

130 North Sewall's Point Road

4589

SFR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/7/99

BUILDING PERMIT NO. 4589

Building to be erected for S. DeFaria Type of Permit BRK - Residence

Applied for by S. Conway (Contractor) Building Fee 4080.00

Subdivision FRONKIN RIVER TRACT Lot 1 Block _____ Radon Fee 43.94

Address 128 N. Sewall's Point Rd. Impact Fee 1508.20

Type of structure SFR A/C Fee 120.00

Electrical Fee 120.00

Plumbing Fee 120.00

Roofing Fee 120.00

Parcel Control Number: 35-37-41-000-000-000100000 Other Fees (Per Ord. 15-94) 408.00

Amount Paid _____ Check # 2227 Cash _____ TOTAL Fees \$6519.14

Total Construction Cost \$ 425,000

Signed [Signature] Applicant

Signed [Signature] Town Building Inspector

5130/00 PERMIT EXTENSION (2 MONTHS); EXPIRATION 6/6/80
2 MONTHS @ \$456.00/MO. = \$912.00
10 5130/00 CE# 3017
MASTER PERMIT NO. _____
TOWN OF SEWALL'S POINT

9 Date 4/17/99 BUILDING PERMIT NO. 4589

10 Building to be erected for S. D'Elia Type of Permit Residence

11 Applied for by S. Conway (Contractor) Building Fee 4088.00

12 Subdivision SEWALL RIVER HARBOR Block _____ Radon Fee 43.94

13 Address 1200 N. Sewall's Point Rd. Impact Fee 1508.80

14 Type of structure SFR A/C Fee 120.00

15 Parcel Control Number: _____ Electrical Fee 120.00

16 Amount Paid _____ Plumbing Fee 120.00

17 Check # 2227 Cash _____ Roofing Fee 120.00

18 Other Fees (Per Review) 408.60

19 Total Construction Cost \$ 435,000 TOTAL Fees \$6519.14

Signed [Signature] Applicant
Signed [Signature] Town Building Inspector

Bldg. Pmt# 4589

Date APRIL 5, 1999

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner's Name: S. DEGIOIA 288-1417 Phone No. _____
Owner's Present Address: 9 RIVERVIEW DR SEWALLS POINT, FL 34996
Fee Simple Titleholder's Name & Address if other than owner _____

Location of Job Site: NORTH SEWALLS POINT RD - INDIAN RIVER
TYPE OF WORK TO BE DONE: NEW RESIDENCE

CONTRACTOR INFORMATION
Contractor/Company Name: STEPHEN P. CONWAY Phone No. 220-0064
COMPLETE MAILING ADDRESS: 5471 SE REEFWAY, STUART FL 34997
State Registration _____ State License CRC 053742
Legal Description of Property LOT 1 INDIAN RIVER HAMMOCK
Parcel Number 35-37-41-000-000-00011

ARCHITECT/ENGINEER INFORMATION
Architect STEVE LICAUSSI DESIGN GROUP Phone No. 785-6465
Address 265 SW PSL BLVD PSL FL 34984
Engineer S. J AMICO CE, PE Phone No. 283-1822
Address 1163 E 14TH ST. STUART, FL 34996
Area Square Footage: Living Area 4294 Garage Area 2074 Carport _____
Accessory Bldg. _____ Covered Patio 90 Scr. Porch _____ Wood Deck 1031
Type Sewage: _____ Septic Tank Permit # from Health Dept. 43-SS-648
NEW electrical SERVICE SIZE 375 AMPS

FLOOD HAZARD INFORMATION
flood zone V minimum Base Flood Elevation (BFE) 8 NGVD
proposed finish floor elevation 13.50 NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement 425,000
Fair Market Value (FMV) prior to improvement 210,000
Substantial Improvement 50% of FMV yes No _____
Method of determining FMV PURCHASE PRICE

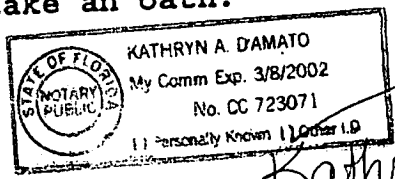
SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)
Electrical COOK ELECTRIC State License ER 0008060
Mechanical NISAIR State License# CACO 41199
Plumbing BY BISHOP State License# CFC 027632
Roofing PACIFIC State License# CCC 056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE [Signature]
Sworn to and subscribed before me this 1st day of April, 1998 by Saverio Degioia who is personally known to me or has produced or has produced Pl. Drivers License and who did (did not) take an oath.
CONTRACTOR SIGNATURE _____
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced _____ and who did (did not) take an oath.



Kathryn Damato

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed 9 No. to be retained 45 No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

FAX COVER SHEET

Stephen P. Conway
 State Certified residential Contractor
 One Rivercrest Ct
 Sewalls Point, Florida 34998
 CRC053742
 561 220-0064
 561 220-8601 fax

SEND TO Company name	From
TOWN OF SEWALLS POINT	Steve Conway
Attention	Date
Ed. ARNOLD	10/14/99
Office location	Office location
Fax number	Phone number
220 - 4765	220 0064

- Urgent
 Reply ASAP
 Please comment
 Please review
 For your information

Total pages, including cover: _____

COMMENTS

SUB CONTRACTOR LIST FOR DEGIOIA RES.
 FRAMING SOE CICIO INC CRC02913
 COOK ELECTRIC ER.0008060
 NISAIR AC CACD41199
 DAVES PLUMBING MP 00030
 PACIFIC ROOFING CCC056793
 OLYMPIC POOLS CPC 039888

LOAN & SEWALL'S POINT

III BUILDING INDUSTRY SERVICES

Date: 4/7/99

FAX
220-8601

To: S. CONWAY Fax: _____

The building permit for property located at LOT 1, INDIAN RIVER HAMMOCK

has been denied for the following reasons:

1. ENTRY GATE INCLUDING COLUMNS EXCEED THE MAXIMUM ALLOWABLE HEIGHT OF 5'0" PER SECT. ~~VI~~ B, 2. (SEE ATTACHMENT)
2. ~~PAID PLAN REVIEW FEE OF \$408.00~~

ALSO PROVIDES THE FOLLOWING:

- 1. STORM SHUTTERS OR ENSURE WINDOWS/DOORS ARE DESIGNED TO MEET WIND LOADS PER SFBC SECT. 3513.1
- 2. PROVIDE SPIRAL STAIR DETAIL SHEET PRIOR TO INSPECTION OR SAME.
- 3. UNDERSTAIR 5/8" DRYWALL TO BE TYPE-X FIRE RATED.
- 4. JET TUB MOTOR TO BE GFI PROTECTED.
- 5. SHOW METHOD OF ROOF VENTILATION

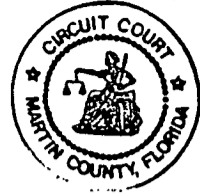
4/7/99 # 4589
READY TO ISSUE
WHEN #1 DELETED FROM
PLANS BY MEMO AND # -1,
4+S ARE ADDRESSED -
[Signature]

NOTES:

1. POOL & POOL DECK NOT INCLUDED WITH THIS PERMIT.

[Signature]

This document has been prepared
by and is to be returned to:
Shirley Nichols
Parcel #35-37-41-000-000-0001



NOTICE OF COMMENCEMENT

1. The undersigned hereby give notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement: Description of property (legal description and, if available, the street address):

SEE ADDENDUM 'A' ATTACHED HERETO AND MADE A PART HEREOF.

2. General description of improvement: Single Family Residence

3. Owner information:

a. **Saverio DeGioia and Corie DeGioia**
9 Riverview Drive
Sewalls Point, FL 34996

b. Interest in property: Fee Simple

c. Name and address of fee simple titleholder, if other than Owner: N/A

4. Contractor name and address:
Stephen P. Conway
5471 SE Reef Way,
Stuart, FL 34997

5. Surety (Note: Attach copy of bond if applicable): N/A

6. Lender name and address:
Community Savings, F.A.
660 US Highway One
North Palm Beach, FL 33408

7. Name and addresses of persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: N/A

8. In addition to itself, Owner designates the Lender set forth in paragraph six (6) above and the following to each receive a copy of the Licnor's Notice as provided in Section 713.13(1)(b), Florida Statutes: N/A

9. The expiration date of this notice of commencement is 1 year from the date of recording unless a different date is hereinafter specified:

PLEASE RETURN TO:
ROBERT A. BURSON, P.A.
P.O. BOX 1620
STUART, FLORIDA 34995

Saverio DeGioia

Corie DeGioia

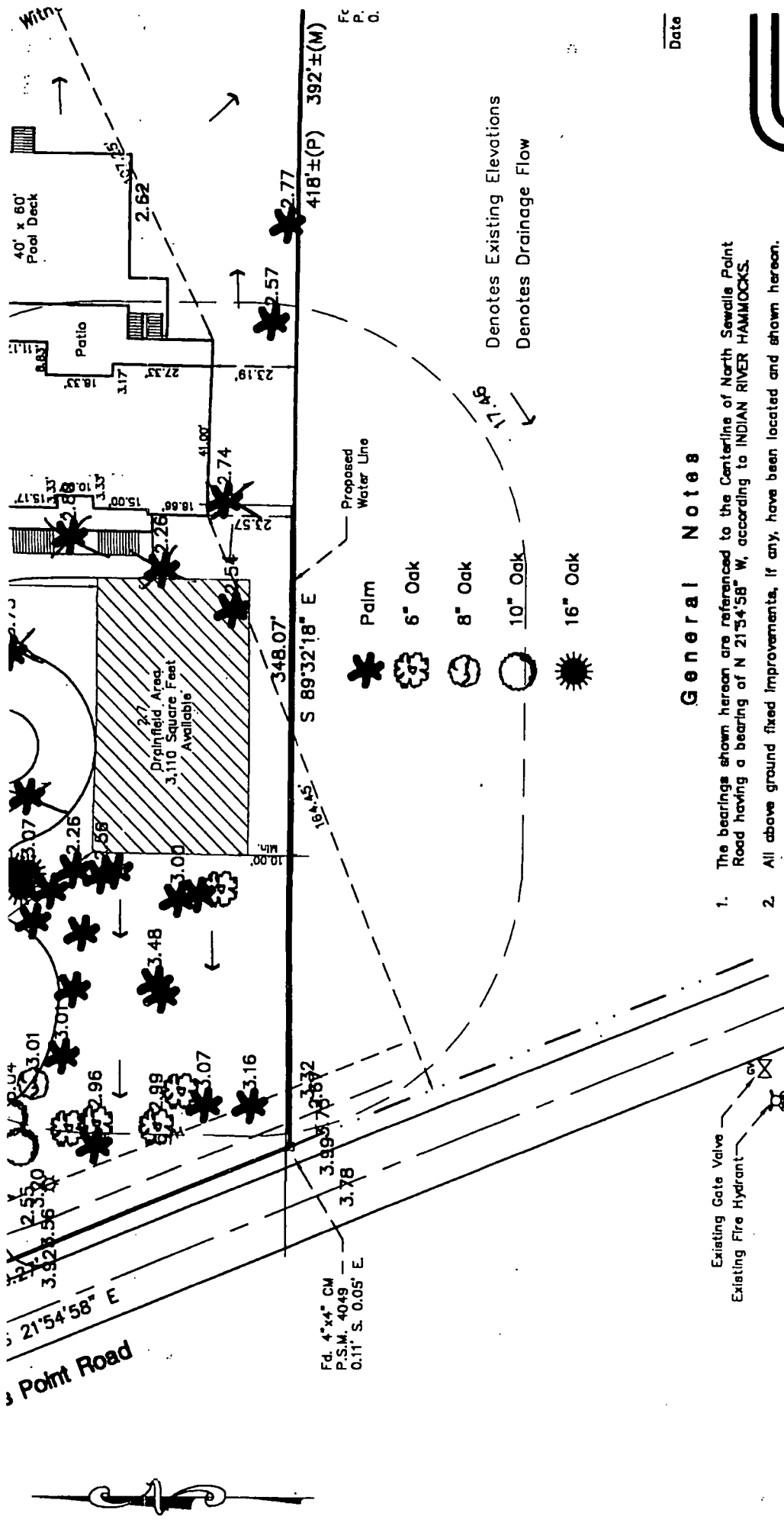
STATE OF FLORIDA
COUNTY OF MARTIN

Subscribed and acknowledged before me on, May 04, 1999, by Saverio DeGioia and Corie DeGioia, his wife,

(Official Notary Seal or Stamp)

JOSEPHINE L. BURSON
(Print, type or stamp commissioned name of Notary Public)
Personally known or produced identification
Type of identification produced
Delivery Note





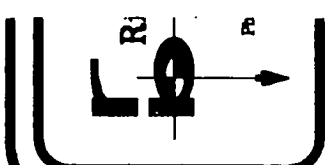
General Notes

1. The bearings shown hereon are referenced to the Centerline of North Sewalls Point Road having a bearing of N 21°54'58" W, according to INDIAN RIVER HAMMOCKS.
2. All above ground fixed improvements, if any, have been located and shown hereon.
3. Underground utilities and utility services have not been located on this survey.
4. ~~Field Notes by Florida Platting Co., Inc. Property of R. James "AMEL" (P. AMEL B.) and V. J. "AMEL" (P. AMEL B.) are hereby acknowledged to the First Assessor's Office for Community Fund No. 1234567890. The date of recording is 07/18/2023. (Witnessed 07/18/2023) The exact description and City is determined by an Abandonment Certificate.~~
5. The Elevations shown hereon are referenced to N.G.V.D. (1929), and based on Martin County Benchmark "1WM-5" having an elevation of 4.385.

Legend

Fd	Found	(M)	Measured Data
R/W	Right-of-way line	IR	Iron Rod
PCP	Permanent Control Point	(P)	Plat Data
CM	Concrete Monument	IP	Iron Pipe
PP	Power Pole	Conc	Concrete
(C)	Calculated Data	O/H	Overhead Utilities
CRB	Official Records Book	PP	Page
ID	Identification Number	TT	Th Tab
(R)	Radial		

Field Book RWB 98 B, Pgs. 68/71



Date

STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~XXXXXXXXXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

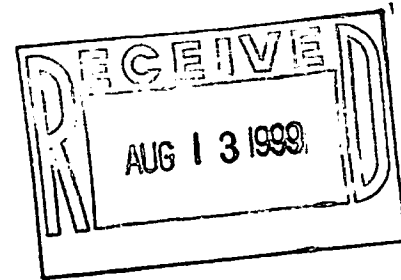
AUGUST 12, 1999

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALLS'S POINT ROAD
STUART, FLORIDA 34996

ATTENTION: EDWIN B. ARNOLD AIA CBO

RE: PERMIT # 4589
SAM DEGIOIA # 123
NO. SEWALL'S POINT ROAD

FIELD CHANGES 2, 3 & 4



DEAR MR. ARNOLD:

FIELD CHANGE 2, 3, & 4 ARE SHOWN ON THE ATTACHED
FLOOR PLAN: AS FOLLOWS.

F.C. # 2 THE FAMILY ROOM, EAST WALL, 2 # 26 WINDOWS
HAVE BEEN ADDED. A MICROLAM BEAM 5½" x 11½" SPAN THE SIX
WINDOWS, WITH A WALL SECTION BETWEEN EACH DOUBLE UNIT.

F.C. # 3 THE FLOOR DESIGN FOR LIVING AREAS, HAS
BEEN DESIGNED FOR THE FRONT ENTRY PORCH, THE REAR PORCH AND
THE A.C. COMP. BALCONY'S.

a:) FLOOR JOIST BY TJI JOIST COMPAMY 19" O.C.
ANCHORED TO THE 2" x 8" P.T. PLATES WITH SIMPSON H-4
CONNECTORS. (see attached design sheets)

b:) 5/8" CDX PLYWOOD SCREWED TO THE JOIST.

c:) 1/2" DUR-ROCK SCREWED & WEATHER PROOF MASTIC.

d:) TILE FINISH IN "MUD" THIS IS THE SAME DETAIL ON
ALL LIVING AREAS.

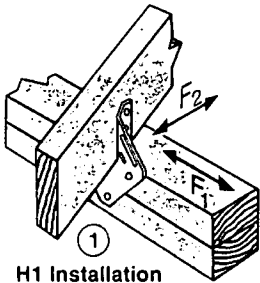
F.C. # 4 IN LIEU OF THE CIRCULAR STAIRCASE TO BASE-
MENT: A CONCORD 3' x 4' ELEVATOR WILL BE INSTALLED.

THE ABOVE IS ALL INDICATED ON THE FLOOR PLAN ATTACHED.

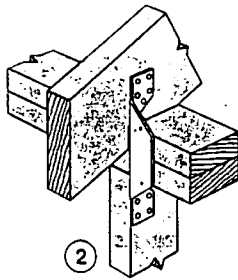
Very truly yours,

S.J. AMICO C.E.P.E.

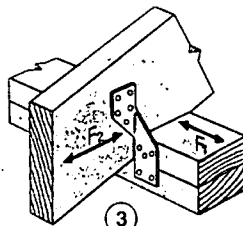
cc: CONWAY & DEGIOIA files



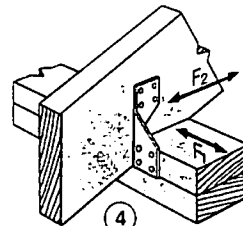
1 H1 Installation
(can eliminate costly rafter notching)



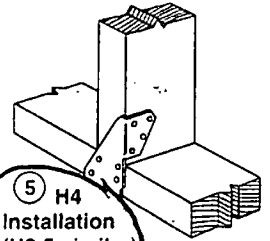
2 H2 Installation



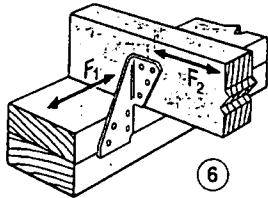
3 H2.5 Installation



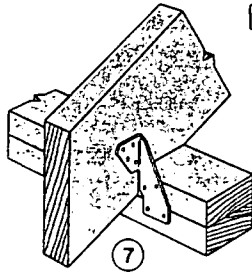
4 H3 Installation



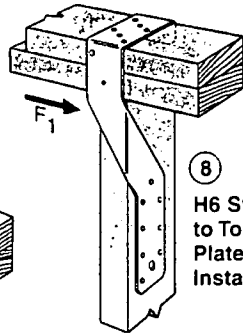
5 H4 Installation
(H2.5 similar)
(see footnote 3)



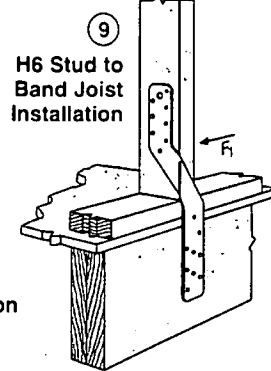
6 H4 Installation



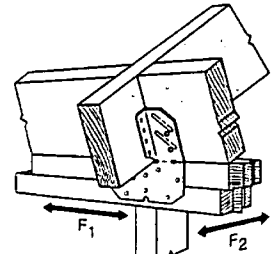
7 H5 Installation



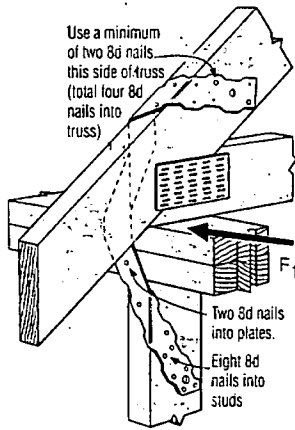
8 H6 Stud to Top Plate Installation



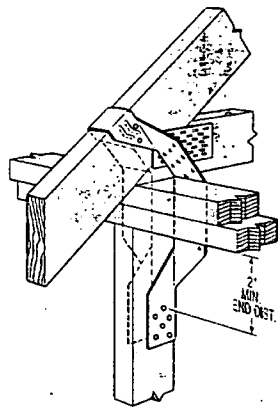
9 H6 Stud to Band Joist Installation



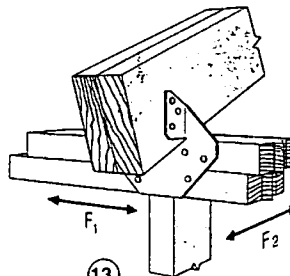
10 H10 Installation



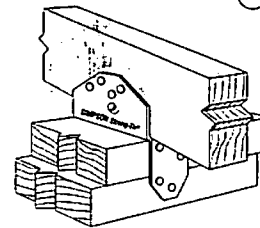
11 H7 Installation



12 H15 Installation

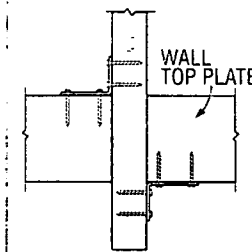


13 H10-2 Installation
(H11Z similar)

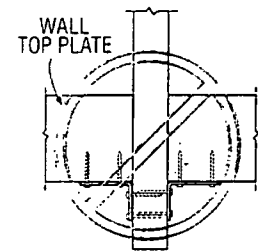


14 HS24 Installation

Hurricane Tie Installations to achieve Twice the Load (Top View)



Install diagonally across from each other for minimum 1 1/2" truss.



Nailing into both sides of a single ply 2x truss may cause the wood to split.

HGA10 HURRICANE GUSSET ANGLE

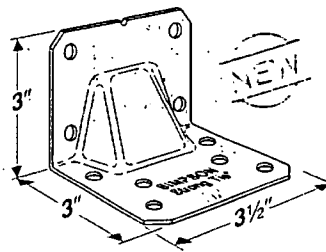
NEW! The HGA10 attaches to gable trusses and provides good lateral wind resistance.

MATERIAL: 14 gauge

FINISH: Galvanized

INSTALLATION: • Use all specified fasteners. See General Notes.

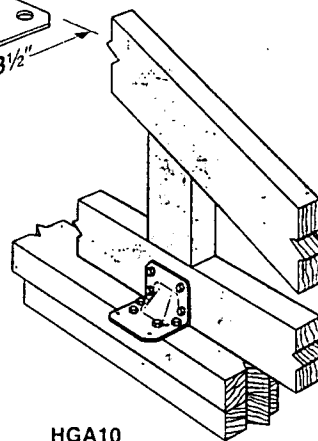
- The HGA10 can be installed into wood or concrete block. Install screws into the outer holes for concrete block, and the center holes for wood top plates.
- Screws are provided.



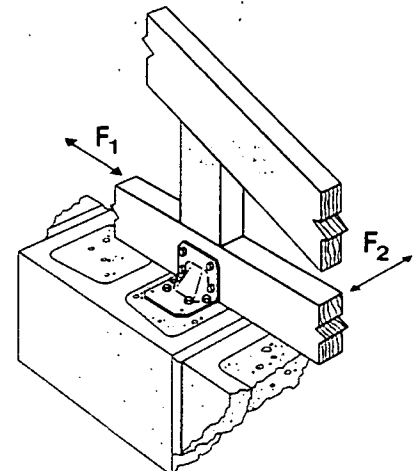
HGA10

Model No.	Fasteners		Uplift Avg UIt	Allowable Loads ^{1,2}			
	To Rafters	To Plates		Uplift (133)	Uplift (160)	Lateral (133/160) F ₁	Lateral (133/160) F ₂
HGA10	4-SDS _x 1 1/2	4-SDS _x 3	1805	410	410	1000	915
HGA10	4-SDS _x 1 1/2	4- _x 1 1/2 Titen	—	410	410	1000	800

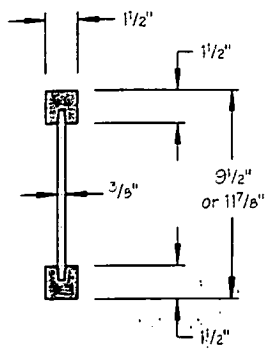
1. Loads have been increased 33% and 60% for earthquake or wind loading with no further increase allowed.
2. The HGA10 was tested into masonry using Simpson's Titen screws.



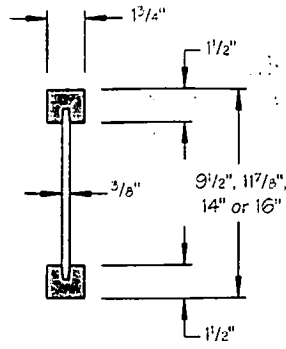
HGA10 Installation to Double Top Plates



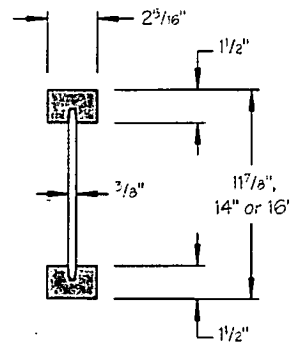
HGA10 Installed into Concrete Block



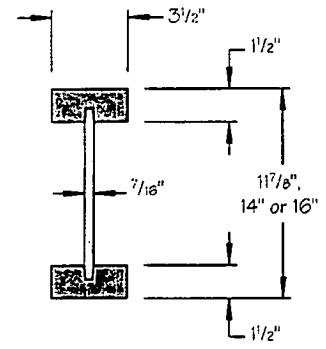
TJI®/Pro™ 150 joists
Top and bottom flanges of 1 1/2" x 1 1/2" Microllam® LVL with 3/8" Performance Plus® web.



TJI®/Pro™ 250 joists
Top and bottom flanges of 1 3/4" x 1 1/2" Microllam® LVL with 3/8" Performance Plus® web.



TJI®/Pro™ 350 joists
Top and bottom flanges of 2 3/16" x 1 1/2" Microllam® LVL with 3/8" Performance Plus® web.



TJI®/Pro™ 550 joists
Top and bottom flanges of 3 1/2" x 1 1/2" Microllam® LVL with 7/16" Performance Plus® web.

DESIGN PROPERTIES (100% LOAD DURATION)

TJI®/Pro™	DEPTH	BASIC PROPERTIES				REACTION PROPERTIES			
		JOIST WEIGHT (lbs./ft.)	MAXIMUM RESISTIVE MOMENT (ft. lbs.)	JOIST ONLY EI x 10 ⁶ (in. ² lbs.)	MAXIMUM VERTICAL SHEAR (lbs.)	MAXIMUM END REACTION (lbs.)	MAXIMUM INTERMEDIATE REACTION (lbs.)		
							NO WEB STIFFENERS	WITH WEB STIFFENERS	
150	9 1/2"	2.0	2,730	160	1,120	945	1,895	N.A.	
	11 7/8"	2.3	3,620	276	1,420	945	1,895	N.A.	
250	9 1/2"	2.2	3,210	185	1,120	1,015	2,030	N.A.	
	11 7/8"	2.5	4,260	319	1,420	1,015	2,030	2,385	
	14"	2.8	5,210	474	1,710	1,015	2,030	2,385	
	16"	3.0	6,075	653	1,970	1,015	2,030	2,385	
350	11 7/8"	3.0	5,000	395	1,420	1,160	2,320	2,680	
	14"	3.2	6,135	584	1,710	1,160	2,320	2,680	
	16"	3.5	7,205	801	1,970	1,160	2,320	2,680	
550	11 7/8"	4.2	7,675	593	1,925	1,400	3,355	3,830	
	14"	4.5	9,420	874	2,125	1,400	3,355	3,830	
	16"	4.7	11,065	1,192	2,330	1,400	3,355	3,830	

GENERAL NOTES

- Design reaction includes all loads on the joist. Design shear is computed at the face of supports including all loads on the span(s). Allowable shear may sometimes be increased at interior supports in accordance with NER-119 and NER-200 and these increases are reflected in span tables.
- The reaction values above are based on an assumed minimum bearing length of 1 3/4" at ends, 3 1/2" at intermediate supports.
- Values shown throughout this brochure are applicable in dry-service conditions only.

- The following formula approximates the uniform load deflection of Δ (inches):

For TJI®/Pro™ 150, 250 and 350 Joists

$$\Delta = \frac{22.5 wL^4}{EI} + \frac{2.67 wL^2}{d \times 10^3}$$

w = uniform load in pounds per lineal foot
L = span in feet

For TJI®/Pro™ 550 Joists

$$\Delta = \frac{22.5 wL^4}{EI} + \frac{2.29 wL^2}{d \times 10^3}$$

d = out-to-out depth of the joist in inches
EI = value from table

MATERIAL WEIGHTS (Include TJI® joist weights in dead load calculations – see table above for JOIST WEIGHTS)

Sheathing

Based on: Southern pine – 40 pcf for plywood, 44 pcf for OSB
Douglas fir – 36 pcf for plywood, 40 pcf for OSB

	Southern Pine	Douglas Fir
1/2" plywood	1.7 psf	1.5 psf
5/8" plywood	2.0 psf	1.8 psf
3/4" plywood	2.5 psf	2.3 psf
1 1/8" plywood	3.8 psf	3.4 psf
1/2" OSB	1.8 psf	1.7 psf
5/8" OSB	2.2 psf	2.0 psf
3/4" OSB	2.7 psf	2.5 psf
1 1/8" OSB	4.1 psf	3.7 psf

Roofing Materials

Asphalt shingles	2.5 psf
Wood shingles	2.0 psf
Clay tile	9.0 to 14.0 psf
Slate (3/8" thick)	15 psf
Roll or Batt Insulation (1" thick)	
Rock wool	0.2 psf
Glass wool	0.1 psf

Floors

Hardwood (Nominal 1")	4.0 psf
Concrete (1" thick)	
Regular	12.0 psf
Lightweight	8.0 to 10.0 psf
Sheet vinyl	0.5 psf
Carpet and pad	1.0 psf
3/4" ceramic or quarry tile	10.0 psf
Gypsum concrete (3/4")	6.5 psf
Ceilings	
Acoustical fiber tile	1.0 psf
1/2" gypsum board	2.2 psf
5/8" gypsum board	2.8 psf
Plaster (1" thick)	8.0 psf

4/14

Dicks,

1. Mr. McKenney did not come in.
He will need to submit drawings
& get a permit for the spa.

2. ~~Mega and Bldg. Comm.~~ are concerned
about new house going in at Indian
River Hammock / N. Sewall's Point Rd.

a. Drainage swales being removed?
needs to be returned to original state.

b. Underpinning of mono-slab - is it
correct for FEMA? Please pull plans for
me to review.

Behind
collected
contract

OK
for plans

N

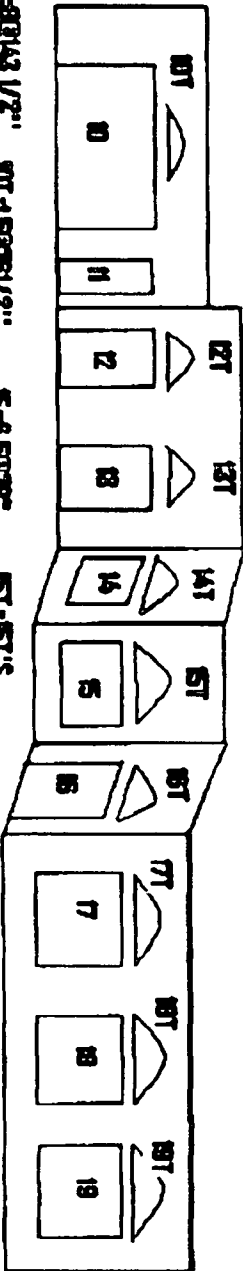
3. Check with Joan to see if Loggia? on S.
Sewall's Pt. Rd. paid the \$5,000 fine for tree removal

4. Lot 4, Ridgeland
Interior stairs OK with R-7 $\frac{3}{4}$, T-10 $\frac{1}{2}$ AND
W 40 $\frac{1}{2}$ AND UPPER RUN R-7 $\frac{5}{8}$, T-10 $\frac{1}{2}$, W 40 $\frac{1}{2}$

F. Collins

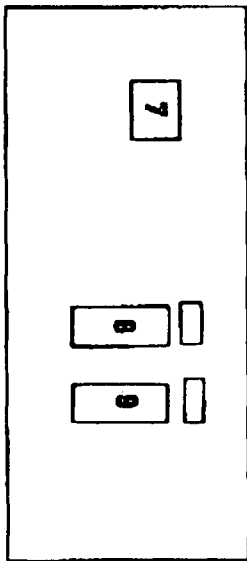
Frank,

10-80143 1/2"
 11-80822 1/2"
 12-80878 1/2"
 13-80877"
 14-85078 1/2"
 15-80878 1/2"
 16-80878 1/2"
 17-85078 1/2"
 18-85078 1/2"
 19-85078 1/2"
 20-85078 1/2"
 21-80822 1/2"
 22-80878 1/2"
 23-80878 1/2"
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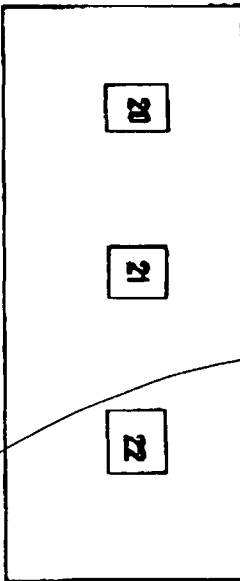
EAST SIDE OF HOUSE

SOUTH SIDE OF HOUSE



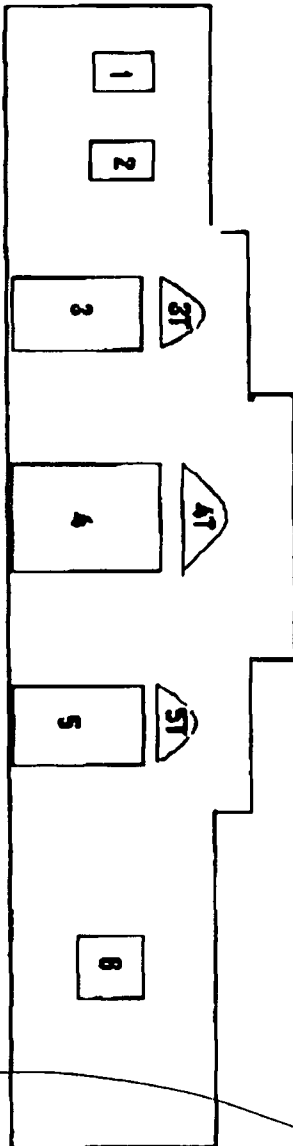
7-20830"
 8-20887"
 9-20898"

NORTH SIDE OF HOUSE



20-80867"
 21-20855"
 22-80888"

FRONT WEST SIDE OF HOUSE



1-80887 1/2"
 2-80887 1/2"
 3-80887 1/2"
 4-80887 1/2"
 5-80887 1/2"
 6-80887 1/2"

120 N SEWALLS PT RD.



METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Vinyl Tech/Progressive Glass Technology
1070 Technology Drive
Nokomis FL 34275

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of: *3/16" Safety*
Series C-700 Outswing Aluminum Casement Window - Impact (3/16" Annealed- 1/4" Tempered)
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and
Types of Construction, and completely described in the plans, specifications and calculations as submitted by
Applicant, along with Drawing No. 330, Sheets 1 thru 10 of 10. (For listing, see Section 8
of this Notice of Acceptance)

has been recommended for acceptance by the Building Code Compliance office to be used in Dade
County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions
on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance
reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for
quality control testing. If this product or material fails to perform in the approved manner, the Code
Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The
applicant shall re-evaluate this product or material should any amendments to the South Florida Building
Code be enacted affecting this product or material. The Building Code Compliance Office reserves the
the right to revoke this approval, if it is determined by the Building Code Compliance Office that this
product or material fails to meet the requirements of the South Florida Building Code. The expense of
such testing will be incurred by the manufacturer.

Acceptance No.: 97-0212.01
Expires: 04/16/01

Raul Rodriguez
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS**

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building
Code Compliance Department and approved by the Building Code Committee to be used in Dade
County, Florida under the conditions set forth above.

Charles Hauger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

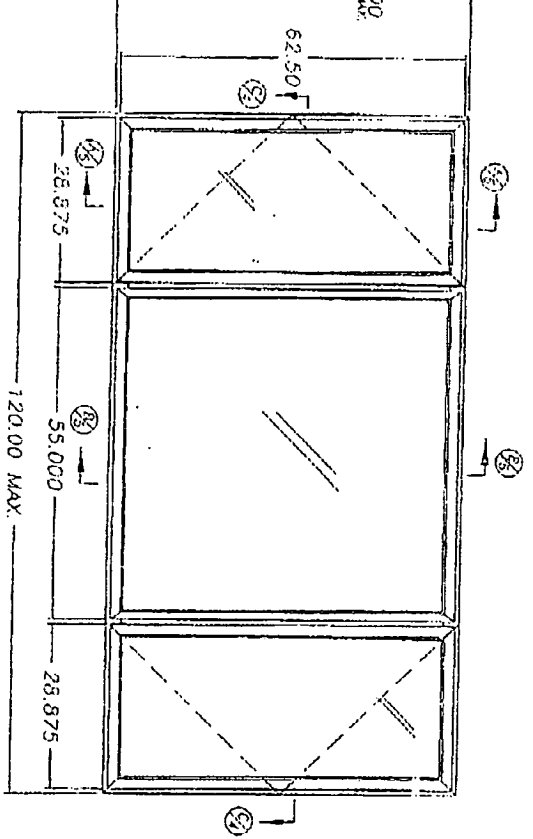
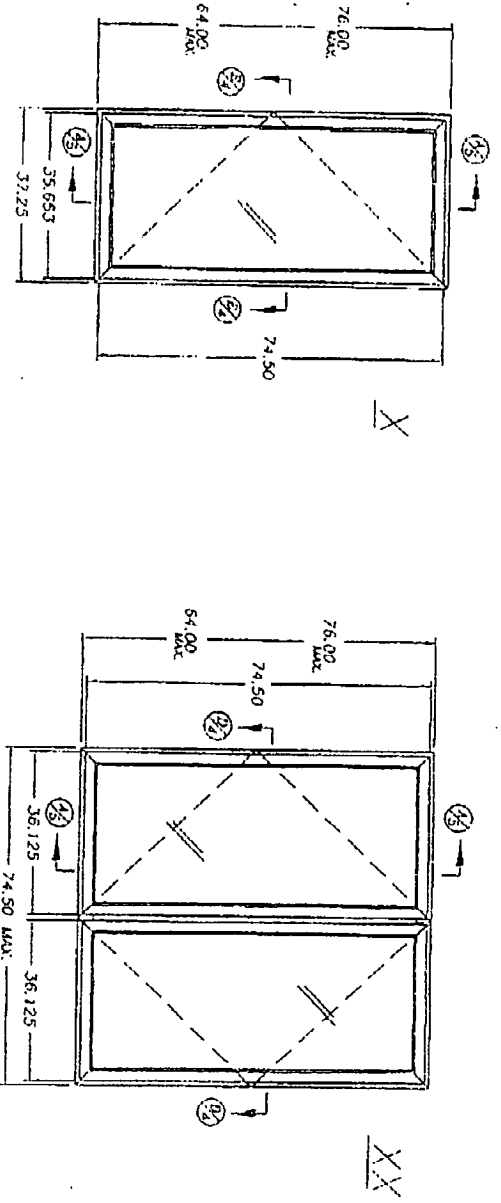
Approved: 04/16/98

NON-IMPACT WINDOWS
(MAX. HEIGHT OF 76")

- 1.) GLAZING: DSB, 3/16" ANNEALED
- 2.) CONFIGURATIONS: X, XX, XOX
- 3.) DESIGN PRESSURE RATING: SEE COMPARATIVE ANALYSIS TABLES ON SHEETS 6 & 7.
- 4.) ANCHORS: SEE COMPARATIVE ANALYSIS TABLES ON SHEETS 6 & 7
- 5.) HURRICANE PROTECTION DEVICES MUST BE INSTALLED.

NON-IMPACT WINDOWS
(MAX. HEIGHT OF 64")

- 1.) GLAZING: 3/16" ANNEALED
- 2.) CONFIGURATIONS: X, XX, XOX
- 3.) DESIGN PRESSURE RATING: SEE COMPARATIVE ANALYSIS TABLES ON SHEETS 8&9
- 4.) ANCHORS: SEE COMPARATIVE ANALYSIS TABLES ON SHEETS 8&9
- 5.) HURRICANE PROTECTION DEVICES MUST BE INSTALLED.



APPROVED AS CORRECTING WITH THE SOUTH FLORIDA BUILDING CODE DATE APRIL 16 1998 BY *[Signature]* PERMISSIVE GENERAL DIVISION BUILDING CODE COMPLIANCE OFFICE ACCEPTANCE NO. 97-0212.01

Revised By: R.S.	Date: 2/12/97	Author: P.O. BOX 1529	Size: B	Drawing No.: 330	Rev: B
Revised By: D.B.	Date: 3/20/98	Author: NOKOMIS, FL. 34274	Size: B	Drawing No.: 330	Rev: B
Standard No.:	Spec: N.T.S.				
Material: WINN-DIXIE PROPHET progressive GLASS Technology		Product: CASE		Series/Height: 700	Sheet: 1 of 10
FRONT VIEWS, ELEVATION					

Steve Conroy const.

IRON SEWALCS PL. RO.



FILE

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Pioneer Concrete Tile
1340 Southwest 34th Avenue
Deerfield Beach, FL 33442

GOOD COPY
4/27/08

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

Your application for Product Approval of:

Pioneer Nail-On, Mortar Set or Adhesive Set "Hacienda" Roofing Tile

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

under Chapter 8 of the Miami-Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by: **Redland Technologies, The Center for Applied Engineering, Inc., and Professional Service Industries, Inc..**

has been recommended for acceptance by the Building Code Compliance Office to be used in Dade County, Florida under the specific conditions set forth on pages 2-12 and the standard conditions on page 13.

This approval shall not be valid after the expiration date stated below. The Building Code Compliance Office reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Building Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO: 98-0901E07
EXPIRES: 02/16/2002

Renews: 95-1128.12

Raul Rodriguez
Product Control Division
Chief

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Miami-Dade County Building Code Compliance Office and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Building Code Compliance Dept.
Miami-Dade County

APPROVED: 01/28/1999



ROOFING SYSTEM APPROVAL

Applicant:

Pioneer Concrete Tile
 1340 Southwest 34th Avenue
 Deerfield Beach, FL 33442

Product Control No.: 98-0901.07

Approval Date: 01/28/1999

Expiration Date: 02/06/2002


Category: Prepared Roofing
Sub-Category: Low Profile Tile
Type: Nail-on/Mortar Set/Adhesive Set
Sub-Type: Concrete

**TRADE NAMES OF PRODUCTS MANUFACTURED OR
 LABELED BY APPLICANT**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Pioneer, "Hacienda"	l = 17 1/2" w = 13" 1/2" thick	PA 112	Low profile, interlocking, extruded concrete roof tile equipped with two nail holes and double roll ribs. For direct deck or battened nail-on, mortar, or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	PA 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

TRADE NAMES OF PRODUCTS MANUFACTURED OTHERS

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>	<u>Manufacturer</u>
#30 Felt	N/A	ASTM D 226 type II	Saturated organic felt to be used as a nailed anchor sheet.	generic
#43 Coated Base Sheet	N/A	ASTM D 2626	Saturated and coated organic base sheet for single or double ply underlayment.	generic
Mineral Surface Cap Sheet	N/A	ASTM D 249	Mineral surfaced asphalt roll roofing for use as a top ply in a double ply underlayment system.	generic


 Frank Zuloaga, RRC
 Roofing Product Control Examiner



METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Vinyl Tech/Progressive Glass Technology
1070 Technology Drive
Nokomis FL 34275

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of
Series 101 Out-swing Aluminum French Doors-Impact & Non-Impact
under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and
Types of Construction, and completely described in the plans, specifications and calculations as submitted by
Applicant along with Drawing No. 944, Sheet 1 thru 4 of 4.

has been recommended for acceptance by the Building Code Compliance office to be used in Dade
County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions
on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance
reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for
quality control testing. If this product or material fails to perform in the approved manner, the Code
Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The
applicant shall re-evaluate this product or material should any amendments to the South Florida Building
Code be enacted affecting this product or material. The Building Code Compliance Office reserves the
the right to revoke this approval, if it is determined by the Building Code Compliance Office that this
product or material fails to meet the requirements of the South Florida Building Code. The expense of
such testing will be incurred by the manufacturer.

Acceptance No.: 98-0702.04
Expires: 06/30/99

Raul Rodriguez
Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS**
BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building
Code Compliance Department and approved by the Building Code Committee to be used in Dade
County, Florida under the conditions set forth above.

Charles Danner, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 07/30/98

-1-



T-COAST PAVERS/Sealco Systems, Inc.

"The Two Best Names in Pavers"

2920 S.E. Kensington Street • Stuart, Florida 34997
(800) 540-8735 • (561) 220-4554 • Fax (561) 220-4692

RECEIVED
MAY 30 2000
BY: _____

APRIL 24, 2000

STEVEN P. CONWAY, CRC
1 RIVER CREST COURT
SEWALLS POINT, FL 34996
220-0064/287-7313 CELL

JOB: DEGIOIA RESIDENCE
130 N. SEWALLS PT. RD.
SEWALLS POINT, FL

PAGE 1 PROPOSAL

INSTALLATION OF 6420 +-SQ FT INTERLOCKING PAVING STONES
AT: DRIVEWAY/ WALKWAY AREA

FIELD SHAPE: APPIAN (REC & SQ) BORDER SHAPE: APPIAN SQ
COLOR: CM I COLOR: TAN
PATTERN: RANDOM "T" PATTERN: SOLDIER

INSTALLATION TO INCLUDE: COMPACT EXISTING EARTH AND HAND GRADE AS NECESSARY. FURNISH AND INSTALL 1" TO 2" SCREENING SAND, COMPACTED AND LEVELED TO SUB-PAVER GRADE. INSTALL SPECIFIED PAVERS MAKING ALL NECESSARY NEAT FITTING SAW CUTS. BORDERS TO BE SET IN A CEMENT EDGE BRACING FOR PROPER REINFORCEMENT. ALL PAVER JOINTS TO BE FILLED WITH FINE SAND AND COMPACTED TO PROPOSED FINISHED GRADE ELEV.

TOTAL BASED ON 6420+-SQ FT @\$2.95 PER SQ FT \$18,939.00

OWNER/G.C. TO SUPPLY PROPER SUB-GRADE ELEVATION PRIOR TO BEGINNING WORK, AND TO VERIFY ALL ELEVATIONS. SUBGRADE ELEVATION REQUIRED: 3.5" BELOW FINISH GRADE ELEV. MACHINE GRADING REQUIRED BY: GENERAL CONTRACTOR INSTRUCTIONS: PRICE INCLUDES ALL LABOR AND EQUIPMENT TO COMPLETE CONSTRUCTION. CLEAN UP OF ALL PAVEMENT DEBRIS TO A DESIGNATED AREA ON SITE.
*Any square footage over contract SUB TOTAL: \$18,939.00
to be billed accordingly.

TAX: N/A

T*COAST PAVERS NOT RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES.

Accepted and work authorized subject to the full terms and conditions set forth on the reverse side of this contract.

*6-8 WEEK DELIVERY DUE TO OVERWHELMING DEMAND FOR PAVERS.

AUTHORIZED SIGNATURE _____

T*COAST PAVERS

DATE: 4/27/00

5/30/00

PRODUCT NOT AVAILABLE FROM MANUF. TIL SOMETIME IN JUNE. DRIVEWAY WILL BE COMPLETED ASAP.

[Signature]

WINDY RIVER

MAN GROVES

House

House

8' WIDE TRAIL
TO PROVIDE
ACCESS

1 CUT REFERENCE TREE

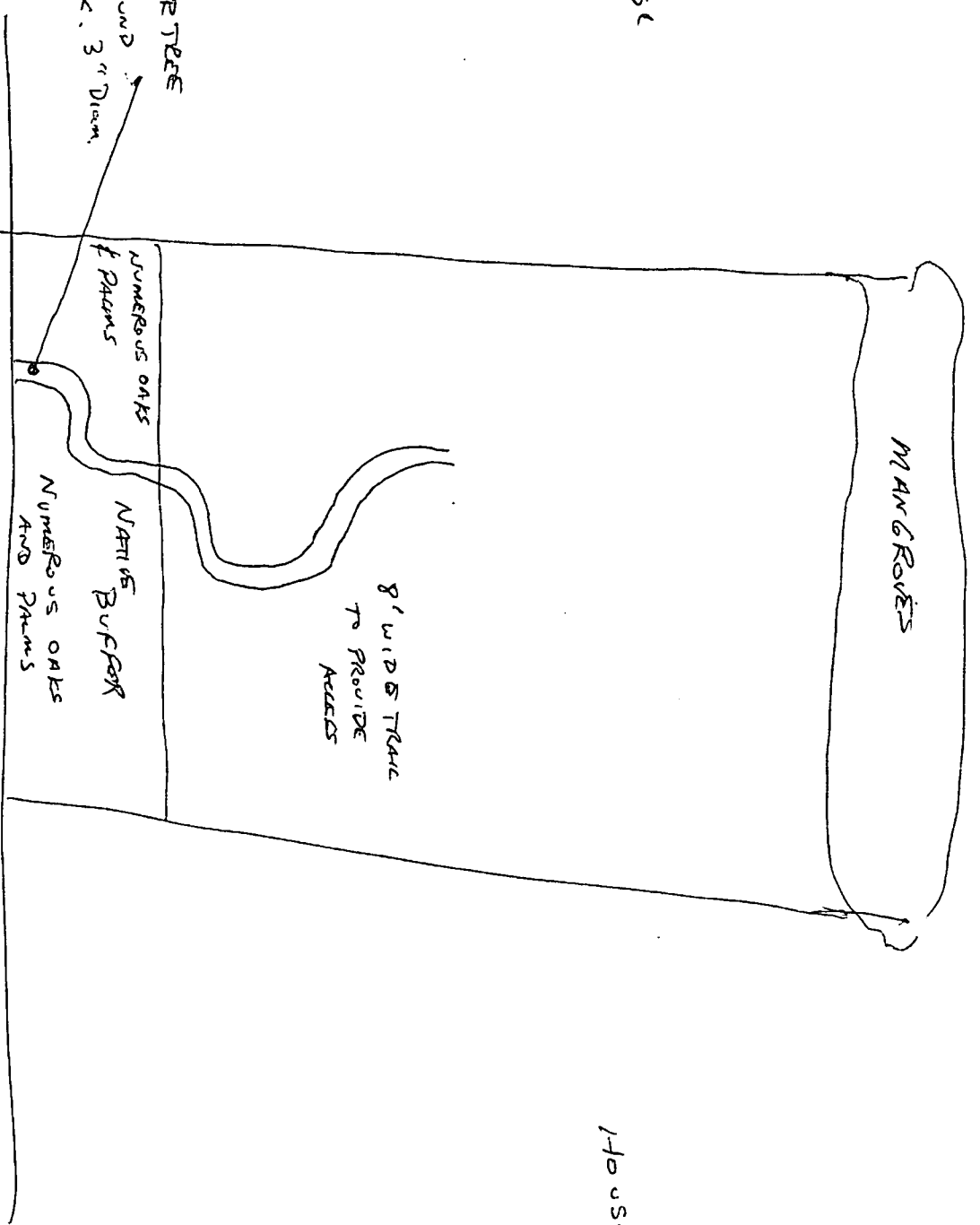
STUMP at Ground
LEVEL. APPROX. 3" DIAM.

