

Sandy Bottom

25' min

20'

25' min

60'

60'

135' ±

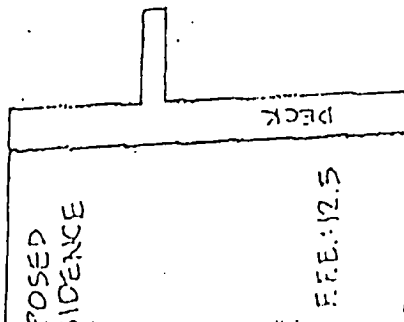
140.12'

(UNRECORDED)

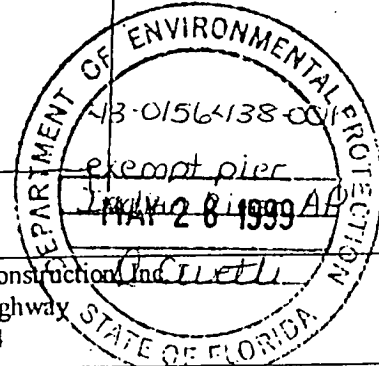
162'

359.93'

-3.35 NCVP



371.76'



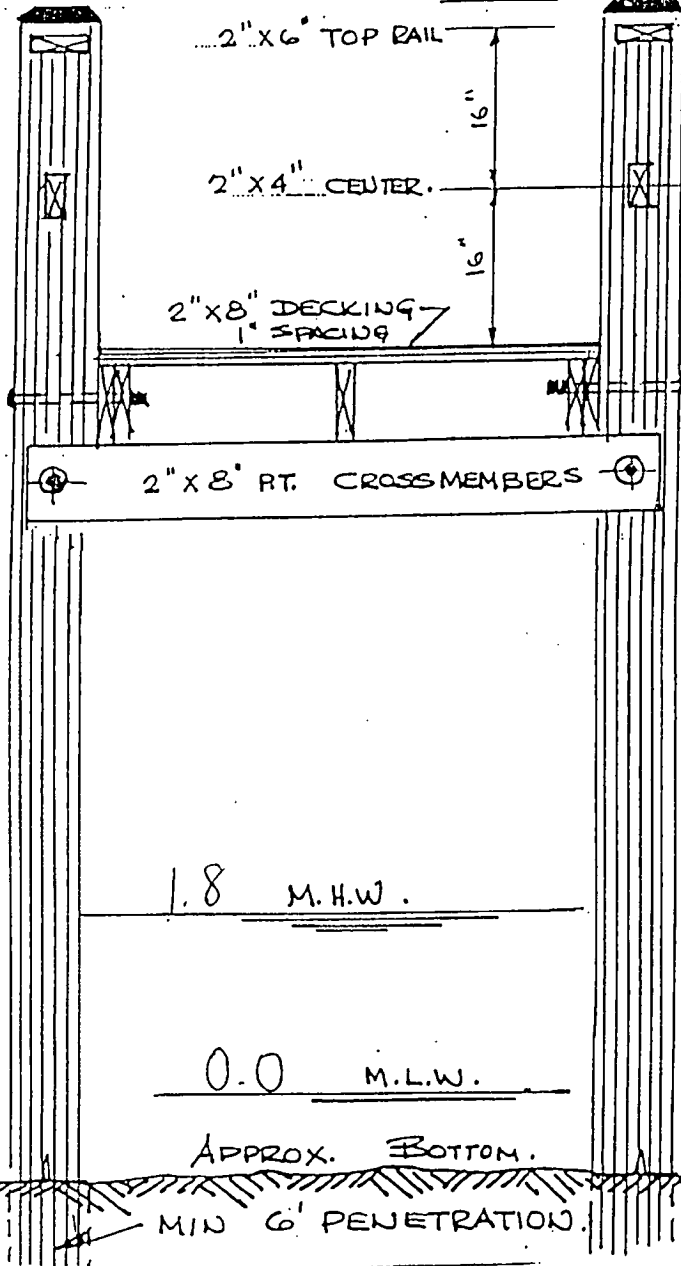
Design #		Tropic Marine Construction, Inc.
Drawn By		130 NE Dixie Highway
Checked		Stuart, FL 34994
Date	File	TONY CICORIA 126 N. SEWALL'S POINT ROAD STUART, FL 34996

RECEIVED

1999 MAY 20 A 11:01

DEPT. OF ENVIRON. PROTECTION
RCRT ST. LUCIE

4'0"



2:5 C.C.A 8"
PILINGS
12' O.C.

DOUBLE 2"X8'
STRIGGERS

5/8" HOT DIPPED
GALV. BOLTS
w/ WASHERS

2" X 8" RT. CROSSMEMBERS

1.8 M.H.W.

0.0 M.L.W.

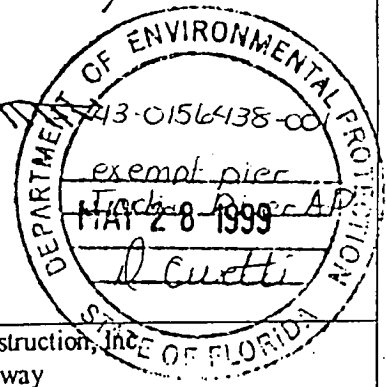
APPROX. BOTTOM.

MIN 6' PENETRATION.

3'0" RAIL

5.5' ABOVE M.H.W.

PIER SECTION
3/4"



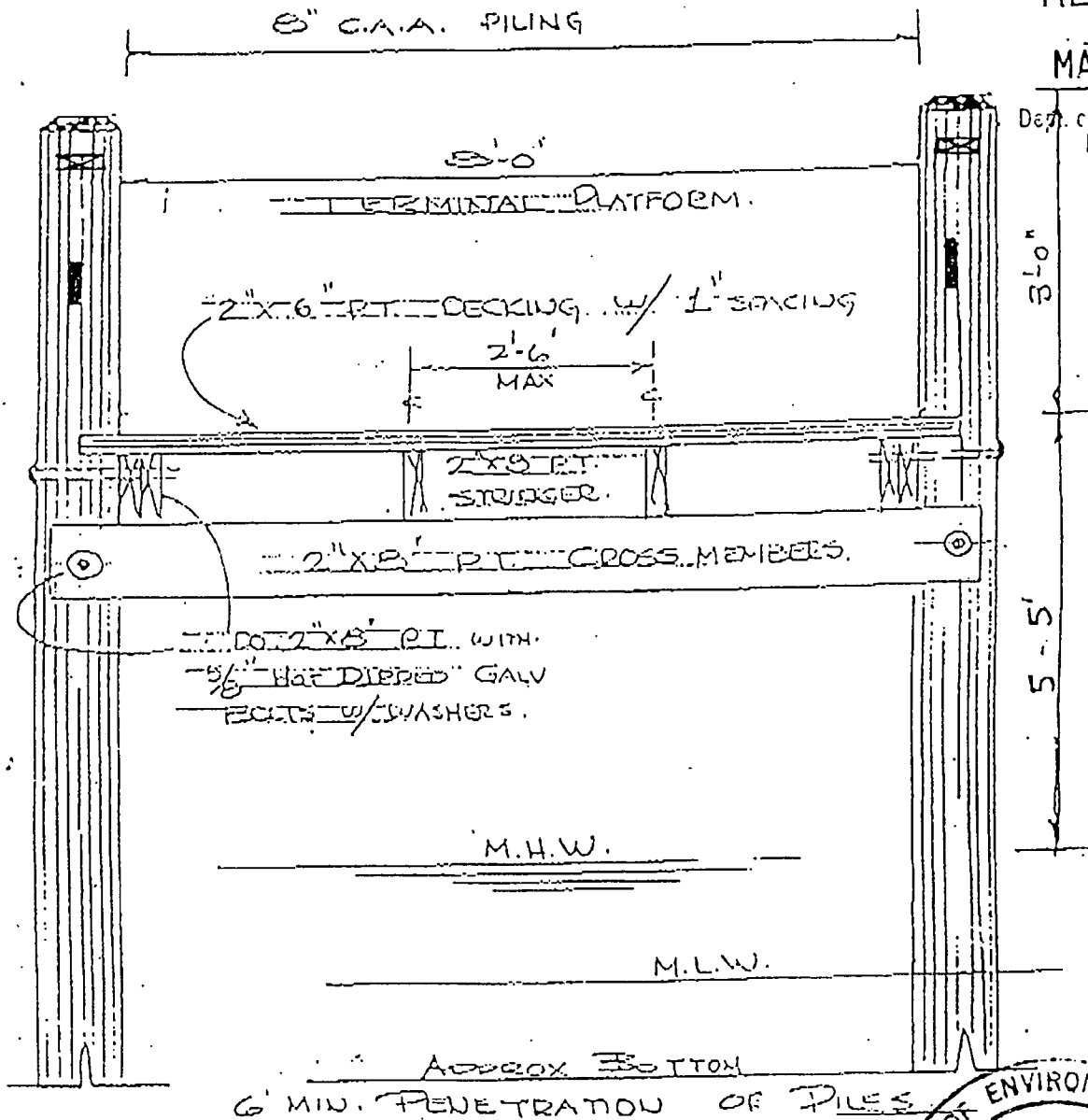
Design #		Tropic Marine Construction, Inc.
Drawn By		130 NE Dixie Highway Stuart, FL 34994
Checked		TONY CICORIA 126 N. SEWALL'S POINT ROAD STUART, FL 34996
Date	File	

Note: Terminal Platform to have handrail around entire platform using the same construction method and material as approach.

RECEIVED

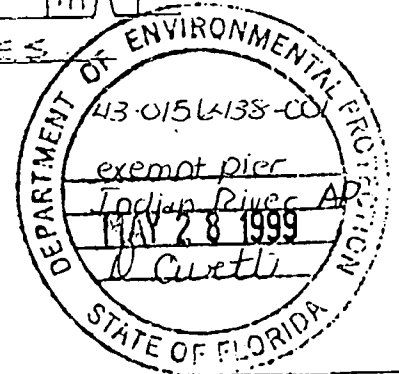
MAY 21 1999

Dept. of Environ. & Energy
Port St. Lucie

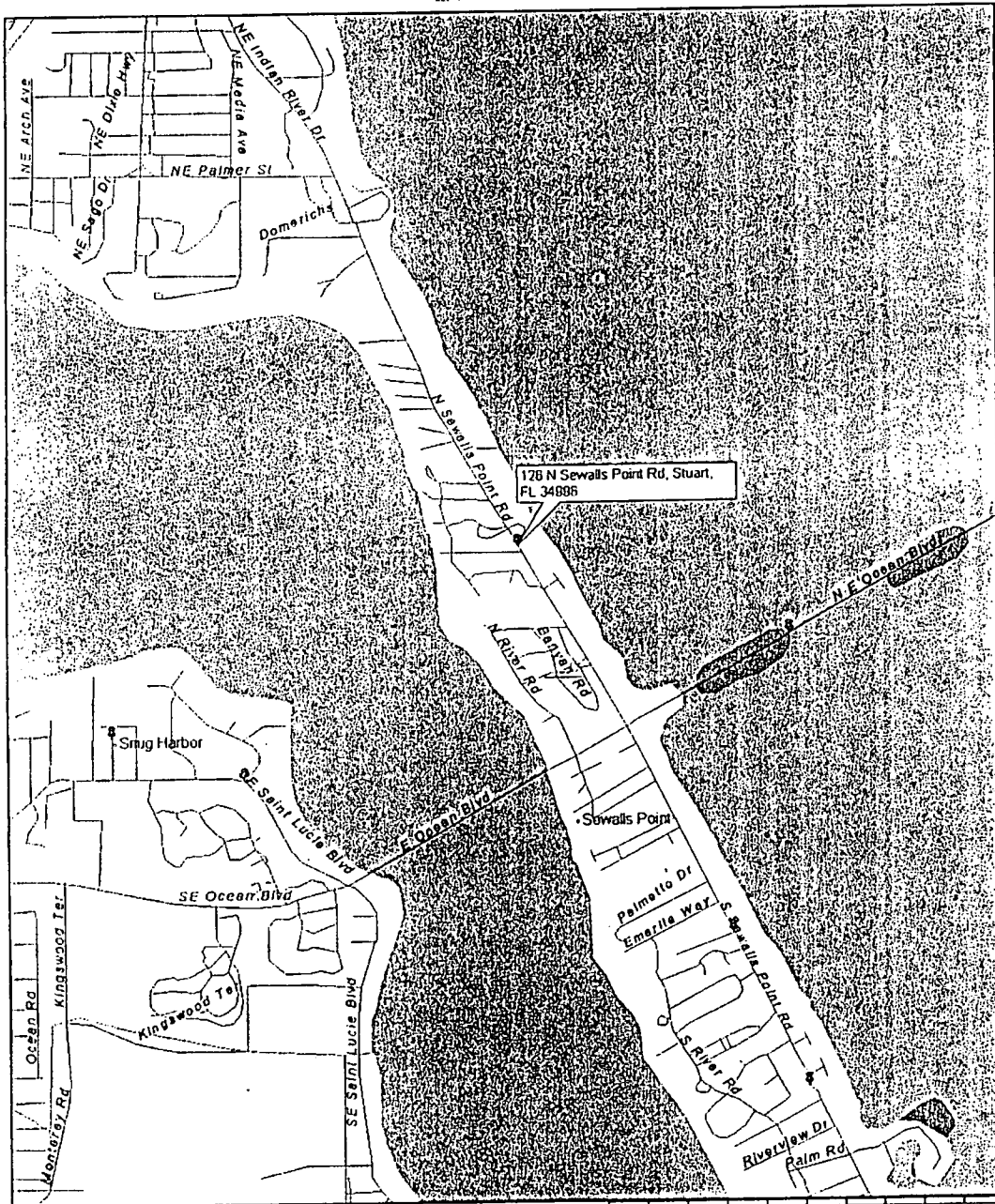


... TERMINAL DETAILS.

3/4"



Design #		Tropic Marine Construction, Inc. 130 NE Dixie Highway Stuart, FL 34994
Drawn By		
Checked		TONY CICORIA 126 N. SEWALL'S POINT ROAD STUART, FL 34996
Date	File	



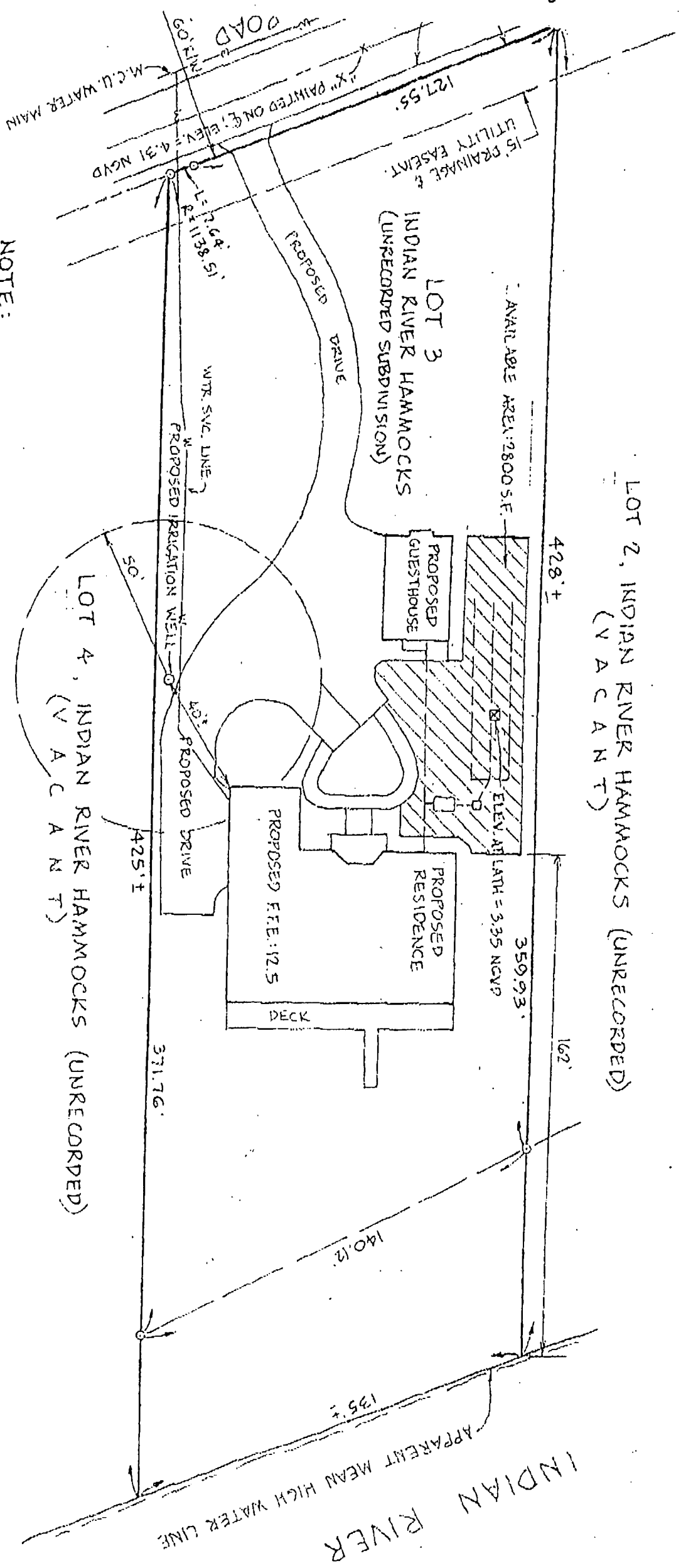
11/12/99 TOWN OF SEWALLS POINT
 REVIEWED *[Signature]* BING OFF.
 TOWN COPY - 126 N. SEWALLS PT. RD

Design #		Tropic Marine Construction, Inc.
Drawn By		130 NE Dixie Highway
Checked		Stuart, FL 34994
Date	File	TONY CICORIA
		126 N. SEWALL'S POINT ROAD
		STUART, FL 34996

PN 4736

THEY GO TO THE STORE
AND BUY THE BREAD
AND THE BUTTER
AND THE EGGS
AND THE MILK

BN 4120



NOTE:

THE GENERAL SLOPE OF THE PROPERTY, RECORDED EASEMENTS FROM THE RECORD PLAT, FILLED AREAS AND DRAINAGE FEATURES ARE AS SHOWN.
 LOT 3 LIES IN FLOOD ZONES A10 (EL. 8'), A10 (EL. 9') & V13 (EL. 10') ACCORDING TO F.I.R.M. COMMUNITY-PANEL NO. 120164 0001D, DATED 6-16-92

