

42 South Sewall's Point Road

4169

SFR

THIS PERMIT MUST BE VISIBLE FROM THE STREET, 24 HRS A DAY UNLOCKED & ACCESSIBLE FOR INSPECTION DURING WORK HRS. NO NOTICES, SIGNS, OR PERMITS TO BE ATTACHED TO TREES.

TOWN OF SEWALL'S POINT BUILDING PERMIT

PARCEL CONTROL NUMBER
13941010000020080000
 OWNER DAVID DAVIS
 ADDRESS 3801 RIVERA DR
 CITY/ST/ZIP COAST GABLES
 TELEPHONE _____

PERMIT NUMBER 4169
 DATE ISSUED 4/16/97
 CONTRACTOR OR
 OWNER/BLDG. GARBER
 ADDRESS 3077 SE. DUNE RHY
 CITY/ST/ZIP SMOKE FL 34997
 TELEPHONE 238-6330

FLOOD ZONE V-13
 TO BE CONSTRUCTED S.F. RES.
 SITE ADDRESS 42 S. SEWALL'S PT RD.
 SUBDIVISION _____
 CONSTRUCTION VALUE 600 K

FEES	
REMODELING/NEW/CONSTRUCTION	<u>4800</u>
IMPACT	<u>1508.20</u>
RADON	<u>51.49</u>
SEPTIC	_____
WELL	_____
FENCE	_____
POOL	_____
DOCK	_____
PLUMBING	<u>100</u>
ELECTRICAL	<u>100</u>
MECH./A.C.	<u>100</u>
ROOF	<u>100</u>
WALL	_____
POOL ENCLOSURE	_____
OWNER/BUILDER	_____
TOTAL	<u>6759.69</u>
PAID BY CHECK	<u>13967</u>

BUILDING INSPECTION		(FOR OFFICIAL USE ONLY)	
(SIGN OFF)			
FORM BOARD SURVEY	DATE <u>8/7/97</u>	NAILING	DATE <u>9/23/97</u>
ROUGH PLUMBING	DATE <u>5/12/97</u>	ROOF	DATE _____
TERMITE PROTECTION	DATE <u>3/5/97</u>	INSULATION	DATE <u>12/1/97</u>
FOOTING SLAB	DATE <u>6/2/97</u>	FINAL ELECTRIC	DATE _____
LINTEL	DATE <u>6/23/97</u>	FINAL PLUMBING	DATE _____
ROUGH ELECTRIC	DATE <u>11/18/97</u>	SEPTIC FINAL	DATE _____
FRAMING	DATE <u>11/18/97</u>	DRIVEWAY	DATE _____
A/C DUCTS	DATE <u>11/18/97</u>	FINAL C.O.	DATE _____

PERMIT AUTHORIZED BY *[Signature]*

- Call 287-2455 from 8:00 a.m. to 4:00 p.m. for inspections.
- Requests for inspections require 24 hours notice.
- All work must be in compliance with the Town of Sewall's Point ordinances, the South Florida Building Code, the State of Florida Energy Efficiency Building Code and Elevations based on the latest flood insurance rate map.
- Portable toilet facilities and haul-off trash container must be in job site before initial inspection.
- Working hours are from 8:00 a.m. to 5:00 p.m. Monday through Saturday.
- No trucks, trailers or other commercial vehicles may be left on job site overnight unless totally concealed. Violators will be cited. Questions regarding such equipment should be directed to the Building or Police Departments.

New Construction Remodel Addition Demolition

RESIDENCE

TOWN OF SEWALL'S POINT BUILDING PERMIT

13841010000020080000
 PARCEL CONTROL NUMBER _____ PERMIT NUMBER 4169
 DATE ISSUED 4/16/97
 CONTRACTOR OR OWNER/BLDR. GRIBSEN
 ADDRESS 3077 SE DIKE HW
 CITY/ST/ZIP STUART 34997
 TELEPHONE 288-6330
 OWNER D.D. DOYLE
 ADDRESS 3801 RIVIERA DR.
 CITY/ST/ZIP CORAL GABLES
 TELEPHONE _____
 FLOOD ZONE V-13
 TO BE CONSTRUCTED S.F. RES.
 SITE ADDRESS 42 S. SEWALL'S PT RD.
 SUBDIVISION PALMETTO
 CONSTRUCTION VALUE 600K

FEES	
REMODELING/NEW CONSTRUCTION	<u>4800</u>
IMPACT	<u>1508.20</u>
RADON	<u>51.49</u>
SEPTIC	_____
WELL	_____
FENCE	_____
POOL	_____
DOCK	_____
PLUMBING	<u>100</u>
ELECTRICAL	<u>100</u>
MECH./A.C.	<u>100</u>
ROOF	<u>100</u>
WALL	_____
POOL ENCLOSURE	_____
OWNER/BUILDER	_____
TOTAL	<u>6759.69</u>
PAID-BY CHECK	<u>13967</u>

BUILDING INSPECTION		(FOR OFFICIAL USE ONLY)	
(SIGN OFF)			
FORM BOARD SURVEYS	DATE <u>8/7/97</u>	NAILING	DATE _____
ROUGH PLUMBING	DATE _____	ROOF	DATE _____
TERMITE PROTECTION	DATE _____	INSULATION	DATE _____
FOOTING-SLAB <u>[Signature]</u>	DATE <u>5/15/97</u>	FINAL ELECTRIC	DATE _____
LINTEL	DATE _____	FINAL PLUMBING	DATE _____
ROUGH ELECTRIC	DATE _____	SEPTIC FINAL	DATE _____
FRAMING	DATE _____	DRIVEWAY	DATE _____
A/C DUCTS	DATE _____	FINAL C.O.	DATE _____

PERMIT AUTHORIZED BY [Signature]

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138410100000020080000

TOWN OF SEWALL'S POINT

BUILDING PERMIT NO. 4169

Date 4/16 19 97

Building to be erected for DONALD A. & DIANA P. DOYLE

Applied for by CORIBBEN CONSTRUCTION CO. (Contractor)

Subdivision PALMETTO PARK (PB 3, PG 66) Lot 19 Block _____

Address 42 S. SEWALL'S PT RD.

Type of structure S.F. RES & GARAGE (Residence)

Building Fee 5200, A/C Fee \$100.00, Electrical Fee \$100.00, Plumbing Fee \$100.00, Roofing Fee \$100.00

Radon Fee 51.49 Impact Fee (If applicable) 1509.20

TOTAL Fees 6759.69 PAID - Check # 13967, Cash _____

Total Construction Cost \$ 600,000

Signed [Signature]
Applicant

Signed [Signature]
Town Building Inspector

4169

Tax Folio No. 1-38-41-010-
000-00196-00000

TOWN OF SEWALL'S POINT, FLORIDA

BUILDING PERMIT APPLICATION

Owner's Name DOYLE, DONALD A. + DIANA P.

Owner's Address 3801 RIVIERA DR, CORAL GABLES, FL 33134

Owner's Telephone 305-446-4131

Fee Simple Titleholder's Name (if other than owner) _____

Fee Simple Titleholder's Address (if other than owner) _____

City _____ State _____ Zip _____

Contractor's Name _____

Contractor's Address _____

City _____ State _____ Zip _____

Contractor's Telephone _____ License Number _____

Job Name _____

Job Address 42 S. SEWALL'S POINT RD, SEWALLS PT.

City Town of Sewall's Point State Florida Zip 34996

Legal Description PALMETTO PARK LOT 19

Bonding Company _____

Bonding Company Address _____

City _____ State _____

Architect/Engineer's Name RANDALL STOFFET

Architect/Engineer's Address 6971 N FEDERAL HWY

Mortgage Lender's Name BOCA RATON FL 33487

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS APPLICATION, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, MARTIN COUNTY, STATE AGENCIES, OR FEDERAL AGENCIES.

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Roofing Contractor _____ License No. _____

A/C Contractor _____ License No. _____

Description of Building or Alterations SINGLE FAMILY
HOUSE + DETACHED GARAGE

Name of Street Designated as Front Building Line and Front Yard
S. SEWAN'S POINT ROAD

subdivision PALMETTO Lot 19 Block _____

Building Area (air conditioned) 5139 sq. ft.

Garage, Porch, Carport Area 1400 sq. ft.

Contract Price (excluding carpet, land, appliance, landscaping)
\$ 600,000

Donald D. Dyck
(Owner or Authorized Agent)

DATE 2-19-97

Sworn and Subscribed before me this

19th day of February 1997

(SEAL)

Joan H. Barrow

NOTARY PUBLIC
State of Florida at Large
My Commission Expires:

OFFICIAL NOTARY SEAL
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998

DATE _____

(Contractor)

Sworn and Subscribed before me this

_____ day of _____ 199__

(SEAL)

NOTARY PUBLIC
State of Florida at Large
My Commission Expires:

Certificate of Competency Holder

Contractor's State Certification or Registration No. _____

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer

[Signature]

For Official Use Only

Plans approved as submitted _____ Date _____

Plans approved as marked _____ Date _____

A/C Area 5139 sq. ft. x \$60. = \$ _____

Non A/C Area 1400 sq. ft. x \$25. = \$ _____

Total = \$ _____

Contract Price \$ _____ (fee will be charged on higher amount)

Universal Land Title, Inc.

WARRANTY DEED
INDIVIDUAL TO INDIVIDUAL

This Instrument Prepared by:
DYONNIA C. BEEGLE
789 S. Federal Highway Suite 212
Stuart, Florida 34994
(407) 286-0646 FAX (407) 288-3524
for the purposes of title insurance.

Property Appraisers Parcel I.D. (Folio) Number(s):
01-38-41-010-000-0020-08

Grantee(s) S.S.#(s):

RECORDED \$ 0.70 MARSHA STILLER
COUNTY \$ _____ MARTIN COUNTY
BOOK-ASMS \$ _____ CLERK OF CIRCUIT COURT
INT. TAX \$ _____ BY hh D.C.

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made the 24TH day of JANUARY A.D. 19 96 by DOROTHEA A. WHITE, A SINGLE WOMAN, INDIVIDUALLY AND AS TRUSTEE

hereinafter called the grantor, to DONALD A. DOYLE AND DIANA P. DOYLE, HIS WIFE, AS CO-TRUSTEES
whose postoffice address is 3801 RIVIERA DRIVE, CORAL GABLES, FL 33134
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

WITNESSETH: That the grantor, for an in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in MARTIN County, Florida, viz:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple, that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1995, restrictions, reservations, covenants and easements of record, if any.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Dyonnia C. Beegle
Witness Signature
Dyonnia C. Beegle

Printed Signature
Charlene

Witness Signature
Christine
Printed Signature

Witness Signature

Printed Signature

Witness Signature

Printed Signature

Dorothea A. White
DOROTHEA A. WHITE
2550 Letha Court, Stuart, FL 34994
Post Office Address

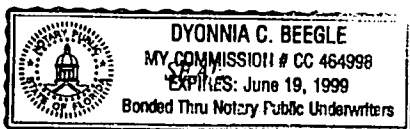
Post Office Address

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared DOROTHEA A. WHITE, A SINGLE WOMAN

who is/are personally known to me or who has produced drivers license as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 24TH day of JANUARY A. D. 19 96.



Dyonnia C. Beegle
Notary Signature

Printed Notary Signature Title or Rank
My Commission Expires: Serial Number, if any:

RECORDED & VERIFIED BY MARSHA STILLER CLERK OF CIRCUIT COURT MARTIN CO., FL 96 JAN 25 PM 2:46 01156006

OR BK 159 PG 0331

NOTICE OF COMMENCEMENT

PERMIT NO. _____ TAX FOLIO NO. 01-38-41-010-000-0019-00

STATE OF FLORIDA:
COUNTY OF Martin

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Legal description of property and street address: Lot 19, Palmetto Park recorded in Plat Book 3, page 66 of Public Records, Martin County Florida. (42 S. Sewells Point Rd. Stuart, Fl 34996

2. Description of improvement: Construction of a Residence.

3. Owner(s) name and address: Donald A. and Diana P. Doyle
3801 Riviera Dr. Coral Gables, Fl 33134

Interest in property: Fee Simple

Name and address of fee simple titleholder: Same as Above

4. Contractor's name and address: Gribben Construction Company
3077 SE Dixie Hwy. Stuart, Fl 34997

5. Surety: (Payment bond required by owner from contractor, if any)

Name and address: N/A

Amount of bond \$ N/A

6. Lender's name and address: Northern Trust Bank of Florida N.A
2201 SE Kingswood Tc. Stuart, Fl 34996

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes.

Name and address: N/A

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Name and address: N/A

9. Expiration date of this Notice of Commencement: (the expiration date is 1 year from the date of recording unless a different date is specified) N/A

Donald A. Doyle / Diana P. Doyle
Signature of Owner

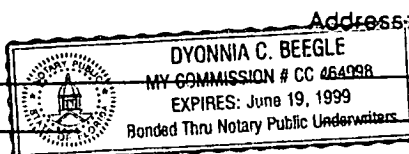
Print Owners Name Donald A. Doyle / Diana P. Doyle

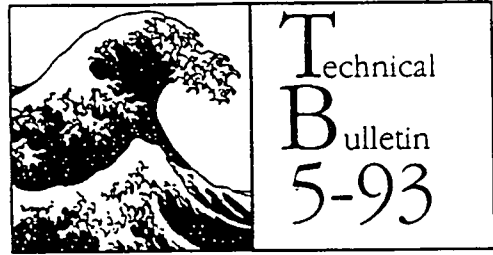
Sworn to and subscribed before me this 15 day of April, 1997.

Prepared by: _____

Notary Public Dyonnia C. Beegle
Print Notary's Name

My Commission Expires: _____



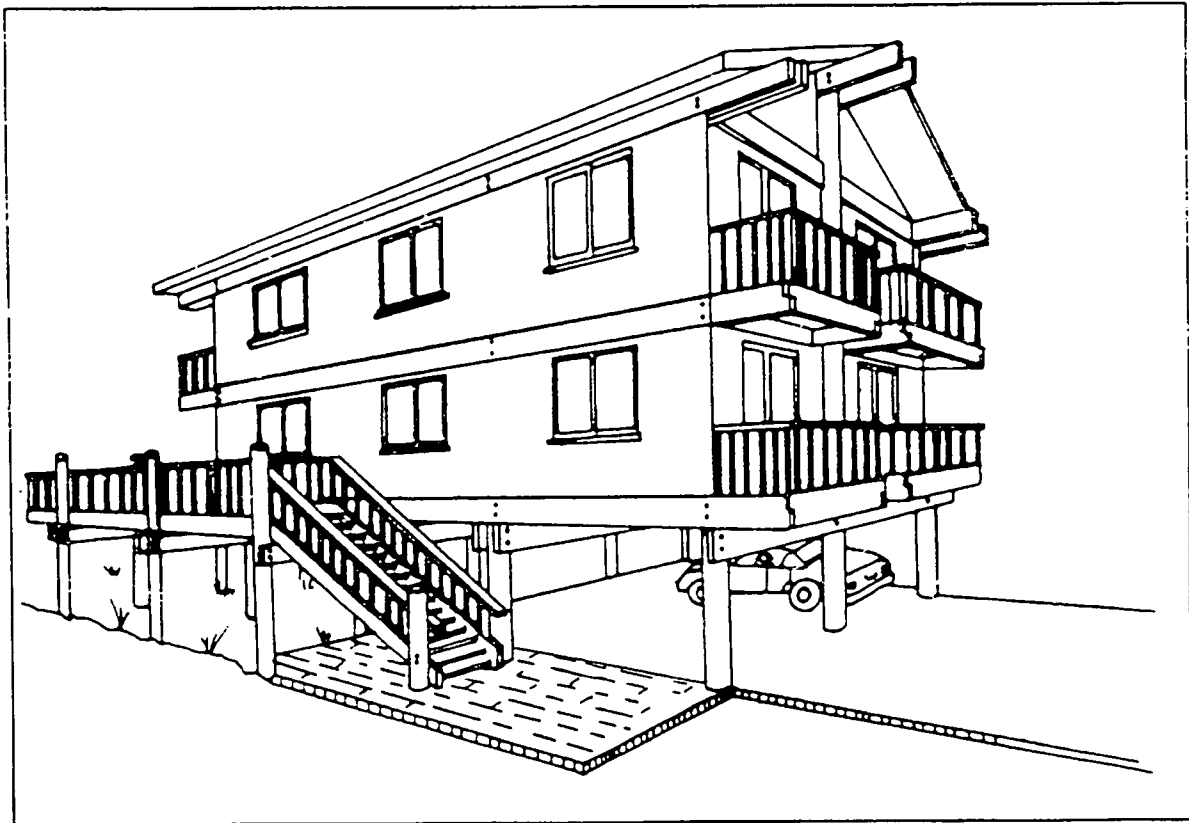


Free-Of-Obstruction Requirements

for Buildings Located in Coastal High Hazard Areas

in accordance with the

National Flood Insurance Program



FEDERAL EMERGENCY MANAGEMENT AGENCY
FEDERAL INSURANCE ADMINISTRATION

FIA-TB-5
(4/93)

community. Determining the potential damaging effects of a seawall or bulkhead is an important part of the design professional's responsibility. The COE's "Shore Protection Manual" should be consulted for guidance on bulkheads.

Concrete Pads A concrete pad with minimal or no reinforcement, to be used for parking, as a floor in an enclosed storage area, or as the floor of an enclosed area used for access to the elevated lowest floor of a building, may be poured beneath an elevated coastal building. A concrete pad placed at grade is not considered an obstruction if it is not structurally attached to the building's foundation system. The use of fill beneath an elevated building to elevate a slab above natural grade is considered an obstruction and is therefore prohibited. It is important to note that compliant concrete pads often collapse during coastal storms due to erosion and localized scour of underlying soils.

Decks and Patios Decks or patios constructed at grade may involve considerable alteration of the site in the construction process. The proposed construction must be evaluated to determine whether buildings on the site or on adjacent sites will be adversely affected. Floodwaters should not be diverted into the elevated building or into nearby buildings. Debris from destroyed decks or patios should not damage the foundation of the building or of adjacent buildings. Decks and patios constructed below the BFE must be structurally independent of the building's foundation system.

If a deck is structurally attached to the building, the lowest horizontal member of the deck must be elevated to or above the BFE. Like an at-grade deck, an elevated deck should not worsen flooding conditions or create debris that will damage adjacent buildings. A deck that is properly elevated on embedded piles to withstand flood forces generated by a base flood should not cause additional flood or debris damage to adjacent buildings.

Enclosed Areas The area beneath the elevated superstructure of a V-zone building may be enclosed only with non-loadbearing breakaway walls. Open lattice and insect screening may also be used in lower areas.

Uses of the area beneath an elevated building are restricted to parking, access, and storage; lower areas must not be finished or used for recreational or habitable purposes. No mechanical, electrical, or plumbing equipment is to be installed below the BFE.

There are no NFIP restrictions on the size of the area that may be enclosed. However, V-zone buildings with lower area enclosures (constructed with breakaway walls) that exceed 300 square feet may be subject to higher insurance premiums due to the potential for increased loadings on the foundation system caused by the enclosure. Design professionals may wish to contact an insurance agent for information regarding any additional insurance premium that would be assessed.

Fences Like other construction elements on V-zone building sites, fences must be analyzed for their effects on flood conditions, including ramping effects on adjacent buildings and the effects of debris during flood events.

APPLICANT'S NAME: Donald Doyle
 LEGAL DESCRIPTION: Lots 19 & A - Palmetto Park

PROPOSED SEPTIC SYSTEM SITE INFORMATION

CIRCLE ONE ANSWER FOR EACH QUESTION (FOR ITEMS 1 - 17 BELOW).
 N/A MEANS THAT THE QUESTION IS NOT APPLICABLE.

1. Is there a septic system within 75 feet of the proposed private well? ----- Yes No N/A
2. Is there a potable private well within 75 feet of the available area for the proposed septic system? ----- Yes No
3. Is there a non-potable well within 50 feet of the available area for the proposed septic system? ----- Yes No
4. Is there a proposed well within 25 feet of the building foundation? ----- Yes No
5. Is there a public well that serves less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system? ----- Yes No
6. Is there a public well that serves more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system? ----- Yes No
7. Is there a gravity sewer line or lift station within 50 feet of the proposed lot? ----- Yes No
8. Is there a lake, stream, wetland, or surface water within 75 feet of the available area for the proposed septic system? ----- Yes No
9. Is there a proposed or existing public drinking water line within 10 feet of the proposed septic system? ----- Yes No
10. Is there a storm water retention area or drainage easement within 15 feet of the proposed septic system? ----- Yes No
11. Is the proposed septic system in an area proposed for paving or vehicular traffic? ----- Yes No
12. Are all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot shown on the site plan? ----- Yes No N/A
13. Are all public wells within 200 feet of the applicant's lot shown on the site plan? ----- Yes No N/A
14. Does the site plan include a plat of the lot or total site ownership drawn to scale, boundaries with dimensions, locations of building or residences, swimming pools, recorded easements, proposed or existing septic systems, any proposed or existing wells, public water lines, paved areas or driveways, and surface waters such as lakes, ponds, streams, canals, or wetlands? ----- Yes No
15. Does the site plan show the general slope of the property, recorded easements from the recorded plat, filled areas and drainage features and surface waters such as lakes, ponds, streams, canals, or wetlands? ----- Yes No
16. Are the natural grade elevation in the area of the septic system and the benchmark shown on the site plan? ----- Yes No
17. Is the public water line location from the water meter to the house shown on the site plan? ----- Yes No
18. There is 1600 square feet of available, unobstructed, contiguous land to install the septic system. This area excludes interferences. Shade this available area on the site plan. SJB
2/12/97

SITE ELEVATIONS

1. Crown of road elevation N/A NGVD. Show location on the site plan. If the road is not paved, benchmark elevation 5.05 NGVD. Show location on site plan.
2. Natural grade elevation in the area of the proposed septic system 3.1 NGVD. Show location on site plan.
3. Is the building location in a flood hazard area "A" or "V" as identified on F.E.M.A. maps? Yes or No If yes, what is the minimum required flood hazard floor elevation of the building? 10.00 NGVD.

NOTE: Please locate the reference point or benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: Stephen J. Brown
 FLORIDA PROFESSIONAL NO.: 4099
 DATE: 12/23/96 JOB NO.: 2574-01-01

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508
 VERO BEACH: (561) 567-6167
 STUART: (561) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Gribben Construction Company

Date May 7, 1997

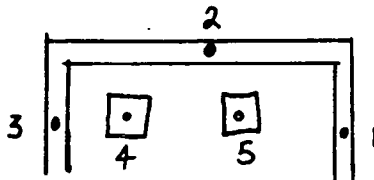
Contractor Client

Site 42 S. Sewalls Point Rd.
 Footings

Permit #4169

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
3157	Map Location #1	0 - 1'	109.6	3157	111.3	98.4
	Map Location #2	0 - 1'	110.5			99.2
	Map Location #3	0 - 1'	110.2			99.0
	Map Location #4 (Col. Pad)	0 - 1'	109.7			98.5
	Map Location #5 (Col. Pad)	0 - 1'	109.3			98.2
All elevations below bottom of footing grade.						

Copies Client - 1
 Sewalls Pt. Bldg. Dept. - 1



Respectfully submitted,

Paul H. Danforth
 PAUL H. DANFORTH, P.E.

FRASER ENGINEERING AND TESTING, INC.

3604 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 283-7711

Report of MOISTURE DENSITY RELATIONSHIP ASTM 1557-70

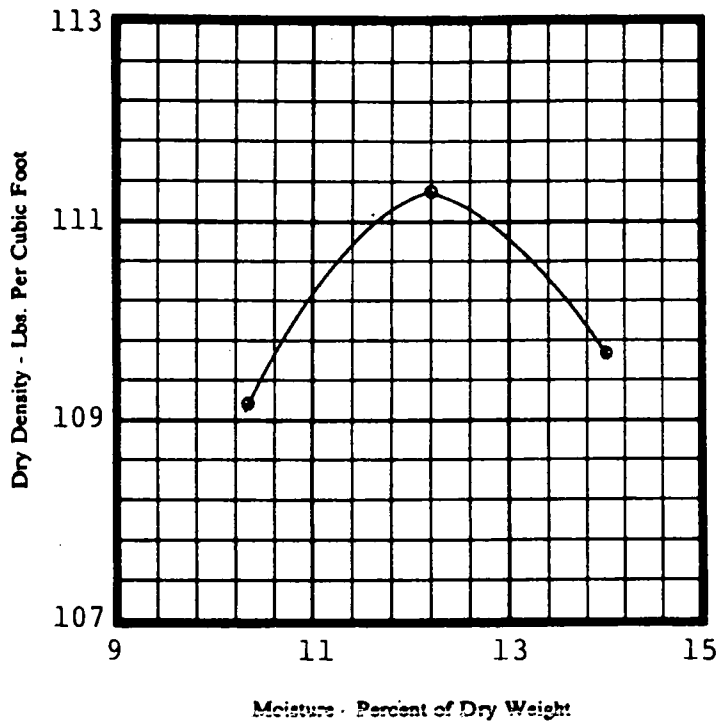
Client Gribben Construction Company

Date May 7, 1997

Contractor Client

Site 42 S. Sewalls Point Rd.
Footings

Permit #4169



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
3157	B	Composite	12.2	111.3	Brown, slightly silty, slightly clayey, fine sand.

Copies

Respectfully submitted,

PAUL H. DANFORTH, P.E.

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 283-7711

Report
of
DENSITY OF SOIL IN PLACE
ASTM D2922

Client Gribben Construction Co.

Date May 28, 1997

Contractor Client

Site 42 S. Sewalls Point Rd.
Stemwall Backfill

Permit #4169

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
3257	N.E. Corner	0 - 1'	108.8	3157	111.3	97.8
	"	1 - 2'	109.3			98.2
	Center	0 - 1'	108.1			97.1
	"	1 - 2'	109.2			98.1
	S.W. Corner	0 - 1'	107.7			96.8
	"	1 - 2'	108.5			97.5
All elevations below slab grade.						

Copies Client - 1
Sewalls Point Bldg. Dept. - 1



Respectfully submitted,

FRASER ENGINEERING & TESTING, INC.

A handwritten signature in cursive script, appearing to read "Paul H. Danforth".

PAUL H. DANFORTH, P.E., FL Reg. No. 44653

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33rd STREET

FORT PIERCE, FLORIDA 34946

FORT PIERCE: (561) 461-7508

VERO BEACH: (561) 567-6167

STUART: (561) 283-7711

Report of DENSITY OF SOIL IN PLACE ASTM D2922

Client Gribben Construction Company

Date May 30, 1997

Contractor Client

Site 42 S. Sewalls Point Road
Stemwall Backfill

Permit #4169

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max Dry Density	
3275	Storage Room	0 - 1'	109.2	3157	111.3	98.1
	"	1 - 2'	109.0			97.9
	Elevator Lobby	0 - 1'	108.7			97.7
	"	1 - 2'	109.3			98.2
	Upper Entry Deck	0 - 1'	108.5			97.5
	"	1 - 2'	108.7			97.7
All elevations below slab grade.						

Copies Client - 1
Sewalls Point Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING & TESTING, INC.


PAUL H. DANFORTH, P.E., FL Reg. No. 44653



JAN - 9 1007

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC
PREPARED BY: STEPHEN J. BROWN, INC.
290 FLORIDA STREET

HRS-Martin County
Public Works

PERMIT # 97-012
DATE PAID 1-9-97
FEE PAID \$ 95.
RECEIPT # 19189
Well plan 15

APPLICATION FOR:
 New System Existing System Holding Tank Temporary/Experimental
 Repair Abandonment Other (Specify) _____

APPLICANT: Donald Doyle TELEPHONE: 288-7176

AGENT: Stephen J. Brown, Inc.

MAILING ADDRESS: 290 Florida Street, Suite "C", Stuart, FL 34994

BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION (IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED)

LOT: 19&A BLOCK: N/A SUBDIVISION: Palmetto Park DATE OF SUBDIVISION: 7/11/57
PROPERTY ID #: _____ [Section/Township/Range/Parcel No.] ZONING: _____

PROPERTY SIZE: 1.24 ACRES [Sqft/43560] PROPERTY WATER SUPPLY: PRIVATE PUBLIC

PROPERTY STREET ADDRESS: S. Sewall's Point Rd. (Sewall's Point)

DIRECTIONS TO PROPERTY: Take East Ocean Blvd. to Sewall's Point Road and turn right. Property is across from Palmetto Drive & is on the left side of road.

BUILDING INFORMATION RESIDENTIAL COMMERCIAL

Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
<u>Single Family</u>	<u>4</u>	<u>5139</u>	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

Garbage Grinders/Disposals Spas/Hot Tubs Floor/Equipment Drains
 Ultra-low Volume Flush Toilets Other (Specify) _____

APPLICANT'S SIGNATURE: Stephen J. Brown DATE: 12/23/96

copy D
Lawton Chiles
Governor



James T. Howell, M.D., M.P.H.
Secretary

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Donald Doyle SEPTIC TANK PERMIT NO.: HD 97-0012

LEGAL DESCRIPTION: Lot 194A Palmetto Park

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Department prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

1. Building Permit Number: _____ (Certification not required for this item).

2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit.

____ 3. I certify that the top of the lowest building plumbing stubout is _____ inches (circle one) above/ below crown of road elevation shown on septic tank permit.

____ 4. I certify that the top of the drainfield pipe elevation is _____

____ 5. I certify that all moderate and or severely limited soils have been removed from an area of _____ feet by _____ feet a minimum depth of _____ Surveyor must submit 2 plot plans to scale of excavated area. (See diagram _____ A/ _____ B on reverse side) Date Observed: ____/____/____

____ 6. I certify that all moderately and or severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram B on reverse side) Date Observed: ____/____/____

- NOTE:
- a. Severely limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
 - c. Condition numbers 5, 6 and 7 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation.

CERTIFIED BY: _____

As applicant or applicant's representative,
I understand the above requirements.

Date: _____ Job Number: _____

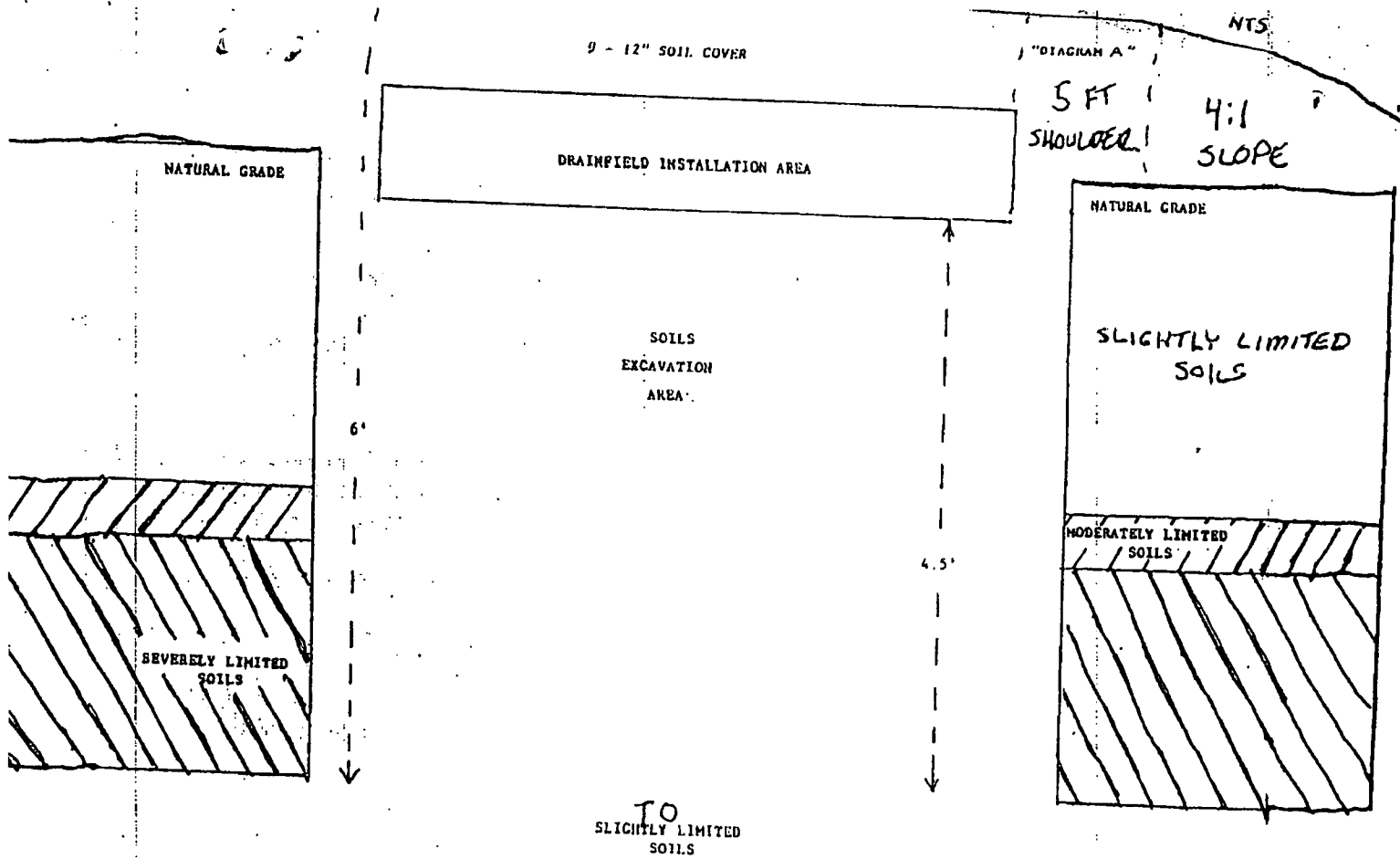
Susan Trax
(Signature)

FOR MARTIN COUNTY HEALTH DEPARTMENT USE ONLY

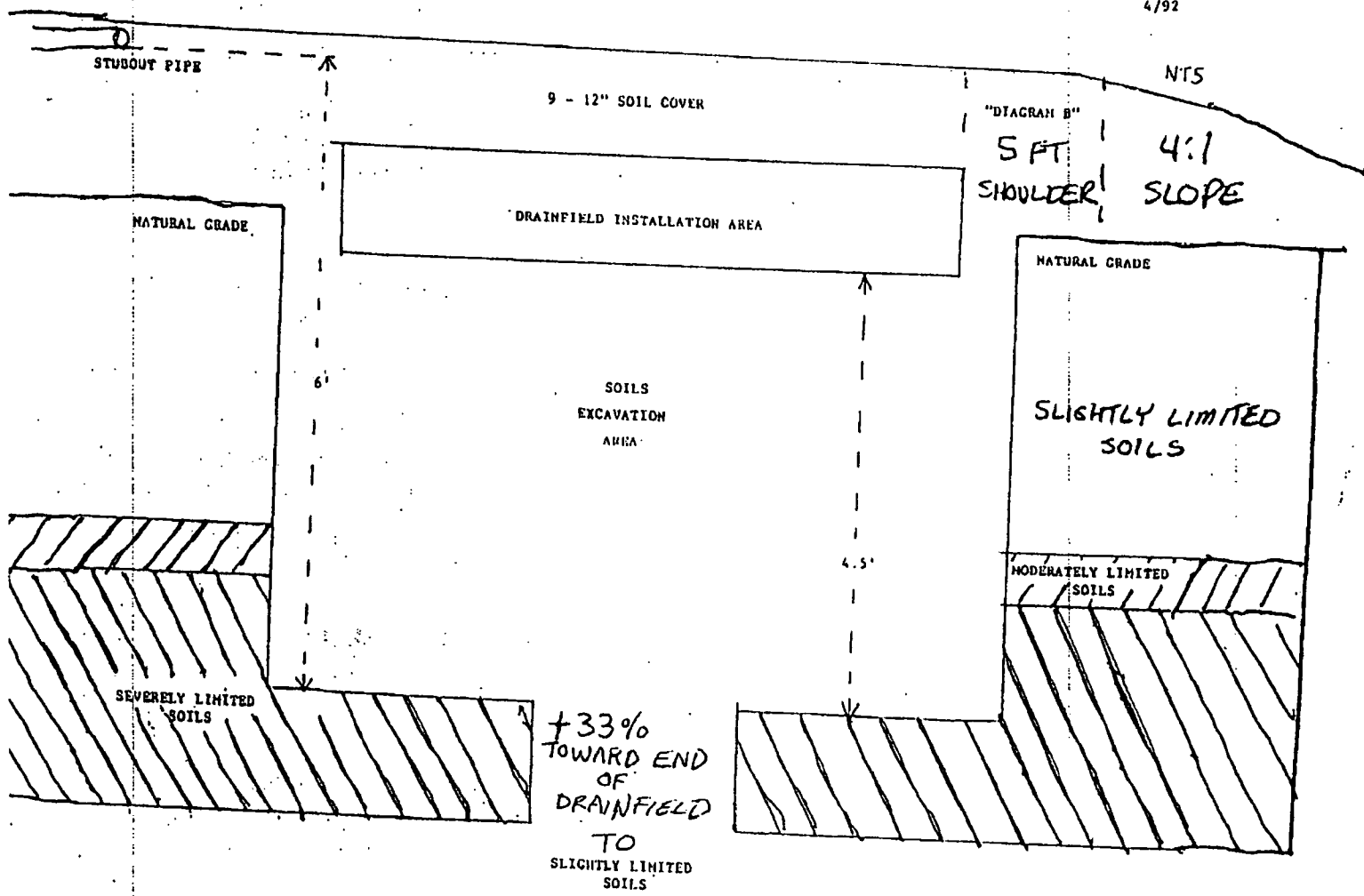
Martin County Health Department Approval Signature

(Date)

Stubcert.doc forms disk I Revised 01/17/97



4/92



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 100-6, FAC

PERMIT # 97-0012-
DATE PAID 01/09/97
FEE PAID \$ 105.00
RECEIPT # 19189
WELL PLAN 15

CONSTRUCTION PERMIT FOR:

New System Existing System Holding Tank Temporary/Experimental System
 Repair Abandonment Other(Specify) _____

APPLICANT: DONALD DOYLE AGENT: STEPHEN BROWN

PROPERTY STREET ADDRESS: S SEWALLS POINT SEWALLS POINT

LOT: 19 & A BLOCK: _____ SUBDIVISION: PALMETTO PARK

PROPERTY ID #: _____ [SECTION/TOWNSHIP/RANGE/PARCEL NO.]
[OR TAX ID NUMBER]

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 100-6, FAC. REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

=====

SYSTEM DESIGN AND SPECIFICATIONS

T [1500] [GALLONS] SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [Y]
A [0] [GALLONS / GPD] _____ CAPACITY MULTI-CHAMBERED/IN SERIES: [N]
V [0] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS
< [0] GALLONS PER DOSE DOSE RATE [0] PER 24 HRS NO. OF PUMPS: [0]

D [700] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [0] SQUARE FEET _____ SYSTEM 28' x 39'
A TYPE SYSTEM: STANDARD FILLED MOUND 6 TRENCHES X 38.9'L

I CONFIGURATION: TRENCH REQ _____
N

F LOCATION OF BENCHMARK: 5.05' NGVD

I ELEVATION OF PROPOSED SYSTEM SITE IS [23.4] INCHES BELOW BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [23.4] INCHES BELOW BENCHMARK/REFERENCE POINT
L

D FILL REQUIRED: [21.0] INCHES EXCAVATION REQUIRED: [0.0] INCHES

O TOP OF BUILDING STUBOUT IS REQUIRED TO BE A MINIMUM ELV. OF 3" BELOW BM 5.05'
T TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELV. OF 13" BELOW BM 5.05'
H TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELV. OF 1" ABOVE BM 5.05'
E DRAINFIELD ROCK MUST BE A MINIMUM OF 13 FT. FROM PROPERTY LINES. ST
R " SEE SPECIAL CONDITIONS LIST "

SPECIFICATIONS BY: EDGAR MORALES TITLE: ENV. SPL. II

APPROVED BY: RAY CROSS TITLE: ENV. SUPV. II MARTIN CPH

DATE ISSUED: 02/05/97 EXPIRATION DATE: 08/05/98



Lawton Chiles
Governor

James T. Howell, M.D., M.P.H.
Secretary

SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

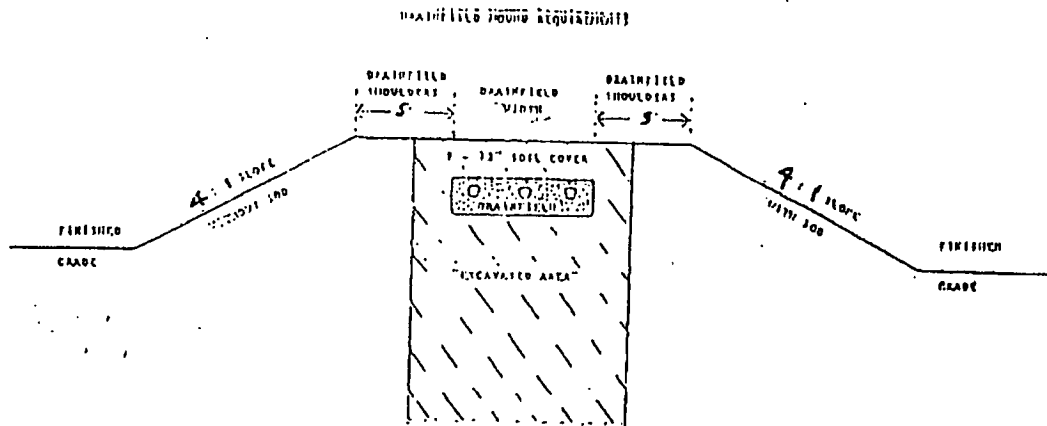
APPLICATION NAME: Donald Doyle PERMIT NO. (HD) 97-0012
SUBDIVISION: _____

- NOTE** Special Condition(s) marked "X" are in effect.
- 1. Drainfield must be maintained under grass; _____ and protected from vehicular traffic (i.e., traffic barriers).
 - 2. Operational test of dosing pump(s) and high water alarm (audible and visual) required prior to final construction approval.
 - 3. Driveway / sidewalk elevation must be 9" higher than drainfield pipe elevation if they are within 13 feet of each-other.
 - 4. Septic system must be 75' from surface water / wetlands / mean high water line.
 - 5. Excavate one / three feet beyond drainfield area to a depth of _____.
 - 6. In addition to item #5, 33% of unsuitable soils at depths greater than _____ must be removed to a depth of slightly limited soils.
 - 7. If well abandonment is required, the well(s) in question must be properly abandoned by a certified well driller. The attached well abandonment form(s) must be completed by the well driller and submitted to this office prior to initial building construction or system installation.
 - 8. Septic tank abandonment notices from the Septic Tank Contractor must be received by this office prior to final construction approval.
 - 9. The mound area must be sodded within prior to the request for final grade inspection.
 - 10. Any future ponds or surface water created onsite must be greater than 75' from septic system(s).
 - 11. The available area for septic installation must to be evenly filled and leveled.
 - 12. \$ _____ reinspection fee is required if the well is not installed at time of initial onsite sewage disposal system inspection.
- SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS. Page 1 of 3

13. Septic system must be a minimum of 10 feet from drainage culverts or storm water drains and a 15 feet minimum from dry retention, dry detention or dry drainage ditches.
- ___ 14. Occupational approval will not be given until all requirements for public water system/ foodservice/ institutional/ septic system are met.
-
- ___ 15. Septic tank/ dosing chamber/ grease trap must have (traffic lids with) ___ manhole cover(s) per tank extending to the surface.
- ___ 16. ___ gallon outside grease trap(s) is required. The grease trap should be connected with the outlet tee extending to within 8" of the bottom of the tank. The following must be connected to the grease trap.
- a) handwash sink(s).
 - b) three compartment sink(s).
 - c) floor drains.
 - d) can wash, janitor's sink(s).
 - e) dishwasher if present.
- All other greaseless flow should be connected directly to the septic tank.
- ___ 17. ___ to be dosed two / six times in a twenty-four hour period is required. A high water alarm that gives audible and visual signals is required. If two drainfields are used, each field must be connected to an individual pump and alternately dose.
- ___ 18. Two pumps are required to alternately dose into two separate fields. Separate drainfields must be a minimum of 10 feet apart.
19. If rainwater from the building roof drains onto the drainfield available area, gutters are required in the area of drainfield. Down-spouts must be diverted from the drainfield area.
20. No sprinkler heads are allowed on top of drainfield. Irrigation lines must be separated from the drainfield by ten feet unless an approved backflow prevention device is properly installed.
21. Potable water lines, whether connected to an on-site well or to a utility meter, must be a minimum of ten feet from drainfields or sealed with a water proof sealant within a sleeve of similar pipe to a distance of ten feet from the nearest portion of the drainfield. In no case can the sleeved line be located within 24 inches of the drainfield or at an elevation lower than the bottom of the drainfield.
22. All wells installed onsite must be 25' from the building foundation and meet all other setback-installation requirements.
23. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.
24. If the building stubout is placed more than 20ft. from septic tank or drainfield, the stubout elevation must be higher than the permitted elevation to achieve gravity flow. This must have prior approval from the health unit.