NUMEROUS OAKS
& PALMS

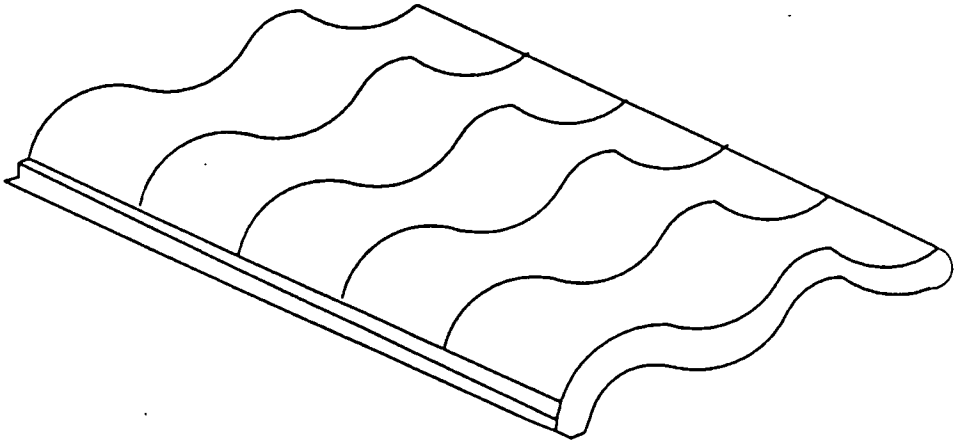
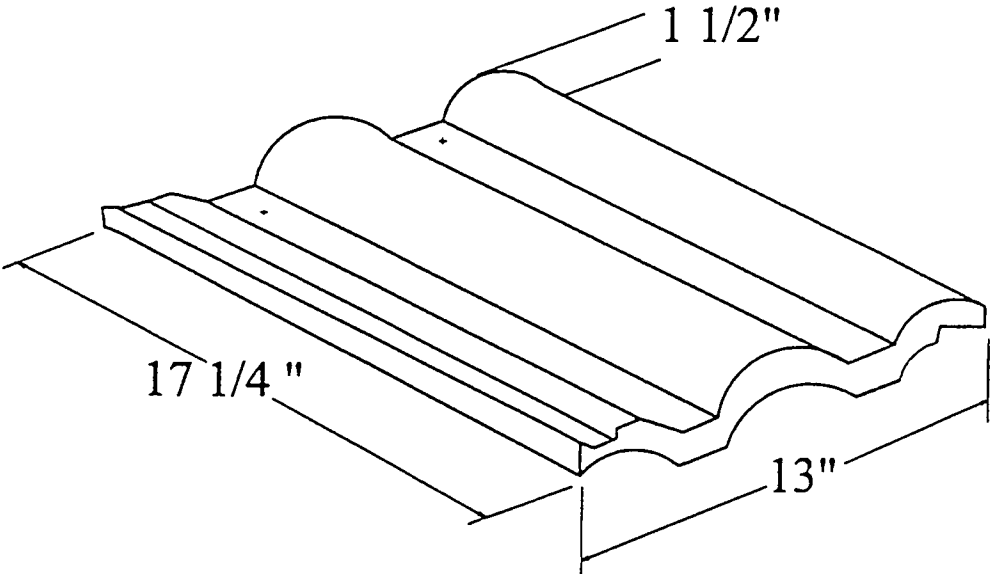
NATIVE
BUFFOR

NUMEROUS OAKS
AND PALMS

128 N. SWEELLS ST ROAD



PROFILE DRAWINGS



PIONEER "HACIENDA"

A handwritten signature in black ink, appearing to read "Frank Zuloaga".

STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~XXXXXXXXXXXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

OCTOBER 27, 1999

TOWN OF SEWALLS POINT
ONE SOUTH SEWALLS POINT ROAD
SEWALLS POINT, FLORIDA

ATTENTION: MR. EDWIN B. ARNOLD AIA CBO

RE: PERMIT # 4589
SAM DEGIOIA
128 SEWALLS POINT ROAD

FIELD CHANGE # 7

DEAR MR ARNOLD:

ATTACHED PLEASE FIND "FIELD CHANGE SHEET # 7.

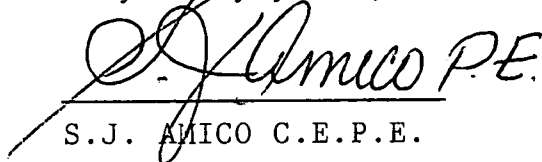
1: THE FIREPLACE WILL BE LOCATED AT THE CENTER LINE OF THE FAMILY ROOM NORTH WALL. DETAIL SECTION HAS BEEN ALSO BEEN SUBMITTED.

2: THE MASTER BEDROOM, EAST ENTRY TO THE PORCH, HAS BEEN MODIFIED AS FOLLOWS.

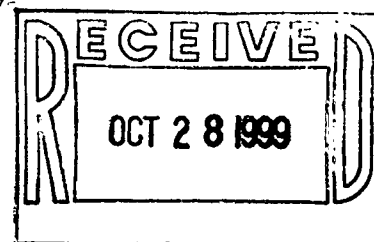
a: THE EXISTING HEADER HAS BEEN REDUCED IN LENGTH BY DIVIDING THE OPENING IN THREE (3) IN ORDER TO ACCOMMODATE THE 6' FIXED GLASS ABOVE THE 6080 DOORS.

b: THE HEADER SPAN NOW IS 6'-4" WITH 6" X 6" POSTS (jack studs) THE 12" HEADER IS NOW 6" WHICH SATISFY THE LOADING. "CERTIFICATION OF COMPLIANCE" CAN BE RECORDED.

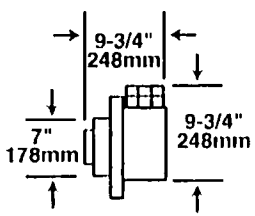
Very truly yours,


S.J. AMICO C.E.P.E.

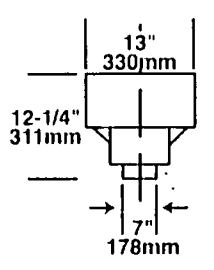
cc: DEGIOIA
CONWAY
files



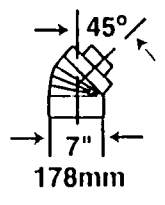
CONTEMPORARY TERMINATIONS



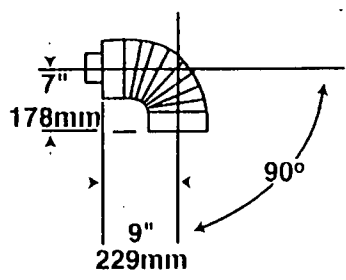
7DVRVT



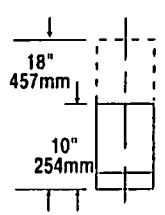
7DVSKV



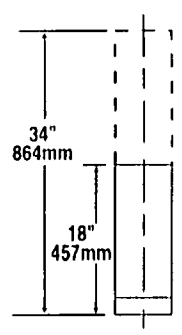
7DVT45



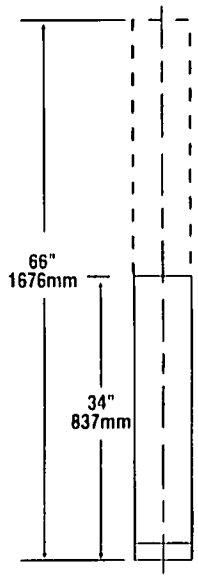
7DVRT90



7DVP1018



7DVP1834



7DVP3466

FIREPLACE FACTS

36BDVR

Insta-Flame® Series

Builder 36 inch Direct Vent (Rear Outlet)
Heat Circulating, Radiant Gas Fireplace

FEATURES:

- 90° transition elbow for vertical venting up to 20 feet from a side wall or 40 feet "thru the roof" for easy installation almost anywhere
- Shallow depth for inside wall installation
- Realistic Yellow Flame With Glowing Embers - AGA Listed
- Ceramic Fibre "Split Oak" Logs
- Ceramic Glass Window
- Limited Lifetime Warranty

BURNER SYSTEM:

- Capacity
 - Natural: 18,000 BTU/HR Max., 12,600 BTU/HR Min.
 - Propane: 18,000 BTU/HR Max., 13,500 BTU/HR Min.
- Fuel - Natural or Propane Gas
- Ignition System
 - Standing Pilot With Piezo Ignitor, A Low Voltage, Self-Generate Power Pile System (mV) - No Outside Electrical Power Needed OR
 - Electronic ignition that requires 120 VAC Electrical hook up.
- Gas Supply Line
 - Under 25 feet, 3/8" N.P.T. Black Iron Pipe
 - Over 25 Feet, 1/2" N.P.T. Black Iron Pipe
- Gas Inlet and Manifold Pressures

	Natural	Propane
Input Minimum	4.5" w.c.	11.0" w.c.
Input Maximum	7.0" w.c.	13.0" w.c.
Manifold Pressure	3.5" w.c.	10.0" w.c.

MINIMUM FLOOR AREA:

- 36" W X 16" D

MINIMUM NON-COMBUSTIBLE HEARTH EXTENSION AREA:

- Not Required

OPTIONAL ACCESSORIES:

- 36BDVCR Ceramic Refractory Lining Kit
- Bay Window Kit with Antique or Polished Brass Trim
- Brilliance Beveled Glass Bay Window Kit with Antique or Polished Brass Trim
- MRC1, MRC2, MRC3 Wireless Remote Control Systems
- Wood Mantels, Trim Kits and Mantel Shelves (See Mantel Section)
- Heat Activated, Variable Speed Fan
- DV36GTA - 2 Piece U/L Glass Trim Kit (Antique Brass)
- DV36TKP - 15/8" Regular Trim Kit (Polished Brass)
- DV36TKMP - 25/8" Medium Trim Kit (Polished Brass)
- DV36TKWP - 4" Wide Trim Kit (Polished Brass)

The Fireplace Facts Information Sheets are for quick reference only and are subject to change without notice. Actual fireplace instructions must abide by specifications provided with each product.

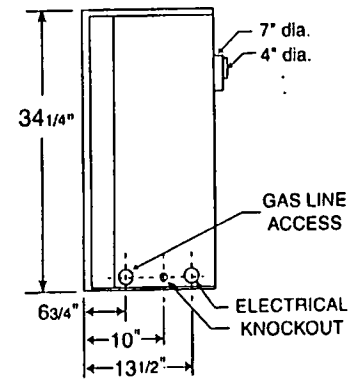
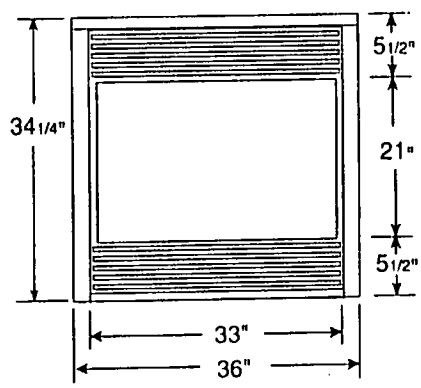
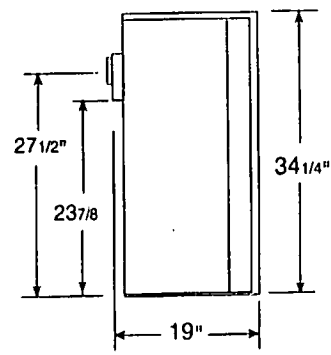
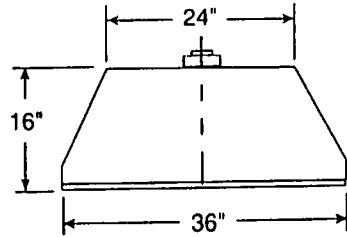


FIREPLACE and VENTING SPECIFICATIONS

36BDVR BUILDER REAR VENT DIRECT VENT

SCALE 1/2" = 1'0"

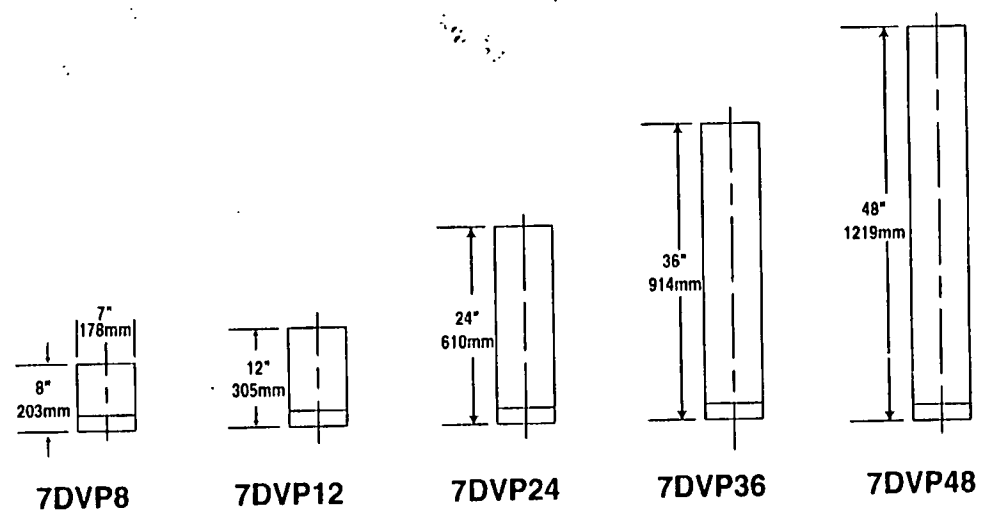
St.
• 7"



FS

VENT SECTIONS and OFFSETTING ELBOWS

SCALE 1/2" = 1'0"



10"
254mm
15"

7L

NOTE: THE INSTALLED LENGTH OF ANY VENTING SECTION IS 1 1/2" LESS THAN ITS TOTAL LENGTH, EXCEPT FOR THE LAST SECTION INSTALLED.

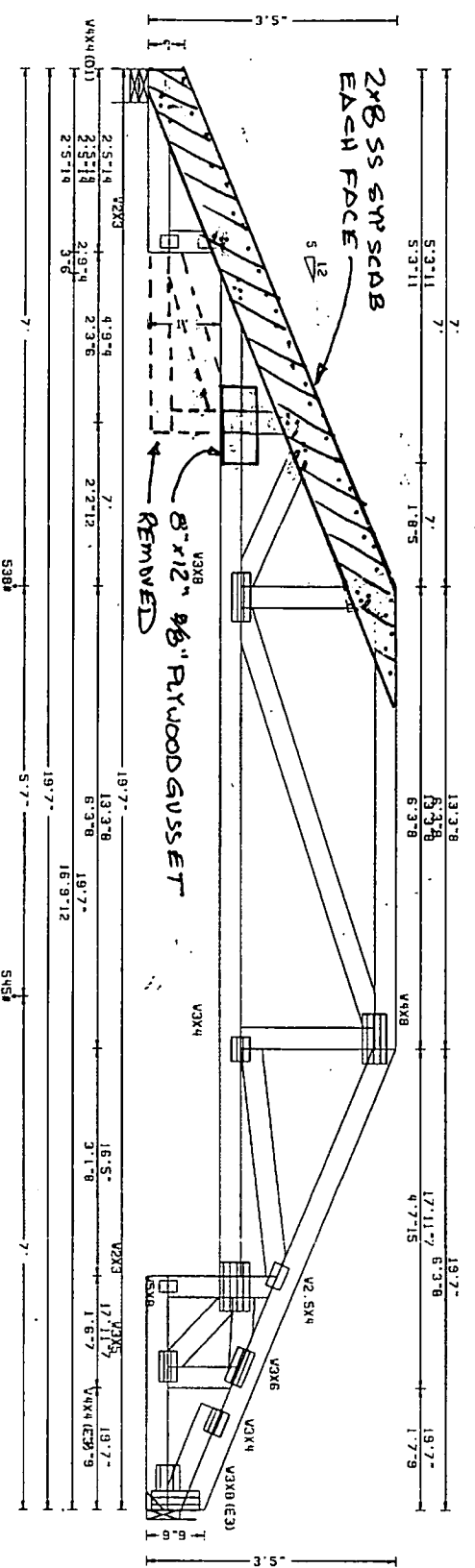
TOP CHORD 2x8 SP #2 : T2 2x4 SP #1 Dense:
 BOT CHORD 2x4 SP #2 : W2 2x4 SP #2:
 WEBS 2x4 SP #3: BLOCK LENGTH = 1.500'
 #1 HIP SUPPORTS 7-0-0 JACKS WITH NO WEBS.
 DEFLECTION MEETS L/480.00 LIVE AND L/360.00 TOTAL LOAD.

140 MPH WIND, 24.12 FT MEAN HGT, SBC,
 ENCLOSED BLDG, LOCATED ANYWHERE IN ROOF,
 WIND TC DL = 5.0 PSF, WIND BC DL = 5.0 PSF.

2. Complete Trusses Required
 NAILING SCHEDULE: (0 131x3.0+no.1s)
 TOP CHORD: 1 ROW @ 12" o.c.
 BOT CHORD: 1 ROW @ 12" o.c.
 WEBS: 1 ROW @ 4" o.c.
 USE EQUAL SPACING BETWEEN ROWS AND STAGGER NAILS
 IN EACH ROW TO AVOID SPLITTING.

REPAIR PROBLEM: A SECTION OF BOTTOM CHORD AND WEB WERE REMOVED

REPAIR SOLUTION: ON EACH EXTERIOR FACE, INSTALL A FULL LENGTH 2x8 SS S.T.P. SCAB TO THE SLOPING TOP CHORD. NAIL TO THE EXISTING TOP CHORD USING 16d NAILS AT 4" O.C. STAGGERED. AT EACH CROSSED WEB, NAIL WITH 4-16d NAILS EACH FACE. INSTALL AN 8"x12" 9/8" PLYWOOD GUSSET TO THE WEB JOINT ON EACH EXTERIOR FACE AS NOTED BELOW. NAIL USING 8d NAILS, 8 NAILS PER MEMBER.



LEFT JIG = 7.9"8
 DESC. = E10+R
 P.L.T. TYP. - WAVE+TPI95

ST. LUCIE TRUSS CORP.
 10331 LENNARD ROAD
 ST. LUCIE, FL 34952
 PHONE (881) 335-3203
 FAX (881) 335-3203

RIGHT JIG = 7.1"15
 SEQ = 12376
 SCL = 0.3923

REV. 19.0b1
 DUR. FAC. 1.25
 TOL. LD. 45.0 PSF
 BC LL 0.0 PSF
 BC DL 10.0 PSF
 TC LL 20.0 PSF
 TC DL 15.0 PSF

DATE 01-04-2000
 DESIGNED BY: BART HENRY
 190700

TYPE Spec

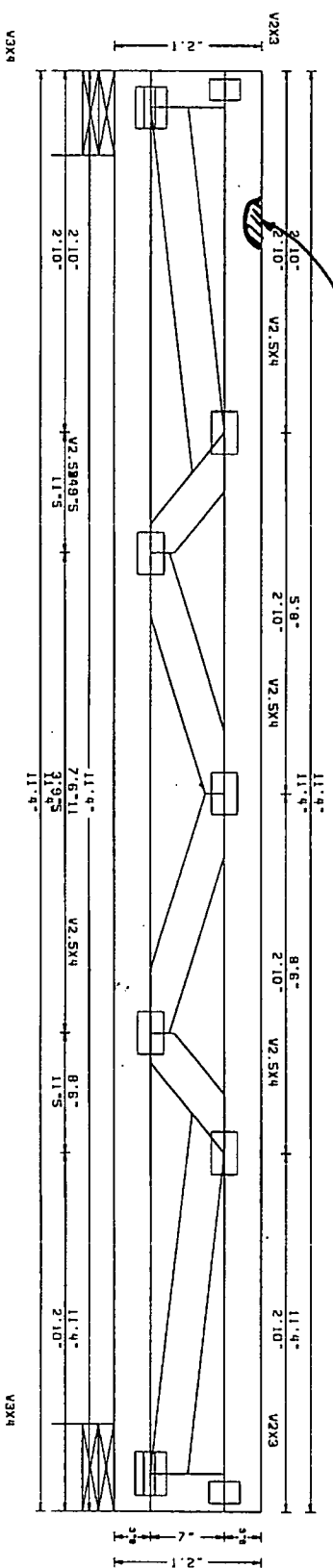
STAMP: No. 17455, JAN 04 2000, ST. LUCIE TRUSS CORP.

Handwritten: 128 lb. SCAB NAILS, ROOF W/ 1/2"

Job: (11610F) STEVE CONWAY DECIDRIO / FT16
 TOP CHORD 2x4 SP #2
 BOT CHORD 2x4 SP #2
 WEBS 2x4 SP #3

THIS DWG. PREPARED BY THE ALPINE JOB DESIGNER PROGRAM FROM TRUSS MFR'S LAYOUT
 TRUSSES TO BE SPACED AT 19.1" OC MAXIMUM.
 DEFLECTION MEETS L/480.00 LIVE AND L/360.00 TOTAL LOAD.
 TRUSS MUST BE INSTALLED AS SHOWN WITH TOP CHORD UP.

Repair Problem: THE TOP CHORD HAS A NAIVE MOON NOTCH, 1/2" DEEP, IN THE TOP
REPAIR SOLUTION: GIRD DS SHOWN.
 NONE REQUIRED.



LEFT JIG = 11'4"12
 DESC. = FT16
 PLT. TYP. - WAVE ← TPI95

TPI (STD) QTY = 1 TOTAL = 1

RIGHT JIG = 11'4"12
 DESC = 30925
 SCALE = 0.6779

ST. LUCIE TRUSS CORP.
 10331 LEWIS ROAD
 FT. ST. LUCIE, FL. 34952
 PHONE (861) 335-3207
 FAX (861) 335-3205

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING, AND BRACING. REFER TO HIB-91 (HANDLING, INSTALLING AND BRACING) PUBLISHED BY TPI TRUSS AND BRACING INSTITUTE. SEE 0.0009 FOR SUITE 200. PROVISION #1 537.19 FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANKS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING SPECIFICATIONS PUBLISHED BY THE AMERICAN FOREST AND PRODUCTS ASSOCIATION (AF&PA) AND TPI. ALPINE CONNECTORS ARE MADE OF 2008 ALUMINUM OR ALUMINUM ALLOY. EXCEPT AS NOTED, APPLY CONNECTORS TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED OR INDICATED, POSITION CONNECTORS PER DRAWINGS. 160 A-2. THE SEAL ON THIS DRAWING INDICATES THIS DESIGN OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR TRUSS COMPONENT DESIGN SPAN. THE SOLE LIABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1-1995 SECTION 2.

REV.	DATE	BY	DESCRIPTION
19.009	01-03-2000	BART HENRY	DESIGNED BY
1.00			150800

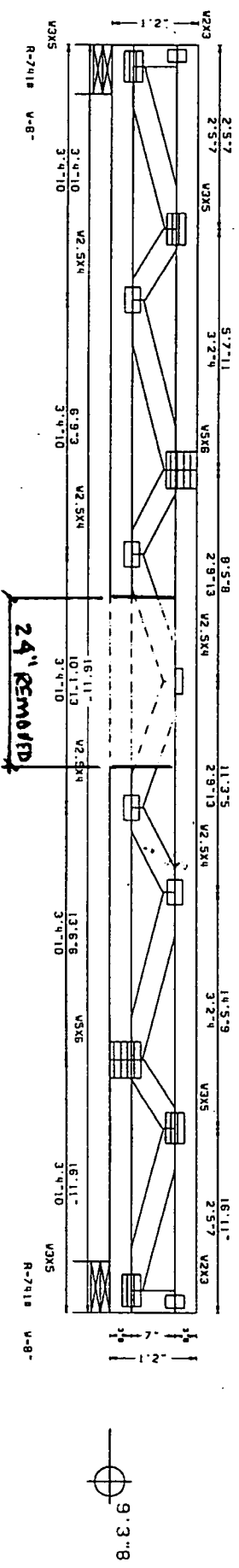
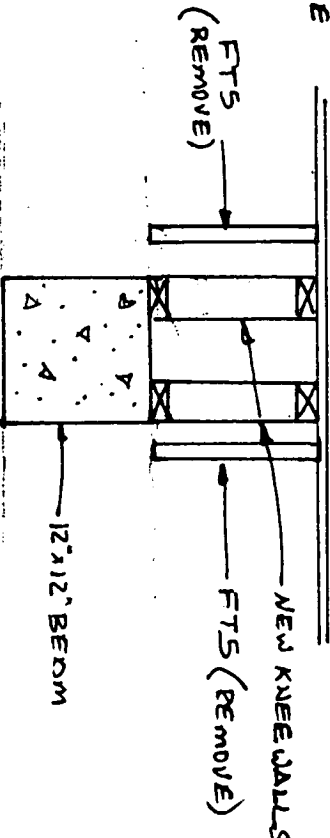
TOP CHORD 2x4 SP #2
 BOT CHORD 2x4 SP #2
 WEBS 2x4 SP #3

TRUSS MUST BE INSTALLED AS SHOWN WITH TOP CHORD UP.

Repair Problem: THE CENTER 24" OF THE TRUSS, EXCLUDING THE TOP CHORD, WAS REMOVED TO ALL FOR AN A/C DUCT.

Repair Solution: THIS TRUSS CANNOT BE REPAIRED. THIS CONDITION EXISTS IN TWO TRUSSES WHICH EXIST ON EACH SIDE OF A 12"x12" CONCRETE BEAM. IT IS RECOMMENDED THAT A KNEE WALL BE BUILT ON EACH EXTERIOR EDGE OF THIS BEAM TO CARRY THE UPPER PLYWOOD DECK. TO FACILITATE THE INSTALLATION OF THE KNEE WALLS, THE TWO DAMAGED FTS TRUSSES MAY BE REMOVED.

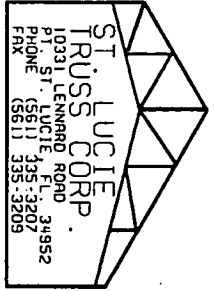
DEFLECTION MEETS L/480.00 LIVE AND L/360.00 TOTAL LOAD.



LEFT JIG = 16'11"8
 DESC. = FTS
 P.L.T. TYP. - WAVE+TP195

QTY = 28 TOTAL = 28

RIGHT JIG = 16'11"8
 SEQ = 30416
 SCALE = 0.4380



ST. LUCIE TRUSS CORP.
 10331 LENWOOD ROAD
 P.O. BOX 129
 PHONE (861) 333-3205
 FAX (861) 333-3205

WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIB-91 (INCLUDING AND BRACING) PUBLISHED BY TPI TRUSSES AND BRACING. 583 O. ONDOPATTO OR, SUITE 200, HOUSTON, TX 77061-1200. FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONDITIONS WITH APPLICABLE PROVISIONS OF NDS. (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. REPLY TO CONNECTIONS ARE MADE OF ZIGR ASH 8653 GRID GALV. STEEL. FACE BESS NOTED AT ALL CONNECTIONS TO EACH FACE OF A TRUSS AND UNLESS OTHERWISE INDICATED. RECEPTACLE OF PROPOSED END USE OF TRUSSES AND USE OF TRUSSES IN CONNECTION BUILDING DESIGN SHOW THE SUITABILITY AND USE OF TRUSSES IN CONNECTION BUILDING DESIGN SHOW THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER ANS/TP 1-1995 SECTION 2.

REV.	DATE	BY	SCALE
19.0-9	06-29-1999	JOHN LRI	0.4380

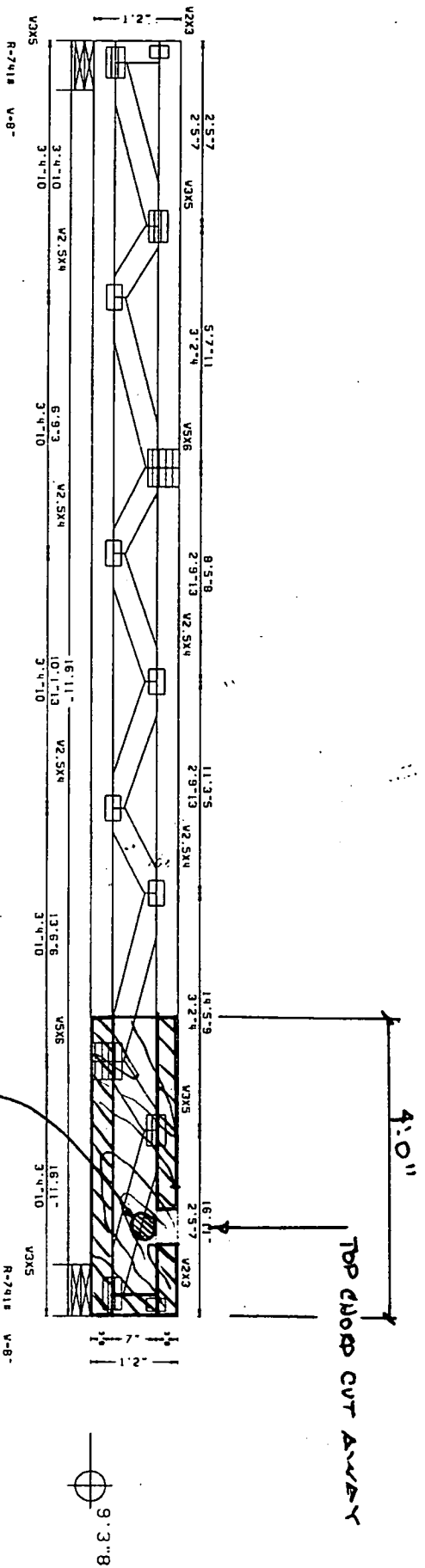
TOP CHORD 2x4 SP #2
 BOT CHORD 2x4 SP #2
 WEBS 2x4 SP #3

TRUSS MUST BE INSTALLED AS SHOWN WITH TOP CHORD UP.

TRUSSES TO BE SPACED AT 19.1" OC MAXIMUM.
 DEFLECTION MEETS L/480.00 LIVE AND L/360.00 TOTAL LOAD.

Repair Problem: The top chord was totally cut away to allow for a P.V.C. Down Pipe.
Repair Solution: Same as specified for FTSAR

Handwritten signature

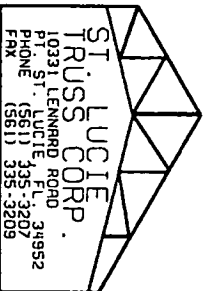


LEFT JIG = 16.11"8
 DESC = FTS
 P.L. TYP. - WAVE+TPI95

OTY = 28 TOTAL = 28

RIGHT JIG = 16.11"8
 REV. 19.009 SCALE = 0.4360

4" DIA. HOLE IN THE
 PLWOOD GUSSET



STRUSS LUCIE TRUSS CORP.
 1033 LEMMON ROAD, 34952
 PHONE: (561) 335-3287
 FAX: (561) 335-3209



REV.	DATE	BY	DESCRIPTION
1	06-29-1999	JOHN LRAI	DESIGNED BY:
2			161100

TOP CHORD	2x4	SP #2
BOT CHORD	2x4	SP #2
WEBS	2x4	SP #3

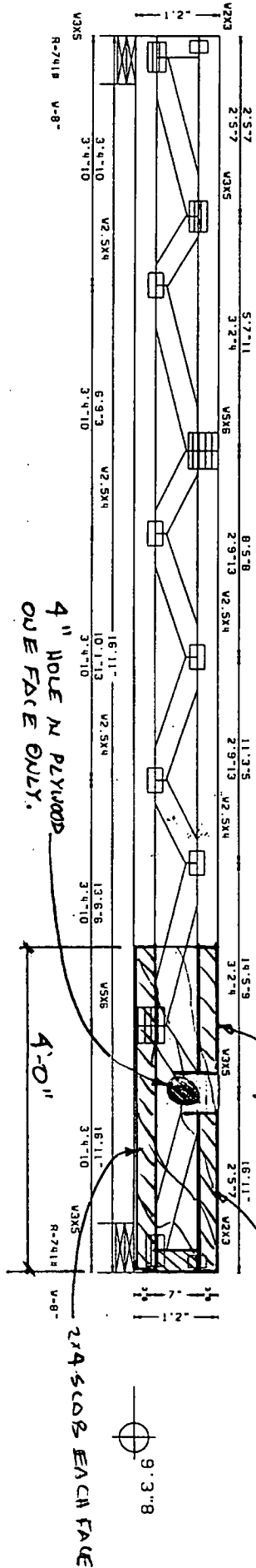
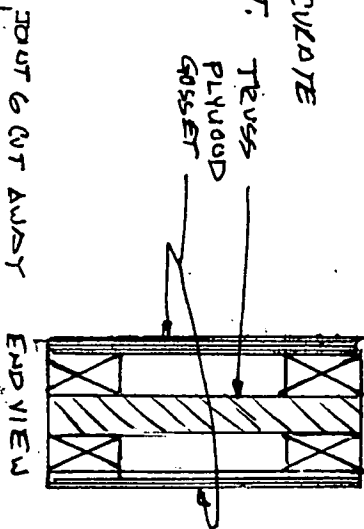
TRUSS MUST BE INSTALLED AS SHOWN WITH TOP CHORD UP.

* 2X6 CONTINUOUS STRONGBACK. SEE H18-91 SECTION 13.2.3.2.
 TRUSSES TO BE SPACED AT 19.1" OC MAXIMUM.
 DEFLECTION MEETS L/480.00 LIVE AND L/360.00 TOTAL LOAD.

Repair Problem: TOP CHORD AND WEB JOINT WDS CUT COMPLETELY AWAY TO ALLOW FOR A 4" DIA. DRAIN PIPE.

Repair Solution: 1) PACK OUT THE TOP AND BOTTOM CHORDS 1/2" BY SCABBING EACH FACE WITH 2x4 #2H F NAILED 4" O.C. WITH 12d NAILS.
 2) ON EACH FACE, INSTALL A 3/4" B-L PLYWOOD GUSSET, 4'-0" X FULL DEPTH, NAILED TO THE SCABS USING 8d NAILS 2 1/2" O.C., STaggered.

Note: COORDINATE THIS REPAIR WITH THE PLUMBER SO THAT AN ACCURATE HOLE CAN BE CUT THROUGH ONE FACE OF THE PLYWOOD GUSSET.

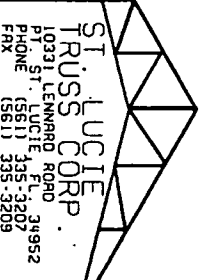


LEFT JIG = 16'11"8
 DESC. = FT5
 PLOT. TYP. = WAVE+TPI95

TPI (STD)

OITY = 28 TOTAL = 28

RIGHT JIG = 16'11"8
 SEQ = 30416
 SCALE = 0.4360



WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO H18-91 (HEND. INC. INST. 503 D. ONFRIO OR. SUITE 300, AROSD. V1919) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. DESIGN: ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 2024 ALSTH BESS CR40 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 150 A-Z. THE SEAL ON THIS DRAWING INDICATED DEFLECTION OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR ANY PARTICULAR BUILDING DESIGN SHOWN. THE SUSTAINABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER ANSI/TPI 1.1995 SECTION 2.



REV.	19.009	SCALE	0.4360
LL	40.0	PSF	
DL	10.0	PSF	
COL	5.0	PSF	
LL	0.0	PSF	
LD.	55.0	PSF	
OUR. FAC.	1.00		
SPACING	19.1"		
TYPE	FLAT		
REF			
DATE	06-29-1999		
DESIGNED BY:	JOHN LAI		
	161100		

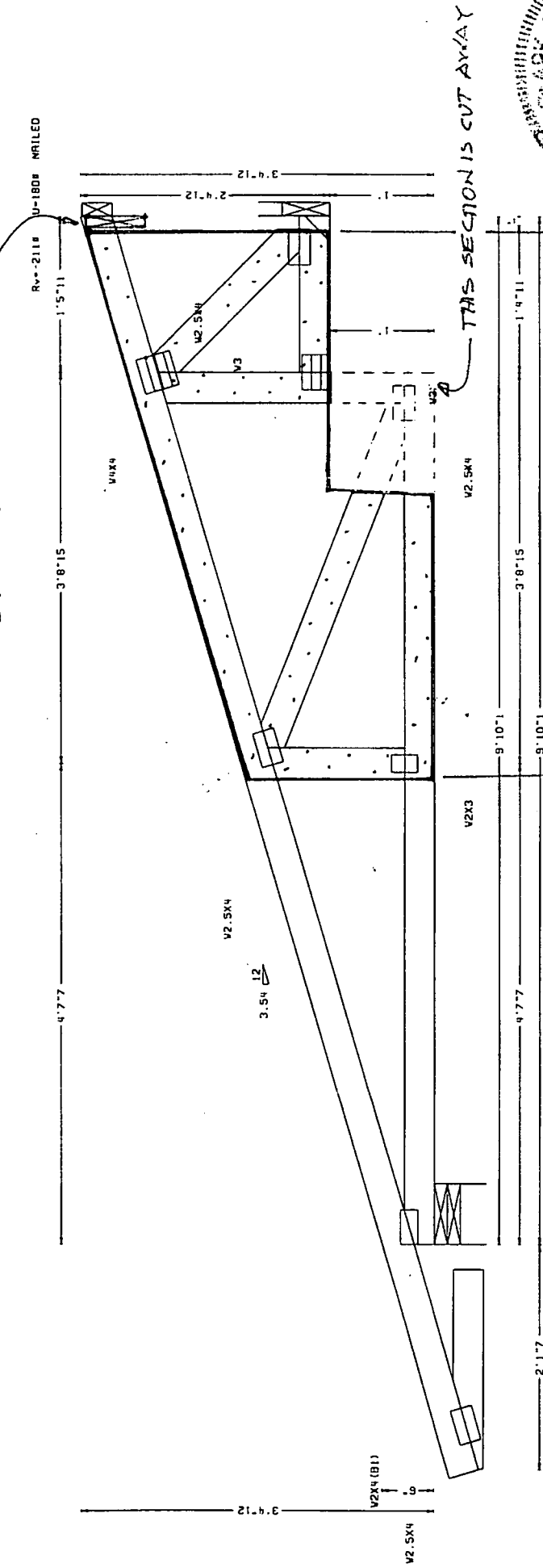
Job: (11610) STEVE CONWAY DEGIOIA / HJ7B THIS DWG. PREPARED BY THE ALPINE JOB DESIGNER PROGRAM FROM TRUSS MFR.'S LAYOUT

TOP CHORD 2x4 SP #2 140 MPH WIND, 24.13 FT MEAN HGT, SBC
 BOT CHORD 2x4 SP #2 ENCLOSED BLDG, LOCATED ANYWHERE IN ROOF,
 WEBS 2x4 SP #3 :W3 2x4 SP #2 Dense: WIND TC DL = 5.0 PSF, WIND BC DL = 5.0 PSF.

DEFLECTION MEETS L/360.00 LIVE AND L/240.00 TOTAL LOAD.

Handwritten initials

CUT TOP CHORD BACK 2 1/8" TO ALLOW THE 2x8 SCAB ON E10 TO PASS BY



REV. 19.009 SCALE = 1/8" = 1'-0"

DESIGNED BY: JOHN LAI
 DATE: 07-08-1999
 No. 17455 STATE OF ARIZONA
 No. 83479 No. 6376

REV. 19.009 SCALE = 1/8" = 1'-0"
 QTY = 1 TOTAL = 1
 TPI (STD)
 20.0 PSF REF
 15.0 PSF DL
 10.0 PSF BCEDL
 0.0 PSF BCFL
 45.0 PSF TOT. LO.
 1.25 SUR.FAC.
 see above SPACING TYPE spec

ST LUCIE TRUSS CORP.
 10331 LENNARD ROAD
 FT. ST. LUCIE, FL 34952
 PHONE (561) 335-3207
 FAX (561) 335-3209

WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIB-91 (HANDLING AND BRACING) AND TPI (INSTALLING AND BRACING) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE), 589 DUNDRAFF DR., SUITE 200, MADISON, WI 53719. FOR SAFETY PRACTICES PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID BRACING. ENGINEERS AND ARCHITECTS SHALL BE RESPONSIBLE FOR ANY DEFERRED BRACING FROM THIS DESIGN. ENGINEERS AND ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN OF TRUSSES WITH APPLICABLE PROVISIONS OF AISC (NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTORS) AND TPI ALPINE CONNECTORS ARE MADE OF 2008 ASTM A53 GR50 GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 160 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THIS COMPONENT INDICATED DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI J-1995 SECTION 2.

FLUE SYSTEM

7" Two-Wall 'DV' System

SPECIFICATIONS:

- 7" O.D.
- 4" I.D.
- Minimum Clearance to Combustible Material
 - Horizontal Run: 2" to Pipe Top, 1" to Pipe Sides and Bottom
 - Vertical Run: 1" to All Sides
- Minimum Wall Opening
 - 9-3/8" Wx10-3/8" H for Horizontal Side Wall Installation
 - 9-3/8" Wx 9-3/8" H for Vertical Side Wall Installation
 - 9-3/8" Wx 9-3/8" H for Vertical Roof Installation

MIN./MAX. INSTALLATION HEIGHTS:

- Horizontal Side Wall Installation
 - 20" Maximum Vent Length
 - 20" Maximum Vent Length with One 45° Elbow
- Vertical Side Wall Installation
 - Maximum Horizontal Vent Run is 20 ft.
When The Vertical Vent Rise is 7.5 ft.
(Refer To Installation Manual Side Wall Venting Graph For Alternative Dimensions)
 - Maximum Four 90° Elbows Per System
 - Maximum Two 45° Elbows Per System
- Vertical Roof Installation
 - 40 Ft. Maximum, Reduced with Elbow Use
 - 8 Ft. Minimum
 - Two 45° Elbow Sets Maximum,
8 Ft. Maximum Pipe Between Elbows
 - Two 90° Elbow Sets Maximum,
10 Ft. Maximum Pipe Between Elbows

HORIZONTAL TERMINATION CLEARANCES:

- 12" Minimum Clearance Above Grade Level
- 18" Minimum Clearance To Ventilated Soffit
- 12" Minimum Clearance To Unventilated Soffit
- 18" Minimum Clearance Under Porch, Deck or Balcony
- 6" Minimum Clearance Adjacent or Parallel Walls

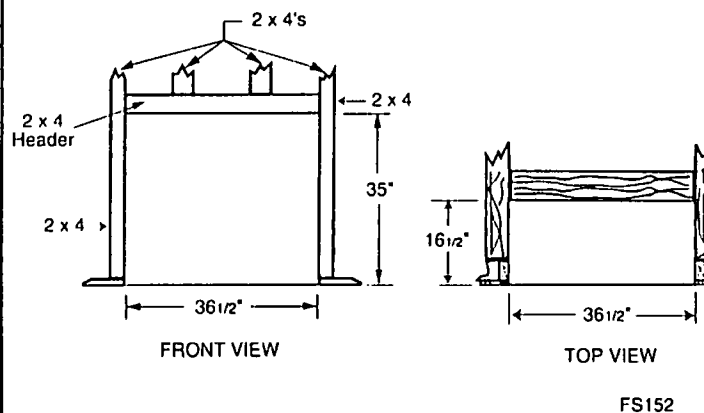
PRODUCT LISTING

FIREPLACE/DV VENT:

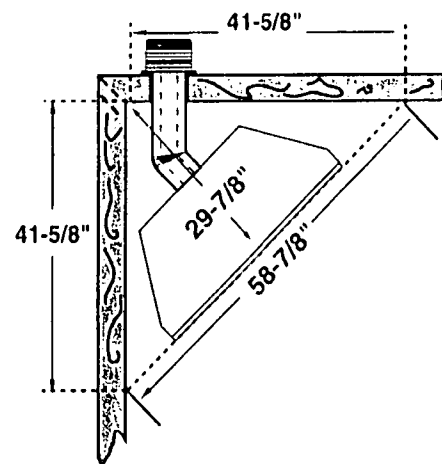
- ANSI Z21.50b-1998 / CGA 2.22b-M98 Vented Gas Fireplace
- The Installation Must Conform With Local Codes or, In The Absence of Local Codes, With The National Fuel Gas Codes, ANSI Z223.1 - latest edition, or CAN 1B1-149.1 and .2 installation Code.

Autumn Moon Fireplaces
10207 SE Lennard Rd.
Port St. Lucie, FL 34952

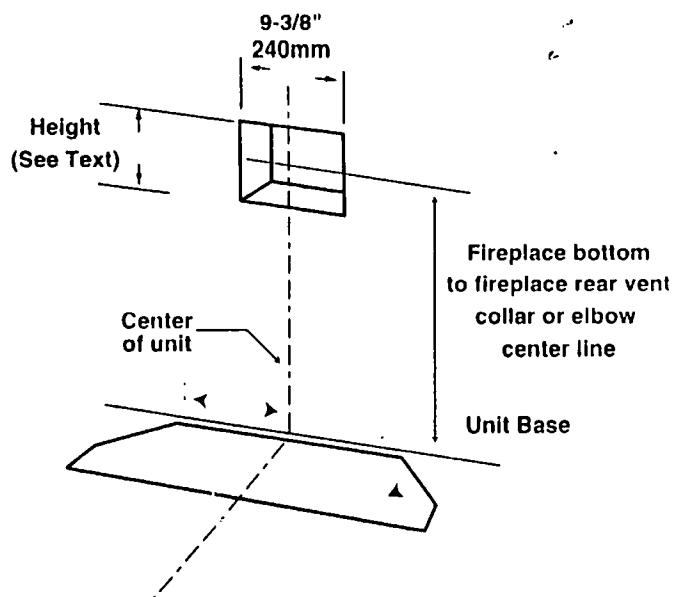
MINIMUM FRAMING DIMENSIONS



MINIMUM CROSS-CORNER DIMENSIONS



STANDARD THROUGH THE WALL FRAMING DIMENSIONS



STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
561-~~XXX~~283-1822
~~XXXXXXXXXXXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

APRIL 9, 1999

TOWN OF SEWALLS POINT
BUILDING DEPT.

ATTENTION: MR. P. COLLINS
IIL BUILDING INDUSTRY SERVICES

RE: MR. & MRS SAM DEGIOIA
LOT # 1 INDIAN RIVER HAMMOCKS

cc: STEPHEN P. CONWAY CONTRACTOR FAX 561 220 8601
MR. SAM DEGIOIA

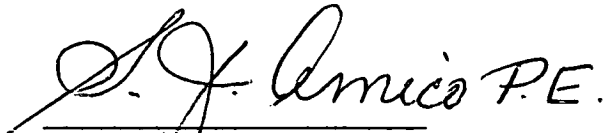
DEAR MR. COLLINS:

PLEASE BE ADVISED, THAT WE WILL COMPLY WITH YOUR
REQUIREMENTS, ATTACHED.

UPON COMPLETION, A "AS BUILT" PLAN WILL INDICATE
THE ITEMS OF CONCERN.

CERTIFICATION OF COMPLIANCE CAN BE RECORDED.

Very truly yours,


S.J. AMICO C.E. P.E.

STATE OF NEW YORK P.E. NO. 30249
 TAMARACK ESTATES
 2011 CROMPOND RD.
 CORTLANDT MANNER,
 NEW YORK 10566
 914-737-2928

STATE OF FLORIDA P.E. NO. 25140
 WALTON MANNER
 1163 EAST 14TH ST.
 STUART, FL 34994
 407-283-1822
~~XXXXXXXXXXXX~~
 BEEPER: 407-936-3150
 FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

JUNE 15, 1999

SEWALLS POINT BLDG. DEPT.