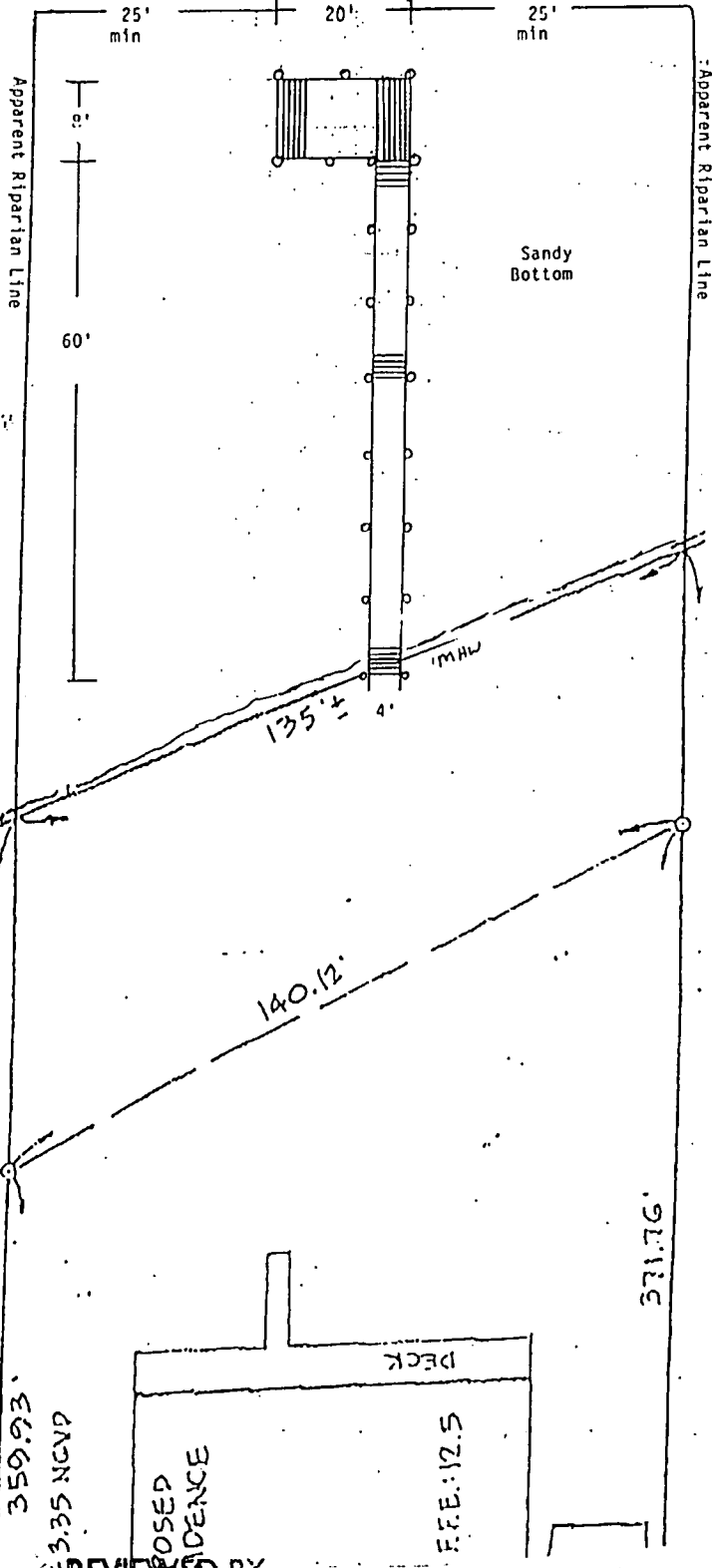
SITE PLAN CERTIFIED BY:

Arthur Spreedy

ARTHUR SPREEDY P.E. & M.
 FLORIDA LICENSE NO. 33443
 DATE: AUG. 28, 1993

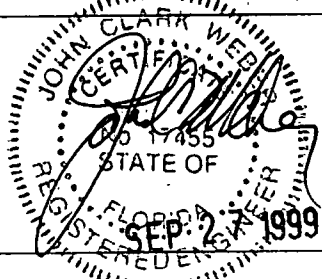
SITE PLAN FOR SEPTIC TANK PERMIT APPLICATION
 FOR MR. ANTHONY CICCORIA, LOT 3, INDIAN RIVER HAMMOCKS
 & MARY CICCORIA

Indian River



(UNRECORDED)

REVIEWED BY



Design #

Drawn By

Checked

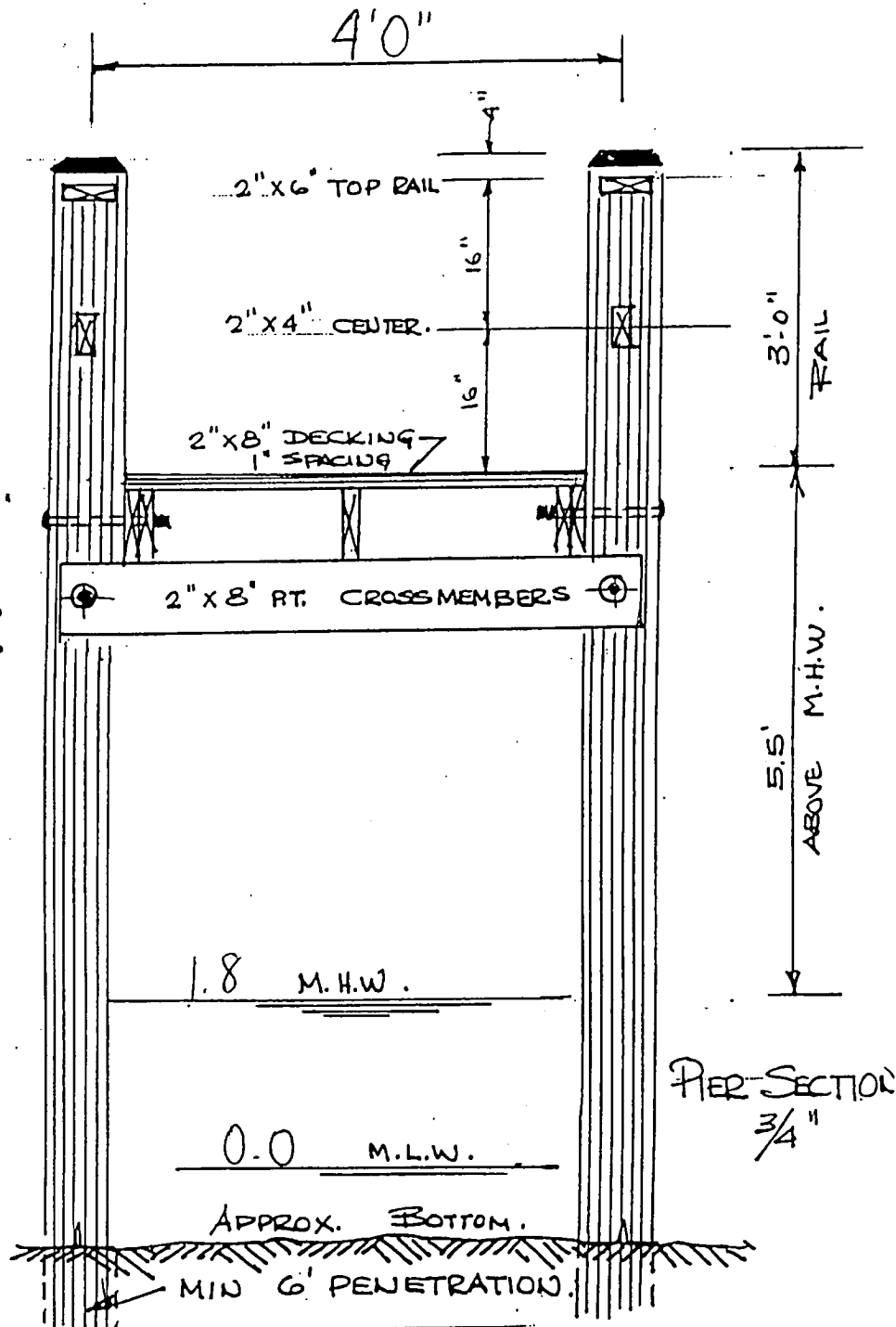
Date

File

Tropic Marine Construction, Inc.
 130 NE Dixie Highway
 Stuart, FL 34994

TONY CICORIA
 126 N. SEWALL'S POINT ROAD
 STUART, FL 34996

FOR STRUCTURAL
 INTEGRITY



2:5 C.C.A 8"
PILINGS
12' O.C.

DOUBLE 2"X8"
STRIGGERS

5/8" HOT DIPPED
GAW. BOLTS
W/ WASHERS

2"X6" TOP RAIL

2"X4" CENTER.

2"X8" DECKING
1" SPACING

2" X 8" RT. CROSSMEMBERS

3'0"
RAIL

5.5'
ABOVE M.H.W.

1.8 M.H.W.

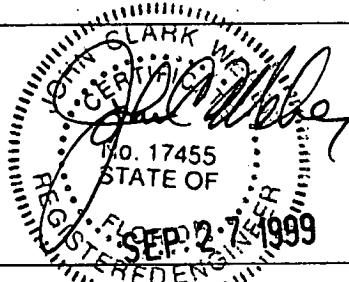
0.0 M.L.W.

APPROX. BOTTOM.

MIN 6' PENETRATION.

PER SECTION
3/4"

REVIEWED BY



Tropic Marine Construction, Inc.
130 NE Dixie Highway
Stuart, FL 34994

TONY CICORIA
126 N. SEWALL'S POINT ROAD
STUART, FL 34996

Design #

Drawn By

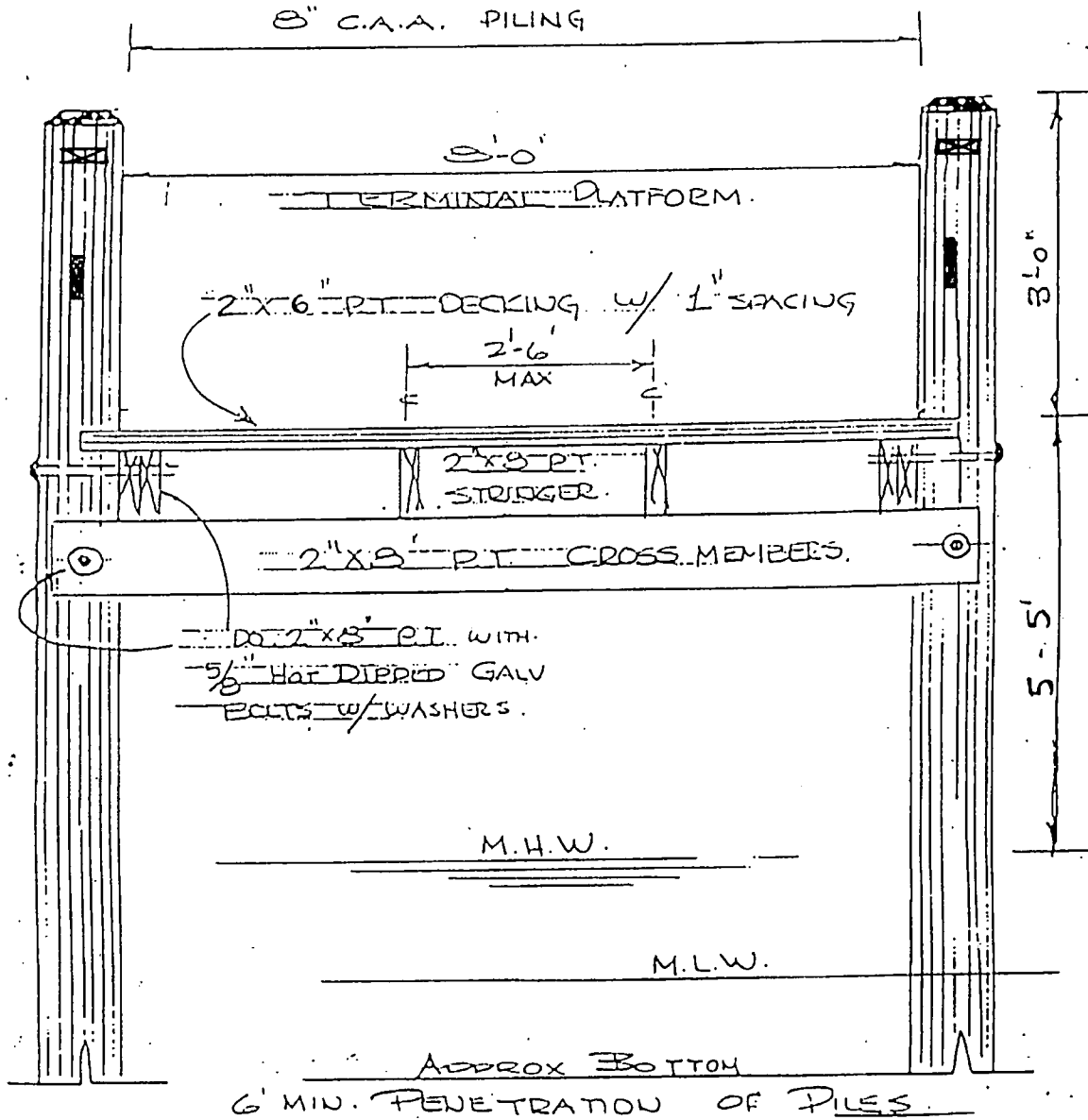
Checked

Date

File

FOR STRUCTURAL
INTEGRITY

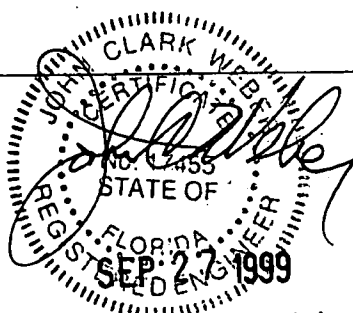
Note: Terminal platform to have handrail around entire platform using the same construction method and material as approach.



... TERMINAL DETAILS.

3/4"

REVIEWED BY



Design #	
Drawn By	
Checked	
Date	File

Tropic Marine Construction, Inc.
 130 NE Dixie Highway
 Stuart, FL 34994
 TONY CICORIA
 126 N. SEWALL'S POINT ROAD
 STUART, FL 34996

FOR STRUCTURAL INTEGRITY

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/10, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4840	Schuchmann	nailing	Passed	
⑤	4 Fieldway (O/B)	felt (REINSPECTION)	BG	
4757	Franzen	steel		re-scheduled
	34 Rio Vista Dr.	(RET. WALL W/TIE BARS)		for Mon. 3-13
	CUSTOM BUILT MARINE			
4576	Lino	temp.	Consultation	PERMIT EXPIRED - MUST
⑧	6 Island Rd SCOTT J. HOLMES	power	Walk-thru	RENEW; TEMP. ELECT. AGMT. SUBMITTED PRIOR TO INSP.
4527	Seeley	tie beam	Partial	HAVE CONTRACTOR COME TO
③	27 Lofting Way GRIBBEN CONST.	S. Porch	BG	OFFICE RE: PERMIT RENEWAL (ORIG. ISSUE 12/21/98)
4808	Hammock	roof final	Passed	
⑥	25 Rio Vista PACIFIC RFG.		BG	
4820	Freraccio	roof final	Passed	
⑦	26 E. High Point PACIFIC RFG.		BG	
4226	Cleoria	forming	Passed	No plan for Job
②	126 N.S.P. Rd. TROPIC MARINE	dock	BG	Work on Deck Need Plan For Final

OTHER: 1. T/R PERMIT (REINSP) APRES 15 S. RIVER (TOM SMITH PROP MGR) 343-3250 BEEPER. (334-431) 2. " " CAPELL 17 S. RIDGEVIEW

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4-5, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4726	Cicoria	deck	Passed	
(4)	126 N. S. P. Rd. Belle/Tropic	final	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4867	Yorraso	roof final	Passed	
(2)	21 Periwinkle Cres. Pacific	(FLAT)	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4876	DeCroce	dry-in &	Passed	
(7)	2 Riverview Capps & Huff	sheathing	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4863	Lino	final for	Passed	Fix Swale on S. side
(8)	6 Island Holmes	c.o.	BG	Scott Getting Specs. FOR IMPACT DOORS.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4857	CONWAY		Passed	FORWARD SURVEY ROW 4/4
(5)	4 OAK HILL WAY CASTLE HILL	PRE/POUR SEWAGE/GARAGE SLAB	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4723	Kuch	2nd floor	Passed	roof truss
(3)	71 No. River Rd Brown	sheathing nail pattern	BG	tie-down Picked up TRUSS ENG. FOR REPAIR.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4527	Seely	2nd floor tie	Passed	late as
(6)	37 Lofting Way Gribben	beam meter?	BG	possible
		hall part of roof	Passed	

OTHER: EBA. T/R PERMIT APPL. - BAROK; 24 N. VIA LUCINDIA ✓
 " T/R " " - FRICK; 21 PALM RD. ✓

* Wants meter on House. Told Him No. (37 Lofting Way)

INSPECTOR (Name/Signature): _____

4738

SCREEN

ENCLOSURE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/10/99

Building to be erected for ANTHONY CECILIA (CARRIAGE HOUSE CUST. HOME) BUILDING PERMIT NO. 4738
Applied for by SCREENCO NORTH (Contractor) type of Permit PATIO SCREEN ENCL.

Subdivision INDIAN RIVER HAMMOCKS Lot 3 Block _____ Building Fee \$30.00
Address 126 N. SEWALL'S POINT RD. Radon Fee _____
Type of structure S.F.R. (UNDER CONST.) Impact Fee _____
A/C Fee _____

Parcel Control Number: _____
35-37-41-000-000-00013-000
Amount Paid \$37.50 Check # 12595 Cash _____ Other Fees (REV.) 7.50
Total Construction Cost \$ 1,963.00 TOTAL Fees \$37.50

Signed Jaron Quinn
Applicant

Signed [Signature]
Town Building Inspector

SCREEN ENCLOSURE PERMIT

INSPECTIONS			
SETBACKS	DATE _____	STEEL & BOND FINAL	DATE _____ DATE _____
24 HOURS NOTICE REQUIRED FOR INSPECTIONS.		CALL 287-2455	
WORK HOURS - 8:00 AM UNTIL 5:00 PM			
MONDAY THROUGH SATURDAY			

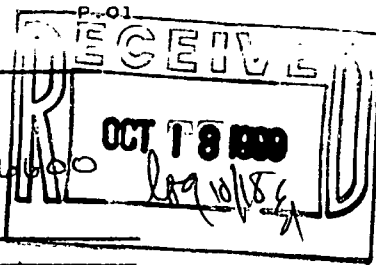
- New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# _____

Town of Sewall's Point

Date _____



BUILDING PERMIT APPLICATION

CARRIAGE HOUSE CUSTOM
HOMES, INC.