SPECIAL CONDITION REQUIREMENTS (Page 3 of 3) Revised 07/24/96

- 25. If fill is required, contact Martin County Building Division for requirements.
- 26. Inspection results will be posted on the building permit. A copy of the construction approval is available upon request.
- 27. A septic tank outlet filter is required on all septic tanks.
- 28. If any information on this permit changes, an amended application is required to be filed immediately.
- 29. Any alteration of the information or conditions of this permit found to be in non-compliance with 10D-6 Florida Administrative Code, will be sufficient cause for revocation of this permit.
- 30. The engineer of record must certify that the installed system complies with the approved design and installation requirements.
- 31. Prior to final construction approval, the property owner must apply for an annual operating permit and pay the \$_____ annual permit fee (For _____ Indust./Manuf. _____ Aerobic system(s)).
- 32. If a mound drainfield is proposed, see following sketch of additional requirements (No retaining walls are allowed within the drainfield shoulder or slope areas of a mound system).



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.
SEE EXCAVATION CERTIFICATION SHEET FOR EXCAVATION DETAILS.

33. Other: Garage door facing available Area is not part of floor Plan (RV & Storage Bldg.)

NOTE - \$25.00 RE-INSPECTION FEE WILL BE CHARGED IF REQUIREMENTS ARE NOT MET DURING INSPECTION.

Questions concerning special conditions can be answered by calling Edgar Morales, R.S. at (561) 221-4090.

STATE OF FLORIDA
 DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
 ONSITE SEWAGE DISPOSAL SYSTEM
 SITE EVALUATION AND SYSTEM SPECIFICATIONS

PERMIT # 97-0012-
 WELL PLAN 15

APPLICANT: DONALD DOYLE AGENT: STEPHEN BROWN

LOT: 19 & A BLOCK: _____ SUBDIVISION: PALMETTO PARK

PROPERTY ID #: _____ [SECTION/TOWNSHIP/RANGE/PARCEL NO. OR TAX ID NUMBER]

TO BE COMPLETED BY ENGINEER, HEALTH UNIT EMPLOYEE OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NO. AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: YES NO NET USABLE AREA AVAILABLE: 1.24 ACRES
 TOTAL ESTIMATED SEWAGE FLOW: 700 GALLONS PER DAY [RESIDENCES-TABLE-1 / OTHER-TABLE-2]
 AUTHORIZED SEWAGE FLOW: 1860 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
 UNOBSTRUCTED AREA AVAILABLE: 1600 SQFT UNOBSTRUCTED AREA REQUIRED: 1400 SQFT

~~NCHMAP~~ REFERENCE POINT LOCATION: 5.05' NAD
 ELEVATION OF PROPOSED SYSTEM SITE IS 23.7 INCHES [ABOVE / BELOW BENCHMARK] REFERENCE POINT

MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
 SURFACE WATER: 50 FT
 UTILITIES: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: N/A FT
 BUILDING FOUNDATIONS: 7 FT PROPERTY LINES: 10 FT POTABLE WATER LINES: 18 FT
 DITCHES/SWALES: 30 FT NORMALLY WET? YES NO

IS THE SUBJECT TO FREQUENT FLOODING: YES NO 10 YEAR FLOODING? YES NO
 10 YEAR FLOOD ELEVATION FOR SITE: 10.00 FT MSL (NGVD) SITE ELEVATION: 31 FT MSL (NGVD)

SOIL PROFILE INFORMATION SITE (1)

Munsell #/Color	Texture	Depth "
		0 to 10
<u>10YR 7/1 dk gray sand</u>		0 to 12
<u>10YR 8/2 white sand</u>		18 to 22
<u>10YR 6/3 pale brown sand</u>		22 to 31
<u>10YR 5/3 brown sand</u>		36 to 41
<u>10YR 7/2 dk gray-br. l.s</u>		41 to 72
		to
		to
		to

SOIL PROFILE INFORMATION SITE (2)

Munsell #/Color	Texture	Depth "
		0 to 10
<u>10YR 7/1 dk gray sand</u>		0 to 15
<u>10YR 8/2 white sand</u>		15 to 21
<u>10YR 6/3 pale brown s</u>		21 to 36
<u>10YR 5/3 brown sand</u>		36 to 42
<u>10YR 7/2 dk gray-br. l.s</u>		42 to 72
		to
		to
		to

USDA SOIL SERIES: (Hs) Transition sand (0-5% slopes) USDA SOIL SERIES: (Hs) Transition sand (0-5% slopes)

SERVED WATER TABLE: 36 INCHES [ABOVE / BELOW EXISTING GRADE] TYPE: RECEIVED / APPARENT
 ESTIMATED WET SEASON WATER TABLE ELEVATION: 24 INCHES [ABOVE / BELOW EXISTING GRADE]
 GROUND WATER TABLE VEGETATION: YES NO MOTTLING: YES NO DEPTH: _____ INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 1.0 INCH DEPTH OF EXCAVATION: 0 INCHES
 MAINFIELD CONFIGURATION: TRENCH BED OTHER (SPECIFY) _____
 REMARKS/ADDITIONAL CRITERIA: WATER LINES NOT SHOWN ON SURVEYING
RAINING DURING SOIL SITE EVALUATION

FIELD EVALUATED BY: William J. Phillips DATE: 1-13-97

Job # 2574-01-01

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No 3067-0077
Expires May 31, 1993

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME	<u>DOYLE</u>	POLICY NUMBER
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER		COMPANY NAIC NUMBER
<u>42 S. SEWALLS POINZ ROAD</u>		
OTHER DESCRIPTION (Lot and Block Numbers, etc.)		
<u>LOT 195A, PALMETTO PARK</u>		
CITY	STATE	ZIP CODE
<u>SEWALLS POINZ</u>	<u>FLA.</u>	

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

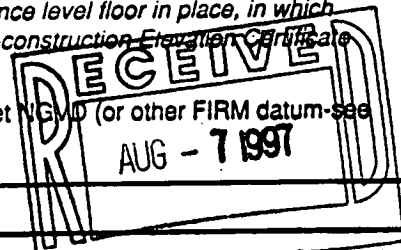
Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
<u>120164</u>	<u>0001</u>	<u>D</u>	<u>6/16/92</u>	<u>V-13</u>	<u>ELEV. 10.00</u>

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

- Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 5.
- (a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
(b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of 13.4 feet NGVD (or other FIRM datum—see Section B, Item 7).
(c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
(d). FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
- Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
- Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
- The reference level elevation is based on: actual construction construction drawings
(NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
- The elevation of the lowest grade immediately adjacent to the building is: 6.0 feet NGVD (or other FIRM datum—see Section B, Item 7).



SECTION D COMMUNITY INFORMATION

- If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
- Date of the start of construction or substantial improvement _____

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

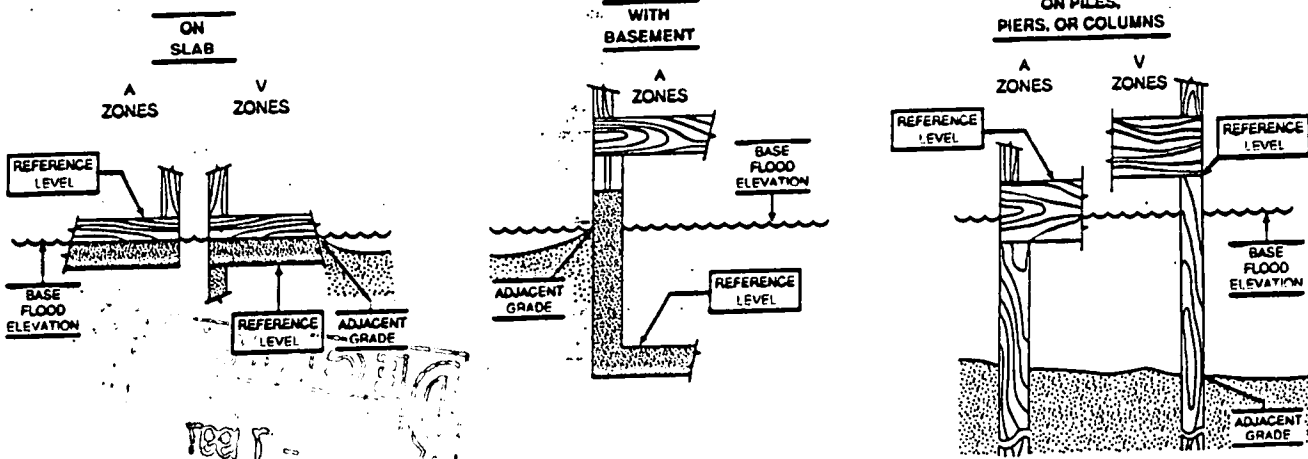
Reference level diagrams 6, 7 and 8 - Distinguishing Features-If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

*I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available.
I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

CERTIFIER'S NAME Stephen J. Brown	LICENSE NUMBER (or Affix Seal) 4049		
Land Surveyor	Stephen J. Brown, Inc.		
TITLE	COMPANY NAME	STATE	ZIP
290 Florida Street	Stuart	Florida	34994
ADDRESS	CITY	PHONE	
	8/7/97	(407) 288-7176	
SIGNATURE	DATE	PHONE	

Copies should be made of this Certificate for: 1) community official, 2) Insurance agent/company, and 3) building owner.

COMMENTS:



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones.
Elevations for all A Zones should be measured at the top of the reference level floor.
Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

Department of Community Affairs
 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

SN: 5017

FORM 680A-93

Residential Whole Building Performance Method A

SOUTH

PROJECT NAME: SEWALLS POINT

BUILDER:

AND ADDRESS: LOT - 19

PERMITTING

MARTIN CO., FL

OFFICE: RS-SW-19

CLIMATE

OWNER: DOYLE

PERMIT NO.

ZONE: 7 | 8 | 9 |
 JURISDICTION NO.

CK

- | | | |
|--|----------------------------|-------|
| 1. New construction or addition | 1. New Construction | _____ |
| 2. Single family detached or Multifamily attached | 2. Single-Family | _____ |
| 3. If Multifamily-No. of units | 3. 0 | _____ |
| 4. If Multifamily, is this a worst case (yes/no) | 4. _____ | _____ |
| 5. Conditioned floor area (sq.ft.) | 5. 5139.00 | _____ |
| 6. Predominant eave overhang (ft.) | 6. 2.00 | _____ |
| 7. Porch overhang length (ft.) | 7. 25.20 | _____ |
| 8. Glass area and type: | Single Pane Double Pane | _____ |
| a. Clear Glass | 8a. 0.0sqft 0.00sqft | _____ |
| b. Tint, film or solar screen | 8b. 970.7sqft 0.00sqft | _____ |
| 9. Floor type and insulation: | | |
| a. Slab on grade (R-value, perimeter) | 9a. R= 0.00 , 95.00 ft | _____ |
| b. Wood, raised (R-value, area) | 9b. R=11.00 , 4844.00 sqft | _____ |
| 10. Net Wall type area and insulation: | | |
| a. Exterior: 1. Concrete (Insulation R-value) | 10a-1 R= 4.20, 3060.50sqft | _____ |
| b. Adjacent: 1. Concrete (Insulation R-value) | 10b-1 R= 4.20, 470.90sqft | _____ |
| 11. Ceiling type area and insulation: | | |
| a. Under attic (Insulation R-value) | 11a. R=30.00 , 5505.60sqft | _____ |
| 12. Air distribution systems | | |
| a. Ducts (Insulation + Location) | 12a. R= 6.00 , uncond | _____ |
| 13. Cooling system | 13. Type: Central A/C | _____ |
| | SEER: 12.00 | _____ |
| 14. Heating System: | 14. Type: Strip Heat | _____ |
| | COP: 1.00 | _____ |
| 15. Hot water system: | 15. Type: Electric | _____ |
| | EF: 0.88 | _____ |
| 15. Hot water system: | 15. Type: Electric | _____ |
| | EF: 0.88 | _____ |
| 16. Hot Water Credits: (HR-Heat Recovery, DHP-Dedicated Heat Pump) | 16. _____ | _____ |
| 17. Infiltration practice: 1, 2 or 3 | 17. 2 | _____ |
| 18. HVAC Credits (CF-Ceiling Fan, CV-Cross vent, HF-Whole house fan, RB-Attic radiant barrier, MZ-Multizone) | 18. CF | _____ |
| 19. EPI (must not exceed 100 points) | 19. 95.07 | _____ |
| a. Total As-Built points | 19a. 74934.45 | _____ |
| b. Total Base points | 19b. 78817.56 | _____ |

I Hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

Computerized Energy Management
 PREPARED BY: 401 Log Road N.
 DATE: West Palm Beach, Florida 33413
 (407) 606-5616

I hereby certify that this building is in compliance with the Florida Energy Code.

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance in accordance with Section 553.908 F.S.

INFILTRATION REDUCTION PRACTICE COMPLIANCE CHECKLIST **

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
PRACTICE #1	606.1	COMPLY WITH ALL INFILTRATION PRESCRIPTIVES.	
Windows	606.1	Maximum of 0.34 CFM per linear foot of operable sash crack (includes sliding glass doors).	
Exterior & Adjacent Doors	606.1	Maximum of 0.5 CFM per sq. ft. of door area: solid core, wood panel, insulated or glass doors only.	
Exterior Joints & Cracks	606.1	To be caulked, gasketed, weather-stripped or otherwise sealed.	
PRACTICE #2	606.1	COMPLY WITH PRACTICE #1 AND THE FOLLOWING:	
Exterior Walls & Floors	606.1	Top plate penetrations sealed. Infiltration barrier installed. Sole plate/floor joint caulked or sealed.	
Exterior Walls & Ceilings	606.1	Penetrations, joints and cracks on interior surface caulked, sealed or gasketed.	
Ductwork	606.1	Ductwork in unconditioned space must be sealed.	
Fireplaces	606.1	Equipped with outside combustion air, doors and flue dampers.	
Exhaust Fans	606.1	Equipped with dampers. Combustion devices see 606.1.A.2.	
Combustion Heating	606.1	Combustion space and water heating systems provided with outside combustion air, except direct vent appliances.	
** OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.) **			
Water Heaters	612.1	Comply with efficiency requirements in Table 6-11. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas and heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78 percent.	
Shower Heads	612.1	Water flow must be restricted to no more than 3 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics must be insulated to a minimum of R-6. Air handlers shall not be installed in attics unless in mechanical closet.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	

SUMMER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

GLASS-----										
ORIENT	AREA	x BSPM	= POINTS	TYPE	SC	ORIENT	AREA	x SPM	x SOF	= POINTS
N	57.60	109.7	6318.7	SGL TINT		N	5.4	65.2	.53	186.6
				SGL TINT		N	16.2	65.2	.53	559.8
				SGL TINT		N	23.5	65.2	.86	1322.8
NE	59.20	109.7	6494.2	SGL TINT		N	12.5	65.2	.86	703.6
				SGL TINT		NE	14.8	94.5	.69	968.3
E	433.60	109.7	47565.9	SGL TINT		NE	44.4	94.5	.89	3748.2
				SGL TINT		E	51.0	133.9	.86	5850.1
				SGL TINT		E	24.0	133.9	.46	1472.3
				SGL TINT		E	16.0	133.9	.67	1425.5
				SGL TINT		E	48.0	133.9	.90	5805.9
				SGL TINT		E	42.4	133.9	.34	1930.3
				SGL TINT		E	50.0	133.9	.38	2540.8
				SGL TINT		E	60.0	133.9	.34	2731.6
				SGL TINT		E	120.0	133.9	.38	6175.8
SE	59.20	109.7	6494.2	SGL TINT		E	22.2	133.9	.74	2188.9
				SGL TINT		SE	14.8	143.0	.33	702.0
S	76.50	109.7	8392.0	SGL TINT		SE	44.4	143.0	.62	3946.3
				SGL TINT		S	36.5	132.5	.81	3928.1
W	284.60	109.7	31220.6	SGL TINT		S	40.0	132.5	.78	4116.3
				SGL TINT		W	104.0	133.9	.86	11929.6
				SGL TINT		W	22.0	133.9	.74	2169.2
				SGL TINT		W	62.0	133.9	.92	7610.0
				SGL TINT		W	22.0	133.9	.40	1189.4
				SGL TINT		W	62.0	133.9	.64	5319.5
				SGL TINT		W	12.6	133.9	.34	573.6

.15 x COND. FLOOR /	TOTAL GLASS	= ADJ. x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	FACTOR	POINTS		POINTS	POINTS
.15	5,139.00	970.70	.794	106,485.78	84,562.23	79,094.95

NON GLASS-----									
AREA	x	BSPM	= POINTS	TYPE	R-VALUE	AREA	x	SPM	= POINTS
WALLS-----									
Ext	3060.5	1.6	4896.8	Ext NormWtBlock	In 4.2	3060.5	2.28	6977.9	
Adj	470.9	1.0	470.9	Adj NormWtBlock	In 4.2	470.9	1.18	555.7	
DOORS-----									
Ext	160.8	6.4	1029.1	Ext Wood		160.8	9.40	1511.5	
Adj	43.2	2.6	112.3	Adj Insulated		43.2	2.60	112.3	
CEILINGS-----									
UA	5139.0	.8	4111.2	Under Attic	30.0	5505.6	.80	4404.5	
FLOORS-----									
Slb	95.0	-20.0	-1900.0	Slab-on-Grade	.0	95.0	-20.00	-1900.0	
Rsd	4844.0	-2.2	-10463.0	Rsd Wood Adjacent	11.0	4844.0	1.00	4844.0	
INFILTRATION-----									
	5139.0	14.7	75543.3	Practice #2		5139.0	14.70	75543.3	

TOTAL SUMMER POINTS

158,362.83

171,143.77

TOTAL SUM PTS	x MULT	SYSTEM MULT	=	COOLING POINTS	TOTAL COMPON	x RATIO	CAP MULT	x DUCT MULT	SYSTEM MULT	x CREDIT MULT	=	COOLING POINTS
158,362.83	.37			58,594.25	171,143.77	1.00	1.100		.280	.860		45,332.56

***** WINTER CALCULATIONS *****

=== BASE ===

=== AS-BUILT ===

GLASS-----														
ORIEN	AREA	x BWPM =	POINTS	TYPE	SC	ORIEN	AREA	x WPM	x WOF	= POINTS				
N	57.60	-.4	-23.0	SGL TINT		N	5.4	3.7	1.26	25.2				
				SGL TINT		N	16.2	3.7	1.26	75.5				
				SGL TINT		N	23.5	3.7	1.06	92.4				
				SGL TINT		N	12.5	3.7	1.06	49.1				
NE	59.20	-.4	-23.7	SGL TINT		NE	14.8	2.9	1.26	54.1				
				SGL TINT		NE	44.4	2.9	1.10	141.9				
E	433.60	-.4	-173.4	SGL TINT		E	51.0	.2	4.06	41.4				
				SGL TINT		E	24.0	.2	14.56	69.9				
				SGL TINT		E	16.0	.2	8.97	28.7				
				SGL TINT		E	48.0	.2	3.11	29.9				
				SGL TINT		E	42.4	.2	22.04	186.9				
				SGL TINT		E	50.0	.2	19.83	198.3				
				SGL TINT		E	60.0	.2	22.04	264.5				
				SGL TINT		E	120.0	.2	19.56	469.3				
				SGL TINT		E	22.2	.2	6.92	30.7				
				SE	59.20	-.4	-23.7	SGL TINT		SE	14.8	-2.0	-.99	29.2
				SGL TINT		SE	44.4	-2.0	.27	-23.8				
				S	76.50	-.4	-30.6	SGL TINT		S	36.5	-1.8	.76	-49.9
SGL TINT		S	40.0					-1.8	.70	-50.2				
W	284.60	-.4	-113.8	SGL TINT		W	104.0	.2	4.06	84.4				
				SGL TINT		W	22.0	.2	6.92	30.4				
				SGL TINT		W	62.0	.2	2.85	35.3				
				SGL TINT		W	22.0	.2	18.47	81.3				
				SGL TINT		W	62.0	.2	9.68	120.0				
				SGL TINT		W	12.6	.2	22.04	55.5				

.15 x COND. FLOOR /	TOTAL GLASS	= ADJ. x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	FACTOR	POINTS		POINTS	POINTS
.15	5,139.00	970.70	.794		-388.28	-308.34 | 2,070.19

NON GLASS-----									
AREA	x	BWPM =	POINTS	TYPE	R-VALUE	AREA	x	WPM =	POINTS
WALLS-----									
Ext	3060.5	.3	918.2	Ext NormWtBlock	In 4.2	3060.5	1.02	3121.7	
Adj	470.9	.5	235.4	Adj NormWtBlock	In 4.2	470.9	.44	207.2	
DOORS-----									
Ext	160.8	1.8	289.4	Ext Wood		160.8	2.80	450.2	
Adj	43.2	1.3	56.2	Adj Insulated		43.2	1.30	56.2	
CEILINGS-----									
JA	5139.0	.1	513.9	Under Attic	30.0	5505.6	.10	550.6	
FLOORS-----									
Slb	95.0	-2.1	-199.5	Slab-on-Grade	.0	95.0	-2.10	-199.5	
Rsd	4844.0	-.3	-1356.3	Rsd Wood Adjacent	11.0	4844.0	.50	2422.0	
INFILTRATION-----									
	5139.0	1.2	6166.8	Practice #2		5139.0	1.20	6166.8	

WINTER POINTS

6,315.74

14,845.35

TOTAL WIN PTS	x SYSTEM MULT	= HEATING POINTS	TOTAL COMPON	x CAP RATIO	x DUCT MULT	x SYSTEM MULT	x CREDIT MULT	= HEATING POINTS
6,315.74	1.10	6,947.31	14,845.35	1.00	1.100	1.000	1.000	16,329.89

 WATER HEATING

=== BASE ===

=== AS-BUILT ===

NUM OF BEDRMS	x	MULT	=	TOTAL	TANK VOLUME	EF	TANK RATIO	x	MULT	x	CREDIT MULT	=	TOTAL
4		3319.0		13,276.00	50	.88	.500		3318.0		1.00		6,636.00
					50	.88	.500		3318.0		1.00		6,636.00
				13,276.00									13,272.00

 SUMMARY

=== BASE ===

=== AS-BUILT ===

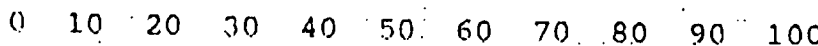
COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS	COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS
58594.2		6947.3		13276.0		78,817.56	45332.6		16329.9		13272.0		74,934.45

 * EPI = 95.07 *

ENERGY GUIDE

For detailed information of the EPI rating number or for any ITEM listed, ask your Builder for DCA Form 600A-93 or Form 600B-93

EPI= 95.1



The maximum allowable EPI is 100. The lower the EPI the more efficient the home

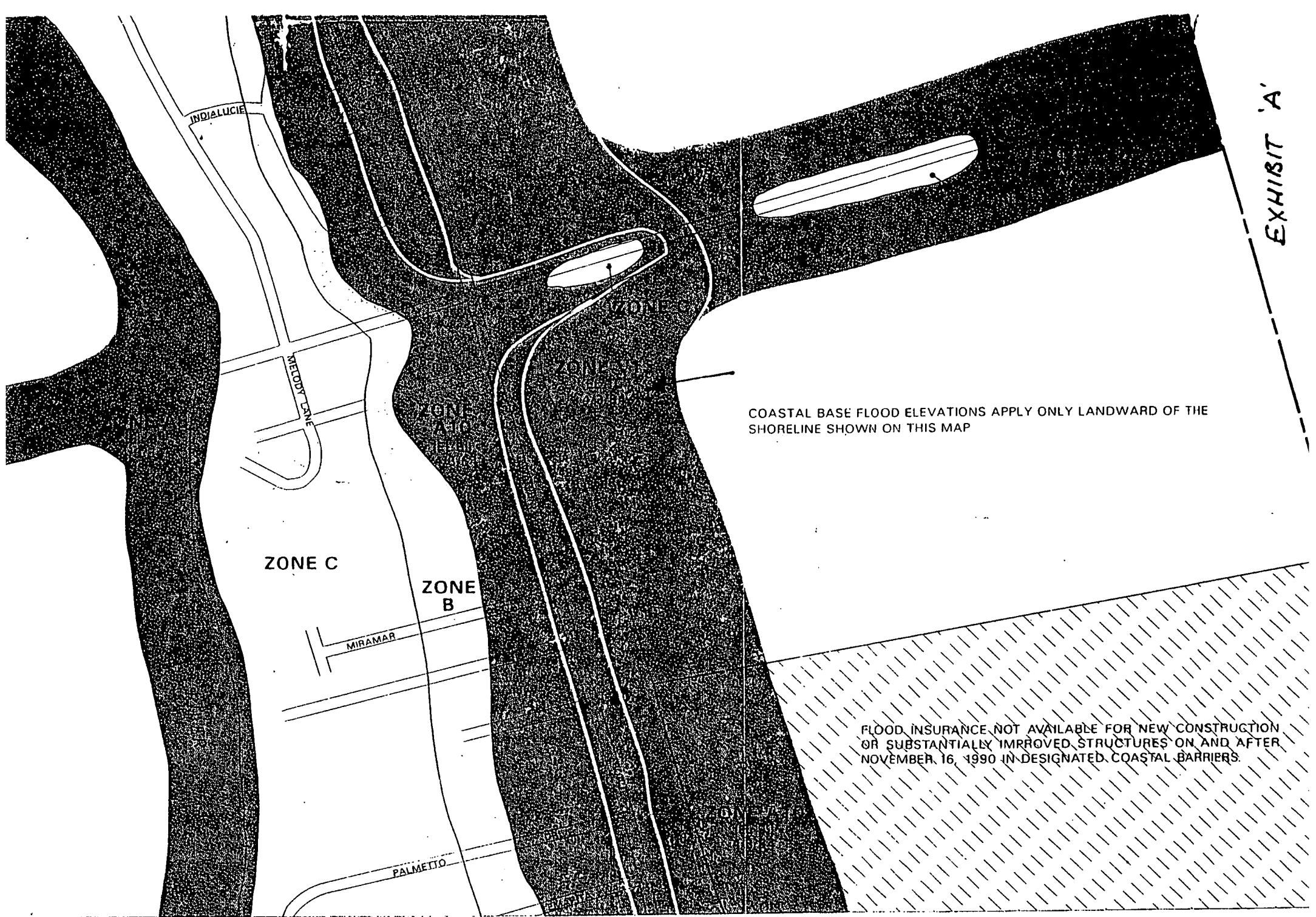
RESIDENTIAL ENERGY PERFORMANCE RATING SHEET

ITEM	HOME VALUE	Low Efficiency		High Efficiency	
		SINGL CLR		DBL TINT	
WINDOWS.....	Single Tint	|-----X-----|			
INSULATION.....					
Ceiling R-Value.....	30.0	R-10		R-30	
Wall R-Value.....	4.2	R-0		R-7	
Floor R-Value.....	11.0	R-0		R-19	
AIR CONDITIONER.....					
SEER.....	12.0	10.0	SEER	17.0	
HEATING SYSTEM.....					
Electric COP.....	1.0	2.50	COP	4.19	
WATER HEATER.....					
Electric EF.....	0.88	0.88		0.96	
Gas EF.....	0.00	0.54		0.90	
Solar EF.....		0.40		0.80	
OTHER FEATURES.....					

I certify that these energy saving features required for the Florida Energy Code have been installed in this house.

Address: _____ Builder Signature: _____ Date: _____

City/Zip _____



COASTAL BASE FLOOD ELEVATIONS APPLY ONLY LANDWARD OF THE SHORELINE SHOWN ON THIS MAP

FLOOD INSURANCE NOT AVAILABLE FOR NEW CONSTRUCTION OR SUBSTANTIALLY IMPROVED STRUCTURES ON AND AFTER NOVEMBER 16, 1990 IN DESIGNATED COASTAL BARRIERS

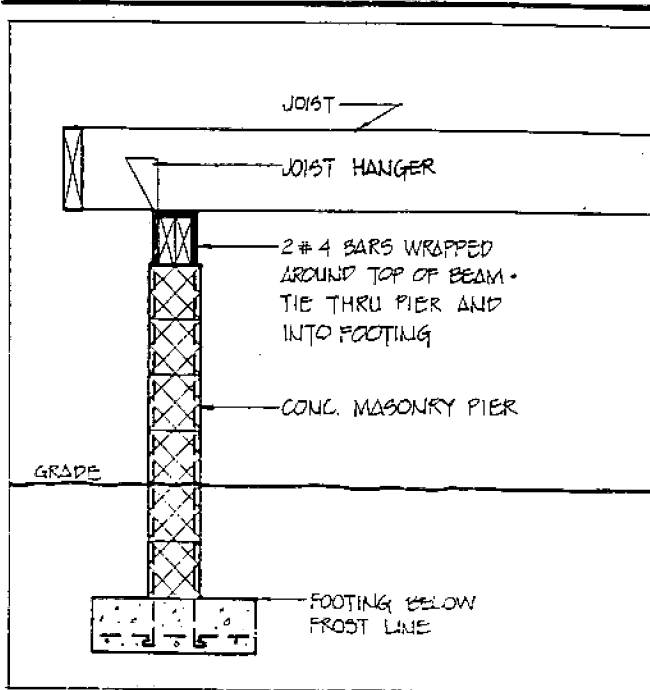


Figure 4.35. Concrete Masonry Unit Pier

Pier Foundations

Pier foundations are generally used for platform framing construction rather than pole framing construction.

Piers can be connected to floor beams in several ways. A pier's reinforcing steel rods can be extended from the pier and bent over or into the floor beam (Figure 4.35). A metal strap well-anchored in the pier can be bolted through the beam (Figure 4.36). Or (Figure 4.37) steel anchor bolts can be embedded in the pier and bolted through the beams with nuts and large-diameter washers.

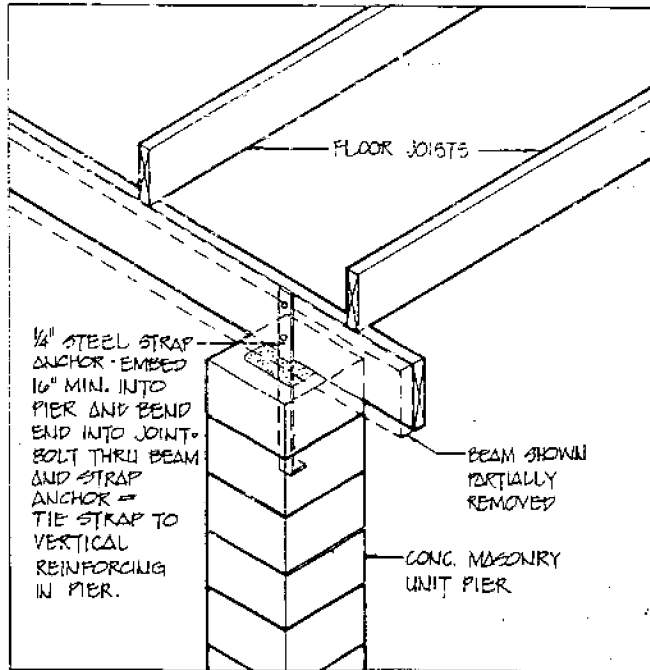


Figure 4.36. Masonry Pier—Strap Anchor

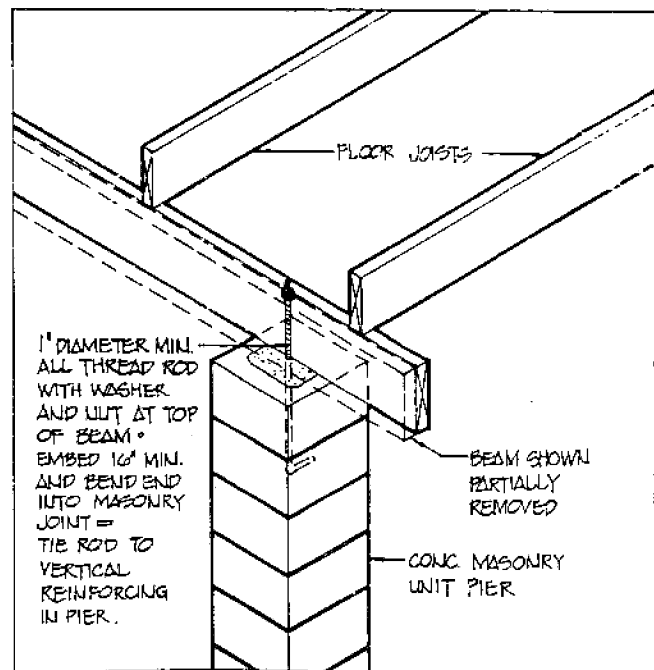


Figure 4.37. Masonry Pier—Bolt Through Beam

EXHIBIT 'B'

habitation and must be free of obstructions.

NFIP requirements for A and V Zones as of January 1984 are summarized in Figure 1.4.

Note that FIRM's are based on a variety of assumptions about expected flood severity, development patterns, etc. The actual level of flooding from a 100-year flood may be significantly greater. In addition, the "500-year" flood level, which would be significantly greater than the 100-year flood's, could conceivably occur once or even more often during a building's lifetime. These uncertainties are further reasons for locating buildings in less hazardous zones or elevating them higher than the NFIP's minimum elevations.

ON SLAB FOUNDATION A Zones

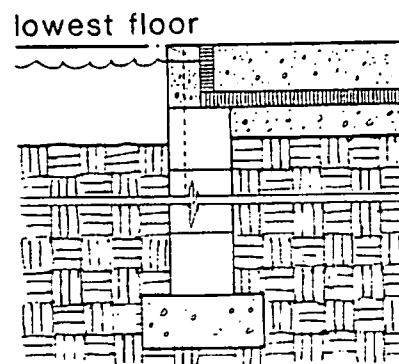


Figure 1.3. Elevation Requirements for Slab Foundations

BOTH A AND V ZONES (Numbered and Unnumbered)

- All structural components must be adequately connected and anchored to prevent flotation, collapse, or permanent lateral movement of the building during floods.
- Building materials and utility equipment must be resistant to flood damage. All machinery and equipment servicing the building must be elevated to or above the Base Flood Elevation (BFE), including furnaces, heat pumps, hot water heaters, air-conditioners, washers, dryers, refrigerators and similar appliances, elevator lift machinery, and electrical junction and circuit breaker boxes.
- Any space designed for human habitation must be elevated to or above the BFE, including bedroom; bathroom; kitchen; dining, living, family, and recreation room; and office, professional studio, and commercial occupancy.
- Uses permitted in spaces below the BFE are vehicular parking, limited storage, and building access (stairs, stairwells, and elevator shafts only, subject to design requirements described below for walls).

A ZONES (A1-A30)

- Buildings must be elevated such that the lowest floor (including basement) is elevated to or above the BFE on fill, posts, piers, columns, or extended walls.
- Where fully enclosed space exists below the BFE, walls must be designed to minimize buildup of flood loads by allowing water to automatically enter, flow through (in higher velocity flooding), and drain from the enclosed area. For low velocity conditions, vents, louvers, or valves can be used to equalize flood levels inside and outside enclosed spaces. For high velocity conditions, breakaway walls (see below) or permanent openings should be used.

V ZONES (V1-V30)

- Buildings must be elevated on pilings or columns such that the bottom of the structural member *supporting* the lowest floor is elevated to or above the BFE.
- Buildings must be certified by a registered professional architect or engineer to be securely fastened to adequately anchored pilings or columns to withstand velocity flow and wave wash.
- Space below the lowest floor must be free of obstruction or enclosed with breakaway walls (i.e., walls designed and constructed to collapse under velocity flow conditions without jeopardizing the building's structural support).
- Fill may not be used for structural support.
- No construction is allowed seaward of the mean high tide line.

Figure 1.4. Key Floodplain Requirements of the National Flood Insurance Program as of January 1984.

2312.2 (b) Where this percentage exceeds 25%, foundations shall be so designed that the pressure due to combined dead, live and wind loads shall not exceed the allowable soil bearing values or allowable loads per pile by more than 25%.

2312.3 REQUIREMENTS FOR COASTAL BUILDING ZONE: In addition to the other requirements of this Chapter, the following requirements shall apply to foundations of major structures extending wholly or partially within the coastal building zone, as defined in Subsection 2301.2 of this Code:

(a) **GENERAL:**

(1) Major structures shall be securely fastened to their foundations and the foundation shall be adequately braced and anchored in such a manner as to prevent flotation, collapse, or lateral displacement of the structure during a 100 years storm event.

(2) All sewage treatment and public water supply systems shall be flood-proofed to prevent infiltration of surface water anticipated under design storm conditions.

(3) Underground utilities, excluding pad transformers and vaults, shall be flood-proofed to prevent infiltration of surface water expected under design storm conditions or shall otherwise be designed to function when submerged under design storm conditions.

(b) **FOUNDATION DESIGN:**

(i) The design, location and construction of foundations for major structures shall be in compliance with National Flood Insurance program regulations as found in the Rules and Regulations of the Federal Emergency Management Agency; FEMA, 44 CFR, Parts 59 and 60; and Chapter 11C of the Code of Metropolitan Dade County.

(2) Nonhabitable major structures need not otherwise meet the specific structural requirements of this Paragraph except that they shall be designed to produce the minimum adverse impact on the beach and dune system and shall otherwise comply with the requirements of this Code.

(3) Foundation design and construction of a habitable major structure shall consider all anticipated loads during a 100 year storm event including wave, hydrostatic, and hydrodynamic loads acting simultaneously with live and dead loads.

(4) Erosion computations for foundation design shall account for all vertical and lateral erosion and scour producing forces, including localized scour due to the presence of structural components. Foundation design and construction shall provide for adequate bearing capacity taking into consideration the anticipated loss of soil above

Town of Sewall's Point

DAVID L. MILLARD
Mayor

VINCENT A. VORRASO
Vice Mayor

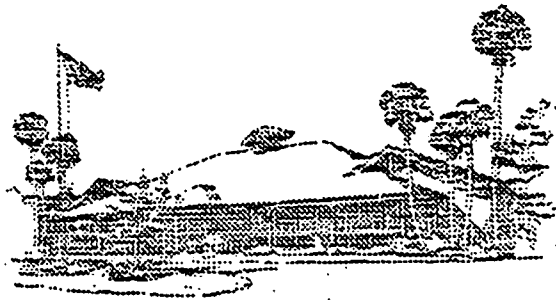
CYRUS KISSLING
Commissioner

KATHRYN J. KRAMER
Commissioner

DONALD B. WINER
Commissioner

JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police



March 6, 1997

Mr. Donald A. Doyle
3801 River Drive
Coral Gables, FL 33134

RE: YOUR BUILDING PERMIT APPLICATION

Dear Mr. Doyle:

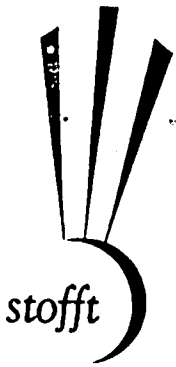
Your application is denied for the following reasons:

1. The proposed building height at the ridge would be at elevation +42.52 N.G.V.D. The SEWALL'S POINT CODE, Appendix B-Zoning, Sections V.B.1. and VI.B.3.b. "shall not exceed forty (40) feet (N.G.V.D.) measured at the highest point on the roof."
2. Typical Attachment Detail on sheet 9 of the drawings does not comply with the intent of CHAPTER 2908 SOUTH FLORIDA BUILDING CODE (REVISED 1994). Straps or other anchors to be cast into beams.
3. Engineering calculations do not reference the specific drawings. They are not made a part of the construction documents by the engineer.
4. Wind load calculations do not take into account that this residence is proposed for a Coastal location and therefore the use of exposure "C" is erroneous. The correct factor would be "D" (ANSI/ASCE 7-88). Please ask the engineer to recalculate with the above paragraphs in mind.