ATTENTION: MR. ARNOLD BLDG. INSPECTOR

RE: SAM DEGIOIA RESIDENCE
 STEVE CONWAY CONTRACTOR
 B & K MARINE SUB-CONTRACTOR
 PILE DRIVING

DEAR MR. ARNOLD:

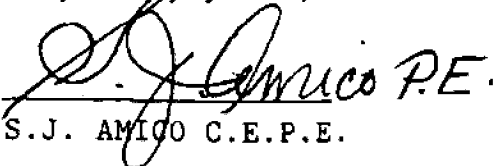
WE APOLOGIZE FOR DELIVERING THIS INFORMATION TO YOUR OFFICE, AFTER THE FACT. HOWEVER, DURING MY ABSENCE STEVE CONWAY WORKED WITH B & K MARINE AND RECORDED THE FOLLOWING:

- 1: WEIGHT OF HAMMER= 4000 lbs.
- 2: HEIGHT OF FALL = 10' to 14'
- 3: BLOWS PER INCH DRIVEN = 17-18
- 4: TWO TEST PILES WERE 24' in leads reaching required blows at elevation minus 16'
- 5: ALL OTHER PILES WERE 18' in leads, requiring 18" CUT-OFF plus or minus, again tip of piles are at minus 16'

ON 4-21-99 TEST PILES M1 & B2 were driving N.E. & S.E.
 ON 4-22-99 M5, L1, L2, L3, H5, J1, J2, & J3
 ON 4-23-99 F2, I1, I2, E1, E2, B1, & C3
 ON 4-26-99 POOL PILES P1 thru P9
 ON 4-27-99 K1, K2, M2, K3, H2, H1, G1, H3, K4, H4, F1,
 ON 4-28-99 G2, G3, D1, D2, D3, M3, M4, C1, C2, A1, A2,
 A3, A4, A5.

A TOTAL OF 42 PILES FOR HOME AND 9 FOR THE POOL. PILES FOR THE HOME HAVE A "CUT-OFF" ELEVATION PER PLAN AS 0.50' TOP OF GRADE BEAM AT ELEVATION 2.0' UPON MY RETURN, THE FINISH BASEMENT ELEVATION WAS PROPOSED TO BE RAISED ONE FOOT. SEE FIELD CHANGE LETTER. "CERTIFICATION OF COMPLIANCE" CAN BE RECORDED.

Very truly yours,


 S.J. AMICO C.E.P.E.

cc: DEGIOIA
 CONWAY

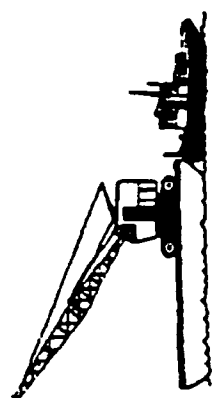
files ----- WITH MY RETURN PICTUES HAVE BE TAKEN

PROPOSAL/CONTRACT

B. K. Marine Construction, Inc.

- DOCKS & SEAWALLS
- REPAIRS OF ALL KINDS
- PILING WORK
- Wood-Concrete

CGC032700
 STATE LICENSED MARINE CONTRACTORS
 4197 SELVITZ ROAD
 FORT PIERCE, FLORIDA 34981
 OFFICE 561-464-5123 • FAX 561-468-6629



PROPOSAL SUBMITTED TO: _____
DESCRIPTION OF JOB: _____

PROPOSAL SUBMITTED TO: _____
DESCRIPTION OF JOB: _____

_____ JOB Florida Residence
 _____ ADDRESS Lot 7 Indian River Hammocks
 _____ CITY Seawalls Point STATE Florida
 _____ DATE March 30, 1999 PAGE NO. 1 OF 1 PAGES

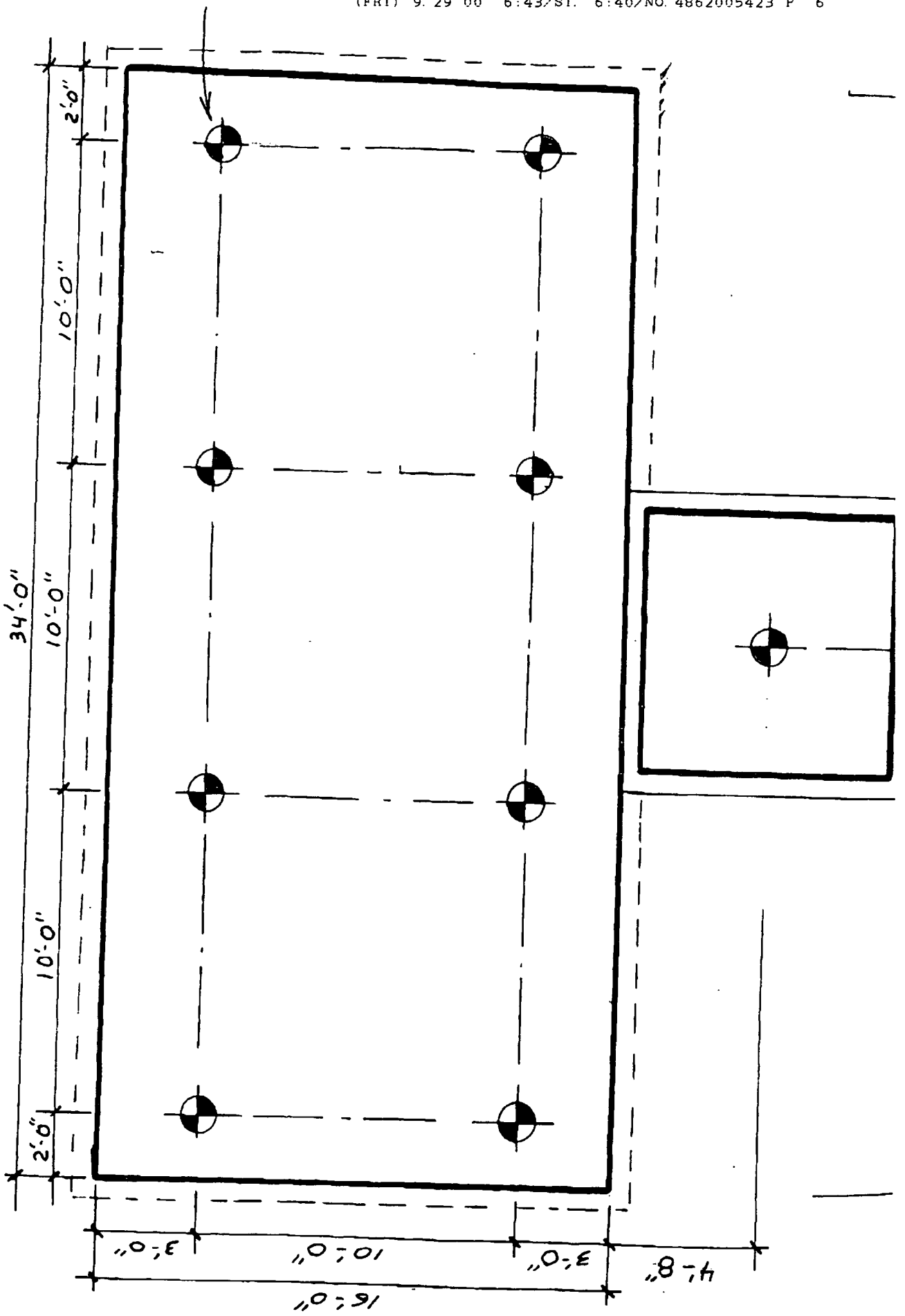
_____ Sheldon E. Conroy Contractor
 _____ 5471 S. E. Reef Way
 _____ Stuart, Florida 34997

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR: We propose to furnish labor, materials and equipment to perform the following:

1. 50 pss. 12" x 12" x 20' prestress concrete piling (10 for root included)
2. Additional and/or longer piling @ \$12.00/L'
3. Engineering for load test, log, and layout by others
4. Adequate road access will be provided
5. B. K. Marine Construction, Inc. to be held harmless for claims of noise, vibration damage, pollution, etc.
6. Engineering News Formita for pile load will be used on the job
7. Loading and removal of bunks are included from this contract
8. Pile delivered length
9. Mobilization/demobilization included
10. Pile cut-off not included - add \$30.00 each
11. Price includes two (2) 12" x 12" x 24' test pile

Handwritten notes:
 PR
 3-3-99
 LA 2025

12
R 9 x 3
B 4



STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~407-283-3778~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

PERMIT FILE
DEC 28 8/2/99

JULY 27, 1999

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

ATTENTION: EDWIN B. ARNOLD AIA, CBO

RE: PERMIT # 4589
SAM DEGIOIA
128 No. SEWALL'S POINT ROAD

POURED COLUMN REPLACEMENT

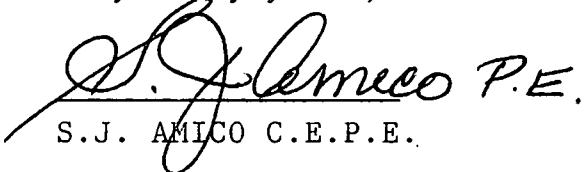
DEAR MR. ARNOLD:

THE CONTRACTOR AND OR THE SUB-CONTRACTOR WERE IN ERROR BY NOT NOTIFYING YOUR OFFICE, THAT A COLUMN OUT OF ALIGNMENT, WAS RE-POURED WITH THE TIE-BEAM.

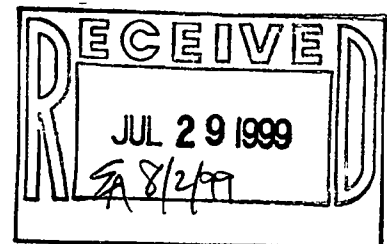
THE N.W. COLUMN OF THE GARAGE WAS REMOVED AND THE STEEL WAS DRILLED AND GROUTED. I WAS PRESENT AT THE TIME THIS WORK WAS DONE (during my own inspectios). PICTURES WERE TAKEN AND WHEN DEVELOPED, I WILL PROVIDE YOU ONE FOR YOUR RECORDS.

THE CONTRACTOR HAS BEEN INFORMED TO COMPLY WITH YOUR OFFICE REQUIREMENTS.

Very truly yours,


S.J. AMICO C.E.P.E.

cc: COLLINS
DEGIOIA
files



STATE OF NEW YORK P.E. NO. 30249
MARACK ESTATES
11 CROMPOND RD.
PORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~XXXXXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

SEPTEMBER 13, 1999

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALLS POINT ROAD
SEWALLS POINT, FLORIDA

ATTENTION: EDWIN B. ARNOLD AIA CBO

RE: PERMIT # 4589
SAM DEGIOIA
128 SEWALLS POINT ROAD

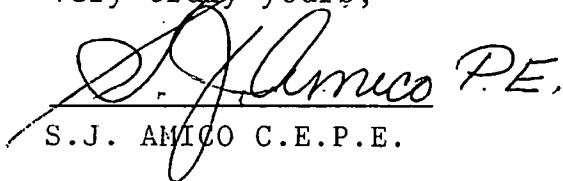
FIELD CHANE # 5 & 6

DEAR MR. ARNOLD:

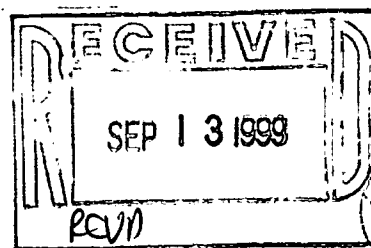
ATTACHED PLEASE FIND REVISED SHEET # E-4.
FIELD CHANGE: #5 FINALIZES WINDOWS AND DOOR SCHEDULE
FOR THE BASEMENT AREA.

FIELD CHANGE # 6 ATTACHED PLEASE FIND SHEET # E-6-R
WHICH REDESIGNS FRONT ENTRY STAIRCASE.

Very truly yours,


S.J. AMICO C.E.P.E.

cc: DEGIOIA
CONWAY
files



3cc: E-4
E-6R

measured from the surface of the highest habitable floor that is at or below the maximum elevation for the lowest habitable floor that is permitted under subsection 2.b above, to the highest point on the roof.

(2) Other lots. On other lots the building height shall be measured from the surface of the lowest habitable floor to the highest point on the roof.

b. Within V-Zones. For buildings on lots where any portion of the building is in a V-Zone, the building height shall not exceed forty (40) feet (N.G.V.D.) measured at the highest point on the roof.

4. Survey. Before the appropriate town official may issue a development permit, a development permit applicant must provide the building department with a boundary and topographic survey signed and sealed by an appropriately licensed professional demonstrating that the proposed new construction or substantial improvement meets the requirements of this section.
5. Applicability. This section shall apply to all new construction and substantial improvement where the development permit application is filed after the effective date of this ordinance. (Ord. No. 215, 3-11-92)

C. Wall Limitations:

1. No garden or court wall, when attached to a building, shall be erected to a height in excess of seven (7) feet.
2. ~~All walls, fences, hedges or other enclosures, outside of building lines, shall not be over five (5) feet in height from the front line of property back to the front building line,~~ and not more than seven (7) feet in height elsewhere, measured on both sides of the wall, fence, hedge or other enclosure from the finished grade of the lot, except that where the front or rear property line borders on a bay or canal, wall, fence or hedge heights shall be maintained at not in excess of three (3) feet above the finished grade of the lot or bulkhead, back to

TOWN OF SEWALL'S POINT

IIL BUILDING INDUSTRY SERVICES

Date: 4/7/99 FAX
220-8601
To: S. CONWAY Fax: _____

The building permit for property located at LOT 1, INDIAN RIVER HAMMOCK
has been denied for the following reasons:

1. ENTRY GATE INCLUDING COLUMNS EXCEED THE MAXIMUM
ALLOWABLE HEIGHT OF 5'0" PER SECT. ~~51~~ 2.
(SEE ATTACHMENT)

2. ~~PAY PLAN REVIEW FEE OF \$908.00~~

ALSO PROVIDES THE FOLLOWING:

- 1. STORM SHUTTERS OR ENSURE WINDOWS/DOORS ARE DESIGNED
TO MEET WIND LOADS PER SFBC SECT. 3513.1
- 2. PROVIDE SPIRAL STAIR DETAIL SHEET PRIOR TO INSPECTION OF SAME.
- 3. UNDERSTAIR 5/8" DRYWALL TO BE TYPE-X FIRE RATED.
- 4. JET TUB MOTOR TO BE GFI PROTECTED.
- 5. SHOW METHOD OF ROOF VENTILATION

4/7/99 # 4589
READY TO ISSUE
WHEN (F1) DELETED FROM
PLANS BY MEMO AND # -1, 3
4+5 ARE ADDRESSED -
[Signature]

NOTE:

1. POOL & POOL DECK NOT INCLUDED WITH THIS PERMIT.

[Signature]

ROBERT M. WIENKE
Mayor

MARC S. TEPLITZ
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

THOMAS P. BAUSCH
Commissioner

E. DANIEL MORRIS
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCarthy
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

COPY

CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER: SAM DE GIOIA ; PROPERTY ADDRESS: 130 N. SEWALL'S POINT RD.

LEGAL DESCRIPTION: LOT 1 BLOCK _____ SUBDIVISION INDIAN RIVER HAMMOCKS

GENERAL CONTRACTOR: STEPHEN P. CONWAY ; LIC/CERT NO. CRC 053742

ADDRESS: 1 RIVER CREEK CT., SEWALL'S POINT ; TEL 220-0064 ; FAX 220-8601

ARCHITECT OR ENGINEER: SALVATORE J. AMICO, P.E. ; LIC/REG. NO. 25140

ADDRESS: 1163 E. 14TH ST., STUART, FL. ; TEL 283-1822 ; FAX 220-6806

PERMIT NO: 4589 ; DATE OF ISSUE: 4/7/99 ; RENEWAL PERMIT NO: _____ ; DATE OF ISSUE: _____

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 31ST day of MAY, 2000.

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point

CC: TOWN CLERK
CHIEF OF POLICE
BLOG. FILE.

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 425,000⁰⁰/_{xx}.

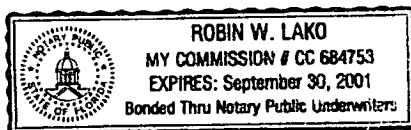
4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

San De Dizio
Affiant
Property street address: -
130 NORTH SEWALL'S PT. ROAD
SEWALL'S PT., FL 34996

Sworn to and subscribed
before me this 26th day of
May 2000, 192000

Robin W Lako
Notary Public Robin W. LAKO
STATE OF FLORIDA AT LARGE
My Commission Expires: 9/30/01

(NOTARY SEAL)



STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
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CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~XXXXXXXXXXXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

JUNE 21, 1999

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT FLORIDA 34996

ATTENTION: EDWIN B. ARNOLD, AIA, CBO

RE: SAM DEGIOIA
LOT #1 HAMMOCKS

{ 128 N. SEWALL'S POINT ROAD
P.O. 4589

FIELD CHANGE # 1
RAISE BASEMENT ELEV. TO 4'

DEAR MR. ARNOLD:

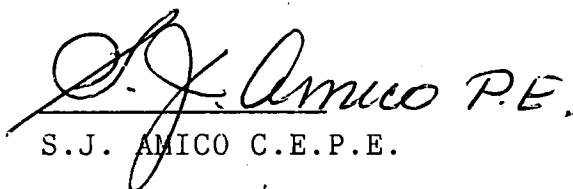
ON JUNE 4th A SITE INSPECTION WAS MADE WITH CON-
TRACTOR, STEVE CONWAY, THE OWNER MR DEGIOIA REQUESTED
THAT THE BUILDING BE RAISED ONE FOOT.

ON JUNE 7th A DETAIL WAS GIVEN TO MR. CONWAY, WITH
A COPY FORWARD TO YOUR OFFICE.

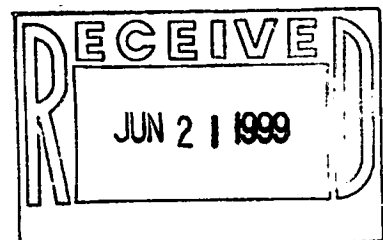
THE "BREAK-A-WAY" DESIGN INDICATED ON THE APPROVED
PLANS, INDICATED THAT THE "BREAK-A-AWAY" OCCURRED AT ELEV.
3.0'. THE DETAIL PROPOSED NOW CREATES A SECONDARY POINT OF
"BREAK-A-AWAY" (SHOULD A STORM OF GREAT INTENSITY OCCUR)
ELEVATION 4.0 AND 2.0.

WE AWAIT YOUR APPROVAL FOR THIS CHANGE.

Very truly yours,


S.J. AMICO C.E.P.E.

cc: CONWAY
DEGIOIA
files



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914-737-2928

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1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~FAX 407-283-1822~~
~~407-283-1822~~
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

FEBRUARY 18, 2000

TOWN OF SEAWALLS POINT
ONE SEAWALLS POINT ROAD
SEAWALLS POINT, FLA. 34996

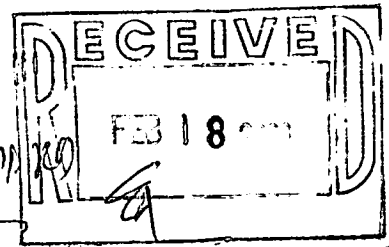
ATTENTION: EDWIN B ARNOLD AIA CBO

RE: DEGIOIA

PERMIT # 4589

BASEMENT CEILING

130 P. SEAWALLS PT



FILE

DEAR MR. ARNOLD:

ON JANUARY 24th I NOTIFIED YOU THAT THE FINISH
BASEMENT CEILING WOULD COMPLETE THE ENVELOPE DESIGN.

PLEASE BE ADVISED THAT 5/8" PLYWOOD CEILINGS
ARE BEING INSTALLED AS OF THIS DATE.

THE GARAGE AND NORTHERN SECTIONS HAVE BEEN COM-
PLETED. THE GARAGE CEILING HAS ALSO BEEN COVERED WITH 1/2"
DRYWALL FINISH. (PICTURE ENCLOSED OF PLYWOOD FINISH)

NOT REVD (NOT REQ - VERLAGO)

Very truly yours,

S.J. AMICO C.E.P.E.

cc: DEGIOIA
CONWAY
files

STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~FAX XXX XXX XX XXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

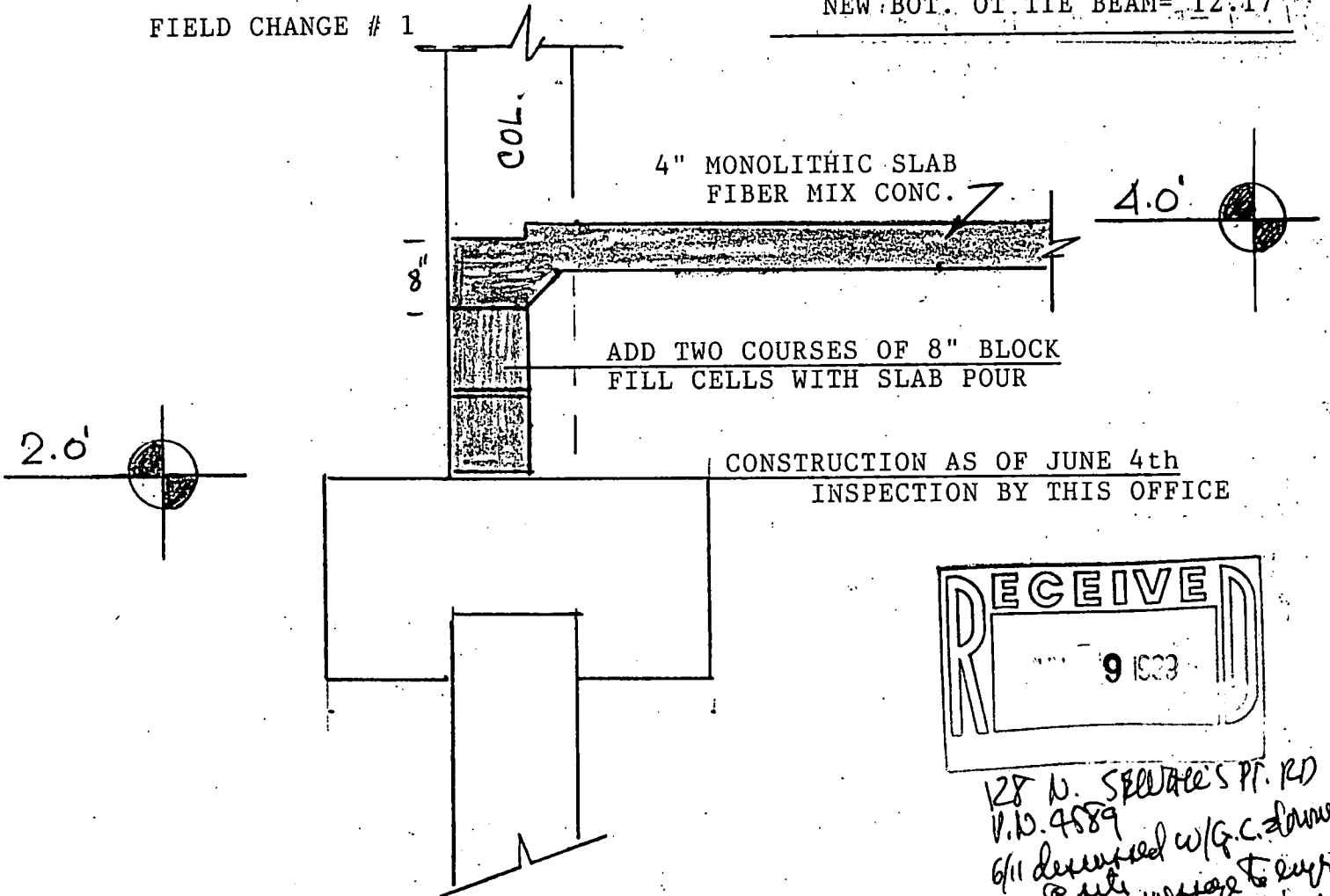
JUNE 7, 1999

RESIDENCE OF MR. & MRS SAM DEGIOIA

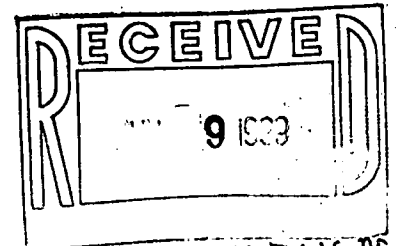
FIELD CHANGE # 1

128 N. SEWELL'S POINT RD
P.O. 4589

NEW BOT. OF TIE BEAM = 12.17'



CONSTRUCTION AS OF JUNE 4th
INSPECTION BY THIS OFFICE



128 N. SEWELL'S PT. RD
P.O. 4589
6/11 discussed w/G.C. owner
@ site
- call w/ message to evr.
Q. breakaway; load on
structure.
6/21/99 R.C.D. - refer to
letter from engineer

- 1: POUR 12" X 12" COLUMNS TO ELEV 12.17
- 2: LAY TWO COURSES OF CONC BLOCK
- 3: FILL AND COMPACT SLAB FILL & exterior perimeter
- 4: FORM AND POUR BASEMENT SLAB AT ELEV. 4.0'
- 5: NOTE GARAGE FLOOR TO PITCH 6" (4.0 to 3.5 exterior new grade)
- 6: POUR TIE BEAMS

Very truly yours,

S. J. Amico P.E.
S.J. AMICO C.E.P.E.

LOT FILE
(w/attach)

STATE OF NEW YORK P.E. NO. 30249
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NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
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407-283-1822
~~XXXXXXXXXXXX~~
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Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

JUNE 15, 1999

SEWALLS POINT BLDG. DEPT.

ATTENTION: MR. ARNOLD BLDG. INSPECTOR

RE: SAM DEGIOIA RESIDENCE
STEVE CONWAY CONTRACTOR
B & K MARINE SUB-CONTRACTOR
PILE DRIVING

DEAR MR. ARNOLD:

WE APOLOGIZE FOR DELIVERING THIS INFORMATION TO YOUR OFFICE, AFTER THE FACT. HOWEVER, DURING MY ABSENCE STEVE CONWAY WORKED WITH B & K MARINE AND RECORDED THE FOLLOWING:

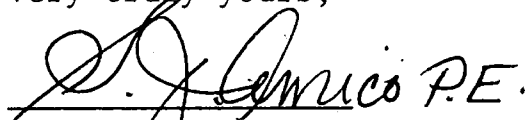
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- 2: HEIGHT OF FALL = 10' to 14'
- 3: BLOWS PER INCH DRIVEN... = 17-18
- 4: TWO TEST PILES WERE 24' in leads reaching required blows at elevation minus 16'
- 5: ALL OTHER PILES WERE 18' in leads, requiring 18" CUT-OFF plus or minus, again tip of piles are at minus 16'

ON 4-21-99 TEST PILES M1 & B2 were driving N.E. & S.E.
ON 4-22-99 M5, L1, L2, L3, H5, J1, J2, & J3
ON 4-23-99 F2, I1, I2, E1, E2, B1, & C3
ON 4-26-99 POOL PILES P1 thru P9
ON 4-27-99 K1, K2, M2, K3, H2, H1, G1, H3, K4, H4, F1
ON 4-28-99 G2, G3, D1, D2, D3, M3, M4, C1, C2, A1, A2,
A3, A4, A5.

A TOTAL OF 42 PILES FOR HOME AND 9 FOR THE POOL. PILES FOR THE HOME HAVE A "CUT-OFF" ELEVATION PER PLAN AS 0.50'

TOP OF GRADE BEAM AT ELEVATION 2.0' UPON MY RETURN, THE FINISH BASEMENT ELEVATION WAS PROPOSED TO BE RAISED ONE FOOT. SEE FIELD CHANGE LETTER. "CERTIFICATION OF COMPLIANCE" CAN BE RECORDED.

Very truly yours,


S.J. AMICO C.E.P.E.

cc: DEGIOIA
CONWAY

files ----- WITH MY RETURN PICTUES HAVE BE TAKEN



ENGINEER TO PROVIDE
CERTIFICATION OF COMPLIANCE
AS TO RECORDED PILE RECORDS -
✓ OK. FOUND 6/21
(attached)
A
LOT FILE

STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
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BEEPER: 407-936-3150
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Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

JUNE 21, 1999

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

ATTENTION: EDWIN B. ARNOLD AIA, CBO

RE: SAM DEGIOIA
LOT #1 HAMMOCKS
PILE FOUNDATION

{ 128 N. SEWALL'S POINT ROAD
P.O. 4589

DEAR MR. ARNOLD:

ON JUNE 4th I RETURNED TO STUART AND MET ON THE JOB SITE WITH STEVE CONWAY, CONTRACTOR FOR THE ABOVE PROJECT.

WHEN I LEFT STUART IN APRIL, MR. CONWAY, AND B & K MARINE WERE IN CONTRACT TO PERFORM THE PILE DRIVING REQUIREMENTS SET FORTH IN MY DESIGN PLANS.

AS OF JUNE 4th, THE PILES WERE DRIVEN AND THE GRADE BEAMS POURED. PLEASE REFER TO MY PICTURES OF THAT DATE, LEFT IN YOUR OFFICE ON JUNE 17th.

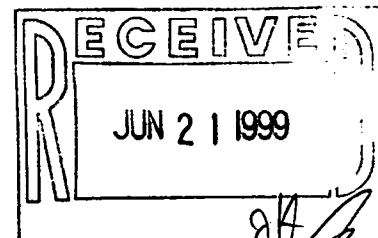
INFORMATION RECEIVED FROM MR. CONWAY, AND MY TELEPHONE CONVERSATION WITH B. & K. MARINE (DICK & ROBERT) OF MONDAY JUNE 7th, WAS COMPILED IN MY LETTER OF JUNE 15th.

THIS INFORMATION AND THE DRIVEN DEPTH OF PILES, SATISFY MY DESIGN REQUIREMENTS. THEREFOR, "CERTIFICATION OF COMPLIANCE" CAN BE RECORDED.

Very truly yours,


S.J. AMICO C.E.P.E.

CC: CONWAY
DEGIOIA
files



STATE OF NEW YORK P.E. NO. 30249
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1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~FAX 407-383-7778~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

AUGUST 7, 1999

TOWN OF SEWALLS'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

ATTENTION : EDWIN B. ARNOLD AIA CBO

Re: PERMIT # 4589
SAM DEGIOIA
123 NO. SEWALL'S POINT ROAD

POURED COLUMN REPLACEMENT
RE: LETTER OF 7-27-99

DEAR MR. ARNOLD:

PLEASE REFER TO MY LETTER OF JULY 27, 1999 REGARDING
COLUMN OUT OF ALIGNMENT.

TWO COLUMNS WERE ACTUALLY REPLACED DUE TO IMPROPER
ALIGNMENT. BOTH WERE DRILLED & GROUTED AND REPOURED WITH
THE TIE-BEAM.

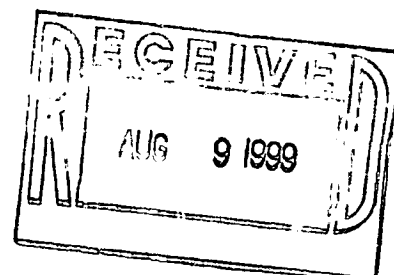
THE ENCLOSED PICTURES WERE TAKEN. "CERTIFICATION OF
COMPLIANCE" CAN BE RECORDED.

THE REAR COLUMN SUPPORTS THE PORCH SECTION ONLY. THE
N.W. GARAGE CORNER WAS THE MOST CRITICAL.

Very truly yours,


S.J. AMICO C.E.P.E.

cc: COLLINS
DEGIOIA
files
encl.



STATE OF NEW YORK P.E. NO. 30249
TAMARACK ESTATES
2011 CROMPOND RD.
CORTLANDT MANNER,
NEW YORK 10566
914-737-2928

STATE OF FLORIDA P.E. NO. 25140
WALTON MANNER
1163 EAST 14TH ST.
STUART, FL 34994
407-283-1822
~~XXXXXX XXXXXX~~
BEEPER: 407-936-3150
FAX 561-220-6816

Design & Engineering Consultant
SALVATORE J. AMICO P.E.
Licensed Professional Engineer

JANUARY 24, 2000

FILE 1/31/00
EA

RECEIVED
JAN 25 2000
BY: _____

TOWN OF SEWALLS POINT
ONE SEWALLS POINT ROAD
SEWALLS POINT, FLORIDA 34996

ATTENTION: EDWIN B. ARNOLD AIA CBO

RE: DEGIOIA PERMIT # 4589 130 W. SEWALLS POINT RD.

DESIGN CRITERIA

DEAR MR. ARNOLD:

THE DEGIOIA RESIDENCE IS NEARING COMPLETION. THE DESIGN " ENVELOPE" FOR THE FIRST FLOOR LIVING AREA, WILL BE COMPLETED BY INSTALLING A FINISH BASEMENT CEILING.

THE HOME HAS BEEN DESIGNED AND QUALIFIED MEETING THE "CODE REQUIREMENTS", WITH THE BASEMENT FLOOR, WHICH CONSISTS OF NON-LIVING SPACES OR GARAGE AND STORAGE, TO BE OPEN. THE " BREAK-AWAY WALLS ARE NOT STRUCTURAL WALLS.

THEREFOR:

- A) ALL WINDOWS AND DOORS LOCATED IN THE "BREAK-AWAY WALLS DO NOT REQUIRE HURRICANE SHUTTERS.
- B) THE GRAGE DOORS DO NOT REQUIRE TO BE QUALIFIED FOR 140 MPH WINDS.

WE AWAIT YOUR RESPONSE.

Very truly yours,

S.J. Amico P.E.
S.J. AMICO C.E.P.E.

cc: DEGIOIA
CONWAY
files

1/27 P/E review w/ Sal - he concurs that 1st fl. framing diaphragm is part of bldg envelope; will address weather of underside of 1st fl. framing (= "basement" ceiling) 5/8" ply THEN: OK for no shutters/140 mph gale.

RECEIVED
JAN 25

door in ground floor "non-occupied area"

1/31 cc to CONWY@SITE

EA

SOUTHEAST ELEVATOR, INC.

905 WAGNER PLACE FT. PIERCE, FL. 34982
PHONE (561) 461-0030 FAX (561) 461-9008

RECEIVED
MAY 30 2000
BY: _____

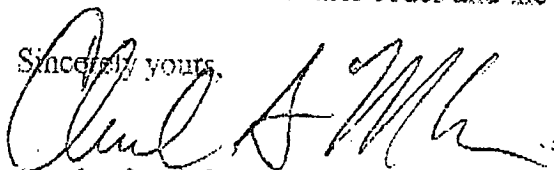
May 26, 2000

Conway Construction
Degioia Residence
130 N. Sewalls Point Rd.
Sewalls Point, FL

Dear Mr. Conway;

The elevator at the above mentioned address will be installed in accordance with all State of Florida residential elevator codes and the FEMA requirements.

Sincerely yours,



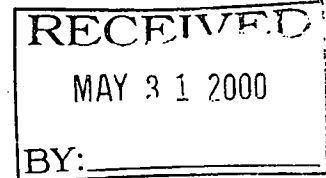
Charles S. McGee
President, Southeast Elevator, Inc.

Stephen P. Conway - State Certified Contractor

One Rivercrest Ct
Stuart, Florida 34996

Phone 220-0064
Fax 220-8601

May 30, 2000




Town of Sewalls Point
Mr. Edwin Arnold
Building Official
One South Sewalls Point Road
Sewalls Point, Florida 34996

Re: 130 North Sewalls Point Road
The DEGIOIA Residence

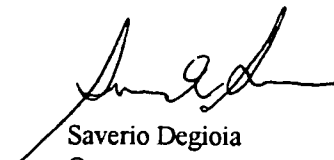
Dear Mr. Arnold,

Per our conversation of 5/30/00 the following represents my understanding of the agreement to allow the Degioia family to occupy the above referenced address. After final inspection on 5/31/00, if all previous punch -out items have been met, the Degioia family can move into this home. I acknowledge that the driveway is incomplete and will be completed as soon as possible. The elevator will be certified via letter after power and appropriate testing has taken place and a final survey will be done showing the as built driveway and all appropriate calculations regarding coverage's as required by the Town of Sewalls Point. The above work will be completed no later than July 15,2000. Thank you for your understanding and help with this matter.


Sincerely,



Stephen P. Conway
Contractor



Saverio Degioia
Owner



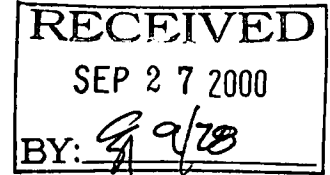
Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIR INSURANCE, INC.



Sam deGioia - 130 N. Sewall's Point Road, Sewall's Point, Fl 34996

September 25, 2000

Town of Sewall's Point
Mr. Edwin Arnold
Building Official
1 South Sewall's Point Road
Sewall's Point, Fl 34996



Re: The deGioia Residence Landscaping
130 N. Sewall's Point Road

9/29/00
FILED INSP/VERIFICATION
[signature]

Dear Mr. Arnold,

Installation of the irrigation well, irrigation system, sod, trees and shrubs has been completed. Enclosed please find a copy of the landscape plan that may be of assistance in your inspection.

Again, I apologize for my initial misunderstanding of the landscaping requirements.

Thank you for your patience and cooperation.

If you have any questions, please feel free to call me at 287-7020, ext. 7492.

Sincerely

Sam de Gioia


NOTICE

DATE

OWNER/CONTRACTOR IS NOTIFIED TO
APPEAR AT THE BUILDING DEPARTMENT UPON READING
THIS NOTICE.

RE: 128 N. SEWALL'S POINT ROAD
P.O. 4589

ARCHITECT/ENGINEER OF RECORD
TO SUBMIT VERIFICATION &
INSPECTION AFFIDAVIT FOR
REPLACEMENT STRUCTURAL COLUMN

7/26/99 
Town of Sewall's Point **BVG**
Building Department **CRH/AL**

This Card To Be Returned To Building Department
cc: S.J. AMICO, P.E.

4903.3(b)(Cont) inspection, service, repair and replacement.

(c) Air handling units installation shall be done in a manner to allow the filter media to be easily accessible.

(e) Equipment shall be secured in such a way as to prevent from movement and to comply with the wind load requirements of Chapter 23.

(f) In installations of unitary equipment, no accessories shall be added to or deleted from the equipment which will invalidate the test by a recognized laboratory, the approval of such agencies shall be done by the Chief Building Code Compliance Officer.

(g) When a component of an existing system is replaced and there has been no problem with the system other than the component being replaced, it shall be replaced with a piece of equipment as near as possible in design and capacity to the piece of equipment being replaced.

4903.4 USED OR SECONDHAND EQUIPMENT: It shall be unlawful to purchase, sell, or install used equipment or material for mechanical installations unless it complies with the minimum standards set forth in the Energy Efficiency Code for Building Construction and other standards set forth in this Code.

4903.5 USE OF EQUIPMENT: All equipment and material shall be installed and utilized in accordance with the manufacturer's recommendations.

4904 AIR CONDITIONING

4904.1 WINDOW TYPE AIR CONDITIONING UNITS: All individual air conditioning units installed in walls or windows shall be securely anchored to the walls by approved methods. Units installed over public property, paths of egress or more than 10 feet above grade shall be secured to the structure by bolts or screws to resist horizontal wind loads. Such units cantilevering more than 8" on the exterior of a building shall be supported by steel angle brackets secured by bolting. Bolts to masonry shall be set in lead shields or similarly corrosion resistant fastenings. Units installed above public property shall have a clearance of 8 feet above the walking surface below the unit. Details of the fastening shall be submitted for approval. Careful consideration shall be taken for the proper disposal of condensate, as described in Chapter 46 of this Code.

4904.2 AIR HANDLING UNITS INSTALLATIONS (H AND I OCCUPANCIES)

(a) CLOSETS IN CONDITIONED AREAS

(1) Space shall be provided adjacent to all mechanical components located in or forming a part of the air distribution system to assure adequate access for construction and sealing, cleaning, maintenance, repair and replacement, as per manufacturer's recommendations and published data.

4904.2(a)

- (2) All penetration of closet walls or ceiling shall be sealed.
- (3) No obstructions shall be allowed for the easily accessible removal of a one piece rigid filter.
- (4) The return for air handlers in closet in Group I Occupancy other than hallway assigned mechanical closet shall be direct ducted from outside the closet.
- (5) There shall be no clothes washers, clothes dryers, combustion water heaters located in mechanical closets used as return air plenums.
- (6) Return air grilles shall not be located in bathrooms, kitchens, garages, utility spaces, space used for storage of fuel or flammable material, or to which combustion air is supplied.
- (7) (aa) Closets for air handling units in Group I and H Occupancies shall be considered return air plenums, unless direct ducted, and shall be used solely for the installation of the air handling unit and or (non combustion) water heater.

(bb) Room or spaces in Group H Occupancy containing air conditioning equipment shall be of non-combustible or limited combustible materials and have a flame spread rating not greater than 25, and a smoke developed rating not greater than 50.
- (8) Air conditioning and air handling installations in Group I Occupancies shall be located and ducted in such manner as to prevent possible carbon monoxide emission in enclosed garages from entering other areas of the building.

(b) **IN CAR GARAGE (new construction)**

- (1) Return air shall be direct ducted.
- (2) Air handler and ducts shall be protected by a one hour rated closet with a self closing rated door and an air tight seal around the door.
- (3) Closet shall be large enough to allow for proper sealing of duct and service of air handler, but no larger than necessary. No storage in closet.
- (4) Exposed ducts in garage area shall be protected by a one hour rated enclosure.

Exception: On change outs or new installations in existing homes, a dynamic type fire damper may be used at the wall and or ceiling penetration in place of the closet. All ducts shall be protected from damage up to a height of 6 feet. An overhead clearance of 6'8" shall be maintained.

4904.2(b)

NOTE: Subparagraph (4) above supersedes Section 1503.1(3) of this Code for air conditioning ducts only.

(c) IN ATTIC (New construction only)

(1) The equipment shall be placed in a mechanical closet. Such mechanical closets shall be sheathed with a continuous air barrier and shall be sealed to 100 percent closure. All joints shall be sealed between air barrier segments and between the air barriers of walls and those of the ceiling, floor and door framing. All penetrations of the air barrier including, but not limited to those by air ducts, plenums, pipes service lines, refrigerant lines, electrical wiring, and condensate drain lines shall be sealed to the air barrier with approved closure systems. Through - wall, through -floor and through - ceiling air passageways into the closet shall be framed and sealed to form an airtight passageway. Duct penetrations through any part of the ceiling, walls or floor of a mechanical closet shall have sufficient space between surrounding ceiling, walls or floor and any duct or plenum penetration to allow for sealing of the penetration and inspection of the seal. The closet shall be insulated with a minimum R-19 insulation on all surfaces separating it from the attic and outdoor spaces. For additional information, see Energy Efficiency Code for Building Construction.

(2) The equipment shall be accessible by an opening and passageway as large as the largest piece of the equipment and in no case less than 22 x 36 inches continuous from the opening to the equipment and its controls. The opening to the passageway shall be located not more than 20 ft. from the equipment measured along the center line of such passageway. Every passageway shall be unobstructed and shall have solid continuous flooring not less than 24 inches wide from the entrance opening to the equipment. On the control side and other sides where access is necessary for servicing the equipment a level working platform extending a minimum of 30 inches from the edge of the equipment with a 36 inch high clear working space shall be provided. Top or bottom service equipment shall have a full clearance above or below the unit for component removal.

(3) A permanent light outlet and lighting fixture shall be provided at, or near, the mechanical equipment and controlled by a switch located at the required passageway opening.

NOTE: Refer to NFPA Standards for other occupancies.

4904.3 PROTECTION: All mechanical equipment subject to damage by any type of vehicle shall be protected as follows:

(a) The mechanical equipment shall be installed a minimum of 5 feet from any driveway, street, alley, parking space, loading and unloading areas for vehicles, fire lanes and dumpster containers.

(b) If the 5 feet clearance cannot be achieved, then posts shall be provided at

FEMA - SS / FEB, 1986

FIRMs prepared for coastal communities depict the 100 year coastal flood plain and the elevations of the 100 year flood. On this type of FIRM, the 100 year coastal flood plain is divided into two adjacent zones that define the different degrees of hazard present, and thus require different flood plain management techniques to satisfy the damage reduction requirements of the NFIP. The V zone (velocity zone) is that portion of the coastal 100 year flood plain that would be inundated by tidal surges with velocity wave action. Generally, the V zone indicates the inland extent of a 3-foot breaking wave, where the stillwater depth during the 100 year flood decreases to less than 4 feet.

The A zone is that portion of the 100 year flood plain not subject to wave action. However, the residual forward momentum of the breaking wave may be present in this zone.

1.2.4 V Zones

The minimum requirements for construction in V zones differ significantly from the minimum requirements for construction in coastal A zones. In V zones, all new construction and substantial improvements to existing structures must be elevated on adequately anchored pilings or columns so that the bottom of the lowest horizontal structural members of the lowest floor (excluding the pilings and columns) is at or above the BFE. A registered professional engineer or architect must certify that the structure is securely fastened to adequately anchored pilings or columns to withstand velocity waters and hurricane wave wash forces. In addition, the space below the lowest floor may be used solely for parking of vehicles, building access, or storage and must be free of obstructions, or may be enclosed with nonsupporting breakaway walls, open wood lattice work, or insect

screening intended to collapse under wind and water loads without damaging the elevated portion of the building or the foundation.

FIRMs published for coastal communities include BFE's that incorporate wave heights or wave runup associated with the 100 year flood. Due to differing shoreline conditions, FIRMs for east coast and gulf coast communities include wave heights in BFE's, while FIRMs for west coast communities include wave runup. Use of this manual is unaffected by which wave characteristic was used for the applicable FIRM, and the term wave height is generically used.

Additional NFIP standards for V zones require that fill not be used for the structural support of new or substantially improved structures, and that sand dunes and mangrove stands may not be altered so as to increase the potential for flood damage.

1.2.5 A Zones

In coastal A zones, the FIRM identifies the appropriate 100 year flood elevation. The A zone is that portion of the 100 year coastal flood plain subject to wave action of lesser severity. It is important to note that because of forward momentum of breaking waves, water may be moving at high velocities in this zone, especially in the vicinity of the V zone/A zone interface.

At a minimum, new construction or substantial improvements of residential structures in coastal A zones must be elevated so that the lowest floor (including basements) is at or above the BFE. This elevation may be accomplished through use of fill, raised foundations, or piles or columns.

BOTH A AND V ZONES (Numbered and Unnumbered)

- All structural components must be adequately connected and anchored to prevent flotation, collapse, or permanent lateral movement of the building during floods.
- Building materials and utility equipment must be resistant to flood damage. All machinery and equipment servicing the building must be elevated to or above the Base Flood Elevation (BFE), including furnaces, heat pumps, hot water heaters, air-conditioners, washers, dryers, refrigerators and similar appliances, elevator lift machinery, and electrical junction and circuit breaker boxes.
- Any space designed for human habitation must be elevated to or above the BFE, including bedroom; bathroom; kitchen; dining, living, family, and recreation room; and office, professional studio, and commercial occupancy.
- Uses permitted in spaces below the BFE are vehicular parking, limited storage, and building access (stairs, stairwells, and elevator shafts only, subject to design requirements described below for walls).

A ZONES (A1-A30)

- Buildings must be elevated such that the lowest floor (including basement) is elevated to or above the BFE on fill, posts, piers, columns, or extended walls.
- Where fully enclosed space exists below the BFE, walls must be designed to minimize buildup of flood loads by allowing water to automatically enter, flow through (in higher velocity flooding), and drain from the enclosed area. For low velocity conditions, vents, louvers, or valves can be used to equalize flood levels inside and outside enclosed spaces. For high velocity conditions, breakaway walls (see below) or permanent openings should be used.

V ZONES (V1-V30)

- Buildings must be elevated on pilings or columns such that the bottom of the structural member *supporting* the lowest floor is elevated to or above the BFE.
- Buildings must be certified by a registered professional architect or engineer to be securely fastened to adequately anchored pilings or columns to withstand velocity flow and wave wash.
- Space below the lowest floor must be free of obstruction or enclosed with breakaway walls (i.e., walls designed and constructed to collapse under velocity flow conditions without jeopardizing the building's structural support.
- Fill may not be used for structural support.
- No construction is allowed seaward of the mean high tide line.

Figure 1.4. Key Floodplain Requirements of the National Flood Insurance Program as of January 1984.

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 83.6

The higher the score, the more efficient the home.