Phone No. 748-6600

Owner's Name: _____

Owner's Present Address: _____

Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: 126 N. SEWELL POINT DR.

TYPE OF WORK TO BE DONE: PATIO SCREEN ENCLOSURE

CONTRACTOR INFORMATION

Contractor/Company Name: SCREENCO NORTH, INC. Phone No. (561) 840-3300

COMPLETE MAILING ADDRESS 5470 DEXTER WAY, WFB, FL 33407

State Registration _____ State License _____

Legal Description of Property _____

Parcel Number 35-37-41-000-000-00013-000

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____

Address _____

Engineer _____ Phone No. _____

Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____

Accessory Bldg. _____ Covered Patio _____ Scr. Porch 372 Wood Deck _____

Type Sewage: _____ Septic Tank Permit # from Health Dept. _____

NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD

proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)

Cost of construction or improvement _____

Fair Market Value (FMV) prior to improvement _____

Substantial Improvement 50% of FMV yes _____ No _____

Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____

Mechanical _____ State License# _____

Plumbing _____ State License# _____

Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Richard Prince

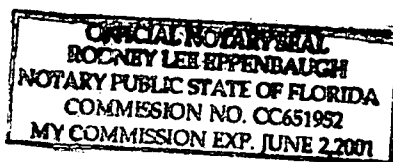
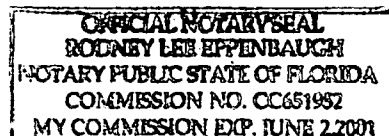
Sworn to and subscribed before me this 15th day of October, 1999 by Richard Prince who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.

Rehman Lee Eppel

CONTRACTOR SIGNATURE Richard Prince

Sworn to and subscribed before me this 15th day of October, 1999 by Richard Prince who is personally known to me or has produced _____ and who did (did not) take an oath.

Page 1 Rehman Lee Eppel



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

10/01/1999

PRODUCER (561)278-0448 FAX (561)278-2391
 Weekes & Callaway, Inc.
 P.O. Box 1460
 Delray Beach, FL 33447-1460

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

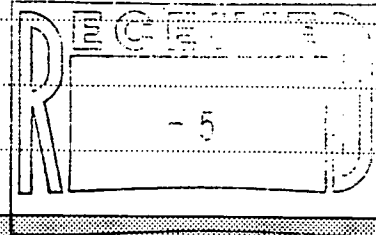
COMPANIES AFFORDING COVERAGE

COMPANY A Reliance Ins. Co. (Specialty)

COMPANY B

COMPANY C

COMPANY D



Attn: Ext:

INSURED
 Screenco North, Inc. &
 Screenco Metal Products
 5470 Dexter Way
 Mangonia Park, FL 33407

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT	SI2835400	04/01/1999	04/01/2000	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	SH2846859	04/01/1999	04/01/2000	COMBINED SINGLE LIMIT \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL				WC STATUTORY LIMITS OTHER EL EACH ACCIDENT \$ EL DISEASE - POLICY LIMIT \$ EL DISEASE - EA EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

Sewells Point
 One South Sewells Point
 Sewells Point, FL 33996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE *[Signature]*

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
08/05/1999

PRODUCER
AON RISK SERVICES, INC. OF FLORIDA
1001 BRICKELL BAY DRIVE, SUITE #1100
MIAMI, FL 33131-4937

100-743-8130

Serial # A15054

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A RELIANCE INSURANCE COMPANY
COMPANY B
COMPANY C
COMPANY D

INSURED
ADP TOTALSOURCE III, INC.
5800 WINDWARD PARKWAY
ALPHARETTA, GA 30005
ALTERNATE EMPLOYER:
SCRENCO NORTH INC.

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ PERSONAL & ADV INJURY \$ EACH OCCURRENCE \$ FIRE DAMAGE (Any one fire) \$ MED EXP (Any one person) \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
A	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	NWA 0133599-02	9/1/1999	12/31/1999	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 1,000,000 EL DISEASE - POLICY LIMIT \$ 1,000,000 EL DISEASE - EA EMPLOYEE \$ 1,000,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
ALL EMPLOYEES WORKING FOR THE ABOVE NAMED CLIENT COMPANY, PAID UNDER ADP/TOTALSOURCE III, INC.'S PAYROLL, WILL BE COVERED UNDER THE ABOVE STATED POLICY. *THE ABOVE NAMED CLIENT IS AN ALTERNATE EMPLOYER UNDER THIS POLICY.

CERTIFICATE HOLDER CANCELLATION

SEWELLS POINT
ONE SOUTH SEWELLS POINT ROAD
SEWELLS POINT, FL 33996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

John E. Bell

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

PRINCE, RICHARD T
SCREENCO NORTH INC
5470 DEXTER WAY
MANGONIA PARK , FL 33407

EXPIRES SEPTEMBER 30, 20 CO

ADDITIONAL CONTROL NUMBER	37018	CERTIFICATE NUMBER	SP00774
---------------------------------	-------	--------------------	---------

CERTIFIED
CONTRACTOR

ALUMINUM/CONCRETE CONTRACTOR

SIGNATURE



ATTEST:

V. SCHE A. MESSIER

LICENSING ADMINISTRATOR

11636

**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765**

PLAN REVIEW NOTES

SCREEN
ENCL.

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; SCREEN ENCL.

OWNER: CARRIAGE HSE. CUSTOM HOMES ADDRESS: _____

PROJECT ADDRESS: 126 N. SEWALL'S POINT RD. LEGAL: LOT 3 BLK _____ SUB INDIAN RIVER HAMMOCKS

GENERAL CONTRACTOR: SCREENCO NORTH ; LIC/CERT No. _____

ADDRESS: 5470 DEXTER WAY, W.P.B. FL 33407 ; TEL 840-3300 ; FAX _____

ARCHITECT OR ENGINEER: B. PASSINOS P.E. ; LIC/REG. No. 30701

ADDRESS: _____ ; TEL _____ ; FAX _____

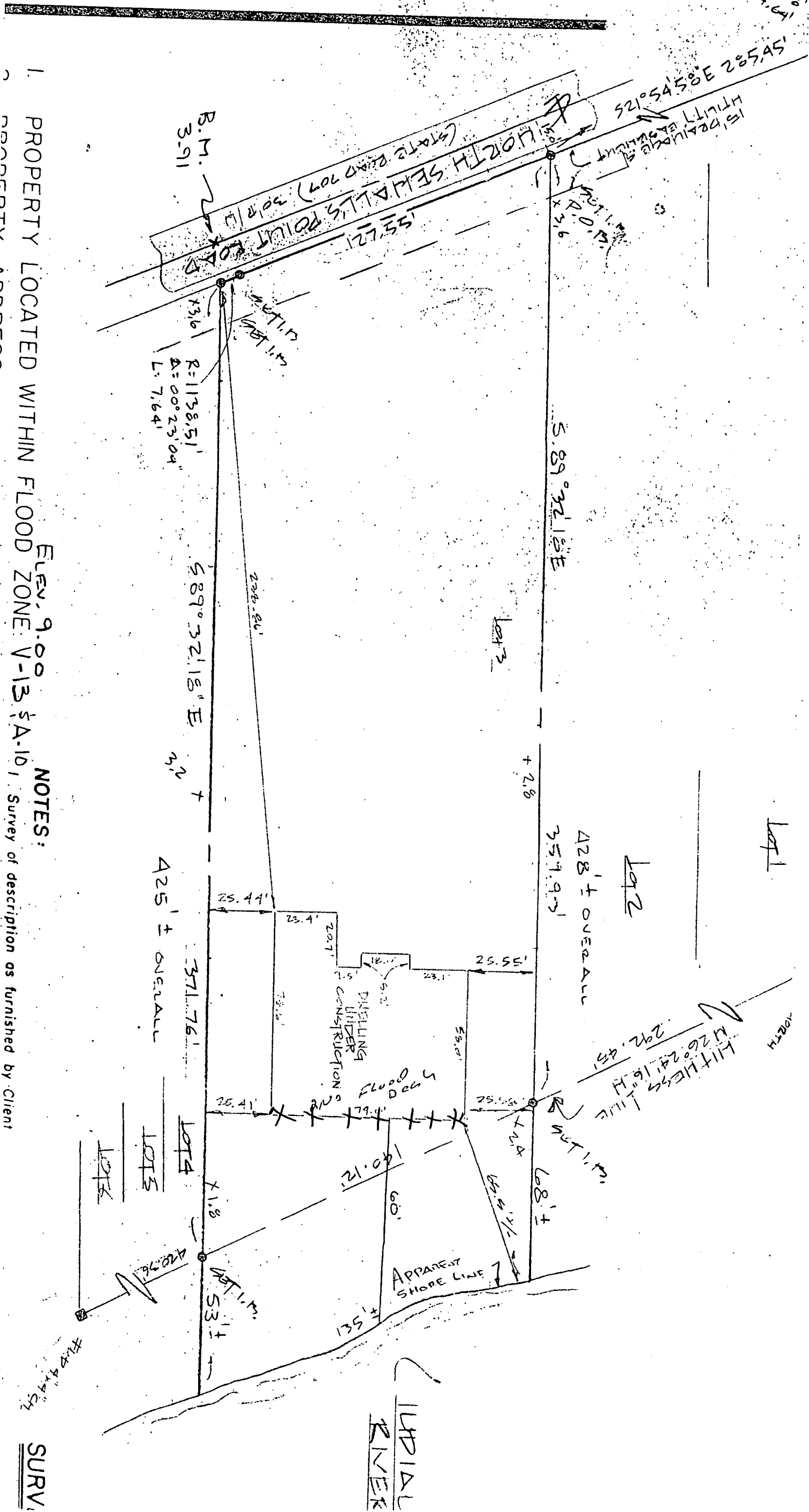
Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision :

- ✓ 1. ENGINEER CERTIFICATION COMPLIANCE REQUIRED
- SOUTH FLORIDA BLDG CODE, MIAMI-DADE CTY ED.
(INCORRECT COMPLIANCE/DESIGN CERT. ON SEACEY DWGS.)
- ✓ 2. CONTRACTOR LICENSE/INSURANCE (LIAB & W.C.) ✓ will provide
- ✓ 3. COST OF WORK \$1,963.00
- ✓ 4. N.O.C. (IF OVER \$2,500.) ✓

*plc 11/15
review of "dock" all
will provide all
- ISSUE TUESDAY*

Prepared By: [Signature] Title: BLDG OFFICIAL Date: 11/12/99

P.O.C.
 11/4/97
 6074
 WEST 4.61'



1. PROPERTY LOCATED WITHIN FLOOD ZONE V-13 & A-10. ELEV. 9.00

NOTES: Survey of description as furnished by Client

2. Lands shown hereon were not abstracted for easements

WE HEREBY CERTIFY

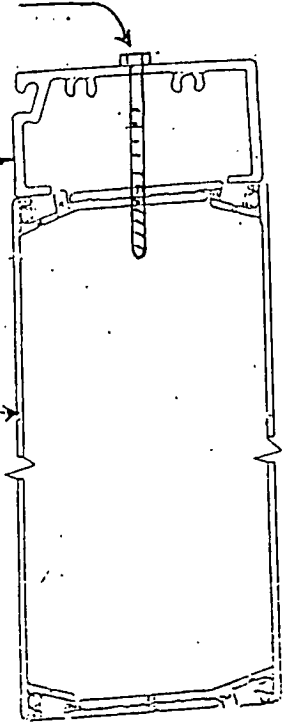
RE-INFORCEMENT OF 2x4 COLUMN TO EXTEND HEIGHT

- ATTACH 2x2 TO 2x4 AS SHOWN
- RE-INFORCED COLUMN SHALL NOT EXCEED 15 FT.

#10x2 1/2" SMS
@ 24" O.C.

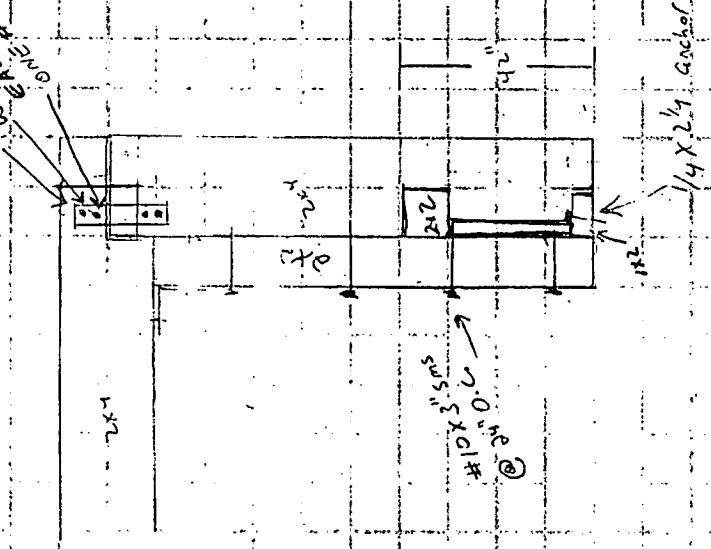
2x2

2x4

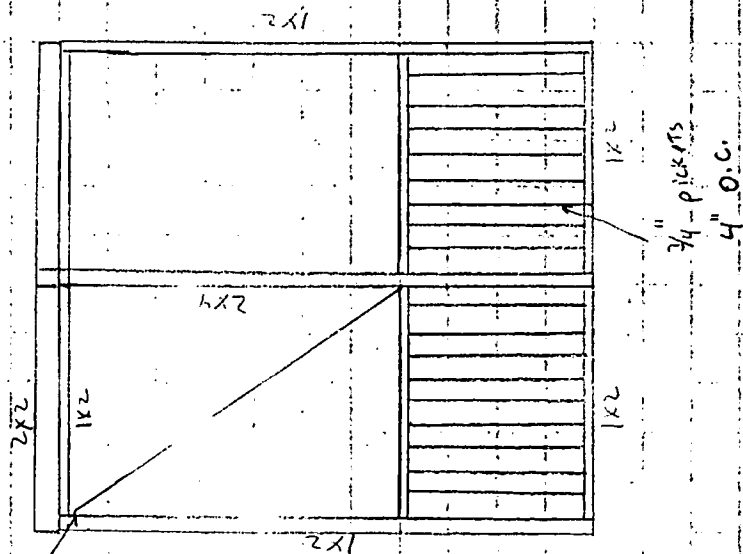


Blessman
11-23-99

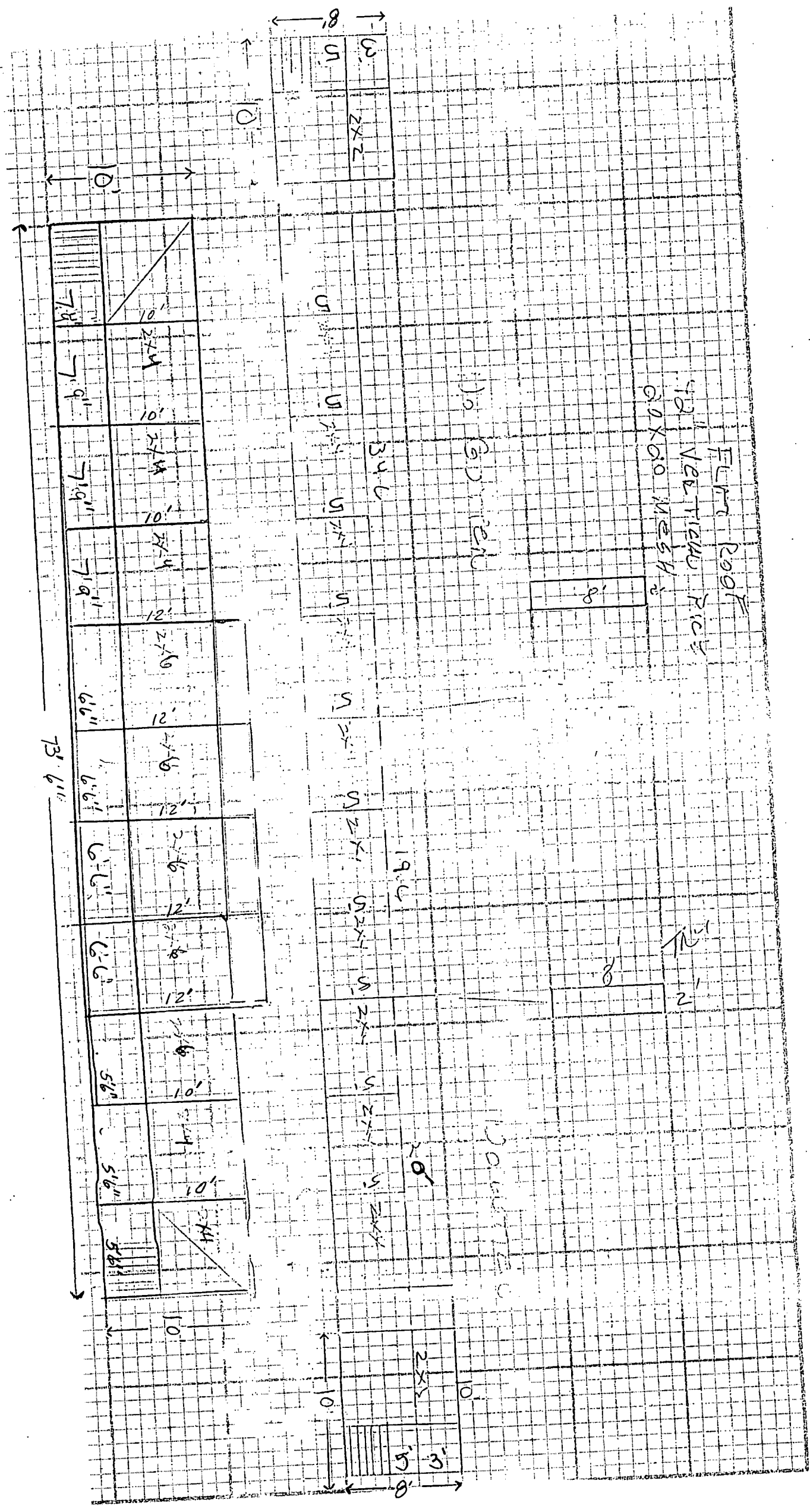
ONE #10 ANCHOR BOLT
 EACH SIDE BACK SIDE
 1 1/2" x 1/4" x 1/4" RAIL