Yours truly,

A handwritten signature in black ink, appearing to read "Philip Caruana". The signature is fluid and cursive.

Philip Caruana
Building Inspector



ARCHITECTS
BOCA RATON/NAPLES

Town of Sewalls Point
Building Department
One South Sewalls Point Road
Sewalls Point, Florida

Re: Doyle Residence
Lot 19, Sewalls Point
Martin County

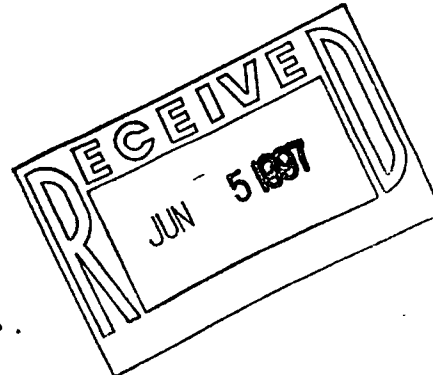
To whom it may concern:

Contractor to eliminate drywall on underside (garage ceiling) of floor trusses.

Sincerely,

Randall E. Stoff, AIA
President

- 1) NOTIFY ELEC. CONTRACTOR
RE: EXPOSED WIRING CONDITIONS!
- 2) RE-CALCULATE ENERGY CODE VALUES.



**APPROVED
AS NOTED**

6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5231



ARCHITECTS
BOCA RATON/NAPLES

Town of Sewalls Point
Building Department
One South Sewalls Point Road
Sewalls Point, Florida

Re: Doyle Residence
Lot 19, Sewalls Point
Martin County

COACH HOUSE REVISIONS

1. Change roof pitch to 5/12
2. Eliminate floor trusses & intermediate tie beam
3. Eliminate tie columns - change to filled cells every corner & @ 4' o.c. with #5 continuous rebar from footing to tie beam
4. Change floor slab to 6" thick with 6 Ga. w.w. mesh

MAIN HOUSE REVISIONS

1. Change 2nd floor exterior furring to P.T. 1 x 4's @ 16" o.c. with 5/8" CDX plywood & Tyvek housewrap

JUN 27 1997

6-30-97

6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5239



ARCHITECTS
BOCA RATON/NAPLES

May 7, 1997

Town of Seawall's Point Building Department
One South Seawall's Point Road
Seawall's Point, Florida

RE: Doyle Residence
Lot 19, Seawall's Point
Martin County, Florida

To whom it may concern,

*Approval of these plans in no way
relieves the contractor or builder of
complying with the Town of Seawall's
Point's Ordinances, the South Florida
Building Code and the State of Florida
Model Energy Efficiency Building Code*

Contractor to:

Coach House

- 1.) Change pre-cast columns at coach house to 1' - 4" x 1' - 4" concrete block columns with 4 # 5 in filled cells. - SUBMIT APPROVAL OF STRUCTURAL ENGINEER of RECORD.
- 2.) Change hardiplank siding at coach house to light textured stucco finish.
- 3.) Delete metal ceiling furring channels (main building and coach house)
- 4.) Delete drywall and furring channels in coach house. - NOTIFY ELECTRICIAN of EXPOSED WIRING CONDITIONS

Main House

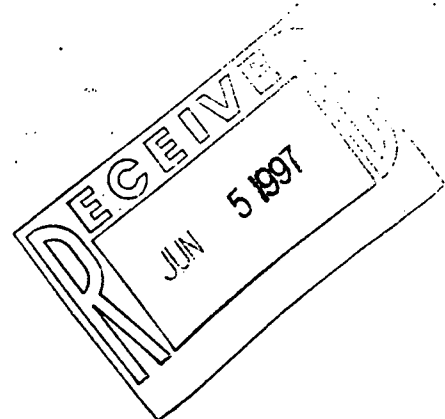
- 1.) Delete drywall and furring at walls only. GAZEBO WALLS
- 2.) Soffits to be stucco on metal lath in lieu of 1x 6 T&G (main building and coach house).
- 3.) Eliminate wood outriggers at underside of soffit.

Sincerely,

Randall E. Stofft, AIA
President

**APPROVED
AS NOTED**

*WJL
6/6/97*



6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5239

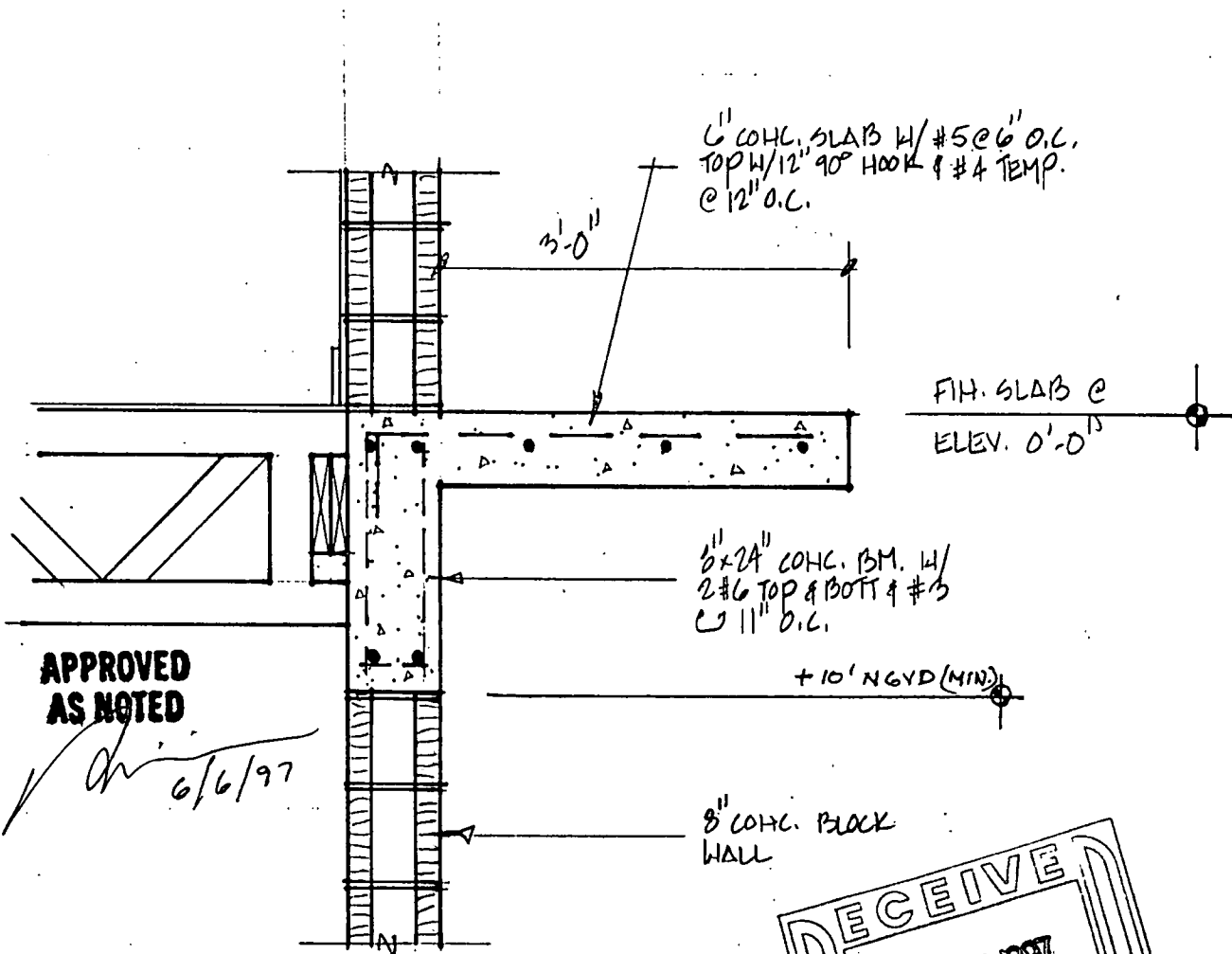


ARCHITECTS
BOCA RATON/NAPLES

Town of Sewalls Point
Building Department
One South Sewalls Point Road
Sewalls Point, Florida

Re: Doyle Residence
Lot 19, Sewalls Point
Martin County

RAISED SLAB FOR A/C UNITS



**APPROVED
AS NOTED**

dr 6/6/97

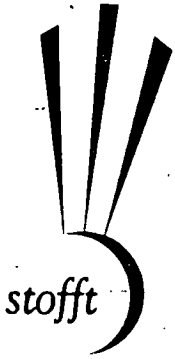


CANTILEVER SLAB DETAIL

QuikStofft

MAY 30 1997

6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5239



ARCHITECTS
BOCA RATON/NAPLES

June 10, 1997

Town of Sewalls Point
Building Department
One South Sewalls Point Road
Sewalls Point, Florida

Re: Doyle Residence
Lot 19, Sewalls Point
Martin County

To whom it may concern:

Contractor to:

Coach House

Change precast columns at coach house to 1'4" X 1'4" concrete block columns with
(4) #5 in filled cells.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to read "Randall E. Stofft".

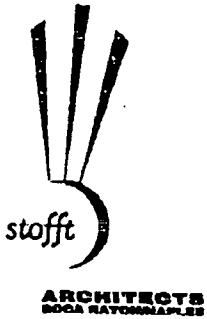
Randall E. Stofft, AIA
President



#4169

A handwritten signature in black ink, appearing to be initials or a stylized name, possibly "B.P. L.". It is located at the bottom left of the page.

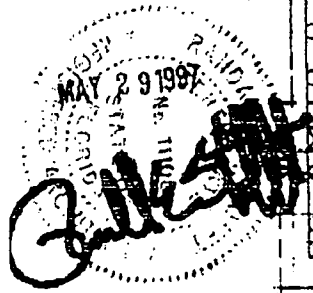
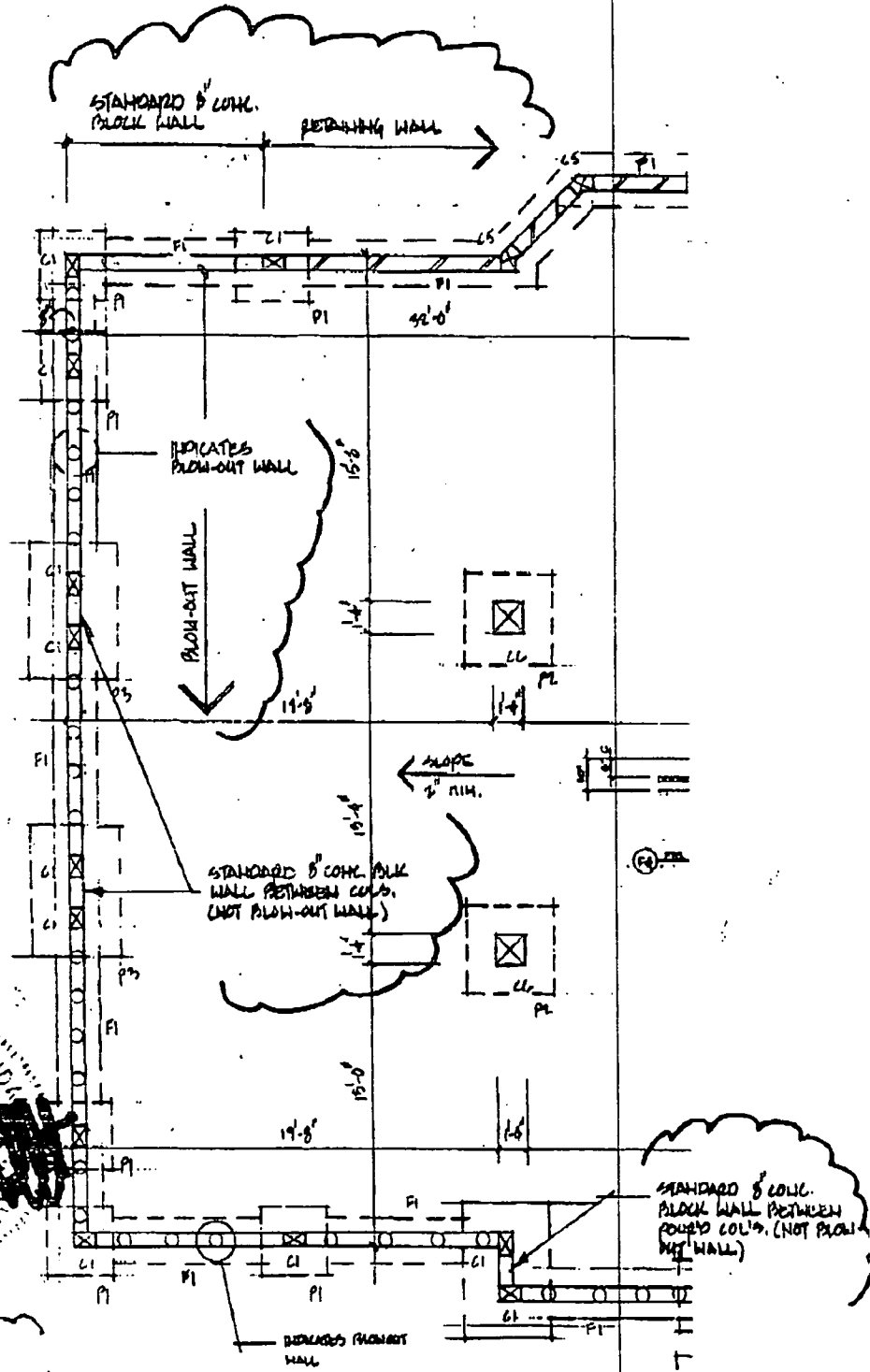
6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5239



Town of Sewalls Point
Building Department
One South Sewalls Point Road
Sewalls Point, Florida

Re: Doyle Residence
Lot 19, Sewalls Point
Martin County

BLOW-OUT WALL REVISION



NOTE: 3/4" JOINT FILLER MAY BE SUBSTITUTED FOR 1/2" JOINT FILLER @ BLOW-OUT WALLS

PARTIAL FOUNDATION PLAN

6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5239

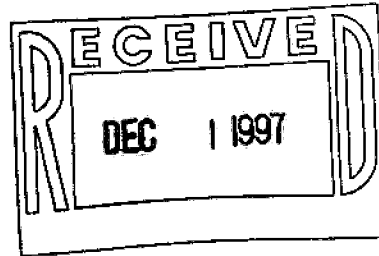
St. Lucie Truss Corp.

10331 LENNARD RD., PORT ST. LUCIE, FL 34952
Ph. 407-335-3207 Fax 407-335-3209

Gribben Construction
3077 SE Dixie Hwy.
Stuart, FL 34997

November 25, 1997

Re: Doyle residence, Lot 19, Sewalls' Point
Roof truss system



To Whom It May Concern:

The nailing requirements for 7'-0" and shorter common jacks and corner jacks to a common carrier should be at the minimum;

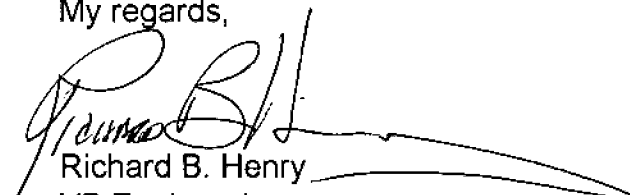
- 3 – 16D Toenails at the top chord
- 2 – 16D Toenails at the bottom chord

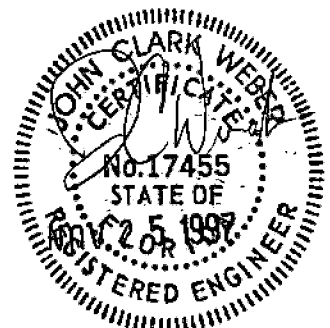
This schedule provides a total uplift resistance of 550 lbs. at the carrier. The typical uplift for a 7'-0" common jack requires a resistance of 311 lbs. for uplift at the carrier due to 140-mph winds.

Current engineering for the roof trusses for this residence was designed for a 140-mph wind load with an exposure category of 'C', or a structure sitting in "open terrain with scattered obstructions". I have been advised that this structure should have been designed as a category 'D', or a structure that lies in a "flat unobstructed coastal area exposed to wind and is within 1500' of the coastal high tide line". Regardless of the exposure category, the designed wind pressure is the same for either instances, or 44.7-psf. After personally comparing the two methods of design against all truss types I could only find a differential of $\pm 2\%$ in the uplift values for this specific structure.

This leads me to conclude that this specific roof structure, although designed for a category 'C' exposure is sufficiently designed to be placed in a category 'D' environment.

My regards,


Richard B. Henry
VP Engineering



HILLCREST S/D
P.B. 10 P. 039

2602.60

2619.15

STRUCTURES

UNDERPASS

40.53'

40.55'

50.32'

50.05'

257.65 (P)

$1162^{\circ}38'60''$

256.65 (P)

SET 7.8

LOT 20

RIVER

HIGHWAY E.S.A.
FEET 21.00

257.65 (P)

257.65 (P)

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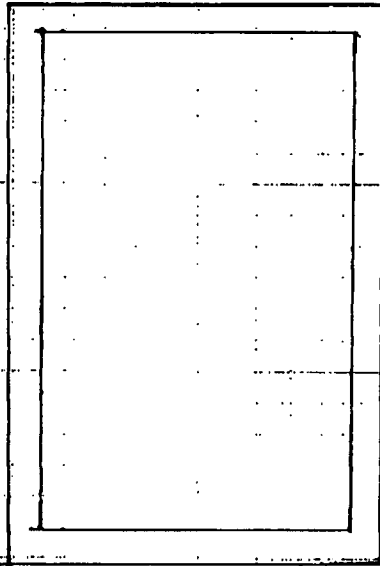
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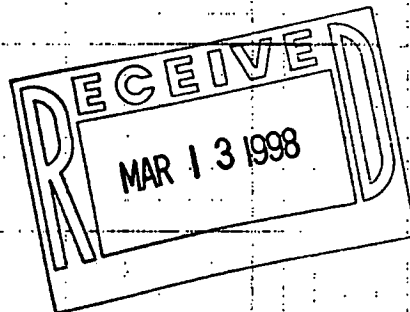
40.58'

SHUTTER PLAN 42 S. SEWALLS POINT RD.



- 1 - 3/4" PLYWOOD CUT TO FIT EACH WINDOW + LABELED
- 2 - ATTACHMENT WILL BE WITH 3/2" LAMINATING SCREWS PENETRATING THROUGH PLYWOOD + THROUGH WINDOW FRAME INTO BUCK.
- 3 - WHEN MORE THAN ONE PIECE OF PLYWOOD NEEDS TO BE USED, THE PIECES WILL OVER LAP.
- 4 - LAMINATING SCREWS WILL BE SPACED AT 2 FOOT INTERVALS VERTICALLY + HORIZONTALLY.

3-12-98



TOWN OF SEWALL'S POINT

DAVID L. MILLARD
Mayor
VINCENT A. VORRASO
Vice Mayor
CYRUS KISSLING
Commissioner
KATHRYN J. KRAMER
Commissioner
DONALD B. WINER
Commissioner



JOAN H. BARROW
Town Clerk
WILBUR C. KIRCHNER
Chief of Police
PHILIP CARUANA
Building Inspector

One South Sewall's Point Road, Sewall's Point, Florida 34996
Phone: (561) 287-2455 • FAX: (561) 220-4765

July 24, 1997

Mr. Donald A. Doyle
3801 River Drive
Coral Gables, FL 33134

RE: REQUIRED INSPECTIONS

Dear Mr. Doyle:

Your contractor has concealed critical, structural work without an inspection. This occurred yesterday while I was out-of-town.

His inspection request was not made until moments prior to the placement of concrete in columns and the beams, and elevated slabs.

In my absence, a substitute inspector is hired when there are inspections scheduled. There is no excuse acceptable for flagrant disregard for the authority of the Building Official.

Chapter 3 of the SOUTH FLORIDA BUILDING CODE, in particular, Section 305 INSPECTION states that *It shall be the duty of the permit holder to cause the work to remain accessible and exposed for inspection purposes. Neither the Building Official nor the jurisdiction shall be liable for expense incurred in the removal or replacement of any material for the purpose of a required inspection.*

Any future occurrences of concealment without inspection will result in a STOP WORK ORDER, followed by remedial actions as may be prescribed.

Yours truly,

Philip Caruana, CBO
Building Inspector

cc Vincent A. Vorrasso, Building Commissioner

Gribben Construction Company
3077 SE Dixie Highway
Stuart, FL 34997

Stoff Architects
6971 N. Federal Highway, Suite 206
Boca Raton, FL 33487

PREPARED BY AND RETURN TO:
Town of Sewall's Point
1 S. Sewall's Point Road
Stuart, FL 34996

[Space above this line for recording]

Date: April 13, 1998

This is to request a Certificate of Approval for Occupancy to be issued to:
Mrs. Mrs D. DOYLE for Permit No. 4169 issued to construct a SINGLE FAM. RESIDENCE upon property described as follows:

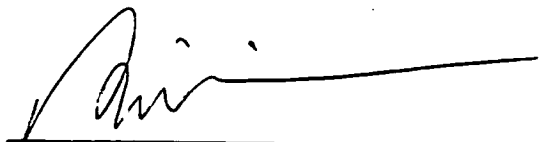
Lot 19 & A, Block _____, Section PALMETTO PK, Subdivision PALMETTO PARK
known as: 42. SOUTH SEWALL'S POINT ROAD When completed in conformance
with the approved plans and approval of the following required inspections.

CERTIFICATE OF OCCUPANCY

TOWN OF SEWALL'S POINT, FLORIDA

Lot Stakes/Setbacks	Approved: <u>8/7/97</u>	Termite Protection	Approved: <u>5/15/97</u>
Footings/Slab	Approved: <u>6/2/97</u>	Rough Plumbing	Approved: <u>5/28/98</u>
Rough Electric	Approved: <u>11/21/97</u>	Lintel/Tie-beam	Approved: <u>9/1/97</u>
Roofing	Approved: <u>12/8/97</u>	Framing/Furring	Approved: <u>11/26/97</u>
Insulation	Approved: <u>12/8/97</u>	HVAC Rough	Approved: <u>11/26/97</u>
Final Electric	Approved: <u>4/13/98</u>	Final Plumbing	Approved: <u>4/13/98</u>
Final HVAC	Approved: <u>4/13/98</u>	Storm Shutters	Approved: <u>3/12/98</u>
Tie-in Survey	Approved: <u>8/7/97</u>	Landscape	Approved: <u>4/13/98</u>

ISSUED THIS 13th DAY OF April, 1998



Building Inspector

Town Clerk

CORRESPONDENCE

Garrick A. Gustafson

86 Fairview Drive, Tequesta, FL 33469
(561) 747-4274 (Phone), (561) 744-3513 (Fax)

October 28, 1997

David L. Millard, Mayor
Town of Sewall's Point
One Sewall's point Road
Sewall's Point, FL 34996-6738

Dear Mayor Millard,

I own lot 8 on Palmetto Drive, a Palmetto Park subdivision of lot 7 and the northerly half of lot 8, Plat of Arbela, filed Aug., 22, 1919 and as recorded in Plat Book 3, page 29, Public Records of Palm Beach County. My deed indicates that I have access rights through an "easement to Indian River through Lot A, a 40 foot strip to Indian River" perpetuity as recorded in Plat Book 3, page 66, Martin County, Florida public records dated June 25, 1957.

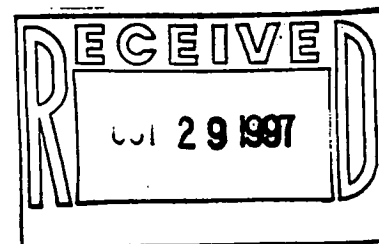
My question is that a residence and what appears to be a motor home garage are being built on lot 19 on the Indian River. Both appear to be close to intruding on the right of way specified on my deed. Most certainly the garage in question does not have the proper set back from their southern most property line. I am sure that I am not the first person on Palmetto Drive to inquire about this apparent breakdown in zoning rules. I have asked my mother who also lives at 15 Palmetto Drive but she does not know what the reasons are for this apparent building violation. Therefore, I write you requesting that you see to it that I receive an explanation as soon as possible.

I intend to build and settle on Sewall's Point soon and am concerned that someone may not be protecting my interests and rights. I enjoy fishing and intend to launch my boat from the very location I speak. In the course of doing so I would leave my car and trailer on that strip of land. Please explain how this will be possible under the current approved site plan for the building. Lastly I would like a copy of the site plan clearly showing the 40 foot strip of easement, the lot lines of lot 19 with the planned house location on it.

Thanking you in advance for promptly responding to my request for an explanation of the zoning permit and a copy of the lot 19 building site plan.

Sincerely,


Garrick A. Gustafson



June 8, 1998

Mr. Donald B. Winer, Mayor
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Certificate of Occupancy

Dear Mayor:

This is in reference to a certified letter Z311236279 we received from Mr. Philip Caruana dated May 22, 1998 regarding violation of zoning code Section XI-(G).

We were surprised to receive such a letter. Mr. Caruana gave us the requirements for the turnaround after the construction was completed. We then directed the Contractor to install the turnaround per Mr. Caruana's request. Mr. Caruana also communicated directly with the Project Manager and gave him the requirements. It was installed according to the specifications. The certificate of occupancy was issued on April 13, 1998. Six weeks later we received the above referenced letter.

We looked at our property two and a half years ago. Prior to purchasing the property, we contacted the building inspector, Mr. Dale Brown, to discuss the requirements to keep our motor home on our property. He told us that the motor home had to be hidden from view. Based on our discussions with the building inspector, we decided to purchase the property. We employed an architect and instructed him to design a coach house that would be aesthetically pleasing.

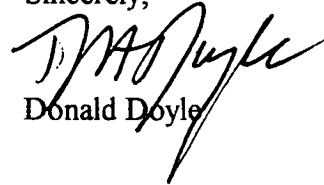
We presented the plans for a permit. Various modifications were required. All the designated modifications were made and approved. The coach house met the approval of the Town as well as the Health Department.

At no time did we request a variance to the project. We made all the modifications which the Building Inspector requested to conform to the code requirements. We understand that the plans were also reviewed by you, Mr. David Millard, the former Mayor, Mr. Vincent Vorraso, the former Vice Mayor, and Mr. Tim Wright. No issue was ever presented about a turnaround.

Section 4-32 states that a certificate of occupancy may be revoked on the basis that the certificate of occupancy was issued on information that was "deceiving or false, or that the actual construction does not conform to the building plans approved by the building department". None of these conditions applies to this project.

We would have altered our plans to conform to this requirement, if we were informed at the time the plans were submitted. However, a turnaround for our motor home at this time does not seem physically feasible. We would welcome the opportunity to discuss this further with you. We look forward to an immediate response.

Sincerely,



Donald Doyle

Attachment: 1

cc: Mr. Cyrus Kissling
Mr. Jon E. Chicky, Sr.
Mr. D.C. "BERRY" Glover, III
Mr. Robert M. Wienke
Mr. Tim B. Wright
Mr. Philip Caruana ✓

CERTIFIED MAIL NO. Z462 244 925

DONALD B. WINER
Mayor

CYRUS KISSLING
Vice Mayor

JON E. CHICKY, SR.
Commissioner

D.C. "BERRY" GLOVER, III
Commissioner

ROBERT M. WIENKE
Commissioner

TOWN OF SEWALL'S POINT



JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police

PHILIP CARUANA
Building Official

One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • FAX (561) 220-4765
Police Department (561) 781-3378

May 22, 1998

Mr. and Mrs. Donald A. Doyle
42 South Sewall's Point Road
Sewall's Point, Florida 34996

CERTIFIED MAIL NO. Z 311 236 279

RE: CERTIFICATE OF OCCUPANCY

Dear Mr. and Mrs. Doyle:

It has been determined that the turnaround facility provided at your detached garage is inadequate for your motor home (Section XI-(G) of the Town Zoning Code).

Further, Section 4-32 of the Town Code provides that the Town Commission has the authority to revoke your certificate of occupancy under certain conditions.

I am required to inform you that the Commission will consider taking serious measures to insure that a turnaround adequate for your motor home is provided.

You are hereby given sixty (60) days to comply.

Sincerely,

TOWN OF SEWALL'S POINT

Philip Caruana, Building Official

Z 311 236 279

US Postal Service
Receipt for Certified Mail
 No Insurance Coverage Provided.
 Do not use for International Mail (See reverse)

Sent to	Mr. & Mrs. D. Doyle
Street & Number	42 S. Sewall's Pt. Rd.
Post Office, State, & ZIP Code	SEWALL'S POINT, FL 34996
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Address	
TOTAL Postage & Fees	279
Postmark Date	MAY 22 1998

S. Form 3800, April 1995

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
MARIA MENECHHELLA-STEIER

2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887

FILE

December 18, 1998

Tim B. Wright, Esquire
City Attorney
c/o Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

MASTER CALENDAR
Activity userts mtg
Calendar for _____
Routing TBW LEL
Date Calendar 12-22-98
By Whom net
Client (s) copied ✓

Re: Mr. and Mrs. Donald Doyle

Dear Mr. Wright:

Please be advised that the undersigned attorney and this law firm represent Mr. and Mrs. Donald Doyle, the owners of Lot 19 in the Palmetto Park subdivision, of Sewall's Point, Florida, and who reside at the property, which address is 42 South Sewall's Point Road, Stuart, Florida 34996. I am writing to you with respect to what appears to be a situation with the potential for bringing significant hardships for my clients in the future.

Specifically, when my clients purchased their lot, they also were conveyed Parcel "A" of the subdivision, as trustees for the other owners in the subdivision, and for the benefit of other owners in Palmetto Park who have the right to use Parcel "A" for ingress and egress and access to the Indian River. This Trust was created by an Executor's Deed dated August 31, 1964 between Clarence Jungwirth and H.W. Newsome, the first trustee, and a copy of that Executor's Deed is enclosed herein for your reference and review.

Apparently, when my clients applied for the construction permit for their home, it was granted, and only after construction was substantially completed, were they asked by the City of Sewall's Point, through your office, to prepare and file a Unity of Title, unifying their title to Lot 19 and Parcel "A". The Unity of Title was in February of 1998, and was filed. I am enclosing a copy of that Unity of Title for your reference and review.

Since the filing of the Unity of Title, my clients have received correspondence from Leif Grazi, acting as attorney for various homeowners in the Palmetto Park subdivision, questioning the Unity of Title, and in effect accusing my clients of slandering title to Parcel "A" of the Palmetto Park subdivision, and demanding that the Unity of Title be rescinded. One owner in particular, Garick A. Gustafson, appears to be the spokesperson for the other owners, and Mr. Gustafson has sent

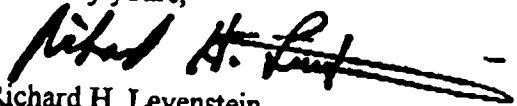
Tim B. Wright, Esquire
December 18, 1998
Page 2

numerous pieces of correspondence to my clients with respect to demanding that the Unity of Title be rescinded, and otherwise indicating his displeasure with the situation.

I am enclosing a copy of the letter forwarded by Mr. Grazi to my clients dated June 1, 1998 for your further reference and review. Please note that I have been in contact with Mr. Grazi in an attempt to resolve this matter, however we have so far been unable to come up with a mutually acceptable resolution.

The main purpose for my writing is to request a meeting with you and any other official of the City who would wish to attend, myself, and my clients, to try to work out some type of resolution with respect to the necessity of the Unity of Title as it relates to the setback building and zoning requirements of the City of Sewall's Point. Specifically, my clients are quite concerned that if they are required to revoke the Unity of Title, that they will be potentially found to be in violation of the building, zoning, and setback ordinances of the City of Sewall's Point. Since the City of Sewall's Point requested that the Unity of Title be filed after approvals had been granted to my clients to construct their home, and after my clients were substantially finished with the construction of their home, we believe that the City of Sewall's Point should be in a position to assist my clients in the ultimate resolution of what could otherwise develop into a very major and substantial problem with respect to the property and my clients' ability to use and ultimately sell the property to a subsequent purchaser. I would therefore appreciate it if you would respond to this communication immediately upon your receipt hereof, so that we can begin the process of resolving this dispute before it has the chance to mushroom into a major problem which will be unsatisfactory for all of the involved parties. I will look forward to hearing from you shortly, and hopefully scheduling a meeting to discuss this matter and its resolution in the immediate future.

Sincerely yours,


Richard H. Levenstein

RHL/kmt
Enclosures
cc: Mr. and Mrs. Donald Doyle
Robert Kramer, Esquire

shall have the right to use said property for ingress and
 1. The owners of lots in Palmetto Park Subdivision
 and conditions, to-wit:
 Palmetto Park Subdivision, under the following circumstances
 time to time, are title holders of record of lots in said
 IN TRUST, for the use and benefit of those persons whom, from

A strip of land 40 feet in width, running
 from Bewalls Point Road to the waters of
 the Indian River, designated as Lot "A" of
 Palmetto Park, according to plat thereof
 recorded in Plat Book 3, Page 66, public
 records of Martin County, Florida.



State of Florida, to-wit:
 cided land, situate, lying and being in the County of Martin,
 second part, his successors and assigns, the following des-
 lodged, has granted, bargained and sold to the party of the
 of the second part, the receipt whereof is hereby acknow-
 valuable considerations to him in hand paid by the said party
 for and in consideration of the sum of \$10.00 and other
 MESSAGES: That the said party of the first part

part:
 Bewalls Point Road, Jensen Beach, Florida, party of the second
 uses and purpose hereinafter set forth, whose address is
 party of the first part, and H. W. NEMSON, as trustee, for the
 as ancillary executor of the estate of J. J. Jungbluth, deceased,

August 1964, by and between CLARENCE JUNGBLUTH

THIS INSTRUMENT, made this 31st day of

EXECUTOR B. DRKO

101 141 528

103018

141 521

gress and access to the Indian River.

2. Party of the second part may be relieved of this trust by conveying said property to some other owner of land in Palmetto Park Subdivision, as successor trustee.

3. It is expected that the trustee or his successors will cause the taxes on said property to be paid each year and will cause said property to be properly maintained. In the event of his failure to do so, or in the event of the death or disability of said trustee, a majority of the lot owners in Palmetto Park Subdivision may by written instrument executed with the same formality as a Deed, appoint a successor trustee who shall thereupon have the same rights, powers and duties as though he had originally been the grantee named in this instrument.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

Clarence Jungwirth (SEAL)
As Ancillary Executor of the Estate of J. J. Jungwirth, Deceased

[Signature]

STATE OF ILLINOIS)
COUNTY OF JO DAVIESS)

I HEREBY CERTIFY, that on this day personally appeared before me, Clarence Jungwirth, who acknowledged before

me that he executed the above and foregoing Deed, as Ancillary
Executor of the Estate of J. J. Jungwirth, Deceased, freely
and voluntarily, and for the uses and purposes therein set
forth.

IN WITNESS WHEREOF, I have hereunto set my hand
and official seal at Galena, Illinois, this 31st day
of August, 1964.



Lucia D. Ward
Notary Public.
My Commission expires: July 7, 1968

FILED & RECORDED
IN MARION COUNTY, ILL.
1964 SEP 17 AM 10:36
CORRECTION DEPT. ILL.
M. Y. JONES



LAST USE

08BX1159 P0332

A STRIP OF LAND 40 FEET IN WIDTH, RUNNING FROM SMALL'S POINT ROAD TO THE WATERS OF THE INDIAN RIVER, DESIGNATED AS LOT "A" OF PALMETTO PARK SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 66, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

IN TRUST FOR THE USE AND BENEFIT OF THOSE PERSONS WHO, FROM TIME TO TIME, ARE TITLE HOLDERS OF RECORD OF LOTS IN SAID PALMETTO PARK SUBDIVISION, PURSUANT TO THE TRUST PROVISIONS MORE SPECIFICALLY SET FORTH IN EXECUTOR'S DEED FROM CLARENCE JUNGWIRTH, AS ANCILLARY EXECUTOR OF THE ESTATE OF J.J. JUNGWIRTH, DECEASED, TO H.W. NENSON, AS TRUSTEE, DATED AUGUST 11, 1964, FILED FOR RECORD SEPTEMBER 17, 1964 AND RECORDED IN O.R. BOOK 141, PAGE 526, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

EXHIBIT "A"

UNITY OF TITLE

DONALD A. DOYLE and DIANA P. DOYLE, his wife, owners of the following described property, to-wit:

Lot 19 and Lot A, PALMETTO PARK, according to the Plat thereof, as recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida.

HEREBY STATE AS FOLLOWS:

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred or assigned separately, except in its entirety as one plot or parcel of land; and provided further that nothing contained herein shall in any manner limit the right of the undersigned, its successors or assigns, to mortgage or encumber the property or any part thereof.

2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land and shall remain in full force and effect and be binding upon the undersigned, its successors and assigns, until such time and the same may be released in writing by the Board of County Commissioners of Martin County, Florida.

3. The undersigned further agrees that this instrument may be recorded in the Public Records of Martin County, Florida.

Signed, sealed executed and acknowledged on this 11 day of February, 1998.

Signed, sealed and delivered in the presence of:

Julie Tilton Haggas
Barbara J. Braun

Donald A. Doyle
DONALD A. DOYLE
Diana P. Doyle
DIANA P. DOYLE

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, The undersigned Notary Public, personally appeared

Donald A. Doyle and Diana P. Doyle
to me well known to be the person who executed the foregoing instrument,
this 11 day of February, 1998.

NOTARY SEAL

Julie Tilton Haggas
NOTARY PUBLIC



Julie Tilton Haggas
MY COMMISSION # CC542012 EXPIRES
March 24, 2000
BONDED THROUGH FARM INSURANCE CO.

My Commission Expires:

GRAZI & GIANINO

Attorneys at Law
A Partnership of Attorneys
Including Professional Association

June 1, 1998

Mr. and Mrs. Donald A. Doyle
3801 Riviera Drive
Coral Gables, FL 33134

217 East Ocean Boulevard
P.O. Drawer 2846
Stuart, Florida 34995-2846

Phone (561) 286-0200
Fax (561) 286-4789

Leif J. Grazi^{1,2}
Peter T. Gianino^{2,3}
Maxine A. Noel
Julie K. Oldehoff

1. Certified to Civil Trial Law by the Florida Bar.
2. Certified by the Florida Supreme Court in Family and Civil Mediation.
3. Certified by the Florida Supreme Court in Arbitration.

RE: GUSTAFSON - PALMETTO PARK SUBDIVISION

Dear Mr. and Mrs. Doyle:

Please be advised that I represent Gary Gustafson, and other owners in the Palmetto Park subdivision in Sewall's Point.

As you are aware, you recently purchased Lot 19 in the Palmetto Park subdivision. At the time of your purchase, you also acquired a deed to you as co-trustees to Parcel "A" of that subdivision. The deed reflected the documents affecting your title to this parcel. Enclosed for your consideration is a copy of the Deed Restrictions recorded in 1964 related to Parcel "A" and referenced in your deed. Please note that Parcel "A" is to be held by a trustee, and that the trustee is obligated to perform certain tasks related to the maintenance of Parcel "A", including, but not limited to the payment of taxes and the maintenance of that parcel, so that it may be used for ingress and egress by all of the other lot owners in the Palmetto Park neighborhood. I specifically call your attention to the provision contained in paragraph 3 of the 1964 document that makes a provision in the event of a default by a trustee/owner of Parcel "A". Specifically, the document provides that a majority of the other lot owners in Palmetto Park may select a replacement trustee, and convey this parcel to that trustee, subject to the obligations set forth in the 1964 document.

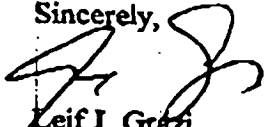
Also enclosed for your consideration and review is a copy of the Unity of Title that you recently executed and caused to be recorded in the public records of Martin County, Florida. This document slanders and defames the title to my clients' property, as well as the ownership interest of all of the other lot owners in Palmetto Park who have the right not only to use the property shown as Parcel "A", but, also, in the event of a default, to convey that parcel to an owner other than the owner of Lot 19. To explain, the Unity of Title suggests that Parcel "A" will never be separated from Lot 19, and the 1964 document specifically provides the owners of Palmetto Park with the right and ability to separate and convey Parcel "A" independently from Lot 19. The legal right to convey Parcel "A" not only rests with yourself, but with certain prerequisites, it also rests with the owners.

Mr. and Mrs. Donald A. Doyle
June 1, 1998
Page 2

Therefore, I would request that you immediately consult legal counsel, and that you cause to be recorded in the public records a retraction or rescission of the Unity of Title. Your failure to comply with this request will potentially result in the filing of legal proceedings to protect my clients' real property interests.

Should you have any questions, or should you or your counsel require any further information, please contact me at your earliest opportunity.

Sincerely,



Leif J. Grazi
LJG/kad
Enc.

cc. Mr. and Mrs. Gary Gustafson

C:\LETTERS\doyle-lr.wpd

Chapter 10

PARKS AND RECREATION*

Art. I. In General, §§ 10-1—10-15

Art. II. Boats and Other Watercraft, §§ 10-16—10-31

ARTICLE I. IN GENERAL

Secs. 10-1—10-15. Reserved.

ARTICLE II. BOATS AND OTHER WATERCRAFT

Sec. 10-16. Mooring—To private property.

No vessel or watercraft of any kind shall moor to or tie up to a private seawall or dock or be beached upon private property within the town without the written permission of the owner of such property. (Ord. No. 57, § 1, 2-12-69)

Sec. 10-17. Same—So as to become menace to navigation.

No person shall moor any watercraft in such manner as to cause such watercraft to be or become a menace to navigation. (Ord. No. 57, § 2, 2-12-69)

Sec. 10-18. Use of vacant lots.