MR. & MRS. DEGIOIA, LOT#1, I.R. HAMMOCKS, SEWALL'S POINT, FL, 34996-

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 1 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 1454 ft² <input type="checkbox"/></p> <p>7. Glass area & type _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear - single pane 17.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Tint/other SC/SHGC - single pane 199.2 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation R=0.0, 153.0(p) ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A _____ <input type="checkbox"/></p> <p>9. Wall types _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Concrete, Int Insul, Exterior R=5.0, 1220.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Frame, Wood, Adjacent R=5.0, 310.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A _____ <input type="checkbox"/></p> <p>10. Ceiling types _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=19.0, 1454.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A _____ <input type="checkbox"/></p> <p>11. Ducts _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Con. Ret: Con. AH: Attic Sup. R=6.5, 100.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A _____ <input type="checkbox"/></p>	<p>12. Cooling systems _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 30.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 10.00 _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A _____ <input type="checkbox"/></p> <p>13. Heating systems _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 30.0 kBtu/hr <input type="checkbox"/></p> <p style="margin-left: 40px;">COP: 1.00 _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A _____ <input type="checkbox"/></p> <p>14. Hot water systems _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.88 _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits _____ <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits _____ <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
---	--

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features

Builder Signature: *[Signature]* Date: 4-6-99
CRC 053 742

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	THE DEGIOIA BASEMENT	Builder:	CONWAY
Address:	LOT#1, I.R. HAMMOCKS	Permitting Office:	
City, State:	SEWALL'S POINT, FL 34996-	Permit Number:	
Owner:	MR. & MRS. DEGIOIA	Jurisdiction Number:	
Climate Zone:	South		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 30.0 kBtu/hr SEER: 10.00
3. Number of units, if multi-family	1	b. N/A	
4. Number of Bedrooms	1	c. N/A	
5. Is this a worst case?	No	13. Heating systems	
6. Conditioned floor area (ft ²)	1454 ft ²	a. Electric Strip	Cap: 30.0 kBtu/hr COP: 1.00
7. Glass area & type		b. N/A	
a. Clear - single pane	17.0 ft ²	c. N/A	
b. Clear - double pane	0.0 ft ²	14. Hot water systems	
c. Tint/other SC/SHGC - single pane	199.2 ft ²	a. Electric Resistance	Cap: 50.0 gallons EF: 0.88
d. Tint/other SC/SHGC - double pane	0.0 ft ²	b. N/A	
8. Floor types		c. Conservation credits	
a. Slab-On-Grade Edge Insulation	R=0.0, 153.0(p) ft	(HR-Heat recovery, Solar DHP-Dedicated heat pump)	
b. N/A		15. HVAC credits	
c. N/A		(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)	
9. Wall types			
a. Concrete, Int Insul, Exterior	R=5.0, 1220.0 ft ²		
b. Frame, Wood, Adjacent	R=5.0, 310.0 ft ²		
c. N/A			
d. N/A			
e. N/A			
10. Ceiling types			
a. Under Attic	R=19.0, 1454.0 ft ²		
b. N/A			
c. N/A			
11. Ducts			
a. Sup: Con. Ret: Con. AH: Attic	Sup. R=6.5, 100.0 ft		
b. N/A			

Glass/Floor Area: 0.15 Total as-built points: 18389.00 **PASS**
Total base points: 19030.00

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.
PREPARED BY: JOSE
DATE: 4-5-99
I hereby certify that this building, as designed, is in compliance with the Florida Energy Code. CRC 053742
OWNER/AGENT: Stephen P. Conway
DATE: 4-6-99

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.
BUILDING OFFICIAL: _____
DATE: _____



SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: LOT#1, I.R. HAMMOCKS, SEWALL'S POINT, FL, 34996-	PERMIT #:
---	-----------

BASE	AS-BUILT																																																								
GLASS TYPES																																																									
.18 X Conditioned X BSPM = Points Floor Area	Type/SC Ornt Len Hgt Area X SPM X SOF = Points																																																								
.18 1454.0 53.20 13924.2	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%;">Single, Tint</td> <td style="width: 5%;">E</td> <td style="width: 5%;">20.0</td> <td style="width: 5%;">2.0</td> <td style="width: 10%;">34.0</td> <td style="width: 10%;">81.31</td> <td style="width: 5%;">0.36</td> <td style="width: 10%;">754.1</td> </tr> <tr> <td>Single, Tint</td> <td>E</td> <td>8.0</td> <td>2.0</td> <td>68.0</td> <td>81.31</td> <td>0.36</td> <td>1508.1</td> </tr> <tr> <td>Single, Tint</td> <td>W</td> <td>2.0</td> <td>12.0</td> <td>32.4</td> <td>54.85</td> <td>0.97</td> <td>1726.1</td> </tr> <tr> <td>Single, Tint</td> <td>S</td> <td>2.0</td> <td>14.0</td> <td>64.8</td> <td>52.00</td> <td>0.98</td> <td>3287.5</td> </tr> <tr> <td>Single, Clear</td> <td>S</td> <td>6.0</td> <td>1.0</td> <td>17.0</td> <td>62.19</td> <td>0.43</td> <td>452.5</td> </tr> <tr> <td colspan="4">As-Built Total:</td> <td style="text-align: right;">216.2</td> <td colspan="3"></td> </tr> <tr> <td colspan="4"></td> <td colspan="3"></td> <td style="text-align: right;">7728.3</td> </tr> </table>	Single, Tint	E	20.0	2.0	34.0	81.31	0.36	754.1	Single, Tint	E	8.0	2.0	68.0	81.31	0.36	1508.1	Single, Tint	W	2.0	12.0	32.4	54.85	0.97	1726.1	Single, Tint	S	2.0	14.0	64.8	52.00	0.98	3287.5	Single, Clear	S	6.0	1.0	17.0	62.19	0.43	452.5	As-Built Total:				216.2											7728.3
Single, Tint	E	20.0	2.0	34.0	81.31	0.36	754.1																																																		
Single, Tint	E	8.0	2.0	68.0	81.31	0.36	1508.1																																																		
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WALL TYPES Area X BSPM = Points																																																									
Adjacent 310.0 1.0 310.0	Type R-Value Area X SPM = Points																																																								
Exterior 1220.0 2.70 3284.0	Concrete, Int Insul, Exterior 5.0 1220.0 2.00 2440.0																																																								
Base Total: 1530.0 3604.0	Frame, Wood, Adjacent 5.0 310.0 1.90 589.0																																																								
		As-Built Total: 1530.0 3029.0																																																							
DOOR TYPES Area X BSPM = Points																																																									
Adjacent 17.0 2.60 44.2	Type Area X SPM = Points																																																								
Exterior 17.0 6.40 108.8	Exterior Wood 17.0 9.40 159.8																																																								
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CEILING-TYPES Area X BSPM = Points																																																									
Under Attic 1454.0 0.80 1163.2	Type R-Value Area X SPM = Points																																																								
Base Total: 1454.0 1163.2	Under Attic 19.0 1454.0 1.50 2181.0																																																								
		As-Built Total: 1454.0 2181.0																																																							
FLOOR TYPES Area X BSPM = Points																																																									
Slab 153.0(p) -20.0 -3060.0	Type R-Value Area X SPM = Points																																																								
Raised 0.0 0.00 0.0	Slab-On-Grade Edge Insulation 0.0 153.0(p) -20.00 -3060.0																																																								
Base Total: 3060.0	As-Built Total: -3060.0																																																								
INFILTRATION Area X BSPM = Points																																																									
1454.0 18.79 27320.7	Area X SPM = Points																																																								
		1454.0 18.79 27320.7																																																							
Summer Base Points: 43105.1	Summer As-Built Points: 37423.4																																																								
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points																																																								
43105.1 0.3560 15345.4	37423.4 1.000 1.050 0.341 1.000 13399.4 37423.4 1.00 1.050 0.341 1.000 13399.4																																																								

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: LOT#1, I.R. HAMMOCKS, SEWALL'S POINT, FL, 34996- PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Ornt	Overhang Len Hgt		Area X WPM X WOF =	Points		
.18	1454.0	2.02	529.8	Single, Tint	E	20.0	2.0	34.0	3.99	1.29	175.3
				Single, Tint	E	8.0	2.0	68.0	3.99	1.29	350.5
				Single, Tint	W	2.0	12.0	32.4	4.60	1.00	148.7
				Single, Tint	S	2.0	14.0	64.8	3.80	1.00	245.7
				Single, Clear	S	6.0	1.0	17.0	3.55	1.44	87.0
				As-Built Total:				216.2			1007.2
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM =		Points		
Adajcent	310.0	0.5	155.0	Concrete, Int Insul, Exterior	5.0		1220.0	0.90	1098.0		
Exterior	1220.0	0.60	732.0	Frame, Wood, Adajcent	5.0		310.0	0.91	283.4		
Base Total:				As-Built Total:		1530.0		1381.4			
DOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM =		Points		
Adajcent	17.0	1.30	22.1	Exterior Wood			17.0	2.80	47.6		
Exterior	17.0	1.80	30.6	Adajcent Wood			17.0	1.90	32.3		
Base Total:				As-Built Total:		34.0		79.9			
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM =		Points		
Under Attic	1454.0	0.10	145.4	Under Attic	19.0		1454.0	0.30	436.2		
Base Total:				As-Built Total:		1454.0		436.2			
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM =		Points		
Slab	153.0(p)	-2.1	-321.3	Slab-On-Grade Edge Insulation	0.0		153.0(p)	-2.10	-321.3		
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:		-321.3		-321.3			
INFILTRATION Area X BWPM = Points						Area X WPM =		Points			
1454.0 -0.06 -87.2						1454.0 -0.06		-87.2			
Winter Base Points: 1206.4				Winter As-Built Points: 2496.2							
Total Winter X System = Heating Points Multiplier Points				Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points							
1206.4 1.0900 1315.0				2496.2 1.000 1.050 1.000 1.000 2621.0 2496.2 1.00 1.050 1.000 1.000 2621.0							

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: LOT#1, I.R. HAMMOCKS, SEWALL'S POINT, FL, 34996-	PERMIT #:
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BASE				AS-BUILT										
WATER HEATING				Tank	EF	Number of	X	Tank	X	Multiplier	X	Credit	=	Total
Number of	X	Multiplier	=	Volume		Bedrooms		Ratio				Multiplier		
1		2370.00	=	50.0	0.88	1		1.00		2369.00		1.00	=	2369.0
													As-Built Total:	2369.0

CODE COMPLIANCE STATUS													
BASE					AS-BUILT								
Cooling	+	Heating	+	Hot Water	=	Total	Cooling	+	Heating	+	Hot Water	=	Total
Points		Points		Points		Points	Points		Points		Points		Points
15345.4		1315.0		2370.0	=	19030.4	13399.4		2621.0		2369.0	=	18389.4

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: LOT#1, I.R. HAMMOCKS, SEWALL'S POINT, FL, 34996-	PERMIT #:
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6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

 Nisair Airconditioning Inc.,
 1501 Decker Ave D-404
 Stuart, Fla
 1-407-283-0904

04/05/99

LOGIC 1000 RESIDENTIAL LOADS ANALYSIS

PAGE 1

THE DEGIOIA BASEMENT

PREPARED FOR: MR. & MRS. DEGIOIA

PREPARED BY: JOSE

FILE TITLE: DEGIOIA
 DESIGN TEMPERATURES (DEGREES F)
 WINTER INSIDE 68 WINTER OUTSIDE 45
 SUMMER INSIDE 75 SUMMER OUTSIDE 91
 DAILY TEMPERATURE RANGE INDICATOR M
 DESIGN GRAINS RELATIVE HUMIDITY 41
 DEGREES NORTH LATITUDE 27
 SUMMER AIR CHANGES PER HOUR 0.4
 WINTER AIR CHANGES PER HOUR 0.7

			AREA SQ FT	BTUH LOSS	BTUH GAIN
ROOM -	1 BASEMENT IN ZONE 1	41.5 X 35			
WALL	14B 8 INCH BLOCK R-5 INSUL OVERHANG = 2.0		1,317	4,362	2,333
WINDOW	1C SNGLE PN CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 4.0		64	1,700	1,075
WINDOW	1C SNGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 2.0		32	850	1,614
WINDOW	1C SNGLE PN CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 9.0		100	2,657	10,469
DOOR	10D SOLID CORE		17	180	96
CEILING	16D LIGHT R-19 INSULATION		1,453	1,771	2,463
FLOOR	22A NO EDGE INSULATION		153	2,850	0
WINTER INFILTRATION	170 CFM			4,296	
SUMMER INFILTRATION	97 CFM				
		SENSIBLE GAIN			1,708
		LATENT GAIN			2,705 L
PEOPLE	4	SENSIBLE GAIN			1200
		LATENT GAIN			920 L
DUCT	LOSS MULT=.20 GAIN MULT=.20			3,733	4,192
				-----	-----

THE DEGIOIA BASEMENT

		AREA SQ FT	BTUH LOSS	BTUH GAIN
TOTAL FOR ROOM 1	14,525 CU FT	1,453	22,398	25,149
				3,625 L

=====

STRUCTURE TOTALS	14,525 CU FT	1,453	22,398	25,149
				3,625 L

MINIMUM Cooling Capacity needed is 28,774 btu
at 91 degrees outside and 75 degrees inside

Maximum desired Sensible Cooling Capacity is 28,921 btu
(115% of Sensible Load)

=====

***** Version 92.10 *****

* This Heating and Cooling Load Computation was produced using the procedures *
* and tables of the Air Conditioning Contractors of America's Manual J, *
* Seventh Edition. The accuracy of the calculated loads depends upon the *
* accuracy of the data used and the accuracy of the Manual J load calculation *
* procedures for the given conditions. No warranty, either expressed or *
* implied, is given by Lennox Industries Inc. with respect to the accuracy *
* and/or sufficiency of the information provided by this report. *

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 84.8

The higher the score, the more efficient the home.

MR. & MRS. DEGIOIA, Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996-

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 4 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 4294 ft² <input type="checkbox"/></p> <p>7. Glass area & type ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Clear - single pane 39.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. Clear - double pane 0.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">c. Tint/other SC/SHGC - single pane 707.2 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">d. Tint/other SC/SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Raised Wood, Stem Wall R=19.0, 4294.0ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A ___ <input type="checkbox"/></p> <p>9. Wall types ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Frame, Wood, Exterior R=19.0, 3498.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">d. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">e. N/A ___ <input type="checkbox"/></p> <p>10. Ceiling types ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Under Attic R=19.0, 4294.0 ft² <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A ___ <input type="checkbox"/></p> <p>11. Ducts ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Sup: Unc. Ret: Con. AH: Attic Sup. R=6.5, 250.0 ft <input type="checkbox"/></p> <p style="padding-left: 20px;">b. N/A ___ <input type="checkbox"/></p>	<p>12. Cooling systems ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Central Unit Cap: 96.0 kBtu/hr <input type="checkbox"/></p> <p style="padding-left: 40px;">SEER: 10.00 ___</p> <p style="padding-left: 20px;">b. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A ___ <input type="checkbox"/></p> <p>13. Heating systems ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Electric Strip Cap: 70.0 kBtu/hr <input type="checkbox"/></p> <p style="padding-left: 40px;">COP: 1.00 ___</p> <p style="padding-left: 20px;">b. N/A ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">c. N/A ___ <input type="checkbox"/></p> <p>14. Hot water systems ___ <input type="checkbox"/></p> <p style="padding-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/></p> <p style="padding-left: 40px;">EF: 0.97 ___</p> <p style="padding-left: 20px;">b. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/></p> <p style="padding-left: 40px;">EF: 0.97 ___</p> <p style="padding-left: 20px;">c. Conservation credits ___ <input type="checkbox"/></p> <p style="padding-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits MZ-C, CF, MZ-H <input type="checkbox"/></p> <p style="padding-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: *Stephen Olney* Date: 4-4-99
CRC 053142

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 407/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Project Name: THE DEGIOIA RESIDENCE Address: Lot 1, Sub: I.R. HAMMOCK, Plat: City, State: SEWALL'S POINT, FL 34996- Owner: MR. & MRS. DEGIOIA Climate Zone: South	Builder: CONWAY Permitting Office: Permit Number: Jurisdiction Number:
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<table style="width: 100%; border-collapse: collapse;"> <tr><td>1. New construction or existing</td><td style="text-align: right;">New</td><td style="text-align: right;">—</td></tr> <tr><td>2. Single family or multi-family</td><td style="text-align: right;">Single family</td><td style="text-align: right;">—</td></tr> <tr><td>3. Number of units, if multi-family</td><td style="text-align: right;">1</td><td style="text-align: right;">—</td></tr> <tr><td>4. Number of Bedrooms</td><td style="text-align: right;">4</td><td style="text-align: right;">—</td></tr> <tr><td>5. Is this a worst case?</td><td style="text-align: right;">No</td><td style="text-align: right;">—</td></tr> <tr><td>6. Conditioned floor area (ft²)</td><td style="text-align: right;">4294 ft²</td><td style="text-align: right;">—</td></tr> <tr><td>7. Glass area & type</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> a. Clear - single pane</td><td style="text-align: right;">39.0 ft²</td><td style="text-align: right;">—</td></tr> <tr><td> b. Clear - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">—</td></tr> <tr><td> c. Tint/other SC/SHGC - single pane</td><td style="text-align: right;">707.2 ft²</td><td style="text-align: right;">—</td></tr> <tr><td> d. Tint/other SC/SHGC - double pane</td><td style="text-align: right;">0.0 ft²</td><td style="text-align: right;">—</td></tr> <tr><td>8. Floor types</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> a. Raised Wood, Stern Wall</td><td style="text-align: right;">R=19.0, 4294.0ft²</td><td style="text-align: right;">—</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td>9. Wall types</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> a. Frame, Wood, Exterior</td><td style="text-align: right;">R=19.0, 3498.0 ft²</td><td style="text-align: right;">—</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> d. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> e. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td>10. Ceiling types</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> a. Under Attic</td><td style="text-align: right;">R=19.0, 4294.0 ft²</td><td style="text-align: right;">—</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td>11. Ducts</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> a. Sup: Unc. Ret: Con. AH: Attic</td><td style="text-align: right;">Sup. R=6.5, 250.0 ft</td><td style="text-align: right;">—</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">—</td></tr> </table>	1. New construction or existing	New	—	2. Single family or multi-family	Single family	—	3. Number of units, if multi-family	1	—	4. Number of Bedrooms	4	—	5. Is this a worst case?	No	—	6. Conditioned floor area (ft²)	4294 ft²	—	7. Glass area & type		—	a. Clear - single pane	39.0 ft²	—	b. Clear - double pane	0.0 ft²	—	c. Tint/other SC/SHGC - single pane	707.2 ft²	—	d. Tint/other SC/SHGC - double pane	0.0 ft²	—	8. Floor types		—	a. Raised Wood, Stern Wall	R=19.0, 4294.0ft²	—	b. N/A		—	c. N/A		—	9. Wall types		—	a. Frame, Wood, Exterior	R=19.0, 3498.0 ft²	—	b. N/A		—	c. N/A		—	d. N/A		—	e. N/A		—	10. Ceiling types		—	a. Under Attic	R=19.0, 4294.0 ft²	—	b. N/A		—	c. N/A		—	11. Ducts		—	a. Sup: Unc. Ret: Con. AH: Attic	Sup. R=6.5, 250.0 ft	—	b. N/A		—	<table style="width: 100%; border-collapse: collapse;"> <tr><td>12. Cooling systems</td><td></td><td></td></tr> <tr><td> a. Central Unit</td><td></td><td style="text-align: right;">Cap: 96.0 kBtu/hr — SEER: 10.00 —</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td>13. Heating systems</td><td></td><td></td></tr> <tr><td> a. Electric Strip</td><td></td><td style="text-align: right;">Cap: 70.0 kBtu/hr — COP: 1.00 —</td></tr> <tr><td> b. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td> c. N/A</td><td></td><td style="text-align: right;">—</td></tr> <tr><td>14. Hot water systems</td><td></td><td></td></tr> <tr><td> a. Electric Resistance,</td><td></td><td style="text-align: right;">Cap: 50.0 gallons — EF: 0.97 —</td></tr> <tr><td> b. Electric Resistance</td><td></td><td style="text-align: right;">Cap: 50.0 gallons — EF: 0.97 —</td></tr> <tr><td> c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)</td><td></td><td style="text-align: right;">—</td></tr> <tr><td>15. HVAC credits</td><td></td><td style="text-align: right;">MZ-C, CF, MZ-H —</td></tr> <tr><td colspan="3"> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)</td></tr> </table>	12. Cooling systems			a. Central Unit		Cap: 96.0 kBtu/hr — SEER: 10.00 —	b. N/A		—	c. N/A		—	13. Heating systems			a. Electric Strip		Cap: 70.0 kBtu/hr — COP: 1.00 —	b. N/A		—	c. N/A		—	14. Hot water systems			a. Electric Resistance,		Cap: 50.0 gallons — EF: 0.97 —	b. Electric Resistance		Cap: 50.0 gallons — EF: 0.97 —	c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)		—	15. HVAC credits		MZ-C, CF, MZ-H —	(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, RB-Attic radiant barrier, MZ-C-Multizone cooling, MZ-H-Multizone heating)		
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Glass/Floor Area: 0.17	Total as-built points: 53415.00	PASS
	Total base points: 57060.00	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____ JOSE


DATE: _____ 4-5-99

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____ Stephen P. Conroy CRC 053742

DATE: _____ 4-6-99

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996- PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18	X	Conditioned	X	BSPM = Points	Type/SC	Ornt	Overhang Len Hgt	Area X	SPM X	SOF =	Points
.18		4294.0		53.20	41121.4						
					Single, Tint	N	2.0 1.5	64.8	27.68	0.68	1218.7
					Single, Tint	E	2.0 3.5	120.0	61.31	0.70	5120.4
					Single, Tint	E	2.0 1.0	34.0	61.31	0.40	834.7
					Single, Tint	E	2.0 3.0	35.4	61.31	0.65	1404.5
					Single, Tint	E	2.0 3.0	13.6	61.31	0.65	539.6
					Single, Tint	W	2.0 2.0	97.2	54.85	0.56	2997.6
					Single, Tint	W	2.0 4.0	136.0	54.85	0.75	5591.7
					Single, Tint	W	2.0 4.0	32.6	54.85	0.75	1342.0
					Single, Clear	W	2.0 1.0	24.0	65.53	0.44	693.9
					Single, Tint	W	2.0 8.0	40.8	54.85	0.92	2054.5
					Single, Tint	W	2.0 1.5	18.0	54.85	0.50	484.9
					Single, Tint	S	2.0 1.5	6.6	52.00	0.48	165.5
					Single, Clear	S	2.0 1.0	15.0	62.19	0.45	417.6
					Single, Tint	S	2.0 3.0	34.0	52.00	0.60	1056.1
					Single, Tint	S	2.0 1.0	5.0	52.00	0.45	116.4
					Single, Tint	S	2.0 4.0	23.2	52.00	0.67	811.9
					Single, Tint	S	2.0 3.0	40.0	52.00	0.60	1242.5
					Single, Tint	S	2.0 1.0	6.0	52.00	0.45	139.7
				As-Built Total:				746.2			26242.3
WALL TYPES				Area X BSPM = Points	Type		R-Value	Area X	SPM =	Points	
Adjacent		0.0		0.0	0.0	Frame, Wood, Exterior	19.0	3498.0	1.60	5596.8	
Exterior		3498.0		2.70	9444.6						
Base Total:				3498.0				3498.0		5596.8	
DOOR TYPES				Area X BSPM = Points	Type		R-Value	Area X	SPM =	Points	
Adjacent		0.0		0.00	0.0	Exterior Wood		15.0	9.40	141.0	
Exterior		15.0		6.40	96.0						
Base Total:				15.0				15.0		141.0	
CEILING TYPES				Area X BSPM = Points	Type		R-Value	Area X	SPM =	Points	
Under Attic		4294.0		0.80	3435.2	Under Attic	19.0	4294.0	1.50	6441.0	
Base Total:				4294.0				4294.0		6441.0	
FLOOR TYPES				Area X BSPM = Points	Type		R-Value	Area X	SPM =	Points	
Slab		0.0(p)		0.0	0.0	Raised Wood, Stem Wall	19.0	4294.0	-0.40	-1717.6	
Raised		4294.0		-2.16	-9275.0						
Base Total:				-9275.0						-1717.6	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996- PERMIT #:

BASE				AS-BUILT						
INFILTRATION Area X BSPM = Points				Area X SPM = Points						
4294.0	18.79	80684.3		4294.0	18.79	80684.3				
Summer Base Points: 125506.4				Summer As-Built Points: 117387.8						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	=	Cooling Points
125506.4	0.3560		44680.3	117387.8	1.000	1.089	0.341	0.902		39336.2
				117387.8	1.00	1.089	0.341	0.902		39336.2

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996- PERMIT #:

BASE				AS-BUILT									
GLASS TYPES													
.18	X	Conditioned	X	BWPM =	Points								
Floor Area				Type/SC	Ornt	Len	Hgt	Overhang	Area X	WPM X	WOF =	Points	
.18	4294.0	2.02	1564.7	Single, Tint	N	2.0	1.5	64.8	4.98	0.96	309.9		
				Single, Tint	E	2.0	3.5	120.0	3.99	1.06	506.1		
				Single, Tint	E	2.0	1.0	34.0	3.99	1.23	166.5		
				Single, Tint	E	2.0	3.0	35.4	3.99	1.07	150.9		
				Single, Tint	E	2.0	3.0	13.6	3.99	1.07	58.0		
				Single, Tint	W	2.0	2.0	97.2	4.60	1.03	458.8		
				Single, Tint	W	2.0	4.0	136.0	4.60	1.01	629.7		
				Single, Tint	W	2.0	4.0	32.6	4.60	1.01	151.1		
				Single, Clear	W	2.0	1.0	24.0	4.47	1.03	110.7		
				Single, Tint	W	2.0	8.0	40.8	4.60	1.00	187.3		
				Single, Tint	W	2.0	1.5	18.0	4.60	1.03	85.3		
				Single, Tint	S	2.0	1.5	6.6	3.80	1.38	34.9		
				Single, Clear	S	2.0	1.0	15.0	3.55	1.43	76.1		
				Single, Tint	S	2.0	3.0	34.0	3.80	1.22	157.3		
				Single, Tint	S	2.0	1.0	5.0	3.80	1.43	27.2		
				Single, Tint	S	2.0	4.0	23.2	3.80	1.13	99.8		
				Single, Tint	S	2.0	3.0	40.0	3.80	1.22	185.1		
				Single, Tint	S	2.0	1.0	6.0	3.80	1.43	32.6		
				As-Built Total:				746.2			3427.3		
WALL TYPES				Area X		BWPM =		Points					
				Type		R-Value		Area X		WPM =		Points	
Adjacent				0.0	0.0			Frame, Wood, Exterior		19.0	3498.0	0.30	1049.4
Exterior				3498.0	0.60								
Base Total:				3498.0	2098.8			As-Built Total:		3498.0	1049.4		
DOOR TYPES				Area X		BWPM =		Points					
				Type		R-Value		Area X		WPM =		Points	
Adjacent				0.0	0.00			Exterior Wood		15.0	2.80	42.0	
Exterior				15.0	1.80								
Base Total:				15.0	27.0			As-Built Total:		15.0	42.0		
CEILING TYPES				Area X		BWPM =		Points					
				Type		R-Value		Area X		WPM =		Points	
Under Attic				4294.0	0.10			Under Attic		19.0	4294.0	0.30	1288.2
Base Total:				4294.0	429.4			As-Built Total:		4294.0	1288.2		
FLOOR TYPES				Area X		BWPM =		Points					
				Type		R-Value		Area X		WPM =		Points	
Slab				0.0(p)	0.0			Raised Wood, Stem Wall		19.0	4294.0	-0.10	-429.4
Raised				4294.0	-0.28								
Base Total:								As-Built Total:				-429.4	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996- PERMIT #:

BASE				AS-BUILT					
INFILTRATION Area X BWPM = Points				Area X WPM = Points					
4294.0	-0.06	-257.6		4294.0	-0.06	-257.6			
Winter Base Points:			2660.0	Winter As-Built Points:			5119.9		
Total Winter Points	X System Multiplier	= Heating Points		Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points
2660.0	1.0900	2899.4		5119.9	1.000	1.127	1.000	0.950	5482.5
				5119.9	1.00	1.127	1.000	0.950	5482.5

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996- PERMIT #:

BASE				AS-BUILT										
WATER HEATING				Tank	EF	Number of	X	Tank	X	Multiplier	X	Credit	=	Total
Number of	X	Multiplier	=	Volume		Bedrooms		Ratio				Multiplier		
Bedrooms														
4		2370.00	=	50.0	0.97	4		0.50		2149.20		1.00		4298.4
				50.0	0.97	4		0.50		2149.20		1.00		4298.4
													As-Built Total:	8598.8

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling	+	Heating	+	Hot Water	=	Total	
Points		Points		Points		Points	Points
44680.3		2899.4		9480.0		57059.7	
							39336.2
							5482.5
							8596.8
							53415.5

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 1, Sub: I.R. HAMMOCK, Plat: , SEWALL'S POINT, FL, 34996- PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHEC
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq.ft. window area; 5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHEC
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. Insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Lennox Objective Guide to Installation Comparison

Nisair Airconditioning Inc.,
 1501 Decker Ave D-404
 Stuart, Fla
 1-407-283-0904

04/05/99

LOGIC 1000 RESIDENTIAL LOADS ANALYSIS

PAGE 1

THE DEGIOIA RESIDENCE

PREPARED FOR: MR. & MRS. DEGIOIA

PREPARED BY: JOSE

FILE TITLE: DEGIOIA
 DESIGN TEMPERATURES (DEGREES F)
 WINTER INSIDE 68 WINTER OUTSIDE 45
 SUMMER INSIDE 75 SUMMER OUTSIDE 91
 DAILY TEMPERATURE RANGE INDICATOR M
 DESIGN GRAINS RELATIVE HUMIDITY 41
 DEGREES NORTH LATITUDE 27
 SUMMER AIR CHANGES PER HOUR 0.4
 WINTER AIR CHANGES PER HOUR 0.7

			AREA SQ FT	BTUH LOSS	BTUH GAIN
ROOM -	1	WHOLEHOUSE IN ZONE 1			
		70 X 61			
WALL	12C	R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0	680	1,408	1,200
DOOR	9C	FRNCH DR, 1 PN CLR GLASS METAL F FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	15	416	171
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-N TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	64	1,700	1,075
WALL	12C	R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0	693	1,435	1,223
DOOR	8C	SLDNG DR, 1 PN CLR GLASS METAL F FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	102	2,710	3,849
DOOR	9C	FRNCH DR, 1 PN CLR GLASS METAL F FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	15	416	565
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-E TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	180	4,782	10,266
WALL	12C	R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 2.0	715	1,480	1,261
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS	150	3,985	8,416

THE DEGIOIA RESIDENCE

			AREA SQ FT	BTUH LOSS	BTUH GAIN
WINDOW	1C	SHADING COEFFICIENT = 1 REVEAL = 3.0 SNGLE PN CLR GLASS METAL FRM FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	125	3,321	7,014
WALL	12C	R-11 + 1/2 INCH GYPSUM R-.5 OVERHANG = 1.5	562	1,163	991
DOOR	9C	FRNCH DR, 1 PN CLR GLASS METAL F FACING-W TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 3.0	41	1,135	1,594
DOOR	9C	FRNCH DR, 1 PN CLR GLASS METAL F FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	34	946	388
DOOR	8C	SLDNG DR, 1 PN CLR GLASS METAL F FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	27	723	310
WINDOW	1C	SNGLE PN CLR GLASS METAL FRM FACING-S TINT-TINTED SHADING-DRAPES OR BLINDS SHADING COEFFICIENT = 1 REVEAL = 1.5	80	2,125	1,344
DOOR	10D	SOLID CORE	15	158	135
CEILING	16D	DARK R-19 INSULATION	4,270	5,205	9,052
FLOOR	19I	CARPETED FLOOR + R-19	4,270	2,357	0
WINTER INFILTRATION		549 CFM		13,892	
SUMMER INFILTRATION		314 CFM			5,522
					8,748 L
MECHANICAL VENTILATION		350.0 CFM		8,855	6,160
PEOPLE	4				1200
					920 L
APPLIANCES					1200
DUCT		LOSS MULT=.20 GAIN MULT=.20		11,642	12,587
TOTAL FOR ROOM 1		46,970 CU FT	4,270		
				69,854	75,522
					19,426 L