BRACE
 EACH END
 PANEL-BACK WALL



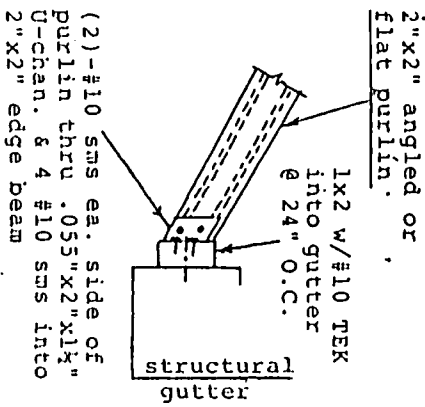
Blair
 11-23-99



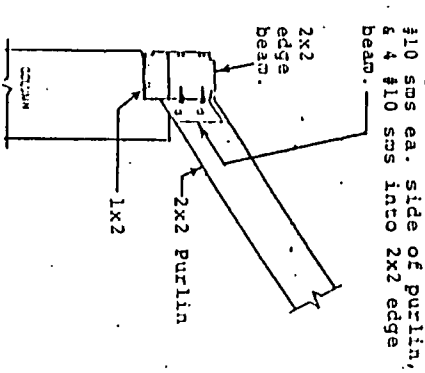
JOB SITE: SCREENED PORCH
 5470 Dexter Hwy
 Wessling Park, WI 53457
 (407) 840-3300
 Carriage House
 J.C. N. Sewell, Jr.
 Street: Dixie
 Lot # 3
 Job # 81749
 BILL PASSENGER, ESQ. 430702
 Dec: Scale 5/8" = 1'-0"

Seal
 11-23-99

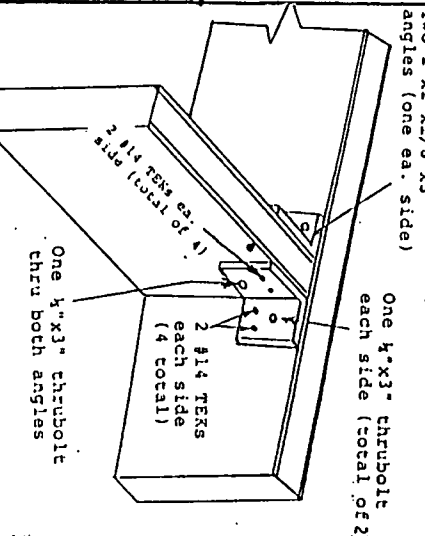
PURLIN-TO-GUTTER DETAIL



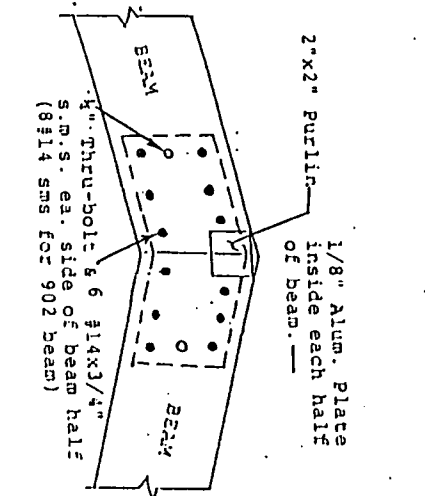
ROOF PURLIN-TO-COLUMN DETAIL



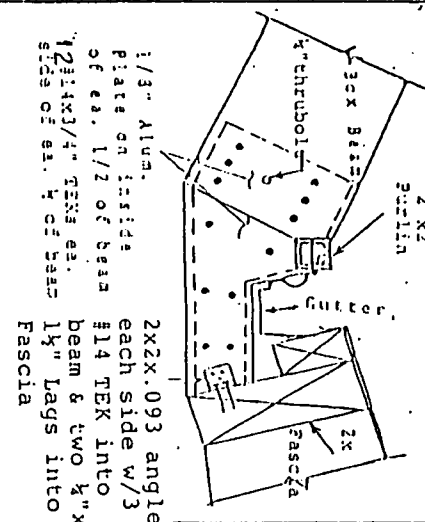
BEAM-TO-BEAM ATTACHMENT



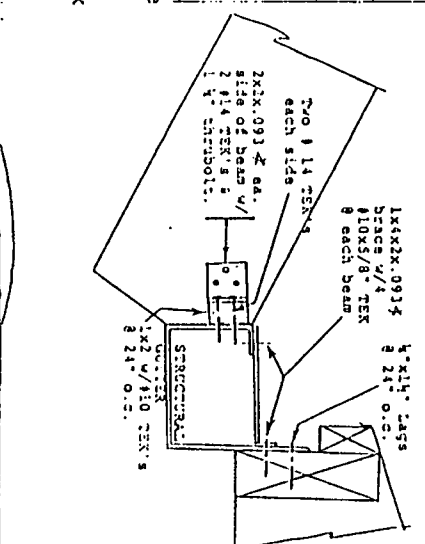
BOX BEAM SPLICE PLATE



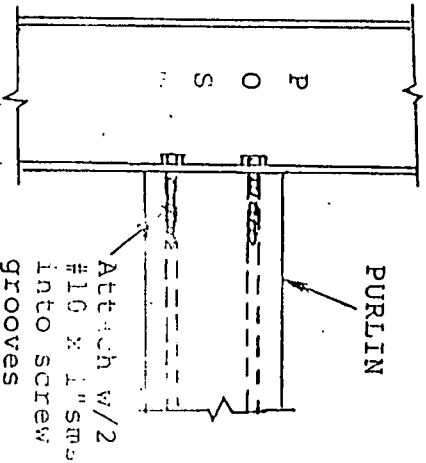
GUTTER NOTCH W/FASCIA



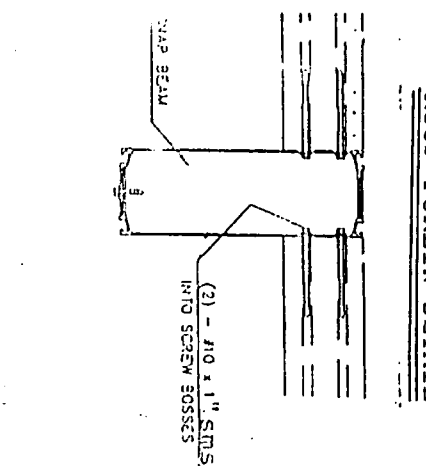
GUTTER TO FASCIA DETAIL



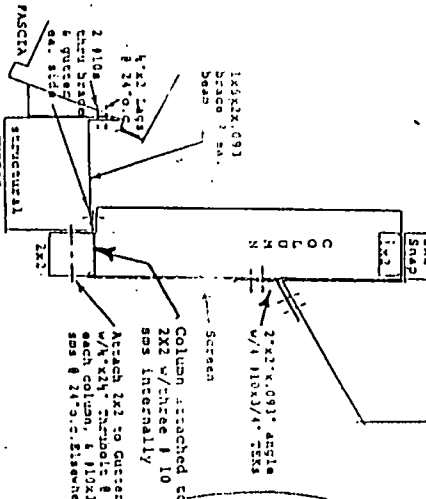
PURLIN-TO-POST CONNECTION



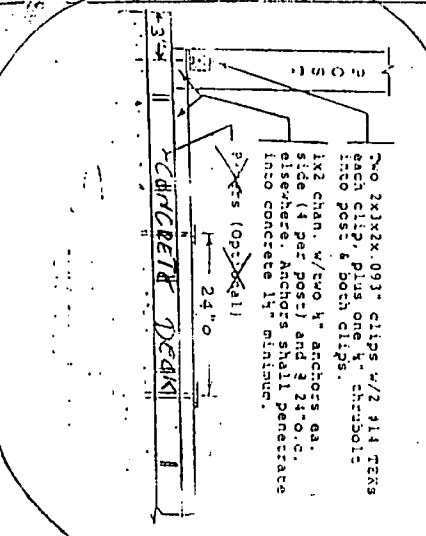
ROOF PURLIN DETAIL



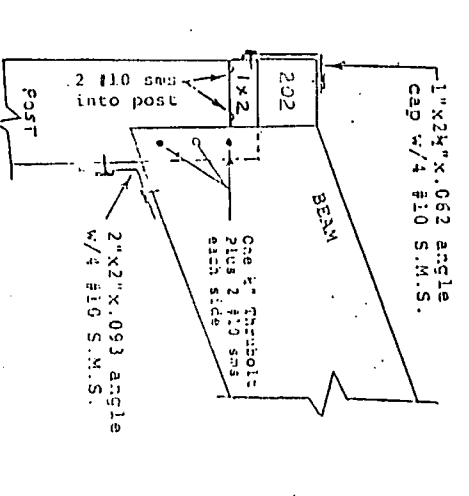
TRANSOM DETAIL



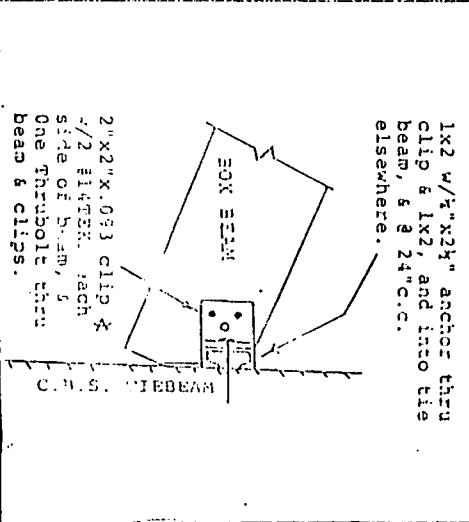
SEAS & FOOTING DETAIL



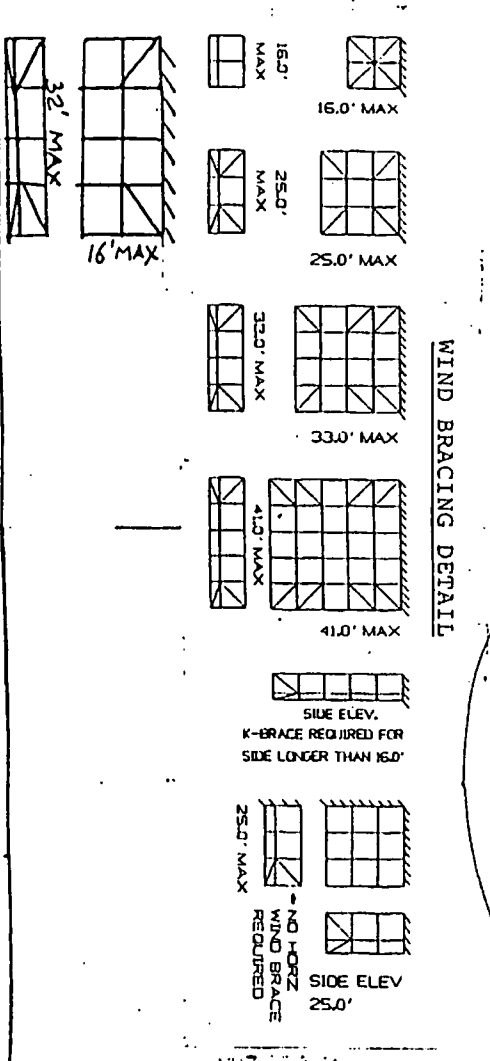
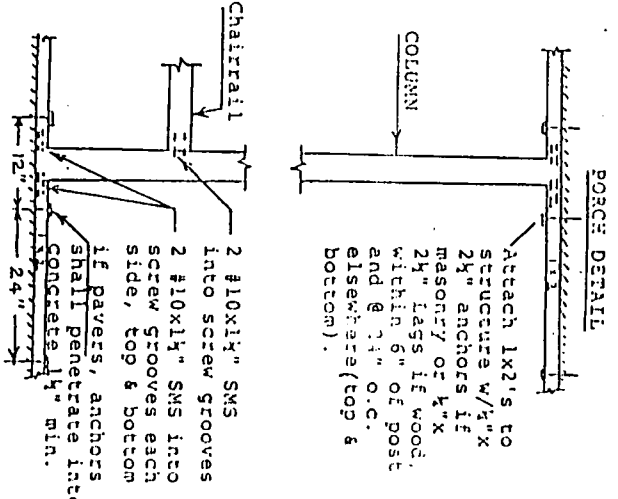
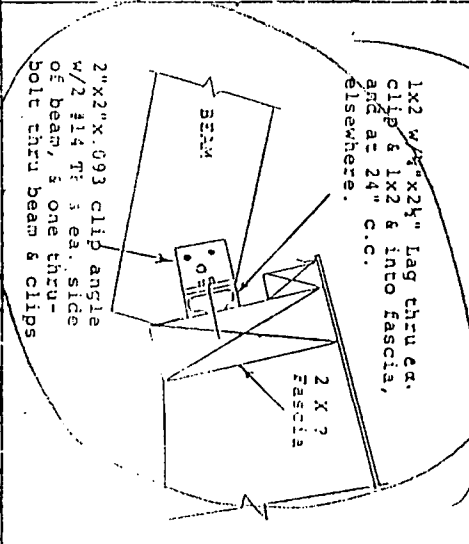
BEAM-TO-POST DETAIL



BEAM ATTACH TO CBS WALL



BEAM-TO-FASCIA DETAILS



BEAM TYPE	SIZE	FLANGE	WCU	BEAM SPANS & SPACING OF							
	D-1/2 inch	D-1/2 inch	L1	L2	4'	5'	6'	6.5'	7'	7.5'	8'
202 SNAP	2.00	2.00	.045"	.045"	10.9'	10.4'	9.9'	9.8'	9.6'	9.4'	9.3'
302 SNAP	2.00	3.00	.055"	.055"	14.9'	14.1'	13.4'	13.1'	12.9'	12.7'	12.5'
402/2x4 LB	2.00	4.00	.130"	.062"	18.8'	17.7'	16.8'	16.4'	16.1'	15.8'	15.5'
6 LB	2.00	6.00	.140"	.062"	25.5'	23.9'	22.7'	22.1'	21.7'	21.3'	20.9'
7 LB	2.00	7.00	.150"	.062"	30.4'	28.4'	26.9'	26.3'	25.7'	25.3'	24.7'
7LB 3/8" strap	.00	7 3/8"	.525"	.067"	33.7'	31	29.8'	29	28.4'	27.7'	27.3'
8 LB	2.00	8.00	.234"	.072"	35.4'	33.1'	31.3'	30.6'	29.9'	29.3'	28.7'
8LB 3/8" strap	2.00	8 3/8"	.599"	.072"	38.7'	36.2'	34.2'	33.4'	32.6'	32.0'	31.3'
9 LB	2.00	9.00	.200"	.072"	39.3'	36.7'	34.8'	33.9'	33.2'	32.6'	31.9'
9LB 3/8" strap	2.00	9 3/8"	.655"	.072"	45.4'	42.4'	39.8'	38.8'	37.9'	37.2'	36.3'
10LB	2.00	10.00	.389"	.092"	44.5'	41.5'	39.3'	38.3'	37.5'	36.7'	35.9'
10LB 3/8" strap	2.00	10 3/8"	.764"	.092"	47.7'	44.5'	42.0'	41.0'	40.1'	39.2'	38.5'
10LB 2 straps	2.00	10 3/4"	1.139"	.092"	51.2'	47.7'	45.1'	44.0'	43.0'	42.1'	41.3'
* COLUMNS *											
302 SNAP			9.7'	9.0'	8.5'	8.3'	8.1'	7.9'	7.7'		
402/2x4 LB			12.9'	11.9'	11.2'	10.9'	10.7'	10.4'	10.2'		
6 LB			18.3'	17.0'	16.0'	15.6'	14.8'	14.4'	13.9'		
7 LB			22.3'	20.7'	19.4'	19.0'	18.5'	18.1'	17.7'		
8 LB			26.4'	24.5'	23.0'	22.4'	21.9'	21.4'	20.9'		
9 LB			29.6'	27.4'	25.8'	25.2'	24.5'	24.0'	23.5'		

SCHEIBICO
NORTHING
5470 Dexter Way
Mangonia Park, FL 33407
407-840-3300

JOB SITE:

NOTES:
1) This Design complies with the 1998 S.F.A.C. and the Alum. Construction Manual.
2) The proposed structure shall be able to support the proposed snow/alm. enclosure as determined by others, or by additional engineering attached to this document by the undersigned engineer.
3) Splice for screws shall be done in accordance with the requirements of the manufacturer (i.e., use a pull force as approved by the engineer (generally 7 PSF).
4) Attach beam/column hangers & straps w/ #10 s.m.s. @ 21" O.C. 2024-T4 or cadmium-plated steel.
5) Primary structural members shall be 6063-T6. Secondary extrusions shall be 6063-T5.
6) Contractor is responsible for separating dissimilar metals to prevent electrolysis.
7) Electric grounding/bonding when required to be designed by others.
8) Concrete decks/footings to be designed by others, or by additional engineering attached to this document by the undersigned engineer.
B. Passinos, PE #30701

B. Passinos
11-23-99

4789

● STORM SHUTTERS

MASTER PERMIT NO. 4756 (RENEW)
4514 (ORIG.)

TOWN OF SEWALL'S POINT

Date 01/13/00 BUILDING PERMIT NO. 4789
 Building to be erected for ANTHONY/MARY D. CICORLA Type of Permit STORM SHUTTER
 Applied for by FOLDING SHUTTER CORP. (Contractor) Building Fee \$ 108.00
 Subdivision INDIAN RIVER HARBOUR Lot 3 Block _____ Radon Fee _____
 Address 126 N. SEWALL'S POINT ROAD Impact Fee _____
 Type of structure S.F.R. (UNDER CONST.) A/C Fee _____
 - DOUBLE FEE
 - WORK COMMENCED PRIOR TO PERMIT.
 Parcel Control Number: _____ Electrical Fee _____
 _____ Plumbing Fee _____
 _____ Roofing Fee _____
 Amount Paid \$ 118.80 Check # 8109 Cash _____ Other Fees (REVIEW) 10.80
 Total Construction Cost \$ 5,626.00 TOTAL Fees \$ 118.80

Signed [Signature] Applicant
 Signed [Signature] Town Building Inspector - OFFICIAL

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>1/21/00</u>

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

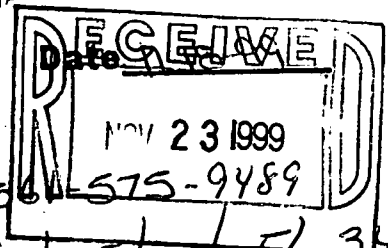
This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

06-03-99-066

Bldg. Pmt# _____

Town of Sewall's Point

BUILDING PERMIT APPLICATION



Owner's Name: Anthony Cecora Phone No. _____
Owner's Present Address: 126 (S) Sewalls Point Road, Stuart FL 34996
Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: 126 S. Sewalls Point Road, Stuart FL 34996

TYPE OF WORK TO BE DONE: Install 24 Storm panels

CONTRACTOR INFORMATION

Contractor/Company Name: Folding Shelter Corp. Phone No. 561-683-4811

COMPLETE MAILING ADDRESS: 7089 Hemstreet Place West Palm Bch. FL 33413

State Registration _____ State License _____

Legal Description of Property: Arch. palace lot 8 100110 POWER PROJECT

Parcel Number: 13-38-41-001-am-0008.0-9-0000 LOT 3

ARCHITECT/ENGINEER INFORMATION

Architect: Al Farooq Phone No. 305-264-8100

Address: 1235 SW 87th Ave. Miami FL 33174

Engineer: 11 Phone No. _____

Address

Area Square Footage: Living Area _____ Garage Area _____ Carport _____

Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____

Type Sewage: _____ Septic Tank Permit # from Health Dept. _____

NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD

proposed finish floor elevation 11 NGVD (minimum 1 foot above BFE)

Cost of construction or Improvement: \$626.00

Fair Market Value (FMV) prior to improvement _____

Substantial Improvement 50% of FMV yes _____ No _____

Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____

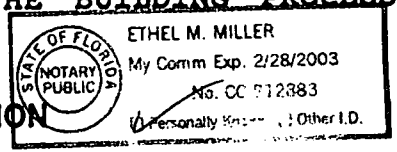
Mechanical _____ State License# _____

Plumbing _____ State License# _____

Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.