Where watercraft is docked or anchored adjacent to a vacant lot, such lot may not be used for cooking of meals, washing of clothes or persons, bathing, shower bathing, hanging out washing, erection of tents or canvasses, stringing of lights, or for any use not permitted by the zoning or building regulations pertaining to such lot. (Ord. No. 57, § 3, 2-12-69)

*Cross references—Administration generally, Ch. 2; planning, Ch. 11; streets, sidewalks and other public places, Ch. 13.

practicable). Builder signs shall only be permitted from the time a development permit is issued until the time a certificate of occupancy is issued for the one-family detached dwelling. No more than three (3) builder signs may be placed on a lot at any given time.

f. No sign shall exceed five (5) feet in height.
(Ord. No. 226, § 2, 4-13-94)

3. Signs on trees: No signs shall be attached to trees.
(Ord. No. 142, 8-10-83; Ord. No. 148, 5-9-84)

J. Public Beaches: No public beaches or public boat ramps shall be constructed unless approved by the Town Commission at a Regular Public Meeting. Prior to the meeting, the Town Commission shall have received the advice of the Town Planning and Zoning Board.

K. Required elevation of land: No permit will be issued for a building or dwelling located in the Town of Sewall's Point unless said dwelling conforms in all respects with Ordinance Number 109. (Ord. No. 111, Pt. 1, § 12, 9-13-78)

L. Landscaping: Within ninety (90) days after the issuance of a certificate of occupancy for any residential structure, the lot or residential parcel shall be landscaped so as to be compatible with its neighborhood. (Ord. No. 111, Part 1, § 13, 9-13-78)

M. Reserved.

Editor's note—Ord. No. 212, adopted Nov. 13, 1991, repealed subsection M of § XI. Such subsection had pertained to docks and was derived from Ord. No. 107, Pt. 1, §§ 1–3, Pt. 4, Pt. 5, adopted Mar. 8, 1978; Ord. No. 111, Pt. 1, § 14, adopted Sept. 13, 1978. Current provisions concerning such subject matter are set out in Ch. 4.5 of the Code.

N. Satellite television antenna systems:

1. Definitions: For the purposes of this section, the term "satellite television antenna system" shall mean any

always have the right for himself, his successors or assigns, as and when may be most convenient to them to enter on said plot, for purpose of erecting and fixing, building, examining, maintaining, or repairing such pipes, conduits, electric lights, telephone poles and wires, and for other public service as in their opinion it may be desirable or necessary to place on the five foot strip herein referred to. All Grantees, heirs, legal representatives, successors or assigns to lots in Palmetto Park shall have an easement over and upon the five foot reserved area at rear of any and all other lots in said subdivision for uses and purposes set forth in this paragraph, and such right is hereby granted.

9. All Grantees, heirs, legal representatives, successors or assigns to lots in Palmetto Park shall have easement to Indian River through Lot A, a 40 foot strip to Indian River.

10. No cows, horses, pigs, chickens or other livestock may be kept on said lots.

11. In case Grantee, his heirs, legal representatives, successors or assigns, shall violate or fail to carry out any of all of the stipulated conditions, proceedings to enforce compliance therewith by injunction or other suit or otherwise may be brought, at option of Grantor, his successors, heirs and assigns. Any owner of other lots bought under same conditions may proceed similarly. No failure or omission to bring such suit or take such other proceedings as may be deemed necessary shall be held to be a waiver of any right in Grantor or in any lot owner to enforce compliance with the conditions.

12. All sewage shall be taken care of by a private state approved septic tank erected by Grantee, his heirs, legal representatives, successors or assigns, and no cesspool, earth closet or privy may be built on this lot, nor can any outside toilets be erected.

13. Lots 17 or 18. No buildings shall be constructed on these lots unless buildings shall be at least 40 feet removed from property line facing Sewalls Point Road, at least 30 feet from property line facing Palmetto Drive, and at least 20 feet removed from West property line.

14. No buildings shall be constructed on other lots in said subdivision unless buildings shall be at least 30 feet from line facing Palmetto Drive, and at least 20 feet from side lines of lots and at least 5 feet from rear lines of lots.

15. Wherever used herein terms "grantor", "grantee" and "lot owner" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and successors and assigns of corporations.

Signed,

Clarence Jungwirth (Seal)
As Ancillary Executor of the
Estate of J. J. Jungwirth,
Deceased.

Sealed & delivered, presence: Janet Ditzter-
James Richardson

Acknowledged 19 June, 1957, at Galena, Jo Daviess County, Illinois, by Clarence Jungwirth as Ancillary Executor of the Estate of J.J. Jungwirth, Deceased; before Louis A. Nack, Notary Public, Commission expires July 7, 1960, (N.P. Seal).

550029 **This Quit-Claim Deed**, Executed this 24th day of March . A. D. 1985 . by

RANDALL M. WHITE, a single man
first party, to

DOROTHEA A. WHITE
whose postoffice address is 42 South Sewall's Point Road, Stuart, FL 33494

second party:

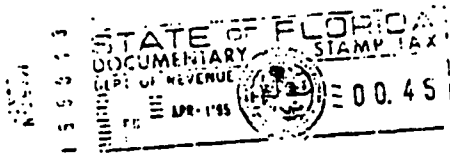
(Whenever used herein the terms "first party" and "second party" shall include singular and plural, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the said first party, for and in consideration of the sum of \$ 10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Martin State of Florida to-wit:

Lot 19, of PALMETTO PARK, according to the Plat thereof recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida,

AND

A strip of land 40 feet in width, running from Sewall's Point Road to the waters of the Indian River, designated as Lot "A" of PALMETTO PARK, according to the Plat thereof recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida.



APR 1 1985 8:57

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.
Signed, sealed and delivered in presence of:

Robert P. Summers
State & Keating

Randall M. White
RANDALL M. WHITE L.S.

STATE OF FLORIDA,
COUNTY OF Martin }

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, personally appeared

RANDALL M. WHITE

to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 24th day of March A. D. 19 85

OR 631 PAGE 1980

Miriam E. [Signature]

Notary Public, State of Florida
My Commission Expires March 23, 1987

SWANN AND HADDOCK, P. A.
Robert P. Summers, Esq.
200 Seminole Street
Stuart, Florida 33494

This instrument prepared by:
Address

EXHIBIT "A"

A STRIP OF LAND 40 FEET IN WIDTH, RUNNING FROM SEWALL'S POINT ROAD TO THE WATERS OF THE INDIAN RIVER, DESIGNATED AS LOT "A" OF PALMETTO PARK SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 66, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

IN TRUST FOR THE USE AND BENEFIT OF THOSE PERSONS WHO, FROM TIME TO TIME, ARE TITLE HOLDERS OF RECORD OF LOTS IN SAID PALMETTO PARK SUBDIVISION, PURSUANT TO THE TRUST PROVISIONS MORE SPECIFICALLY SET FORTH IN EXECUTOR'S DEED FROM CLARENCE JUNGWIRTH, AS ANCILLARY EXECUTOR OF THE ESTATE OF J.J. JUNGWIRTH, DECEASED, TO H.W. NEWSOME, AS TRUSTEE, DATED AUGUST 31, 1964, FILED FOR RECORD SEPTEMBER 17, 1964 AND RECORDED IN O.R. BOOK 141, PAGE 526, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

4315

POOL

MASTER PERMIT NO. 4169

TOWN OF SEWALL'S POINT

Date 12/31/97

BUILDING PERMIT NO. 4315

Building to be erected for Donald Doyle

Type of Permit Sw. Pool

Applied for by Keith Mahaffey Pools

(Contractor)

Building Fee 200

Subdivision Palmetto PK Lot 19&A Block _____

Radon Fee _____

Address 42 S. Sewall's Point Road

Impact Fee _____

Type of structure Swimming Pool

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

01 38 41 010 000 0019 -00

Roofing Fee _____

Amount Paid 200

Check # 8500 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 12,500.

TOTAL Fees 200

Signed _____

Signed _____

Applicant

Town Building Inspector

POOL PERMIT

INSPECTIONS

SETBACKS
COMPACTION TESTS
GROUND ROUGH

DATE _____
DATE _____
DATE _____

STEEL & BCND
LIGHT NICHE
DECK
FINAL

DATE _____
DATE _____
DATE _____
DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

4315

Town of Sewall's Point

P.I.N. _____

Date 12/31/97

ACCESSORY STRUCTURE PERMIT APPLICATION

to construct:

- DOCK requires prerequisite approval from State and Army Corps of Engineers.
- BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
- DETACHED GARAGE SWIMMING POOL WALL
- SOLAR WATER HEATER SCREENED ENCLOSURE
- FENCE may not require sealed drawings.
- OTHER: _____

Owner's Name Donald Doyle

Owner's Address 42 S. Sewall's Point Rd

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City Sewall's Point State FLA. Zip _____

Contractor's Name Keith Mahaffey Pools, Inc.

Contractor's Address 1710 S.W. Biltmore St

City Port St Lucie State FLA Zip 34984

Job Name Doyle

Job Address 42 S. Sewall's Point Rd

City Sewall's Point County Martin

Legal Description _____

Bonding Company NA

Bonding Company Address NA

City NA State NA

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.



Square Footage 487 Impervious Area _____ Lineal Footage _____ Walls, Fences, Docks
Construction Value 12,500 (\$) _____

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

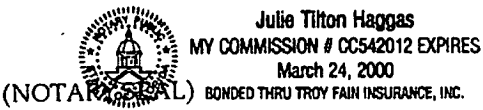
[Signature] _____ Date 12/16/97

Owner or Agent
Keith Amahffey _____ Date 12/31/97
Contractor

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 16 day of, 1997, by Donald Doyle
who: [] is/are personally known to me, or [] has/have produced _____ as
identification, and who did not take an oath.

[Signature]
Name: Julie Tilton Haggas
Typed, printed or stamped

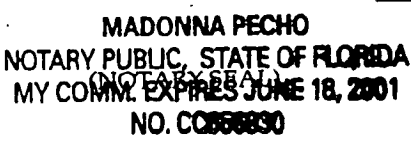


I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 31 day of DEC, 1997, by Keith Amahffey, who:
[] is/are personally known to me, or [] has/have produced _____ as identification, and
who did / did not take an oath.

[Signature]
Name: MADONNA PECHO
Typed, printed or stamped



I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. CPC 033767
Contractor's Certificate of Competency No. _____

Application Approved _____ Building Official _____ Building Commissioner
Date: _____ Date: _____

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

VERO BEACH (561)567-6167

FORT PIERCE (561) 461-7508

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

DENSITY OF SOIL IN-PLACE ASTM D-2922

CLIENT: Gribben Construction Company

TEST DATE: 2/16/98

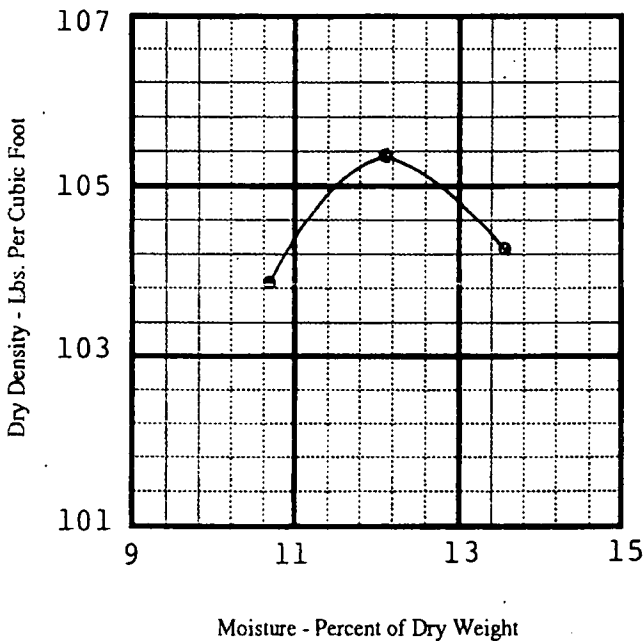
SITE: 42 S. Sewall's Point Rd.
Pool Deck Backfill

PERMIT: 4315

TEST NO.: 6412

LOCATION	ALL ELEVATIONS BELOW SLAB GRADE	MOISTURE DENSITY RELATIONSHIP MAXIMUM DRY WEIGHT	IN-PLACE DRY DENSITY	PERCENT COMPACTION
N.E. Corner	0 - 1'	105.3	100.1	95.1
N.W. Corner	0 - 1'		96.0	91.2
S.E. Corner	0 - 1'		100.0	95.0
S.W. Corner	0 - 1'		95.9	91.1
W. Side btwn. House and Pool	0 - 1'		97.3	92.4
" " " "	1 - 2'		100.4	95.3
" " " "	2 - 3'		101.7	96.6
" " " "	3 - 4'		101.5	96.4
" " " "	4 - 5'		101.8	96.7
" " " "	5 -		101.4	96.3

RECEIVED
MAR 3 1998



MOISTURE DENSITY RELATIONSHIP ASTM D-1557	
Sample Location:	Composite
Test Method:	B
Maximum Density:	105.3
Optimum Moisture:	12.1
Soil Description:	Gray fine sand.

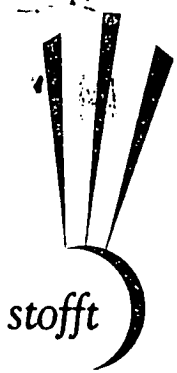
Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.

Paul H. Danforth

Paul H. Danforth, P.E. FL Reg. No. 44653

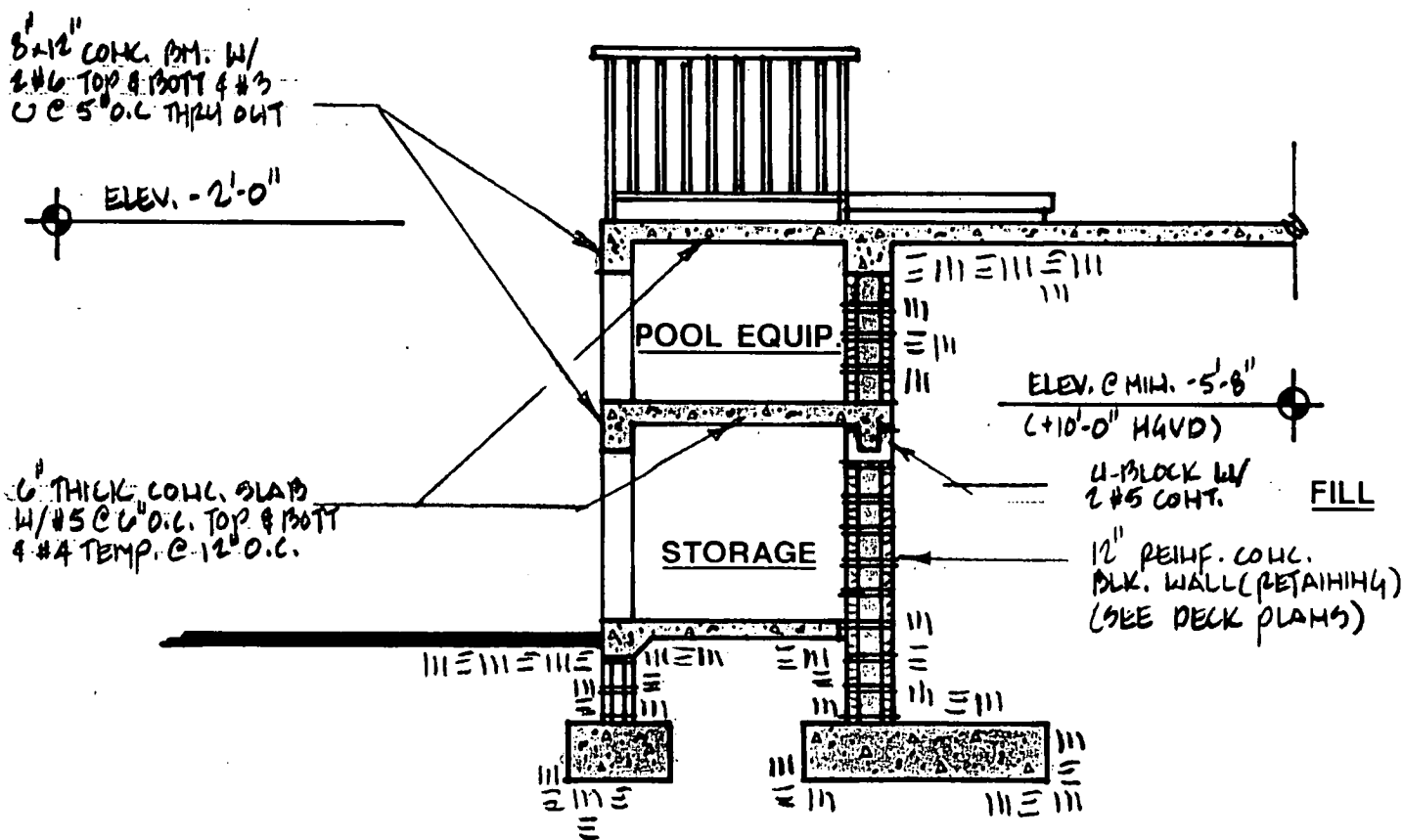
Copies:
Client - 1
Sewall's Pt. Bldg. Dept. - 1



ARCHITECTS
BOCA RATON/NAPLES

DOYLE RESIDENCE
LOT 19, SEWALLS POINT
MARTIN COUNTY, FLORIDA

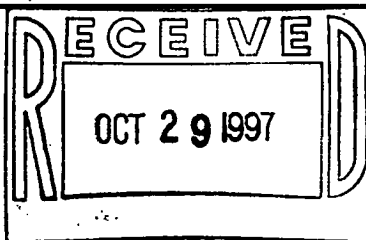
RE: POOL EQUIP./STORAGE AREA REVISION



SECTION @ POOL EQUIP./STORAGE AREA

Handwritten signature of the architect, appearing to read 'G. Stoff'.

AUG 11 1997



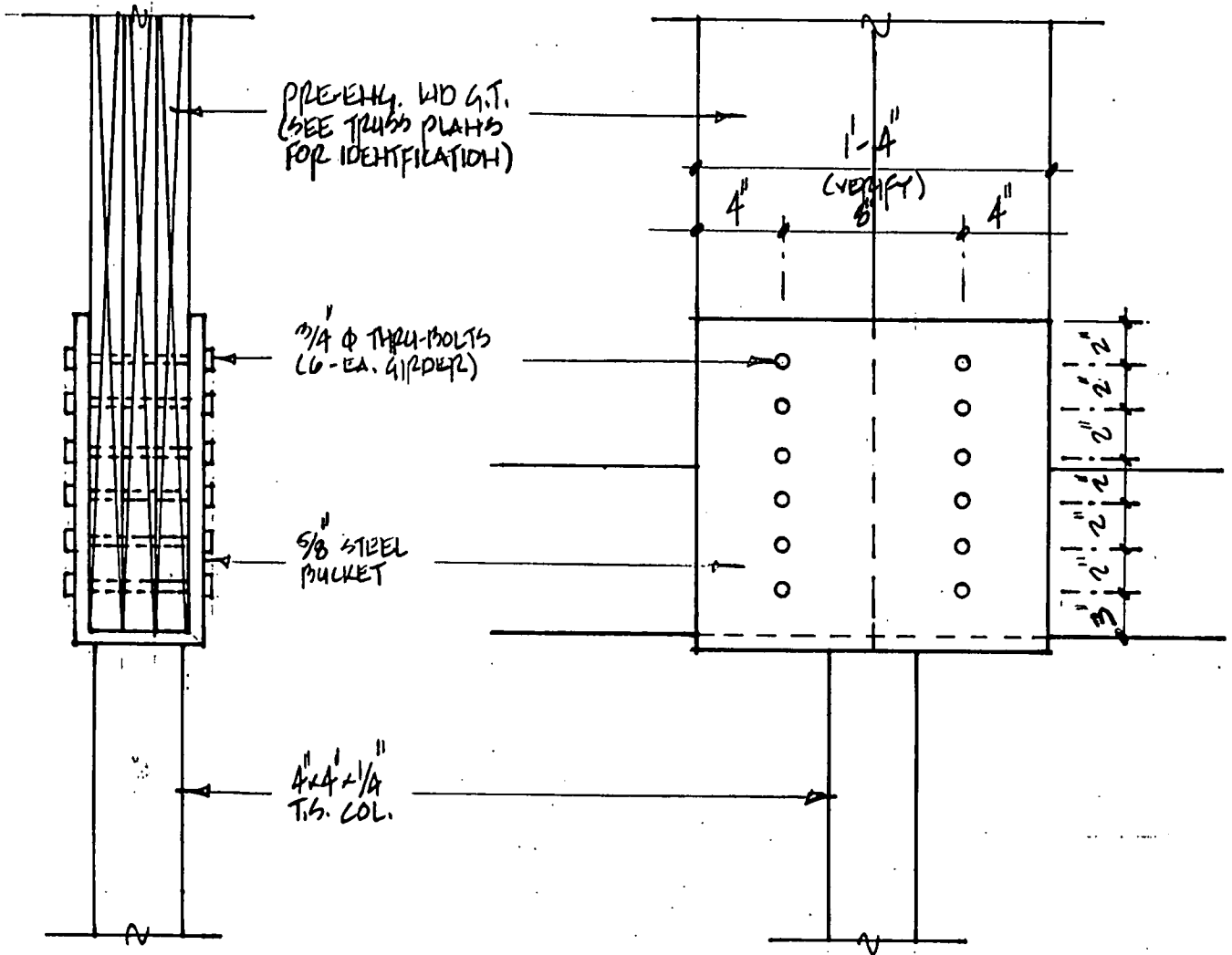
6971 N. Federal Hwy, Suite 206
Boca Raton, FL 33487
(407) 994-4581
Fax: (407) 997-5239



ARCHITECTS
BOCA RATON/NAPLES

DOYLE RESIDENCE
LOT 19, SEWALLS POINT
MARTIN COUNTY, FLORIDA

RE: GIRDER TIE DOWNS



GIRDER TRUSS CONNECTION DETAIL

(GR1-GR2, GR2-GR3, GR3-GR4)

NOTE: 1/4" CONTINUOUS WELD AT ALL JOINTS

AUG 11, 1997 N.T.S.

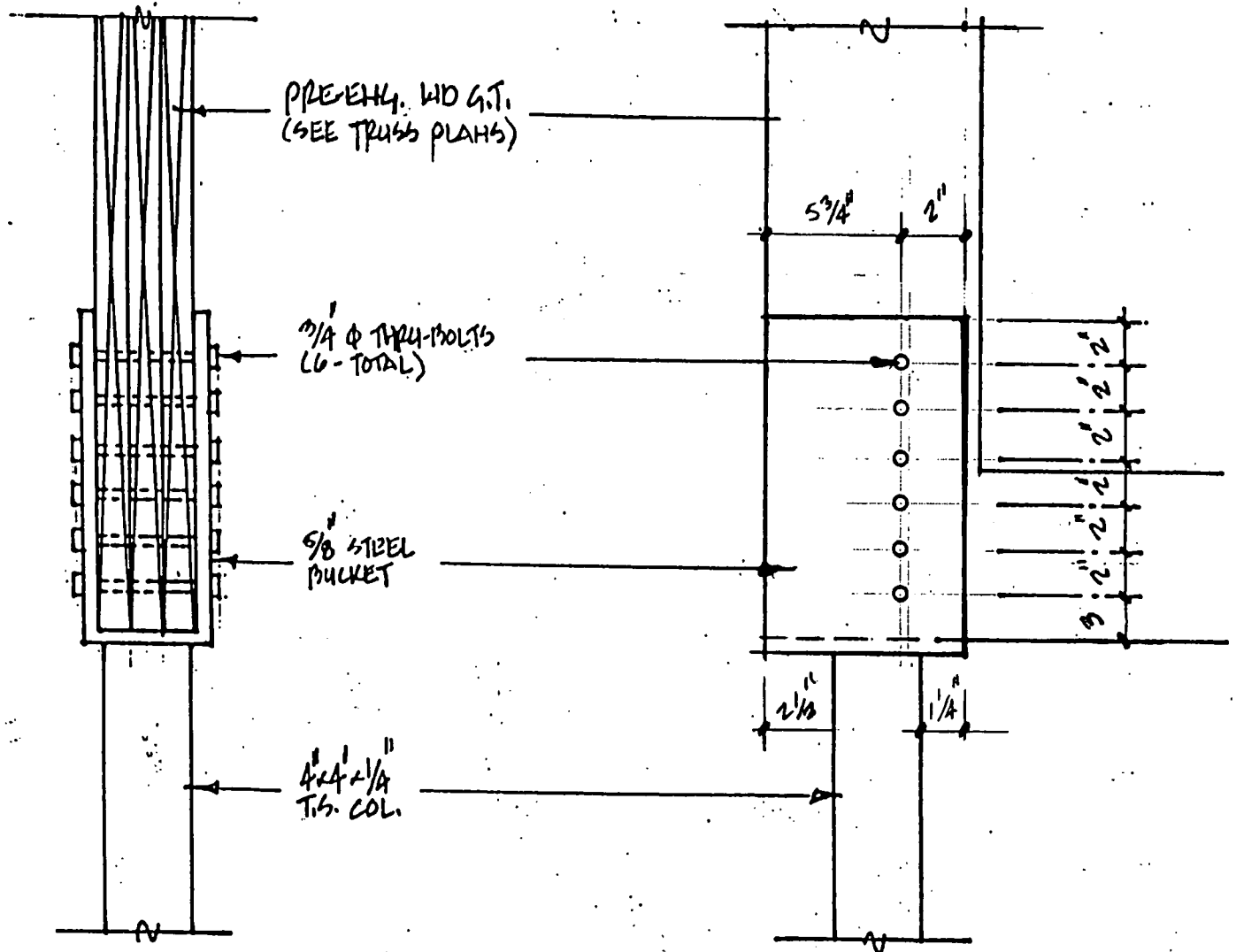
6971 N. ... Hwy, Suite 206
FL 33487
(907) 994-4581
(907) 997-5239

stofft

ARCHITECTS
BOCA RATON/MAPLES

DOYLE RESIDENCE
LOT 19, SEWALLS POINT
MARTIN COUNTY, FLORIDA

RE: GIRDER TIE DOWN



GIRDER TRUSS CONNECTION DETAIL

(GR4)

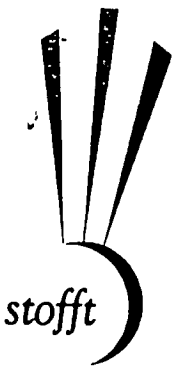
AUG 1 1997
 NTS
 69211 Florida Highway, Suite 206
 Boca Raton, FL 33487
 (407) 994-4581
 FAX (407) 997 5220

Handwritten signature

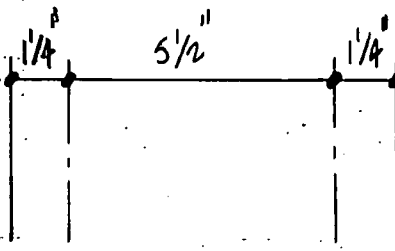
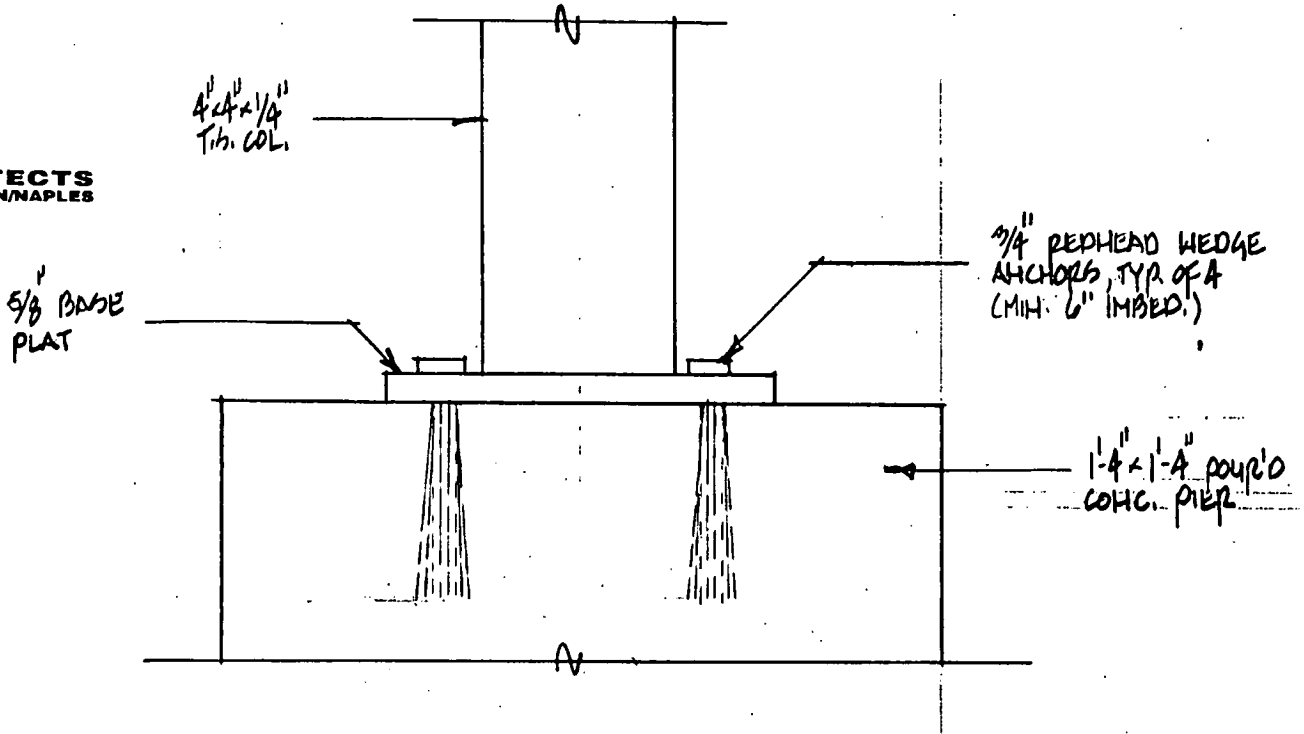
NOTE: 1/4" CONTINUOUS WELD AT ALL JOINTS

DOYLE RESIDENCE
LOT 19, SEWALLS POINT
MARTIN COUNTY, FLORIDA

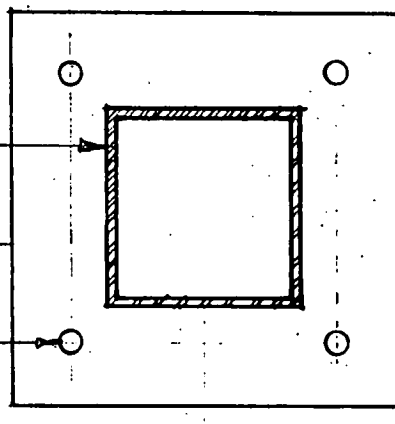
RE: GIRDER TIE DOWN



ARCHITECTS
BOCA RATON/NAPLES



4x4x1/4
T.S. COL.
5/8" STL. PLATE
3/4" REDHEAD
WEDGE ANCHORS
(MIN. 6" IMBED.)
TYP. OF 4.



BASE PLATE CONNECTION DETAIL

(GR1-GR2; GR4)

N.T.S. 1997

NOTE: 1/4" CONTINUOUS WELD AT ALL JOINTS

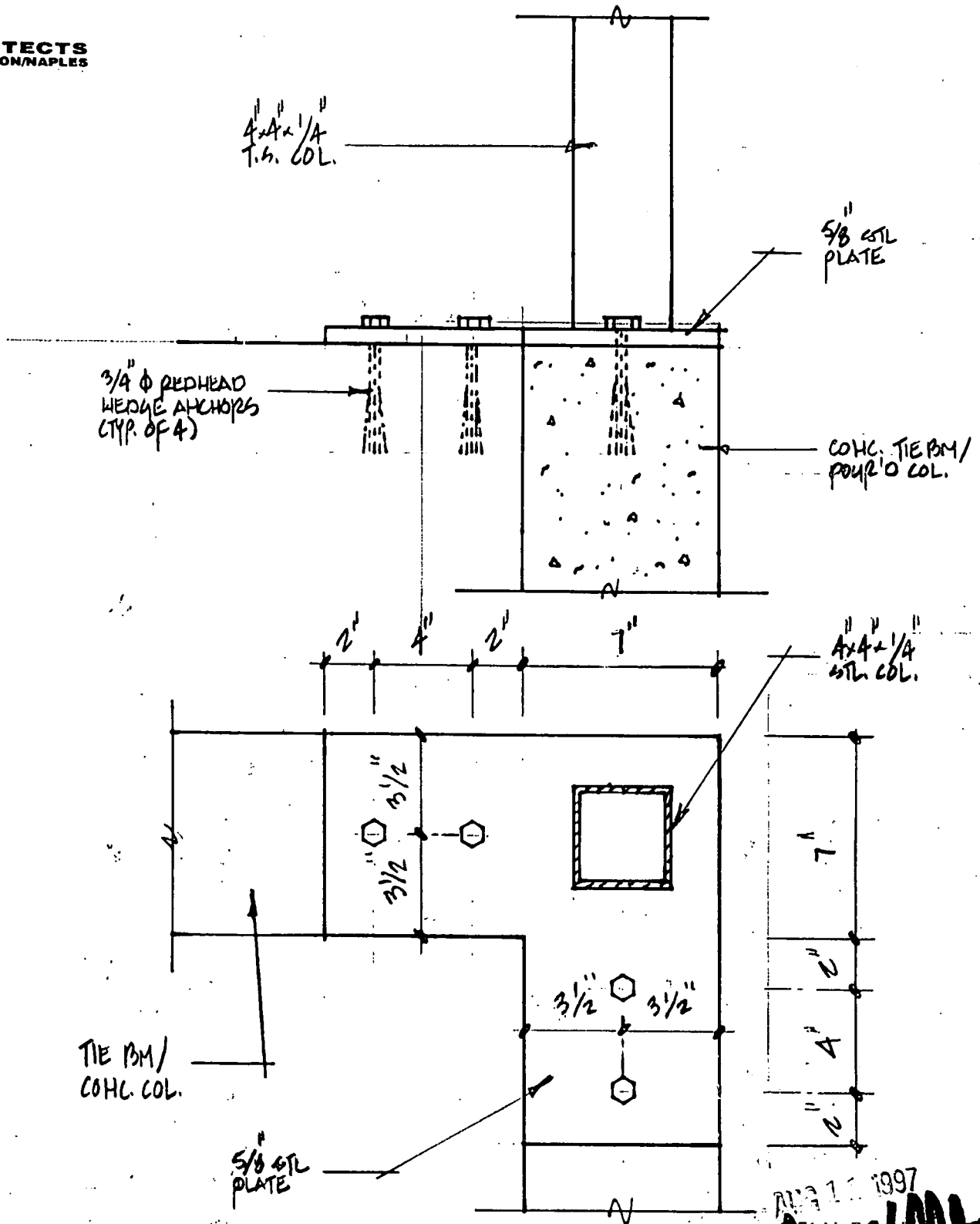
697 N. Federal Highway, Suite 206
Boca Raton, Florida 33437
Phone: 561-994-4581
Fax: 561-994-5239



ARCHITECTS
BOCA RATON/NAPLES

DOYLE RESIDENCE
LOT 19, SEWALLS POINT
MARTIN COUNTY, FLORIDA

RE: CONNECTION DETAIL



BASE PLATE DETAIL

(GR2-GR3, GR3-GR4)

N.T.S.

NOTE: 1/4" CONTINUOUS WELD AT ALL JOINTS

AUG 1 1997
 71 N. E. ... Suite 206
 Boca Raton, FL 33487
 4-4581
 Fax: 4-997-5239

4325

DEMO

MASTER PERMIT NO. 4169

TOWN OF SEWALL'S POINT

Date 1/29/98

BUILDING PERMIT NO. 4325

Building to be erected for DONALD & DIANA DOYLE Type of Permit DEMOLITION

Applied for by GRIBBEN CONSTRUCTION (Contractor) Building Fee _____

Subdivision PALMETTO PK Lot 19 Block _____ Radon Fee _____

Address 42 S SEWALL'S POINT Rd. Impact Fee _____

Type of structure RESIDENCE / DEMOLITION A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1 3841010 000 0019-00

Roofing Fee _____

Amount Paid 100 Check # 15230 Cash _____ Other Fees (Demol) 100

Total Construction Cost \$ N/A TOTAL Fees 100

Signed _____ Signed [Signature]
Applicant Town Building Inspector

DEMOLITION

INSPECTIONS

UTILITIES FLAGGED DATE _____
ASBESTOS CERT. DATE _____
DEBRIS REMOVAL DATE _____

WATER DISC. DATE _____
ELECTRIC DISC. DATE _____
SITE RESTORATION DATE _____
FINAL DATE _____

DATE _____
DATE _____
DATE _____
DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

TOTAL

PARTIAL

EXPLORATORY

This permit must be visible from the street, accessible to the inspector.

FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

4325-4169

Town of Sewall's Point

P.I.N. _____

Date 1/8/98

DEMOLITION PERMIT APPLICATION

- TOTAL PARTIAL EXPLORATORY
- RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: _____ CONTRACT PRICE _____

Owner's Name DONALD A. AND DIANA P. DOYLE

Owner's Address 3801 RIVIERA DRIVE CORAL GABLES, FL 33134

Fee Simple Titleholder's Name (If other than owner) SAME AS ABOVE

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name GRIBBEN CONSTRUCTION COMPANY

Contractor's Address 3077 S.E. DIXIE HWY. STUART, FL 34997

City _____ State _____ Zip _____

Job Name DOYLE RESIDENCE

Job Address 42 SOUTH SEWALL'S POINT RD.

City STUART State FL Zip 34996

Legal Description LOT 19, PALMETTO PARK RECORDED IN PLAT BOOK 3, PAGE 66 OF PUBLIC RECORDS, MARTIN COUNTY FLORIDA.

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name RANDALL STOFFT ARCHITECTS

Architect/Engineer's Address 6971 N. FEDERAL HWY. SUITE 206 BOCA RATON, FL 33487

Mortgage Lender's Name _____

Mortgage Lender's Address _____

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature] _____ Date 1-8-98

[Signature] _____ Date Jan 8, 1998

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 9 day of Jan, 1998 by Edward W. Gribben who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: Lavonne K Gribben

Typed, printed or stamped

(NOTARY SEAL)



I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this ___ day of _____, 199_, by _____ who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: _____

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. RG-0054342 X

Contractor's Certificate of Competency No. _____ X

APPLICATION APPROVED BY _____ Permit Officer

_____ Building Commissioner

UNITY

OF

TITLE

01414656

100 FEB -2 AM 8:56

RETRACTION OF UNITY OF TITLE

DONALD A. DOYLE and DIANA P. DOYLE, his wife, owners of the following described property, to wit:

Lot 19 and Lot A. PALMETTO PARK, according to the Plat thereof, as recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida

HEREBY retract or rescind the Unity of Title executed on February 13, 1998 and recorded in OR Book 1288, Page 2268, Public Records of Martin County, Florida as required by the terms of the attached Agreement by and between and among Donald A. Doyle, Diana P. Doyle, Garrick A Gustafson, and the Town of Sewall's Point and after being granted three variances pursuant to the Town of Sewall's Point Board of Zoning Adjustment Resolutions recorded in OR Book 1440, Pages 0365-0373, Public Records of Martin County, Florida.

Signed, sealed and delivered
In the presence of:

Barbara J. Brown
Katherine E. Lester
Barbara J. Brown

Donald A. Doyle
DONALD A. DOYLE
Diana P. Doyle
DIANA P. DOYLE

STATE OF FLORIDA
COUNTY OF MARTIN

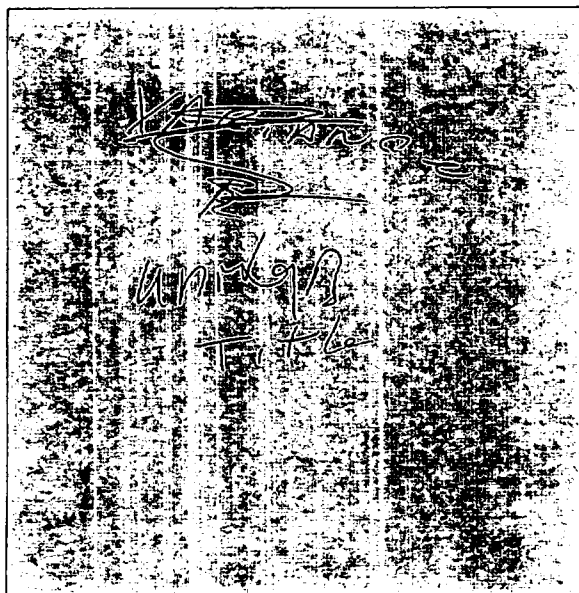
The foregoing instrument was acknowledged before me this 25th day of January, 2000, by DONALD A. DOYLE and DIANA P. DOYLE, known to me or who has produced _____ as identification and who (did / did not) take an oath.

Julie Tilton Haggas
Notary Public

My Commission Expires:
My Commission Number:

(SEAL)

Printed Name of Notary: Julie Tilton Haggas
MY COMMISSION # CCS42012 EXPIRES
March 24, 2000
BONDED THRU TROY FAIR INSURANCE, INC.



KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
JEANNA D. BIALCZAK
KATHLEEN S. MAC MAHON

853 S.E. MONTEREY COMMONS BLVD.
POST OFFICE BOX 2421
STUART, FLORIDA 34995

FILE

FILE

January 29, 2002

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 394-8886
e-mail KSSLawyers.com

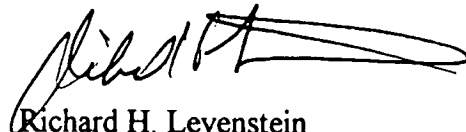
Town of Sewall's Point
Attn: Joan Barrow, Town Clerk
One South Sewall's Point Road
Sewall's Point, FL 34996

Re: Donald and Diana Doyle, 42/south Sewall's Point Road

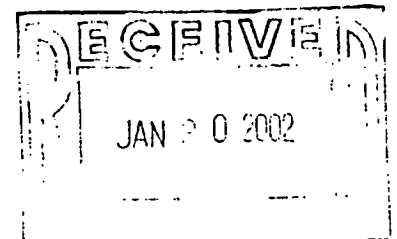
Dear Ms. Barrow:

For the Commission's information, enclosed is a copy of the Partial Release of Mortgage executed by Northern Trust Bank, releasing Lot A of Palmetto Park from the Doyle's mortgage, which was erroneously encumbered at an earlier time. I thought the Commission might want to receive a copy of this document for completion of its file.