THE DEGIOIA RESIDENCE

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=====
STRUCTURE TOTALS          46,970 CU FT          4,270
                          SENSIBLE          69,854  75,522
                          LATENT           19,426  L
  
```

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MINIMUM Cooling Capacity needed is  94,947 btu
at  91 degrees outside and 75 degrees inside
  
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Maximum desired Sensible Cooling Capacity is  86,850 btu
(115% of Sensible Load)
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***** Version 92.10 *****
* This Heating and Cooling Load Computation was produced using the procedures *
* and tables of the Air Conditioning Contractors of America's Manual J, *
* Seventh Edition. The accuracy of the calculated loads depends upon the *
* accuracy of the data used and the accuracy of the Manual J load calculation *
* procedures for the given conditions. No warranty, either expressed or *
* implied, is given by Lennox Industries Inc. with respect to the accuracy *
* and/or sufficiency of the information provided by this report. *
*****
  
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2000 ~~1998~~ ~~1999~~

Town of Sewall's Point
Building Department - Inspection Log

~~MON. 1-31-00~~

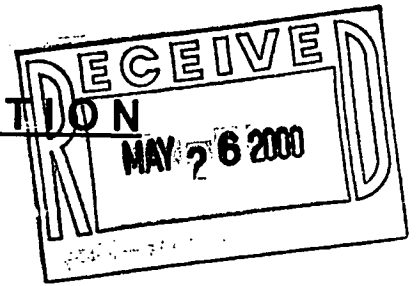
PAGE 1 of 1

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4657	105 HENRY SEWALL FOGUA	POOL DECK DRIVEWAY PORCH	Passed BG	
4658	FOGUA 103 HENRY/SEWALL	POOL DECK DRIVEWAY PORCH	Passed BG	
4758	Stier 13 Knowles	tie beam WALL	Passed BG	Several pieces of steel short. Add pieces before pouring
4795	Downing 42 S.E.P.	underlayment metal	Passed BG	late AM metal and stony
4659	Conway 17 Lotting	Shedding - Port Allen 2nd floor subsidizing	Passed BG	Shedding Port Allen 2nd Fl. Sheathing Detention Letter Form
4771	3 PACAMA WAY (RALPH DIAZ)	VERIFY FEE-CONS SERVICES EJECT/UTE/WAY/TOILET	Passed BG	RELEASE STOP WORK

4
5
6
N
1
N
2

OTHER: Steve Conway - Delivered Letter #4529 - 1300 S.P. DeGuzia FOR SH plywood on under side of main floor + NO HURRICANE Shutters on 1st Fl. Knock out walls. FROM ENG: S.J. AMICO PE Dated 1-24-00
Steve Conway Agreed with Letter (1-31-00 BG)
INSPECTOR: [Signature] BLDG OFFICIAL DATE: 1/31/00

STATEMENT OF INSPECTION



To: Building Official, Town of Sewall's Point
FROM: Architect or Engineer of Record
RE: Subject structure described as follows:

OWNER: SAM DEGIOIA; ADDRESS: 9 RIVER VIEW DRIVE SEAWALLS POINT
PROJECT ADDRESS: 120 SEAWALLS POINT ROAD; LEGAL DESCRIPTION: LOT #1 INDIAN RIVER HAMMOCKS
GENERAL CONTRACTOR: STEPHEN P. CONWAY; Lic/CERT No. CRC 053742
ADDRESS: ONE RIVER CREEK COURT SEAWALLS POINT 22-0064
ARCHITECT OR ENGINEER: SALVATORE J. AMICO C.E.P.E.; Lic/REG No. 25140
ADDRESS: 1163 EAST 14th STREET STUART 283-1822 220-6816
PERMIT No: # 4589; DATE OF ISSUE: 4-07-99; DATE OF THIS STATEMENT: 5-25-00

In accordance with the requirements of Section 0307.2 of the South Florida Building Code, I hereby attest as follows:

- 1. X I am the Architect or Engineer who sealed and signed the plans for the subject structure, or
I am the substitute Architect or Engineer, having been accepted by the Building Official, for the Architect or Engineer who sealed and signed the plans for the subject structure, or
I am the threshold or special inspector used in accordance with this Code.
2. To the best of my knowledge, belief and professional judgment, the structural and envelope components of the structure are in compliance with the approved plans and other approved permit documents.
3. To the best of my knowledge, belief and professional judgment, the approved permit plans represent the as-built condition of the structural and envelope components of the structure.

Executed at 1295 CUT-OFF ROAD, this 25 day of MAY, 2000

NAME: SALVATORE J. AMICO; SIGNATURE: Salvatore J. Amico; Lic. No: P.E. 25140

STATE OF FLORIDA
COUNTY OF Martin County

Sworn to and subscribed before me this 25 day of 2001, by SALVATORE J. AMICO, who is personally known to me or who has produced as identification and who did not take an oath.

(NOTARY SEAL) LUCY JULIANO
COMMISSION # CC 664374
EXPIRES AUG 30, 2001
BONDED THRU ATLANTIC BONDING CO., INC.

LUCY JULIANO
Name Lucy Juliano
I am a Notary Public of the State of Florida and my commission expires: 8-30-2001

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/31, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
* 4912	CHICOS	FINAL-PHASE I	Passed BG.	VERIFY F.D. INSP. (5/30)
⑤	HARBOR Bay Plaza COSTELLO CONST.	LARRY MASSING Bob Smith	288- 288-5862	5363 62 221-5181 Pave
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4589	DEGIOIA	FINAL Hurricane SHUTTERS	Passed	M-DC PROD APPR. DOCS. REQ.
③	130 N. Sewall's Pt. Rd COMPLETE HURRICANE PROT. "MARK"	692-8585	BG	Permit # 4900
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4859	ABBOTT	POOL DECK	Passed	COMP. TEST & REV. FORWARDED
④	108 N. Sewall's Pt. Rd, E.S. UNLIMITED		BG	SURVEY ON FILE. NO permit on job.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4589	DEGIOIA	130 N. Sewall's Pt. Rd	Passed	SEE CHECKLIST
③	130 N. Sewall's Pt. Rd CONWAY	FINAL C.O. (REINSPECT)	BG	① Except Elevator ② Need SURVEY FOR ENTIRE WALL.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4628	HELLREGER	Doors Installation INSTALLATION	Passed	OFFICE CC. OF PKON APPR ATTEN
①	11 CASTLE Hillway STRATHMORE	(USED 4" TAP CONS)	BG	Need Specs. FOR BREAKFAST Rm. BUTL GLASS & Family Rm. Atom. Slider.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VANWAGNER	Insulation For	Passed	(WALLS PASSED 5/26)
②	3 PALMWAY CASTLE Hill RAYCO HOMES	Knee wall	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: EBA: T/R PER. APIL, CARTNEY; 3 PINEAPPLE LANE - TRISTAN TREE/LANDSC.

* #4912 Bob Smith made inspection 5-31-00 A.M. Passed.
(FIRE DEPT)

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9-29, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4943	Botwinick	sheathing	<input checked="" type="checkbox"/>	RESCHEDULE STRAPS & ANCHORS W/ TRUSSES
(3)	27 Emerita Way FIRST FLORIDA DEVEL	nail-off roof-hurricane straps/anchors	PASSED	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4589	DE GLORIA	LANDSCAPING-FINAL	PASSED	CONDITIONAL C.O. STIP.
(4)	130 N. SEWALL'S POINT RD COWAY		<input checked="" type="checkbox"/>	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4587	DE GLORIA	FIBER REINFORCED	PASSED	- PILE LOGS TO FILE
(4A)	130 N. SEWALL'S POINT RD OLYMPIC POOLS	(1/27 FIVE DEEDS)	?	- POOL EQUIP. I.M. REVIEW.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/26, 2000; Page 1 of 1.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4937 (2)	OAKLEY / D. Kinimer Justwood Fence 99 S. Sewall's Pt. Rd	FINAL	Reject w/ Fee BG.	Post not cemented AS per plans.
4813 (5)	FOLLWEILER 11 N.E. Lofting Way	Roof Sheathing MAILING INSPECTION to DRY-IN	Passed BG	
4589 (4)	DEGIORDA 130 N. Sewall's Pt. Rd	Fence GO-WALK (FOR FINAL) TROU	Partial BG.	SEE LIST Below.
4771 (7)	VONWAGNER 3 PALMA Way CASTLE HILL	Insulation WALLS ONLY	Passed BG	
4613 (3)	SUBIN 8 PALM CT	FINAL (REINSPECT)	Passed BG.	1. Vents in Soffit 2. Vents in Utility Rm. FOR GAS HEATER 3. 42" Railing Need letter FROM ARCHITECT
4732 (6)	JETAMANTE 19 Lofting Way <i>GARY 284-6224</i>	GAS VALVE (REPAIRED LEAK) you can call if you DON'T WANT TO GO.	Passed BG.	25 PSI
4929 (1)	DEARNEY 116 S. SEWALL'S PT. RD	FINAL (ROOF)	Passed BG.	

OTHER: # 4589 **(4)** ELEVATOR NOT HOOKED UP. + Need SEAL better
(2) SEAL ALL Holes in Basement **(3)** Need GFI AT BOTH ENDS of Island.
(4) Hooked up Elec. Bond to water heater. **(5)** Need hose bit
 INSPECTOR (Name/Signature) + Siphon Devices. **(6)** ALL SINKS + FIXTURES TO BE
 INSTALLED. **(7)** Need ATTIC Access Covers. **(8)** Need Access FOR WHIRLPOOL
(9) Need RAILING AT A/C AREA ON 2nd FL.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9-29, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4943	Botwinick	sheathing	FAIL	RESCHEDULE STRAPS & ANCHORS W/ TRUSSES
(3)	27 Emerita Way FIRST FLORIDA DEVEL	nail-off roof hurricane straps/anchors	PASSED	
4507	DE GIDIA	LANDSCAPING-FINAL	PASSED	CONDITIONAL C.O.-STIP.
(4)	130 N. SEWALL'S POINT RD COOKRY		3/	
4737	DE GLOA	FIELD VERIFICATION	PASSED	- PILE LOGS TO FILE
(4A)	130 N. SEWALL'S POINT RD OLYMPIC POOLS	(9/27 FINAL DOC. DDD)	3	- POOL EQUIP. I.M. REINSY.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

4737

POOL/SPA

3117

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 11/15/99 BUILDING PERMIT NO. 4737
 Building to be erected for SAM DIGIOIA Type of Permit POOL/SPA
 Applied for by OLYMPIC POOLS (Contractor) Building Fee \$240.00
 Subdivision INDIAN RIVER HAMMOCKS Lot 1 Block _____ Radon Fee _____
 Address 128 N. SEWALL'S POINT ROAD Impact Fee _____
 Type of structure S.F.R. (UNDER CONSTRUCTION) A/C Fee _____
 Parcel Control Number: _____ Electrical Fee _____
 _____ Plumbing Fee _____
 _____ Roofing Fee _____

Amount Paid \$240.00 Check # 2828 Cash _____ Other Fees (_____) _____
 Total Construction Cost \$ 16,000.00 TOTAL Fees \$240.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector OFFICIAL

POOL / SPA PERMIT

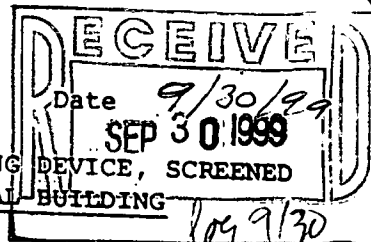
INSPECTIONS			
SETBACKS	DATE _____	P1B 4-28-00 BG.	DATE _____
COMPACTION TESTS	DATE _____	DECK	DATE _____
GROUND ROUGH	DATE _____	ENCLOSURE & LATCH	DATE _____
STEEL & BOND	DATE <u>3-28-00</u>	DOOR ALARM(S)	DATE _____
LIGHT NITCHE	DATE _____	FINAL	DATE <u>9/28/00</u>

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Permit No. _____



APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL

DEVICE, SCREENED BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable; and at least two (2) elevations, as applicable:

Owner San DeGioba Present Address 128 N. Sewall's Pt Rd

Phone [REDACTED] 220-0067

Contractor Olympic Pool Address 1565 S.W. Martin Hwy

Phone 286-6070 Palm City Fla 34990

Where licensed State of Fla License number CPC039888

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool w/ Spa

128 N. Sewall's Pt Rd

State the street address at which the proposed structure will be built:

Subdivision Indian River Hammock Lot number 1 Block number _____

Contract price \$ 16,000 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD

Date submitted _____ Approved: _____ Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

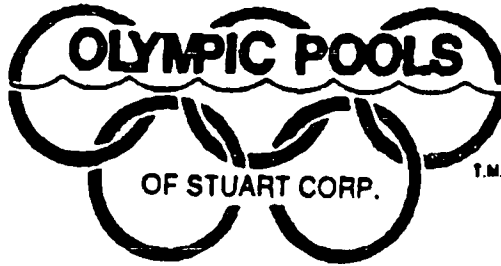
Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

MEMBER



NATIONAL SPA & POOL INSTITUTE



DOUGLAS M. ALLEN
PRESIDENT

DATE: 9-27-00

TO: Steve Conway

FAX: 220-8601

ATTN:

RE: Degidia Res.

FROM: Frank

FAX: 288-6962

NUMBER OF PAGES INCLUDING COVER LETTER: 1
IF YOU DO NOT RECEIVE LEGIBLE COPIES OF ALL PAGES, PLEASE NOTIFY US IMMEDIATELY.

Sir,

Ed @ Sewall Pt Bldg Dept. has signed off on the Pool Final without the spa coping installed, but requires another copy of the post-piling specs. and engineering reports for the file (Permit # 4737)

He will also need access to the equip room Friday 9-29-00 to complete his report.

(Ed # 287-2455)

Thanks,



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
07/09/99

PRODUCER

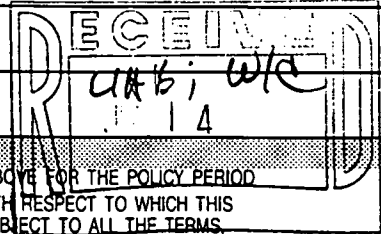
Rick Carroll Insurance Agency
2160 N.E. Dade Highway
P.O. Box 877
Jensen Beach FL 34958-0877

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY
A Transcontinental Ins CoCOMPANY
B Associated Ind. of FLCOMPANY
CCOMPANY
D

INSURED

Olympic Pools of Stuart Corporation
1565 SW Martin Highway
Palm City FL 349901370

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> OWNER'S & CONTRACTOR'S PROT	C113132148	02/01/99	02/01/00	GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMPROP AGG \$ 1,000,000 PERSONAL & ADV INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	C128001140	02/01/99	02/01/00	COMBINED SINGLE LIMIT \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: \$ EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> INCL <input type="checkbox"/> EXCL	972313225	02/01/99	02/01/00	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$ EL EACH ACCIDENT \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS
Swimming Pool Construction and Maintenance / State of Florida
THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY

CERTIFICATE HOLDER

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALLS POINT RD

STUART FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.AUTHORIZED REPRESENTATIVE
Rick Carroll



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
SUITE 300
JACKSONVILLE

FL 32211-7467

(904) 727-6530

SMITH, KIM S
OLYMPIC POOLS OF STUART CORP
1565 SW MARTIN HWY
PALM CITY FL 34990-3390

STATE OF FLORIDA AC# 51731

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CP -C039888 06/17/1998 979040

CERT COMMERCIAL POOL/SPA CONTR
SMITH, KIM S
OLYMPIC POOLS OF STUART CORP

IS CERTIFIED under the provisions of Ch. 489

Expiration Date: AUG 31, 2000

DETACH HERE

AC# 5173165

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/17/1998	97904058	CP -C039888

The COMMERCIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000

SMITH, KIM S
OLYMPIC POOLS OF STUART CORP
1565 SW MARTIN HWY
PALM CITY FL 34990-3390

MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1982 530 026 CERT. P.C.11014

PHONE 561 286 6070 SIC NC 0000

LOCATION:
1565 SW MARTIN HWY

PREV YR. \$	<u>0.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>0.00</u>
\$	<u>0.00</u>	COL. FEE \$	<u>0.00</u>
\$		TRANSFER \$	<u>0.00</u>
TOTAL			<u>25.00</u>

**OLYMPIC POOLS
DOUGLAS ALLEN
1565 SW MARTIN HWY
PALM CITY FL 34990**

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **POOL CONTR.**

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1 DAY OF **OCTOBER** 1998 SEC.
AND ENDING SEPTEMBER 30 1999 **998081901 2006 PAID**

**OLYMPIC POOLS
OF STUART CORPORATION**
1555 SW MARTIN HIGHWAY
PALM CITY, FLORIDA 34990 3390
(561) 286-6070

FIRST NATIONAL BANK
AND TRUST COMPANY
STUART, FLORIDA

910

63 515 670

CHECK NO. **9105**

DATE

AMOUNT

*****25.00 DOLLARS

THE
ORDER
OF

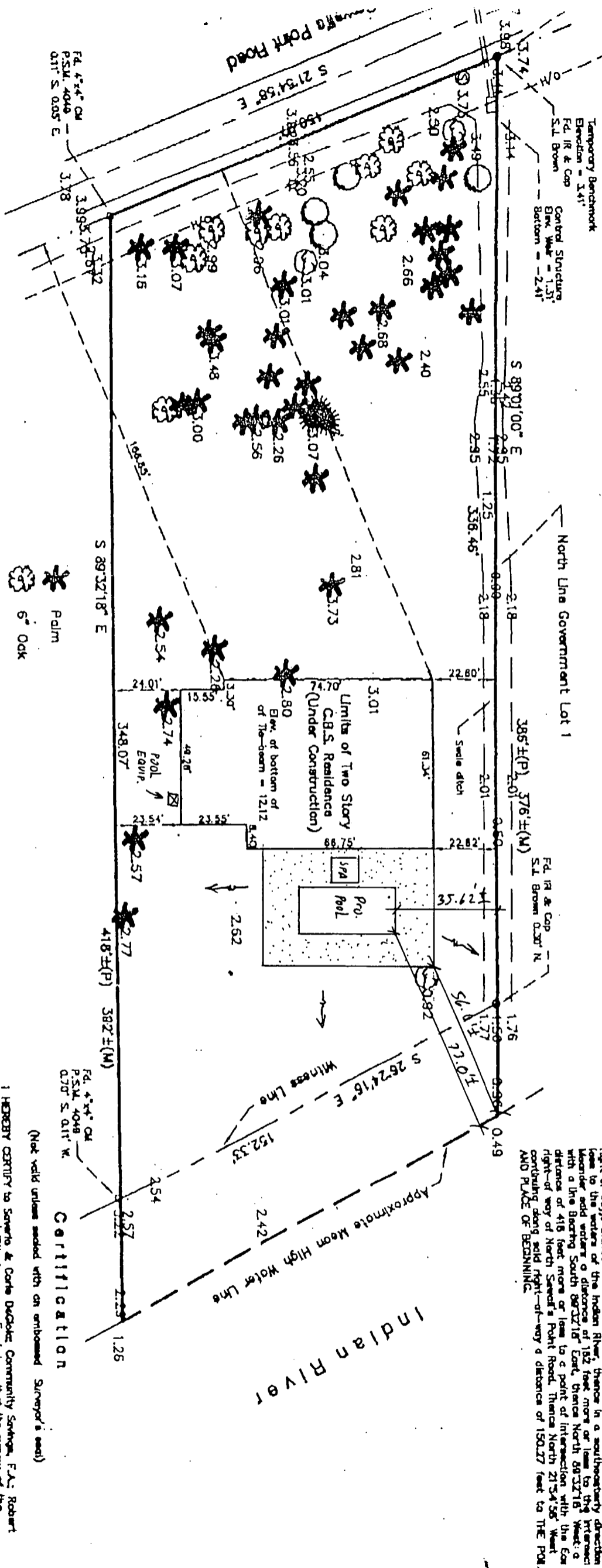
OLYMPIC POOLS OF STUART CORPORATION
PALM CITY, FLORIDA
STUART, FLORIDA

NON-NEGOTIABLE

AUTHORIZED SIGNATURE

007105 067005108 22205561201

Boundary & Topographic Survey for Saverio & Corie DeGioia



POINT OF BEGINNING
 Temporary Benchmark
 Elevation = 3.41'
 Fd. IR & Cap
 S.L. Brown
 Central Structure
 Elev. Water = 1.31'
 Bottom = -2.41'

North Line Government Lot 1

Fd. IR & Cap
 S.L. Brown 0.30' N

Notes:
 1. Section 25, Township 37 South, Range 49 East, North County, Florida.
 Being more particularly described as follows:
 BEGIN at the intersection of the North Line of said Government Lot 1 and the Eastern right-of-way of North Saverio Point Road (6.30 foot right of way), thence South 89°01'00" East a distance of 335 feet more or less to the western of the Indian River, thence in a southeasterly direction a distance of 182 feet more or less to the intersection of the bearing South 89°32'18" East, thence North 89°32'18" West a distance of 418 feet more or less to a point of intersection with the Eastern right-of-way of North Saverio Point Road, thence North 21°54'56" West a distance of 150.27 feet to THE POOL, contributing along said right-of-way a distance of 150.27 feet to THE POOL, AND PLACE OF BEGINNING.

- General Notes**
- Palm
 - 6" Oak
 - 8" Oak
 - 10" Oak
 - 16" Oak

1. The bearings shown hereon are referenced to the Centerline of North Saverio Point Road as shown on the plan attached to the original plat recorded in Public Records of the State of Florida in the name of JIMMY RIVER HALLMARKS.

(Not valid unless sealed with an embossed Surveyor's seal)

CERTIFICATION

I HEREBY CERTIFY to Saverio & Corie DeGioia Community Savings, F.A.; Robert A. Barrow, F.A.; and Attorney. This Insurance Fund, Inc., that the survey of the property shown hereon was completed under my direction on May 25, 1985 and said survey is true and correct to the best of my knowledge and belief. There are no encroachments other than those shown hereon.

I FURTHER CERTIFY that this survey meets the Minimum Technical Standards as set forth by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida Statutes. No search of the public records has been made by this office. This survey is based on information furnished by the client or the client's representatives.

Date of Signature

Richard W. Bussard
 Professional Surveyor & Mapper
 Florida Certificate No. 3838

- Revisions**
- 1) Certification changed 4-12-98
 - 2) Added Under Construction Therein 6-2-98

HAPPY SPRING!

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-20, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4628	Hellmead	ground & steel		CANCELLED
6A	11 Castle Hill POOL PN 4856 - ADVANTAGE			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4854	Kennedy	dry-in & in progress	Passed	late AM ←
7	111 N.S.P.Rd. A&P BLDG CORP	sheathing	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4764	Fadden	fence	Passed	
3	16 S.S.P.Rd. 0/B	final	BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4737	Conroy NIGLOA	pool	Passed	VERIFY POOL P.N. 47374
5	128 N.S.P.Rd. OLYMPIC POOLS	steel		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4810	Durante	roof final	Passed	
2	48 S.S.P.Rd. J.A.TAYLOR REG.		BG	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4628	Hellmead	lath & finish	Passed	BG Wire LATH only
6B	11 Castle Hill STRAITHMORE	framing	Reject - BG	No plan on Permit on job. 2nd Fl. Tub + Shower STILL HAS NO PLAN. Lett CARD on job. Reject Fee.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S 4691	Wattles	framing	Reject	Not Ready.
1	20 N. Ridgeview DRIFTWOOD - ALAN MORRIS	re-inspect	BG	Waiting For Revised Plan..

OTHER: EBA I. T/R PERMIT APPL. - CLIFFORD; 20 N. RIVER RD ✓
2. " " " - THOMPSON; 179 S. " " ✓

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4-22, 2000; Page 1 of 1.

	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
X	4797	Kennedy	pool	Passed	Shape of Pool
N	③	111 N.S.P.Rd. A&G	steel & ground	BG.	Changed. Need Revision.
✓					
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	4868	Pitsiokis	final (ROOF)	Passed	
S	⑦	28 W. High Point Pacific		BG.	
X					
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	4864	Nehme	roof	Passed	
S	④	19 S.S.P.Rd. Stein	final	BG	
X					
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S	4812	Tidikis	metal &	Passed	
X	⑤	6 Kingston PACIFIC	tinng	Bg	
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N	4357	Conway	strapping for	Partial	Returned Tree Survey
✓	②	4 Oak Hill Way CONWAY	exterior wall into to sheathing	BG.	
X					
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
S	4843	Tidikis	2nd fl. of	Passed	A/C (CONCRETE) QUAR. TO OFFICE
X	⑥	6 Kingston	rough strap tie down & framing	BG.	TO SIGN PERMIT - NEED W/C INS (no one on Job)
	PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
	4737	De Goia	pool	Passed	(130 main permit)
N	①	128 N.S.P.Rd. OLYMPIC TOOLS	plumbing	BG.	
X					

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/25, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4978	Rimer	ret. wall	CANCEL	REU ENCL'G (REF.
S X	29 S River LEAR DEVELO. CORP	footer at studio	9/25 8:15	WALL) RCVD 9/22 - COPY TO FIELD ✓
N	3086 Carr 1 Palama Way Conway	pre-pour steel for slab & piers	PASSED	SOIL RPT RCVD 9/22/00 - FORMERLY SURVEY REB. (TO ORDER 9/25/00)
S X	4990 Elder 4 Emanta :owner/bldr.	pre-pour tie beam column	CANCEL 9/25 8:30	
S	5029 PAGE 6 LANTANA LANE OLYMPIC POOLS	POOL - FINAL	PASSED	FIELD
N	4737 DE GIOIA 130 P. SEWALL'S POINT RD OLYMPIC POOLS	POOL - FINAL	PASSED	FIELD COPY OF MAJOR SURVEY TO SITE ✓
S	4950 WATTLES 20 RIDGEVIEW - NORTH OLYMPIC POOLS	POOL - FINAL	PASSED	FIELD COPY OF FINAL SURVEY TO SITE ✓

OTHER: CODE ENF. COMPLAINT: DOUG BENT - 975 SEWALL'S POINT RD (INSPECTION) FROM BENT PROPERTY
 RE: LOUIS LARSEN II LANTANA LANE } SHED @ SOUTH & TIKI HUT @ NORTH
 (ACCESS. STRUCTURES IN REAR SETBACK) (APPEAR LESS THAN 25' FROM REAR)

INSPECTOR (Name/Signature): _____

Sam deGioia - 130 N. Sewall's Point Road, Sewall's Point, FL 34996

September 29, 2000

Town of Sewall's Point
Mr. Edwin Arnold
Building Official
1 South Sewall's Point Road
Sewall's Point, FL 34996

FILE
PN4737

RECEIVED
SEP 29 2000
BY: *[Signature]*

9/29/00 PILEP
VERIFICATION
(w/LANDSCAPE
INSP. -)

Re: **The deGioia Residence Pool**
130 N. Sewall's Point Road

Dear Mr. Arnold,

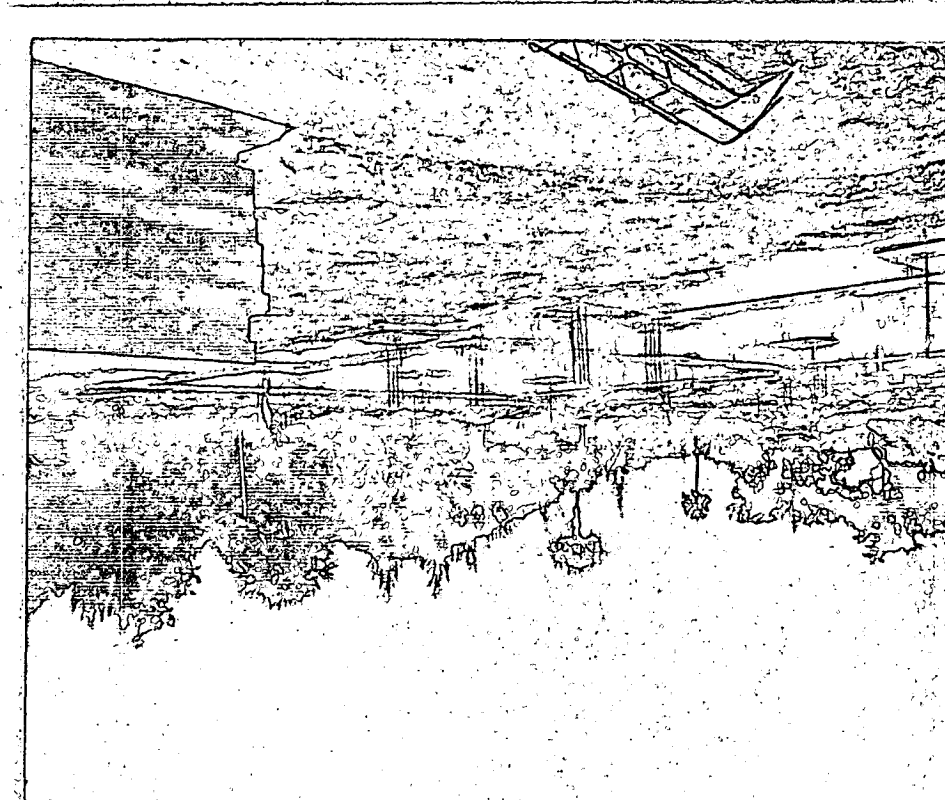
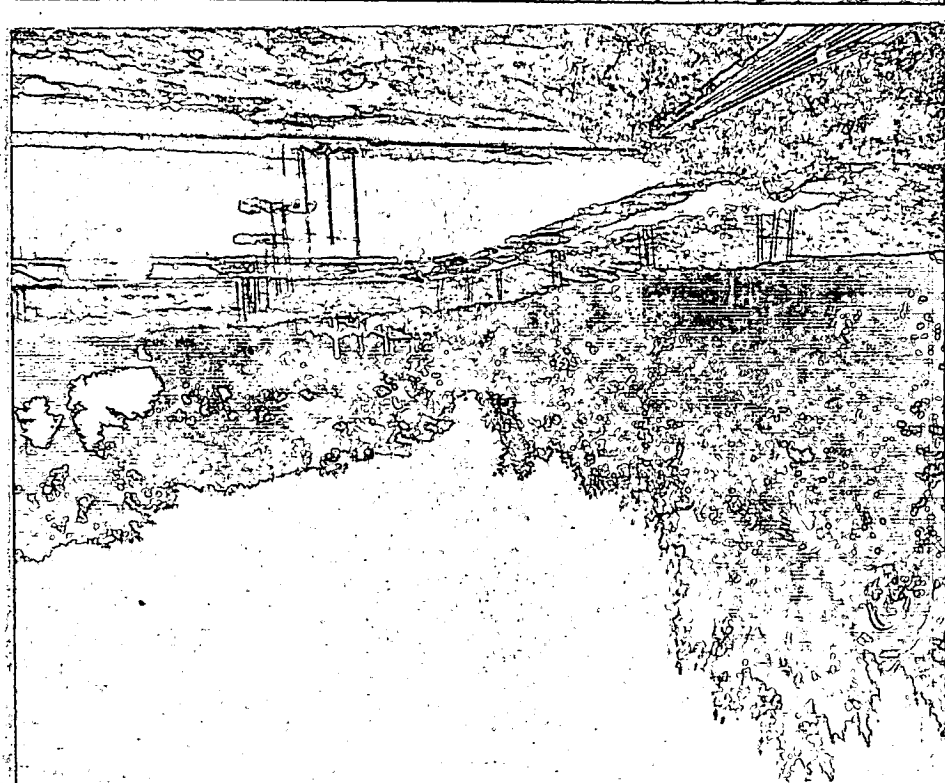
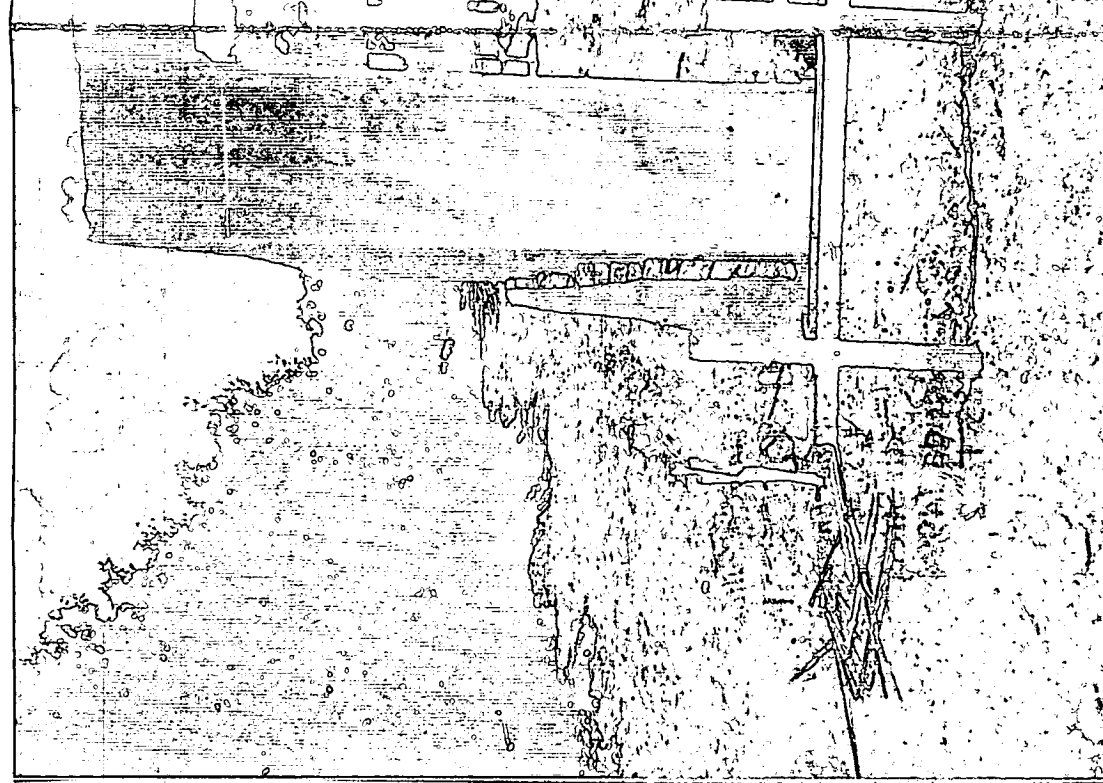
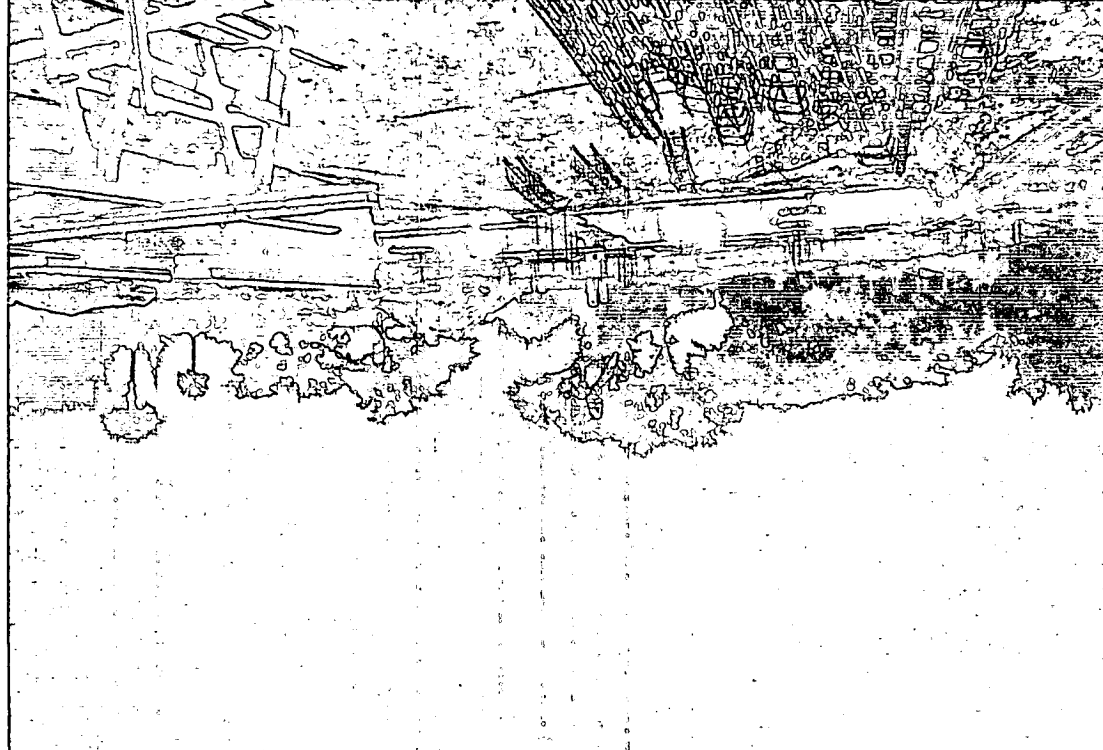
As per your request to the pool company, enclosed please find the documentation related to the pilings. ✓

The pool equipment room is located at the lower back porch behind the solid double doors. I have left one of the doors fully open for easily visibility. ✓

If you have any questions, please feel free to call me at 287-7020, ext. 7492.

Sincerely

Sam deGioia



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9-29, 2000; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4943	Botwinick	sheathing	<input checked="" type="checkbox"/>	RESCHEDULE STRAPS & ANCHORS W/ TRUSS BRG
②	27 Emerita Way	nail-off roof	PASSED	
③	FIRST FLORIDA DEVEL	hurricane straps/anchors		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4589	DE GIDIA	LANDSCAPING-FINAL	PASSED	CONDITIONAL C.O.-STIP.
④	130 N. SEWALL'S POINT RD		<input checked="" type="checkbox"/>	
	COUWAY			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4737	DE GIDIA	FIELD VERIFICATION	PASSED	- PILE LOGS TO FILE
④A	130 N. SEWALL'S POINT RD	(9/27 FINAL DOC. DDD)	<input checked="" type="checkbox"/>	- POOL EQUIP. I.M. REINSY.
	OLYMPIC POOLS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

4900

STORM SHUTTERS

MASTER PERMIT NO. 4589

TOWN OF SEWALL'S POINT

Date _____ BUILDING PERMIT NO. 4900
Building to be erected for S. DEGIOIA Type of Permit STORM SHUTTERS
Applied for by COMPLETE HURRICANE PROT. INC. (Contractor) Building Fee \$61.44
Subdivision INDIAN RIVER HAMMOCK Lot 1 Block _____ Radon Fee _____
Address 130 N. SEWALL'S PT. RD (CORRECTED ADDRESS) Impact Fee _____
Type of structure SFR (UNDER CONST.) A/C Fee _____
Electrical Fee _____

Parcel Control Number: _____ Plumbing Fee _____
Roofing Fee _____
Amount Paid \$67.58 Check # 120 Cash _____ Other Fees (PLAN REV.) 6.14
Total Construction Cost \$ 6,400.00 TOTAL Fees \$67.58

Signed Mark Stewart Applicant Signed [Signature] Town Building Inspector APLOCH

BUILDING PERMIT

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE _____

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# _____

Town of Sewall's Point

Date 3-27-00

BUILDING PERMIT APPLICATION

RECEIVED

MAR 27 2000

Owner's Name: Saverio & Corie DeGiulia Phone No: BY: 529-6998 cell
 Owner's Present Address: 9 Riverview Dr. Sewalls Point.
 Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: 130 N. Sewalls Pt. Rd.
 TYPE OF WORK TO BE DONE: Storm Panel Installation
 CONTRACTOR INFORMATION
 Contractor/Company Name: Complete Hurricane Protection ^{Martin Inc.} Phone No. 692-8585
 COMPLETE MAILING ADDRESS: 1696 OLD OKEECHOBEE RD. 2-F WPB FL.
 State Registration _____ State License SPO2890
 Legal Description of Property Lot 1 Indian River Hammock
 Parcel Number 35374100000000011000

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
 Address _____
 Engineer _____ Phone No. _____
 Address _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
 Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement 6400.00
 Fair Market Value (FMV) prior to improvement _____
 Substantial Improvement 50% of FMV yes _____ No _____
 Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
 Mechanical _____ State License# _____
 Plumbing _____ State License# _____
 Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____
 Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
 CONTRACTOR SIGNATURE Scott W. Martinez
 Sworn to and subscribed before me this 18 day of MARCH, 2000 by SCOTT W. MARTINEZ who is personally known to me or has produced FL. DRIVERS LICENSE and who did (did not) take an oath.



Richard Esposito

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____

Specimen tree removed _____ Fee _____ Authorized/Date _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
 - B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - C. Contractor's name, address, phone number & license numbers.
 - D. Name all sub-contractors (properly licensed).
 - E. Current Survey
 - F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:
1. Floor Plan
 2. Foundation Details
 3. Elevation Views - Elevation Certificate due after slab inspection.
 4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 5. Truss layout
 6. Vertical Wall Sections (one detail for each wall that is different)
 7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

Producer
Firestone Agency of Florida
1500 University Drive
Suite 212
Coral Springs FL 33071

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policies below.

FILE

COMPANIES AFFORDING COVERAGE

- Company letter A BURLINGTON INS. CO.
- Company letter B
- Company letter C
- Company letter D
- Company letter E

COPY FILE

RECEIVED
APR - 5 2000
BY: *[Signature]*

Insured
~~COMPLETE HURRICANE PROTECTION, INC.~~
SCOTT MARTINEZ D/B/A
1696 OLD OKEECOBEE RD #20F
WEST PALM BCH FL 33409

COVERAGES This is to certify that policies of insurance listed below have been issued to the insured named above for the policy period indicated, notwithstanding any requirement term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies. Limits shown may have been reduced by paid claims.

Co Lt	Type of Insurance	Policy number	Policy Effective	Policy Expire	ALL LIMITS IN THOUSANDS	
A	GENERAL LIABILITY X Commercial General Liab. Claims made X Occurrence - Owner's & contractors protective - -	B0167G423554R1	2-25-00	2-25-01	General aggregate.....\$1,000 Products-completed operations aggregate..\$1,000 Personal & advertising injury...\$ EXC Each occurrence.....\$1,000 Fire damage (any one fire).....\$ EXC Medical expense (any one person).....\$ EXC	
	AUTOMOBILE LIABILITY - Any auto - All owned autos - Scheduled autos - Hired autos - Non-owned autos - Garage liability -	THIS IS ISSUED PURSUANT TO THE FLORIDA SURPLUS LINES LAW. PERSONS INSURED BY SURPLUS LINES CARRIERS DO NOT HAVE THE PROTECTION OF THE FLORIDA INSURANCE GUARANTY ACT TO THE EXTENT OF ANY RIGHT OF RECOVERY FOR THE OBLIGATION OF AN INSOLVENT UNLICENSED INSURER			CSL	\$
					Bodily Injury (per person)	\$
					Bodily Injury (per accident)	\$
					Property damage	\$
	EXCESS LIABILITY - Umbrella form - Other than umbrella form				Each occurrence	Aggregat. \$ \$
	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY				Statutory	\$ (each accident) \$ (disease-policy limit) \$ (disease-each empl.)
	OTHER					

Description of operations/locations/vehicles/special items

HURRICANE SHUTTERS

Certificate holder
~~TOWN OF SEWALS POINT~~
1 SOUTH SEWAL POINT
FAX: (561)220-4765
SEWALS POINT FL 34996

CANCELLATION Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10* days written notice to the certificate holder named to the left, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives.

Authorized representative

[Signature]



ACORD CERTIFICATE OF LIABILITY INSURANCE March 30, 2000

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

Producer
Psychem
The Hartford
FSBC
308 Farmington Avenue
Farmington, CT.
06032-1913

Insured
COMPLETE HURRICANE PROTECTION INC
1696 OLD OKEECHOBEE RD
WEST PALM BEACH, FL 33409

Insurers Affording Coverage
Insurer A: HARTFORD UNDERWRITERS INS
Insurer B:
Insurer C:
Insurer D:
Insurer E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

General Liability Insurer:
Commercial General Liability
Claims Made:
Occur:
Policy Number:
Policy Effective Date:
Policy Expire Date:
General Aggregate Limit Applies Per:
Policy: Project: LOC:

Limits
Each Occurrence:
Fire Damage (any one fire):
Med Expense (any one person):
Personal & Adv Liability:
General Aggregate:
Products - Comp/Op Agg:

Automobile Liability Insurer:
Any Auto:
All Owned Autos:
Scheduled Autos:
Hired Autos:
Non Owned Autos:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Limits
Comb Single Limit (ea accident):
Bodily Injury (Per person):
Bodily Injury (Per Accident):
Property Damage (Per Accident):

Garage Liability Insurer:
Any Auto:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Limits
Auto Only - EA Accident:
Other Than Auto Only:
EA Accident:
Aggregate:

Excess Liability Insurer:
Occurrence:
Claims Made:
Deductible:
Retention:
Policy Number:
Policy Effective Date:
Policy Expiration Date:

Limits
Each Occurrence:
Aggregate:

Worker's Comp & Employer's Liab Insurer:
Policy Number: MWEJG3114
Policy Effective Date: 02-18-00
Policy Expiration Date: 02-18-01

Limits
WC Statutory Limits: X
Other:
E.L. Each Accident: \$100,000
E.L. Disease - EA Employee: \$100,000
E.L. Disease - Policy Limit: \$500,000

Description of operations/locations/vehicles/exclusions added by endorsements/special provisions

Certificate Holder
TOWN OF SEWALLS POINT
SOUTH SEWALLS POINT RD

SEWALLS POINT FL 34996
Fax: 5612204765 Fax2: 5616879925

Cancellation
Should any of the above described policies be canceled before the expiration date thereof, the issuing insurer will endeavor to mail 10 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agent or representatives.

AUTHORIZED REPRESENTATIVE:

Carol Lubow

DMS

RECEIVED
MAR 30 2000
BY: *[Signature]*

COPY
Heath

FILE
UC/105

RECEIVED
MAR 30 2000
BY: *[Signature]*

FILE

MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

SCOTT W. MARTINEZ
COMPLETE HURRICANE PROTECTION INC
1146 Elizabeth Ave #6
WPA FL 33401

EXPIRES SEPTEMBER 30, 2000	
AUDIT CONTROL NUMBER 37701	CERTIFICATE NUMBER 5P02890

CERTIFIED CONTRACTOR
HURRICANE SHUTTERS/AWINGS

SIGNATURE *[Signature]*

ATTEST: *[Signature]*
LICENSING ADMINISTRATOR

1729

FILE

RECEIVED
MAR 30 2000
BY: [Signature]

1999 COUNTY OCCUPATIONAL LICENSE 2000
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34985
(861) 288-5604

2000
PHONE 501-692-0500 SIC NO 1729
LOCATION: 50 NE DIXIE HWY E 5

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$ 0.00 LIC. FEE \$ 25.00
\$ 0.00 PENALTY \$ 0.00
\$ 0.00 COL. FEE \$ 0.00
TRANSFER \$ 0.00
TOTAL 25.00

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF SALES/SERVICE/INSTALLATION

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

15 DAY OF MARCH 19 00 SEC AND ENDING SEPTEMBER 30 2000

COMPLETE HURRICANE PROTECTION
SCOTT W MARTINEZ