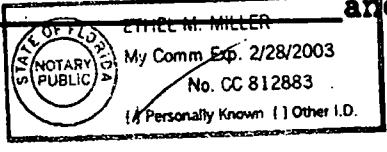
OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE: [Signature]

Sworn to and subscribed before me this 4th day of November, 1999 by Kevin R. Hemstreet who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.

CONTRACTOR SIGNATURE: [Signature]

Sworn to and subscribed before me this 4th day of November, 1999 by Kevin R. Hemstreet who is personally known to me or has produced _____ and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

SP ID JT DATE (MM/DD/YY)
 FOLDING 10/26/99

PRODUCER
 SLATON INSURANCE
 P.O. Box 3857
 3rd Palm Beach FL 33402

Helen Martinson
 Phone No. 561-683-8383 Fax No. 561-684-5995

INSURED
 Folding Shutter Corporation
 7089 Hemstreet Place
 West Palm Beach FL 33413

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A	Auto-Owners Insurance Company
COMPANY B	F C C I
COMPANY C	
COMPANY D	

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	20518196	05/22/99	05/22/00	GENERAL AGGREGATE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				PRODUCTS - COMP/OP AGG \$ 1,000,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				PERSONAL & ADV INJURY \$ 1,000,000
	<input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT				EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> Employee Benefit				FIRE DAMAGE (Any one fire) \$ 50,000
					MED EXP (Any one person) \$ 5,000
					COMBINED SINGLE LIMIT \$
	AUTOMOBILE LIABILITY				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> ALL OWNED AUTOS				PROPERTY DAMAGE \$
	<input type="checkbox"/> SCHEDULED AUTOS				
	<input type="checkbox"/> HIRED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY:
					EACH ACCIDENT \$
					AGGREGATE \$
A	EXCESS LIABILITY	71584721 952112	05/22/99	05/22/00	EACH OCCURRENCE \$ 5,000,000
	<input checked="" type="checkbox"/> UMBRELLA FORM				AGGREGATE \$ 5,000,000
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC99A42604	04/01/99	04/01/00	WC STATU-TORY LIMITS OTH-ER
	<input type="checkbox"/> INCL				EL EACH ACCIDENT \$ 500,000
	<input type="checkbox"/> EXCL				EL DISEASE - POLICY LIMIT \$ 500,000
					EL DISEASE - EA EMPLOYEE \$ 500,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

*STATE OF FLORIDA REQUIRES 30 DAYS NOTICE OF CANCELLATION FOR WORKERS COMPENSATION FLORIDA EMPLOYEES ONLY.

FAX: 561-334-5432

CERTIFICATE HOLDER

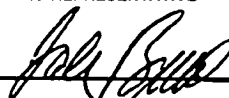
TOWNSEW

TOWN OF SEWALLS POINT
 1 SOUTH S.P. ROAD
 SEWALL POINT FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL *10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE



MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY
HEMSTREET, KEVIN R
FOLDING SHUTTER CORP
7069 HEMSTREET PL
WPB FL 33413

EXPIRES SEPTEMBER 30, 20 00

AUDIT CONTROL NUMBER	36369	CERTIFICATE NUMBER	SP00839
----------------------------	-------	--------------------	---------

CERTIFIED
CONTRACTOR

ALUMINUM/CONCRETE CONTRACTOR

SIGNATURE _____

VALERIE A. MESSIER

ATTEST: _____
LICENSING ADMINISTRATOR

7847

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765

PLAN REVIEW NOTES

SINGLE FAMILY RESIDENCE; ADDITION; DOCK; POOL; FENCE; STORM SHUTTERS

OWNER: ANTHONY CICORIA; ADDRESS: 126 S. SEWALL'S POINT RD.

PROJECT ADDRESS: (SAME); LEGAL: LOT 8 BLK SUB ARCHIPELAGO

GENERAL CONTRACTOR: FOLDING SHUTTER CORP.; LIC/CERT No.

ADDRESS: 7089 HEASTREET PL, W. PALM BEACH 33413; TEL 683-4811; FAX

ARCHITECT OR ENGINEER: (COMPOSITE SUBMITTAL - VERIFICATION REQUIRED); LIC/REG. No.

ADDRESS: ; TEL ; FAX

1/10/00 Review of the application, supporting documents, plans and specifications submitted on the above project indicate the following items are required for submittal and/or revision:

1. CONFIRM PROJECT ADDRESS; PROPERTY DESCRIPTION (P.O.C.)
NOT PROVIDED; LEGAL? ADDRESS?
THERE IS AN ONGOING PROJECT FOR THIS OWNER: 126 N. SEWALL'S PT. RD.

2. DADA CITY PRODUCT APPROVAL NOTICE NOT PROVIDED,

3. ENGINEERING SUBMITTALS ARE P.B.C.; S.B.C. 110 MPH
S/B MIAMI/DADE CITY ED. S.F.B.C.
140 MPH EXP D.

4. VERIFY CONTRACT AMOUNT.

Prepared By: [Signature] Title: BLDG OFFICIAL Date: 12/3/99

CLERK OF CIRCUIT COURT
MARTIN CO. FL

RECORDED & VERIFIED
BY
D.C.

01389383

99 SEP -3 PM 4:47

NOTICE OF RECOMMENCEMENT

STATE OF FLORIDA
COUNTY OF PALM BEACH

The undersigned hereby informs all concerned that improvements will be made to certain real property in accordance with Florida Statutes §713.07(4) and §713.13. The following information is stated in this Notice of Re commencement.

1. Description of Property: **SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT "A" AND MADE A PART HERETO**
2. General Description of Improvements: **Single Family Residence**
hurricane shutters
3. Owner Information:
 - (a) Name and address: **Mary D. Cicoria & Anthony Cicoria**
 - (b) Interest in property: **Fee Simple**
 - (c) Name and address of fee simple titleholder (if other than owner): **N/A**
4. Contractor: **Carriage House Custom Homes, Inc.**
5. Surety (if any):
 - (a) Name and address: **N/A**
 - (b) Amount of bond: \$ **N/A**
6. Lender (if any): **Independent Community Bank**
7. Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Florida Statutes 713.13(1)(a)(7):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Florida Statutes §713.13(1)(b):
 - (a) **Carriage House Custom Homes, Inc.**
901 Mainsail Circle, Jupiter, FL 33477
 - (b) **Independent Community Bank**
307 Tequesta Drive, Tequesta, FL 33469
 - (c) **Oughterson, Sundheim & Woods, P.A.**
310 S.W. Ocean Blvd., Stuart, FL 34994

Dated this 3rd day of September, 1999.

Mary D. Cicoria
 Owner - Mary D. Cicoria

Anthony Cicoria
 Owner - Anthony Cicoria

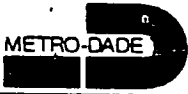
The foregoing instrument was acknowledged before me this 3rd day of September, 1999, by Mary D. Cicoria and ANTHONY Cicoria.

OFFICIAL NOTARY SEAL
 JOHN M MARTYN
 NOTARY PUBLIC STATE OF FLORIDA
 COMMISSION NO. CC677613
 MY COMMISSION EXP. SEPT 29 2001

[Signature]
 Signature of Notary Public
 State of Florida

Print, type or stamp commissioned
Name of Notary Public

Personally known _____ or produced identification: _____
Type of identification produced _____



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Madden Manufacturing
1889 N.W. 22nd Street
Pompano Beach FL 33069

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

.063" Aluminum Alloy Storm Panel

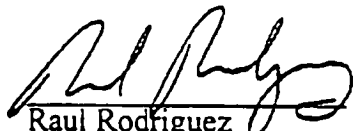
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: *applicant along with Madden Manufacturing Co. drawing # 96-88 sheets 1 through 7 revised on 03/04/97 and signed by V. J. Knezevich P.E. For listing of all evidence see section 8 of this Notice of Acceptance.*

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 96-0520.03

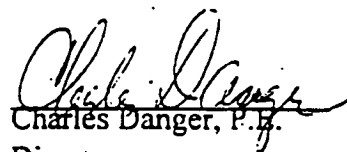
Expires: 05/08/00


Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.


Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 05/08/97



FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

CICORIA

WORK ORDER NO.

060399066 No 701

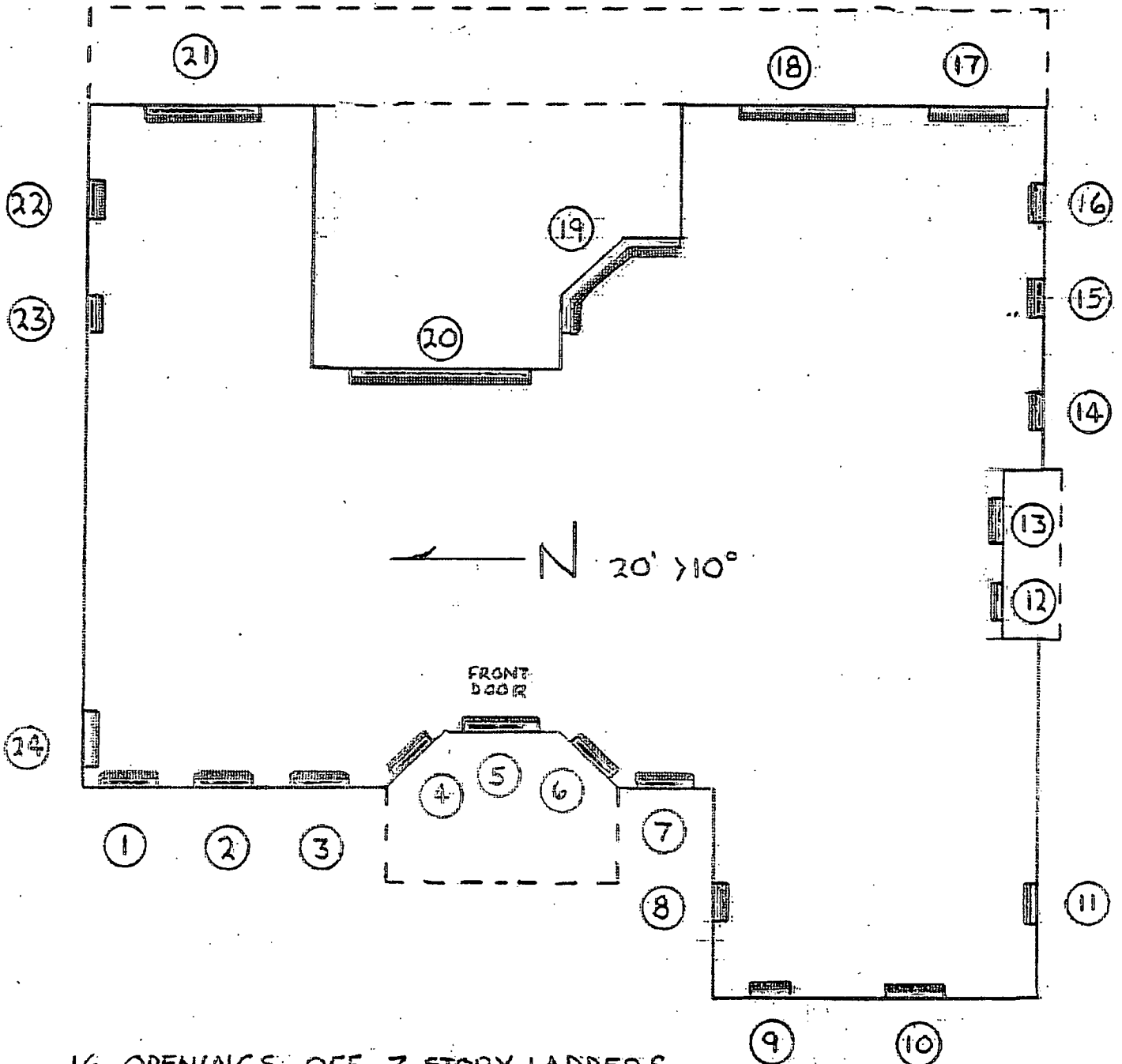
SHEET OF

BY: J.A.D.

DATE: 11.10.99

LAYOUT

24 OPENINGS OF STORM PANELS



16 OPENINGS OFF 3 STORY LADDERS

RECEIVED
JAN 07 2000
BY: *E. Vio/00*

PN4789

01/13/00 TOWN OF SEBASTIAN'S POINT
REVIEW: *[Signature]* B.O.
TOWN COPY
126 N. SEBASTIAN'S POINT RD.

FOLDING SHUTTER CORP. ENGINEERING LAYOUT SHEET

CUSTOMER NAME

CICORIA

WORK ORDER NO:

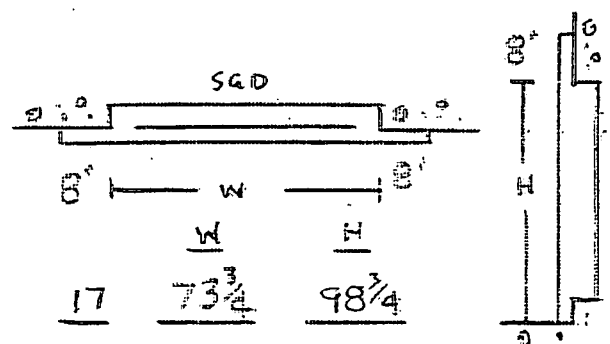
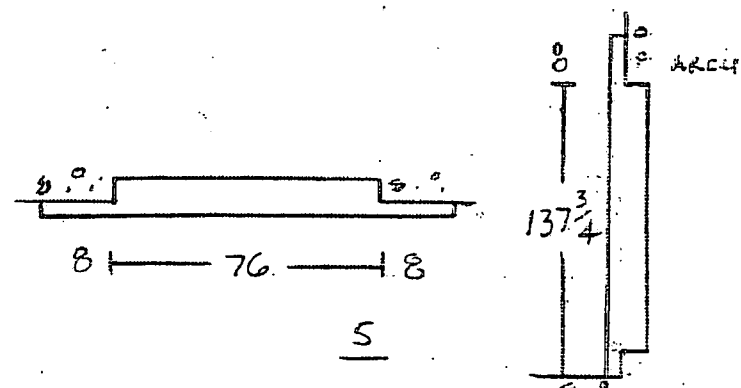
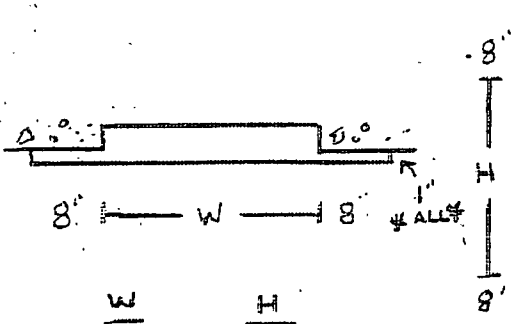
060399066 N0701

SHEET

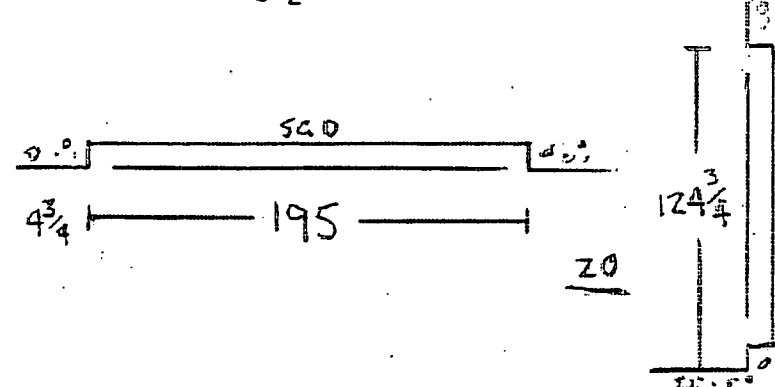
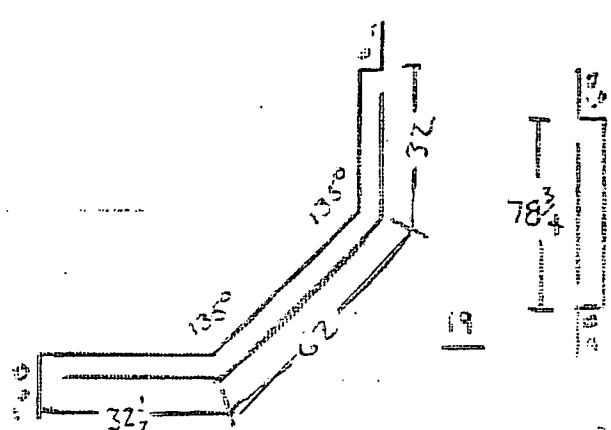
OF

BY: J.A.D.