Very truly yours,


Richard H. Levenstein

RHL/es
Enclosure
cc: Mr. & Mrs. Doyle



This instrument prepared by:
Robert S. Kramer, Esquire
KRAMER, SEWELL, SOPKO
& LEVENSTEIN, P.A.
853 SE Monterey Commons Blvd.
Stuart, FL 34996

PARTIAL RELEASE OF MORTGAGE

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, DONALD A. DOYLE and DIANA P. DOYLE, husband and wife, (the "Mortgagor"), by a Mortgage recorded in OR Book 1231, page 1053 of the public records of Martin County, Florida (the "Mortgage"), mortgaged unto NORTHERN TRUST BANK OF FLORIDA, N.A., (the "Mortgagee"), the premises therein particularly described (the "Mortgaged Premises") to secure the payment of the sum of Seven Hundred Thousand Dollars (\$700,000.00), with interest as therein mentioned; and

WHEREAS, the said Mortgagor has requested the said Mortgagee to release that portion of the Mortgaged Premises as hereinafter described from the lien and operation of said Mortgage.

NOW, THEREFORE, the said Mortgagee, in consideration of the sum of Ten Dollars, to it paid by the said Mortgagor, at the time of the execution hereof, the receipt whereof is hereby acknowledged, does remise, release, quitclaim, exonerate and discharge from the lien and operation of said Mortgage unto the said Mortgagor, its successors and assigns, all that piece, parcel or tract of land, being a part of the Mortgaged Premises conveyed by said Mortgage, to wit:

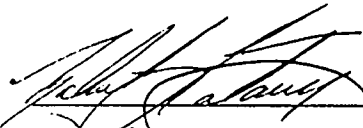
Lot "A" of PALMETTO PARK, according to the Plat thereof, as recorded in Plat Book 3, page 66, public records of Martin County, Florida.

TO HAVE AND TO HOLD the same, with the appurtenances, unto the said Mortgagor, its successors and assigns forever, freed, exonerated and discharged of and from the lien of said Mortgage and every part thereof; provided always, nevertheless, that nothing herein contained shall in anywise impair, alter or diminish the effect, lien or encumbrance of the aforesaid Mortgage on the remaining part of said Mortgaged Premises not hereby released therefrom, or any of the rights and remedies of the holder thereof.

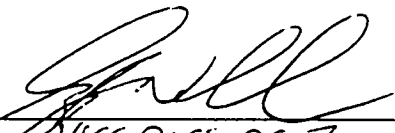
IN WITNESS WHEREOF, the undersigned has caused these presents to be executed in its name and its seal hereunto affixed by its proper officers duly authorized this 25 day of January, 2002.

WITNESSES:

NORTHERN TRUST BANK OF FLORIDA,
N.A.

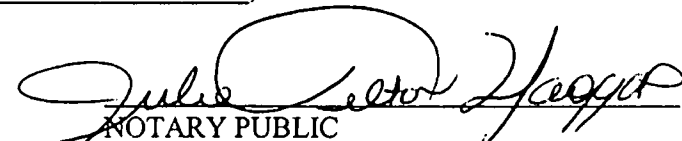


Julie Tilton Haggas

BY: 
Its: VICE PRESIDENT

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 25 day of January, 2002, by GREGORY WHEELER, as Vice President of NORTHERN TRUST BANK OF FLORIDA, N.A., who is personally known to me or who has produced (type of identification) _____, and who did take an oath.



NOTARY PUBLIC
MY COMMISSION EXPIRES:

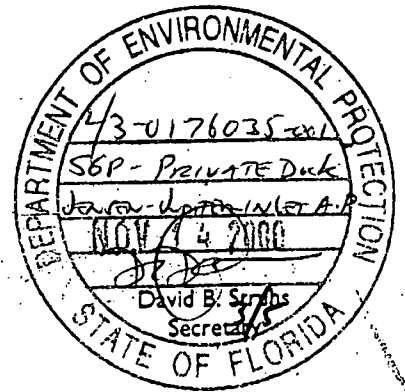




Jeb Bush
Governor

Department of Environmental Protection

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399-3000



Mean High Water Survey Procedural Approval

Date: 4/30/00 County: MARTIN Waterbody: INDIAN RIVER
Project Vicinity: SEAWALLS PT Sec: PB3 Twp: PG66 Rng:
Job No./Name: 2574-01-01 Client Name: DOYLE
USGS 7.5-Minute Quad Map Name: Comments:

Requestor Name: Deliver FAX to: STEVEN BROWN (please type or print the following):
Surveyor Name: STEVEN J. BROWN PSM #: 4049
Business Name: " " " INC
Mailing Address: 619 EAST 5TH ST.
City, State, Zip: STUART, FL 34994
Phone: (561) 287-9404 FAX: 561-288-9995 Email:

RECEIVED
2000 OCT 17 P 4: 3
DEPT. OF ENVIRONMENTAL PROTECTION
FOR ST. LUCCIE

Procedure for Determining Elevation of Mean High Water:

This is your approval, pursuant to Chapter 177, Part II, Florida Statutes, to determine the elevation of mean high water (MHW) at this project site, for boundary purposes, as follows:

- 1. At this project site use MHW elevation 0.74 feet, (NGVD 1929) or (NAVD 1988)
- 2. The elevation of MHW at this project site has not been determined - a tidal datum study using simultaneous tidal observations is required. The elevation of MHW will be determined using the following method: (see checkmark)

Height Difference; Amplitude Ratio; Range Ratio; based on:

Control Tide Station 872 ; MHW elevation ' NGVD29; M.R. =

See "Attachment A" for additional instructions.

This form constitutes approval of the method to be used to locate the elevation of mean high water.

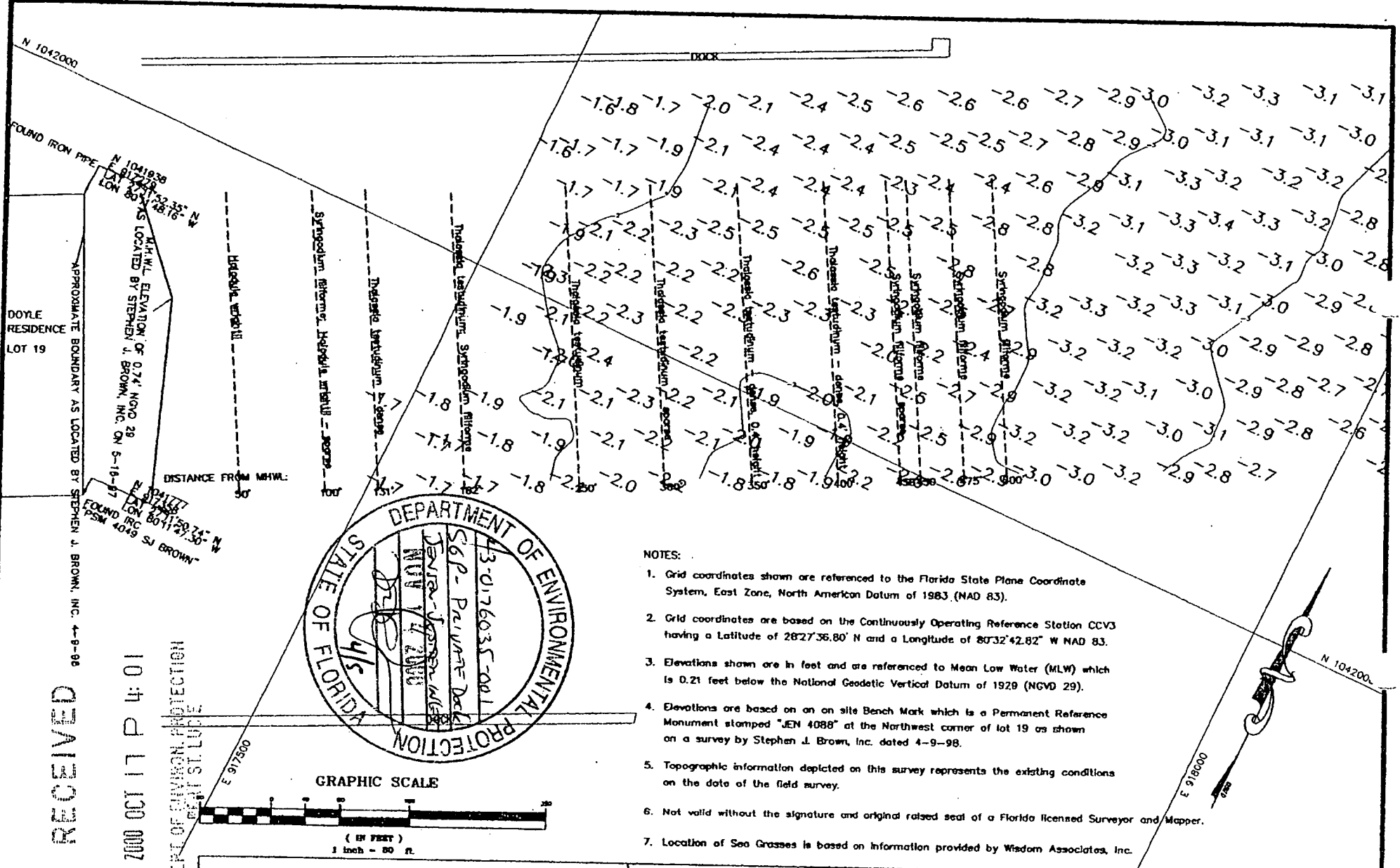
Retain this form for record keeping. Submit a copy of it with the completed survey drawing to the Bureau of Surveying and Mapping within 90 days of the completion of the survey (see Chapter 177.37 Florida Statutes).

Contact: Douglas Thompson, Bureau of Surveying and Mapping, (850) 488-2427 Doug.Thompson@dep.state.fl.us

For Bureau of Surveying and Mapping

10/5/10, rev 60 Sept

"Protect, Conserve and Manage Florida's Environment and Natural Resources"

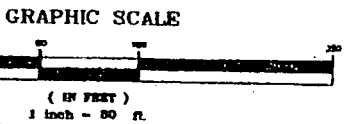
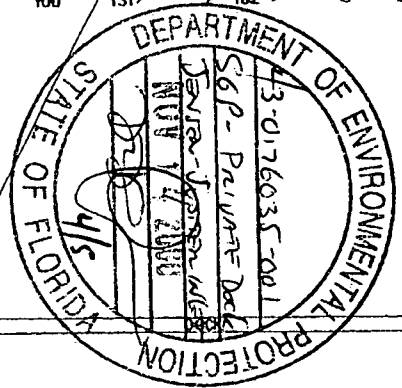


- NOTES:
- Grid coordinates shown are referenced to the Florida State Plane Coordinate System, East Zone, North American Datum of 1983 (NAD 83).
 - Grid coordinates are based on the Continuously Operating Reference Station CCVS having a Latitude of 28°27'36.80" N and a Longitude of 80°32'42.82" W NAD 83.
 - Elevations shown are in feet and are referenced to Mean Low Water (MLW) which is 0.21 feet below the National Geodetic Vertical Datum of 1929 (NGVD 29).
 - Elevations are based on an on site Bench Mark which is a Permanent Reference Monument stamped "JEN 4088" at the Northwest corner of lot 19 as shown on a survey by Stephen J. Brown, Inc. dated 4-9-98.
 - Topographic information depicted on this survey represents the existing conditions on the date of the field survey.
 - Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
 - Location of Sea Grasses is based on information provided by Wisdom Associates, Inc.

RECEIVED

2000 OCT 17 P 4:01

DEPT. OF ENVIRONMENTAL PROTECTION
REST. ST. LUDWIG



MORGAN & EKLUND, INC.
PROFESSIONAL SURVEY CONSULTANTS

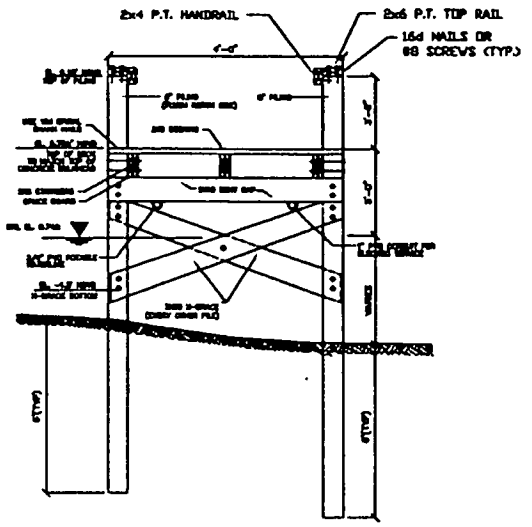
8745 US HIGHWAY #1
P.O. BOX 1420
WAGASSO, FL 32970
PHONE: (888) 389-8364
FAX: (561) 388-3185

1500 S.E. 3RD COURT
SUITE 203
DEERFIELD BEACH, FL 33441
PHONE: (954) 421-6882
FAX: (954) 421-0451

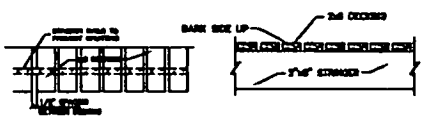
ADVISEMENTS OF SURVEYOR - I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS THE RESULT OF A RECENT FIELD SURVEY CONDUCTED UNDER MY SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF FLORIDA AND THAT I AM NOT PROVIDING THIS INFORMATION FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS OBTAINED. I AM NOT PROVIDING THIS INFORMATION FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS OBTAINED. I AM NOT PROVIDING THIS INFORMATION FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS OBTAINED.

JOHN W. BROWN, A PROFESSIONAL SURVEYOR
STATE OF FLORIDA

BATHYMETRIC SURVEY FOR DON & DIANE DOYLE AND THE TOWN OF SEWALL'S POINT, MARTIN COUNTY, FLORIDA				COMMISSION NO. 5292.01
SCALE 1" = 80'				DATE 6-13-00
DRAWN BY CAG	CHECKED BY JRM	FIELD BOOK PAGE NO. 6-8	MC #7 6-8	DATE OF SURVEY 5-30-00
SHEET 1 of 2				



SECTION A-A
DOCK CROSS SECTION



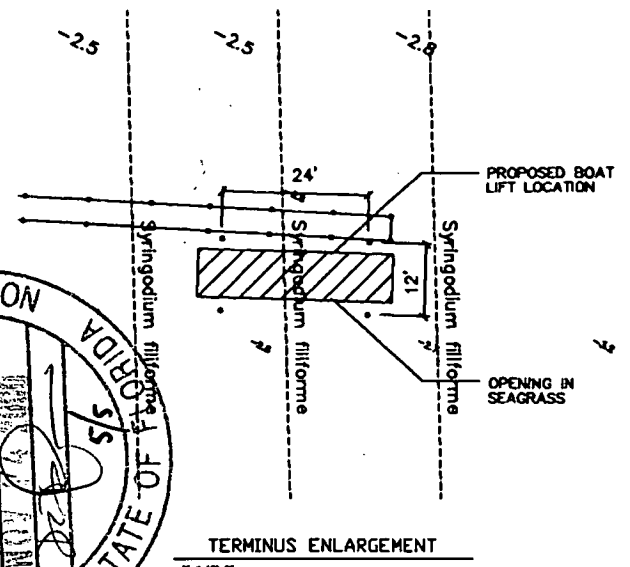
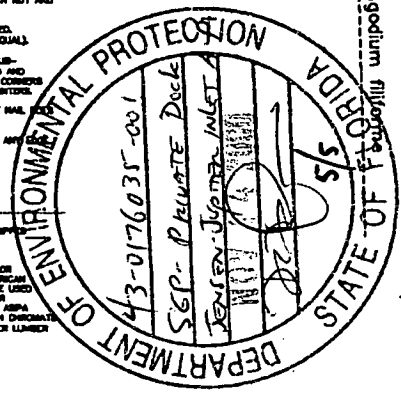
TYP. DECKING DETAILS

GENERAL CONSTRUCTION NOTES

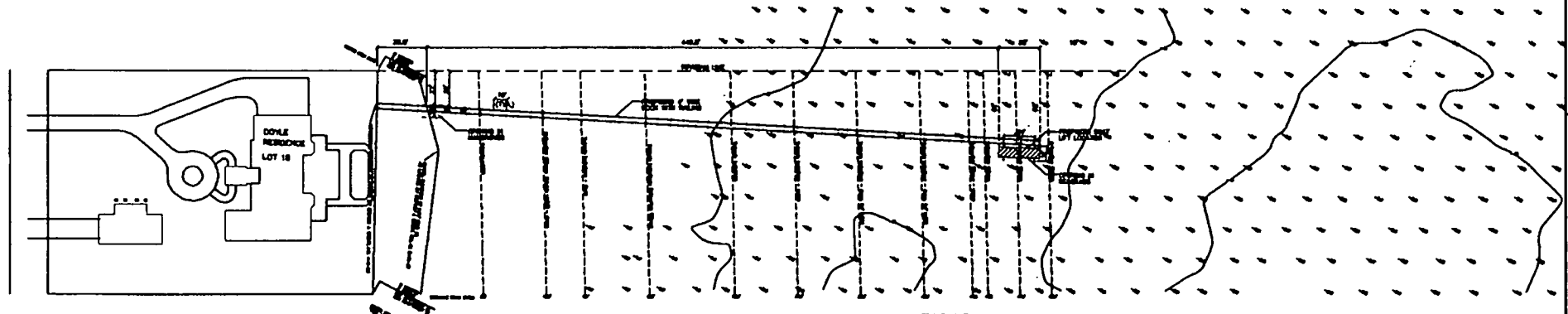
1. ALL SPLICE BLOCKS TO BE BOLTED TO STRINGERS AND PILES AND THE MAILED TO BENTS TO PROVIDE BOTH LATERAL SUPPORT AT THE JOINTS AND BEARING SUPPORT.
2. ALL PILE BOLTED CONNECTIONS TO BE 1/2" x 12" HDL BOLT WITH BUTT AND WELDERS EXCEPT AS NOTED.
3. ALL BOLTS SHALL BE PRIME PAINTED AND SEALED WHERE EXPOSED. (SEALED SHALL BE "LOK Marine Seal EXD0207", OR APPROVED EQUAL).
4. "TONGUE CUT" LUMBER CAN BE USED ON ALL MEMBERS IN THE SUB-STRUCTURE UNLESS "TONGUE" LAMBER TO BE Laid ON THE FLOORING AND HANDRAILS AND SHALL BE SURFACED FOUR SIDES. HANDRAILS AND CORNERS SHALL BE ROUNDED AND FINISHED TO REMOVE SHARP EDGES AND SPINDLES.
5. HANDRAILS SHALL BE GALLED TO POSTS. COUNTERSINK SO THAT NAIL NOT PROJECT BEYOND RAIL OR POST.
6. ALL BOLT HOLES SHALL BE DRILLED A MINIMUM OF 1/8" FROM ANY

MATERIAL SPECIFICATIONS

1. HARDWARE
ALL BOLTS, UNDER DECK NAILS AND OTHER HARDWARE TO BE HOT DIPPED GALVANIZED.
2. WOOD
ALL WOOD SHALL BE NO. 2 KD PRESERVE TREATED SOUTHERN PINE OR EQUAL. PRESERVE TREATMENT SHALL BE IN ACCORDANCE WITH AMERICAN WOOD PRESERVING ASSOCIATION STANDARD D-5. THE PRESERVATIVE USED SHOULD BE A WATERBORNE PRESERVATIVE SUCH AS TYP. 8 OR D-5 OR EQUIVALENT AS COVERED IN FEDERAL SPECIFICATION TT-5-635 AND ASPA STANDARD SPEC. 02 AND 01A. PILES TO BE PRESERVE TREATED WITH CHROMIUM COPPER ARSENATE (CCA) WITH A MIN. RETENTION OF 0.4. ALL OTHER LUMBER SHALL HAVE A MIN. RETENTION OF 0.35.



TERMINUS ENLARGEMENT



1. ALL PILES AND STRINGERS WITH EXPOSED ENDS TO BE PAINT WITH THE EXPOSED ENDS OF THE BENT AND TERMINALS AS A PILE BENT.
2. 1" SLACKING CONCRETE TO BE PAINT WITH THE EXPOSED ENDS OF THE BENT (SEE DETAIL).
3. SLACKING CONCRETE FROM PILES OF THE BENT BACK AND ALL PILES ALONG THE TERMINAL PLATFORM.
4. PILES SHALL BE SPACED AT 12'-0" O.C. (TYPICAL).

DEPT. OF ENVIRONMENTAL PROTECTION
DOCK PLAN
3
7000 OCT 17 P 4: 05
PORT ST. LUCIE

RECEIVED

15-13-00

NO.	DATE	REVISION

STEPHEN COOPER, P.E. AND ASSOCIATES, INC.
CONSULTING ENGINEER
ONE WINDWARD PALM DRIVE, WINDWARD PARK
PORT ST. LUCIE, FLORIDA 34953
TEL: 386-339-9770
FAX: 386-339-9770

DOCK PLAN

DOYLE RESIDENCE

DRAWING NO.
1 OF 1
JOB NO. 0028

8692

GARAGE DOOR,

WIDEN DRIVEWAY

9024

RETAINING WALL

9980

BOATLIFT

CODE VIOLATION

BOARD

Oct. 27, 1997

Dear Jenny:

Just a brief note to inform you of the information I have received to date regarding the Doyle house on S. Sewall's Pt. Rd., which is presently under construction.

The permit was issued with a blatant violation in regard to the garage. On the plans the entrance and exit to the garage was directly onto S. Sewall's Pt. Rd. All driveways on this road are required to have turn-arounds so that no one will back up onto a busy artery. Since this complaint was brought to the attention of the Building Inspector Mr. Carruana, it appears that this will be changed.

Palmetto Park Subdivision was subdivided in 1957. (prior to Town incorporation.) The last name was Jungwirth. Upon the original Jungwirth's death another Jungwirth as Executor designated the land in question 40 x 261' as Lot A and was deeded to Lot #19 in 1972 (Newsome) with provision in perpetuity to the Palmetto Park Subdivision. It has never been on the tax rolls and is considered an easement.

The problem at this date is that Mr. Doyle intends to use this easement as his driveway and the property line has been extended to include the easement area. The setbacks for the house and garage include the easement area. Our contention is that the setback should be from the property line, and not from the 40 ft. strip of easement.

The question remains as to how this will affect the property owners on Palmetto Rd. Their access to the river might not be as accessible as it has in the past and how would it affect resale value. Another question is the thought of liability. If someone is visiting the Doyle family and there should be an accident in the driveway, would the residents of Palmetto Rd. be liable in a lawsuit?

If cars are parked in the driveway how will it affect any of the Palmetto Rd. residents if they should want to launch a small boat? From my own observation of this situation I feel that under the circumstances the residents should have been advised of the situation and at the very least legal counsel should have been consulted by the Building Inspector and the Building Commissioner before a permit was issued.

W. D. Freeman

BLAINE RHODES
14 HIGH POINT RD., E.
STUART, FL. 34996

PHONE: (561) 283-1095

FAX: (561) 283 3318

FAX COVER SHEET

FAXED MEMO TO: COMMISSIONER BOB WIENKE
BUILDING COMMISSIONER

FAX NUMBER: 220-4328²⁻⁷⁸

DATE: 4/21/98

NUMBER OF PAGES 1 INCLUDING THIS COVER

BUILDING PERMIT NO. 4169 - DOYLE

Violation of Ordinance Section appendix B. paragraph ⁵ 8, RE; DRIVEWAYS

Driveway has no turn around, as provided in code. thus causing a never ending safety problem and possible future litigation for which the Town could become liable in the event of an accident.
Your prompt attention to this matter will be appreciated.

SIGNED: 

BLAINE RHODES

Doyle Ex 9

**Office of the
Chief of Police**



**Town of
Seawall's Point, Florida**

**Wilbur C. Kirchner
Chief**

Phone: (561) 781-3378
Fax: (561) 220-4765
Emergency: 911

April 21, 1998

Mr. Donald Doyle
42 S. Seawall's Point Road
Seawall's Point, FL 34996

Dear Mr. Doyle:

First let me welcome you, as a new resident, to the Town of Seawall's Point. I have been told by Mr. Caruana (building inspector) that you have cooperated with all his requests.

That leads me to my request. I have seen the size of your R/V and am extremely concerned that when you back out of your R/V garage you will have to back out onto S. Seawall's Point Rd.. This, in my opinion, would create a danger to yourself and any oncoming traffic. The only resolution I can see to this possible problem is to back the vehicle into your garage. That way when you wish to use it you can pull out front first onto the road.

I'm sure you are aware that my main concern with the residents of Seawall's Point is their safety both in their homes as well as on our streets. If you have any questions, suggestions please call me at my office. 781-3378.

Sincerely,

W. C. Kirchner
Chief of Police



Town Hall
One South Seawall's Point Road
Seawall's Point, Florida 34996

Police Internet Address
<http://legal.firm.edu/muni/sewallspt>

Doyle. Ex 2

SPEED MEMO

TOWN OF SEWALL'S POINT
One South Sewall's Point Road
STUART, FLORIDA 34996

PAGE ONE

(561) 287-2455
FAX (561) 220-4765

DATE	5/13/98	JOB NO.
ATTENTION		
RE:	DOYLE DRIVEWAY	

TO

COMMISSIONER WIENKE

TIM WRIGHT

- ① DOYLE SUBMITTED APPLICATION FOR BUILDING PERMIT FEB. 1997
- ② I STARTED WORK MARCH 3, 1997 - REVIEW OF PLANS BEGAN.
- ③ MANY ISSUES AROSE REGARDING SETBACKS FROM THE PROPERTY LINES, THE WATER IN LOT "A". THESE ITEMS WERE DISCUSSED IN DETAIL AMONG COMMISSIONER VERASSO, TOWN ATTORNEY TIM WRIGHT AND ME - REGARDING THE RESIDENTS & THE CAR.
- ④ AT NO TIME DURING THE SITE PLAN REVIEW WAS A TURNAROUND MENTIONED TO ME BY THE TOWN ATTORNEY NOR THE BUILDING COMMISS
- ⑤ THE DRAWINGS UNDERWENT MANY CHANGES TO CONFORM TO HEIGHT, SETBACKS, FEMA COASTAL CONSTRUCTION MANUAL & STRUCTURAL CHANGES MADE.
- ⑥ THE PERMIT WAS FINALLY ISSUED ON APRIL 16, 1997. BY THIS TIME, EVERY ASPECT OF THESE DOCUMENTS WERE EXAM BY ALL INTERESTED PARTIES - IN GREAT DETAIL!
- ⑦ THE DOYLES WERE PERMITTED TO CONSTRUCT A "CARRIE HOUSE WITH A STRAIGHT DRIVEWAY.
- ⑧ DURING ADVANCED STAGES OF CONSTRUCTION, MR. RHODES COMPL THAT THE DRIVEWAY DID NOT HAVE A TURN-AROUND

COPY TO _____ (CONTINUED)

SIGNED: _____

If enclosures are not as noted, kindly notify us at once.

TOWN OF SEWALL'S POINT
One South Sewall's Point Road
STUART, FLORIDA 34996

SPEED MEMO

PAGE TWO

(561) 287-2455
FAX (561) 220-4765

DATE	5/13/98	JOB NO.
ATTENTION		
RE:		

TO COMMISSIONER WIENKE
TIM WRIGHT

(9) WHEN I ASKED MR. WRIGHT ABOUT AN ORDINANCE REQUIRING "TURN-AROUNDS" IN DRIVEWAYS HE RESPONDED, "I THINK WE DISCUSS IT AT ONE TIME, BUT I DON'T THINK IT WAS ADOPTED."

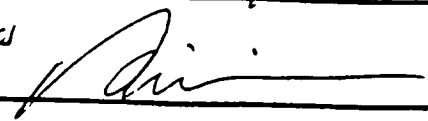
(10) I HAPPENED TO STUMBLE ACROSS THE PASSAGE, WHILE RESEARCHING THE SIGN CODE FOR HARBOR BAY PLAZA, AND I RELAYED THIS INFORMATION BEFORE THE TOWN COMMISSION - TO GIVE ONE MORE EXAMPLE OF WHY THE CODE NEEDS TO BE RE-FORMATTED.

IN CONCLUSION - THE DOYLES DID NOT KNOW ABOUT THE "TURNAROUND" REQUIREMENT, BECAUSE I DID NOT KNOW ABOUT THE REQUIREMENT UNTIL THE STRUCTURE WAS UNDER CONSTRUCTION.

THE DOYLES ARE NOW AWARE OF THIS REQUIREMENT, THEY HAVE ADDED AN APRON FOR PASSENGER VEHICLES. THE POLICE CHIEF HAS MADE THEM AWARE OF THE SAFETY ISSUES AND OUR CODE.

THE CONSTRUCTION AND APPROVALS WERE DONE IN GOOD FAITH. PERSONS SEEKING REMEDIAL MEASURES TO CORRECT NON-COMPLIANCE SHOULD DIRECT THEM TO YOU OR ME FOR A HEARING BY THE BOARD.

COPY TO FILES

THANK YOU
SIGNED: 

If enclosures are not as noted, kindly notify us at once.

WARNER, FOX, SEELEY, DUNGEY & SWEET

L.L.P.

DEBORAH B. BEARD
RICHARD J. DUNGEY*
M. LANNING FOX*
GARY L. SWEET
THOMAS E. WARNER**
TIM B. WRIGHT

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(561) 287-4444
TELEFAX (561) 220-1489

ANTHONY L. CONTICELLO
KENNETH W. FROMKNECHT, II
LOUIS E. LOZEAU, JR.
WILLIAM R. PONSOLDT, JR.
***BETH TEARDO PRINZ

ROBERT L. SEELEY
AARON A. FOOSANER
OF COUNSEL

JUPITER (561) 744-6499

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

ST. LUCIE COUNTY OFFICE
PORT ST. LUCIE PROFESSIONAL BUILDING
8515 SOUTH FEDERAL HIGHWAY
PORT ST. LUCIE, FLORIDA 34952
(561) 878-3814
TELEFAX (561) 879-6327

***BOARD CERTIFIED WILLS, TRUSTS
& ESTATES LAWYER

May 13, 1998

Commissioner Robert M. Wienke
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Town of Sewall's Point; Doyle Residence Turn-a-Round Facility

Dear Commissioner Wienke:

This letter is a follow-up to our telephone conversation of Wednesday, May 13, 1998. Section XI-(G) of the Town Zoning Code requires residential lots to contain appropriate vehicular turn-a-round facilities. It is my understanding that the Building Department has been informed that the garage located on the Doyle residence will be used for a motor home or other recreational vehicle. Section 4-32 of the Code gives the Town Commission the authority to revoke a certificate of occupancy under certain conditions. It is your prerogative, as Building Commissioner, to recommend to the Town Commission that they revoke this certificate of occupancy if you believe the provisions of the Code have not been complied with. Factually, it appears that the turn-a-round facility provided by Mr. and Mrs. Doyle would be inadequate for a recreational vehicle.

Please let me know if you need anything further on this matter.

Sincerely yours,


Tim B. Wright

TBW/mcf

cc: Mrs. Joan H. Barrow
Mr. Phil Caruana, CBO



- G. Vehicular Turn-around Facility: As of the effective date of Ordinance [No. 202], all residential lots hereafter developed contain a vehicular turn-around facility to preclude on-site vehicles from backing into public roadways. Circular driveways, driveway aprons, or other similar facilities approved by the building inspector shall constitute appropriate vehicular turn-around facilities. (Ord. No. 202, § 1, 7-25-90)
- H. Reserved.

BLAINE RHODES
14 HIGH POINT RD., E.
STUART, FL. 34996
PHONE: (561) 283-1095 - FAX: (561) 283-3318

May 19, 1998

TO THE BOARD OF COMMISSIONERS
TOWN OF SEWALL'S POINT

Gentlemen:

It is well known and documented that I have filed numerous complaints concerning the incompetency of Building Inspector Philip Caruana. I have addressed both this Commission and the former Commission, and I have spoken at meetings, several times following up my remarks with letters. I also filed a complaint with the Florida Department of Professional Regulation.

RE: THE DOYLE RESIDENCE

Contained in a memo dated May 13, 1998 from Philip Caruana to Commissioner Wienke and Town Attorney; Mr. Wright, Mr. Philip Caruana states: ***"During advanced stages of construction, Mr. Rhodes complained that the driveway did not have a turnaround."***

I would like to take issue with his statement that I called these matters to his attention "after the Doyle House was well under construction." In stating this, Mr. Caruana has made a false statement.

The record will indicate that on September 16th, Mr. William Herman and I, reviewed the Doyle building permit and the TIE-IN survey. On this date, only the foundation and start up of the residence was evident on the property. The GARAGE had not been started. We discovered the garage when we reviewed the plans. We immediately saw that the set back from LOT A was in violation, and we discussed the matter of the driveway turn-about, which was not on the plans, it had been totally ignored.

After this meeting, on September 17th, I personally hand delivered a letter of complaint to each Commissioner, detailing Mr. Caruana's disregard and faulty interpretation of our codes.

Also: On October 23, 1997, Resident William Herman and I again examined the tie in survey for the Doyle Residence. The driveway was now on the drawing and I reconfirmed my September review of the plans. I wrote and sent another fax to Philip Caruana on October 23rd, 1997, affirming all my complaints on this Doyle permit.

Continued page #2

Doyle Ex 10

To Commissioners of Town of Sewall's Point

May 19, 1998

Page #2

I believe the above statement clearly shows that Mr. Caruana's statement; that the garage was well under construction and too late to effect changes; is untrue.

Further, Mr. Caruana states in his memo, that he happened to stumble across the 'passage' (reference to the driveway turnabout) in the code.

In a letter from Tim Wright to Commissioner Wienke, dated April 28, 1998, Mr. Wright states: **"Mr. Caruana has reached improper legal conclusions about easements."** Again Mr. Caruana has not gotten his facts correct. the property next to the Doyle's Lot 19, is LOT A. There is no recorded easement involved with LOT 19, owned by Doyle. LOT A is an outright deeded lot for the perpetual use of all of the owners, of current title, in the PALMETTO PARK SUB-DIVISION.

Yet in a memo to the Commissioners dated, April 24, 1998, Mr. Caruana states, **"I believe that the Doyles are entitled to the quiet enjoyment of their home without motor vehicles being parked or boats being launched from their private property. an easement does not convey ownership rights."**

Considering Mr. Caruana's performance and his actions over the past 14 months, I believe he has failed miserably in carrying out the requirements of his employment as building inspector.

We cannot continue with this pattern of disregard and mis-interpretation of our codes and ordinances by Mr. Philip Caruana. Therefore I feel Mr. Caruana's employment as Building Inspector of the Town of Sewall's Point should be terminated immediately.

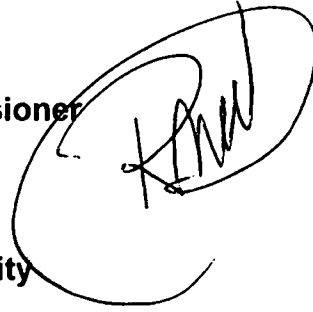
Respectfully submitted:



Blaine Rhodes

MEMO

DATE: May 20, 1998
FROM: Robert M. Wienke, Building Commissioner
TO: Phil Caruana, Building Inspector
Subject: Doyle Residence Turn-a-Round Facility

A handwritten signature in black ink, appearing to read 'RWienke', is enclosed within a large, hand-drawn oval. The signature is positioned to the right of the 'FROM' and 'TO' fields of the memo header.

As you are in receipt of Town Attorney Wright's letter of May 13, 1998 (Re: Town of Sewall's Point; Doyle Residence Turn-a-Round Facility) you are also aware that Mr. Wright has confirmed that the Doyle turn-a-round is inadequate for the Doyle motor home / recreation vehicle.

Accordingly, please issue a letter to Mr. Doyle and inform him that he has not complied with Section XI-(G) of the Town Zoning Code and that compliance must be achieved within 90 days of the issuance of the certificate of occupancy. Additionally, your letter should make it perfectly clear that noncompliance could result in the Town Commissions revoking the certificate of occupancy.

Please issue this letter by Friday May 22, 1998 and send it certified mail, return receipt. If you have any questions please do not hesitate to contact me.

DONALD B. WINER
Mayor

TOWN OF SEWALL'S POINT

JOAN H. BARROW
Town Clerk

CYRUS KISSLING
Vice Mayor

WILBUR C. KIRCHNER
Chief of Police

JON E. CHICKY, SR.
Commissioner

PHILIP CARUANA
Building Official

D.C. "BERRY" GLOVER, III
Commissioner



ROBERT M. WIENKE
Commissioner

One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • FAX (561) 220-4765
Police Department (561) 781-3378

May 22, 1998

Mr. and Mrs. Donald A. Doyle
42 South Sewall's Point Road
Sewall's Point, Florida 34996

CERTIFIED MAIL NO. Z 311 236 279

RE: CERTIFICATE OF OCCUPANCY

Dear Mr. and Mrs. Doyle:

It has been determined that the turnaround facility provided at your detached garage is inadequate for your motor home (Section XI-(G) of the Town Zoning Code).

Further, Section 4-32 of the Town Code provides that the Town Commission has the authority to revoke your certificate of occupancy under certain conditions.

I am required to inform you that the Commission will consider taking serious measures to insure that a turnaround adequate for your motor home is provided.

You are hereby given sixty (60) days to comply.

Sincerely,

TOWN OF SEWALL'S POINT

A handwritten signature in black ink, appearing to read "Philip Caruana". The signature is written in a cursive style and is positioned above the printed name of the Building Official.

Philip Caruana, Building Official

TOWN OF SEWALL'S POINT
One South Sewall's Point Road
STUART, FLORIDA 34996

SPEED MEMO

(561) 287-2455
FAX (561) 220-4765

TO COMMISSIONERS

DATE	4/24/98	JOB NO.	
ATTENTION	ROBERT M. WIENKE		
RE:	42 S. SEWALLS POINT ROAD DOYLE RESIDENCE		
ANSWERS TO QUESTIONS CONCERNING LOT 'A'			

① ARTICLE 9. OF THE RECORDED DEED RESTRICTIONS, GRANTS AN EASEMENT TO THE RIVER TO CERTAIN GRANTEEES OF THE PALMETTO PARK SUBDIVISION.


② LOT 19 & LOT A HAVE A UNITY OF TITLE AND PRIVATELY OWNED

③ SEC 10-16 PROHIBITS MOORING, BEACHING OF WATERCRAFT OF ANY KIND UPON PRIVATE PROPERTY WITHIN THE TOWN WITHOUT THE WRITTEN PERMISSION OF THE OWNER OF SUCH PROPERTY.

④ SEC 10-18. USE OF VACANT LOTS UNDER J. "PUBLIC BEACHES" NO PUBLIC BEACHES OR PUBLIC BOAT RAMPS UNLESS APPROVED BY THE TOWN COMMISSION AFTER REVIEW OF P&Z BOARD.

I BELIEVE THAT THE DOYLES ARE ENTITLED TO THE QUIET ENJOYMENT OF THEIR HOME WITHOUT MOTOR VEHICLES BEING PARKED OR BOATS BEING LAUNCHED FROM THEIR PRIVATE PROPERTY - AN EASEMENT DOES NOT CONVEY OWNERSHIP RIGHTS.

COPY TO _____

SIGNED: 

If enclosures are not as noted, kindly notify us at once.

PHILIP CARWANA, CBO
TOWN OF SEWALL'S POINT

June 8, 1998

Mr. Donald B. Winer, Mayor
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Certificate of Occupancy

Dear Mayor:

This is in reference to a certified letter Z311236279 we received from Mr. Philip Caruana dated May 22, 1998 regarding violation of zoning code Section XI-(G).

We were surprised to receive such a letter. Mr. Caruana gave us the requirements for the turnaround after the construction was completed. We then directed the Contractor to install the turnaround per Mr. Caruana's request. Mr. Caruana also communicated directly with the Project Manager and gave him the requirements. It was installed according to the specifications. The certificate of occupancy was issued on April 13, 1998. Six weeks later we received the above referenced letter.

We looked at our property two and a half years ago. Prior to purchasing the property, we contacted the building inspector, Mr. Dale Brown, to discuss the requirements to keep our motor home on our property. He told us that the motor home had to be hidden from view. Based on our discussions with the building inspector, we decided to purchase the property. We employed an architect and instructed him to design a coach house that would be aesthetically pleasing.

We presented the plans for a permit. Various modifications were required. All the designated modifications were made and approved. The coach house met the approval of the Town as well as the Health Department.

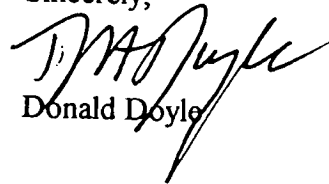
At no time did we request a variance to the project. We made all the modifications which the Building Inspector requested to conform to the code requirements. We understand that the plans were also reviewed by you, Mr. David Millard, the former Mayor, Mr. Vincent Vorrasso, the former Vice Mayor, and Mr. Tim Wright. No issue was ever presented about a turnaround.

Section 4-32 states that a certificate of occupancy may be revoked on the basis that the certificate of occupancy was issued on information that was "deceiving or false, or that the actual construction does not conform to the building plans approved by the building department". None of these conditions applies to this project.

Dayle Ex 8

We would have altered our plans to conform to this requirement, if we were informed at the time the plans were submitted. However, a turnaround for our motor home at this time does not seem physically feasible. We would welcome the opportunity to discuss this further with you. We look forward to an immediate response.

Sincerely,



Donald Doyle

Attachment: 1

cc: Mr. Cyrus Kissling
Mr. Jon E. Chicky, Sr.
Mr. D.C. "BERRY" Glover, III
Mr. Robert M. Wienke
Mr. Tim B. Wright
Mr. Philip Caruana

CERTIFIED MAIL NO. Z462 244 925

DONALD B. WINER
Mayor

CYRUS KISSLING
Vice Mayor

JON E. CHICKY, SR.
Commissioner

D.C. "BERRY" GLOVER, III
Commissioner

ROBERT M. WIENKE
Commissioner

TOWN OF SEWALL'S POINT



JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police

PHILIP CARUANA
Building Official

One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • FAX (561) 220-4765
Police Department (561) 781-3378

May 22, 1998

Mr. and Mrs. Donald A. Doyle
42 South Sewall's Point Road
Sewall's Point, Florida 34996

CERTIFIED MAIL NO. Z 311 236 279

RE: CERTIFICATE OF OCCUPANCY

Dear Mr. and Mrs. Doyle:

It has been determined that the turnaround facility provided at your detached garage is inadequate for your motor home (Section XI-(G) of the Town Zoning Code).