50 NE DIXIE HWY #E-5
STUART FL 34994

RECEIPT OF PAYMENT
L.C. O'STEEN, T.C. 1008
99 03/15/2000 OCC NORMAL
2000650138
0220000315002800CK \$25.00

MARTIN COUNTY ORIGINAL
1999 COUNTY OCCUPATIONAL LICENSE 2000

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34985
(861) 288-5604

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR \$ 0.00 LIC. FEE \$ 25.00
\$ 0.00 PENALTY \$ 0.00
\$ 0.00 COL. FEE \$ 0.00
TRANSFER \$ 0.00
TOTAL 25.00

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF HURRICAN SHUTTER/AWNING CONTRA

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

15 DAY OF MARCH 19 00 SEC AND ENDING SEPTEMBER 30 2000

COMPLETE HURRICAN PROTECTION
SCOTT W MARTINEZ
50 NE DIXIE HWY #E-5
STUART FL 34994

RECEIPT OF PAYMENT
L.C. O'STEEN, T.C. 1008
99 03/15/2000 OCC NORMAL
2000520048
0220000315002799CK \$25.00

Return to: (self addressed stamped envelope enclosed)

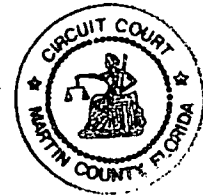
Complete Hurricane Protection-Martin, Inc.
60 NE Dixie Hwy Unit E-5
Stuart, FL 34984

This Instrument Prepared by:
Mark Stewart
60 NE Dixie Hwy Unit E-5
Stuart, FL 34984

RECEIVED
APR - 7 2000
BY:

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA STILLER, CLERK



BY: [Signature] D.C.
DATE: 4.6.00

Property Appraisers Parcel Identification Number

#35-37-41-000-000-0001

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE of COMMENCEMENT

State of Florida
County of Martin

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with section 713.13 of the Florida Statutes, the following information is provided in this NOTICE of COMMENCEMENT.

Legal description of property:

Street address of property:

130 N. Sewalls Pt. Rd.

Description of Improvements:

Property Owner Name:

Saverio DeGioia & Corie DeGioia

Property Owner Address:

9 Riverview Dr. Sewalls Pt. FL 34996

Owner's Interest in property:

Owner

Fee Simple Title Holder Name:

Title Holder Address:

Contractor Name:

Complete Hurricane Protection-Martin, Inc.

Mark Stewart

Contractor Mailing Address:

50 NE Dixie Hwy Unit E-5 Stuart, FL 34984

692-8585

Surety Name:

None

Amt of Bond \$ None

Surety Mailing Address:

None

Lender Name:

Community Savings, FA

Lender Mailing Address:

660 US Highway One North Palm Beach 33408

Person within the State of Florida designated by Owner upon which notices and other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name Serve Owner

Address Serve Address

In addition to himself, the Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Name Serve Owner

Address Serve Address

Expiration date of this Notice of Commencement: This Notice of Commencement expires in one year.

[Signature]
Signature of Owner

Saverio DeGioia
Printed Signature of Owner

I have relied upon the following identification of the Affiant:

Personally known

Sworn to and subscribed before me this 3 day of April 10-2000

[Signature]
Notary Signature

Leslie J. Whitwell
Printed Notary Signature

APPLY NOTARY SEAL HERE



Leslie J. Whitwell
MY COMMISSION # CC646183 EXPIRES
May 12, 2001
BONDED THRU TROY FAIN INSURANCE, INC.



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Madden Manufacturing
1889 NW 22nd Street
Pampano Beach, FL 33069

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

0.050" Aluminum Storm Panel Shutter

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No: 98-1110.03

Expires: 03/13/2003

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

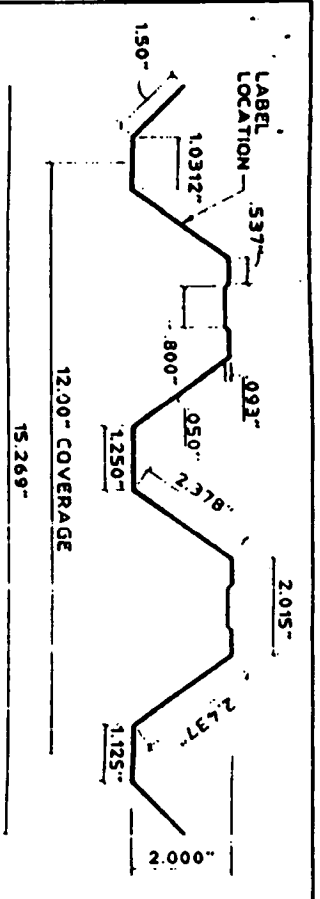
Francisco J. Quintana, R.A.
Director

Miami-Dade County
Building Code Compliance Office

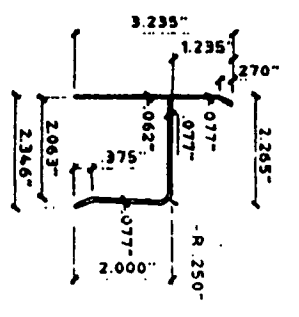
Approved: 05/20/1999

1 of 3

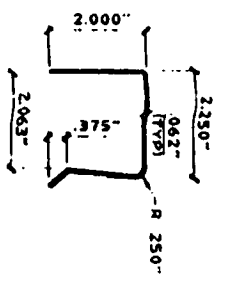




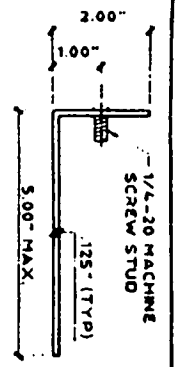
1 STORM PANEL
SCALE: 1/4" = 0'-1"



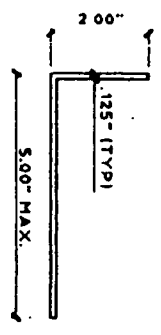
2 h" HEADER
SCALE: 1/4" = 0'-1"



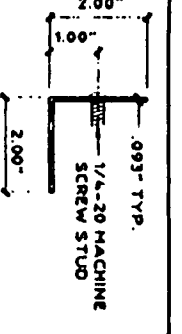
3 U" HEADER
SCALE: 1/4" = 0'-1"



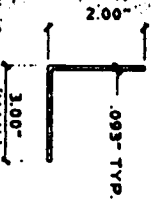
4a STUDED ANGLE
SCALE: 1/4" = 0'-1"



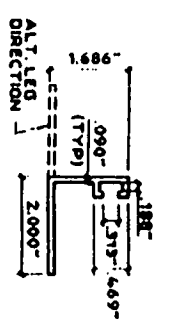
4 ANGLE
6063-T6 TYPICAL
6061-T6 FOR DETAIL "T"
SCALE: 1/4" = 0'-1"



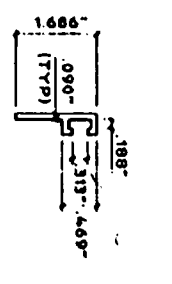
6 STUDED ANGLE
SCALE: 1/4" = 0'-1"



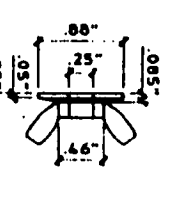
5 ANGLE
SCALE: 1/4" = 0'-1"



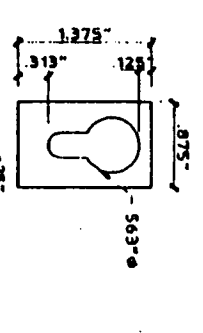
7 E" TRACK
SCALE: 1/4" = 0'-1"



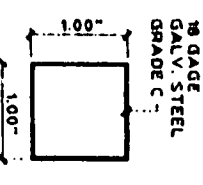
7a F" TRACK
SCALE: 1/4" = 0'-1"



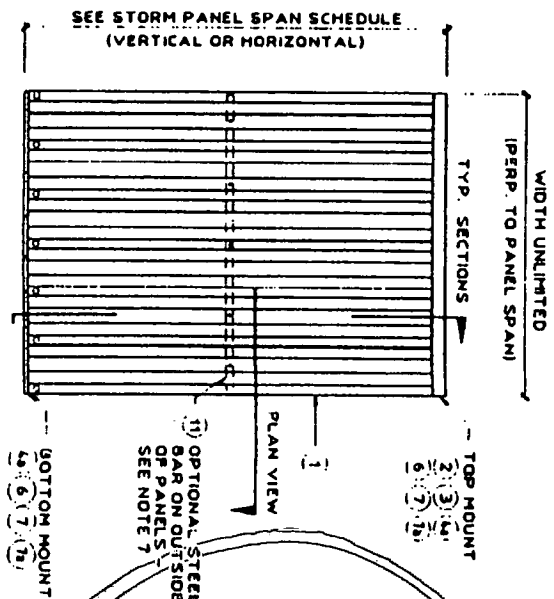
8 WINGNUT
SCALE: HALF SIZE



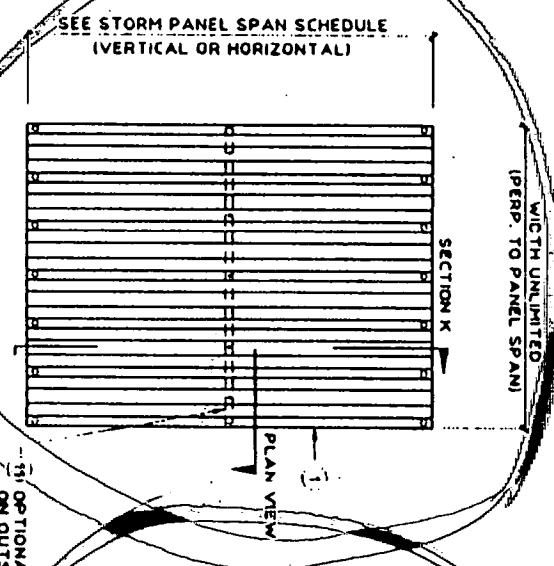
10 KEYHOLE WASHER
SCALE: HALF SIZE



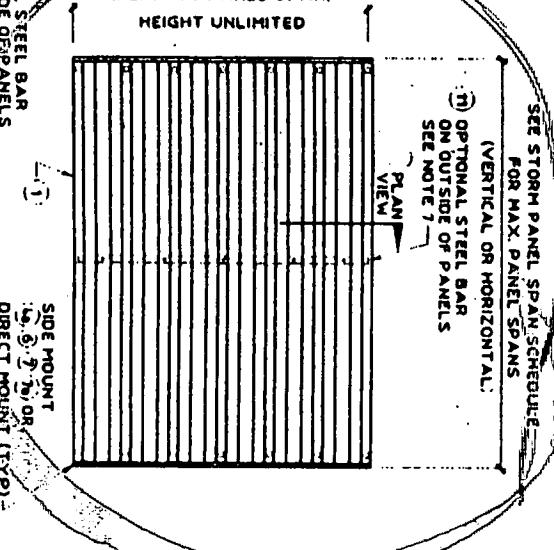
11 STEEL BAR
SCALE: HALF SIZE



TYPICAL VERTICAL MOUNT ELEVATION



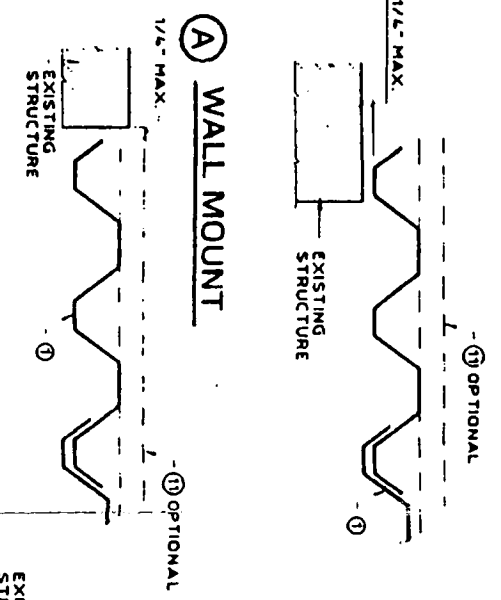
DIRECT MOUNT ELEVATION



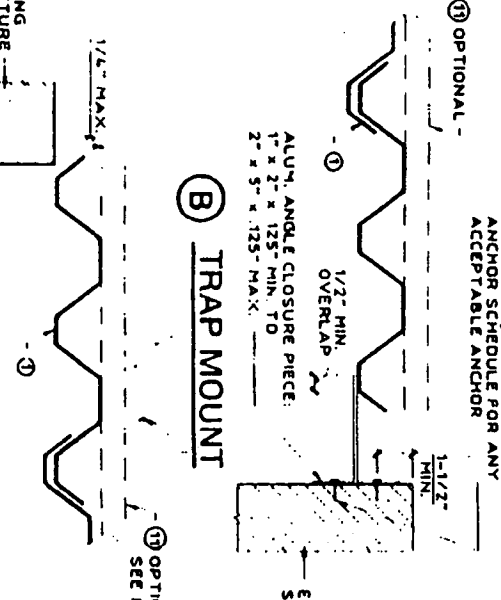
HORIZONTAL MOUNT ELEVATION

GENERAL NOTES:

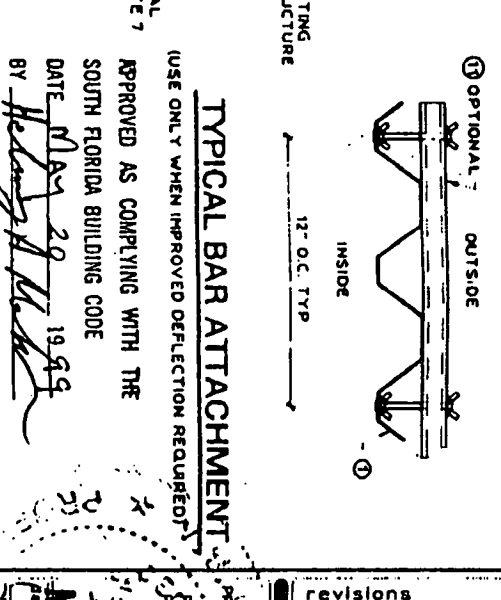
- THIS STORM PANEL SHUTTER SYSTEM IS DESIGNED AND TESTED IN ACCORDANCE WITH THE SOUTH FLORIDA BUILDING CODE 1994 EDITION.
- POSITIVE AND NEGATIVE DESIGN PRESSURE CALCULATIONS SHALL BE PERFORMED FOR BUILDINGS AND OTHER STRUCTURES. TABLES 7-88 MINIMUM DESIGN LOADS APPROPRIATE DESIGN LOADS.
- PRODUCT MARKINGS SHALL BE WITHIN 12" OF ONE END OF THE PANEL WITH A MIN. MADDEN MFG CO. POMPANO BEACH, FL. DADE COUNTY PRODUCT APPROVED.
- PANELS HAVE BEEN TESTED IN ACCORDANCE WITH THE DADE COUNTY PROTOCOLS PA 201, PA 202, AND PA 203. DESIGN IS BASED ON CONSTRUCTION TESTING CORPORATION (CTC) TEST REPORT NO. 96-074.
- STORM PANELS SHALL BE 6063-T6 ALUMINUM ALLOY, 0.050" THICKNESS. ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T6, U.O.N.
- ALL SCREWS AND BOLTS TO BE 2024-T3 ALUMINUM ALLOY, STAINLESS STEEL, OR GALVANIZED STEEL WITH A 33 KSI MINIMUM YIELD STRENGTH.
- FOR INSTALLATIONS 30 FT. OR LESS ABOVE GRADE, AN OPTIONAL 1" x 1" x 1/8 DADE STEEL BAR MAY BE USED TO CONTROL DEFLECTION OF STORM PANEL SYSTEM PROVIDED THAT THE PANEL SPANS USED ARE 104" OR LESS, AND THAT THE SEPARATION FROM THE GLASS IS 2" OR MORE BUT LESS THAN 3-3/4". STEEL BAR MAY BE USED FASTENED AT PANEL OVERLAPS, AT MIDSPAN, AT 1/4-3/4" BOLTS AND OR CAST ALUMINUM WASHERS/WINGNUTS. SEE MINIMUM PANEL SEPARATION FROM GLASS SCHEDULE PAGE 8 OF 8, FOR REDUCED SEPARATIONS.
- TOP AND BOTTOM DETAILS MAY BE INTERCHANGED AS FIELD CONDITIONS REQUIRE. PANELS MAY ALSO BE MOUNTED WITH STUD ANGLE OR DIRECT MOUNTED HORIZONTALLY.
- THE PERMIT HOLDER SHALL VERIFY THE ADEQUACY OF THE EXISTING STRUCTURE TO SUSTAIN THE NEW SUPERIMPOSED LOADS AND TO VERIFY ALL DIMENSIONS AT THE JOB SITE BEFORE COMMENCING WITH THE WORK.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. EMBEDMENT LENGTHS SHALL BE AS NOTED AND DO NOT INCLUDE STUCCO OR OTHER FINISHES.
- AT LEAST ONE WARNING NOTE OR OPENING SHALL BE PLACED IN A CONSPICUOUS LOCATION ON ANY OF THE COMPONENTS OF STORM PANEL SYSTEM ADVISING THE HOME OWNER OR TENANT THAT STORM PANELS WILL NOT OFFER HURRICANE PROTECTION UNLESS STEEL TUBE & BOLTS ARE PROPERLY INSTALLED WHEN NEEDED.



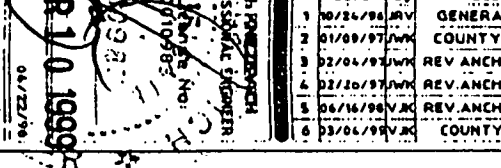
A WALL MOUNT
SCALE: 1/4" = 0'-1"



B TRAP MOUNT
SCALE: 1/4" = 0'-1"



C FACE MOUNT
SCALE: 1/4" = 0'-1"



D TRAP MOUNT
SCALE: 1/4" = 0'-1"

TYPICAL CLOSURE DETAILS (PLAN)
SCALE: 1-1/2" = 1'-0"

Revisions	date	description
1	01/20/99	GENERAL REVISION
2	01/20/99	COUNTY COMMENTS
3	02/01/99	REV ANCHOR SCHEDULE
4	02/20/99	REV ANCHOR SCHEDULE
5	06/16/99	REV ANCHOR SCHEDULE
6	03/04/99	COUNTY COMMENTS

PROFESSIONAL SEAL
 ENGINEER
 DATE: May 29 1999
 SOUTH FLORIDA BUILDING CODE
 APPROVED AS COMPLYING WITH THE
 PRODUCT CONTROL DIVISION
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 98-1110-03
 96-110
 Sheet 1 of 8

0.050" ALUMINUM STORM PANEL
MADDEN MANUFACTURING CO.
 1889 N.W. 22 ST.
 POMPANO BEACH, FL 33069
 (800) 272-2071

KNEZEVICH & ASSOCIATES, INC.
 CONSULTING ENGINEERS • PRODUCT TESTING
 641 MOKENA DRIVE • MIAMI SPRINGS, FLORIDA 33166
 MIAMI (305) 883-9571 FT. LAUDERDALE (954) 677-9500
 FAX: (305) 883-9572
 COPYRIGHT © 1999 KNEZEVICH & ASSOCIATES, INC.



STORM PANEL SPAN STORM PANEL SCHEDULE		FOR ALL MOUNTING CONDITIONS
NEGATIVE DESIGN LOAD W (PSF)	L MAX. (FT-IN)	
30.0	10 - 6	
35.0	10 - 4	
40.0	10 - 0	
45.0	9 - 8	
50.0	9 - 5	
55.0	9 - 2	
60.0	8 - 9	
62.0	8 - 7	
65.0	8 - 5	
70.0	7 - 10	
72.0	7 - 7	
75.0	7 - 3	
80.0	6 - 10	
90.0	6 - 1	
100.0	5 - 6	
110.0	5 - 0	
120.0	4 - 7	
130.0	4 - 2	
140.0	3 - 11	
150.0	3 - 8	
160.0	3 - 5	
170.0	3 - 2	
180.0	3 - 0	
190.0	2 - 10	
200.0	2 - 9	

MIN. SEPARATION FROM GLASS SCHEDULE				
POSITIVE DESIGN LOAD(W) (PSF)	ACTUAL SHUTTER SPAN (FT - IN)	MINIMUM SEPARATION FOR INSTALLATIONS 30' OR LESS ABOVE GRADE (INCHES)		MINIMUM SEPARATION FOR INSTALLATIONS GREATER THAN 30' ABOVE GRADE (INCHES)
		BAR	NO BAR	
30.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-1/4
	7 - 0	2	3	1-1/2
	8 - 8	2-1/8	3	2-1/8
	10 - 6	3-3/4	3-3/4	3-3/8
40.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	7 - 0	2	3	1-5/8
	8 - 8	2-1/2	3	2-1/2
	10 - 0	3-3/4	3-3/4	3-1/2
50.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	7 - 0	2	3	1-3/4
	8 - 8	2-3/4	3	2-3/4
	9 - 5	3-3/4	3-3/4	3-5/8
60.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	7 - 0	2	3	1-7/8
	8 - 8	3	3	3
	9 - 0	3-3/4	3-3/4	3-1/4
70.0	3 - 0	2	3	1-1/8
	4 - 0	2	3	1-1/4
	5 - 0	2	3	1-3/8
	6 - 0	2	3	1-7/8
	7 - 0	3	3	3
	8 - 8	3-3/4	3-3/4	3

NOTES:

1. ENTER TABLE 1 WITH NEGATIVE DESIGN LOAD TO DETERMINE MAX. PANEL SPAN. POSITIVE LOADS LESS THAN OR EQUAL TO THE NEGATIVE LOAD ARE ACCEPTABLE.
2. ENTER TABLE 2 WITH POSITIVE DESIGN LOAD TO DETERMINE MIN. SEPARATION FROM GLASS.
3. FOR DESIGN LOADS BETWEEN TABULATED VALUES, USE NEXT HIGHER LOAD OR LINEAR INTERPOLATION. MAY BE USED TO DETERMINE ALLOWABLE SPANS.

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE MAY 20 1999
BY Heather A. Wall
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 98-1110-03

V.J. KNEZEVICH
PROFESSIONAL ENGINEER
FL License No. 0059983

DATE MAR 10 1999

DESIGNED BY AS NOTED
CHECKED BY AS NOTED
DRAWN BY AS NOTED
DATE 04/22/91

DRAWING NO. 96-110
SHEET 8 OF 8

no	date	by	description
1	10/26/96	RV	GENERAL REVISION
2	01/09/97	AM	COUNTY COMMENTS
3	02/04/97	AM	REV ANCHOR SCHEDULE
4	02/26/97	AM	REV ANCHOR SCHEDULE
5	04/16/98	AM	REV ANCHOR SCHEDULE
6	03/04/99	AM	COUNTY COMMENTS

**0.050" ALUMINUM
STORM PANEL**

MADDEN MANUFACTURING CO.
1889 N.W. 22 ST.
POMPANO BEACH, FL 33069
(800) 272-2071

KNEZEVICH & ASSOCIATES, INC.
CONSULTING ENGINEERS • PRODUCT TESTING

641 MOKENA DRIVE • MIAMI SPRINGS, FLORIDA 33166
MIAMI (305) 883-9571 FT. LAUDERDALE (954) 677-9500
FAX: (305) 883-9572

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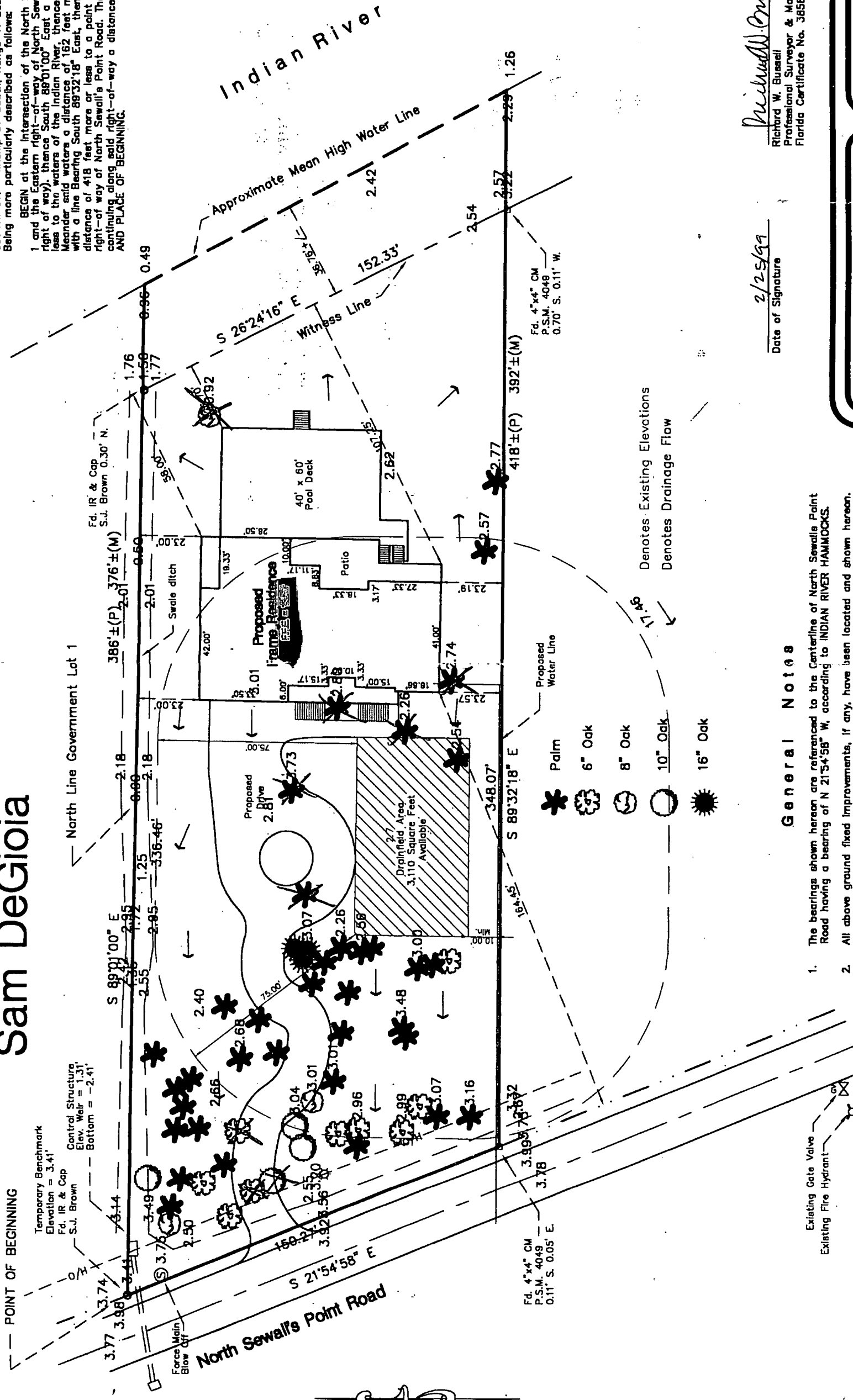
Site Plan For: Sam DeGioia

Legal Description

LOT 1, INDIAN RIVER HAMMOCKS

Known as a parcel of land lying within a portion of Government Lot 1, Section 35, Township 37 South, Range 41 East, Martin County, Florida. Being more particularly described as follows:

BEGIN at the intersection of the North Line of said Government Lot 1 and the Eastern right-of-way of North Sewall's Point Road (a 30 foot right of way), thence South 89°01'00" East a distance of 385 feet more or less to the waters of the Indian River, thence in a southeasterly direction with a line bearing South 89°32'18" East, thence North 89°32'18" West a distance of 418 feet more or less to a point of intersection with the East right-of-way of North Sewall's Point Road, thence North 21°54'58" West continuing along said right-of-way a distance of 150.27 feet to THE POINT AND PLACE OF BEGINNING.



POINT OF BEGINNING

Force Main Blow Off
Elev. Weir = 1.31'
Bottom = -2.41'

Temporary Benchmark
Elevation = 3.41'
F.d. IR & Cap
S.J. Brown

Central Structure
Elev. Weir = 1.31'
Bottom = -2.41'

North Line Government Lot 1

North Sewall's Point Road

Indian River

Approximate Mean High Water Line

Witness Line

Proposed Residence

40' x 80' Pool Deck

Proposed Driveway

Drainfield Area
3,110 Square Feet Available

F.d. 4"x4" CM
P.S.M. 4048
0.11' S. 0.05' E

F.d. 4"x4" CM
P.S.M. 4048
0.70' S. 0.11' W

- Palm
- 6" Oak
- 8" Oak
- 10" Oak
- 16" Oak

Denotes Existing Elevations
Denotes Drainage Flow

General Notes

1. The bearings shown hereon are referenced to the Centerline of North Sewall's Point Road having a bearing of N 21°54'58" W, according to INDIAN RIVER HAMMOCKS.
2. All above ground fixed improvements, if any, have been located and shown hereon.
3. Underground utilities and utility services have not been located on this survey.
4. Flood Notes: By graphic plotting only, this property is in Zones "A10(EL 8)", "A10(EL 9)" and "A10(EL 10)" according to the Flood Insurance Rate Map, Community Panel No. 120164-0001 D, effective date August 15, 1978, (revised 6/16/82) The exact designation can only be determined by an elevation certificate.
5. The Elevations shown hereon are referenced to N.G.V.D. (1928), and based on Martin County Benchmark "1WM-5" having an elevation of 4.395.

Legend

- | | | |
|------|-------------------------|---------------|
| F.d. | Found | Measured Data |
| R/W | Right-of-way line | Iron Rod |
| PCP | Permanent Control Point | Iron Data |
| CM | Concrete Monument | Iron Pipe |
| PP | Power Pole | Concrete |
| (C) | Calculated Data | O/A |
| CRB | Official Records Book | Pg. |
| ID | Identification Number | Tn |
| (R) | Radial | Tab |

Richard W. Busseil
Richard W. Busseil
Professional Surveyor & Mapper
Florida Certificate No. 3858

2/25/99
Date of Signature

Site Plan For:
Sam DeGioia
Martin County
Florida

Scale:	1" = 40'
Drawn By:	Jim
Check:	rvb
Sheet:	98-2-1042-01-01

Richard W. Busseil, Inc.
Survey Services, Mapping & Consulting
1820 & Federal Highway, Suite 101
Stuart, Florida 34994
Phone (888) 220-8880 Fax (888) 220-2317

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/31/00, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
* 4912	CHICOS	FINAL-PHASE I	Passed BG.	VERIFY F.D. INSP. (5/30)
⑤	HARBOR Bay Plaza COSTELLO CONST.	LARRY MASSING Bob Smith	288-5362	5363 221-5181 PA
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4589	DE GOIA P10 4900	Final Hurricane Protection	Passed BG	M-DC PROD APPR. DOCS. REQ. Permit # 4900
③	730 N. Sewall's Pt. Rd. COMPLETE HURRICANE PROT. "MARK"	692-8585		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4859	ABBOTT	POOL DECK	Passed BG.	COMP. TEST & REU FORUMED SCHEDULE ON FILE. NO permit on job.
④	108 N. Sewall's Pt. Rd. E.S. UNLIMITED			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4589	DE GOIA	Final Hurricane Protection	Passed BG.	SEE CHECKLIST ① Except Elevator ② Need Survey FOR E. WALL.
③	130 N. Sewall's Pt. Rd. CORWAY	FINAL C.O. (BEHNSPRT)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4628	HELLREGER	DOORS Installation INSTALLATION	Passed BG.	OFFICE CC: OF PKON APPR. AT Need Specs. For BREAKFAST Rm. BUT Glass of Family Rm. Alum. Sliders
①	11 CASTLE Hillway STRATHMORE	(USED 4" TAP CONS)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4771	VANWAGNER	Insulation For	Passed BG.	(WALLS PASSED 5/26)
②	3 PALMWAY CASTLE Hill REXPO HOMES	Kneewall		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: EBA: T/R PER. APIL, CARTNEY; 3 PINEAPPLE LANE - TRISTAN TREE/LINSCP.

* # 4912 Bob Smith made inspection 5:31-00 A.M. Passed.
(FIRE DEPT)

INSPECTOR (Name/Signature): _____

10242

GENERATOR

&

PAD



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10242	DATE ISSUED:	OCTOBER 12, 2012
SCOPE OF WORK:	GENERATOR & PAD		
CONTRACTOR:	ASSURANCE POWER SYSTEMS		
PARCEL CONTROL NUMBER:	353741000-000-000110	SUBDIVISION	PT GOVT LOT 1
CONSTRUCTION ADDRESS:	130 N SEWALLS PT RD		
OWNER NAME:	GUERRIERO		
QUALIFIER:	RICHARD MARSHALL	CONTACT PHONE NUMBER:	561-886-0470

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
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ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: _____ Permit Number: 10242

OWNER/LESSEE NAME: Diane Fuernberg Phone (Day) 904-755-9944 (Fax) _____

Job Site Address: 130 N Sewalls Point Road City: Stuart State: FL Zip: 34996

Legal Description: SEC 35-T 375-R41E Parcel Control Number: 3537 41 60 0 000 60011-0

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Install 170kw generator & switches / gas bcp thru st

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X

Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 30,000.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Assurance Power Systems Phone: 561-8860470 Fax: 561-892-2243

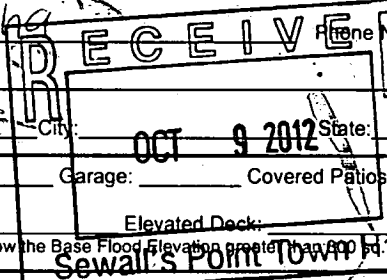
Qualifiers name: Richard Marshall Street: 1703 Catala del Sol City: Boca Raton State: FL Zip: 33432

State License Number: ECB003783 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Scott + Kunka Phone Number: 561-436-0666

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____



AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 200 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

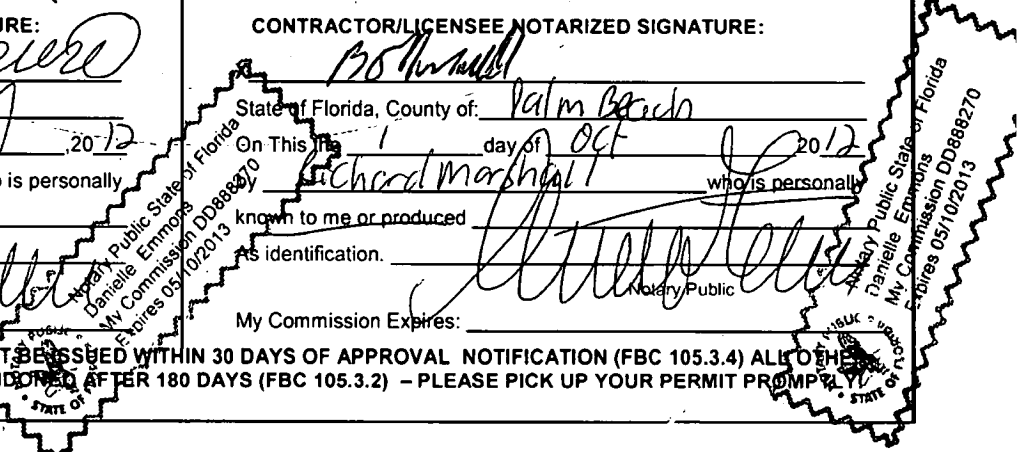
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.


OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
X Diane Fuernberg
 State of Florida, County of: Palm Beach
 On This the 20 day of Sept, 2012
 by Diane Fuernberg who is personally
 known to me or produced
 As identification: _____
 My Commission Expires: _____

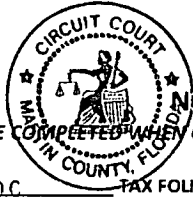
CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
Richard Marshall
 State of Florida, County of: Palm Beach
 On This the 1 day of Oct, 2012
 by Richard Marshall who is personally
 known to me or produced
 As identification: _____
 My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY.



STATE OF FLORIDA
MARTIN COUNTY


INSTR # 2355380
OR BK 2605 PG 1547
(1 Pgs)
RECORDED 10/09/2012 09:38:38 AM
MARSHA EWING
MARTIN COUNTY CLERK



THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

MARSHA EWING, CLERK

BY: 
DATE: 10/12/12

TAX FOLIO #: 35 3741 006 006 00011 -0

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

SEC 35-T 375 -R41 E 130 N Sewalls Point Road Spant FL 34946

GENERAL DESCRIPTION OF IMPROVEMENT:

Install 70kw standby generator & switches/gas by others

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Joseph & Diane Guerriero
ADDRESS: 130 N Sewalls Point Road Spant FL 34946
PHONE NUMBER: 914-755-4944 FAX NUMBER: _____
INTEREST IN PROPERTY: amr

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Assurance Power Systems
ADDRESS: 1712 Costa del Sol Cir Katon FL 33472
PHONE NUMBER: 813-8860470 FAX NUMBER: 813-8860473

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b) , FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

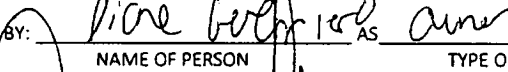
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES)


SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

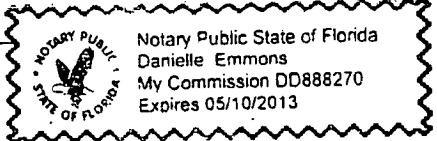
SIGNATORY'S TITLE/OFFICE amr

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF Sept., 2012

BY:  AS amr FOR _____
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED drific


NOTARY SIGNATURE/ SEAL





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

GENERATOR SPECIFICATIONS:

MANUFACTURER: Generac MODEL: QT070

NEW: X USED: _____ IF USED YEAR MANUFACTURED _____

MAXIMUM ELECTRICAL OUTPUT: 70 KW

PROPOSED ELECTRICAL DEMAND SERVED: 400 AMPS

FUEL SOURCE: GASOLINE ___ DIESEL ___ LP ✓ OTHER _____

TANK SIZE: _____ GALLONS

TANK TYPE: UNDERGROUND ___ ABOVE GROUND ___ EXISTING TANK ___
 IF EXISTING YEAR INSTALLED _____ SUB BASE (ATTACHED TO GENERATOR) _____

MAXIMUM Db: FULL LOAD 65 Db; EXERCISE/TEST: 61 Db

GENERATOR LOCATION:

PROPOSED CLEARANCES TO STRUCTURE: 14' FT (3' min. non-combustibles – 5' combustible)

NFPA 37 (4.1.4) Engines Located Outdoors. Engines, and their weatherproof housings if provided, that are installed outdoors shall be located at least 1.5 m (5 ft) from openings in walls and at least 1.5 m (5 ft) from structures having combustible walls. A minimum separation shall not be required where the following conditions exist:

- (a) The adjacent wall of the structure has a fire resistance rating of at least 1 hour.
- (b) The weatherproof enclosure is constructed of noncombustible materials, and it has been demonstrated that a fire within the enclosure will not ignite combustible materials outside the enclosure.

PROPOSED SETBACKS FROM PROPERTY LINES: FRONT 200' ft. SIDE 5' ft. REAR 100' ft.
 5' MINIMUM SIDE SETBACK ALLOWED ONLY FOR EXISTING HOMES PRIOR TO 02/27/2007.
 Generators installed on newly developed or substantially improved lots after 02/27/2007 must meet current required setbacks. Ref: Ordinance no. 330.

OUTSIDE MOUNTING REQUIRES A MINIMUM OF 4" POURED IN PLACE CONCRETE SLAB, OR OTHER ENGINEERED BASE TO MEET MINIMUM WIND LOADING.

CONCRETE SLAB: NEW ✓ EXISTING _____ OTHER BASE _____

SLAB SIZE: LENGTH 106" WIDTH 48" THICKNESS 6"

GENERATOR ANCHORING SPECIFICATIONS (SIZE, TYPE AND SPACING)
 PROVIDE DETAIL BELOW

See attached engineered specs

gas by others



PN 10242

AMERICA'S PREMIER GENERATOR PROVIDER!

February 7, 2013

Town of Sewall's Point Building Department
One S. Sewall's Point Rd
Sewall's Point, Florida 34996

FWP

RE: Generator Elevation At 130 N Sewall's Point Road

To Whom It May Concern:

The elevation of the Generator is 10.1667'. The elevation was determined by starting at the 3.56' known elevation of the garage floor as indicated on the property survey and determining the elevation of the grade at the generator location by using a builders' level and transit as 3.1667'. Adding the slab height of 2' plus the stand height of 5' brings you to the total elevation of 10.1667'.

Regards,

A handwritten signature in black ink, appearing to read "W Ferrigno", written in a cursive style.

Will Ferrigno
President

Assurance Power Systems
 1702 Costa del Sol - Boca Raton, FL 33432 -
 Phone: 561-886-0470 - Fax: 561-892-8243 - Email: sales@assurancepower.com

EC13003723 & LP21950



QUOTE

Date:	Quote #
09/20/12	AAAQ3700

NO HOA

Sold To:
 Diane Guerriero
 130 N. Sewells Point Rd
 Stuart, FL

 Phone: (914) 755-4944
 Fax:

Ship To:

 Phone:
 Fax:

Project Type:

Rep	P.O. Number
McLean	

Description	Qty	Unit Price	Ext. Price
Generac 70kW, 1800rpm, Alum Enclosure	1	\$33,581.65	\$33,581.65
Generac 200 Amp Nexus Service Rated Automatic Transfer Switch			
Generac 200 Amp Nexus Service Rated Automatic Transfer Switch			
Turnkey Generator Installation: Includes permit drawings, delivery, engineered concrete pad, electrical installation, startup and inspection, calibration, and customer orientation session. Custom Raised Generator Stand			
Installation of 2nd Transfer Switch			
Preventative Maintenance Agreement - Silver - Liquid Cooled: 2 complete inspections plus tune up			
Discount	1	-\$3,781.65	-\$3,781.65
SubTotal			\$29,800.00
Permit Fee's; Estimate - Will bill actual	1	\$200.00	\$200.00

To upgrade tank through Ameriagas it is a flat fee of \$800 for the 1000 gal tank and an additional \$20/month per Brian (Ameriagas rep)

Gen location must comply with code per martin county

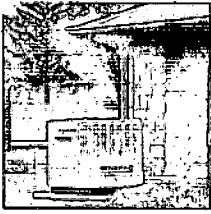
TERMS: 20% DEPOSIT _____, 50% UPON DELIVERY OF GENERATOR _____, 25% UPON STARTUP _____, 5% DUE AFTER FINAL INSPECTION _____ (PLUS ACTUAL PERMIT FEE'S).

SubTotal	\$30,000.00
Sales Tax	\$0.00
Total	\$30,000.00

Progress payments are due upon invoicing. Unpaid invoices will result in work stoppage.

Acceptance of Proposal- The above prices, specifications and conditions are satisfactory and are hereby accepted. I acknowledge that I have read and will comply with the Installation Contract Addendum. Acceptance of this proposal gives APS the authority to sign as the owner's agent for any documents required to attain permits or other such approval.

Signature *Diane Guerriero* Date of Acceptance: 9/20/12 APS Signature _____



GENERAC® STANDBY GENERATORS

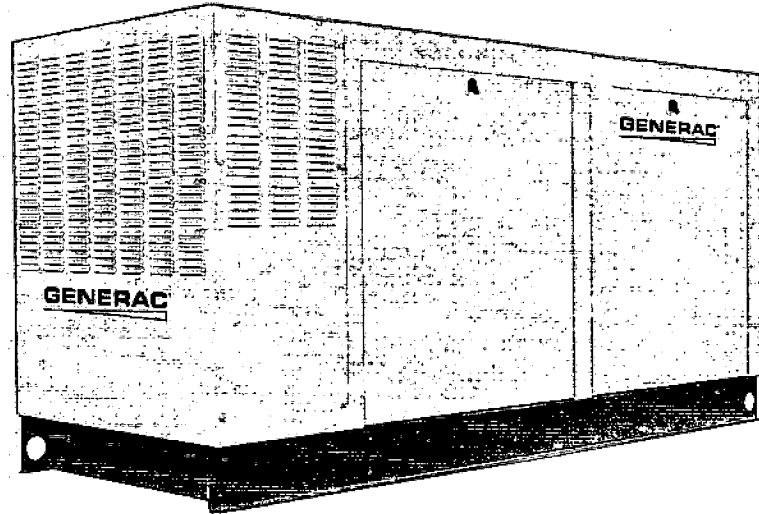
70 kW

Liquid-Cooled Engine Generator Sets

Standby Power Rating
Model QT070 (Bisque) - 70 kW 60Hz

INCLUDES:

- Generac Naturally Aspirated Gaseous Fueled 6.8L Engine
- Two Line LCD Tri-lingual Digital Nexus™ Controller
- Isochronous Electronic Governor
- Closed Coolant Recovery System
- Smart Battery Charger
- UV/Ozone Resistant Hoses
- ±1% Voltage Regulation
- Natural Gas or LP Operation
- 2 Year Limited Warranty
- UL 2200 Listed



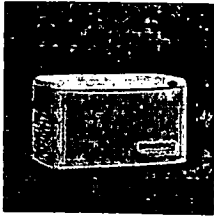
QUIET-TEST

Meets 2010 EPA Emission Regulations
Meets CA/MA emissions requirement with optional catalyst

FEATURES

- **INNOVATIVE DESIGN & PROTOTYPE TESTING** are key components of GENERAC'S success in "IMPROVING POWER BY DESIGN." But it doesn't stop there. Total commitment to component testing, reliability testing, environmental testing, destruction and life testing, plus testing to applicable CSA, NEMA, EGSA, and other standards, allows you to choose GENERAC POWER SYSTEMS with the confidence that these systems will provide superior performance.
- **TEST CRITERIA:**
 - ✓ PROTOTYPE TESTED
 - ✓ SYSTEM TORSIONAL TESTED
 - ✓ NEMA MG1-22 EVALUATION
 - ✓ MOTOR STARTING ABILITY
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION.** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. An unequalled ±1% voltage regulation.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES.** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line includes its own transfer systems and controls for total system compatibility.

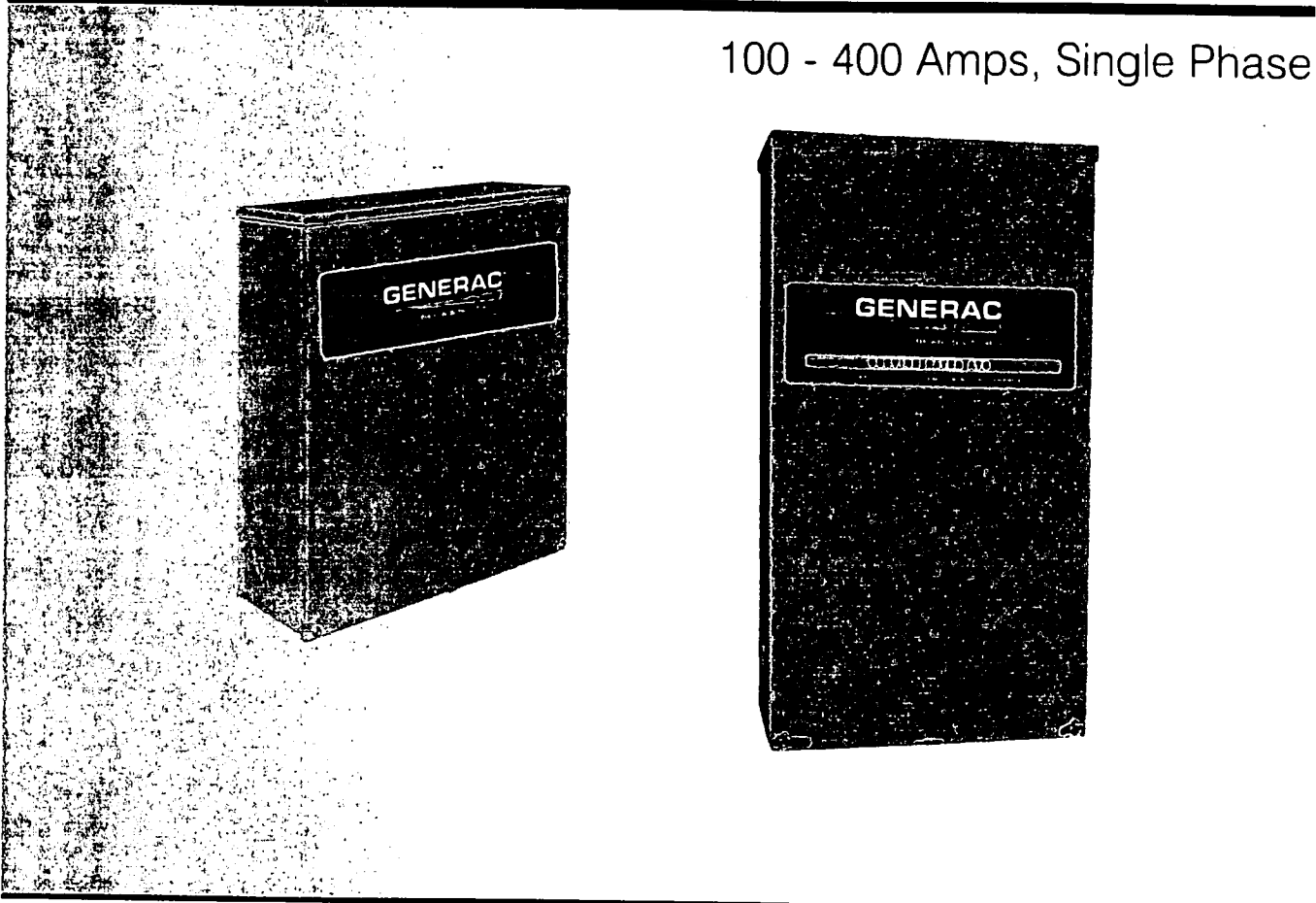
GENERAC®



GENERAC® NEXUS SMART SWITCH™

With Digital Load Management Technology

100 - 400 Amps, Single Phase



DESCRIPTION

Generac Nexus Smart Switches are designed for use with single phase generators 60kW and below. The 100, 150, 200 and 400 amp open transition switches are available in single phase in both service rated and non-service rated configurations.

STANDARD FEATURES

All Nexus Smart Switches are housed in an aluminum NEMA/UL Type 3R enclosure*, with electrostatically applied and baked powder paint. The Heavy Duty Generac Contactor is a UL recognized device, designed for years of service. The control at the generator handles all the timing, sensing and exercising functions.

* The 400 amp Non-Service Rated Switch is housed in a steel enclosure.

DLM TECHNOLOGY

Through the use of Digital Load Management technology (DLM), each of these switches has the capability to truly manage two air conditioning loads with no additional hardware. When used in tandem with the individual DLM modules, up to four more additional loads can be intelligently managed individually.

GENERAC®



GenSizer™

Load Calculations Engineered Exclusively for:

Customer Name: Diane Guerriero

All load demands and calculations performed IAW NEC 2008 Article 220.

Whole House Load Calculation

Square Footage @ 3 Watts Per FT² **27,000**

Enter Total Square Footage of Residence: **27,000**

Appliances & Other Loads **32,090**

Managed?	Enter All Appliances, Motors, and Low Power Factor Loads	Load
	WASHER	1,200
	DRYER	5,000
	WATER HEATER	4,500
	REFRIGERATOR	1,200
	GARAGE DOOR OPENER	540
	PUMP - 1 HP	1,800
	CENTRAL VAC	1,000
	JACUZZI TUB	1,000
	MICROWAVE OVEN	1,300
	DISHWASHER/DISPOSAL	1,680
	DISHWASHER/DISPOSAL	1,680
	COOKTOP (GAS)	240
	OVEN	7,000
	WINE COOLER	1,200
	SUMP PUMP	750
	OTHER	2,000

Total General Load: **29,636**

Total Load From Steps 1 & 2 : 59,090

1st 10KW @ 100% Demand : 10,000

Remainder @ 40% Demand : 19,636

Air Conditioning & Heating **18,736**

Managed?	System	Cooling Description	Cooling Load	Heating Description	Heating Load
Yes	System1	4 TON	4,684	7.5KW HEAT STRIP	7,500
	System2	4 TON	4,684	7.5KW HEAT STRIP	7,500
	System3	4 TON	4,684	10KW HEAT STRIP	10,000
Yes	System4	4 TON	4,684	10KW HEAT STRIP	10,000
Subtotal Cooling Load:			18,736	Subtotal Heating Load:	35,000
					Discount Heat Load: 14,000

TOTALS:

Total Calculated Load: **Watts: 48,372**

AMPS: 201.55

GenSizer is a registered trademark of Assurance Power Systems LLC. The results of the tool are not valid without a signature from an authorized Assurance Power Systems representative

② JOB SCORE _____

EXISTING SERVICE SIZE: 400

VOL. TAGE: 120/240

MAIN BREAKERS: 2

MAIN #1 SIZE: 200

MAIN #2 SIZE: 200

MAIN #3 SIZE: _____

MAIN #4 SIZE: _____

METER/ MAIN COMBO _____

(V/N/D): NS

TRANSFER SWITCH TYPE:	QTY
100 AMP 16 CKT	
100 AMP	
100 AMP SR	
150 AMP SR	
200 AMP SR	2
200 AMP	
200 AMP SR LTS	
400 AMP SR	
400 AMP SR	
OTHER:	

JOB TYPE	
EMERGENCY SUBPANEL	
WHOLE HOUSE MANAGED LOADS	
WHOLE HOUSE	✓

SIGNAGE SHALL BE INSTALLED PURSUANT TO NEC 702.8.

Service Feeders Per NEC 2008 310.15

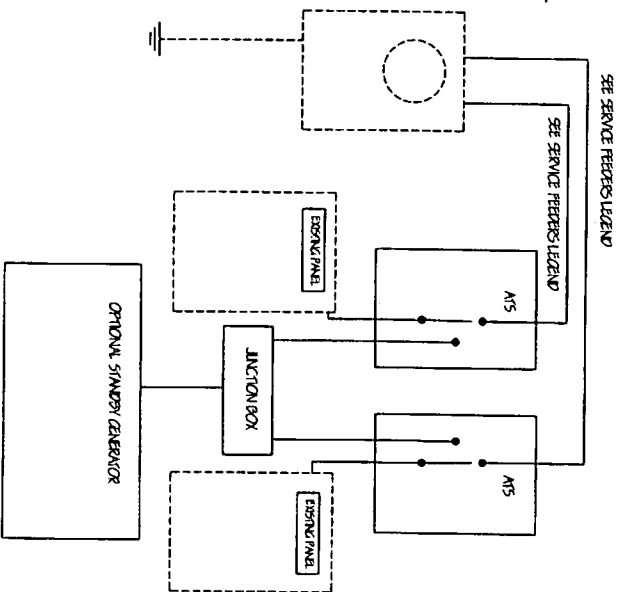
Service of Feeder Rating	Circuit
100	4
110	2
125	2
150	1
175	1/0
200	2/0
225	3/0
250	4/0
300	250
350	350
400	400

Generator Feeders & Ground Per NEC 2008 310.16 & 250.122

Generator	Breaker	Feeders	Ground	Conduit
7kW	30	10 THHN	10 THHN	1" PVC
8kW	35	10 THHN	10 THHN	1" PVC
10kW	45	8 THHN	10 THHN	1" PVC
14kW	60	6 THHN	10 THHN	1 1/4" PVC
17kW	65	6 THHN	8 THHN	1 1/4" PVC
20kW	100	3 THHN	8 THHN	1 1/4" PVC
22kW	100	3 THHN	8 THHN	1 1/4" PVC
25kW	125	1 THHN	6 THHN	1 1/4" PVC
27kW	125	1 THHN	6 THHN	1 1/4" PVC
30kW	125	1 THHN	6 THHN	1 1/4" PVC
38kW	175	2/0 THHN	6 THHN	2" PVC
45kW	200	3/0 THHN	6 THHN	2" PVC
48kW	200	3/0 THHN	6 THHN	2" PVC
60kW	300	[2] Sets 1/0 THHN	[2] Sets 4 THHN	[2] 2" PVC
70kW	300	[2] Sets 1/0 THHN	[2] Sets 4 THHN	[2] 2" PVC

*Control wires in separate conduit if over 30'

③ TYPICAL RISER



ELECTRICAL RISER DIAGRAM

NOT TO SCALE

<p>ASSURANCE POWER SYSTEMS PH: 561.886.0470 FAX: 561.892.8243</p>	<p>These drawings and the design hereon are the property of Assurance Power Systems, Inc. and may not be reproduced in whole or in part without expressed permission.</p>																		
<p>REPAIRED FOR:</p>	<p>JOB NUMBER:</p>																		
<p>AMOUNT OF BIDDING MATERIAL</p>	<p>DATE:</p>																		
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>COMMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	COMMENT																<p>SHEET NO. E2 1 of 5</p>
NO.	DATE	COMMENT																	

Minimum Generator Size:Generac Guardian 60kW Liquid Cooled

Load Management Summary:

Total Managed Load: 17,500

Total Generator Load: 30,872

Generator Size With Load Management:Generac 36kW QuietSource Liquid Cooled

GENERATOR SPECIFICATIONS

TYPE	Synchronous
ROTOR INSULATION	Class H
STATOR INSULATION	Class H
TELEPHONE INTERFERENCE FACTOR (TIF)	< 50
ALTERNATOR OUTPUT LEADS 3-PHASE/1-PHASE	6/4 wire
BEARINGS	Sealed Ball
COUPLING	Flexible Disc
LOAD CAPACITY (STANDBY RATING)	70 kW
EXCITATION SYSTEM	Direct

VOLTAGE REGULATION

TYPE	Full Digital
SENSING	Three Phase
REGULATION	± 1%