DATE: 11.10.99



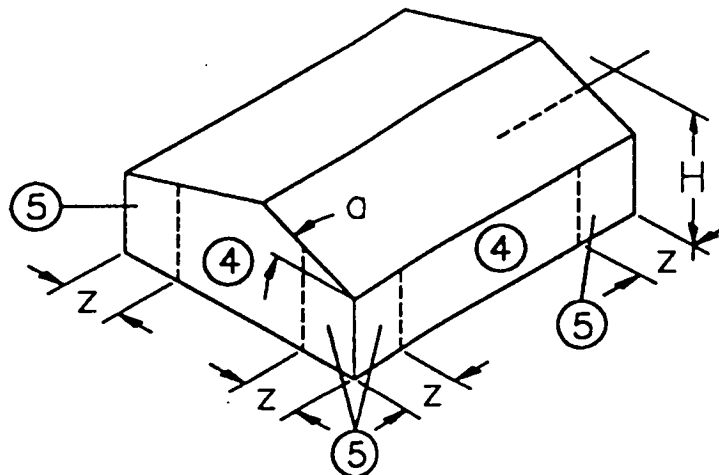
	W	H
17	73 3/4	98 3/4
18	147	99
21	146 3/4	99 1/4



	W	H	
1	53	74 1/4	
2	45	55	
3	53	98	ARCH
4	53 1/4	98	ARCH
6	53	98	ARCH
7	53	98	ARCH
8	26 1/4	50 1/2	
9	45	55	
10	53	74	
11	53	74	
12	26 1/2	50 1/2	
13	53	74	
14	26	50 1/2	
15	26 1/2	74	
16	26 1/2	74	
22	26 1/2	74	
23	26 1/2	74	
24	53	74	

TABLE 7.02 (WALLS)						
WIND LOAD TABLES FOR COMPONENTS & CLADDING						
PER ASCE 7-95						
WIND SPEED (MPH) 140						
TRIBUTARY AREA (SF) 20						
(GC _{pi} FACTOR INCLUDED)						
MEAN ROOF HEIGHT LESS THAN 90 FT.						
DESIGN LOADS (PSF) EXPOSURE C						
MEAN ROOF HEIGHT	ROOF SLOPE > 10 DEG.			ROOF SLOPE = < 10 DEG.		
	ZONE 4 & 5	ZONE 4	ZONE 5	ZONE 4 & 5	ZONE 4	ZONE 5
(H)	(+)	(-)	(-)	(+)	(-)	(-)
15	48.1	52.3	62.9	44.0	47.9	57.3
20	50.9	55.4	66.5	46.6	50.7	60.7
25	53.1	60.3	69.5	48.7	52.9	63.4
30	55.4	60.3	72.5	50.8	55.2	66.1
35	57.1	62.2	74.7	52.3	56.9	68.1
40	58.8	64.0	76.9	53.9	58.6	70.2
45	60.5	65.9	79.1	55.4	60.2	72.2
50	61.6	67.1	80.6	56.5	61.4	73.5
55	62.8	68.3	82.1	57.5	62.5	74.9
60	63.9	69.6	83.6	58.5	63.6	76.2
65	65.0	70.8	85.0	59.6	64.8	77.6
70	66.2	72.0	86.5	60.6	65.9	78.9
75	67.3	73.3	88.0	61.5	67.0	80.3
80	68.4	74.5	89.5	62.7	68.1	81.6
85	69.5	75.7	91.0	63.7	69.3	83.0
89	70.0	76.2	91.5	64.1	69.7	83.5

IMPORTANCE FACTOR: 1.00
LOAD TABLE BASED ON ASCE 7-95

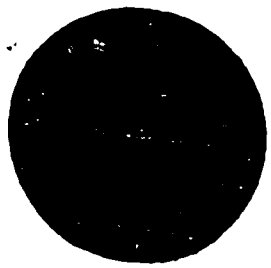


NOTES:

1. PLUS & MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM SURFACES RESPECTFULLY
2. Z = 10% OF MINIMUM WIDTH OR 0.4H, WHICHEVER IS SMALLER, BUT NOT LESS THAN 4% OF MINIMUM WIDTH OR 3ft.
3. LOADS, POSITIVE AND NEGATIVE, ARE TAKEN AT MEAN ROOF HEIGHT (H) AND APPLY TO ALL FLOORS.
4. LOADS BETWEEN ELEVATIONS SHOWN IN TABLE MAY BE INTERPOLATED.
5. AT MEAN ROOF HEIGHT (H), 60 ft < H < 90 ft, PRESSURES HAVE BEEN DETERMINED USING THE SAME METHOD AS FOR 60 ft & LESS PER ASCE 7-95, TABLE 6.1. THESE PRESSURES ARE ONLY APPLICABLE IF THE HEIGHT TO WIDTH RATIO IS 1 OR LESS, THE BUILDING IS NOT LOCATED WITHIN THE COASTAL ZONE AREA & EXPOSURE "C" IS APPLICABLE FOR ALL TERRAIN.
6. TABLE VALUES DO NOT CONSIDER EFFECTS FROM TOPOGRAPHIC CONDITIONS.
7. FACTOR K_{zt} FOR TOPOGRAPHIC CONDITIONS IS TAKEN AS 1.0 (FLAT GRADE) FOR THESE TABLES. IF TOPOGRAPHIC CONDITIONS ARE NOT FLAT, THE VALUES IN THIS TABLE MUST BE MULTIPLIED BY THE PROPER K_{zt} FACTOR. IN ACCORDANCE WITH ASCE 7-95, SECTION 6.5.5.

W. W. SCHAEFER ENGINEERING & CONSULTING, P.A.
600 SANDTREE DRIVE; SUITE 203-B
PALM BEACH GARDENS, FL 33403
(561)775-4902

JAN 04 2000



~~1999-1999~~ 2000

Town of Sewall's Point Building Department - Inspection Log

Fri, 1-7-00

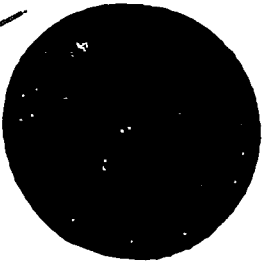
PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4740	Griffis 140 S.S.P.Rd.	tintag, meta	CANCEL (BY CONTR.) VIA FAX	PM
X	Ciccone 126 N. S.P. Rd.	shutter insp.	CANCEL (9)	- NO PERMIT - SUBMITTALS INCOMPLETE
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

INSPECTOR: 

DATE: 01/07/00



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

~~Mon. 1-19-00~~

~~Wed. 1-19-00~~

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4717	Zorro 124 N.S.P. Rd.	check utilities	PASSED	- TAP PROP. - VERIFY VERIF - DUMPSTER; TAP FOR C
4766	McCarthy 4 N. Ridgeview	roof final	PASSED	
4189	Cicena 126 N.S.P. Rd.	shutter FINAL	FAIL (REPAIR)	REPAIR NO PERMIT NEEDED NO SITE
4589	DeGioia 130 N.S.P. Rd.	basement mechanical engineering	PASSED (GRD. FL.) FRAMING-AG	RECD. TRUSS REPAIR FRAMING
4590	Gibbert 2 E. Hi. Pt.	driveway (PTL - N 1/2)	PASSED (COMPLETE) FORM	Truss ✓ 1/18/00 (SPEC. INSP.)
4773	Dembinski 1 Knowles Rd.	final screen anc.	FAIL	GRND SCREW MISSING CONNECTOR SCREW MIS GUEST PANEL BTM,
4770	Francis 5 S. River Rd.	demo.	CANCEL (by call)	Tree removed/removed removed from the site - will pic 1/20 (1998 HA)

OTHER: 1. METER RELEASE INSP - TOWN PROPERTY; CULDESAC PARKED W. END OF RIDGE PLANT
 OK CALL PPL CALL 1/19/00 (ADVANCE REPT.; RICH DE GROSSA 334-7564
 ✓ 2. CODE ENFORCEMENT - SIDE INSP. - LOU LARSEN II LANTANA (283-SIST W/221-81
 2:00 PM POLES SUPPORTING STRUCTURE SET ON RAIL STAIRS TO PROVED "FIG" - COMPLETE CONN DECK & THATCH
 WORK COMPLETE (EXCEPT 2' OF DECK PLANKING) WHEN INSPECTED, NO VIOLATIONS/NO PERMIT/NO SETBACK

INSPECTOR: _____

DATE: 1/19/00

2000 ~~REVISION~~

Town of Sewall's Point
Building Department - Inspection Log

page 2
OR 2

Fri 1-21-2000

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4748	Dunn 7 N. Via Lucindia	MONO-slab Soil Poisoning	Passed	AM
WG-AM			WG	Hutts
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Sealey 27 Loftingway	Footers HANDBALL + GARAGE	Passed	
EBA/WG			WG +ED	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4514	Cicotta 126 N.S.P. Rd.	shutters	PASSED	Frank will call in AM to arrange a time 11:00 AM.
EBA-PM				
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4620	Laraway 15 Middle Rd.	final shutters	PASSED	1:50 (conf. w/owner) - RETURNED PERFORMANCE w/COVER LETTER
EBA-PM				
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER:

INSPECTOR:

[Signature]

DATE:

1/21/00

4821

ENTRY

WALL/GATE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 02/07/00 BUILDING PERMIT NO. 4821
 Building to be erected for MARY/ANTHONY CICORIA Type of Permit BLK. WALL (O/B)
 Applied for by (SAME) O/B (Contractor) Building Fee \$ 72.00
 Subdivision INDIAN RIVER HAMMOCK Lot 3 Block _____ Radon Fee _____
 Address 126 N. SEWALL'S POINT RD Impact Fee _____
 Type of structure S.P.R. A/C Fee _____
 Parcel Control Number: _____ Electrical Fee _____
 _____ Plumbing Fee _____

Amount Paid \$ 79.20 Check # 509 Cash _____ Other Fees (PLUM REVIEW) 7.20
 Total Construction Cost \$ 2,000.00 TOTAL Fees \$ 79.20

Signed Anthony Cicoria by A. Cicoria Signed [Signature]
 Applicant Town Building Inspector OFFICIAL

FENCE PERMIT

**BLK.
ENTRY
WALL**

INSPECTIONS			
SETBACKS	DATE _____	HEIGHT	DATE _____
FOOTINGS	DATE _____	FINAL	DATE <u>12/26/01</u>

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

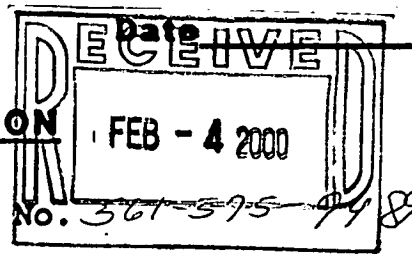
- New Construction Remodel Addition Demolition

**This permit must be visible from the street, accessible to the inspector.
 FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
 NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
 DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

Bldg. Pmt# _____

Town of Sewall's Point

BUILDING PERMIT APPLICATION



Owner's Name: MARY & ANTHONY CICORIA Phone No. 361-595-9988
 Owner's Present Address: _____
 Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: 126 N. SEWALLS POINT RD - STUART, FL. 34996
 TYPE OF WORK TO BE DONE: INSTALL PylONS, WALL AND GATE

CONTRACTOR INFORMATION
 Contractor/Company Name: OWNER CONTRACTOR Phone No. _____
 COMPLETE MAILING ADDRESS 126 N. SEWALLS PT. RD. STUART, FL. 34996

State Registration _____ State License _____
 Legal Description of Property LOT 3 INDIAN RIVER HAMMOCKS

Parcel Number _____
SEC 35-T 375-R41E, BPG 285.451 SLY OF INTER OF N/4LN GOVT LT 1 + E R/LW SEWALLS PTRD, E428' TO WATER, SLY ALG WATER 135' M/L, W 425' TO R/W + NLY ALG R/W TO P/B

ARCHITECT/ENGINEER INFORMATION
 Architect JOHN AHERN & ASSOCIATES Phone No. 561-220-8907
 Address 2233 S. KANNER Highway STUART FL. 34994

Engineer John AHERN & ASSOCIATES Phone No. 561-220-8907
 Address 2233 S. KANNER Highway STUART FL. 34994

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
 Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____

Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 NEW electrical SERVICE SIZE _____ AMPS SEE ORIGINAL PLANS ALREADY SUBMITTED

FLOOD HAZARD INFORMATION
 flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement \$2000.00
 Fair Market Value (FMV) prior to improvement 410,000.00
 Substantial Improvement 50% of FMV yes _____ No X
 Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
 Mechanical N/A State License# _____
 Plumbing N/A State License# _____
 Roofing N/A State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature] Sworn to and subscribed before me this 4 day of FEB who is personally known to me or has produced FD-1 and who did (did not) take an oath. [Signature]

CONTRACTOR SIGNATURE _____ Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____



EDWIN B. ARNOLD, AIA, CBO
Building Official

TOWN OF SEWALL'S POINT

Town Hall
One South Sewall's Point Road
Sewall's Point, Florida 34996

Phone (561) 287-2455
Fax (561) 220-4765

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

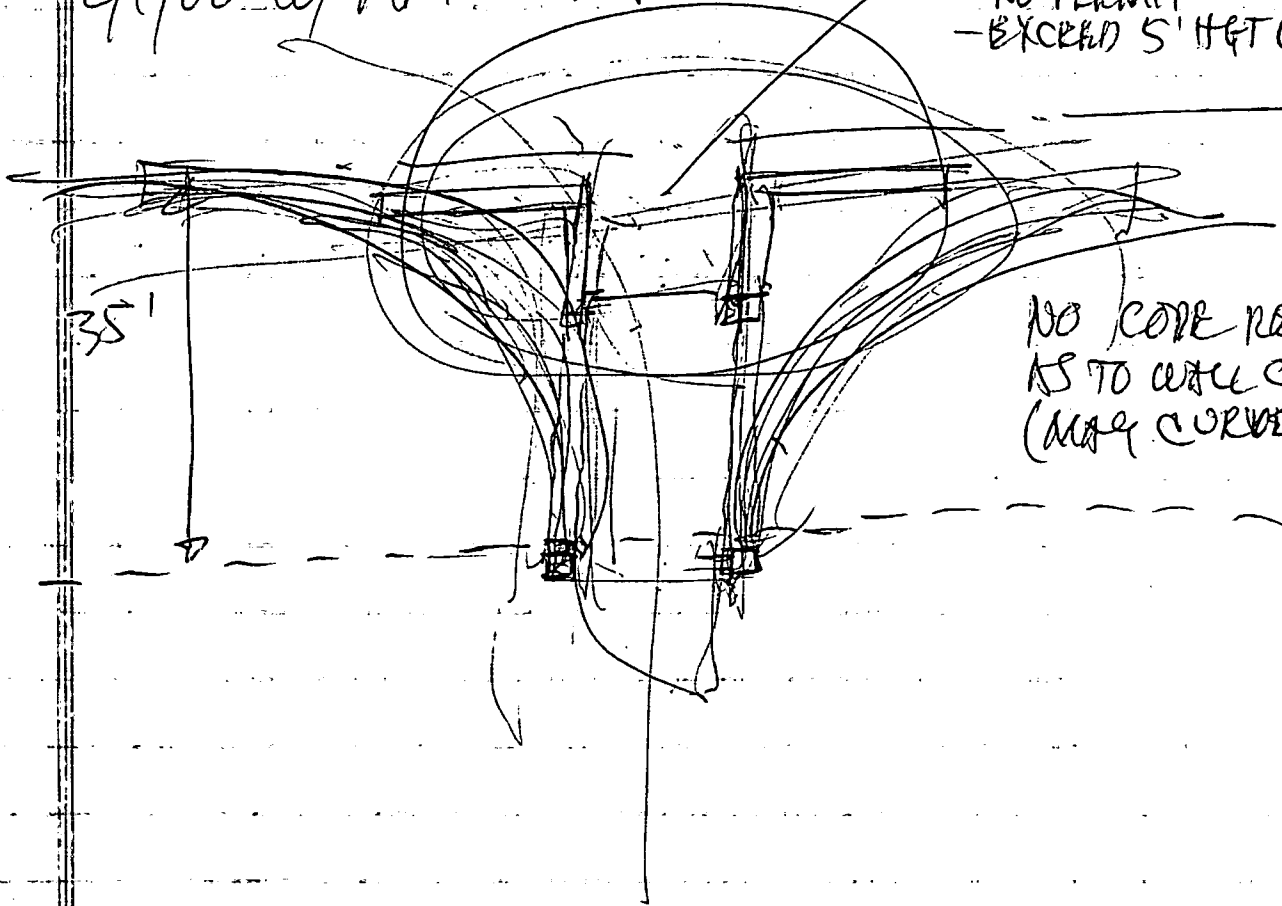
I have read the above and agree to comply with the provisions as stated.

Name Anthony Cicoria Date 2-7-2000
 Signed Anthony Cicoria by A. Cicoria
 Address 126 N. Sewalls Pt Rd
 City & State Stuart, Fl. 34996
 Permit No. 4821

This form is for all permits except electrical.
Revised October 25, 1995

2/1/00 w/ MR. CICORELLA

- EXISTG. WALL/GATE
- NO PERMIT
- EXCEED 5' HGT LIMIT



NO CODE RESTRICTIONS
AS TO WALL CONFIG.
(MAY CURVE)

MAX. WALL HGT. TO FRONT (35') SETBACK = 5'-0"
REMAINDER = 7'-0"
(NOTE: ADD'L HGT. RESTRICTIONS
ON WATER)

COPY OF ZONING ORDINANCE ATTACHED

APPENDIX B-ZONING

§ VI

measured from the surface of the highest habitable floor that is at or below the maximum elevation for the lowest habitable floor that is permitted under subsection 2.b above, to the highest point on the roof.

- (2) Other lots. On other lots the building height shall be measured from the surface of the lowest habitable floor to the highest point on the roof.

- b. Within V-Zones. For buildings on lots where any portion of the building is in a V-Zone, the building height shall not exceed forty (40) feet (N.G.V.D.) measured at the highest point on the roof.