Further, Section 4-32 of the Town Code provides that the Town Commission has the authority to revoke your certificate of occupancy under certain conditions.

I am required to inform you that the Commission will consider taking serious measures to insure that a turnaround adequate for your motor home is provided.

You are hereby given sixty (60) days to comply.

Sincerely,

TOWN OF SEWALL'S POINT

A handwritten signature in black ink, appearing to read "Philip Caruana", written over a horizontal line.

Philip Caruana, Building Official

MASTER CALENDAR

June 16, 1998

Activity _____
Calendar for _____
Routing: TBW
Date Calendar: 6-18-98
By Whom: WJ
Check (s) copied _____

CLIENT'S COPY

Mr. Tim Wright
Warner Fox Seeley
P.O. Drawer 7
Stuart, Florida 34995

Dear Mr. Wright:

Re: Unity of Title-Lot 19 and Parcel "A" Sewall's Point, Florida

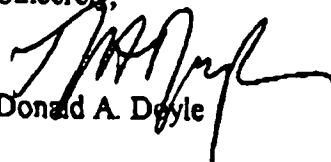
Recently you requested that we unify lot 19 and Parcel "A" in the Palmetto Park Subdivision, Sewall's Point, Florida. We complied with the Town's request.

This is now causing problems. Enclosed is the letter we received from Mr. Graci, attorney for the owners in the Palmetto Park Subdivision.

If Mr. Graci is correct, we will proceed to retract the Unity of Title.

We expect an immediate response.

Sincerely,


Donald A. Doyle

cc: Mr. Leif Graci

CERTIFIED MAIL NO. Z341431584

June 16, 1998

Mr. Leif Grazi
217 East Ocean Boulevard
P.O. Drawer 2846
Stuart, Florida 34995-2846

Re: Gustafson-Palmetto Park Subdivision

Dear Mr. Grazi:

This is in response to your letter of June 1, 1998 regarding the above referenced matter.

We wish to inform you and your clients that we have no intention of changing the use of Parcel "A" to the residents of Palmetto Park Subdivision nor our responsibilities as specified in the Deed Restrictions recorded in 1964. Our decision to execute the Unity of Title was based upon the request of Mr. Tim Wright, the attorney for the Town of Sewall's Point.

Since we received your letter, we have been in touch with the title company and have sent a letter to Mr. Tim Wright in an attempt to rectify this error. We have no problem in retracting or rescinding the Unity of Title.

We apologize for any inconvenience this may have caused our neighbors in Palmetto Park Subdivision. We will keep you informed of the status of our action.

Sincerely,



Donald A. Doyle

cc: Mr. Tim Wright

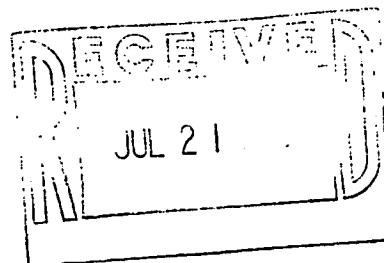
CERTIFIED MAIL NO. Z341431583

Garrick A. Gustafson

86 Fairview Drive, Tequesta, FL 33469
(561) 747-4274 (Phone), (561) 744-3513 (Fax)

July 20, 1998

Mr. Tim Wright
Warner Fox Seeley
P.O. Drawer 7
Stuart, Florida 34995



Dear Mr. Wright:

I have been pursuing what I term is an illegal filing of a Unity of Title for Lots 19 (Mr. Doyle) and A (Mr. Doyle as trustee).

I am in receipt of the attached letter sent to you and written by Mr. Doyle. In the letter Mr. Doyle states that recently you "...requested that we unify lot 19 and Parcel "A" in the Palmetto Park Subdivision, Sewall's Point, Florida. We complied with your request."

Please explain to me in writing why you made such a recommendation.

Second, I am interested in whether you have initiated steps to retract or rescind the Unity of Title filing.

Thanking you in advance for your prompt reply to this letter.

Sincerely,

A handwritten signature in cursive script that reads 'Garrick A. Gustafson'. The signature is fluid and somewhat stylized.

Garrick (Gary) A. Gustafson

CC: Donald M. Winer, Mayor

TO: Code Enforcement Board Members

FROM: Robert Bott, Code Inspector

DATE: 12/14/98

A hearing will be held at the Town Hall on **Wednesday, January 6, 1999** at **4: PM** regarding the Birkfeld and Doyle cases. Please call Joan (287-2455) if you are **unable** to attend.

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
MARIA MENECHHELLA-STEIER

2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887

November 24, 1998

Town of Sewall's Point
Code Enforcement Division
1 South Sewall's Point Road
Sewall's Point, FL 34996

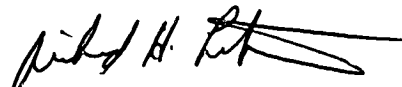
Re: Mr. and Mrs. Donald Doyle

Dear Sir:

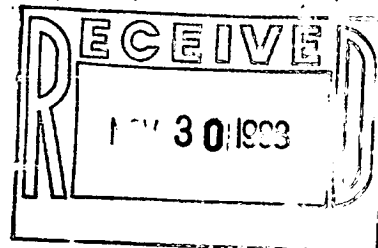
Please be advised that the undersigned attorney and this law firm represent Mr. and Mrs. Donald Doyle, with respect to the two (2) offense citations they have received concerning their "vehicular turn-a-round facility". My clients received the first citation on November 6, 1998, and the second offense was dated November 10, 1998. I am enclosing copies of the two (2) citations for your reference and review.

I am writing to request that a hearing be scheduled with respect to my clients' position concerning these citations at the earliest possible time. Please also furnish the undersigned with any information with respect to the procedures used at the hearing, including any rules, regulations or other information, and the names of the person or persons who will be presiding at such a hearing. I look forward to hearing from you shortly, and your prompt attention and immediate response would be appreciated.

Sincerely yours,


Richard H. Levenstein

RHL/kmt
Enclosures
cc: Mr. and Mrs. Donald Doyle



AFFIDAVIT

STATE OF FLORIDA, COUNTY OF MARTIN, TOWN OF SEWALL'S POINT

In the name of the Town of Sewall's Point, Florida: The undersigned certifies that he/she has just and reasonable grounds to believe, and does believe that:

On the 16th day of December, 1998 at 9: a m., Diana P. and Donald A. Doyle (name of offender)

whose address is 42 South Sewall's Point Road at (location) 42 South Sewall's Point Road

in the Town of Sewall's Point, Florida, committed the following offense(s):

1. residence does not have vehicular turn-a-round facility

2.

In violation of the Town of Sewall's Point Code of Ordinances Section XI.G, or in violation of Section of the Ordinances of the Town of Sewall's Point.

Additional information re: violation(s):

I swear the above and attached statements are true and correct to the best of my knowledge and belief.

Robert A Bott

Sworn to and subscribed before me this 16th day of December 19 98.

Joan H. Barrow Notary Public, State of Florida My Commission Expires:



CODE ENFORCEMENT BOARD

TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical
Provisions of the Code of Ordinances

SECTION 2 - SECOND OFFENSE

Name(s) of offender(s): Diana P. and Donald A. Doyle

Address: 42 South Sewall's Point Road

Date, time, duration of second offense: 11/10/98

Description of second offense: The Doyle residence does not have
appropriate vehicular turn-a-round facility as required by Town
Code.

Action taken by Code Inspector and response of alleged
offender: First notice sent 11/3/98. No response.

Robert A. Bott 11-10-98
Signature of Code Inspector

CODE ENFORCEMENT BOARD

TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical Provisions of the Code of Ordinances

SECTION 1 - FIRST OFFENSE

Name(s) of offender(s): Diana P. and Donald A. Doyle

Address: 42 South Sewall's Point Road

Address where violation was observed if other than above: _____

Violation: Code Section No. XI-(G) (Give description of violation including date, time and duration of violation):

The Doyle residence does not have appropriate vehicular turn-a-round facility as required by Town Code.

Date and time violation brought to attention of offender: _____
4/21/98, letter sent to Doyles by Chief W. C. Kirchner

Action taken by Code Inspector: ~~5/22/98 letter sent to Doyles~~
by Building Inspector Philip Caruana

Response of Offender: Mr. Doyle indicated to Chief Kirchner that the plans for the residence were approved by the building inspector at that time.

Case No. assigned: 98-262

Robert A. Bett
Signature of Code Inspector

received 11/6/98

CODE ENFORCEMENT BOARD

TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical
Provisions of the Code of Ordinances

SECTION 2 - SECOND OFFENSE

Name(s) of offender(s): Diana P. and Donald A. Doyle

Address: 42 South Sewall's Point Road

Date, time, duration of second offense: 11/10/98

Description of second offense: The Doyle residence does not have
appropriate vehicular turn-a-round facility as required by Town
Code.

Action taken by Code Inspector and response of alleged
offender: First notice sent 11/3/98. No response.

Robert A. Bott 11-10-98
Signature of Code Inspector

CODE ENFORCEMENT BOARD

TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical
Provisions of the Code of Ordinances

SECTION 1 = FIRST OFFENSE

Name(s) of offender(s): Diana P. and Donald A. Doyle

Address: 42 South Sewall's Point Road

Address where violation was observed if other than above: _____

Violation: Code Section No. XI-(G) (Give description of violation including date, time and duration of violation):

The Doyle residence does not have appropriate vehicular turn-a-round facility as required by Town Code.

Date and time violation brought to attention of offender: _____

4/21/98, letter sent to Doyles by Chief W. C. Kirchner

Action taken by Code Inspector: 5/22/98 letter sent to Doyles

by Building Inspector Philip Caruana

Response of Offender: Mr. Doyle indicated to Chief Kirchner that the

plans for the residence were approved by the building inspector at that time.

Case No. assigned: 98-262

Robert A. Bott

Signature of Code Inspector

DONALD B. WINER
Mayor

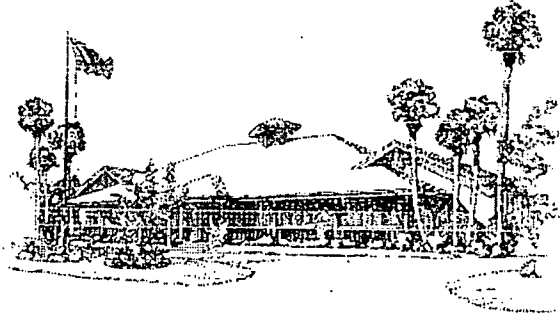
CYRUS KISSLING
Vice Mayor

JON E. CHICKY, SR.
Commissioner

DAWSON C. GLOVER, III
Commissioner

ROBERT M. WIENKE
Commissioner

TOWN OF SEWALL'S POINT



JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police

ROBERT BOTT
Building Official

RICHARD L. MACEY
Building Inspector

JOSE TORRES, JR.
Maintenance

December 17, 1998

Mr. Richard H. Levenstein
Kramer, Sewell, Sopko & Levenstein, P.A.
Post Office Box 2421
Stuart, Florida 34995

Re: Diana P. and Donald A. Doyle

Dear Mr. Levenstein:

A Code Enforcement Board Hearing has been scheduled for Wednesday, January 6, 1999 at 4: PM.
regarding the Doyle case.

Enclosed is a copy of Section 2-101 of the Town Code that addresses Code Enforcement Board
procedures. The members of the Code Enforcement Board are:

Jack Hudson, Chairman

Marc Teplitz

Arlene Farrow

Ella Ford

George Wittman

Ron McCartney, alternate.

The Board's attorney is Gary Sweet.

Please do not hesitate to contact me if you require anything further.

Sincerely,

TOWN OF SEWALL'S POINT

Joan Barrow, Town Clerk



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

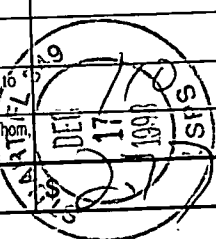
Z 567 081 365

US Postal Service
Receipt for Certified Mail

No Insurance Coverage Provided.
Do not use for International Mail (See reverse)

Sent to	Diana & Donald Doyle
Street & Number	42 S. Sewall's Pt. Rd.
Post Office, State, & ZIP Code	Stuart, FL 34996
Postage	\$32
Certified Fee	135
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	
Postmark or Date	

PS Form 3800, April 1995



BEFORE THE CODE ENFORCEMENT
BOARD OF THE TOWN OF SEWALL'S
POINT, MARTIN COUNTY, FLORIDA

NOTICE OF HEARING

STATE OF FLORIDA, COUNTY OF MARTIN, TOWN OF SEWALL'S POINT

In the name of the Town of Sewall's Point, Florida:

TO: Diana P. and Donald A. Doyle
Name
42 South Sewall's Point Road
Street Address

Town of Sewall's Point, Stuart, Florida 34996

YOU ARE HEREBY NOTIFIED that a hearing will be held before the Code Enforcement Board of the Town of Sewall's Point, Martin County, Florida, at 1 South Sewall's Point Road Sewall's Point, on the 6th day of January, 1999, at 4: P.M., or as soon thereafter as may be heard, to hear the complaint of the Town of Sewall's Point against you as alleged violator of the Town of Sewall's Point Code of Ordinances, as is more particularly described in the copy of the Affidavit attached hereto. You may appear in person, with counsel, should you so desire.

The hearing shall be conducted in accordance with the Rules and Regulations of the Code Enforcement Board, a copy of which is obtainable at the Town Hall, 1 South Sewall's Point Road, Sewall's Point, Florida.

Joan Barrow
Joan Barrow, Town Clerk
Town of Sewall's Point, Florida

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
MARIA MENECHIELLA-STEIER

2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887

DATE: December 28, 1998
TO: Town of Sewall's Point
ATTENTION: Jack Hudson, Chairman
FAX NO.: (561) 220-4765
FROM: Richard H. Levenstein, Esquire
RE: Mr. and Mrs. Donald Doyle
MESSAGE: Correspondence dated December 28, 1998

NUMBER OF PAGES (Including Cover Sheet): 2 pages

If all pages are not received, please call (561) 288-0048.

NOTE

THE INFORMATION CONTAINED IN THIS FACSIMILE IS ATTORNEY PRIVILEGED AND CONFIDENTIAL INFORMATION FOR THE EXPRESS USE OF THE PARTY NAMED ABOVE. IF YOU ARE NOT THE PARTY NAMED ABOVE OR AGENT FOR THE PARTY, YOU ARE HEREBY NOTIFIED THAT ANY USE, DISSEMINATION, DISTRIBUTION OR COPYING OF THIS TRANSMISSION IS STRICTLY PROHIBITED. IF YOU HAVE RECEIVED THIS TRANSMISSION IN ERROR, PLEASE IMMEDIATELY NOTIFY US BY TELEPHONE AT (561) 288-0048 AND RETURN THE ORIGINAL.

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
MARIA MENECHIELLA-STEIER

2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887

December 28, 1998

Jack Hudson, Chairman
Code Enforcement Board
c/o Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

VIA FACSIMILE
(561) 220-4765

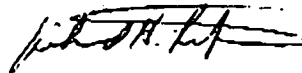
Re: Mr. and Mrs. Donald Doyle

Dear Mr. Hudson:

Please be advised that the undersigned attorney and this law firm represent Diana P. and Donald A. Doyle, with respect to the Town of Sewall's Point's complaint against them for not having a vehicular turn-a-round facility. This matter has been scheduled for hearing on January 6, 1999 at 4:00 p.m. before the Code Enforcement Board, and I am writing to request a postponement of the hearing, due to the fact that I have a previously set hearing in the Palm Beach County Circuit Court before Judge Richard Wennet, which is non-cancelable, and which I must attend. Additionally, more time is required for my clients to prepare for the hearing.

I would also appreciate it if a continuance is acceptable, that the Town Hall contact our law firm in advance of re-scheduling the hearing, to make sure that the date to which it will be rescheduled will be available, so that this problem will not occur again. I am frequently before the courts of several counties of our area, at hearings over which I have no control, and little ability to change, I would appreciate this courtesy, so that this matter involving the Doyles can be promptly heard, at a mutually convenient time for anyone. I have taken the liberty of forwarding a copy of this letter to Gary Sweet, who as you know, is the attorney for the Code Enforcement Board. I would appreciate your prompt response to this communication, and will appreciate any and all courtesies you can extend to me with respect to this request for postponement.

Sincerely yours,


Richard H. Levenstein

RHL/kmt
cc: Mr. and Mrs. Donald Doyle
Gary Sweet, Esquire

Sweet
OK

Mon.
1-25-98
4:00 PM
7:30 PM

1-25 no
2-1 no
2-8 no
Mon.
KAREN 12-28-98
4:00 PM
7:30 PM

TO: All Code Enforcement Board Members & Alternate

FROM: Jack Hudson, Chairman

DATE: 12/30/98

RE: 1/6/99 Code Enforcement Board Hearing

Enclosed are copies of letters from Robert Birkfeld and the attorney for Mr. & Mrs. Donald Doyle requesting the above-referenced hearing be re-scheduled. Tentatively this hearing has been re-set for **Monday, February 8, 1999 at 7:30 PM**. Please call Joan at the Town Hall (287-2455) if you are unavailable on this date.

NOTICE OF PUBLIC HEARING

TOWN OF SEWALL'S POINT CODE ENFORCEMENT BOARD

TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN: You are notified that on Monday, February 8, 1999 at 7:30 PM at the SEWALL'S POINT TOWN HALL, 1 South Sewall's Point Road, Sewall's Point, Florida, a Meeting will be held by the SEWALL'S POINT CODE ENFORCEMENT BOARD for the following purposes:

- (1) Election of new officers
- (2) Hearing on the case of Robert Birkfeld, 9 Mandalay Road
- (3) Hearing on the case of Diana P. and Donald A. Doyle, 42 South Sewall's Point Road

The Public is invited to attend.

NOTE: If a person decides to appeal any decision made by the Code Enforcement Board, with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Jack Hudson, Chairman
Code Enforcement Board
Town of Sewall's Point, Florida

BEFORE THE CODE ENFORCEMENT
BOARD OF THE TOWN OF SEWALL'S
POINT, MARTIN COUNTY, FLORIDA

NOTICE OF HEARING

STATE OF FLORIDA, COUNTY OF MARTIN, TOWN OF SEWALL'S POINT

In the name of the Town of Sewall's Point, Florida:

TO: Diana P. and Donald A. Doyle
Name
42 South Sewall's Point Road
Street Address

Town of Sewall's Point, Stuart, Florida 34996

YOU ARE HEREBY NOTIFIED that a hearing will be held before the Code Enforcement Board of the Town of Sewall's Point, Martin County, Florida, at 1 South Sewall's Point Road Sewall's Point, on the 6th day of January, 1999, at 4: P.M., or as soon thereafter as may be heard, to hear the complaint of the Town of Sewall's Point against you as alleged violator of the Town of Sewall's Point Code of Ordinances, as is more particularly described in the copy of the Affidavit attached hereto. You may appear in person, with counsel, should you so desire.

The hearing shall be conducted in accordance with the Rules and Regulations of the Code Enforcement Board, a copy of which is obtainable at the Town Hall, 1 South Sewall's Point Road, Sewall's Point, Florida.

Joan Barrow
Joan Barrow, Town Clerk
Town of Sewall's Point, Florida

CODE ENFORCEMENT BOARD

TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical Provisions of the Code of Ordinances

SECTION 1 - FIRST OFFENSE

Name(s) of offender(s): Diana P. and Donald A. Doyle

Address: 42 South Sewall's Point Road

Address where violation was observed if other than above: _____

Violation: Code Section No. XI-(G) (Give description of violation including date, time and duration of violation):

The Doyle residence does not have appropriate vehicular turn-a-round facility as required by Town Code.

Date and time violation brought to attention of offender: _____
4/21/98, letter sent to Doyles by Chief W. C. Kirchner

Action taken by Code Inspector: ~~5/22/98 letter sent to Doyles~~
by Building Inspector Philip Caruana

Response of Offender: Mr. Doyle indicated to Chief Kirchner that the plans for the residence were approved by the building inspector at that time.

Case No. assigned: 98-262

Robert A. Bett
Signature of Code Inspector

CODE ENFORCEMENT BOARD

TOWN OF SEWALL'S POINT, FLORIDA

Report of Violation of Technical
Provisions of the Code of Ordinances

SECTION 2 - SECOND OFFENSE

Name(s) of offender(s): Diana P. and Donald A. Doyle

Address: 42 South Sewall's Point Road

Date, time, duration of second offense: 11/10/98

Description of second offense: The Doyle residence does not have
appropriate vehicular turn-a-round facility as required by Town
Code.

Action taken by Code Inspector and response of alleged
offender: First notice sent 11/3/98. No response.

Robert A. Bott

11-10-98

Signature of Code Inspector

BEFORE THE CODE ENFORCEMENT
BOARD OF THE TOWN OF SEWALL'S
POINT, MARTIN COUNTY, FLORIDA

NOTICE OF HEARING

STATE OF FLORIDA, COUNTY OF MARTIN, TOWN OF SEWALL'S POINT

In the name of the Town of Sewall's Point, Florida:

TO: Diana P. and Donald A. Doyle
Name

42 South Sewall's Point Road
Street Address

Town of Sewall's Point, Stuart, Florida 34996

YOU ARE HEREBY NOTIFIED that a hearing will be held before the Code Enforcement Board of the Town of Sewall's Point, Martin County, Florida, at 1 South Sewall's Point Road Sewall's Point, on the 8th day of February, 1999, at 7:30 P.M., or as soon thereafter as may be heard, to hear the complaint of the Town of Sewall's Point against you as alleged violator of the Town of Sewall's Point Code of Ordinances, as is more particularly described in the copy of the Affidavit attached hereto. You may appear in person, with counsel, should you so desire.

The hearing shall be conducted in accordance with the Rules and Regulations of the Code Enforcement Board, a copy of which is obtainable at the Town Hall, 1 South Sewall's Point Road, Sewall's Point, Florida.

Joan Barrow
Joan Barrow, Town Clerk
Town of Sewall's Point, Florida

DONALD B. WINER
Mayor

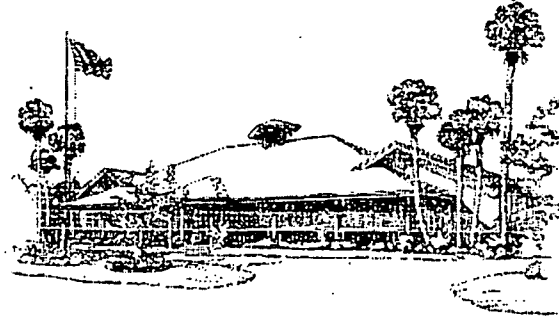
CYRUS KISSLING
Vice Mayor

JON E. CHICKY, SR.
Commissioner

DAWSON C. GLOVER, III
Commissioner

ROBERT M. WIENKE
Commissioner

TOWN OF SEWALL'S POINT



JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police

ROBERT BOTT
Building Official

RICHARD L. MACEY
Building Inspector

JOSE TORRES, JR.
Maintenance

TO: All Code Enforcement Board members, Board Attorney, the public

FROM: Jack Hudson, Chairman

SUBJECT: There will be a meeting of the Code Enforcement Board on Monday, February 8, 1999 at 7:30 PM. The public is invited to attend.

A G E N D A

1. Call to Order & Welcome – Chairman Hudson
2. Election of Chairman
- ~~3. Hearing on case of Robert Birkfeld, 9 Mandalay~~
4. Hearing on case of Diana P., and Donald A. Doyle, 42 South Sewall's Point Road
5. Adjourn

If any person decides to appeal any decision made by the Town Commission with respect to any matter considered at such meeting or hearing he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

Blank
Blog Application Form

WARNER, FOX, SEELEY, DUNGEY & SWEET

DEBORAH B. BEARD
RICHARD J. DUNGEY*
M. LANNING FOX*
GARY L. SWEET
THOMAS E. WARNER**
TIM B. WRIGHT

ROBERT L. SEELEY
AARON A. FOOSANER
OF COUNSEL

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

L.L.P.

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(561) 287-4444
TELEFAX (561) 220-1499

ANTHONY L. CONTICELLO
LOUIS E. LOZEAU, JR.
WILLIAM R. PONSOLDT, JR.
***BETH TEARDO PRINZ
SUSANN WARD

JUPITER (561) 744-8499

***BOARD CERTIFIED WILLS, TRUSTS
& ESTATES LAWYER

To: Gary Sweet
Please sign

February 9, 1999

Joan H. Barrow, Town Clerk
Town of Sewall's Point
1 S. Sewall's Point Road
Sewall's Point, Florida 34996

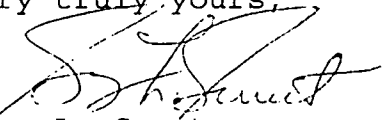
Re: Diana P. and Donald A. Doyle

Dear Ms. Barrow:

Enclosed please find the Order Regarding the Alleged Violation of Turnaround Ordinance XI-(G) in the above referenced matter. Please ask Mr. Hudson to sign the enclosed Order and keep it in the Town records to memorialize the outcome of the hearing. The Order is not to be recorded. Please send a copy to Mr. Levinstein.

If you have any questions regarding the enclosed, please do not hesitate to contact me.

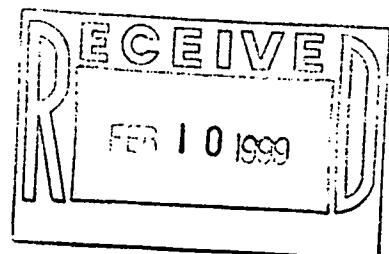
Very truly yours,


Gary L. Sweet

dcs

enclosure

F:\HOME\SUE\TOSP.LTR



BEFORE THE CODE ENFORCEMENT
BOARD OF THE TOWN OF SEWALL'S
POINT, MARTIN COUNTY, FLORIDA

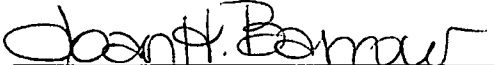
IN RE: DIANA P. AND DONALD A. DOYLE

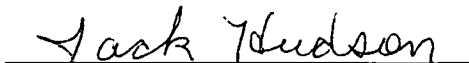
ORDER REGARDING ALLEGED VIOLATION OF TURNAROUND ORDINANCE XI-(G)

THIS MATTER came on before the Town of Sewall's Point Code Enforcement Board for hearing on Monday, February 8, 1999. Having considered the evidence presented on behalf of the Town and on behalf of Mr. and Mrs. Donald A. Doyle, a Motion was duly made, seconded and unanimously passed that due to the approval of the turnaround on the premises at 42 South Sewall's Point Road by the Town building official, there was no violation of Ordinance Section XI-(G).

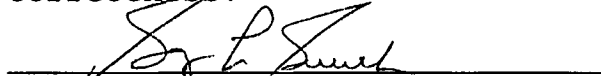
Executed this 11th day of February, 1999.

ATTEST:


JOAN H. BARROW, Town Clerk
Town of Sewall's Point


JACK HUDSON, Chairman
Code Enforcement Board

Approved as to form and
correctness:


Gary L. Sweet
Code Enforcement Board Attorney
Town of Sewall's Point

cc: Mr. Richard Levinstein
F:\HOME\SUE\tosp.order\dcs

VARIANCE

567

The Law Offices of
Douglas K. Sands, P. A.
Attorney - Mediator - Arbitrator

Office Address:
300 Colorado Avenue, Suite 201
Stuart, Florida 34994
Phone (561) 287-3930
(800) 791-5190

Mailing Address:
P.O. Box 287
Stuart, Florida 34995
Fax (561) 287-3931

November 12, 1999



MEMORANDUM

TO: JOAN BARROW, CLERK, TOWN OF SEWALL'S POINT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY 

RE: (1) Approved Minutes of meeting of May 20, 1999
(2) Signed Resolutions 99-06, 99-07, and 99-08 for the Doyle variances
(3) Scheduling of reorganization meeting - January 13, 2000

(1) Enclosed for the Town file is the original approved Minutes of the Board of Zoning Adjustment for May 20, 1999.

(2) Regarding the Doyle variance hearing of November 11, enclosed are original Board Resolutions 99-06, 99-07, and 99-08 Granting each variance as requested. As Clerk, you need to date and sign the last page of each as the date of filing with you as Town Clerk. Please make a copy and forward to Richard  Levenstein, attorney for the Doyles, and to either Bill Ponsoldt  or Tim Wright as attorney for the Town. Then have the originals recorded in the public records of Martin County, and returned to you for permanent filing in the Town records.

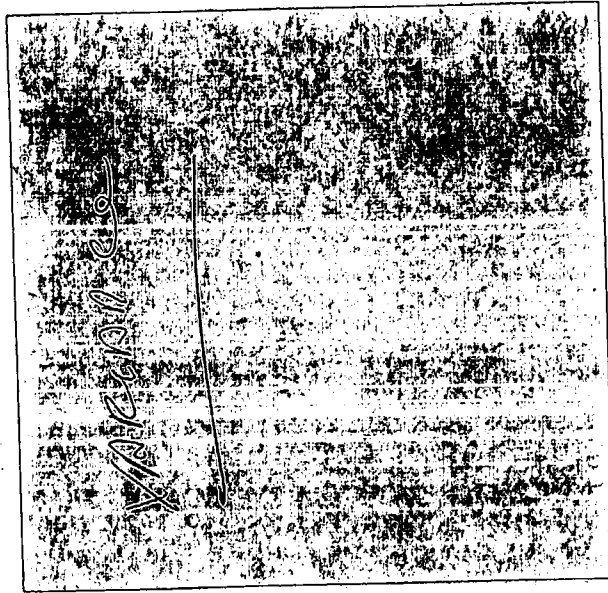
(3) Please reserve Town Hall meeting chambers for Thursday, January 13, 2000, at 7:30 P.M. for the annual reorganization meeting of the Board of Zoning Adjustment. I will prepare and forward an appropriate notice to you for posting on the Town bulletin board.

Thanks.

DKS/sd

Enc.

Copy w/o enc to: Members and Alternates, Board of Zoning Adjustment



TOWN OF SEWALL'S POINT
One South Sewall's Point Road
STUART, FLORIDA 34996

SPEED MEMO

(561) 287-2455
FAX (561) 220-4765

TO COMMISSIONERS

DATE	4/24/98	JOB NO.	
ATTENTION	ROBERT M. WIENKE		
RE:	42 S. SEWALLS POINT ROAD DOYLE RESIDENCE		
ANSWERS TO QUESTIONS CONCERNING LOT 'A'			

① ARTICLE 9. OF THE RECORDED DEED RESTRICTIONS, GRANTS AN EASEMENT TO THE RIVER TO CERTAIN GRANTEEES OF THE PALMETTO PARK SUBDIVISION.


② LOT 19 & LOT A HAVE A UNITY OF TITLE AND PRIVATELY OWNED

③ SEC 10-16 PROHIBITS MOORING, BEACHING OF WATERCRAFT OF ANY KIND UPON PRIVATE PROPERTY WITHIN THE TOWN WITHOUT THE WRITTEN PERMISSION OF THE OWNER OF SUCH PROPERTY.

④ SEC 10-18. USE OF VACANT LOTS UNDER 'J. "PUBLIC BEACHES" NO PUBLIC BEACHES OR PUBLIC BOAT RAMPS UNLESS APPROVED BY THE TOWN COMMISSION AFTER REVIEW OF P&Z BOARD.

I BELIEVE THAT THE DOYLES ARE ENTITLED TO THE QUIET ENJOYMENT OF THEIR HOME WITHOUT MOTOR VEHICLES BEING PARKED OR BOATS BEING LAUNCHED FROM THEIR PRIVATE PROPERTY - AN EASEMENT DOES NOT CONVEY OWNERSHIP RIGHTS.

COPY TO _____

SIGNED: 

If enclosures are not as noted, kindly notify us at once.

PHILIP CARWANA, CBO
TOWN OF SEWALL'S POINT

DONALD B. WINER
Mayor

TOWN OF SEWALL'S POINT

JOAN H. BARROW
Town Clerk

CYRUS KISSLING
Vice Mayor

WILBUR C. KIRCHNER
Chief of Police

JON E. CHICKY, SR.
Commissioner



D.C. "BERRY" GLOVER, III
Commissioner

ROBERT M. WIENKE
Commissioner

One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • FAX (561) 220-4765
Police Department (561) 781-3378

June 18, 1998

Mr. Garrick A. Gustafson
86 Fairview Drive
Tequesta, Florida 33469

Dear Mr. Gustafson:

Mayor Winer asked me to respond to your 6/8/98 letter requesting information about Lot 19 and Lot A of the Palmetto Park subdivision.

A search of town records indicates the following:

- 7/7/94 letter from Vincent A. Vorraso
- 9/3/81 survey re: a garage addition to the White residence
- 7/15/81 survey re: a pool/patio addition to the White residence.

Copies of these documents are enclosed.

You also asked about a legal opinion referred to by Philip Caruana. I can find no record of such a document in the building department's files.

More complete records and information about Lot 19 and Lot A should be on file at the office of the Clerk of Circuit Court for Martin County, Post Office Box 9016, Stuart, Florida 34995.

Please do not hesitate to contact me if you require anything further.

Sincerely,

TOWN OF SEWALL'S POINT

Joan Barrow, Town Clerk

CLIENT'S COPY

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
LINDA M. SKIPPER

2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

MATTER CALENDAR

Activity _____

Calendar for _____

Revised YPAU

Date Calendar set 10-5-99

By Whom me

Client (s) copied _____

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887
e-mail KRASEWSO@gate.Net

October 1, 1999

Tim B. Wright, Esq.
City Attorney
c/o Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996

Leif J. Grazi
GRAZI & GIANINO
217 E. Ocean Boulevard
Stuart, FL 34995-2846

RE: Mr. and Mrs. Donald Doyle/Town of Sewall's Point

Gentlemen:

Enclosed for your files is a fully-executed copy of the Agreement between Donald A. and Diana P. Doyle, Garrick A. Gustafson, and the Town of Sewall's Point, Florida.

Should you have any questions regarding the enclosed, please feel free to contact me.

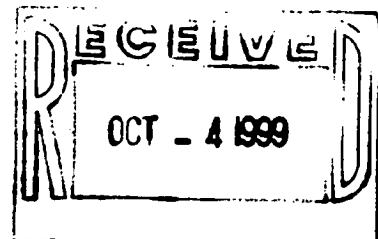
Sincerely,

Linda M. Skipper
For the Firm

LMS:kct
Enclosure

cc: Mr. & Mrs. Donald A. Doyle (w/encl.)

[I:\Richard\doyle\lt-wright&grazi.991001]



MARTIN COUNTY

Activity _____
County for _____
Building *SPW*
Date Collected *10-5-99*
my

AGREEMENT

THIS AGREEMENT by and between and among DONALD A. DOYLE and DIANA P. DOYLE, hereinafter collectively referred to as "Doyle", GARRICK A. GUSTAFSON, hereinafter referred to as "Gustafson", and the Town of Sewall's Point, Florida, a municipal corporation organized under the laws of Florida, hereinafter referred to as "Town".

WHEREAS, Joseph J. Jungwirth, acquired a parcel of land, more particularly described as: Lot 7, on map or plat entitled a "Plat of Arbela", recorded in the offices of the Clerk of the Circuit Court, Dade County, Florida in Plat Book "E", page 283, and the Plat Book 3, Page 29, Palm Beach County, Florida (Now Martin County) said Subdivision of Arbela being part of Lot No. 2, All Lots 3, 4, and 5, Section 1 and fractional Section 12, Township 38 South, Range 41 East, excepting therefrom County Road right of way, lying and being in Martin County, Florida, having entered into a Warranty Deed dated April 13, 1948 that was recorded in Deed Book 38, Page 349, Martin County, Florida, public records; and

WHEREAS, Clarence Jungwirth, son, was appointed as ancillary executor of the estate of J. J. Jungwirth, deceased, as filed and recorded in official Docket 4, Page 161 on January 9, 1957 in Martin County Probate; and

WHEREAS, Clarence Jungwirth, as ancillary executor of the estate of J. J. Jungwirth, deceased, caused the plat known as Palmetto Park to be made and the land subdivided (creating Palmetto Park Subdivision Lots of 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, and 19) as shown in Plat Book 3, page 28, public records of Palm Beach County, Florida, and Plat Book 3, page 66 at Stuart, Martin County, Florida, dated June 11, 1957 and affirmed that said estate was the owner of the land subdivided; and

WHEREAS, a strip of land 40 feet in width, running from Sewall's Point Road to the waters of the Indian River, designated as Lot "A" of Palmetto Park, according to Plat thereof recorded in Plat Book 3, Page 66, public records of Martin County, Florida dated June 11, 1957, was placed in trust, for the use and benefit of those person whom, from time to time, are title holders of record of Lots in said Palmetto Park Subdivision; and

WHEREAS, Clarence Jungwirth, as ancillary executor of the estate of J. J. Jungwirth, deceased, executed restrictive covenants for Palmetto Park granting to all "grantees, heirs, legal representatives, successors or assigns to lots in Palmetto Park . . . easement to Indian River through Lot A, a 40 foot strip to Indian River", according to deed Book 93, page 456, Public Records of Martin County, Florida, dated June 19, 1957 and filed June 24, 1957; and

WHEREAS, Clarence Jungwirth, as ancillary executor of the estate of J. J. Jungwirth, deceased, and H. W. Newsome, as owner of Lot 19 and as trustee, entered into an Executor's Deed, stating that the trustee "will cause the taxes on said property to be paid each year and

will cause said property to be properly maintained” and in the event of the trustee’s “failure to do so . . . a majority of the lot owners in Palmetto Park Subdivision may by written instrument execute with the same formality as a Deed, appoint a successor trustee who shall thereupon have the same rights, powers and duties as though he had originally been the grantee named in the instrument”, dated August 31, 1964, that was recorded in official Records Book 141, Page 526, Martin County, Florida, public records; and

WHEREAS, Dortha A. White, prior owner of Lot 19, sold Lot 19 and at the same time transferred trusteeship of Lot A (referenced as Exhibit “A” which states Lot A to be “a strip of land 40 feet in width, running from Sewall’s Point Road to the waters of the Indian River, . . . , as recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida and states that it is “in trust for the use and benefit of those persons who, from time to time, are title holders of record of lots in said Palmetto Park Subdivision, pursuant to the trust provisions more specifically set forth in Executor’s deed from Clarence Jungwirth, . . . , dated August 31, 1964, filed for record September 17, 1964 and recorded in official Records Book 141, Page 526 public records of Martin County, Florida”) to Doyle, by Warranty Deed, dated January 24, 1996; and

WHEREAS, pursuant to the Town’s request, Doyle filed a Unity of Title, joining Lot 19 and Lot A, dated February 11, 1998 and filed in the official Records Book 1288, Page 2268, Public Records of Martin County, Florida; and

WHEREAS, Gustafson as a resident of Palmetto Park Subdivision, along with other residents of Palmetto Park Subdivision retained attorney, Leif Grazi, to represent any legal rights of access and property interest in Lot A to which they were entitled; and

WHEREAS, Gustafson and other residents of Palmetto Park Subdivision, through their attorney, have accused Doyle of slandering title to Lot “A”, and have threatened to take legal action against Doyle if a retraction or rescission of the Unity of Title is not recorded in the Public Records of Martin County, Florida; and

WHEREAS, Doyle may potentially be found in violation of the Town’s building, zoning, and setback ordinances if the Unity of Title is retracted or rescinded;

WHEREAS, this settlement is the compromise of mutually disputed claims and the consideration given by each party hereunder is made not as an admission of liability, and shall not be construed as such, but is made for the sole purpose of inducing the parties to reach an understanding whereby they may avoid litigation; and

WHEREAS, each party was represented by counsel and do not rely on any inducement, statement or representation of the other except as set forth herein.

NOW, THEREFORE, in consideration of the covenants set forth herein and other good and valuable consideration, receipt of which is hereby acknowledged, it is agreed as follows:

1. Doyle will apply to the Board of Zoning Adjustment for a variance to ensure that all construction on Lot 19 by Doyle, as previously approved by the Town, will not be in violation of any Town building, zoning, or set back ordinances, and will not be considered a violation of same at anytime in the future. The Town will support the variance application of Doyle at the Board of Zoning Adjustment hearing. Gustafson will not oppose the variance application of Doyle at the Board of Zoning Adjustment hearing, or otherwise.
2. Doyle will execute a retraction or rescission of the Unity of Title between Lot 19 and Lot A.
3. The variance along with a legible copy of the required survey shall be simultaneously recorded in the Public Records of Martin County, Florida with the retraction or rescission of the Unity of Title by Town.
4. Town will pay Gustafson Five Hundred Dollars (\$500.00) toward the attorney's fees incurred by Gustafson in this matter.
5. Doyle will pay Gustafson Two Hundred Fifty Dollars (\$250.00) towards the attorney's fees incurred by Gustafson in this matter.
6. All rights created by this Agreement shall be considered to be covenants running with the land, and inure to the benefit of all owners, present and future, of the real property affected by this Agreement.
7. All actions required by the parties hereto shall commence within thirty (30) days from the date of execution of this Agreement, with the exception of the simultaneous recordation of the variance and the retraction or rescission of the Unity of Title in the Public Records of Martin County, Florida, which shall take place within ten (10) days from the date the variances are approved by the Board of Zoning Adjustment.
8. Failure of any party to this Agreement to insist upon the performance of any of its terms and conditions shall not be construed as waiving any term or condition, but this Agreement shall continue and remain in full force and effect.
9. This Agreement shall constitute the entire agreement between the parties, and any prior understanding or representation of any kind proceeding the date of this

Agreement shall not be binding on any party except to the extent incorporated into this Agreement.

10. Any modification of this Agreement or additional obligations assumed by any of the parties in connection with this Agreement shall be binding only if evidenced in writing signed by each party or authorized representative of each party.
11. If for any reason any of the provisions of this Agreement shall be unenforceable or ineffective, all of the other provisions shall also be unenforceable or ineffective.
12. This Agreement shall be construed in accordance with and governed by the laws of the State of Florida. The appropriate venue for any suit or action pertaining to this agreement shall be Martin county, Florida.

IN WITNESS WHEREOF the parties have hereunto set their hands and seals.