GENERATOR FEATURES

<p>Revolving field heavy duty generator Directly connected to the engine Operating temperature rise 120 °C above a 40 °C ambient Insulation is Class F rated at 130 °C rise All models are fully prototyped tested</p>
--

ENCLOSURE FEATURES

Aluminum all weather protective enclosure options available	Ensures protection against mother nature. Electrostatically applied textured epoxy paint for added durability.
Enclosed critical grade muffler	Quiet, critical grade muffler is mounted inside the unit to prevent injuries.
Small, compact, attractive	Makes for an easy, eye appealing installation.
SAE	Sound attenuated enclosure ensures quiet operation.

ENGINE SPECIFICATIONS

MAKE	Generac
MODEL	V-type
CYLINDERS	10
DISPLACEMENT	6.8 Liter
BORE	3.55
STROKE	4.17
COMPRESSION RATIO	9:1
INTAKE AIR SYSTEM	Naturally Aspirated
VALVE SEATS	Hardened
LIFTER TYPE	Hydraulic

GOVERNOR SPECIFICATIONS

TYPE	Electronic
FREQUENCY REGULATION	Isochronous
STEADY STATE REGULATION	± 0.25%

ENGINE LUBRICATION SYSTEM

OIL PUMP	Gear
OIL FILTER	Full flow spin-on cartridge
CRANKCASE CAPACITY	5 Quarts

ENGINE COOLING SYSTEM

TYPE	Closed
WATER PUMP	Belt driven
FAN SPEED	2030
FAN DIAMETER	22 inches
FAN MODE	Pusher

FUEL SYSTEM

FUEL TYPE	Natural gas, propane vapor
CARBURETOR	Down Draft
SECONDARY FUEL REGULATOR	Standard
FUEL SHUT OFF SOLENOID	Standard
OPERATING FUEL PRESSURE	11" - 14" H ₂ O

ELECTRICAL SYSTEM

BATTERY CHARGE ALTERNATOR	12V 30 Amp
SMART BATTERY CHARGER	12V, 2 Amp
RECOMMENDED BATTERY	Group 24F, 12V, 525CCA
SYSTEM VOLTAGE	12 Volts

Generac® Standby Generator - 70 kW

GENERAC®

OPERATING DATA					
KW RATING (LP/NG)	70				
ENGINE SIZE	6.8 Liter V-10				
GENERATOR OUTPUT VOLTAGE/KW - 60Hz	LP	Rated AMP	NG	Rated AMP	CB Size
120/240V, 1-phase, 1.0 pf	67	279	64	267	300
120/208V, 3-phase, 0.8 pf	70	243	67	232	250
120/240V, 3-phase, 0.8 pf	70	210	67	201	250
277/480V, 3-phase, 0.8 pf	70	105	67	101	125
GENERATOR LOCKED ROTOR KVA AVAILABLE @ VOLTAGE DIP OF 35%					
Single phase or 208-240 3-phase	145				
480V 3-phase	160				
ENGINE FUEL CONSUMPTION (Natural Gas) (Propane)	Natural Gas		Propane		
	(ft ³ /hr.)		(gal/hr.)		cu ft/hr
Exercise cycle	110		1.20		44.2
25% of rated load	260		2.85		104.9
50% of rated load	500		5.46		200.9
75% of rated load	696		7.62		280.4
100% of rated load	1020		11.17		411
ENGINE COOLING					
Air flow (inlet air including alternator and combustion air)	ft ³ /min.	5200			
System coolant capacity	US gal.	4.5			
Heat rejection to coolant	BTU/hr.	287,000			
Max. operating air temp. on radiator	°C (°F)	60 (150)			
Max. ambient temperature	°C (°F)	50 (140)			
COMBUSTION AIR REQUIREMENTS					
Flow at rated power 60 Hz	cfm	205			
SOUND EMISSIONS IN DBA					
Exercising at 7 meters	61				
Normal operation at 7 meters	65				
EXHAUST					
Exhaust flow at rated output 60 Hz	cfm	557			
Exhaust temp. at muffler outlet	°C (°F)	477 (890)			
ENGINE PARAMETERS					
Rated synchronous RPM	60 Hz	1800			
POWER ADJUSTMENT FOR AMBIENT CONDITIONS					
Temperature Deration	3% for every 10 °C above - °C		25		
	1.65% for every 10 °F above - °F		77		
Altitude Deration	1% for every 100 m above - m		183		
	3% for every 1000 ft. above - ft.		600		

RATING: All three phases units are rated at 0.8 power factor. All single phase units are rated at 1.0 power factor. STANDBY RATING: Standby ratings apply to installations served by a reliable utility source. The standby rating is applicable to varying loads for the duration of a power outage. There is no overload capability for this rating. Ratings are in accordance with ISO-3046-1. Design and specifications are subject to change without notice. kW rating is based on LPG Fuel and may derate with natural gas.

FUNCTIONS

All Timing and sensing functions originate in the generator controller

Utility voltage drop-out.....	<60%
Timer to generator start.....	10 second factory set, adjustable between 10-30 seconds
Engine warm up delay.....	5 seconds
Standby voltage sensor.....	60% for 5 seconds
Utility voltage pickup.....	>80%
Re-transfer time delay.....	15 seconds
Engine cool-down timer.....	60 seconds
Exerciser.....	12 minutes every 7 days

The transfer switch can be operated manually without power applied.

SPECIFICATIONS

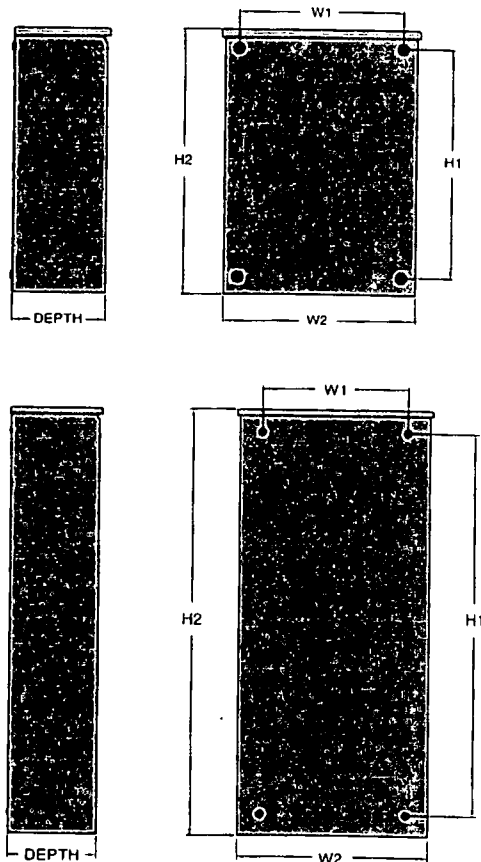
Model	RTSX100A3	RTSD100A3	RTSD150A3	RTSX200A3	RTSD200A3	RTSX400A3	RTSD400A3
Amps	100	100	150	200	200	400	400
Voltage	120/240, 1Ø	120/240, 1Ø	120/240, 1Ø	120/240, 1Ø	120/240, 1Ø	120/240, 1Ø	120/240, 1Ø
Load Transition Type (Automatic)	Open Transition	Open Transition Service Rated	Open Transition Service Rated	Open Transition	Open Transition Service Rated	Open Transition	Open Transition Service Rated
Enclosure Type	NEMA 3R	NEMA 3R	NEMA 3R	NEMA 3R	NEMA 3R	NEMA 3R	NEMA 3R
UL Rating	UL/CUL	UL	UL	UL/CUL	UL	UL/CUL	UL
Withstand Rating (Amps)	10,000	10,000	22,000	10,000	22,000	18,000	22,000
Lug Range	2/0 - #14		400 MCM - #4			600 MCM - #4 or 2-250 MCM	
Unit Weight - lbs. kilos	20 9.07	22.5 9.97	39 17.69	20 9.07	39 17.69	133 60.32	140 63.50

EXTERNAL DIMENSIONS

	100 Amps 120/240, 1Ø Open Transition					100 Amps 120/240, 1Ø Open Transition Service Rated				
	Height		Width		Depth	Height		Width		Depth
	H1	H2	W1	W2		H1	H2	W1	W2	
Inches	17.24	20	12.5	14.6	7.09	17.24	20	12.5	14.6	7.09
mm	438.0	508.4	318.0	372.0	180.0	438.0	508.4	318.0	372.0	180.0

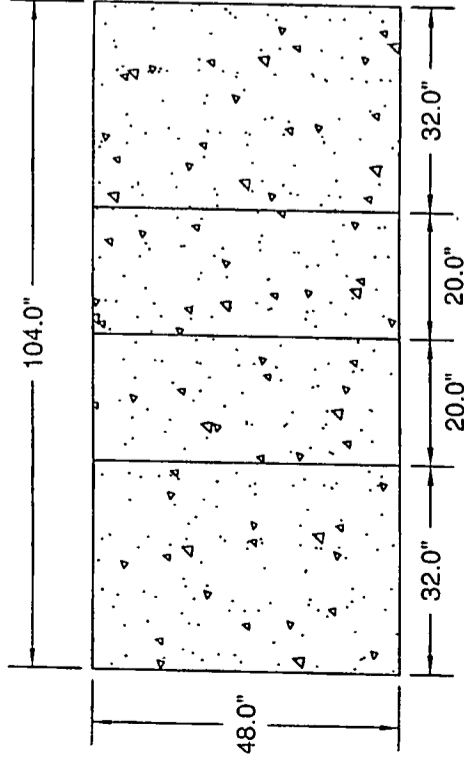
	200 Amps 120/240, 1Ø Open Transition					150 & 200 Amps 120/240, 1Ø Open Transition Service Rated				
	Height		Width		Depth	Height		Width		Depth
	H1	H2	W1	W2		H1	H2	W1	W2	
Inches	17.24	20	12.5	14.6	7.09	27.24	30.0	11.4	13.5	7.09
mm	438.0	508.4	318.0	372.0	180.0	692.0	762.4	289.0	343.0	180.0

	400 Amps 120/240, 1Ø Open Transition					400 Amps 120/240, 1Ø Open Transition Service Rated				
	Height		Width		Depth	Height		Width		Depth
	H1	H2	W1	W2		H1	H2	W1	W2	
Inches	31.25	36.0	19.18	24.0	10.06	42.91	48.0	16.69	21.82	10.06
mm	794.0	917.0	487.0	609.6	255.5	1090.0	1219.3	424.0	554.3	255.5

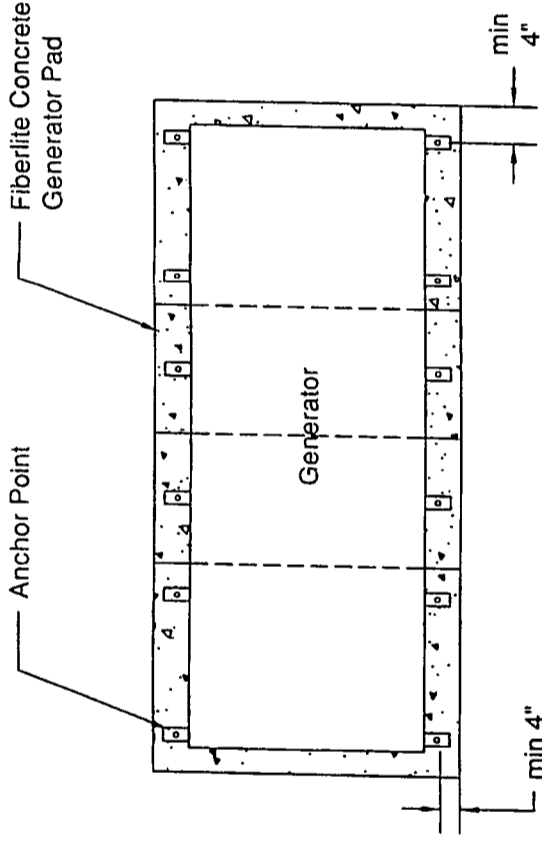


Liquid-Cooled Generator Pad (70 kW)

ALL TIE DOWN POINTS TO BE INSTALLED A MINIMUM OF 4 INCHES FROM EDGE OF CONCRETE PAD.

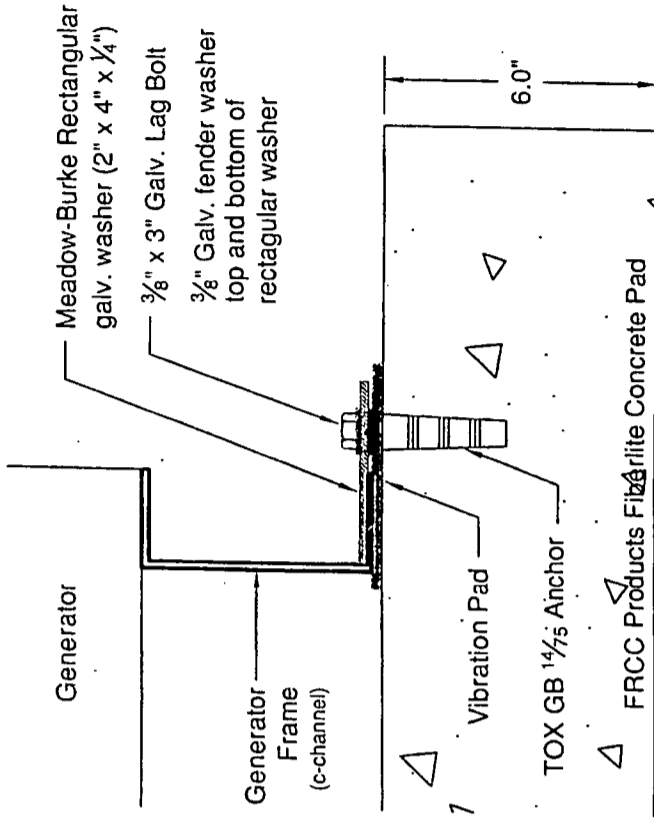


1 Top View - Slab
Scale: 1:30



2 Top View with Generator
Scale: 1:30

ALL TIE DOWN POINTS TO BE INSTALLED A MINIMUM OF 4 INCHES FROM EDGE OF CONCRETE PAD.

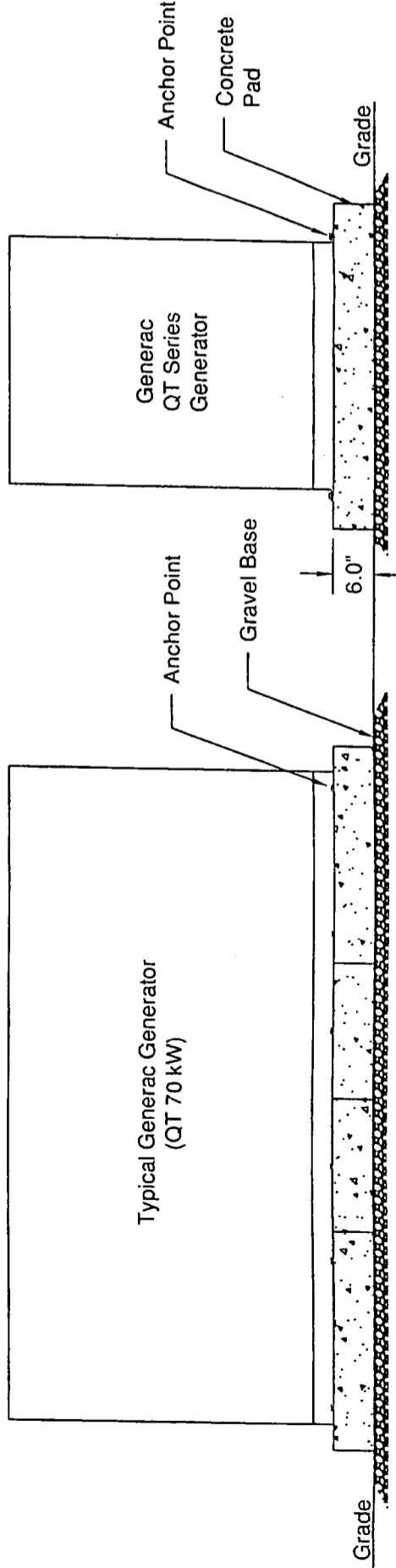


3 Anchoring Diagram
Scale: NTS

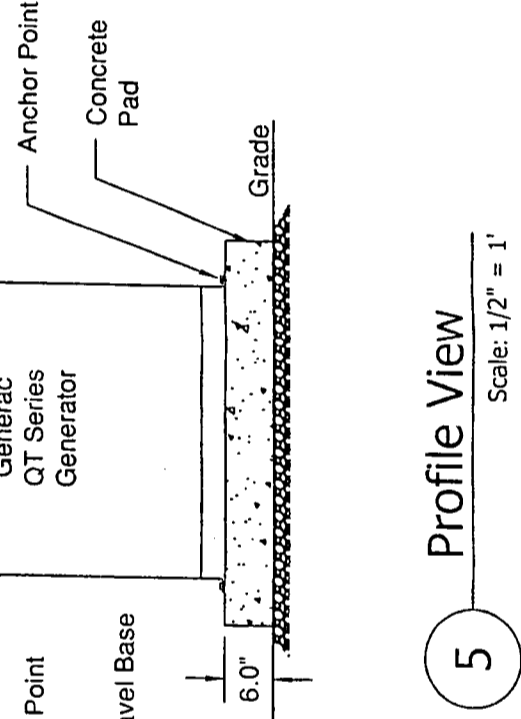
This tie down specification and drawings are suitable for the following generators:

- Generac Quiet Test and Guardian Elite Models (Propane/Natural Gas Ratings): 70 kW
- Other generators may be used. For approval see engineer prior to installation.

Richard M. Zinner, P.E.
5/15/12



4 Profile View
Scale: 1/2" = 1'



5 Profile View
Scale: 1/2" = 1'

General Notes	
To be used only with Fiberlite concrete pads produced by FRCC Products only.	
All design completed in accordance with ASCE 7-10 2010 FBC	
System designed to meet overturn moment and uplift produced by 175mph, 3sec wind gust with a minimum safety factor of 1.5.	
All hardware to be corrosion resistant. Hardware to be galvanized steel unless otherwise approved by engineer.	
Ground to be prepared by removing sod and placing compacted road grade gravel to prepare site for slabs.	
Site soil density has not been evaluated in preparing this design. Soil bearing capacity assumed to be capable of supporting slab and generator. Report to engineer if field conditions vary.	
Pad to be installed above or equal to any flood criteria as determined by the authority having jurisdiction and FEMA.	
Rev 2010FBC 4/23/12	Date
No.	Revision/Issue
ENGINEER: Richard Zimmer, PE 129 NW 13th Street, Suite #20 Boca Raton FL 33432 Phone: (561)391-6917 PE #: 18095	
Project Name and Address:	
Project: Generator Slab	Sheet: S-1
Date: July 22, 2011	Scale: as noted

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10.31.12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10242	GOERLIG	GEN	SLAB OK	FAIL
	130 N. 5TH LN	SLAB	STAND TIE	NOT LOOKING
	NOURANCE POWEN			INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10144	MURPHY	SKOT CRATE		
	8 HERONS NEST	WALLS	PASS	
	BROWNIE	Part II		INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10246	ELLIOT	UG. TANK		UNCOVER TANK
	25 W. 116th Pt	& LINES	FAIL	TIE DOWN ANODE & ANODE
	PROPANE SERVICES			INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10255	Deberard	ROOF NAILING		
	37 N. RIVER	& IN PROGRESS	PASS	
	JATaylor Roofing			INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-11-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10265	Morales 10 N. RIDGEVIEW GRUBEN	SLAB	FAIL	PERMITE SPRAY BURNING STEEL INSPECTOR
10245	1 Mercedes Wehner A GLEND FENCE	FINAL FENCE	PASS	CLAE INSPECTOR
10276	GENERATION 130 N. SP. RD ASSURANCE Power Sys	SLAB	FAIL	GENERATION TO CLAE TO BURNING STEEL INSPECTOR
10295	Coffin 15 Riverview Canel			INSPECTOR
10298	Bulmer 2 Sewalls Kenas Canel			INSPECTOR
10144	Pakel 8 Herons Nest Browne	electric rough plumbing rough AC rough	PASS	INSPECTOR
				INSPECTOR

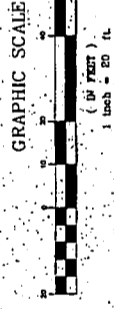
TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 1-18-13 Page 1 of 1

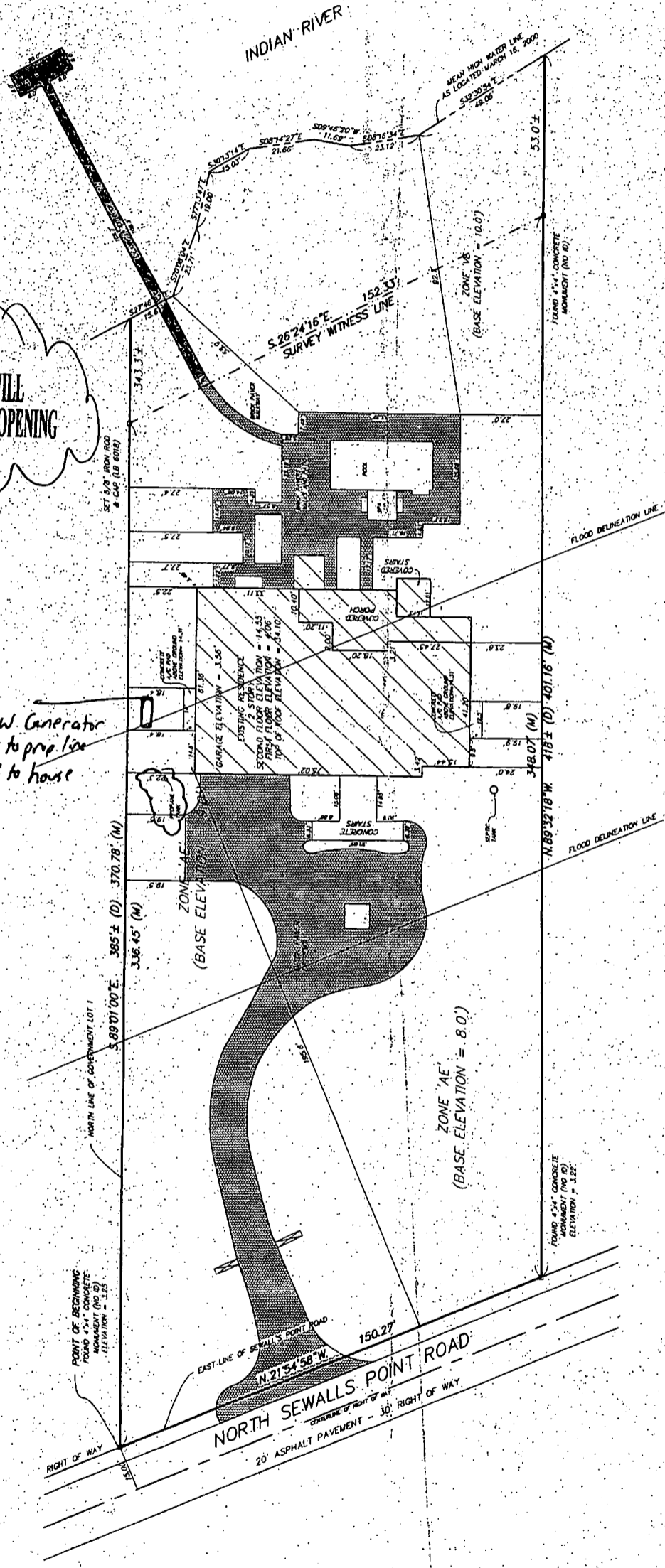
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10265	Morales 10 Ridgeway N. Gribsen	mailing Roof Sheathing & Subsiding	PASS	INSPECTOR <i>[Signature]</i>
10144	Babak 8 Herons Nest Browne	meter final	Passed Yesterday	INSPECTOR <i>[Signature]</i>
10212	Guerrero 130 N. Seawall Rd Assurance Power	GENERATOR GENERATOR PAO	PASS PASS PASS	INSPECTOR <i>[Signature]</i>
10027 PM	Goudis 25 S River Rd Team Parks	entry footers privacy wall entry wall column footer	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	CALL BARRY ABOUT DEMOS ON LOT			INSPECTOR

BOUNDARY SURVEY
PORTION OF GOVERNMENT LOT 1
SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST
SEWALLS POINT, MARTIN COUNTY, FLORIDA



70kw Generator
 - 5' to prop. line
 - 14' to house

**GENERATOR EXHAUST WILL
 BE 10FT FROM ANY BUILDING OPENING**



CERTIFICATION:
 I, JOSEPH J. GUERRIERO and DIANE L. GUERRIERO
 2. GREENSPOON, MARDER, PA.
 3. FIDELITY NATIONAL TITLE INSURANCE COMPANY

LEGAL DESCRIPTION:
 LOT 1, INDIAN RIVER HAMMOCKS, TOWNSHIP 37 SOUTH, RANGE 41 EAST, SECTION 35, BEING MORE OR LESS THE INTERSECTION OF THE NORTH LINE OF SAID GOVERNMENT LOT 1 AND THE EASTERN RIGHT OF WAY OF NORTH SEWALLS POINT ROAD (A 30 FOOT RIGHT OF WAY), THENCE SOUTH 89°01'00" EAST A DISTANCE OF 385 FEET MORE OR LESS TO THE WATERS OF INDIAN RIVER, THENCE IN A SOUTHWESTERLY DIRECTION MEASURING SAID WATERS A DISTANCE OF 162 FEET MORE OR LESS TO THE INTERSECTION WITH A LINE BEING MORE OR LESS TO A POINT OF NORTH 21°54'58" WEST CONTINUING ALONG SAID RIGHT OF WAY OF NORTH SEWALLS POINT ROAD, THENCE TO THE POINT AND PLACE OF BEGINNING.

SURVEYOR'S NOTES:

- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES, EITHER ADJACENT TO THIS SITE OR TO THE ADJACENT PROPERTY UNLESS SHOWN HEREON, WHICH WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION OR RECES ON OR ADJACENT TO THIS SITE.
- NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE.
- LANDS SHOWN HEREON WERE SURVEYED WITHOUT BENEFIT OF TITLE SEARCH.
- BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF S. 21°54'58" E. ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF NORTH SEWALLS POINT ROAD.
- LEGAL DESCRIPTION FURNISHED BY CLIENT.
- SITE AREA: 54263.03 SQUARE FEET OR 1.2457 ACRES MORE OR LESS.
- THIS SITE LIES IN FLOOD ZONES: 'AE' (BASES B1, B-9') AND 'AF' (BASE 10') AS SCALED AND INTERPOLATED IN FEMA MAP NO. 120164-0164-1, DATED OCTOBER 4, 2002.

SURVEYOR'S CERTIFICATION:
 SURVEY, MAP AND REPORT ON THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL PAGED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

Robert Bloomster
 ROBERT BLOOMSTER
 PROFESSIONAL LAND SURVEYOR
 NO. 4134 STATE OF FLORIDA

**BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.**
 L.B. #8018
 641 NORTHEAST SPENCER STREET
 JENSEN BEACH, FLORIDA 34957
 PHONE 772-334-0868

JOSEPH and DIANE GUERRIERO
 130 NORTH SEWALLS POINT ROAD
 SEWALLS POINT, MARTIN COUNTY, FLORIDA

SHEET 1 OF 1
 DRAWN BY: J.P.G.
 FIELD WORK COMPLETED: 8/29/13
 DATE: 9/3/13
 REVISIONS:
 DESCRIPTION:
 DATE:

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-7-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10316	Guerrero	Final gas		
10316	130 N Sewalls		PASS	CLOSE
	Assurance			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10218	Guerrero	Final		
	130 N Sewalls	generator	PASS	CLOSE
	Assurance Power			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10330	ANAISE	R. ELECTRICAL		
	73 S. 3PT RD	FOR GATE	PASS	
	CUSTOM SECURITY SPEC.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10218	Birdsall	Window Buck		recd engineer letter
	49 N Lever Rd		PASS	
	Just Solutions			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10243

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10243	DATE ISSUED:	OCTOBER 16, 2012
SCOPE OF WORK:	FENCE		
CONTRACTOR:	ALUMINUM CONCEPTS		
PARCEL CONTROL NUMBER:	353741000-000-000110	SUBDIVISION	PT GOVT LOT 1
CONSTRUCTION ADDRESS:	130 N SEWALLS PT RD		
OWNER NAME:	GUERRIERO		
QUALIFIER:	MATTHEW BARTELUCE	CONTACT PHONE NUMBER:	561-840-1057

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 10/10/12 BUILDING PERMIT APPLICATION Permit Number: 10243
OWNER/LESSEE NAME: Diane Guerriero Phone (Day) 914 735-4944 (fax)
Job Site Address: 130 North Sewalls Point Rd City: Sewalls Point State: FL Zip: 32496
Legal Description Parcel Control Number: 35-37-41-050-000-00011-0
Fee Simple Holder Name: Address:
City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

Fence

WILL OWNER BE THE CONTRACTOR? (If yes, Owner/Builder questionnaire must accompany application) YES NO X
Has a Zoning Variance ever been granted on this property? YES (YEAR) NO X (Must include a copy of all variance approvals with application)

COST AND VALUES (Required on ALL permit applications) Estimated Value of Improvements: \$ 9,700.00 (Notice of Commencement required when over \$2500 prior to final inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AEB AEB X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvements: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Alumicon Concepts SOB Phone: 840-1057 Fax: N/A
Qualifiers name: Matthew Barteluce Street: 1177 Wilbue Heron City: RB State: FL Zip: 33404
State License Number: OR: Municipality: MARTIN COUNTY License Number: MCFE02567

LOCAL CONTACT: Carrie Phone Number: 840-1057
DESIGN PROFESSIONAL: Street: OR: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Porch: Enclosed Storage:
Carport: Total under Roof: Elevated Deck: Enclosed area below BFE
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. requires a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code: Structural, Mechanical, Plumbing, Existing, Gas; 2010 National Electrical Code; 2008 Florida Energy Code; 2010 Florida Accessibility Code; 2010 Florida Fire Prevention Code; 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 60-65.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2007 SECT. 106.4.1, 106.4.1.1 - 5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
x Diane Guerriero
State of Florida, County of Palm Beach
On This the 10 day of OCT 2012
by Diane Guerriero who is personally known to me or produced
As identification: PL
Notary Public: Lynn Peterson
NOTARY PUBLIC STATE OF FLORIDA
My Commission Expires: 08/14/2013

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
x Matthew Barteluce
State of Florida, County of Palm Beach
On This the 10 day of October 2012
by Matthew Barteluce who is personally known to me or produced
As identification:
Notary Public: Lynn Peterson
NOTARY PUBLIC STATE OF FLORIDA
My Commission Expires: 08/14/2013

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.0) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!
Expires: MAY 16, 2013

INSTR # 2350013
OR BK 02599 PG 0458
Pgs 0458 - 459; (2pgs)
RECORDED 09/06/2012 11:40:29 AM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 11,690.00
RECORDED BY C Hunter

This Document was Prepared by:
THOMAS A. FOGT, ESQ.
700 Colorado Avenue
Stuart, FL 34997
Record & Return to: Greenspoon Marder, PA.
18851 NE 29 Ave. #901,ventura, FL 33180

Parcel ID Number: 35-37-41-000-000-00011-0

Warranty Deed

This Indenture, Made this 29 day of August, 2012 A.D., Between
Saverio Degioia, a single man

of the County of Palm Beach, State of Florida, grantor, and
Joseph A. Guerriero and Diane L. Guerriero, husband and wife

whose address is: 130 N. Sewalls Point Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantees.

Witnesseth that the GRANTOR, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Martin State of Florida to wit:
See attached Exhibit "A" for legal description, consisting of one
page.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Printed Name: Thomas A. FOGT
Witness

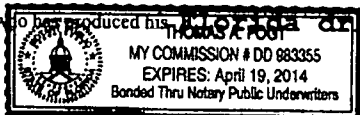
Saverio Degioia (Seal)
P.O. Address: 505 Florida Road, North Palm Beach, FL 33408

Printed Name: Jennifer A. Nolan
Witness

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 29 day of August, 2012 by
Saverio Degioia, a single man

who is personally known to me or who has produced his Florida driver's license as identification.

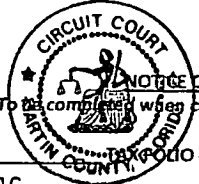


Printed Name: Thomas A. FOGT
Notary Public
My Commission Expires:

INSTR # 2351745 OR BK 02601 PG 0924 RECD 09/18/2012 02:22:31 PM
Pg 0924 (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Hunter

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.



NOTICE OF COMMENCEMENT

To be completed when construction value exceeds \$2,500.00

PERMIT # MARSHA EWING, CLERK

BY: [Signature] D.C.
STATE OF FLORIDA
DATE: 9-18-12

COUNTY OF MARTIN
PROJECT # 35-37-41-000-000-00011-0

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE):

130 W Sewall's Point Rd Stuart FL 34996

SEC 35-T 37S-R 41E: BEG N/2W
C-OUT LOT 1 HE N/2W SEWALL PT RD E 385'
M/L TO WATER, S14 41G-WATER 162' W 418'
70' N/2W TANK 4 150.27' TO POB (AKA)
LOT 1 ENDIAN RIVER HAMMOCKS AS
DESCR IN OR 1279/1078)

GENERAL DESCRIPTION OF IMPROVEMENT:

Fence and Gates

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

Name: Diane Guerriero
Address: 130 W Sewall's Pt Rd Stuart
Interest in property: Fee Simple
Name and address of fee simple title holder (if different from Owner listed above):

CONTRACTOR'S NAME: Aluminum Concepts Phone No.:
Address: 8111 Garden Rd Ste 1 Riverview Beach FL 33404

SURETY COMPANY (if applicable, a copy of the payment bond is attached):

Name and address: _____
Phone No.: _____ Bond amount: _____

LENDER'S NAME: _____ Phone No.: _____
Address: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: _____ Phone No.: _____
Address: _____

In addition to himself or herself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

[Signature: Diane Guerriero]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact

Owner
Signatory's Title/Office

The foregoing instrument was acknowledged before me this 17 day of Sept, 2012

By: Diane Guerriero as owner for _____
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

[Signature: Lynne Peterson]
Notary Signature NOTARY PUBLIC-STATE OF FLORIDA
Lynne Peterson
Type of identification produced _____
Personally known or produced identification

(Print, Type, or Stamp Commission #DD874950
Expires: MAY 16, 2013

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri **10-17-12** Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10243	Alum Concepts	Gate	Pass	
	13011 Sewalls	Fence	Pass	
	Alum Concepts	Gate, Code #1977		INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10228	MARTIN			
	23 ISLAND RD	FINAL FENCE	Pass	CLOSE
	Superior Fence			INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10095	Gould			NEED PLAN CHANGES
10:30	48 S80TH	ELECT FINAL	Pass	BRION TO BUILD FINAL
	Crest Const			INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10000	MC Utilities	Final		
	3276 & Ocean	upgrades on meter	Pass	CLOSE
	Paragon Electric			INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10316

GAS TANK & LINES



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10316	DATE ISSUED:	DECEMBER 31, 2012
SCOPE OF WORK:	GAS TANK & LINE		
CONTRACTOR:	AMERIGAS		
PARCEL CONTROL NUMBER:	153741000-000-000110	SUBDIVISION	PT GOVT LOT 1
CONSTRUCTION ADDRESS:	130 N SEWALLS PT RD		
OWNER NAME:	GUERRIERO		
QUALIFIER:	BRUNO PEDRAZA	CONTACT PHONE NUMBER:	465-7886

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point BUILDING PERMIT APPLICATION

Date: _____ Permit Number: 10316

OWNER/LESSEE NAME: Diane Guerriero Phone (Day) _____ (Fax) _____

Job Site Address: 130 N Sewall's Point Rd City: Stuart State: FL Zip: 34966

Legal Description _____ Parcel Control Number: _____

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):**

*Remove Existing 500 gal. in 6 Proper tank. Add Kup New 700 gal. Tank
Replace with 1000 gal. Under ground proper tank*

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1445.50
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Amerigas Phone: 772 465 7886 Fax: 772 468 8448

Qualifiers name: Beno Pedraza Street: 3301 Oleander Ave City: St. Pierce State: FL Zip: 34947

State License Number: 02707 OR: Municipality: _____ License Number: _____

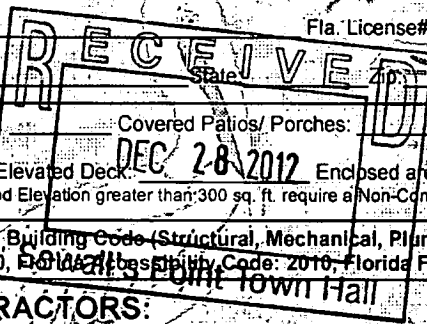
LOCAL CONTACT: Brian Pearl Phone Number: 772 465 7886

DESIGN PROFESSIONAL: _____ Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: *Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010



WARNINGS TO OWNERS AND CONTRACTORS:

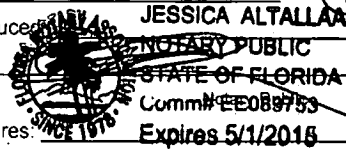
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******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:
X _____
State of Florida, County of: _____
On This the _____ day of _____, 20____
by _____ who is personally
known to me or produced _____
As identification, _____
Notary Public

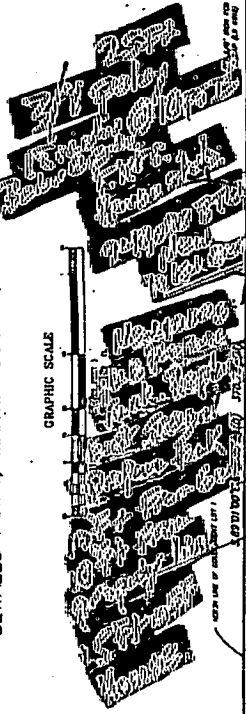
CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X Beno Pedraza
State of Florida, County of: St. Lucie
On This the 26 day of December, 2012
by Beno Pedraza who is personally
known to me or produced _____
As identification, _____
My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**BOUNDARY SURVEY
PORTION OF GOVERNMENT LOT 1
SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST
SEWALLS POINT, MARTIN COUNTY, FLORIDA**

GRAPHIC SCALES



**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY**

DATE	FILE NO.
PROJECT	OWNER
APPROVED BY	DATE

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
101 SOUTH BROADWAY
TALLAHASSEE, FLORIDA 32301
TEL. 920-9451

JOSEPH and DIANE GUERRIERO
130 NORTH SEWALLS POINT ROAD
SEWALLS POINT, MARTIN COUNTY, FLORIDA

SURVEYOR'S CERTIFICATION:
I, JOSEPH AND DIANE GUERRIERO, BEING THE SURVEYOR, HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF FLORIDA AND THAT I AM THE AUTHOR OF THIS SURVEY. THE SURVEY WAS MADE AND THE RESULTS HEREBY SET FORTH WERE OBTAINED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY ACCURATELY REPRESENT THE TRUTH AND FACTS OF THE MATTER SURVEYED.

Joseph and Diane Guerriero
JOSEPH AND DIANE GUERRIERO
PROFESSIONAL LAND SURVEYORS
No. 1158 State of Florida

SURVEYOR'S NOTES:

1. THE SURVEY WAS MADE BY THE USE OF THE TRANSIT METHOD AND ALL DISTANCES WERE MEASURED ALONG THE LINE. THE LOCATION OF ALL POINTS FROM A POINT TO THE OTHER END OF THE LINE WAS DETERMINED BY MEASUREMENTS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
2. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
3. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
4. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
5. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
6. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
7. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
8. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
9. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.
10. THE DISTANCE FROM THE CORNER TO THE CORNER WAS MEASURED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION.

CERTIFICATION:
I, JOSEPH AND DIANE GUERRIERO,
A LICENSED SURVEYOR IN THE STATE OF FLORIDA,
DO HEREBY CERTIFY THAT I AM THE AUTHOR OF THIS SURVEY.

LEGAL DESCRIPTION:
A PORTION OF GOVERNMENT LOT 1, SECTION 35,
TOWNSHIP 37 SOUTH, RANGE 41 EAST,
SEWALLS POINT, MARTIN COUNTY, FLORIDA,
AS SHOWN ON THE PLAT OF SURVEY OF GOVERNMENT
LOT 1, SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST,
SEWALLS POINT, MARTIN COUNTY, FLORIDA,
DATED JANUARY 15, 1954, AND AS SHOWN ON THE
PLAT OF SURVEY OF GOVERNMENT LOT 1, SECTION 35,
TOWNSHIP 37 SOUTH, RANGE 41 EAST, SEWALLS POINT,
MARTIN COUNTY, FLORIDA, DATED JANUARY 15, 1954,
AS SHOWN ON THE PLAT OF SURVEY OF GOVERNMENT
LOT 1, SECTION 35, TOWNSHIP 37 SOUTH, RANGE 41 EAST,
SEWALLS POINT, MARTIN COUNTY, FLORIDA, DATED
JANUARY 15, 1954, AND AS SHOWN ON THE PLAT OF
SURVEY OF GOVERNMENT LOT 1, SECTION 35, TOWNSHIP
37 SOUTH, RANGE 41 EAST, SEWALLS POINT, MARTIN
COUNTY, FLORIDA, DATED JANUARY 15, 1954.

80/81-100 Series

Bronze
LP-Gas *Apollo*®

FEATURES



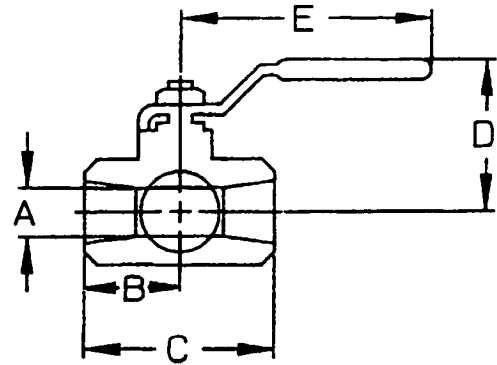
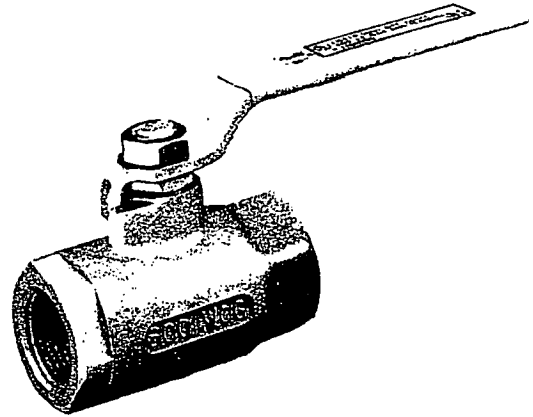
- For LP-Gas, natural gas, flammable liquids and heated oil
- Adjustable packing gland
- Reinforced TFE seats and seals
- Blow-out-proof stem design
- Large ports to reduce pressure drop
- 600 PSI WOG, 250 PSI LP-Gas, 150 PSI Saturated steam
- All wetted metallic parts are bronze
- Quarter turn On-Off

UL LISTINGS

- Guide YSDT: LP-Gas shut-off valve
- Guide YRBX: Flammable liquid shut-off valve
- Guide MHKZ: No. 6 oil at 250°F
- Guide YRPV: Gas shut-off valve for use with natural and manufactured gases

FEDERAL

- Meets WW-V-35C Type: II
Composition: BZ Style: 3



Optional tee handle available.

See P/T Chart No. 16 on Page 64.

		BRONZE - THREADED ENDS						
PLATED BALL NUMBER	PLAIN BALL NUMBER	SIZE	A	B	C	D	E	Cv*
80-101-01	81-101-05	1/4	37	1.03	2.06	1.75	3.87	6.8
80-102-01	81-102-05	1/2	37	1.03	2.06	1.75	3.87	6.8
80-103-01	81-103-05	3/4	50	1.12	2.25	1.81	3.87	9.8
80-104-01	81-104-05	1	60	1.50	3.00	2.12	4.37	25
80-105-01	81-105-05	1 1/4	87	1.68	3.37	2.25	4.87	35
80-106-01	81-106-05	1 1/2	100	2.00	4.00	2.62	5.50	47
80-107-01	81-107-05	2	125	2.18	4.37	2.87	5.50	81
80-108-01	81-108-05	2 1/2	150	2.34	4.68	3.06	5.50	105
80-109-01	81-109-05	3	250	3.25	6.50	4.12	8.00	440
80-100-01	81-100-05	3	250	3.37	6.75	4.12	8.00	390

*The Cv factor is the gallons of water per minute that the valve will pass with 1 PSIG pressure drop.

Compact First Stage Regulators LV3403TR

Application

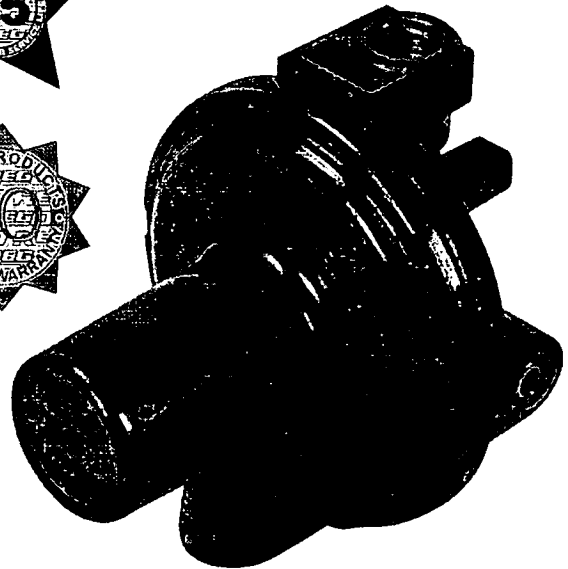
Ideal for use as a first stage regulator on any domestic size ASME or DOT container in propane gas installations requiring up to 1,500,000 BTU's per hour. The regulator is factory set to reduce container pressure to an intermediate pressure of approximately 10 PSIG.

Features

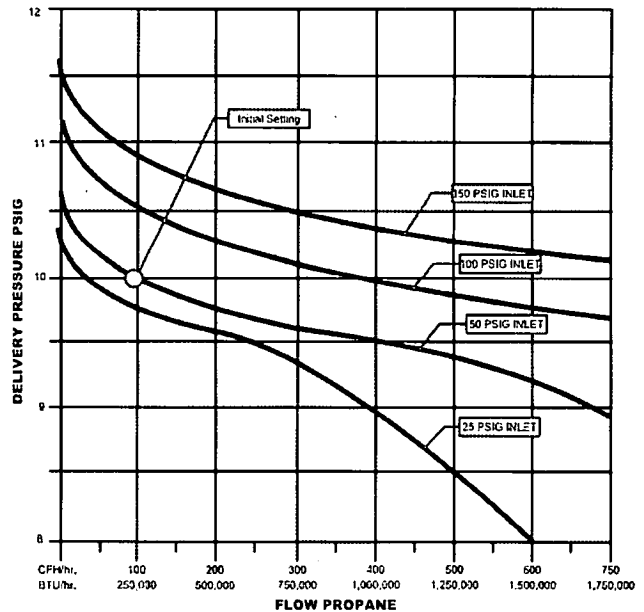
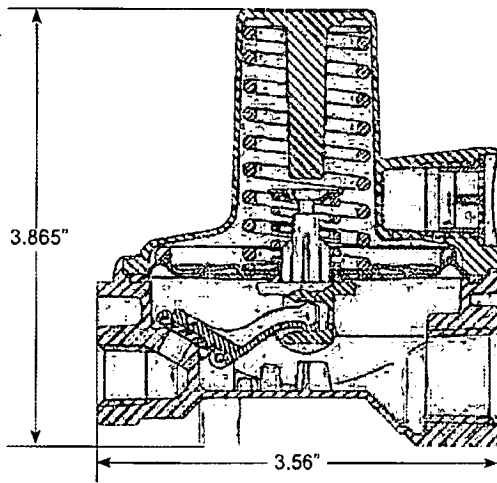
- Compact design can be connected to a service valve using either a POL adapter or a RegO product pigtail.
- Large threaded 1/4" F.NPT bonnet vent can easily be piped-away underground installations without the need of glue kits or extra adapters.
- Non Adjustable
- Large flow orifice resists freeze ups due to water concentration in LPG vapor.
- Design provides for good flow regulation at both high and low container pressures.
- Built in relief valve and travel stop comply with NFPA 58 over pressure requirements.
- Incorporates 1/4" F.NPT downstream pressure tap for an easy inline check of the regulator's delivery pressure.
- Molded diaphragm provides an o-ring type seal between the body and bonnet.
- Body and bonnet are assembled in the USA using the unique, patented RegUlok seal system.
- Fully painted in brilliant red for complete corrosion protection.
- Mounting bracket available as an accessory: part number 2302-31.

Materials

Body Zinc
 Bonnet Zinc
 Spring Steel
 Seat Disc Resilient Rubber
 Diaphragm Integrated Fabric and Synthetic Rubber



A



Ordering Information

Part Number	Inlet Connection	Outlet Connection	Orifice Size	Factory Delivery Pressure	Bonnet Vent Position	Vapor Capacity BTU/hr Propane*
LV3403TRV9	1/4" F.NPT	1/2" F.NPT	1/4"	10 PSIG	Over Outlet 9:00	1,500,000

* Maximum flow based on inlet pressure 20 PSIG higher than the regulator setting and delivery pressure 20% lower than the regulator setting and delivery pressure 20% lower than the setting.

Low Pressure Second Stage Regulators LV4403B Series

Application

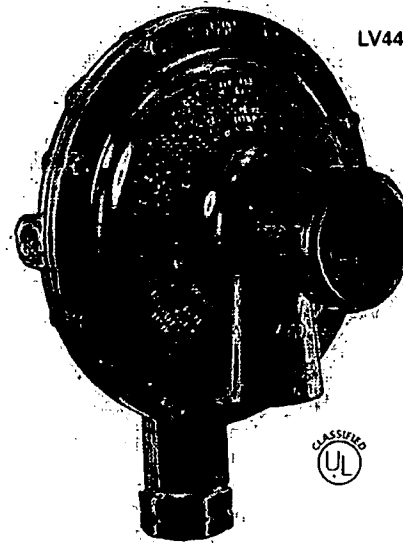
Designed to reduce first stage pressure of 5 to 20 PSIG down to burner pressure, normally 11" w.c. Ideal for medium commercial installations, multiple cylinder installations and normal domestic loads.

Features

- Large vent helps prevent blockage and has 1/8" F.NPT for vent piping.
- With 15 PSIG inlet pressure, regulator is designed to not pass more than 2 PSIG with the seat disc removed.
- Incorporates integral relief valves.
- Replaceable valve orifice and valve seat disc.
- Straight line valve closure reduces wear on seat disc.
- Unique bonnet vent profile minimizes vent freeze over when properly installed.
- Large molded diaphragm is extra sensitive to pressure changes.
- Built in pressure tap has plugged 1/8" F.NPT outlet. Plug can be removed with a 3/16" hex allen wrench.
- Select brown finish.

Materials

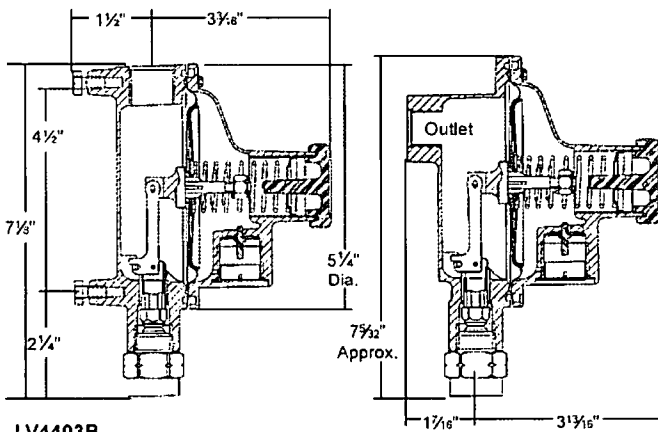
Body Die Cast Zinc
 Bonnet Die Cast Zinc
 Nozzle Orifice Brass
 Spring Steel
 Valve Seat Disc Resilient Rubber
 Diaphragm Integrated Fabric and Synthetic Rubber



LV4403B Series

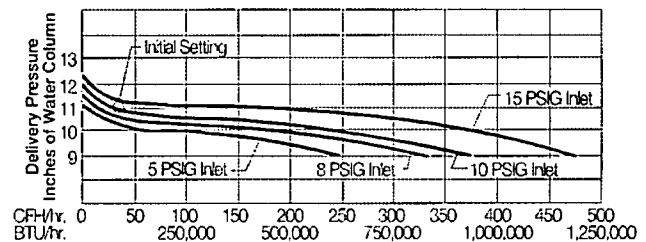
Backmount Design

Mounts directly to house line piping. Eliminates need for union joints, elbows, and mounting brackets. Quick and easy to install.



LV4403B

LV4403BR



Ordering Information

Part Number	Inlet Connection	Outlet Connection	Orifice Size	Factory Delivery Pressure	Adjustment Range	Bonnet Vent Position	Vapor Capacity BTU/hr. Propane**
LV4403B4	1/2" F. NPT	1/2"	#28 Drill	11" w.c. at 10 PSIG Inlet	9" to 13" w.c.	Over Inlet	935,000
LV4403B46							
LV4403B46R*							
LV4403B56	3/8" F. NPT	3/8"	#28 Drill	11" w.c. at 10 PSIG Inlet	9" to 13" w.c.	Over Inlet	935,000
LV4403B56R*							

* Backmount design

** Maximum flow based on 10 PSIG inlet and 9" w.c. delivery pressure.

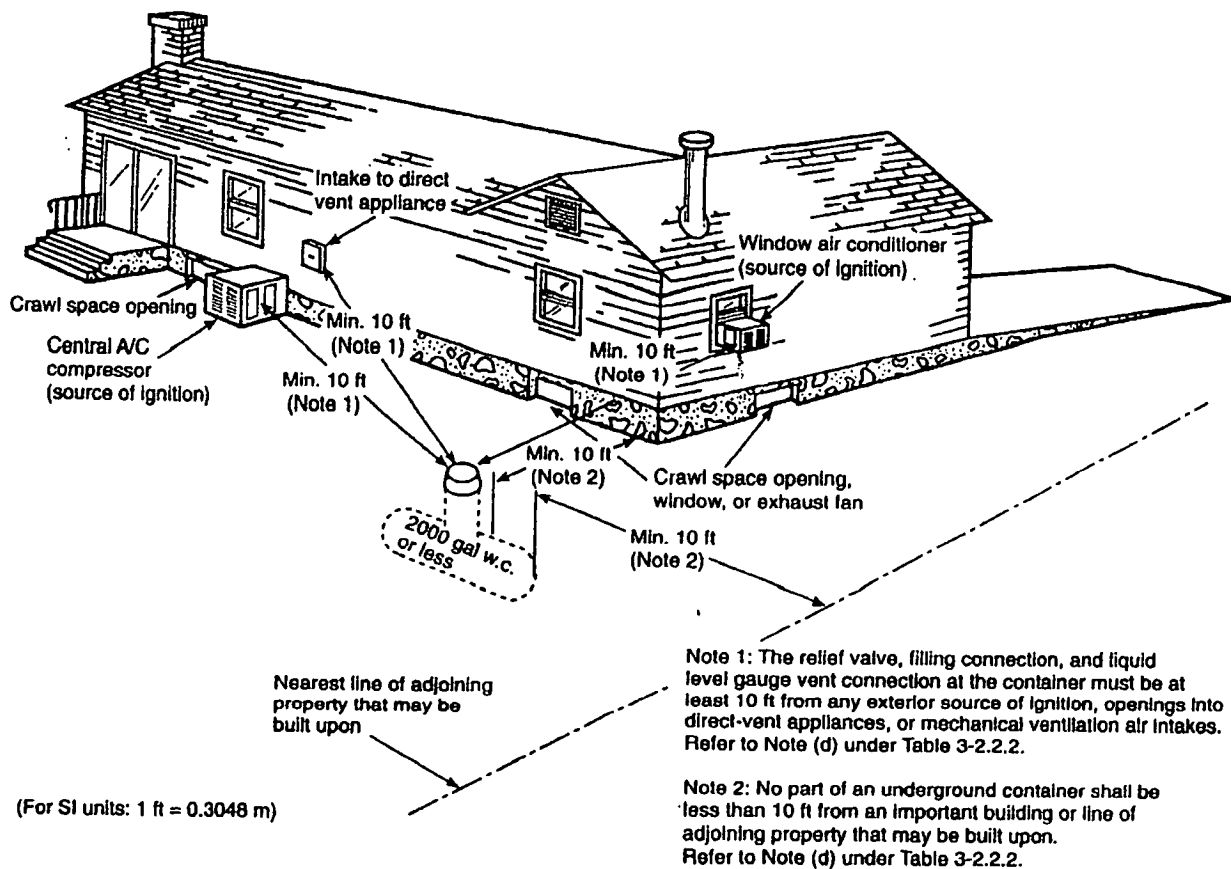


Figure I-3 Underground ASME containers.
(This figure for illustrative purposes only; text shall govern.)