4. Survey. Before the appropriate town official may issue a development permit, a development permit applicant must provide the building department with a boundary and topographic survey signed and sealed by an appropriately licensed professional demonstrating that the proposed new construction or substantial improvement meets the requirements of this section.
5. Applicability. This section shall apply to all new construction and substantial improvement where the development permit application is filed after the effective date of this ordinance. (Ord. No. 215, 3-11-92)

Wall Limitations:

1. No garden or court wall, when attached to a building, shall be erected to a height in excess of seven (7) feet.
2. All walls, fences, hedges or other enclosures, outside of building lines, shall not be over five (5) feet in height from the front line of property back to the front building line, and not more than seven (7) feet in height elsewhere, measured on both sides of the wall, fence, hedge or other enclosure from the finished grade of the lot, except that where the front or rear property line borders on a bay or canal, wall, fence or hedge heights shall be maintained at not in excess of three (3) feet above the finished grade of the lot or bulkhead, back to

the nearest building line and no wall, fence or hedge along the property line or bulkhead on the water shall exceed three (3) feet in height. (Ord. No. 111, § 4, 9-13-78; Ord. No. 140, 8-10-83)

3. Notwithstanding the foregoing, hedges located along a side lot line behind the front building line or along a rear lot line may exceed the seven (7) foot height limitation imposed in paragraph 2 above, so long as the owners of property adjacent to such lot line do not file an objection with the Building Inspector of the Town.
 4. On a corner lot, no fence, wall, or other structure (except utility poles) shall be permitted within forty (40) feet of the intersection of the adjacent right-of-way lines of the two (2) streets, unless such fence, wall, or other structure does not exceed three (3) feet in height and is set back no less than ten (10) feet from the edge of the paved surface of the street or streets. (Ord. No. 140 8-10-83; Ord. No. 232, 10-12-94)
- D. Required Lot Area: Lot areas shall not be less than fifteen thousand (15,000) square feet for any lot existing on [the date of this ordinance], and not less than eighteen thousand (18,000) square feet for any lot created thereafter. The area of any private road, right-of-way or easement to be used for access to or egress from another lot or a street shall be excluded in the determination of required lot area. For the purposes of this provision, lots within a subdivision shall be deemed to be created on the date that an unperfected preliminary plan approval was granted by the town for such subdivision. (Ord. No. 145, 2-8-84)

RECEIVED

FEB 16 2000

BY:

Wed. 2-16-00

2000 ~~1998-1999~~
Town of Sewall's Point
Building Department - Inspection Log

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4527	Seeley	partial tie beam	Passed	Partial Beams + Col (S)
②	27 Lofting way	3" sonna tubes	B.G.	8- soor tubes
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4824	Dwyer	shutter	Passed	Decorative only -
⑥	32 No. River Rd. (INDIA WOOD)	final	B.G.	"SEE PERMIT"
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4818	Doss	electric	Passed	Need Firestops AT
⑧	85 S. River	for kitchen	B.G.	Cooling HT. CALL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4759	Dayton	SERVICE CHANGES		FOR INSPECTION
⑤	14 Palm Court (Knowles)	sheathing		Rob called wants inspection after 1PM. wait talk to Ed.
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4802	Carrell	sheathing	PASSED (PH)	Rettal wood not OK
⑨	12 So. Ridgeview	(PACIFIC PFG.)	NVZ IUSP.	Repair. C. yet. ✓ 2:3
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4661	Cicoria	Footers for well	Pass	rework & dry in
⑩	126 N. S.P. Rd. (C/B)	Footers for well	B.G.	EXIST'G ENTRY GATE COLUMNS TO BE DEMOLISHED - VERIFY
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4702	Perry	sheathing	Passed	* 2 - Columns still up.
⑦	18 N. Ridgeview	partial	B.G.	Need Revised plan for Bottom Plate

OTHER: * Mrs. Cicoria said Columns may be cut to 4' high. Advised owner to CALL MR. Arnold.

INSPECTOR: _____

DATE: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/23/00, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4839	Schwartz	after the fact	Partial	Visual Inspection
①	109 S. Sewall's Pt Bill 285-1054 Rd	Rough end Elec + PIB	BG.	Elect + PIB Rough. Almost Complete
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
482	Corona	Wall	Passed	10:00 AM if possible
⑥	126 N. S. Pt. Rd	Column Steel	BG.	2-Columns by Rd. Steel up
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
^{DIR} 4511	47A Sinton	30 day Temp	Consultation	afternoon if possible
4741	33 N River Rd (enter INDIA W/CE)	elect.*	BG.	Visual Inspect. House Almost Complete. Left Form with owner.
⑧		*		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4794	Birdsall	final Siding	Passed	
④	2 NE Palm Ct.		BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4805*	FOGUA	UNDER-ELECT.	Passed	*MASTER P.N. 4803
4806*	101 HENRY SEWALLWAY	ROUGH PLUMBING	BG.	
⑦				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4838	Gigante	sheathing	Passed	
③	14 N. Lucindia		BG.	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4759	Dayton	trimming	Passed	
⑤	14 Palm Court		BG.	

OTHER: 16 S. SEWALL'S POINT RD (FADEN): A/C PLATFORM RELOCATION COMPLIANCE? (G)

COMPL. TO CALL 110

INSPECTOR (Name/Signature): _____

6389

SLAB

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 8/25/03

BUILDING PERMIT NO. 6389

Building to be erected for CICORIA

Type of Permit CONCRETE SLAB

Applied for by LYNN'S CONCRETE

(Contractor) Building Fee 35.00
x2 = work w/ permits

Subdivision INDIAN RIVER HAMMOCKS 3 Block _____

Radon Fee 70.00
x2 =

Address 126 N. SEWALL'S POINT RD

Impact Fee _____

Type of structure CONCRETE SLAB

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

3537410000000001300000

Roofing Fee _____

Amount Paid 35.00 Check # _____ Cash

Other Fees (_____) _____

Total Construction Cost \$ 2100.00

TOTAL Fees 70.00

Signed Van Lynn Jr
Applicant

Signed Gene Summers (E.O.)
Town Building Official

PERMIT

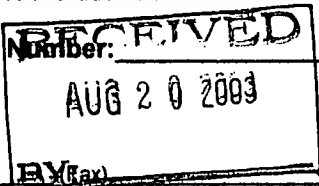
- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>CONCRETE DECK</u> |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number:



OWNER/TITLEHOLDER NAME: Mary Cicoua Phone (Day) _____

Job Site Address: #126 Sewell Point RD. City: STUART State: FL Zip: _____

Legal Description of Property: _____ Parcel Number: _____

Owner Address (if different): 126 Sewell Point RD. City: _____ State: _____ Zip: _____

Description of Work To Be Done: 4th CONC. POOLING UNDER HOUSE FOR WETNESS...

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: LYNN'S CONCRETE Phone: 286-2086 Cell 349-2036

Street: P.O. Box 86 City: PORT SACRADO State: FL Zip: 34912

State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP00456

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 2100⁰⁰ (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 3,000 sq Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) Van Lynn Sr

State of Florida, County of: MARTIN

This the _____ day of _____, 200

by _____ who is personally

known to me or produced _____

as identification. _____

Notary Public

My Commission Expires: _____

Seal

CONTRACTOR SIGNATURE (required) Van Lynn Sr

On State of Florida, County of: MARTIN

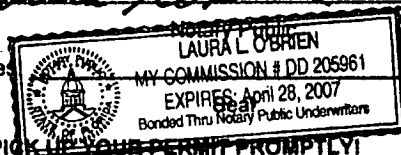
This the 25th day of August, 200 3

by VAN CURTIS LYNN who is personally

known to me or produced FLDL LSON-863-65-057-0

As identification. James Roben

My Commission Expires: _____



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)

08/22/2003

PRODUCER (961)546-5600 FAX (561)546-1008
 Campbell-Wilson Ins. Agency
 8882 SE Bridge Road
 Hobe Sound, FL 33455

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED Charles T. Lynn, Sr. dba
 Lynn Masonry
 P.O. Box 674
 Port Salerno, FL 34992-0674
 #255 38 4471 SP#00173

INSURER A: Owners Insurance Company
 INSURER B: Auto Owners Insurance Company
 INSURER C:
 INSURER D:
 INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	9623312 20530769 03	03/10/2003	03/10/2004	EACH OCCURRENCE \$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10,000
	<input checked="" type="checkbox"/> Liability plus				PERSONAL & ADV INJURY \$ 300,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE \$ 300,000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG \$ 300,000
B	AUTOMOBILE LIABILITY	96 348 946 00	03/10/2003	03/10/2004	COMBINED SINGLE LIMIT (Ea accident) \$ 100,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS				
<input type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY	NONE			AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC \$
					AGG \$
	EXCESS LIABILITY	NONE			EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	NONE			WC STATU-TORY LIMITS \$
					OTHER \$
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

State of Florida - Masonry contractor

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER

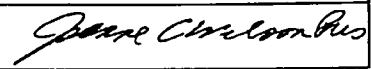
CANCELLATION

Town of Sewall's Point
 1 S. Sewalls Point Road
 Stuart, FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Joanne Wilson/JO



PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY
CERTIFICATE OF EXEMPTION FROM FLORIDA
WORKERS' COMPENSATION LAW

EFFECTIVE: 06/09/2003
EXPIRATION: 06/07/2005
PERSON: LYNN CHARLES
SSN: 255-38-4471
FEIN: 255384471
BUSINESS: CHARLES LYNN SR
P O BOX 674
PORT SALERNO FL 34992

F
O
L
D
H
E
R
E

NOTE: Pursuant to chapter 440.10(1),(g),2, F.S.,
a sole proprietor, partner, or officer of an corporation
who elects exemption from the Florida Workers' Compensation
Law may not recover benefits or compensation under Chapter 440.

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

The Sunshine State
LICENSE NUMBER
L500-863-65-057-0

DRIVER LICENSE CLASS D

Florida

Van Curtis Lynn

VAN CURTIS LYNN
PO BOX 66
PORT SALERNO, FL 34982-0066

BIRTH DATE	SEX	HGT.	REST.	ENDORSE.
02-17-66	M	6-10		
ISSUED		EXPIRES		DUPLICATE
03-21-03		02-17-07		00-00-00

7700303210133
Operation of a motor vehicle constitutes consent to any sobriety test required by law.



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SP00456
Expires September 30, 2003

LYNN, VAN C

LYNN'S CONCRETE

BOX 86







PT SALERNO, FL 34992

CONCRETE FORMING & FINISHING

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/27, 2003 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6389	GIORGIA	PRE-POUR	Passed	
(2)	126 N. SEWALLS Pt LYNN'S CONCRETE	CONCRETE		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	POTSDAM	TREES	Passed	
(7)	50 RIO VISTA DE			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5981	PRAWN BROKER	FINAL	Passed	
(1)	3754 SE OCEAN SUPERIOR	A/C REPLACEMENT (First thing please)		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	GIOTTO	TREE	Passed	
(9)	107 S. SEWALLS Pt			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREES	KIMES	TREE	Passed	
(6)	2 RIVERVIEW			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREES	BARCIK	TREE	Passed	
(8)	24 N VIA LUCINDIA			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
436	FRANCIS	TIE BEAM	Passed	OK
	5 S. RIVER RD WILBERDING	(late as possible)		INSPECTOR:
OTHER:				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/3, 2003 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6386	MAKEL 1 FIELDWAY DR O/B	FINAL POOL HEAT PUMP	Partial	<i>[Signature]</i>
				INSPECTOR:
6327	DFELFFER 104 HENRY SEWALL ADVANTAGE POOL	POOL STEEL + MAINT DRAIN	Partial	<i>[Signature]</i>
				INSPECTOR:
5930	STEVENSON 1 NE LAGOON ISLAND Olive	Plumb, Elec, MECH & FINAL BLDG	Not	accessible
				INSPECTOR: <i>[Signature]</i>
6339	CICORIA 126 S. SEWALLS LYNDS CONCRETE	SLAB FINAL	Passed	close
				INSPECTOR: <i>[Signature]</i>
5914	ABASADA TREE 6 MORGAN CIRCLE HARBOR KAY POOLS	STEP INSPECTION	<i>[Circle]</i>	no activity ??
				INSPECTOR: <i>[Signature]</i>
6335	TWOHEY 119 HILL CREST SEAGATE BUILDERS	BEAM/COLUMN	req 9am Passed	
				INSPECTOR: <i>[Signature]</i>
TREE	DUNN 21 PALMETTO	TREE	Passed	
				INSPECTOR: <i>[Signature]</i>
OTHER: <i>[Signature]</i>				

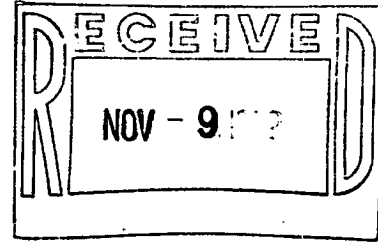
CORRESPONDENCE

#2 NONE

130 NE Dixie Highway, Stuart, FL 34994 / 561-692-4154
Fax 561-692-1061 / e-mail: lmc130@gate.net



Fax



To: Town of Sewall's Point
From: Trina Cooper
Attn: Building Department

Fax: 220-4765
Pages: 1

Phone:
Date: 11/09/99

Re: Tony Cicoria Permit
CC:

- Urgent
- For Review
- Please Comment
- Please Reply
- Please Recycle

● **Comments:**

I have called several times and left messages to check on the status of the permit for the proposed dock construction at Mr. Cicoria residence at 126 N. Sewall's Point Road. I have not received any response as yet. Mr. Cicoria has been into Town Hall at least 6 times himself and had never been able to find out any information. His phone calls have never been returned either. If someone could please just contact me at 692-4154 and let me know what the status is, whether the permit is ready to be picked up or anything.

Sincerely,

Trina Cooper, Office Manager

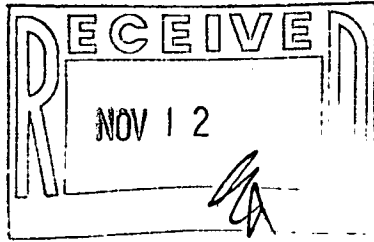
11/12/99 CY: F/Y/I

MR. CICORIA HAS NEVER MET W/ME & I HAVE NO RECOLLECTION OF ANY MESSAGES OR NOTES RE: VISITS OR CALLS FROM HIM.

ALTHOUGH RESPONSES HAVE BEEN SLOWER THAN USUAL RECENTLY, MY POLICY HAS ALWAYS BEEN TO RETURN ALL CALLS.

DAVE BARKER DID CALL 11/10 - AND I HAVE NOT GOTTEN BACK TO HIM. RATHER PERMIT APPL. REVIEWED & WILL ADVISE MONDAY

AM AS TO STATUS (OK BUT NEED ADJ. PROP OWNERS NO OBJECTION LTR)



179 Hampton Place
Jupiter, Florida 33458
November 9, 1999

Mr. Edwin B. Arnold, AIA, CBO
Building Official
Town of Sewall's Point
Town Hall
One South Sewall's Point Road
Sewall's Point, Florida 34996

Dear Mr. Arnold:

RE: Dock Approval for
126 N. Sewall's Point Rd.

I have contracted Tropic Marine Construction, Inc. to build a small dock for me at the above referenced residential property.

As I understand it from Tropic Marine, this has already been approved by the State and the County and they have submitted it to you for your approval. If they have not submitted it to you, would you kindly let me know and I will submit another request.

Thank you for your attention to this matter.

Sincerely,

Mary D. Cicoria

11/12 Permit review complete
11/15 contr. advised of submitted req.
- for issuance 11/16 (RN 4736)

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET & WRIGHT, L.L.P.**

DEBORAH B. BEARD
RICHARD J. DUNGEY*
M. LANNING FOX*
GARY L. SWEET
W. THOMAS WACKEEN**
THOMAS E. WARNER**
TIM B. WRIGHT

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(561) 287-4444
TELEFAX (561) 220-1489

ANTHONY L. CONTICELLO
LOUIS E. LOZEAU, JR.
MICHAEL J. McCLUSKEY
WILLIAM R. PONSOLDT, JR.
***BETH TEARDO PRINZ
SUSANN B. WARD

AARON A. FOOSANER
ROBERT L. SEELEY
OF COUNSEL

JUPITER (561) 744-6499

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

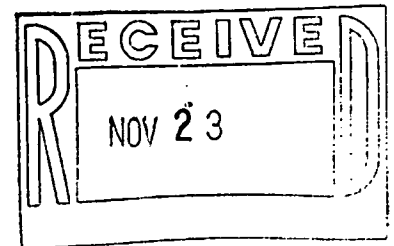
***BOARD CERTIFIED WILLS, TRUSTS
& ESTATES LAWYER

November 23, 1999

Mr. Edwin B. Arnold, Building Official
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, Florida 34996

Via Facsimile No. 220-4765

Re: Town of Sewall's Point; New Ordinances



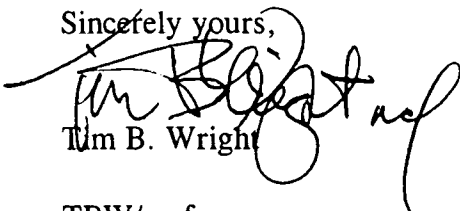
Dear Ed:

This letter is a follow-up to our telephone conversation this week regarding the ordinances the Town Commission directed me to draft at the November, 1999 meeting. The Town Commission has instructed me to draft an ordinance permitting walls, fences and other enclosures up to seven feet (7') high in the set backs behind the front line of the building and up to five feet (5') in front of the front line of the building. The Town Commission also instructed me to draft an ordinance permitting building permits to be extended for up to six (6) months for a payment of ten percent (10%) of the original building permit fee, per month.

It is my opinion you may begin issuing Certificates of Occupancy and extending building permits in accordance with these new proposed ordinances, provided that the Certificate of Occupancy and building permit extension are conditioned on passage of the new ordinances.

Please call me if you need anything further.

Sincerely yours,

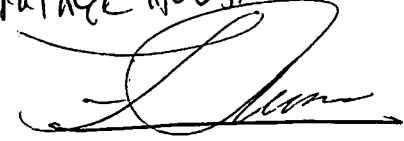

Tim B. Wright

TBW/mcf

cc: Commissioner Cyrus Kissling
Mrs. Joan H. Barrow
Mr. Joseph C. Dorsky

RE: 126 N. SEWALL'S POINT RD
ORIG. PD 4514
REVIEW PD 4756

11/2/99
READ UNDERSTOOD & AGREED
CARRIAGE HOUSE

BY: 

130 NE Dixie Highway, Stuart, FL 34994 / 561-692-4154
 Fax 561-692-1061 / e-mail: tmc130@gate.net

**Tropic Marine
 Construction, Inc.**

Fax

To: Ed Arnold @ Town of Sewall's Point **From:** Trina Cooper

Fax: 220-4765 **Pages:** 2

Phone: **Date:** 12/01/99

Re: Tony Cicoria permit **CC:** 126 N. SEWALL'S POINT ROAD

Urgent For Review Please Comment Please Reply Please Recycle

• **Comments:**

Following is a Letter of No Objection for the proposed dock constructed at Anthony Cicoria's residence. Mr. Cicoria and the real estate agent representing him have tried continuously to get in contact with his other neighbor but have had no success. They are up North and have not returned any phone calls. Is the one Letter of No Objection sufficient in this case? Please advise as we would like to obtain permit and proceed with the dock construction as soon as practicable.

Sincerely,

Trina Cooper

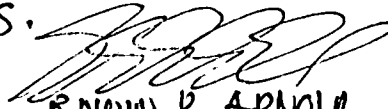
12/4/99

TRINA:

I AM FAXING HEREWITH CODE SECTIONS ON DOCK PERMIT REQUIREMENTS (SEC. 4.5-4). NOTE THAT "NO OBJECTION LETTERS" ARE REQUIRED FROM ALL ADJACENT OWNERS.

APPEAL IS TO TOWN COMMISSION, WHICH MAY FIND FAILURE TO OBTAIN LETTER "EXCUSABLE" 4.5-4(d)(3)

I DO NOT HAVE AUTHORITY TO WAIVE THIS REQUIREMENT & MUST DENY PERMIT APPLICATIONS w/o FULL SUBMITTALS.


 EDWIN B. ARNOLD
 BUILDING OFFICIAL

CC: BUILDING COMMISSIONER
 TOWN ATTORNEY

VIA FAX (561)692-1061
 3 PAGES (INCL. THIS COVER)

the dock. The town building department may request independent information provided by an appropriate professional concerning whether the proposed dock will meet the standards and criteria of this chapter.