Date signed by Town 9/2/99

[Signature]
WITNESS

WITNESS

TOWN OF SEWALL'S POINT

By: [Signature]

Printed Name: JON E. CHICKY

Title MAYOR

Date signed by Doyle 10/1/99

[Signature]
WITNESS

[Signature]
WITNESS

[Signature]
DONALD A. DOYLE

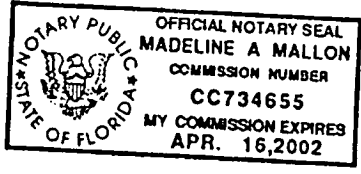
[Signature]
DIANA P. DOYLE

Date signed by Gustafson 9-7-99

[Signature]
WITNESS

Madeline A. Mallon
WITNESS

[Signature]
GARRICK A. GUSTAFSON





INSTR # 1539762 OR BK 1603 PG 2956 REC'D 12/13/2001 08:03 AM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK L WOOD

RESOLUTION NO. 567

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, GRANTING THE APPEAL OF DONALD A. DOYLE AND DIANA P. DOYLE, HIS WIFE, FOR CONSTRUCTION OF A DOCK ON LOT 19, PAUL MEADOW PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 66, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

WHEREAS, Donald A. Doyle and Diana P. Doyle, his wife, ("Applicants") are the owners of the above-described property have applied for a dock permit under the Code; and

WHEREAS, the Town Building Department received, reviewed and denied the Applicant's application for a dock permit to build the dock; and

WHEREAS, the Applicants filed a variance request pursuant to the Town Code; and

WHEREAS, the Town Commission held a public hearing on the variance on November 20, 2001; and

WHEREAS, notice of the public hearing was posted at the Town Hall bulletin board and notice of the public hearing was sent by certified mail, return receipt requested, by the Applicant, to all record owners of upland riparian property located adjacent to the property involved in the variance and the date of the mailing was at least fifteen (15) days before the date of the hearing (or notice was waived by the adjacent owners); and

WHEREAS, the Applicants at the public hearing presented proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons (or their waiver); and

WHEREAS, the Town Commission at the public hearing made the finding that: The

Applicants demonstrated an extreme hardship which justified a variance of the Town Code.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AS FOLLOWS:

1. The Applicants' variance is hereby conditionally granted by the Town Commission of the Town of Sewall's Point, Florida;
2. Applicants shall file with the Town an amended application for a dock permit which expressly excludes Lot A lying adjacent to Applicants' property from the application;
3. This variance is also expressly conditioned on Applicants providing the Town with written confirmation from the State of Florida, Department of Environmental Protection that the DEP Permit granted to Applicants was not based or premised on Applicants' purported ownership of Lot A, adjacent to Applicants' property;
4. The objection from adjacent upland riparian property owners was without merit.
5. This variance is expressly conditioned upon the Applicants reimbursing the Town for all professional expenses of the Town incurred in connection with the application, pursuant to Section 46-31, Town of Sewall's Point Code of Ordinances.
6. The Town Building Department, upon the payment of the appropriate permit application fee and professional fees, shall issue a dock permit for the Applicants to construct the dock in accordance with the plans and specifications review by the Town Commission at the public hearing;
7. This resolution shall not constitute permission or a license, either now or in the future, to conduct any activity other than the construction of the dock as proposed by the Applicants in their permit application. Any material deviation in construction for the dock permit, survey, drawings, plans, or other application materials provided by the Town Building Department by the Applicants, shall revoke the approval granted by this resolution and shall be a violation of the Town of Sewall's Point Code of Ordinances.

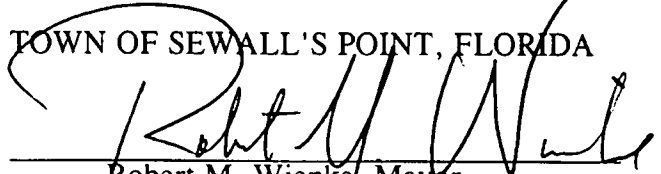
8. This resolution shall be recorded by the Applicant in the Martin County Public Records at the Applicants' expense.

The vote was as follows:

	AYE	NAY
ROBERT M. WIENKE, Mayor	✓	_____
THOMAS P. BAUSCH, Vice Mayor	✓	_____
DAWSON C. GLOVER, III, Commissioner	<i>absent</i>	_____
E. DANIEL MORRIS, Commissioner	✓	_____
MARC S. TEPLITZ, Commissioner	✓	_____

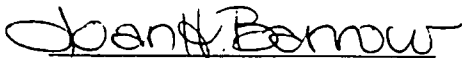
The Mayor thereupon declared this Resolution 567 approved and adopted by the Town Commission of the Town of Sewall's Point on this 20th day of November, 2001.

TOWN OF SEWALL'S POINT, FLORIDA



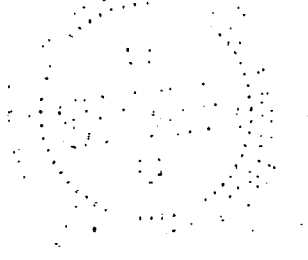
 Robert M. Wienke, Mayor


ATTEST:



 Joan H. Barrow, Town Clerk

(TOWN SEAL)





 Tim B. Wright, Town Attorney
 Approved as to form and
 legal sufficiency

NOTICE OF PUBLIC HEARING

BOARD OF ZONING ADJUSTMENT FOR THE TOWN OF SEWALL'S POINT

TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN:

You are notified that on **Thursday, NOVEMBER 11, 1999 at 7:30 P.M.**, at the **SEWALL'S POINT TOWN HALL**, One South Sewall's Point Road, Sewall's Point, Florida, a Hearing will be held by the **SEWALL'S POINT BOARD OF ZONING ADJUSTMENT** for the following purposes:

1. Hearing on the Application of **DONALD AND DIANA DOYLE**, requesting the granting of **variances** to the following property located at **42 South Sewall's Point Road, Sewall's Point, Florida**:

Lot 19, PALMETTO PARK, according to the Plat thereof, as recorded in Plat Book 3, Page 66, public records of Martin County, Florida.

The variances requested are as follows:

a. As to the existing house structure: a 16.57 foot variance from the twenty (20) foot side setback requirement of Section VI, Paragraph G.2, Appendix B of the Code of Ordinances of the Town of Sewall's Point, Florida, for the existing house structure only, relative to the South lot line. The south wall of the house structure as built is shown as 3.43 feet north of the south lot line on the boundary survey.

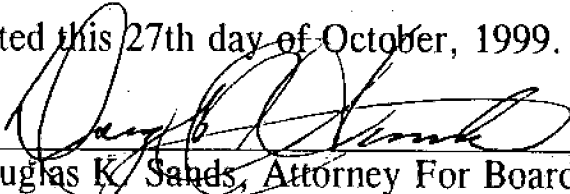
b. As to the existing air conditioning pad adjacent to the south wall of the existing house: a 19.77 foot variance from the twenty (20) foot side setback requirement of Section VI, Paragraph G.2, Appendix B of the Code of Ordinances of the Town of Sewall's Point, Florida, for the existing air conditioning pad only, relative to the South lot line. The existing air conditioning pad as built is shown as 0.23 feet north of the south lot line on the boundary survey.

c. As to the existing garage structure: a 19.67 foot variance from the twenty (20) foot side setback requirement of Section VI, Paragraph G.2, Appendix B of the Code of Ordinances of the Town of Sewall's Point, Florida, for the existing garage structure only, relative to the South lot line. The south wall of the existing garage as built is shown as 0.34 feet north of the south lot line on the boundary survey.

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Florida 34996. The Public is invited to attend.

NOTE: If a person decides to appeal any decision made by the Board of Zoning Adjustment, with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Dated this 27th day of October, 1999.


Douglas K. Sands, Attorney For Board of Zoning Adjustment

AGREEMENT

THIS AGREEMENT by and between and among DONALD A. DOYLE and DIANA P. DOYLE, hereinafter collectively referred to as "Doyle", GARRICK A. GUSTAFSON, hereinafter referred to as "Gustafson", and the Town of Sewall's Point, Florida, a municipal corporation organized under the laws of Florida, hereinafter referred to as "Town".

WHEREAS, Joseph J. Jungwirth, acquired a parcel of land, more particularly described as: Lot 7, on map or plat entitled a "Plat of Arbela", recorded in the offices of the Clerk of the Circuit Court, Dade County, Florida in Plat Book "E", page 283, and the Plat Book 3, Page 29, Palm Beach County, Florida (Now Martin County) said Subdivision of Arbela being part of Lot No. 2, All Lots 3, 4, and 5, Section 1 and fractional Section 12, Township 38 South, Range 41 East, excepting therefrom County Road right of way, lying and being in Martin County, Florida, having entered into a Warranty Deed dated April 13, 1948 that was recorded in Deed Book 38, Page 349, Martin County, Florida, public records; and

WHEREAS, Clarence Jungwirth, son, was appointed as ancillary executor of the estate of J. J. Jungwirth, deceased, as filed and recorded in official Docket 4, Page 161 on January 9, 1957 in Martin County Probate; and

WHEREAS, Clarence Jungwirth, as ancillary executor of the estate of J. J. Jungwirth, deceased, caused the plat known as Palmetto Park to be made and the land subdivided (creating Palmetto Park Subdivision Lots of 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, and 19) as shown in Plat Book 3, page 28, public records of Palm Beach County, Florida, and Plat Book 3, page 66 at Stuart, Martin County, Florida, dated June 11, 1957 and affirmed that said estate was the owner of the land subdivided; and

WHEREAS, a strip of land 40 feet in width, running from Sewall's Point Road to the waters of the Indian River, designated as Lot "A" of Palmetto Park, according to Plat thereof recorded in Plat Book 3, Page 66, public records of Martin County, Florida dated June 11, 1957, was placed in trust, for the use and benefit of those person whom, from time to time, are title holders of record of Lots in said Palmetto Park Subdivision; and

WHEREAS, Clarence Jungwirth, as ancillary executor of the estate of J. J. Jungwirth, deceased, executed restrictive covenants for Palmetto Park granting to all "grantees, heirs, legal representatives, successors or assigns to lots in Palmetto Park . . . easement to Indian River through Lot A, a 40 foot strip to Indian River", according to deed Book 93, page 456, Public Records of Martin County, Florida, dated June 19, 1957 and filed June 24, 1957; and

WHEREAS, Clarence Jungwirth, as ancillary executor of the estate of J. J. Jungwirth, deceased, and H. W. Newsome, as owner of Lot 19 and as trustee, entered into an Executor's Deed, stating that the trustee "will cause the taxes on said property to be paid each year and

will cause said property to be properly maintained” and in the event of the trustee’s “failure to do so . . . a majority of the lot owners in Palmetto Park Subdivision may by written instrument execute with the same formality as a Deed, appoint a successor trustee who shall thereupon have the same rights, powers and duties as though he had originally been the grantee named in the instrument”, dated August 31, 1964, that was recorded in official Records Book 141, Page 526, Martin County, Florida, public records; and

WHEREAS, Dortha A. White, prior owner of Lot 19, sold Lot 19 and at the same time transferred trusteeship of Lot A (referenced as Exhibit “A” which states Lot A to be “a strip of land 40 feet in width, running from Sewall’s Point Road to the waters of the Indian River, . . . , as recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida and states that it is “in trust for the use and benefit of those persons who, from time to time, are title holders of record of lots in said Palmetto Park Subdivision, pursuant to the trust provisions more specifically set forth in Executor’s deed from Clarence Jungwirth, . . . , dated August 31, 1964, filed for record September 17, 1964 and recorded in official Records Book 141, Page 526 public records of Martin County, Florida”) to Doyle, by Warranty Deed, dated January 24, 1996; and

WHEREAS, pursuant to the Town’s request, Doyle filed a Unity of Title, joining Lot 19 and Lot A, dated February 11, 1998 and filed in the official Records Book 1288, Page 2268, Public Records of Martin County, Florida; and

WHEREAS, Gustafson as a resident of Palmetto Park Subdivision, along with other residents of Palmetto Park Subdivision retained attorney, Leif Grazi, to represent any legal rights of access and property interest in Lot A to which they were entitled; and

WHEREAS, Gustafson and other residents of Palmetto Park Subdivision, through their attorney, have accused Doyle of slandering title to Lot “A”, and have threatened to take legal action against Doyle if a retraction or rescission of the Unity of Title is not recorded in the Public Records of Martin County, Florida; and

WHEREAS, Doyle may potentially be found in violation of the Town’s building, zoning, and setback ordinances if the Unity of Title is retracted or rescinded;

WHEREAS, this settlement is the compromise of mutually disputed claims and the consideration given by each party hereunder is made not as an admission of liability, and shall not be construed as such, but is made for the sole purpose of inducing the parties to reach an understanding whereby they may avoid litigation; and

WHEREAS, each party was represented by counsel and do not rely on any inducement, statement or representation of the other except as set forth herein.

NOW, THEREFORE, in consideration of the covenants set forth herein and other good and valuable consideration, receipt of which is hereby acknowledged, it is agreed as follows:

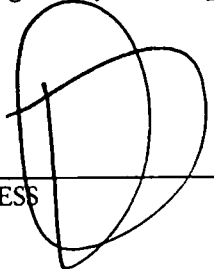
1. Doyle will apply to the Board of Zoning Adjustment for a variance to ensure that all construction on Lot 19 by Doyle, as previously approved by the Town, will not be in violation of any Town building, zoning, or set back ordinances, and will not be considered a violation of same at anytime in the future. The Town will support the variance application of Doyle at the Board of Zoning Adjustment hearing. Gustafson will not oppose the variance application of Doyle at the Board of Zoning Adjustment hearing, or otherwise.
2. Doyle will execute a retraction or rescission of the Unity of Title between Lot 19 and Lot A.
3. The variance along with a legible copy of the required survey shall be simultaneously recorded in the Public Records of Martin County, Florida with the retraction or rescission of the Unity of Title by Town.
4. Town will pay Gustafson Five Hundred Dollars (\$500.00) toward the attorney's fees incurred by Gustafson in this matter.
5. Doyle will pay Gustafson Two Hundred Fifty Dollars (\$250.00) towards the attorney's fees incurred by Gustafson in this matter.
6. All rights created by this Agreement shall be considered to be covenants running with the land, and inure to the benefit of all owners, present and future, of the real property affected by this Agreement.
7. All actions required by the parties hereto shall commence within thirty (30) days from the date of execution of this Agreement, with the exception of the simultaneous recordation of the variance and the retraction or rescission of the Unity of Title in the Public Records of Martin County, Florida, which shall take place within ten (10) days from the date the variances are approved by the Board of Zoning Adjustment.
8. Failure of any party to this Agreement to insist upon the performance of any of its terms and conditions shall not be construed as waiving any term or condition, but this Agreement shall continue and remain in full force and effect.
9. This Agreement shall constitute the entire agreement between the parties, and any prior understanding or representation of any kind proceeding the date of this

Agreement shall not be binding on any party except to the extent incorporated into this Agreement.

10. Any modification of this Agreement or additional obligations assumed by any of the parties in connection with this Agreement shall be binding only if evidenced in writing signed by each party or authorized representative of each party.
11. If for any reason any of the provisions of this Agreement shall be unenforceable or ineffective, all of the other provisions shall also be unenforceable or ineffective.
12. This Agreement shall be construed in accordance with and governed by the laws of the State of Florida. The appropriate venue for any suit or action pertaining to this agreement shall be Martin county, Florida.

IN WITNESS WHEREOF the parties have hereunto set their hands and seals.

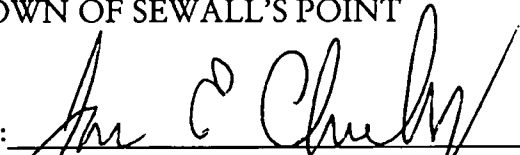
Date signed by Town 9/2/99.



WITNESS

WITNESS

TOWN OF SEWALL'S POINT

By: 

Printed Name: JON E. CHICKY

Title MAYOR

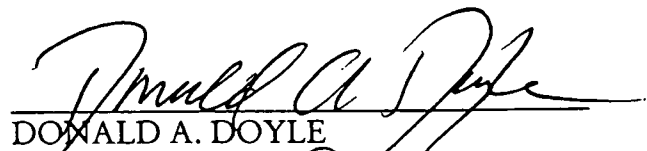
Date signed by Doyle 10/1/99



WITNESS



WITNESS



DONALD A. DOYLE



DIANA P. DOYLE

Date signed by Gustafson 9-7-99

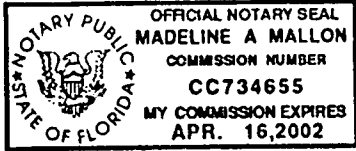
[Signature]

WITNESS

Madeline A. Mallon

WITNESS

[Signature]
GARRICK A. GUSTAFSON



APPENDIX EXHIBIT NO. 1

RECEIVED AUG 12 1999

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
LINDA M. SKIPPER

2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887
e-mail KRASEWSO@gate.Net

August 11, 1999

Tim B. Wright, Esquire
Warner, Fox, Wackeen, Dungey,
Seeley, Sweet & Wright, LLP
P.O. Drawer 6
Stuart, FL 34995-0006

Re: Mr. and Mrs. Donald Doyle

RECEIVED ORIGINAL
As of: 8-21-99
Delivered to: YBW
Date received: 8-12-99
By: mcs
Other: ✓

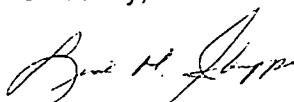
Dear Mr. Wright:

Pursuant to your letter to Richard Levenstein dated July 1, 1999, please find enclosed herein the revised Agreement incorporating the changes that you have requested.

Kindly have your client execute same and return it to me within ten (10) days of the date of this communication. I will then forward it to the remaining parties for their execution.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Linda M. Skipper,
For the Firm

LMS/fms
Enclosure

cc: Mr. and Mrs. Doyle
Leif Grazi, Esquire

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET & WRIGHT, L.L.P.**

DEBORAH B. BEARD
RICHARD J. DUNGEY*
M. LANNING FOX*
GARY L. SWEET
W. THOMAS WACKEEN**
THOMAS E. WARNER**
TIM B. WRIGHT

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(561) 287-4444
TELEFAX (561) 220-1489

ANTHONY L. CONTICELLO
LOUIS E. LOZEAU, JR.
MICHAEL J. McCLUSKEY
WILLIAM R. PONSOLDT, JR.
***BETH TEARDO PRINZ
SUSANN B. WARD

AARON A. FOOSANER
ROBERT L. SEELEY
OF COUNSEL

JUPITER (561) 744-6499

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

***BOARD CERTIFIED WILLS, TRUSTS
& ESTATES LAWYER

August 19, 1999

CLIENT'S COPY

The Honorable Jon E. Chicky, Sr.
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Town of Sewall's Point; Doyle

Dear Mayor Chicky:

Enclosed is the August 11, 1999, letter from Ms. Linda M. Skipper, attorney for Mr. and Mrs. Donald Doyle enclosing a copy of the Agreement to resolve the claims surrounding Mr. and Mrs. Doyle's property. I have reviewed the form of the Agreement and recommend that you sign it and return it to me. The Agreement has incorporated the changes proposed under my letter of July 1, 1999, and is consistent with the approval granted by the Town Commission on March 16, 1999. Please contact me if you have any questions.

Sincerely yours,

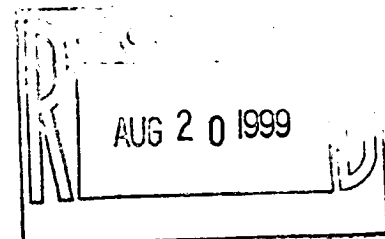
Tim B. Wright

TBW/mcf

Enclosure

cc: Ms. Linda M. Skipper
Mr. Leif Grazi
Vice Mayor Robert M. Wienke
Mrs. Joan H. Barrow ✓

h:\tosp\letters\wienke.0603



APPLICATION TO THE TOWN OF SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

I, Donald and Diana Doyle of 42 South Sewall's Point Road
name of applicant address
Sewall's Point FL 34996
city state zip

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property in Sewall's Point, legally described as:

Lot 19, Block , Subdivision Palmetto Park according to map of Plat Book 3 Page 66, Section , Township South, Range East, of the public records of Martin County, Florida, or property otherwise described by metes and bounds. (Please include current street address) (long legal description may be attached separately.)

42 South Sewall's Point Road, Sewall's Point, FL

for the purpose of obtaining a variance to the setback requirements provided
(indicate the specific section of Zoning Regulations, Zoning Resolution, Zoning Ordinance)

in Section VI.G of the Town of Sewall's Point Code Appendix B - Zoning

Specifically, a twenty (20) foot variance to the side set back
requirements.

Variances

To authorize upon appeal such variance from the terms of the zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted and a public hearing must be held which demonstrates to the satisfaction of the Board of Zoning Adjustment that the following six criteria, as contained in the Code of the Town of Sewall's Point, have been met:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.

2. That the special conditions and circumstances do not result from the actions of the applicant.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district.

4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The Board of Adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered for the issuance of a variance.

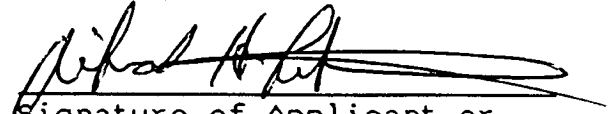
The Town shall post Notice of Public Hearing on the property for which the variance is sought and upon the Town Hall bulletin board at least 15 days prior to the date of the hearing. The Town will also see to the publication of the Notice of Hearing in a newspaper of general circulation printed in Martin County, Florida, at least fifteen (15) days prior to the date of the public hearing. All costs thereby incurred by the Town shall be reimbursed to the Town by the applicant, or charged against the applicant's cost deposit. The Applicant, at his expense, must send Notice to property owners of record within 300 feet of the subject property in accordance with the guidelines attached, to be mailed by certified mail, return receipt requested, no later than FIFTEEN (15) DAYS PRIOR TO THE DATE OF THE HEARING.

CERTIFICATION

The Applicant hereby certifies that the information which he/she has provided on and together with this application is correct and accurate to the best of his/her knowledge and belief. The Applicant also certifies that existing deed restrictions or

covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all orders, resolutions, codes, conditions, rules, regulations and ordinances pertaining to the use of the above-described property will be complied with. The Applicant further certifies that he/she has read all of the above and the Guide to Preparation of Application for Board of Zoning Adjustment and will comply therewith, understanding that failure to do so may result in a denial of the request or administrative dismissal of the application.

Dated this 7th day of October, 1999



Signature of Applicant or
Applicant's Attorney

Richard H. Levenstein, Esq.



Linda M. Skipper, Esq.

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.
2307 SE Monterey Road
Stuart, FL 34996

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
LINDA M. SKIPPER

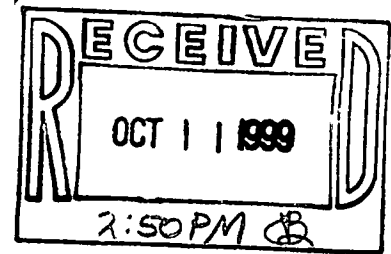
2307 S.E. MONTEREY ROAD
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 392-7887
e-mail KRASEWSO@gate.Net

October 7, 1999

VIA HAND DELIVERY

Ms. Joan Barrow
Town Clerk
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, FL 34996



Re: Donald and Diana Doyle
Application to the Town of Sewall's Point Board of Zoning Adjustment
Our File No.: 4783.01

Dear Ms. Barrow:

Please find enclosed herein an original and nine (9) copies of Mr. and Mrs. Doyle's Application to the Town of Sewall's Point Board of Zoning Adjustment and a check made payable to the Town of Sewall's Point in the amount of One Thousand Seventy Five Dollars (\$1,075.00).

Should you need any additional information to process this Application, please contact the undersigned.

Sincerely,

A handwritten signature in cursive script that reads "Linda M. Skipper".

Linda M. Skipper,
For the Firm

LMS/fms
Enclosures

cc: Mr. and Mrs. Donald Doyle

20052299

Universal Land Title, Inc.

WARRANTY DEED
INDIVIDUAL TO INDIVIDUAL

This Instrument Prepared by:
DYONNIA C. BEEGLE
789 S. Federal Highway Suite 212
Stuart, Florida 34994
(407) 286-0646 FAX (407) 288-3524
for the purposes of title insurance.

Property Appraisers Parcel I.D. (Folio) Number(s):
01-38-41-010-000-0019-00

Grantee(s) S.S.#(s):

206510
MARSHA STILLER
MARTIN COUNTY
CLERK OF CIRCUIT COURT
BY *lh* D.C.

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made the 24TH day of JANUARY A.D. 19 96 by
DOROTHEA A. WHITE, A SINGLE WOMAN

hereinafter called the grantor, to DONALD A. DOYLE and DIANA P. DOYLE, his wife

whose postoffice address is 3801 RIVIERA DRIVE, CORAL GABLES, FL 33134

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

WITNESSETH: That the grantor, for an in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin County, Florida, viz:

Lot 19, PALMETTO PARK, according to the Plat thereof, as recorded in Plat Book 3, Page 66, public records of Martin County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple, that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1995, restrictions, reservations, covenants and easements of record, if any.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

RECORDED & VERIFIED BY *lh* D.C.

95 JAN 25 PM 2:16

MARSHA STILLER
CLERK OF CIRCUIT COURT
MARTIN CO., FL

01156005

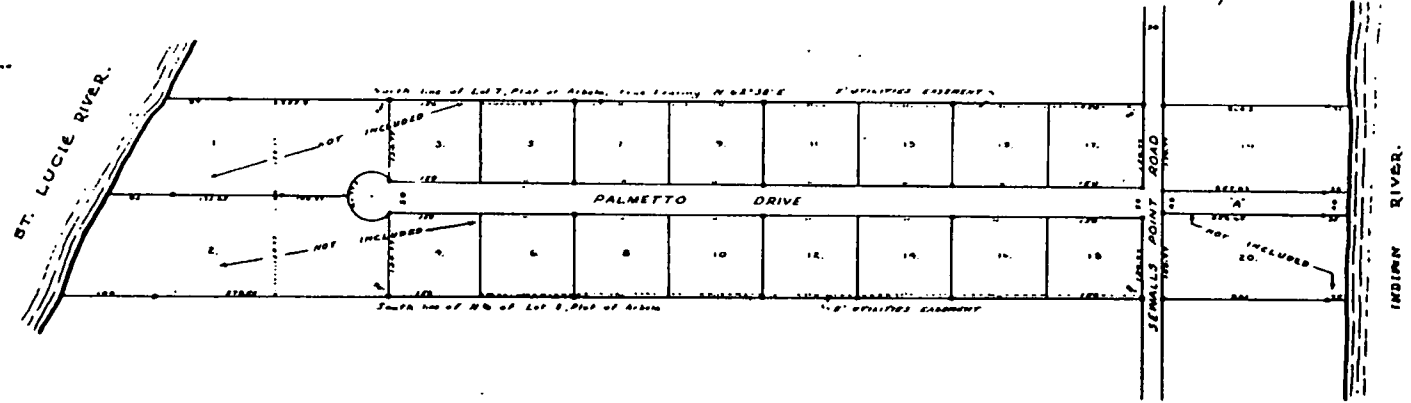
PALMETTO PARK

MARTIN COUNTY, FLORIDA. — SEC. 12, T 38 S, R 41 E.

A SUBDIVISION OF LOT 7, AND THE NORTHERLY HALF OF LOT 8, PLAT OF ARBELA, FILED AUG. 22, 1919,
PLAT BOOK 3, PAGE 29, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SCALE 1" = 100

STAFFORD & BROCK
LAND SURVEYING
ENGINEERS
STUART, FLORIDA



This plat filed for record this
11th day of June, 1957,
in Plat Book 3, page 66,
at Stuart, Martin County, Florida.
Paul R. Biss
COUNTY CLERK
FILE NO. 57878

APPROVED —
JUNE 11, 1957
BOARD OF COUNTY
COMMISSIONERS
James H. Wilson
Chairman

DEDICATION
STATE OF FLORIDA § 5
COUNTY OF MARTIN

Know all men by these presents that Clarence Junquith as auxiliary executor of the estate of J. J. Junquith, deceased, has caused the attached plat to be made and the land subdivided as shown hereon; and hereby affirms that said estate is the owner of the land subdivided, and hereby dedicates to the perpetual use of the public, the roads shown hereon.

In witness whereof I have hereunto set my hand and seal, this 21st day of June, 1957.

Clarence Junquith

Signed and sealed in the presence of

A. J. Connors
Roderic Hymnisk

ACKNOWLEDGEMENT
STATE OF Illinois § 5
COUNTY OF LaSalle

Before me this day personally appeared Clarence Junquith as auxiliary executor of the estate of J. J. Junquith, deceased and who is to me well known to be the executor at the foregoing instrument, and who acknowledged to, and before me, that the same was executed for the uses and purposes herein expressed.

Witness my hand and official seal at Carleton, LaSalle County, Illinois this 21st day of June, 1957.

Amie R. Clark
NOTARY PUBLIC

My commission expires July 2nd 1960

CERTIFICATE
STATE OF FLORIDA § 5
COUNTY OF MARTIN

I hereby certify that these surveyed, and platted, the tract of land shown hereon, and that this plat is a true and correct representation thereof, to the best of my knowledge and belief, and that permanent reference monuments have been placed as prescribed by law.

Paul R. Biss
COUNTY CLERK

Subscribed and sworn to before me this 11th day of June, 1957, at Stuart, Florida.

W. H. Biss
NOTARY PUBLIC

My commission expires Oct 21st 1960

420

*Donald A. Doyle and
Diana P. Doyle
42 South Sewall's Point Road
Sewall's Point, Florida*

STATEMENT OF BENEFITS

Mr. and Mrs. Donald Doyle are the owners of Lot 19 in Palmetto Park subdivision of Sewall's Point, Florida with the street address of 42 South Sewall's Point Road, Stuart, Florida 34996. They are requesting a variance to the side yard setback requirements provided in Section VI.G of the Town of Sewall's Point Code Appendix B-Zoning. Specifically, they are requesting that a twenty (20) foot variance be granted. When Mr. and Mrs. Doyle purchased their lot they were also conveyed Parcel "A" of the subdivision, as trustees for the other owners of the subdivision, and for the benefit of other owners in Palmetto Park who have the right to use Parcel "A" for ingress and egress and access to the Indian River. This Trust was created by an Executor's Deed dated August 31, 1964 between Clarence Jugwirth and H.W. Newsome, the first trustee.

Apparently, when Mr. and Mrs. Doyle applied for the construction permit for their home, it was granted, and only after construction was substantially completed, were they asked by the City of Sewall's Point through its attorney, Tim B. Wright, to prepare and file a Unity of Title, unifying their title to Lot 19 and Parcel "A". By unifying the property, the twenty (20) foot side setback requirements would be met. The Unity of Title was recorded in February of 1998.

Since the filing of the Unity of Title and completion of the improvements to Lot 19, Mr. and Mrs. Doyle received correspondence from an attorney acting for various homeowners in the Palmetto Park subdivision, questioning the Unity of Title, and in effect accusing Mr. and Mrs. Doyle of slandering title to Parcel "A" of the Palmetto Park subdivision, and demanding that the Unity of Title be rescinded. One owner in particular, Garick A. Gustafson, appears to be the spokesperson for the other owners. However, if the Unity of Title is rescinded Lot 19 would be in violation of the Town of Sewall's Point side setback requirements, as the improvements on the lot are built to the property line.

Since the City of Sewall's Point requested that the Unity of Title be filed after approvals had been granted to Mr. and Mrs. Doyle to construct the improvements, and after Mr. and Mrs. Doyle were substantially finished with the construction of these improvements, the City of Sewall's Point, Mr. and Mrs. Doyle and Mr. Gustafson entered into an Agreement wherein Mr. and Mrs. Doyle would apply to the Board of Zoning Adjustment for a variance to ensure that all construction on Lot 19, as previously approved by the Town, would not be in violation of any Town building, zoning, or setback requirements. In this Agreement, the Town agreed that it would support the variance application. If the variance is granted, then Mr. and Mrs. Doyle will rescind the Unity of Title.

Although Mr. and Mrs. Doyle will not have the required twenty (20) foot setbacks if they rescind the Unity of Title, it will appear that they have the proper setback requirements as Parcel "A" may not be built upon. Thus, the granting of the variance will not affect the appearance of the property and will be in harmony with the general intent and purpose of the ordinance. Further, the granting of the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

ATTORNEYS' TITLE SERVICES, INC.
Treasure Coast Branch
590 NW Peacock Blvd.
Port St. Lucie, FL 34986
(561) 879-1770

SPECIAL CERTIFICATE No.: 42-99-2458

FOR: Kramer, Sewell, Sopko & Levenstein

We hereby certify that a search has been made of the 1998 Tax Roll of Martin County, Florida, regarding a 300 foot area surrounding a parcel of land being described as follows:

Lot 19, PALMETTO PARK, according to the map or plat thereof as recorded in Plat Book 3, Page 66, Public Records of Martin County, Florida.

And we find that the APPARENT Titleholders of land within a 300-foot perimeter of the subject property to be as listed below:

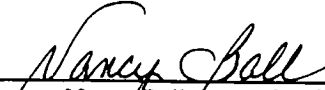
1. Erb, Marie C. (Tr)
45 S. Sewall's Point Road
Stuart, FL 34996
2. Elder, Robert J. & Mary W.
4 Emarita Way
Stuart, FL 34996
3. Hemmers, Paul H. & Anne
4 Palmetto Drive
Stuart, FL 34996
4. Duryea, Carole
3 Palmetto Drive
Stuart, FL 34996
5. Bortle, Nancy R.
2 Palmetto Drive
Stuart, FL 34996
6. Bowman, John Warren, Jr.
1 Palmetto Drive
Stuart, FL 34996

7. Reed, James R. & Dorothy
44 Sewall's Point Road
Stuart, FL 34996-6641
 8. Martek, Harold F., Jr. & Lynn H.
46 S. Sewall's Point Road
Stuart, FL 34996
 9. Cairns, John S. (Tr)
34 S. Sewall's Point Road
Stuart, FL 34996
 10. Chatila, Virginia J.
P. O. Box 8269
Jamaica, NY 11482-0001
 11. Allen, Richard E. (Tr)
C/O Allen Investments
2400 S. Federal Hwy., Suite 330
Stuart, FL 34994
 12. Coen, Brian T. & Joanne M.
1879 SW Crane Creek Ave
Palm City, FL 34990
 13. Bailey, Charles W. & Kathryn A.
717 US Highway 1, Apt. #507
Jupiter, FL 33477
 14. Schnell, Scott A. & Beth E.
McClaim, George E.
107 S. Hillcrest
Sewall's Point, FL 34996
 15. Kennedy, Robert C.
Raiano-Kennedy, Joanne M.
109 Hillcrest Court
Stuart, FL 34996
-

This Title Search is prepared and furnished for information only. Maximum liability for incorrect information is \$1000 under Sec. 627.7843, F.S.

THE FOREGOING INFORMATION IS CERTIFIED AS OF THE 1998 TAX ROLL.

IN WITNESS WHEREOF, Attorneys' Title Insurance, Inc. has caused these presents to be signed in its name, by its duly Authorized representative this 20th day of August, 1999.


Nancy Ball *SMB*



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

NOV 14 2003

CERTIFIED MAIL

RETURN RECEIPT REQUESTED 7000 0600 0022 8538 1082

Donald and Diana Doyle
42 South Sewall's Point Road
Sewall's Point, FL 34996

Dear Mr. and Mrs. Doyle:

Enclosed is Standard General Permit Number 43-0176035-001, issued pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code.

Appeal rights for you as the permittee and for any affected third party are described in the text of the permit along with conditions which must be met when permitted activities are undertaken. Please review this document carefully to ensure compliance with both the general and specific conditions contained herein. As the permittee, you are responsible for compliance with these conditions. **Please ensure that all construction personnel associated with your activity review and understand the approved drawings and conditions.** Failure to comply with this permit may result in liability for damages and restoration, and the imposition of civil penalties up to \$10,000 per violation per day, pursuant to Sections 403.141 and 403.161, F.S.

In addition, please ensure the construction commencement notice and all other reporting conditions are forwarded to the appropriate office as indicated in the specific conditions.

If you have any questions about this document, please contact me at the phone number listed above.

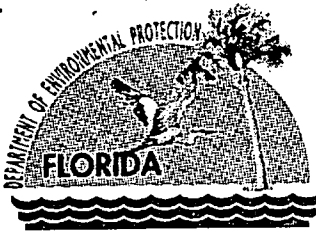
Sincerely,

Darryl DeLeeuw
Environmental Specialist
Submerged Lands and Environmental Resources Program

Enclosure

"More Protection, Less Process"

Printed on recycled paper.



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

CONSOLIDATED ENVIRONMENTAL RESOURCE PERMIT AND SOVEREIGN SUBMERGED LANDS AUTHORIZATION

PERMITTEE/AUTHORIZED ENTITY:

Donald and Diana Doyle
42 South Sewall's Point Road
Sewall's Point, FL 34996

Permit/Authorization No.: 43-0176035-001
Date of Issue: November 14, 2000
Date of Expiration: November 14, 2005
County: Martin
Project: Single Family Dock

This permit is issued under the authority of Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code (F.A.C.). The activity is not exempt from the requirement to obtain an Environmental Resource Permit. Pursuant to Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C., the Department is responsible for reviewing and taking final agency action on this activity.

ACTIVITY DESCRIPTION:

The purpose of the project is to construct a 1,920 square foot private single-family dock with a 480' x 4' access pier, and one wet-slip with an associated boatlift.

ACTIVITY LOCATION:

The project is located in the Jensen Beach to Jupiter Inlet Aquatic Preserve, O.F.W. (Class III waters of the state), at 42 South Sewall's Point Road, Sewall's Point, Martin County, FL.

This permit also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Management Act.

This permit also constitutes certification of compliance with water quality standards under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

This activity also requires a proprietary authorization, as the activity is located on sovereign submerged lands owned by the Board of Trustees of the Internal Improvement Trust Fund, pursuant to Article X, Section 11 of the Florida Constitution, and Sections 253.002 and 253.77, F.S. The activity is not exempt from the need to obtain a proprietary authorization. The Department has the responsibility to review and take final action on this request for proprietary authorization in accordance with Section 18-21.0051, and the Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C. In addition to the above, this proprietary authorization has been reviewed in accordance with Chapter 253 and Chapter 258, F.S., Chapter 18-20, Chapter 18-21, Section 62-343.075, F.A.C., and the policies of the Board of Trustees.

"More Protection, Less Process"

Printed on recycled paper.

As staff to the Board of Trustees, the Department has reviewed the activity described above, and has determined that the activity qualifies for a consent to use sovereign, submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein. Therefore, consent is hereby granted, pursuant to Chapter 253.77, F.S., to perform the activity on the specified sovereign submerged lands.

SPGP REVIEW - AUTHORIZATION GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) General conditions apply to your project, as attached. **No further permitting for this activity is required by the Corps.** The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.

You are hereby advised that authorizations may also be required by other federal, state, and local entities. This authorization does not relieve you from the requirements to obtain all other required permits and authorizations.

The above named permittee is hereby authorized to construct the work shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the Department and made a part hereof. **This permit and authorization to use sovereign submerged lands is subject to the limits, conditions, and locations of work shown in the attached drawings, and is also subject to the attached [19]General Conditions, [12] General Consent Conditions, and [11] Specific Conditions, which are a binding part of this permit and authorization.** You are advised to read and understand these drawings and conditions prior to commencing the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings. If you are utilizing a contractor, the contractor also should read and understand these drawings and conditions prior to commencing the authorized activities. Failure to comply with all drawings and conditions shall constitute grounds for revocation of the permit and appropriate enforcement action.

Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and with the general and specific conditions of this permit/certification/authorization, as specifically described below.

GENERAL CONDITIONS:

(1) All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.

(2) This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by the Department staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

(3) Activities approved by this permit shall be conducted in a manner which does not cause violations of state water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of state water quality standards. Temporary erosion control shall be

implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

(4) The permittee shall notify the Department of the anticipated construction start date within 30 days of the date that this permit is issued. **At least 48 hours prior to commencement** of activity authorized by this permit, the permittee shall submit to the Department an "Environmental Resource Permit Construction Commencement" notice (Form No. 62-343.900(3), F.A.C.) indicating the actual start date and the expected completion date.

(5) When the duration of construction will exceed one year, the permittee shall submit construction status reports to the Department on an annual basis utilizing an "Annual Status Report Form" (Form No. 62-343.900(4), F.A.C.). Status Report Forms shall be submitted the following June of each year.

(6) **Within 30 days after completion of construction** of the permitted activity, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, utilizing the supplied "Environmental Resource Permit As-Built Certification by a Registered Professional" (Form No. 62-343.900(5), F.A.C.). The statement of completion and certification shall be based on on-site observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the Department that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor.

(7) The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, has **submitted a "Request for Transfer of Environmental Resource Permit Construction Phase to Operation Phase"** (Form No. 62-343.900(7), F.A.C.); the Department determines the system to be in compliance with the permitted plans and specifications; and the entity approved by the Department in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications Within the South Florida Water Management District - August 1995, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the Department, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 62-343.110(1)(d), F.A.C., the permittee shall be liable for compliance with the terms of the permit.

(8) Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.

(9) For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the Department along with any other final operation and maintenance documents required by sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications Within the South Florida Water Management District - August 1995, prior to lot or unit sales or prior to the completion of the system, whichever occurs first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State where

appropriate. For those systems which are proposed to be maintained by the county or municipal entities, final operation and maintenance documents must be received by the Department when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.

(10) Should any other regulatory agency require changes to the permitted system, the permittee shall notify the Department in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.

(11) This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C.

(12) The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

(13) The permittee is advised that the rules of the South Florida Water Management District require the permittee to obtain a water use permit from the South Florida Water Management District prior to construction dewatering, unless the work qualifies for a general permit pursuant to subsection 40E-20.302(4), F.A.C., also known as the "No Notice" rule.

(14) The permittee shall hold and save the Department harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.

(15) Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under section 373.421(2), F.S., provides otherwise.

(16) The permittee shall notify the Department in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of section 62-343.130, F.A.C. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.

(17) Upon reasonable notice to the permittee, Department authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.

(18) If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate Department office.

(19) The permittee shall immediately notify the Department in writing of any previously submitted information that is later discovered to be inaccurate.

GENERAL CONSENT CONDITIONS:

(1) No activities other than those set forth in this permit are authorized. Any additional activities on state-owned sovereignty submerged lands must receive further consent from the Governor and Cabinet, sitting as the Board of Trustees of the Internal Improvement Trust Fund (hereinafter the "Board") or their properly designated agent.