Appendix J Referenced Publications

J-1 The following documents or portions thereof are referenced within this standard for informational purposes only and thus are not considered part of the requirements of this document. The edition indicated for each reference is the current edition as of the date of the NFPA issuance of this document.

J-1.1 NFPA Publications. National Fire Protection Association, 1 Batterymarch Park, P.O. Box 9101, Quincy, MA 02269-9101.

NFPA 10, *Standard for Portable Fire Extinguishers*, 1994 edition.

NFPA 37, *Standard for the Installation and Use of Stationary Combustion Engines and Gas Turbines*, 1994 edition.

NFPA 50, *Standard for Bulk Oxygen Systems at Consumer Sites*, 1990 edition.

NFPA 50A, *Standard for Gaseous Hydrogen Systems at Consumer Sites*, 1994 edition.

NFPA 51, *Standard for the Design and Installation of Oxygen-Fuel Gas Systems for Welding, Cutting, and Allied Processes*, 1992 edition.

NFPA 61B, *Standard for the Prevention of Fires and Explosions in Grain Elevators and Facilities Handling Bulk Raw Agricultural Commodities*, 1989 edition.

NFPA 68, *Guide for Venting of Deflagrations*, 1994 edition.

NFPA 77, *Recommended Practice on Static Electricity*, 1993 edition.

NFPA 80, *Standard for Fire Doors and Fire Windows*, 1992 edition.

NFPA 220, *Standard on Types of Building Construction*, 1992 edition.

NFPA 251, *Standard Methods of Fire Tests of Building Construction and Materials*, 1990 edition.

NFPA 252, *Standard Methods of Fire Tests of Door Assemblies*, 1995 edition.

NFPA 321, *Standard on Basic Classification of Flammable and Combustible Liquids*, 1991 edition.

NFPA 780, *Lightning Protection Code*, 1992 edition.

J-1.2 API Publications. American Petroleum Institute, 2101 L St., NW, Washington, DC 20037.

API 620, *Design and Construction of Large, Welded, Low-Pressure Storage Tanks*, 1990.

API 1632, *Cathodic Protection of Underground Petroleum Storage Tanks and Piping Systems*, 1983.

API 2510, *Design and Construction of LP-Gas Installations*, 1989.

API-ASME Code for Unfired Pressure Vessels for Petroleum Liquids and Gases.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-1-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1242	Owner	Final		Second
10316	130 A Sewalls Assurance	Final	Pass	Vent. Piping INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-7-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10213	Guerrero	Final		
10319	130 N Sewalls	Final	PASS	CROE
	Assurance			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10242	Guerrero	Final		
	130 N Sewalls	generator	PASS	CROE
	Assurance Power			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10330	ANAISE	R. ELECTRIC		
	73 S. 3PT RD	FOR GATE	PASS	
	CUSTOM SECURITY SPEC.			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10218	Birdsall	window buck		reid engineer
	49 N River Rd		PASS	letter
	Just Solutions			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10531

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10531	DATE ISSUED:	JULY 16, 2013
SCOPE OF WORK:	FENCE		
CONTRACTOR:	ALUMINUM CONCEPTS SALES		
PARCEL CONTROL NUMBER:	353741000-000-000110	SUBDIVISION	PT GOVT LOT 1
CONSTRUCTION ADDRESS:	130 N SEWALLS PT RD		
OWNER NAME:	GUERRIERO		
QUALIFIER:	MATTHEW BARTELUCE	CONTACT PHONE NUMBER:	561-840-1057

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10531

Date: _____
 OWNER/LESSEE NAME: DIANE GUERRIERO Phone (Day) _____ (Fax) _____
 Job Site Address: 130 W Sewall's Point Rd City: Stuart State: FL Zip: 34996
 Legal Description: Lot 1 Indian River Hammocks Parcel Control Number: 35-37-41-000-00011-0
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** 4' BLACK ALUMINUM FENCE

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 14,112
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only. Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Aluminum Concepts Sales, Inc. Phone: 840-1057 Fax: 840-1057
 Qualifiers name: Matthew Bartelucci Street: 8111 Garden Rd. Ste. I City: Riv. Bch State: FL Zip: 33404
 State License Number: U-16795 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Cari Phone Number: 840-1057

DESIGN PROFESSIONAL: N/A Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
Diane Guerrero
 State of Florida, County of: Palm Beach
 On This the 10 day of July, 2013
 by Diane Guerrero who is personally
 known to me or produced DL
 As identification, Lynne Peterson

CONTRACTOR LICENSEE NOTARIZED SIGNATURE:
Matthew Bartelucci
 State of Florida, County of: Palm Beach
 On This the 10 day of July, 2013
 by Matthew Bartelucci Jr who is personally
 known to me or produced _____
 As identification, Lynne Peterson

My Commission Expires _____
LYNNE PETERSON
 Notary Public, State of Florida
 SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.32) AND OTHER APPLICATIONS MUST BE ISSUED WITHIN 180 DAYS (FBC 105.32).
 Commission # FF 13749
 Bonded Through National Notary Assn.

My Commission Expires _____
LYNNE PETERSON
 Notary Public, State of Florida
 SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.32) AND OTHER APPLICATIONS MUST BE ISSUED WITHIN 180 DAYS (FBC 105.32).
 Commission # FF 13749
 Bonded Through National Notary Assn.

100
2
2
5
10964



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

FENCE and or POOL BARRIER CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

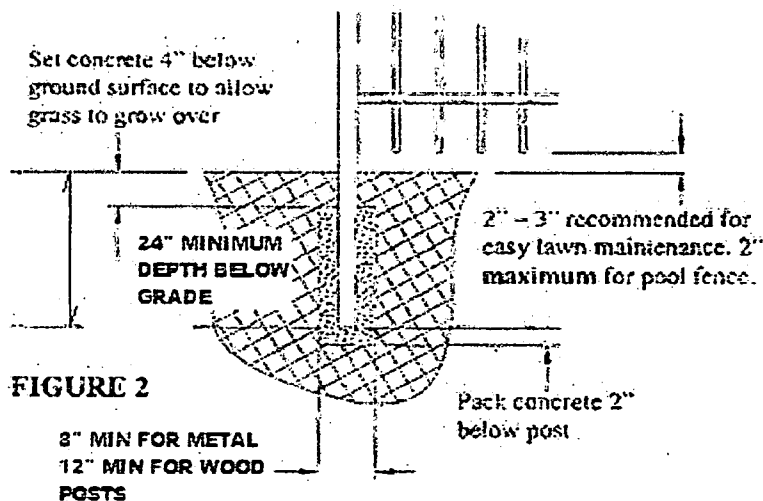
Please make sure you have ALL required copies before submitting permit application

- ✓ 1 Copy Completed permit application
- ✓ 2 Copies Survey or site plan showing the following:
 - All existing structures on property
 - Location of proposed fence
 - ~~Setbacks from the fence to property lines~~
 - Height & type of fence
 - ~~Location of all easements~~
 - Street & house number on site plans

DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS

- _____ 2 Copies support post footer sketch indicating size of footers. Fences to be used as a Pool Barrier (other than chain link fence) must include an accurate sketch or drawing indicating barrier requirement compliance.
- X _____ 2 Copies, if fence crosses any easement, Easement agreement from all utility companies are required. Agreement form included in permit package.

Typical Fence Footer



10531

INSTR # 2405521
OR BK 2663 PG 2309

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (5% Mechanical)

RECORDED 07/15/2013 11:26:24 AM

PERMIT #: _____ TAX FOLIO #: 35-37-41-000-00000000
STATE OF FLORIDA COUNTY OF MARTIN
CAROLYN J. FIMMANN
MARTIN COUNTY CLERK

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
Lot 1 Indian River Hammocks & As Deed To

GENERAL DESCRIPTION OF IMPROVEMENT: Fence

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: Diane Guerriero
ADDRESS: 170 N Sewells Pt Rd Stuart FL 34996
PHONE NUMBER: _____ FAX NUMBER: _____
INTEREST IN PROPERTY: Fee Simple

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: ALUMINUM CONCEPTS SALES, INC
ADDRESS: 8111 GARDEN RD STE 11 PALM BEACH 33404
PHONE NUMBER: 561-840-1057 FAX NUMBER: 561-840-1057

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY:
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(b), FLORIDA STATUTES:
NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 97.325, FLORIDA STATUTES).

Diane Guerriero
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

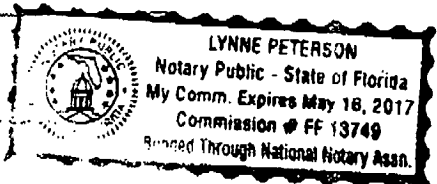
SIGNATORY'S TITLE/OFFICE: Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF July, 2013

BY: Diane Guerriero AS Owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

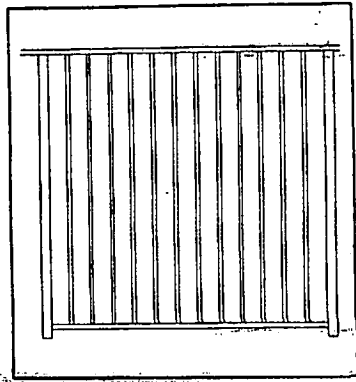
PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION DL TYPE OF IDENTIFICATION PRODUCED DL

Lynne Peterson
NOTARY SIGNATURE/ SEAL

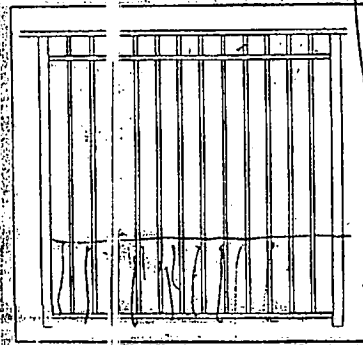


Alum-fab

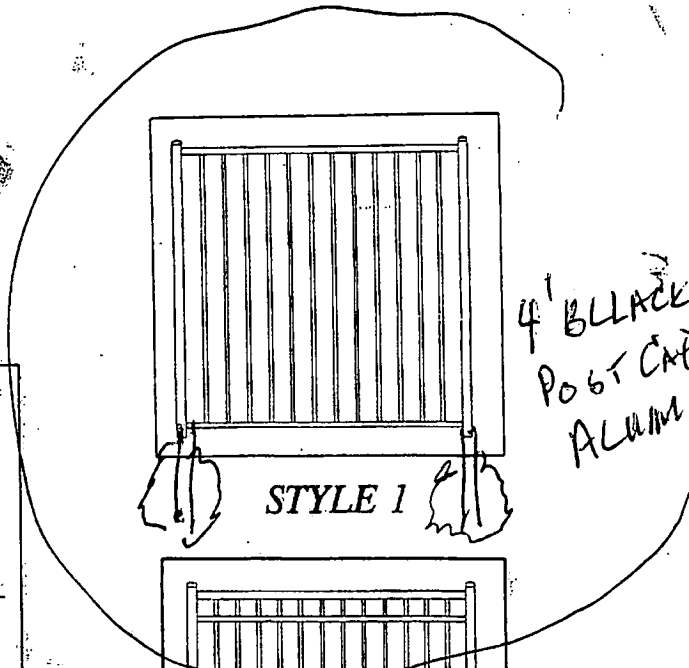
International, Inc.



HR10

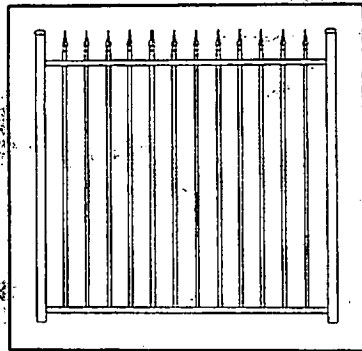


HR10B

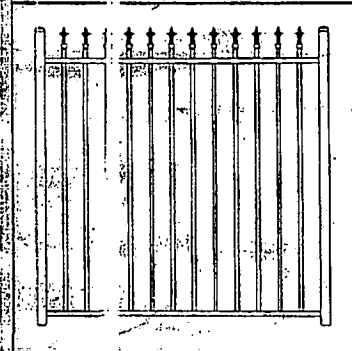


STYLE 1

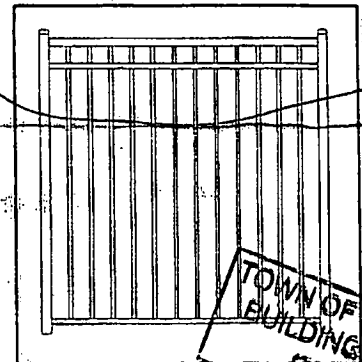
4" BLACK
POST CAP
ALUM



STYLE 4

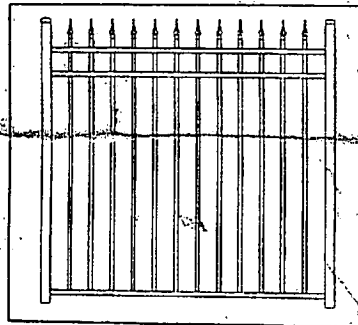


STYLE 4A

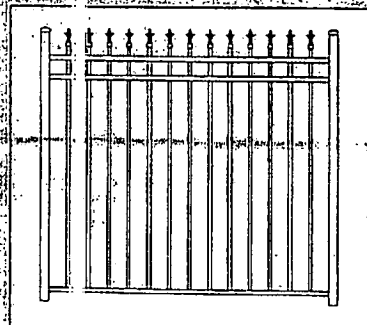


STYLE 2

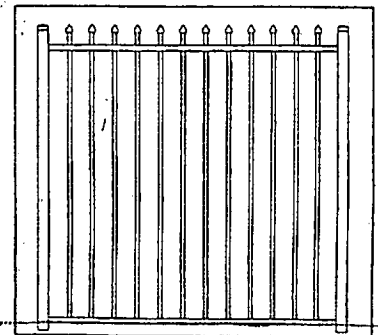
TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



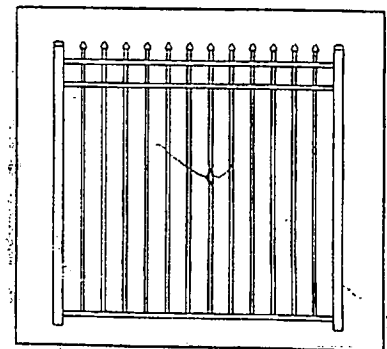
STYLE 6



STYLE 6A



STYLE 4B



STYLE 6B

Manufacturer, Distributor and Supplier
of Aluminum Products

3608 E. Industrial Way
Riviera Beach, FL 33404
800-826-1862 Fax 561-840-7129



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-30-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10502	Lerner 37 E High Pt JA Taylor	Final Roof	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10526	Fitzsimmons 99 N Sewalls Capps	tin tag/metal	Pass	INSPECTOR <i>[Signature]</i>
10525	McPhee 8 Admirals Walk Natural Flow	SGD attachment	Pass	INSPECTOR <i>[Signature]</i>
10531	Garrison 13010 Sewalls Alum Concept	Final Fence	Pass	INSPECTOR
10415	SMTA 17 PALMETTO ARK HOMES	WALK THROUGH		INSPECTOR
10314	Petch 3 TIMON SEAGATE	METER FINAL	Pass	* READY FOR FDL INSPECTOR
	BUSIAA PRIM G	WALK THROUGH IN PROGRESS	WILL CALL WHEN COMPLETE	INSPECTOR

10903

WINDOWS

&

DOORS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10903	DATE ISSUED:	6/20/2014
SCOPE OF WORK:	WINDOW & DOOR CHANGOUT		
CONTRACTOR:	ADAM PETERS CARPENTRY		
PARCEL CONTROL NUMBER:	35374100000000110	SUBDIVISION	aka LOT 1 INDIAN RIVER
CONSTRUCTION ADDRESS:	130 N SEWALL'S POINT RD.		
OWNER NAME:	GUERRIERO		
QUALIFIER:	ADAM PETERS	CONTACT PHONE NUMBER:	772 370-7923

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN /TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____
UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10903

Date:
OWNER/LESSEE NAME: Diane Guerriero
Job Site Address: 130 North Sewalls Point RD
City: Sewalls Point State: Florida Zip: 34996
Legal Description: Parcel Control Number: 35-37-41-000-000-0001-0
Fee Simple Holder Name: Address:
City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

Windows and Door change

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO
Has a Zoning Variance ever been granted on this property?
YES (YEAR) NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 60000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Adam Peters Company Phone: 772 370 7922 Fax:
Qualifiers name: Adam Peters Street: 237 SW Starfish Ave City: P.S.C. State: FL Zip: 34984
State License Number: MCA35811 OR: Municipality: License Number:

LOCAL CONTACT: Phone Number:
DESIGN PROFESSIONAL: Fla. License#
Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:
Carport: Total under Roof: Elevated Deck: Enclosed area below BFE*
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
State of Florida, County of: Martin
On This the 19 day of March, 2014
by Diane Guerriero who is personally known to me or produced known.
As identification: Keelym Kimbrell
Notary Public
My Commission Expires: April 3 2017

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
State of Florida, County of: Martin
On This the 11th day of June, 2014
by Adam Peters who is personally known to me or produced Ph. Dennis Keenan
As identification:
Notary Public
My Commission Expires:

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

State of Florida
MY COMMISSION # FF 4712
Expires: April 3, 2017

JOSE MCCLAIN
NOTARY PUBLIC
My Comm. Expires Mar: 14, 2017
Commission # EE 88414
Bonded Through National Notary Assn.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

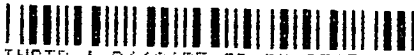
PERMIT NUMBER:	10903		
ADDRESS:	130 N SEWALL'S POINT DRIVE		
DATE ISSUED:	6/20/2014	SCOPE OF WORK:	WINDOW & DOOR CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$	-
Total square feet non-conditioned space, or interior remodel: @ \$ 59.81 per sq. ft. s.f.		\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$	-
Total Construction Value:		\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)		\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp.			n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)			n/a
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 60,000.00
Total number of inspections: @ \$ 100.00 per insp. # insp.		\$ 2.00	\$ 200.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 3.00
Road impact assessment: (.04% of construction value - \$5 min.)		\$	24.00
TOTAL ACCESSORY PERMIT FEE:		\$	230.00

*Pd 6/20/14
 CK 1167*



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

ENTERED IN PUBLIC RECORDS BY 2723 PG 1828 RECD 06/12/2014 12:37:30 PM

DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT: Window and Door Change

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: JO and Diane Guerrero Lot 1 Indian River Hammocks
ADDRESS: 130 N Sewalls Point Rd.
PHONE NUMBER: _____ FAX NUMBER: _____
INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: Adam Peters Carpentry
ADDRESS: 237 SW Spanish Ave Port St Lucie 34984
PHONE NUMBER: 772 370 7923 FAX NUMBER: _____

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY:
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Diane Guerrero
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE Owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19 DAY OF March 2014

BY: Diane Guerrero AS Owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION PRODUCED 130 North Sewalls Point Rd

Kelly M. Kirkland
NOTARY SIGNATURE SEAL



Kelly M. Kirkland
Notary Public
State of Florida
MY COMMISSION # FF 4712
Expires: April 3, 2017

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGE(S) IS/A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.
BY: Carolyn Timmann, Clerk
DATE: 6-12-2014
D.C.





JEFF ATWATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 8/16/2013 **EXPIRATION DATE:** 8/16/2015

PERSON: PETERS ADAM L

FEIN: 371478306

BUSINESS NAME AND ADDRESS:

ADAM PETERS CARPENTRY II

237 SW STARFISH AVENUE

PORT SAINT LUCIE FL 34984

SCOPES OF BUSINESS OR TRADE:

CARPENTRY DWELLINGS
THREE

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850)413-1609



CERTIFICATE OF LIABILITY INSURANCE

OP ID: MK

DATE (MM/DD/YYYY)

06/12/14

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City, FL 34990 Cabot W. Lord, CIC.	Phone: 772-286-4334 Fax: 772-286-9389	CONTACT NAME: _____ PHONE (A/C, No, Ext): _____ FAX (A/C, No): _____ E-MAIL ADDRESS: _____ PRODUCER CUSTOMER ID #: ADAMP-1																					
	INSURED Adam Peters Carpentry Inc. 430 Fini Drive Stuart, FL 34996	<table border="1"> <thead> <tr> <th colspan="2">INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A :</td> <td>Auto Owners Insurance Co</td> <td>18988</td> </tr> <tr> <td>INSURER B :</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>INSURER C :</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>INSURER D :</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>INSURER E :</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>INSURER F :</td> <td>_____</td> <td>_____</td> </tr> </tbody> </table>		INSURER(S) AFFORDING COVERAGE		NAIC #	INSURER A :	Auto Owners Insurance Co	18988	INSURER B :	_____	_____	INSURER C :	_____	_____	INSURER D :	_____	_____	INSURER E :	_____	_____	INSURER F :	_____
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INSURER E :	_____	_____																					
INSURER F :	_____	_____																					


COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADOL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC		72633968	05/08/14	05/08/15	EACH OCCURRENCE	\$ 1,000,000
						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000
						MED EXP (Any one person)	\$ 10,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 1,000,000
						PRODUCTS - COMP/OP AGG	\$ 1,000,000
							\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					COMBINED SINGLE LIMIT (Ea accident)	\$
						BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
							\$
							\$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DEDUCTIBLE RETENTION \$					EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A				WC STATU-TORY LIMITS	OTH-ER
						E.L. EACH ACCIDENT	\$
						E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 Carpentry

CERTIFICATE HOLDER**CANCELLATION**

TOWNS-1 Town of Sewall's Point One South Sewall's Point Road Stuart, FL 34996	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
---	---

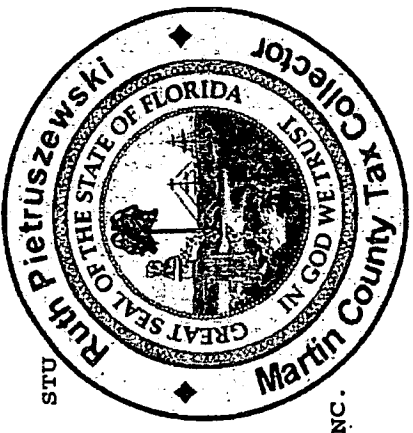
© 1988-2009 ACORD CORPORATION. All rights reserved.

2012-2013 **MARTIN COUNTY ORIGINAL**
BUSINESS TAX RECEIPT

HONORABLE RUTH PIETRUSZEWSKI CFC, TAX COLLECTOR
 3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
 (772) 288-5604

ACCOUNT 20.0.3-5.0.0-0364 CERT. NE00334
 PHONE (772) 370-7923 SIC NO. 235510

LOCATION:
 430 SE FINI DR STU



CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$ 6.56
	\$.00	COL. FEE	\$ 6.60
	\$.00	TRANSFER	\$ 3.00
TOTAL		42.41	

PETERS ADAM LAWRENCE
 ADAM PETERS CARPENTRY, INC.
 430 SE FINI DRIVE
 STUART, FL 34996

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
 OF **NON STRUCTURAL HOME IMPORVEMENT**
 AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

03 DAY OF JUNE 2013
 AND ENDING SEPTEMBER 30, 2013
 806 2012 08040.0001 PAID



Martin County Building Department

900 SE Ruhnke Street
Stuart, FL 34994
(772) 288-5482
Fax (772) 419-6935

PETERS, ADAM L
ADAM PETERS CARPENTRY INC
430 SE FINI DRIVE
STUART, FL 34996

NOTICE TO ALL CONTRACTORS

PLEASE BE ADVISED THAT MARTIN COUNTY, FLORIDA SECTION 43.42 REQUIRES COMPLIANCE WITH THE FOLLOWING EXERPT FROM THE GENERAL ORDINANCES OF THE MARTIN COUNTY CODE:

PROHIBITED ACTIVITIES:

43.42 R Advertising contracting work in any advertisement to the public in a newspaper or telephone directory without including in the advertisement the number of the contractor license issued to the person or business being advertised.

43.42 S Operating any commercial vehicle in the course of conducting the practice of contracting that fails to display the contractor license number of the contractor.

If you have any questions relating to the information in this letter , please contact the Martin County Contractor's Licensing Division of the Martin County Building Department.

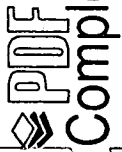


MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency

CARPENTRY - MC

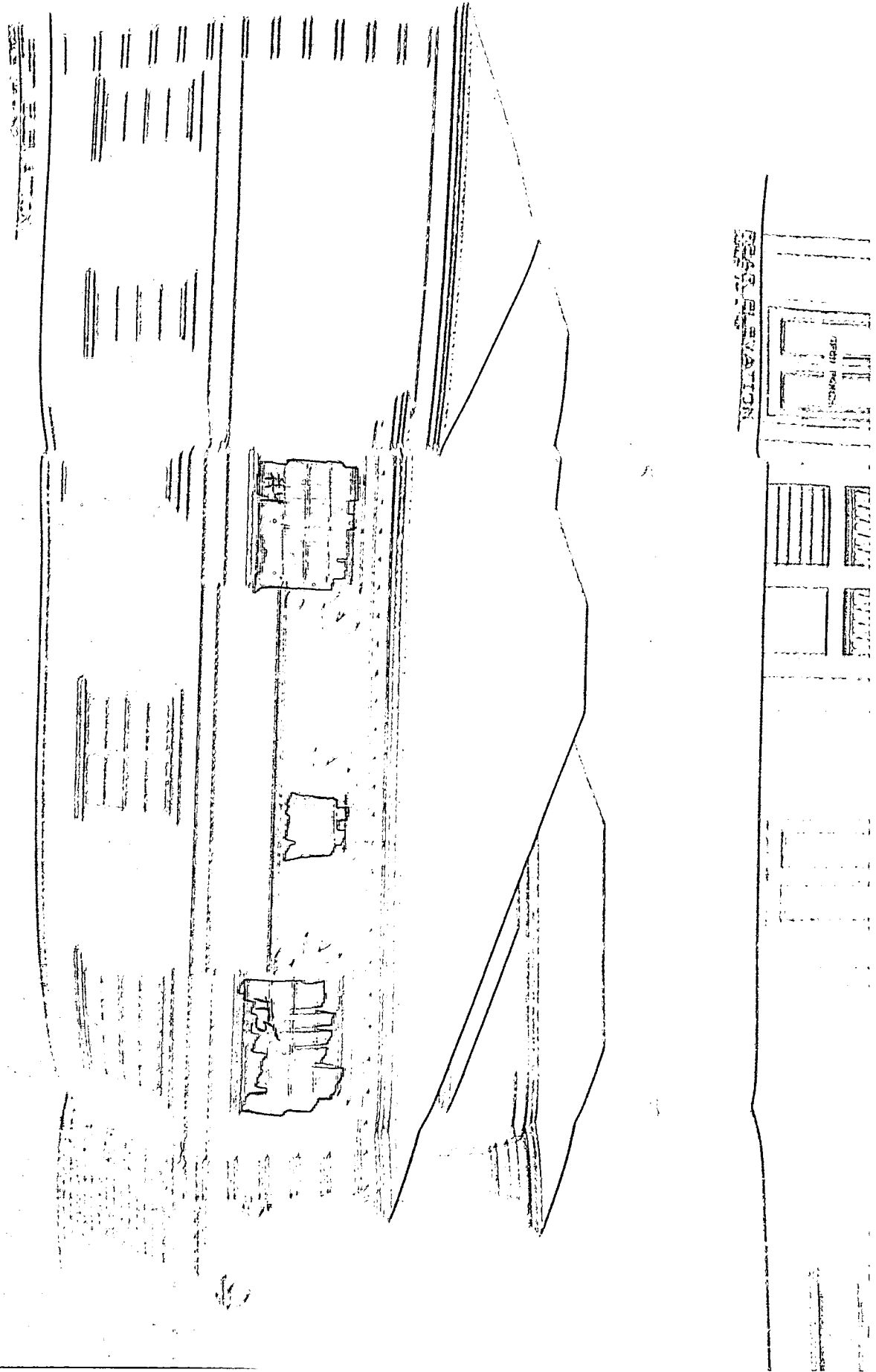
License #: MCAR5811 Expires: 09/30/2014

PETERS, ADAM L
ADAM PETERS CARPENTRY INC
430 SE FINI DRIVE
STUART, FL 34996



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use period has ended.
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ELEVATION

STYLE OF GARAGE DOORS TO BE SELECTED BY OWNER

TOTAL RISE - 4.38' - 38"
14 RISERS AT 7.07' - 39"
12 TREADS AT 10' - 1.00"

LIGHT TEXTURE STUCCO FINISH (YELLOW)

LIGHT TEXTURE STUCCO FINISH (YELLOW)

2" STUCCO BASED & TALL FLOOR FIN.

PACIAL CORNICE

GENERAL HOLDING

ARCHED RESTROOMS REQUIRED

RIGHT ELEVATION
READ VAN - 100'

GENERAL HOLDING TO BE SELECTED BY OWNER

GENERAL HOLDING

#12

#10

GENERAL CORNER

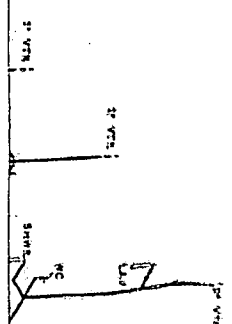
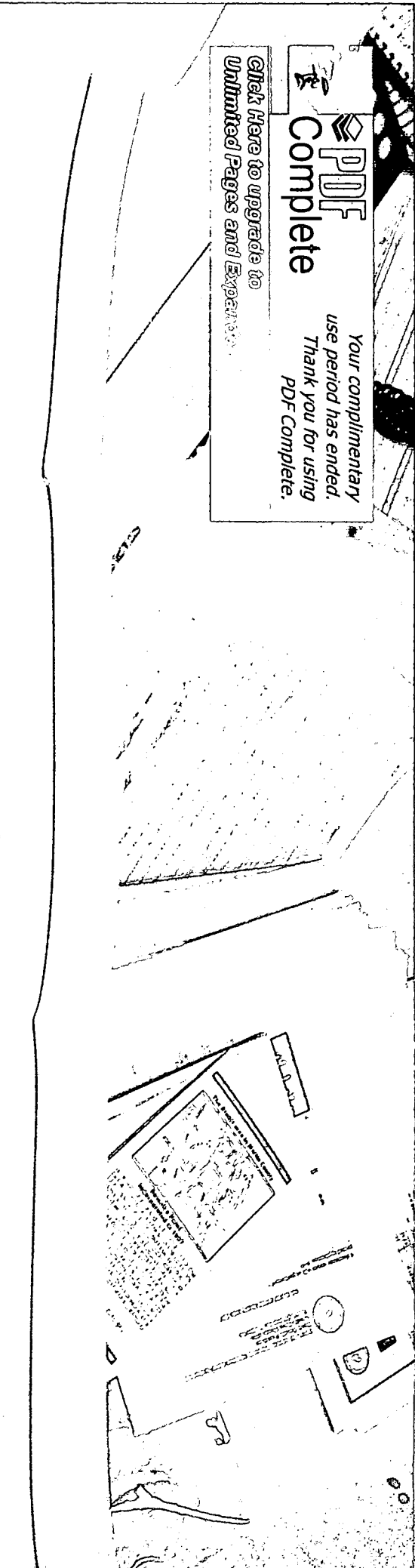
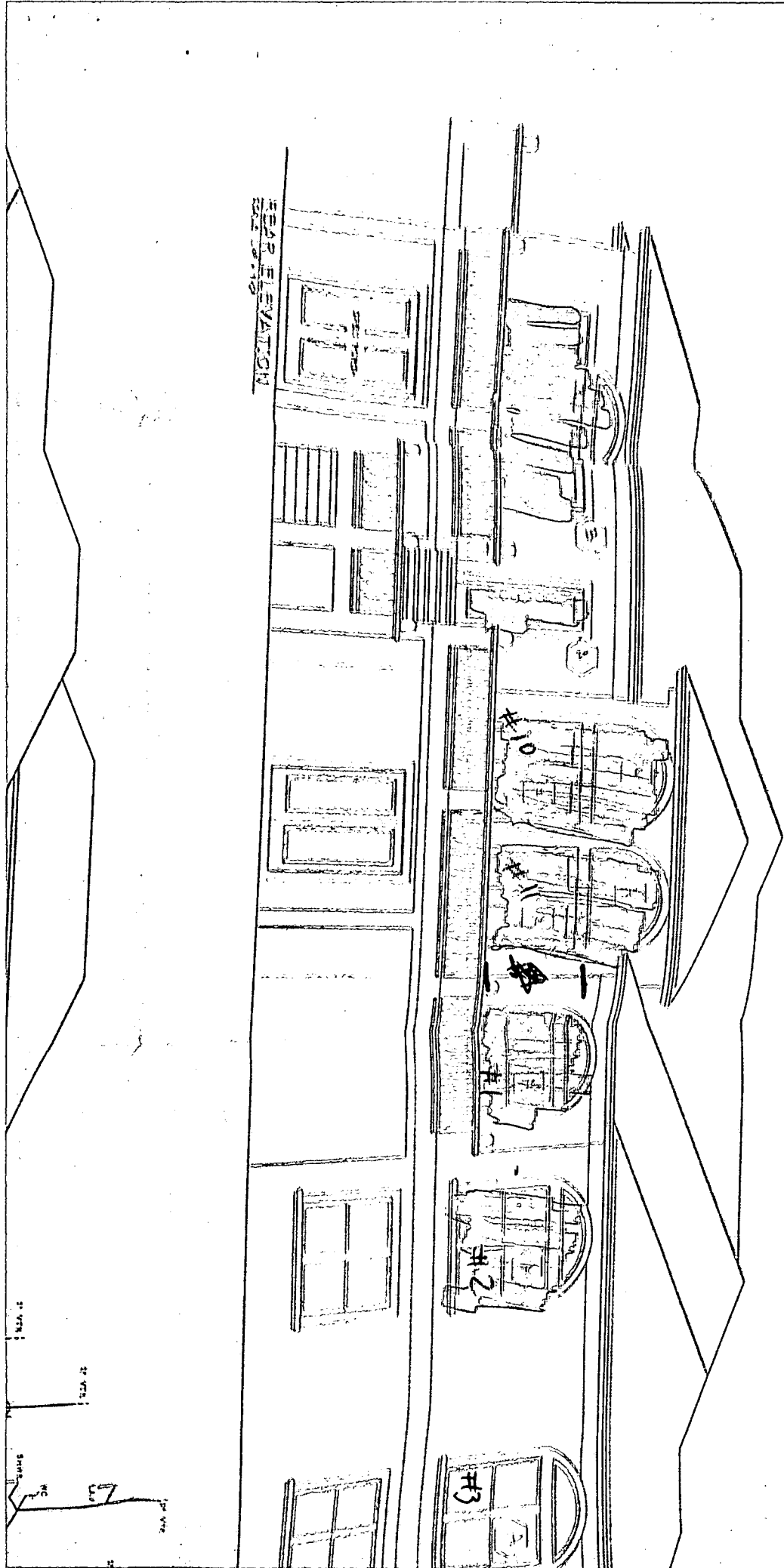
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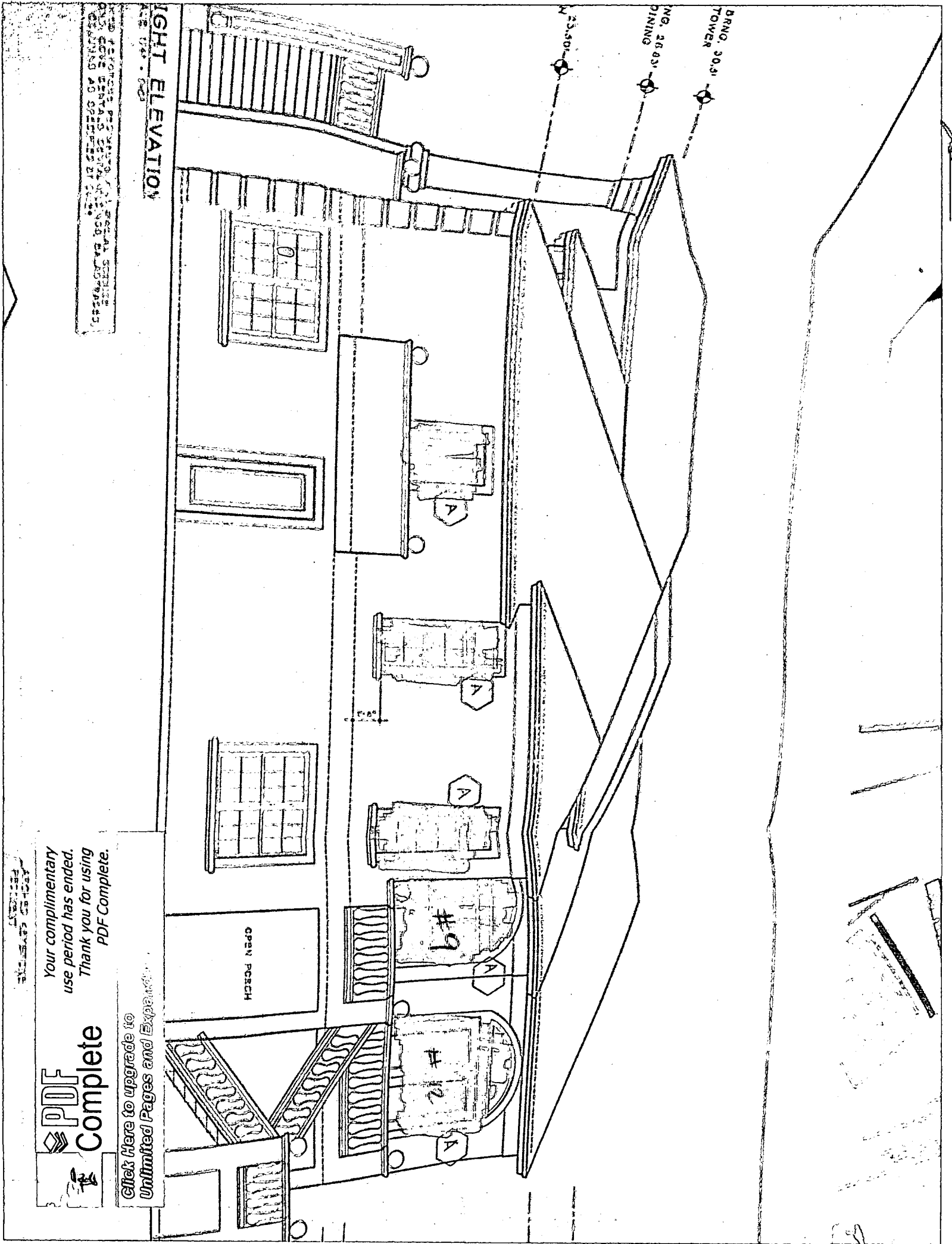
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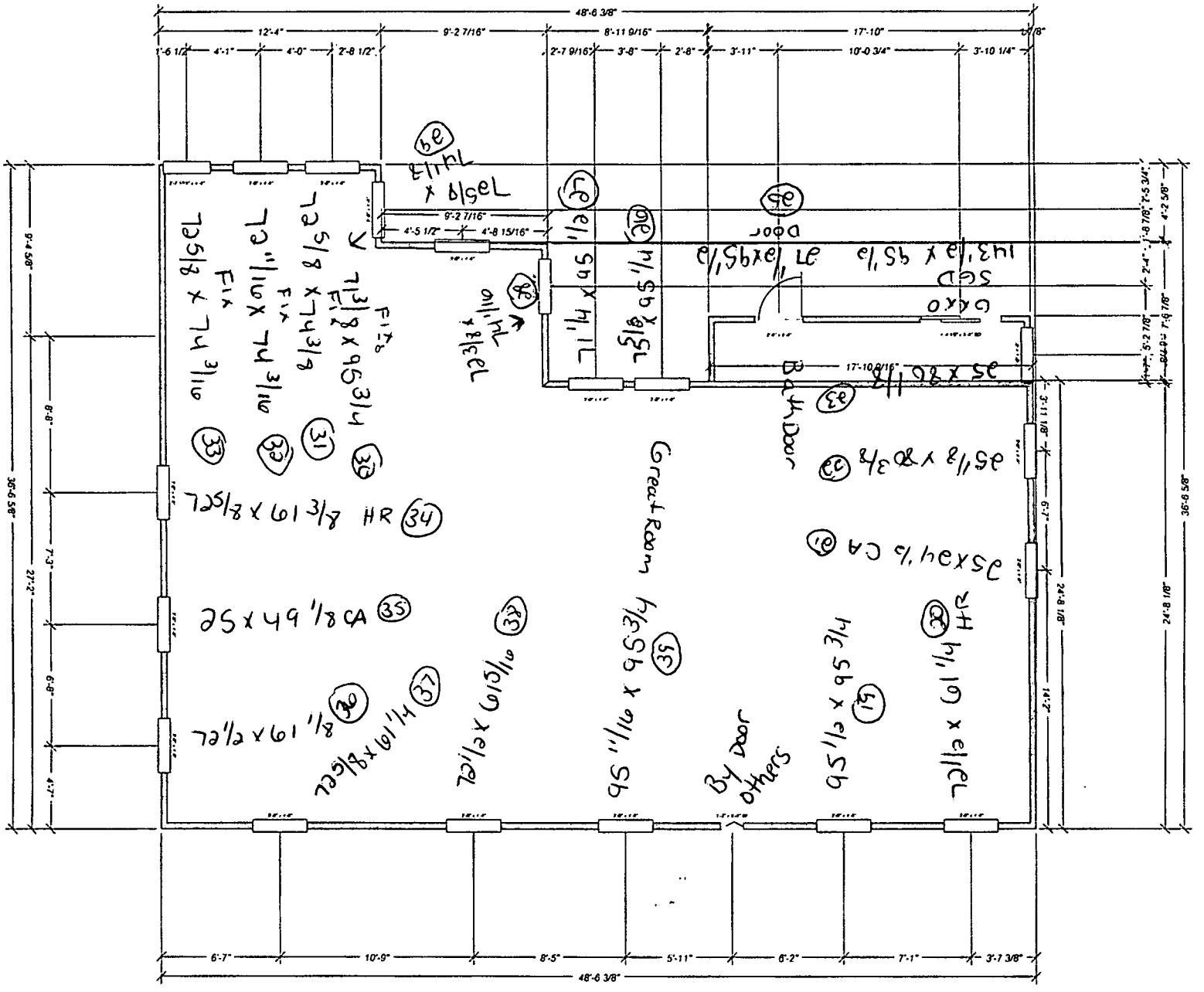
RIGHT ELEVATION

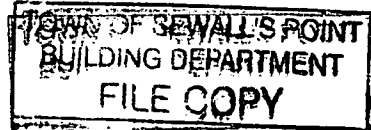
FOR FURTHER INFORMATION, CONTACT THE ARCHITECT AT THE ADDRESS LISTED BELOW. THIS DRAWING IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT.

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Unlimited Pages and Expanded Features





WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WxH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	95 1/2 x 95 3/4	29		X		
2	72 1/2 x 61 1/4	20				
3	75 x 74 1/2	21				
4	25 1/8 x 80 3/4	22				
5	25 x 80 1/2	23				
6	143 1/2 x 95 1/2	24				
7	77 1/2 x 95 1/2	25				
8	155 1/4 x 95 1/4	26				
9	71 1/4 x 95 1/4	27				
10	73 1/2 x 74 1/2	28				
11	72 1/8 x 74 1/4	29				
12	73 1/2 x 95 1/4	30				
13	72 1/2 x 94 3/4	31				
14	72 1/4 x 72 1/2	32				
15	72 1/2 x 74 1/4	33				
16	72 1/8 x 63 1/8	34				
17	25 x 40 1/2	35				
18	72 1/2 x 64 1/8	36				
19	72 1/8 x 61 1/4	37				
20	72 1/2 x 61 1/4	38				
21	95 1/2 x 95 1/4	39				
22						
23						
24						
25						
26						
27						
28						
29						
30						

TOTAL GLAZED OPENING AREA FOR STRUCTURE: _____ S.F.

*PERCENTAGE OF NEW GLAZED AREA: _____ %
 (TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutter or impact resistant glazing) as per 2004 FBC, EXISTING BUILDING 507.3.

*** TYPE WINDOWS**

SH - SINGLE HUNG
 DH - DOUBLE HUNG

AWN - AWNING
 CAS - CASEMENT

SL - SLIDING
 FIX - FIXED

1



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599

NOTICE OF ACCEPTANCE (NOA)

www.iniamidade.gov/pera/

PGT Industries
1070 Technology Drive
Nokomis, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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DESCRIPTION: Series ~~2LT HR-2710M~~ White PVC Horizontal Roller Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. 08-00882, titled "2LT HR2710M PVC Horizontal Roller Window - LMI - 74 1/4" x 53 1/4", sheets 1 through 6 of 6, prepared by PGT Industries, dated 10/27/09, with revision "C", dated 10/17/11, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA No. 09-1210.08 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P. E.**



J. Gascon
2/2/12

NOA No. 11-1114.10
Expiration Date: December 23, 2015
Approval Date: February 09, 2012
Page 1

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
(Submitted under NOA No. 09-1210.08)
2. Drawing No. 08-00882, titled "2LT HR2710M PVC Horizontal Roller Window - LMI - 74¹/₄" x 53¹/₄", sheets 1 through 6 of 6, prepared by PGT Industries, dated 10/27/09, with revision "C", dated 10/17/11, signed and sealed by Anthony Lynn Miller, P. E.

B. TESTS

1. Test reports on:
 - 1) Air Infiltration Test, per FBC, TAS 202-94
 - 2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94
 - 3) Water Resistance Test, per FBC, TAS 202-94
 - 4) Large Missile Impact Test per FBC, TAS 201-94
 - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
 - 6) Forced Entry Test, per FBC 2411 3.2.1 and TAS 202-94along with marked-up drawings and installation diagram of 2LT HR-2710 PVC horizontal roller window, XX configuration, prepared by National Certified Testing Laboratories, Test Report No. NCTL-210-3635-1, dated 04/14/09, re-issued on 09/17/09 and revised on 05/05/10, signed and sealed by Gerard J. Ferrara, P. E.
(Submitted under NOA No. 09-1210.08)

C. CALCULATIONS:

1. Anchor verification calculations, and structural analysis, complying with FBC-2007, prepared by manufacturer, dated 10/27/09, signed and sealed by Luis R. Lomas, P. E.
(Submitted under NOA No. 09-1210.07)
2. Glazing complies with ASTM E1300-04.

D. QUALITY ASSURANCE

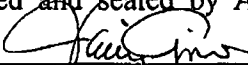
1. Miami-Dade Department of Permitting, Environment, and Regulatory Affairs (PERA)

E. MATERIAL CERTIFICATIONS

1. Notice of Acceptance No. 11-0624.01 issued to E.I. DuPont DeNemours & Co., Inc. for their "DuPont Butacite® PVB Interlayer" dated 09/08/11, expiring on 12/11/16.
2. Notice of Acceptance No. 10-1208.02, issued to L.B. Plastics, Inc. for their "White Rigid PVC Exterior Extrusions" dated 12/30/10, expiring on 12/30/15.

F. STATEMENTS

1. Statement letter of conformance and compliance with the FBC-2007 (with the 2009 supplement) and FBC-2010, dated 10/29/11, signed and sealed by Anthony Lynn Miller, P. E.


Jaime D. Gascon, P. E.
Product Control Section Supervisor
NOA No. 11-1114.10
Expiration Date: December 23, 2015
Approval Date: February 09, 2012



1

DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY AFFAIRS (PERA) BOARD AND CODE ADMINISTRATION DIVISION NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY PRODUCT CONTROL SECTION 11805 SW 26 Street, Room 208 Miami, Florida 33175-2474 T (786) 315-2590 F (786) 315-2599 www.miamidade.gov/pera/

PGT Industries 1070 Technology Drive, Nokomis, Fl. 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA -Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "570/2770/2870" Vinyl Sliding Glass Door (Reinforced)-L.M.I.

APPROVAL DOCUMENT: Drawing No. MD-SGD570-01 Rev A, titled "Vinyl SGD", sheets 1 through 13 of 13, prepared by manufacturer, dated 11/18/10 and last revised on 10/11/11, signed and sealed by Anthony L. Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

Limitation:

- 1. See table 2 (sheet 8) and table 3 (sheet 9) of this approved drawing set for applicable SGD unit sizes, design pressures, reinforcements, glass types, sill riser and anchors requirements.
2. Rigid White PVC to be labeled per referenced NOA requirement.
3. Egress operable doors must comply with min clear width per FBC, as applicable.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and series and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 11-0107.04 and consists of this page 1 and evidence pages E-1 & E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



Handwritten initials and date: 4/23/11

NOA No 11-1018.19 Expiration Date: April 14, 2016 Approval Date: December 08, 2011 Page 1



#1

DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY AFFAIRS (PERA) BOARD AND CODE ADMINISTRATION DIVISION **NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26th Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/pera/

PGT Industries, Inc.
1070 Technology Drive
North Venice, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA -Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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DESCRIPTION: Series "PW's-2720/ 2820 Vinyl" White PVC Fixed Window - L.M.I.

APPROVAL DOCUMENT: Drawing No. 08-00885 titled "Series PW 2720 PVC Fixed Window Impact & PW 2820 PVC Fixed Window Impact", sheets 1 through 7 of 7, prepared by manufacturer, dated 08/04/08 with the latest revision "C" dated 10/27/11, prepared by PGT Industries, Inc., signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/ series and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 09-1104.02 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P. E.**



J. Gascon
2/9/12

NOA No. 11-1114.19
Expiration Date: August 11, 2015
Approval Date: February 16, 2012
Page 1



#1

DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION
NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/economy

PGT Industries, Inc.
1070 Technology Drive
North Venice, Fl. 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/ or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION:

Series "FD-555 Vinyl" Outswing VE 2000 Tan 202 lighter shades (Non-White and White) Rigid Cellular PVC Door w/ Sidelites and w/Transoms - L.M.I.

APPROVAL DOCUMENT: Drawing No. MD-555.1, Series titled "Vinyl French Door and SLT/ TR", sheets 01 through 12 of 12, dated 05/07/13 with the latest revision dated 11/27/13, prepared by manufacture, signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Section Approval stamp with the Notice of Acceptance number and Approval date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This consists of this page 1 and evidence pages E-1, E-2 and E-3, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.



J. Gascon
1/23/14

NOA No. 13-0815.03
Expiration Date: January 23, 2019
Approval Date: January 23, 2014

#1



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
T (786) 315-2590 F (786) 315-2599

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/economy

PGT Industries, Inc.
1070 Technology Drive
North Venice, Fl. 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

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This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "PGT" Clipped Extruded Aluminum Tube Mullion - L.M.I.

APPROVAL DOCUMENT: Drawing No. 6300JR, titled "Impact-Resistant Aluminum Tube Mullions", sheets 01 through 22 of 22, prepared by manufacturer, dated 08/29/11, revision "A", signed, sealed and dated 10/15/13 by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision Section stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

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INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA No. 11-0922.01 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.



J. GASCON
10/21/13

NOA No. 13-0815.05
Expiration Date: May 26, 2016
Approval Date: October 31, 2013
Page 1

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 9-16-14 Page 14 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10903	Guerrero 130 N SPR Adam Peter Carpentry	Doors + windows In Progress	<i>Pass</i>	INSPECTOR <i>[Signature]</i>
10838	Weston 30 S SPR Hamilton Custom Pools	Pool Final	<i>FAIL</i>	<i>By By Barrier NOT TO CODE</i> INSPECTOR <i>[Signature]</i>
10808	Watkins 122 S SPR Bradley Pawlak, LLC	Final Irrigation	<i>Pass</i>	<i>CLOSE</i> INSPECTOR <i>[Signature]</i>
10994	<i>PM Requested</i> Tedesco 18 N River Ranger A/C	Final Mechanical	<i>Pass</i>	<i>close</i> INSPECTOR <i>[Signature]</i>
11001	Brossom 158 S ELITE GAS	<i>TANK U.G</i>	<i>Pass</i>	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR

Address ?

6/17 9:45
left wood

TOWN OF SEWALL'S POINT

285-4450

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner NAN BIRDWHISTEL Address 30 OLD MILL ROAD WOODBRIDGE CONN. 06525 Phone _____

Contractor BLATHE ENVIRONMENTAL Address 4248 SE COMMERCE AVE SUITE 1000 SEASIDE FL 32081 Phone 219-7804

Number of trees to be removed (list kinds of trees) 1 BRAZILIAN PEPPER APPROX 3" in Diameter at Breast Height

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ 15.00 ~~0~~ ^{PROPOSED} OWNER WOULD LIKE TO MAINTAIN ACCESS FOR LOT MOVING AND MAINTENANCE. NO OTHER LARGE TREES SHOULD BE DISTURBED.

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant Nan Birdwhistel Plans approved as marked _____

Approved by Building Inspector _____ Date submitted: _____

Completed _____
Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List

TOWN OF SEWALL'S POINT, FLORIDA

Date 6-19-02 1902 TREE REMOVAL PERMIT No 1162

APPLIED FOR BY BLYTHE ENVIRONMENT (Contractor or Owner)

Owner NAN Bindwhistle - 128 N. Sewall (Contractor Phone = 219-7804)

Sub-division _____, Lot _____, Block _____

Kind of Trees 1 BRAZ Pepper

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (DM) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Empty table with 10 rows and 1 column.

PROJECT DESCRIPTION _____

Empty lines for project description.

REMARKS _____

Empty lines for remarks.