(d) *Appeal process.* If a town dock is denied, the decision of the building department may be appealed in writing by the applicant to the town commission. Before acting on the appeal, the town commission shall hold a public hearing to consider the appeal. Notice of the public hearing shall be posted on the town hall bulletin board and shall be sent by certified mail, return receipt requested, by the applicant and at the applicant's expense, to all record owners of upland riparian property located adjacent to the property involved in the appeal, with the date of the mailing being at least fifteen (15) days before the date of the hearing. At or before the public hearing, the applicant shall present proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons. The town commission may overturn the decision of the building department and grant the dock permit only in those instances when:

- (1) The applicant demonstrates that the proposed dock or roof meets the standards and criteria enumerated in this chapter and that the building department was in error; or
- (2) The applicant demonstrates an extreme hardship which justifies a variance from this chapter; or
- (3) The town commission determines that the applicant's failure to obtain letters of no objection from adjacent upland riparian property owners is excusable or that any objection from an adjacent upland riparian property owner is without merit.

(e) *Deviation from application materials.* Any material deviation in construction from the agency dock permits, survey, drawings, plans or other application materials provided to the building department shall be a violation of this chapter.

(Ord. No. 212, 11-13-91)

property, which is located above the mean high-water line adjacent to submerged lands.
(Ord. No. 212, 11-13-91)

Sec. 4.5-3. Riparian rights.

None of the provisions of this chapter shall be implemented in a manner that would unreasonably infringe upon the riparian rights of persons owning upland riparian property within the jurisdictional limits of the town.

Sec. 4.5-4. Permit requirements.

(a) *Permits required.* It shall be unlawful for any person to construct a dock, or a roof over a dock, or to perform any activity within the jurisdictional limits of the town without first obtaining a dock permit from the building department and all agencies having jurisdiction over the activity.

(b) *Application materials.* Before the building department may review an application for a dock permit, the applicant shall:

- (1) Pay a dock permit fee in the amount set forth in the town supplemental permit fee schedule (section 4-18); and
- (2) Submit the following materials to the building department: an application signed by all record owners of the upland riparian property from which the dock is to be extended, a certified copy of a current dock permit issued by each of the agencies having jurisdiction over the dock, letters of no objection from all record owners of upland riparian property located adjacent to the applicant's upland riparian property, survey, construction drawings, plans, and any additional information requested by the building department to evidence that the provisions of this chapter will be met.

(c) *Costs.* Any costs incurred by the town in obtaining application materials not provided by the Applicant (including supplementary opinions mentioned below) shall be paid by the applicant before a dock permit is issued. These costs shall include, but are not limited to, engineering fees, legal fees, environmental consultant fees, or any other fees or costs associated with permitting



ROBERT M. WIENKE
Mayor

MARC S. TEPLITZ
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

THOMAS P. BAUSCH
Commissioner

E. DANIEL MORRIS
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY McCARTY
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

June 16, 2000

FILE

COPY

Mrs. Mary D. Cicoria
126 N. Sewall's Point Road
Sewall's Point, Florida 34996

Re: 124 N. Sewall's Point Road

Dear Mrs. Cicoria:

Upon receipt of your letter of May 11, 2000, forwarded to me by Mayor Weinke, I immediately reviewed all permit documentation and again verified submittal compliance of the proposed construction with all applicable building height and flood zone requirements. This information had previously been provided to your attorney in a telephone inquiry as to code criteria. Actual construction is another matter, and in view of the concerns which you expressed it was appropriate that field verification be obtained as soon as practicable.

In the normal course of inspection and construction verification, compliance with flood zone criteria for minimum elevation of the lowest structural member had previously been confirmed; however, building and overall roof height compliance verification documentation is normally submitted much later in the project. With the general contractor's full cooperation and assistance, he initiated a roof elevation survey as soon as the sheathing was applied to the highest roof, and this survey has confirmed that elevation to be 38.49' NGVD, allowing more than adequate space for application of final roofing materials within the allowable maximum elevation of 40' NGVD.

The issue of code compliance is one which I take very seriously, and your concern is greatly appreciated. Should you require further information or if you have any questions please feel free to contact me at your convenience.

Sincerely,

Edwin B. Arnold, Building Official

cc: Robert M. Weinke, Mayor
Thomas P. Bausch, Building Commissioner
Joseph C. Dorsky, Town Manager



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

CERTIFIED MAIL

126 N. Sewalls Point Road
Stuart, Florida 34996
May 11, 2000

Mr. Robert Wienke, Mayor
Town of Sewalls Point
1 South Sewalls Point Road
Sewalls Point, Florida 34996

Dear Mayor Wienke:

I am very concerned about the house being constructed next to me at 124 N. Sewalls Point Road. I have two major concerns; the first being that the house exceeds your building code height limitation of forty (40) feet. When construction began several months ago, the builder, Mr. Buford, told my son that the house on 124 N. Sewalls Point Road would be ten (10) feet higher than my house, which the final survey shows at 39.85 feet. He said it took four months of meetings with the Building Inspector to get the plans approved.

They have now installed the trusses at 124 N. Sewalls Point Road and it is obvious even to the naked eye that the house will, indeed, exceed the height limitation specified in the code.

Part of the reasons I chose to build here in Sewalls Point is that code compliance was adhered to and that all the new homes being built were in sync with the homes already built. I love the look of this community. It is a beautiful place to live. However, I am concerned that this house being built without code height compliance will open it up and be the beginning of other homes being allowed to exceed the height code. This will drastically change the look of Sewalls Point. It could also result in a decrease in property values. I do not understand why the house being constructed at 124 N. Sewalls Point Road received approval when the Town was adamant about allowing the Mizner house not to exceed height limitations, as well as other homes.

If the plan here is to complete the house at 124 N. Sewalls Point Road, then deny the Certificate of Occupancy, that does not appear to be very fair to the owner or the builder. It would then cost them a lot of money to tear it down to meet code requirements. It seems to me that if the builder spent four months meeting with the Building Inspector to get approval of the plans, then the Inspector should be aware of the height code violation. If not, it is very obvious now, at this point in construction, that it will not meet code requirements. In fact, I am willing to pay for an independent surveyor, such as Stephen Brown, who has surveyed many homes in Sewalls Point and is familiar with the code, to survey this house at 124 N. Sewalls Point Road.

May 11, 2000

page two

I am very upset about this situation. I am next door and should, one, you allow the house to be completed in excess of the code height, what will happen to property values. I have invested a lot in my new home and do not want the value to decrease. Secondly, if you should stop work, and the house is left incomplete, there could be a safety factor as well as damage should we get a hurricane or bad storm with high winds. The Hurricane Center is predicting that this year, the hurricanes will hit the East Coast and will have winds of 110 mph or more.

My second big concern with the construction of the house at 124 N. Sewalls Point Road is the fact that they built up the building area with fill dirt and packed it down before beginning the construction of the footers. This raised the land at least two to three feet. This I saw with my own eyes. In addition, they have put fill dirt in the front and back of part of the house which amounts to five to eight feet high. I would like to know if there is a plan for water containment on this property. As I understand it, Florida State Law requires that when fill dirt is used and it makes the property higher than the properties on both sides of it, the owner/builder is responsible for water containment. The land at 124 N. Sewalls Point Road is definitely higher than my land at 126 N. Sewalls Point Road. The rainy season is nearly upon us and I am very worried that I will have a serious flood problem because of runoff from the higher ground next door.

During the course of construction of my home at 126 N. Sewalls Point Road I, as well as many other homeowners in Sewalls Point, was forced to comply with all Code requirements. I did not object because, after all, the rules are the rules and that is what keeps Sewalls Point the beautiful place that it is. I built here because I wanted to live in this peaceful, beautiful community.

I do not have any ill feelings or animosity towards the owner or the builder next door, nor do I like having to send this letter about the construction of his new home, but I do have these concerns that I have addressed above. I do feel you should be aware of my concerns and that I hold the Town of Sewalls Point responsible for any damage I might incur as result of the home next door not being in compliance with code, since it has been approved by the Building Inspector, who is a representative of the Town of Sewalls Point.

Mr. Robert Weinke, Mayor

May 11, 2000

Page three

I am sure that Mr. Arnold will mention to you the two pylons at my front entrance, which have nothing to do with my concerns addressed in this letter. The pylons which are merely for decorative purposes, are under the five (5) foot code requirement and were approved on the original plans by your Building Inspector. In fact some of the neighbors have complimented me on them. We did move the gate at Mr. Arnolds instructions and at additional expense, in order to be in compliance.

Thank you for your attention to this matter.

Respectfully,

Mary D. Cicoria
Mary D. Cicoria

JON E. CHICKY, SR.
Mayor

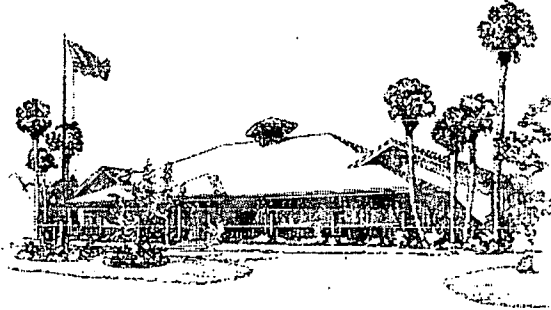
ROBERT M. WIENKE
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

CYRUS KISSLING
Commissioner

DONALD B. WINER
Commissioner

TOWN OF SEAWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY McCARTY
Acting Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

February 1, 2000

Mr. Anthony Cicoria
179 Hampton Pl.
Jupiter, Florida

Re: Single Family Residence
126 N. Sewall's Point Road
PN 4756 (Renewal); PN 4514 (Original)

Dear Mr. Cicoria:

The final inspection has been performed and necessary documents incident to issuance of the Certificate of Occupancy on the referenced project have been received. However, in the course of inspection I noted additional construction, consisting of an entry wall and gate which were not part of the permit documents and have not been inspected; further, this construction does not meet wall/gate height restrictions as established under the Code of Ordinances of the Town of Seawall's Point.

As discussed in our meeting today, you have agreed to immediately remove the gate from its present location; further, the existing entry wall construction will be demolished and removed from the site on or before February 15, 2000.

I understand that it is your intention to submit a permit application for a revised entry wall and gate installation in accordance with building code and zoning requirements; you may rely upon my cooperation in expeditiously processing this application when received.

I have issued the Certificate of Occupancy based upon your agreement with the above



One South Sewall's Point Road, Seawall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

FILE

DUPLICATE
OR COPY
FOR PERMIT FILE 2/1/00

requirements; non-compliance with the terms and conditions which have been established may result in revocation of the Certificate - an event which I do not anticipate occurring based upon your cooperation in resolving this matter, which has been greatly appreciated.

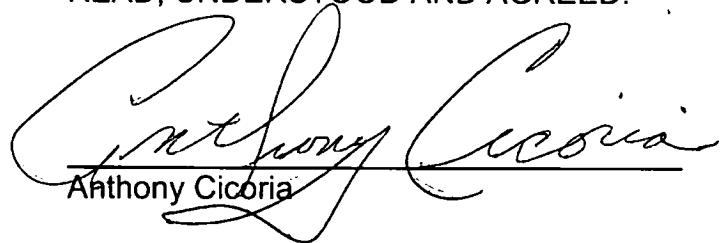
Sincerely,



Edwin B. Arnold, Building Official

enc: Certificate of Occupancy
cc: Town Manager
Town Attorney

READ, UNDERSTOOD AND AGREED:


Anthony Cicoria

ADMIN

VARIANCE

WRIGHT, PONSOLDT & LOZEAU

TRIAL ATTORNEYS, L.L.P.

TIM B. WRIGHT
WILLIAM R. PONSOLDT, JR.*
LOUIS E. LOZEAU, JR.

* Board Certified in Business Litigation

June 10, 2003

Mrs. Joan H. Barrow
Town Clerk
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Cicoria Guesthouse Approval

Dear Mrs. Barrow:

I enclose with this letter a resolution regarding the attached matter. Please have the resolution executed, recorded in the public records, and provide me with a fully-executed copy once it is back from recording.

Sincerely yours,


Tim B. Wright

TBW/mcf

Enclosures

cc: ~~Mr. Gene Simmons~~
Mr. and Mrs. Cicoria

INSTR # 1670999
OR BK 01782 PG 1988
RECORDED 06/27/2003 02:01:37 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C Burkey

RESOLUTION NO. 582

A RESOLUTION OF THE TOWN COMMISSION OF SEWALL'S POINT, FLORIDA, GRANTING THE APPLICATION OF MARY D. CICORIA AND ANTHONY CICORIA, PURSUANT TO SECTION 82-242(2)(b)(5) OF THE TOWN OF SEWALL'S POINT CODE OF ORDINANCES, FOR PERMISSION TO CONSTRUCT A TWO (2) STORY GUESTHOUSE AT 126 NORTH SEWALL'S POINT ROAD, SEWALL'S POINT, FLORIDA, LOT 3, INDIAN RIVER HAMMOCKS, SEWALL'S POINT, FLORIDA.

WHEREAS, Mary D. Cicoria and Anthony Cicoria (the "Applicants") have applied pursuant to Section 82-242(2)(b)(5), of the Town of Sewall's Point Code of Ordinances (the "Guest House Ordinance") for permission to construct a two (2) story accessory structure on the property at 126 North Sewall's Point Road, described on Exhibit "A" of this Resolution (the "Plan"); and

WHEREAS, the proposed location of the two story accessory structure is set forth on the Plan prepared by John M. Ahern of Ahern & Associates, Architects, P.A. dated May 15, 2000 and revised January 7, 2003, with the Town Building Department; and

WHEREAS, the Town Commission considered the request of the Applicants at a public hearing held on January 21, 2003; and

WHEREAS, the Town Commission determined that it was in the interest of the health, safety, and welfare of the Town to conditionally grant the application.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, THAT:

1. The Applicants' request is hereby granted by the Town Commission of the

Town of Sewall's Point, Florida, and the Applicants shall be granted a building permit to construct the two (2) story accessory structure in accordance with the Plan.

2. This request is granted for construction of the two (2) story accessory structure and shall not constitute permission or license either now or in the future to modify the structure or to construct any other structure attached to or part and parcel of the accessory structure.

3. The proposed construction drawings and building permit application shall meet all provisions of the Town of Sewall's Point Code of Ordinances.

4. This Resolution is conditioned on the Applicants obtaining variances for any and all encroachments into the set backs for the property by either administrative variance applications or application to the Town of Sewall's Point Board of Zoning Adjustment.

5. This Resolution is conditioned on the Applicants reimbursing the Town for any and all professional expenses incurred by the Town pursuant to Section 46-31 of the Town of Sewall's Point Code of Ordinances.


The vote was as follows:

	AYE	NAY
THOMAS P. BAUSCH, Mayor	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MARC S. TEPLITZ, Vice Mayor	<input checked="" type="checkbox"/>	<input type="checkbox"/>
RICHARD L. BARON, Commissioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>
JAMES D. BERCAW, Commissioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E. DANIEL MORRIS, Commissioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>


The Mayor thereupon declared this Resolution approved and adopted by the Town

Commission of the Town of Sewall's Point on this 21st day of January, 2003.

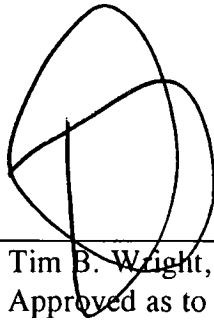
TOWN OF SEWALL'S POINT, FLORIDA

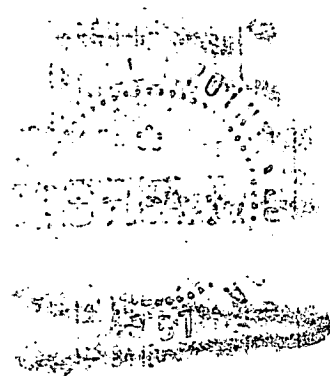

THOMAS P. BAUSCH, Mayor

ATTEST:


Joan H. Barrow, Town Clerk

(TOWN SEAL)


Tim B. Wright, Town Attorney
Approved as to form and
legal sufficiency



TOWN OF SEWALL'S POINT

THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

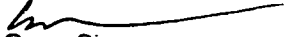
JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

To: Mayor, and Commissioners

Fm: 
Gene Simmons
Building Official

Date: January 8, 2003

Re: Proposed Two-story Accessory Structure/Dwelling (Garage/Living Quarters) Located At 126 N. Sewall's Point Road

Per the Town of Sewall's Point Ordinance 82-242(2).b.5, Mr. & Mrs. Cicoria hereby submit for your approval a proposed two-story accessory structure/dwelling which is to be located at 126 N. Sewall's Point Road.

Under the Town of Sewalls Point Ordinance 82-242 the accessory structure must meet the following criteria when presented for your approval:

1. Lot area must be over 27,000 square feet; this lot is 53,273 square feet.
2. Only one accessory dwelling is allowed per lot.
3. Any proposed two-story structure must be set back from the front property line at least 100 feet, the proposed structure is set back 129 feet four inches.
4. The side setback must be at least 25 feet, this structure is proposed at 26 feet 10 inches.
5. The rear setback must be at least 50 feet; this structure is proposed well over 240 feet.
6. Accessory structures containing garages cannot face the front of the property. The garage doors will be facing the rear property line.

The proposed two-story accessory structure meets all zoning criteria required for your approval. If approval is granted then the proposed structure will have to meet any and all other requirements required for a construction permit.

If any further information is requested please contact me.



Sewall's Point Road, Sewall's Point, Florida 34996

Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org

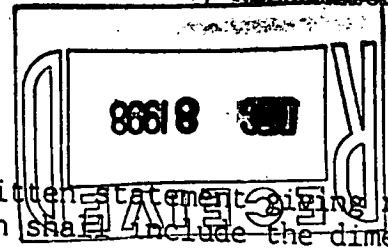
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

TREES

4514-

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT



Permit # 215

Date Issued 12-8-98

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner ANTHONY & MARY COONIA Address 179 HAMPTON PL. JUPITER Phone 561-575-9489

Contractor CARRIAGE HOUSE HOMES Address 901 MAIN AIL Circle JUPITER Phone 561-748-6600

Number of trees to be removed (list kinds of trees) 17 CABBAGE PALMS & PALM

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

50-60 PALM & CABBAGE PALM TREES TO BE PLANTED

Number of trees to be replaced (list kinds of trees):

Permit Fee \$ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted Plans approved as marked

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Duane C. Heiser ^{CARRIAGE HOUSE CUSTOM HOMES} Date submitted 12/31/98

Approved by Building Inspector Date

Approved by Building Commissioner Date

Completed Date Checked by

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH IS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?