(2) Grantee agrees that all title and interest to all lands lying below the historical mean high water line or ordinary high water line are vested in the Board, and shall make no claim of title or interest in said lands by reason of the occupancy or use thereof.

(3) Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances or illegal operations of any kind on the premises.

(4) Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time.

(5) Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent.

(6) No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board to enforce the same in the event of subsequent breach.

(7) Grantee binds itself and its successors and assigns to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have thirty (30) days in which to correct the violation. Failure to correct the violations within this period shall result in the automatic revocation of this Letter of Consent.

(8) All costs, including attorneys' fees, incurred by the Board in enforcing the terms and conditions of this consent shall be paid by the Grantee. Grantee agrees to accept service by certified mail of any notice required by Chapter 18-14, Florida Administrative Code, at the address shown on page one of this Agreement and further agrees to notify the Board in writing of any change of address at least ten days before the change becomes effective.

(9) Grantee agrees to assume responsibility for all liabilities that accrue to the sovereignty submerged land or to the improvements thereon, including any and all drainage or special assessments or taxes of every kind and description which are now or may be hereafter lawfully assessed and levied against the property during the effective period of this consent.

(10) Grantee agrees that any dispute arising from matters relating to this consent shall be governed by the laws of Florida and initiated only in Leon County, Florida.

(11) The Letter of Consent associated with these General Consent Conditions as well as these conditions themselves are subject to modification after 5 years in order to reflect any applicable changes in statutes, rule or policies of the Board or its designated agent.

(12) In the event that any part of the structure(s) consented to herein is determined by a final adjudication issued by a court of competent jurisdiction to encroach on or interfere with adjacent riparian rights, Grantee agrees to either obtain written consent for the offending structure from the affected riparian owner or to remove the interference or encroachment within 60 days from the date of the adjudication. Failure to comply shall constitute a material breach of this consent and shall be grounds for its immediate termination.

SPECIFIC CONDITIONS:

(1) At least 48 hours prior to the commencement of the work authorized by this permit, the permittee shall provide written notification of the commencement of construction (Form No. 62-343.900(3), F.A.C. - enclosed) to the Department of Environmental Protection (Bureau of Submerged Lands and Environmental Resources, Southeast Branch Office at 1801 SE Hillmoor Drive, Suite C-204, Port St. Lucie, FL 34952. All required monitoring reports and post construction noticing shall be sent to the Port St. Lucie Branch Office.

(2) Prior to commencement of construction the permittee shall field stake the corners of the terminal platform and mooring areas and contact the Southeast District Branch Office for a pre-construction meeting.

(3) Best management practices for erosion control shall be implemented and maintained at all times during construction to prevent siltation and turbid discharges in excess of state water quality standards pursuant to Rule 62-302, F.A.C. Methods shall include, but are not limited to the use of staked hay bales, staked filter cloth, sodding, seeding, and mulching; staged construction; and the installation of turbidity screens around the immediate project site. The permittee shall be responsible for ensuring that erosion control devices/procedures are inspected and maintained daily during all phases of construction authorized by this permit until all areas that were disturbed

during construction are sufficiently stabilized to prevent erosion, siltation, and turbid discharges. The following measures shall be taken immediately by the permittee whenever turbidity levels within waters of the state surrounding the project site, exceed 0 NTUs above background.

- a. Immediately cease all work contributing to the water quality violation.
 - b. Stabilize all exposed soils contributing to the violation. Modify the work procedures that were responsible for the violation and install more turbidity containment devices and repair any non-functioning turbidity containment devices.
 - c. Notify the Southeast District Branch Office within 24 hours of the time the violation is first detected. Construction shall cease until a response has been received from the Department regarding the water quality violation.
- (4) All vessels docked at this structure shall moor only within the approved mooring area and shall be limited to a maximum of one vessel at any time. All vessels shall maintain a minimum of one foot of clearance between the deepest draft of the vessel(s) and the top of submerged resources. **Vessels utilizing this structure shall have a maximum draft of twenty (18) inches with the motor in the down position.**
 - (5) No liveboards are permitted at this facility.
 - (6) All storage or stockpiling of tools or materials (i.e. lumber, pilings, etc.) shall be limited to uplands or within the impact areas authorized by this project.
 - (7) All work vessels associated with the dock construction shall maintain a minimum of one (1) foot clearance between the deepest draft of the vessel and the top of submerged resources.
 - (8) The project drawings, sheets 1 through 5; the three page Manatee Exhibit; and DEP forms 62-343.900(3), (4), (5) and (7) are attached and become part of this permit.
 - (9) If historical or archaeological artifacts, such as, but not limited to, Indian canoes, arrow heads, pottery or physical remains, are discovered at any time within the project site the permittee shall immediately stop all activities which disturb the soil and contact the Bureau of Historic Preservation, Division of Historical Resources, R.A. Gray Building, 500 South Bronough, Tallahassee, FL 32399-0250.
 - (10) Within 10 days of completion of dock construction the permittee shall install and maintain night time reflective devices at four (4) corners of the terminal platform.
 - (11) The permittee shall comply with the Attachment C- Criteria For Single Family Docks Located Within an Aquatic Preserve.

RIGHTS OF AFFECTED PARTIES

This permit and consent to use sovereign submerged lands is hereby granted. This action is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this action automatically becomes only proposed agency action on the application, subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because an administrative hearing may result in the reversal or substantial modification of this action, the applicant is advised

not to commence construction or other activities until the deadlines noted below for filing a petition for an administrative hearing or request for an extension of time have expired.

Mediation is not available.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. If a request is filed late, the Department may still grant it upon a motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rules 28-106.111(2) and 62-110.106(3)(a)(4), petitions for an administrative hearing by the applicant must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under section 120.60(3) of the Florida Statutes must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. Under section 120.60(3) of the Florida Statutes, however, any person who has asked the Department for notice of agency action may file a petition within 14 days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under sections 120.569 and 120.57 of the Florida Statutes.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action; and

Permittee: Donald and Diana Doyle
File No.: 43-0176035-001
Page 8

- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

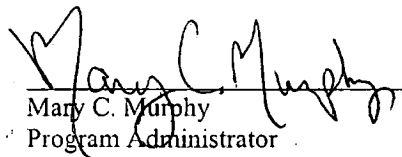
A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing must be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

This permit constitutes an order of the Department. Subject to the provisions of paragraph 120.68(7)(a) of the Florida Statutes, which may require a remand for an administrative hearing, the applicant has the right to seek judicial review of the order under section 120.68 of the Florida Statutes, by the filing of a notice of appeal under rule 9.110 of the Florida Rules of Appellate Procedure with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida, 32399-3000; and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice of appeal must be filed within 30 days from the date when the order is filed with the Clerk of the Department.

Executed in Port St. Lucie, Florida.

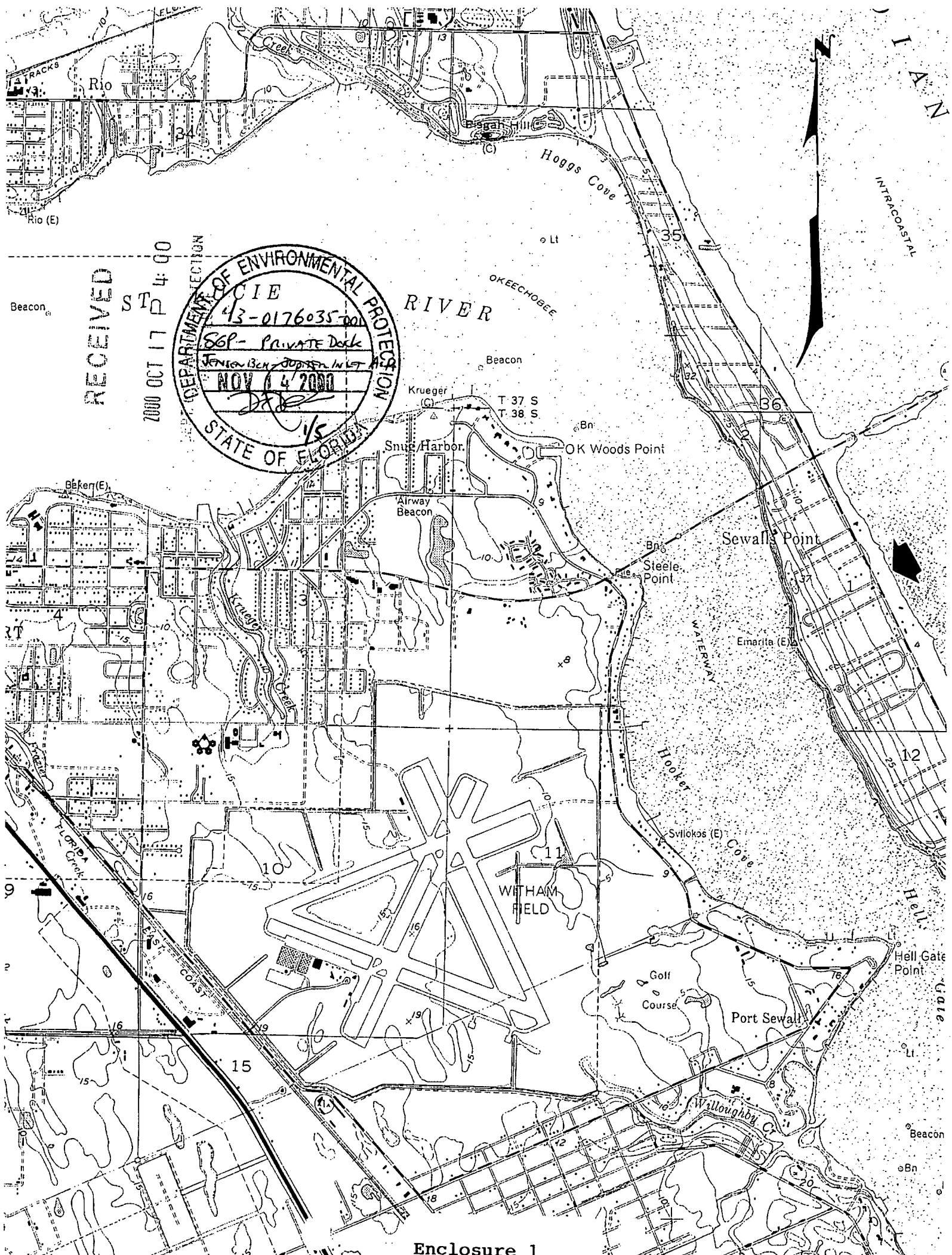
STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION


Mary C. Murphy Date 11/14/00
Program Administrator
Submerged Lands & Environmental Resources Program

MCM/DD

Enclosures: Permit Drawings
Manatee Exhibit
DEP forms 62-343.900(3), (4), (5) and (7)
Attachment C- Criteria For Single Family Docks Located Within an Aquatic Preserve

Copies furnished to: U. S. Army Corps of Engineers
DEP, Office of General Counsel
Department of Community Affairs
FFWCC, Bureau of Protected Species Management
Donald A. Wisdom, Wisdom Associates, Inc. (agent)



RECEIVED

ST 4:00
2000 OCT 17 11:00

DEPARTMENT OF ENVIRONMENTAL PROTECTION
STATE OF FLORIDA
CIE
43-0176035-001
SGP - PRIVATE DOCK
JENSEN BEACH JOPPER INLET AREA
NOV 14 2000
DAR



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(561) 398-2806

David B. Struhs
Secretary


DEC 07 2001
Donald and Diana Doyle
42 South Sewall's Point Road
Sewall's Point, FL 34996

RE: Clarification of Project Location and Permit # 43-0176035-001

Dear Mr. and Mrs. Doyle:

The Department has reviewed the revised deeds and Revised survey of Lots 19 and A on South Sewall's Point Road and has made the following determination: the above referenced permit is only subject to the property located on Lot 19, 42 South Sewall's Point Road, Sewall's Point, Martin County, Florida. In respect to the regulatory or proprietary interests of Lot A on the adjacent property, proposed future projects shall not be affected by the issuance of permit # 43-0176035-001. It is understood by the department that the evidence submitted shows that Lot A is to be held in trust for the local community and not to be considered the personal property of Donald and Diana Doyle. Please contact Mark Youmans at (561) 398-2806 at this office if you have further questions regarding this matter.

Sincerely,

 20 Dec 2001
Mark Youmans Date

cc: Town of Sewall's Point

"More Protection, Less Process"

Printed on recycled paper.

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO

Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer

RICHARD H. LEVENSTEIN

JEANNA D. BIALCZAK

Town of Sewall's Point
Attn: Joan Barrow, Town Clerk
One South Sewall's Point Road
Sewall's Point, FL 34996

853 S.E. MONTEREY COMMONS BLVD.
POST OFFICE BOX 2421
STUART, FLORIDA 34995

December 18, 2001

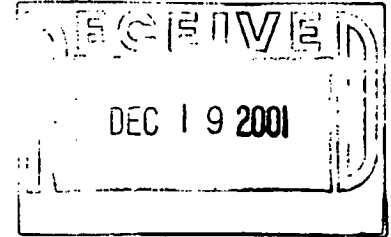
(561) 288-0048

FAX (561) 288-0049

BOCA RATON: (561) 394-8886

e-mail KSSLawyers.com

Re: Donald and Diana Doyle, 42 Sewall's Point Road
Dock Construction Application



Dear Ms. Barrow:

On November 20, 2001, the Doyle's were granted a conditional dock variance from the Town of Sewall's Point conditioned upon the amendment of the DEP application to indicate that Lot 19 and Lot A are separate lots and that the DEP's approval of said application was based solely on Lot 19 without regard to Lot A. The Town of Sewall's Point also requested that the Martin County Public Records be amended, if necessary, to indicate that Lot 19 and Lot A are separate.

Enclosed is a letter from the Department of Environmental Protection indicating that the permit approval is subject to the property located on Lot 19 only and that Lot A will be considered separately with regard to proposed future projects. In other words, the DEP permit for Lot 19 will not affect the right, if any, to apply for and receive a DEP permit for Lot A.

Additionally, enclosed is the Retraction of Unity of Title that is recorded in OR Book 1454 at Page 0053 of the Public Records of Martin County. Also, the tax rolls have been amended to reflect the separate ownership of Lot 19 and Lot A. If you have any questions regarding this, please call Judy Bentel, Martin County, at 288-5616.

As all requirements and conditions, of the Town of Sewall's Point, have now been fulfilled, the Doyle's respectfully request that the dock construction permit be issued by the Town of Sewall's Point.

If any other information or documentation is needed so that this permit may be issued, please contact me immediately. Thank you in advance for your cooperation in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Richard H. Levenstein".

Richard H. Levenstein

cc: Donald and Diana Doyle
Enclosures

THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

March 31, 2002

Mr. Richard H. Levenstein
Kramer, Sewell, Sopko & Levenstein, P.A.
853 S.E. Monterey Commons Blvd.
Post Office Box 2421
Stuart, FL 34995

Re: Donald and Diana Doyle Dock Variance, 42 South Sewall's Point Road

Dear Mr. Levenstein:

This is the final accounting regarding the above-referenced variance:

11/01	Tim B. Wright - legal fees	\$300.00
12/01	Tim B. Wright - legal fees	250.00
1/02	Clerk of Circuit Court recording fees	<u>15.00</u>
	TOTAL DUE	\$565.00

PAID

Kindly make your check payable to the "Town of Sewall's Point."

Also enclosed is a copy of the recorded variance. Please do not hesitate to contact me if you require anything further.

Sincerely,

TOWN OF SEWALL'S POINT

Joan Barrow, Town Clerk/Treasurer



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

5649

DOCK



**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

RECEIVED
JUL 1 2 2001

Bldg. Permit Number: 5649

Owner or Titleholder's Name DONALD + DIANA DOYLE Phone No. (561) 221-7742
 Street: 42 So Sewall's Pt. Rd City Sewall's Point State: FL Zip 34996
 Legal Description of Property: Lot 19 Palmetto Park Plat book 3 Page 66

Location of Job Site: (Lot 19 Palmetto Park) Plat 3 | 42 South Sewall Pt. Road. Parcel Number: 01-38-41-010-000-0019-00

TYPE OF WORK TO BE DONE: New Dock (Wood)

CONTRACTOR/Company Name: Harbor Bay Marine Phone No. (561) 335-7080
 Street: S.E. DANEEN (3001) City Port St. Lucie State: FL Zip 34952
 State Registration: # SPO-2985 State License: _____

ARCHITECT: Donald E. Wisdom Phone No. (561) 288-1227
 Street: 517 Camden Av. STUART FL. City STUART State: FL Zip 34994

ENGINEER: Donald E. Wisdom Phone No. () _____
 Street: _____ City _____ State: _____ Zip _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:
 Living Area: _____ Garage Area: _____ Carport: _____ Accessory Bldg: _____
 Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION
 Flood zone: N/A Minimum Base Flood Elevation (BFE): _____ NGVD
 Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
 Estimated cost of construction or Improvement: \$ # 25,000.00
 Estimated Fair Market Value (FMV) prior to improvement: \$ # 681,167.00
 If Improvement, is cost greater than 50% of Fair Market Value? YES ___ NO
 Method of determining Fair Market Value: Prop. Appr.

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)
 Electrical: _____ State: _____ License # _____
 Mechanical: _____ State: _____ License # _____
 Plumbing: _____ State: _____ License # _____
 Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)
[Signature]

State of Florida, County of: Martin On this the 12th day of July, 2000, by Scott A Szofranski who is personally known to me or produced Florida Drivers License as identification.

5165-781-65-022-6 & 1122/06

CONTRACTOR SIGNATURE (Required)
[Signature]

State of Florida, County of: Martin On this the 12th day of July, 2000, by Scott A Szofranski who is personally known to me or produced Florida Drivers License as identification.

5165-781-65-022-6 & 1122/06

Notary Public

My Commission Expires: Dec 17, 2004



Carmen L. Rodriguez
 Commission # CC 988597
 Expires Dec. 17, 2004
 Bonded Thru
 Atlantic Bonding Co., Inc.

(Seal)
Carmen L Rodriguez
Carmen L Rodriguez

Notary Public

My Commission Expires: Dec 17, 2004



Carmen L. Rodriguez (Seal)
 Commission # CC 988597
 Expires Dec. 17, 2004
 Bonded Thru
 Atlantic Bonding Co., Inc.

Carmen L Rodriguez
Carmen L Rodriguez

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____
Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

- 2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
- 3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
- 4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
 - a. Floor Plan
 - b. Foundation Details
 - c. Elevation Views - Elevation Certificate due after slab inspection,
 - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 - e. Truss layout
 - f. Vertical Wall Sections (one detail for each wall that is different)
 - g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: _____ Date: _____

Approved by Town Engineer _____ Date: _____
(If required)

7/12/01 ✓

PN — - DOCK;
(HARBOR BAY MARINE)

42 S. SEWALL'S POINT RD
(DOYLE)

7/17/01 INITIAL REVIEWED — PERMIT DENIED.

— PROPOSED DOCK EXCEEDS 250 FOOT MAX. LENGTH WATERWARD FROM MEAN HIGH WATER LINE INTO INDIAN RIVER (SECT. 62-171(1)a)

NOTE: SUBMITTAL DOCUMENTS INCOMPLETE - SEE NOTES (WISDOM LTR 11/14/00!!)

8/8/01 REVIEW SUBMITTAL PKG. W/ CONTRACTOR

— WILL ATTEMPT TO HAVE DRAWINGS FOR SEPT. COMM. MTG (VARIANCE)

— VARIANCE APPL. RECD FROM TOWN CLERK W/ 300' NOTICE REQUIREMENT

— REVIEWED ADDL SUBMITTALS REQUIRED:

— TWO SEALED REPARATION SURVEYS w/ MEAN DOCKS (VER. M.H.W.L.) — WILL SEND KROON

7/17/01

- COPY OF ORD. INSERTED IN FILE (CH. 62 + ORD 287)
- CONTRACTOR LIC/1 INSERTED IN FILE
HARBOR BAY MARINE I.
SCOTT SZAFRANSKI
(561) 335-7080

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
07/03/2001

PRODUCER
A BETTER DEAL INSURANCE AGENCY
1026 SW BAYSHORE BLVD
PT ST LUCIE, FL 34983
561-871-1975

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED
HARBOR BAY MARINE INDUSTRIES INC
3001 SE DAARIEN AVE
PORT ST LUCIE, FL 34952

INSURERS AFFORDING COVERAGE
INSURER A: CANAL INDEMNITY
INSURER B:
INSURER C:
INSURER D:
INSURER E:

FILE
FILE
listins.

COVERAGES
THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	01-0798	06/23/00 06/23/01	06/23/01 06/23/02	EACH OCCURRENCE \$100,000 FIRE DAMAGE (Any or 3 fire) \$EXCLUDED MED EXP (Any one person) \$EXCLUDED PERSONAL & ADV INJURY \$EXCLUDED GENERAL AGGREGATE \$100,000 PRODUCTS - COMPX P AGG \$100,000
AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (1st accident) \$ BODILY INJURY (1st person) \$ BODILY INJURY (1st accident) \$ PROPERTY DAMAGE (1st accident) \$
GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
WORKERS COMPENSATION AND EMPLOYERS LIABILITY				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
OTHER				

DESCRIPTION OF OPERATIONS, LOCATIONS, VEHICLES, EXCLUSIONS ADDED BY ENDORSEMENT, SPECIAL PROVISIONS

CERTIFICATE HOLDER TOWN OF SEAWALLS POINT FAX: 220-4765	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
---	-------------------------------------	--

NOTICE OF ELECTION TO BE EXEMPT

PAID

Please refer to the written instructions prepared by the Division of Workers' Compensation before completing this form.

By filing this application, you elect to be exempt from the provisions of Chapter 440, Florida Statutes and waive any right you may have to workers' compensation benefits in the State of Florida should you become injured on the job. Any person who knowingly and with intent to injure, defraud, or deceive the Division or any employer, employee, or insurance company or purposes program, files a Notice of Election to be Exempt containing any false or misleading information is guilty of a felony of the third degree. Certain documentation is required by law to be attached to this application—refer to the instruction sheet for more details. 16333/01-1008052

STATE USE ONLY	
Effective/Start Date:	RECEIVED
Expiration Date:	MAR 16 2001
Control Number:	BY: [Signature]
Postmark Date:	NPD
Received Date:	RECEIVED

I am applying for exemption as a (check only one box in this section):

CONSTRUCTION INDUSTRY (\$ 50.00 FEE REQUIRED)

Sole Proprietor Partner Corporate Officer (your corp. title: President)

NON-CONSTRUCTION INDUSTRY (NO FEE REQUIRED)

Corporate Officer (your corp. title: _____)

OCT 30 2000

CORPORATE OFFICERS AND PARTNERS: List the registration number of your business on file with the Division of Corporations, Department of State's Office (NOTE: your partnership may not have one, but all corporations must have one. If your partnership doesn't have one, state "N/A"): _____

THIS EXEMPTION APPLICATION APPLIES ONLY TO THE PERSON SIGNING THE APPLICATION AND ONLY FOR THE BUSINESS ENTITY LISTED IN THE FOLLOWING SECTION

Business Name: <u>Harbor Bay Marine Industries Inc.</u>		Trade Name; d/b/a; or a/k/a:	
Business Mailing Address: <u>3001 S.E. DARIEN RD</u>		City: <u>PORT ST LUCIE</u>	State: <u>FL.</u>
County: <u>ST. LUCIE</u>	Phone No.: <u>(888) 335-7080</u>	Nature of Business: <u>MARINE STRUCTURES</u>	FEIN: <u>65-1026689</u>
Unemployment Compensation Tax No:	Date Business Established: <u>July 17, 2000</u>	No. of Employees: <u>2</u>	

Are you required to be registered or certified pursuant to Chapter 489, F. S.? No Yes: list all certified or registered licenses issued to you pursuant to Chapter 489, Florida Statutes _____

Are you or a qualifier for your business required by the county or the municipality in which your business mailing address is located to have an occupational license for the business which is the subject of this application? No Yes:

YOU MUST ATTACH A COPY OF A CURRENT OCCUPATIONAL LICENSE

Are you employed by any sole proprietorship, partnership, corporation or business entity other than the business to which this application applies? NO YES list the name of all other businesses in which you are employed: _____

Has the above-referenced business entity been in operation long enough to have filed with or be required to file by the IRS, an annual Federal Income Tax Return? No Yes, You must attach tax records. See instruction sheet for details.

AFFIDAVIT OF APPLICANT: I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief; that this election does not exceed exemption limit for corporate officers or partners as provided in §440.02 Florida Statutes; and that I will secure the payment of workers' compensation benefits, pursuant to Chapter 440, Florida Statutes, for any employee I now have or may hereinafter employ. If such business is required by Florida law to secure such benefits.

SCOTT ANTHONY SZAFRANSKI

TYPE/PRINT NAME OF PERSON APPLYING FOR EXEMPTION

299 / 62 / 3996 SOCIAL SECURITY NO.

1 / 22 / 65 mo. day yr. DATE OF BIRTH

[Signature] APPLICANT'S SIGNATURE

10 / 27 / 00 DATE SIGNED

NOTARY PUBLIC STATE OF FLORIDA
 JANEY F. RIZOLO
 MY COMMISSION NO. CC577431
 MY COMMISSION EXP. OCT 26 2003

NOTARY STATE OF FLORIDA, COUNTY OF ST. LUCIE

Sworn to and subscribed before me this 27 day of OCT, 2000, by SCOTT A. SZAFRANSKI

Personally Known OR Produced Identification _____ Type of Identification Produced _____

NOTARY SIGNATURE [Signature] My Commission Expires 10-26-2003
 LES FORM BCM-250 Revised February 2000 (SEE REVERSE FOR ADDITIONAL INFORMATION)

FILE

Ref w

RECEIVED
JAN - 3 2001
BY: *[Signature]*

MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: SP02985
Expires September 30, 2001
Name: SCOTT A SZAFRANSKI
Company: HARBOR BAY MARINE IND INC
Address: 3001 SE Darien Rd
City, ST: PSL FL 34952
License Type: MARINE CONTRACTOR

Universal I and Title, Inc.

WARRANTY DEED
INDIVIDUAL TO INDIVIDUAL

This Instrument Prepared by:
DYONNIA C. BEEGLE
789 S. Federal Highway Suite 212
Stuart, Florida 34994
(407) 286-0646 FAX (407) 288-3524
for the purposes of title insurance.
Property Appraisers Parcel I.D. (Pa2a) Number(s):
01-38-41-010-000-0019-00
Grantor(s) S.S./b):

206510
MARSHA STILLER
MARTIN COUNTY
CLERK OF CIRCUIT COURT
BY *[Signature]* C.C.

SPACE ABOVE THIS LINE FOR PROCESSING DATA SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made the 24TH day of JANUARY A.D. 19 96 by
DOROTHEA A. WHITE, A SINGLE WOMAN

heretnafter called the grantor, to **DONALD A. DOYLE and DIANA P. DOYLE, his wife**
whose postoffice address is 3801 RIVIERA DRIVE, CORAL GABLES, FL 33134
heretnafter called the grantees:

(Whoever uses herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for an in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantees, all that certain land situate in **Martin County, Florida, viz:**

Lot 19, PALMETTO PARK, according to the Plat thereof, as recorded in Plat Book 3, Page 66, public records of Martin County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple, that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1995, restrictions, reservations, covenants and easements of record, if any.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Signature
Dyonna C. Beegle

[Signature]
Witness Signature
Conrad Garcia

Printed Signature

Witness Signature

Printed Signature

Witness Signature

Printed Signature

[Signature]
DOROTHEA A. WHITE

2330 Letha Court, Stuart, FL 34994
Post Office Address

Post Office Address

Post Office Address

Post Office Address

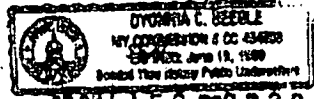
Post Office Address

STATE OF **FLORIDA**
COUNTY OF **MARTIN**

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared **DOROTHEA A. WHITE, A SINGLE WOMAN**

who is/are personally known to me or who has produced drivers license as identification and who did take an oath

WITNESS my hand and official seal in the County and State last aforesaid this 24TH day of **JANUARY** A. D. 19 96.



[Signature]
Notary Signature

Printed Notary Signature Title or Rank
My Commission Expires: Serial Number: If any

PAGE 150

RECORDED & VERIFIED BY *[Signature]* 96 JAN 25 PM 2:46
MARSHA STILLER
CLERK OF CIRCUIT COURT
MARTIN CO. FL
01156005

APR 15 9 30

Coding: Words in shading are deletions from existing ordinance; words underlined are additions.

* * * * *

ORDINANCE NO. 287

**AN ORDINANCE OF THE TOWN OF SEWALL'S POINT,
FLORIDA, AMENDING CHAPTERS 50 AND 62, TO CLARIFY
REGULATIONS ON REPAIRS AND RECONSTRUCTION OF
DOCKS AND DOCK APPLICATION REQUIREMENTS;
PROVIDING FOR REPEAL OF RESOLUTIONS AND ORDINANCES
IN CONFLICT; PROVIDING FOR INCORPORATION IN THE
TOWN CODE; PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the Town believes that it is in the best interest of the health, safety, morals and general welfare of the Town to modify Chapter 62, Marine Activities, Facilities and Structures, as stated below.

NOW, THEREFORE, BE IT ENACTED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, THAT THE TOWN OF SEWALL'S POINT'S CODE BE AMENDED AS FOLLOWS.

Sec. 50-32. Building permit required; plot plan.

(a) No building or structure, including piers, docks, bulkheads or groins, whether of a permanent or temporary character, shall be erected, added to or structurally repaired or altered until a required permit therefor has been issued by the building department. Nevertheless, it shall not be necessary to obtain the issuance of a permit for internal alterations unless such interior alterations include the removal or replacement of a weight-bearing member such as a

wall or truss.

Sec. 62-132. Definitions.

~~Activity means any project or other human action within the jurisdictional limits of the town relating to the construction of a permanent or temporary structure waterward of the mean high water line.~~

Applicant means any person making an application for a dock permit or license, or any other necessary form of town approval, in order to construct, add to, or structurally repair or alter a dock or a roof over a dock within the jurisdictional limits of the town.

Dock Permit means, collectively or individually, the permit required by any of the agencies or the town for a person to construct, add to, or structurally repair or alter a dock or a roof over a dock within the jurisdictional limits of the town.

Sec. 62-151. Required.

(1) Permit Required.

It shall be unlawful for any person to construct, add to, or structurally repair or alter a dock, or a roof over a dock, ~~or to perform any activity within the jurisdictional limits of the town~~ without first obtaining a dock permit from the building department and all agencies having jurisdiction over the activity.

(2) Non-Conforming Use.

Subject to all permit requirements, notwithstanding any contrary provision of this code, a non-conforming dock or dock roof may be rebuilt or repaired to its previously permitted size

and configuration, notwithstanding any deterioration or damage from any cause, including fire, hurricane, flood or collision.

Sec. 62-152. Payment of fee; required information and documents.

- (2) Submit the following materials to the building department: an application signed by all record owners of the upland riparian property from which the dock is to be extended, a certified copy of a current dock permit, or exemption thereof, issued by each of the agencies having jurisdiction over the dock, either: (i) letters of no objection from all record owners of upland riparian property located adjacent to the applicant's upland riparian property; or (ii) proof that a request for a no objection letter was personally delivered or mailed by certified or registered mail at least thirty (30) days before the date of the submission of the application to the record owners of upland riparian property located adjacent to the applicant's upland riparian property with written notice informing them that any objection to the requested application must be filed with the Town Clerk within fifteen (15) days from the date that the notice was either personally delivered or mailed, survey, construction drawings, plans, and any additional information requested by the building department to evidence that the provisions of this division will be met. A re-survey shall not be required for a permit for structural repairs if the town has on file a sealed survey showing the location and dimensions of the dock.

Sec. 62-154. Appeals.

- (3) The town commission determines that ~~the applicant's failure to obtain a no objection letter from the record owners of the upland riparian property abutting each side of the applicant's property~~ any objection from an adjacent upland riparian property owner is without substantial merit.

Sec. 62-171. General requirements.

- (3)(d.) The dock decking design and construction shall ensure maximum light penetration, with full consideration for safety and practicality, having not less than one-half inch of separation between decking planks.

Sec. 62-175. Roofs.

- (5) The applicant shall submit either: (i) letter of no objection to the roof from the record owners of the upland riparian properties abutting each side of the applicant's property; or (ii) proof that a request for a no objection letter was personally delivered or mailed ;by certified or registered mail at least thirty (30) days before the date of the submission of the application to the record owners of said upland riparian property abutting each side of the applicant's property with written notice informing them that any objection to the requested application must be filed with the Town Clerk within fifteen (15) days from the date that the notice was either personally delivered or mailed.

SEPARATION.

If any section, sentence, clause, phrase or word of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holding or invalidity shall not affect

the remaining portions of this Ordinance, and it shall be construed to have been the intent of the Board to adopt this Ordinance without such unconstitutional, invalid or inoperative part therein, and the remainder of this Ordinance after the exclusion of such part or parts, shall be deemed and held to be valid as if such part or parts had not been included herein. If this Ordinance or any provision thereof shall be held to be inapplicable to any person, groups of persons, property, kind of property, circumstances or set of circumstances, such holdings shall not affect its applicability to any other person, property or circumstances.

REPEAL.

Town ordinances and Town resolutions, or parts thereof, in conflict with this Ordinance are hereby abolished and repealed to the extent of such conflict.

INCORPORATION IN TOWN CODE.

Provisions of this Ordinance shall be incorporated in the Town Code and the word "Ordinance" may be changed to "section," "article," or other appropriate word, and the sections of this Ordinance may be renumbered or relettered to accomplish such intention.

EFFECTIVE DATE.

This Ordinance shall become effective immediately upon adoption.

Commissioner Teplitz, offered the foregoing Ordinance, and moved its adoption.

The motion was seconded by Commissioner Bausch and upon being put to a vote, the

vote was as follows:

ROBERT M. WIENKE, Mayor
THOMAS P. BAUSCH, Vice Mayor

AYE	NAY
<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>

DAWSON C. GLOVER, III, Commissioner
E. DANIEL MORRIS, Commissioner
MARC S. TEPLITZ, Commissioner

<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>

Passed first reading at the regular meeting of the Town Commission held on the 17th day of April, 2001.

The foregoing Ordinance was offered for its second reading, and being put to a vote, the vote was as follows:

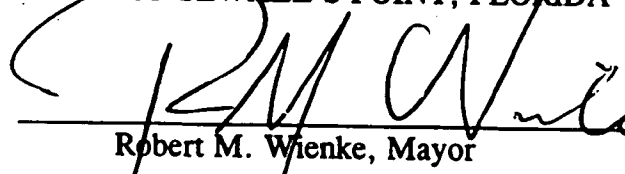
ROBERT M. WIENKE, Mayor
THOMAS P. BAUSCH, Vice Mayor
DAWSON C. GLOVER, III, Commissioner
E. DANIEL MORRIS, Commissioner
MARC S. TEPLITZ, Commissioner

AYE	NAY
<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>
<u>absent</u>	<u> </u>
<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>


Passed second reading at the regular meeting of the Town Commission held on the 15th day of May, 2001.

The Mayor thereupon declared this Ordinance 287 approved and adopted by the Town Commission of the Town of Sewall's Point on this 15th day of May, 2001.

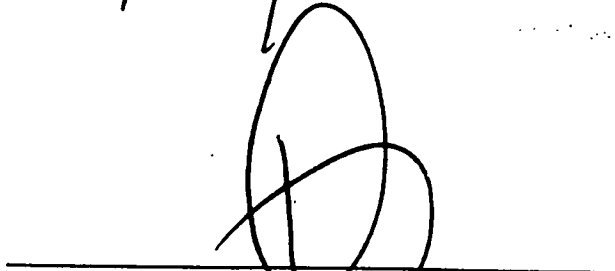
TOWN OF SEWALL'S POINT, FLORIDA


Robert M. Wienke, Mayor

ATTEST:


Joan H. Barrow, Town Clerk

(TOWN SEAL)


Tim B. Wright, Town Attorney
Approved as to form and
legal sufficiency

TOWN OF SEWALL'S POINT, FLORIDA

NOTICE OF APPEAL FROM DENIAL OF DOCK PERMIT

NOTICE IS HEREBY GIVEN, pursuant to Section Code of Ordinances of the Town of Sewall's Point, Florida, that the applicant identified below will appeal to the Town Commission of the Town of Sewall's Point, Florida, from the denial of a permit for the construction of a dock on the property located at the street address given below for the reasons indicated below at a meeting of the Sewall's Point Town Commission at the Sewall's Point Town Hall, One South Sewall's Point Road, Sewall's Point, Florida Tuesday, September 18, 2001, 7:PM or as soon thereafter as is possible.

NAME OF APPLICANT: Donald & Diana Doyle

STREET ADDRESS OF PROPERTY: 42 So. Sewall's Point Road

REASON FOR DENIAL OF DOCK PERMIT:

- Failure to obtain letters of no objection from adjacent upland repairing and owners.
- Failure to comply with the standards and criteria for docks in the following respects:

Length: dock exceeds 250' limit

Design: _____

Construction: _____

Siting: _____

Other: _____

DATE AND TIME OF MEETING: Sept. 18, 2001, 7: P.M.

The completed application for the permit to construct the dock may be inspected at the Town Hall during regular business hours. All interested parties may appear at the meeting and may be heard with respect to the appeal. If any person decides to appeal any decision made by the Town Commission with respect to any matter considered at the meeting or hearing, he will need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

This notice shall be posted on the Town Hall bulletin board and shall be sent by certified mail, return receipt requested, by the applicant and at the applicant's expense, to all record owners of upland riparian property located adjacent to the property involved in the appeal, with the date of mailing being at least fifteen (15) days before the date of the hearing. At or before the public hearing, the applicant shall present proof of the identity and address of the persons entitled to receive notice by mail and of the mailing of the notice to those persons.

Dated: 8-8-01

Joan H. Barrow
JOAN H. BARROW, Town Clerk

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.
ATTORNEYS AT LAW

RECEIVED
OCT 31 2001
BY:

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO
Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer
RICHARD H. LEVENSTEIN
JEANNA D. BIALCZAK
KATHLEEN S. MAC MAHON

853 S.E. MONTEREY COMMONS BLVD.
POST OFFICE BOX 2421
STUART, FLORIDA 34995

CLIENTS COPY

FILE

UNDER DOYLE DOCK

October 30, 2001

(561) 288-0048
FAX (561) 288-0049
BOCA RATON: (561) 394-8886
e-mail KSSLawyers.com

VIA FACSIMILE - (561) 286-9102

Timothy Wright, Esq.
Wright, Ponsoldt & Lozeau
100 S.E. Monterey Commons Blvd., #208
Stuart, FL 34996

MASTER CALENDAR
Activity: Call
Calendar for:
Routing: PDL
Date: 10-31-01
By: me

Dear Tim:

Please be advised that I represent Mr. & Mrs. Donald Doyle with respect to their request for a variance to construct a dock at their residence, located at 42 South Sewall's Point Road in the Town of Sewall's Point. I am aware that a hearing was held on October 16, 2001 with regard to their request for a variance, and that request was tabled at that time.

I am writing to inform you of my representation, and also to request that you give me a call upon your receipt of this communication to discuss what took place at the October 16, 2001 meeting. It appears that issues with respect to the newly formed corporation known as Palmetto Drive Incorporated have been intertwined with my client's request for a variance. More specifically, their request for a variance was apparently tabled, as stated by Mayor Weinke, to allow my clients the opportunity to discuss the issues that Palmetto Drive, Inc. has with the use of Parcel A, the property over which the Palmetto Drive subdivision has rights of egress and access to the Indian River. Clearly, whatever the request of objectives are of Palmetto Drive, Inc., they have nothing whatsoever to do with my client's rights to a variance to install a dock behind their home, which, while longer than the 250 ft. limit ordinarily imposed, is not as long as many of the docks on the neighboring properties along South Sewall's Point Road.

My clients are determined to obtain the variance and do not want any issues or objectives of Palmetto Drive, Inc. to in any way interfere with that objective. As I am sure you are aware, any issues or objectives of Palmetto Drive, Inc. are totally separate and independent of my client's rights to obtain the variance to install the dock, as Mr. Doyle correctly stated at the October 16, 2001 meeting of the Town Commission.

October 30, 2001

Page 2

Please call me after you have received this correspondence and reviewed it, so that we can discuss the request for a variance, and rescheduling it on the Agenda for the next Town Commission meeting. I will look forward to hearing from you shortly.

Sincerely yours,

Richard H. Levenstein

RHL/es

FILE

UNDER POTLE'S DOCK.

WRIGHT, PONSOLDT & LOZEAU
TRIAL ATTORNEYS, L.L.P.

1000 S.E. Monterey Commons Boulevard
Suite 208
Stuart, Florida 34996
Telephone: (561) 286566
Facsimile: (561) 286102
E-Mail: timwright@wpltrialattorneys.com

Tim B. Wright
William R. Ponsoldt, Jr.
Louis E. Lozeau, Jr.

October 30, 2001

Mr. Richard H. Levenstein
853 S.E. Monterey Commons Blvd.
Stuart, Florida 34996

Re: Town of Sewall's Point; Doyle Dock Variance

Dear Richard:

This letter is a follow-up to our telephone conversation of Monday, October 29, 2001. You inquired as to the Town's position regarding the relevancy of the neighboring property owner to the south of your clients' property. I informed you that the Town had no position on the matter since no decision had been made by the Town Commission on your clients' variance application. I informed you that it was my opinion that the impact of the variance requested by your clients on surrounding property owners is a matter which is relevant under the case law in the Town's consideration.

If you have further questions regarding the matter, please let me know.

Sincerely yours,


Tim B. Wright

TBW/mcf

cc: The Honorable Robert M. Wienke
Vice Mayor Thomas P. Bausch
Mr. Joseph C. Dorsky
Mrs. Joan H. Barrow
Mr. Gene Simmons ✓

ROBERT M. WIENKE.
Mayor

THOMAS P. BAUSCH
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

E. DANIEL MORRIS
Commissioner

MARC S. TEPLITZ
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

EDWIN ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

TO: All Commissioners, Town Attorney, the Public

FROM: Robert M. Wienke, Mayor

SUBJECT: There will be a regular meeting of the Town Commission on Thursday, September 20, 2001 at the Town Hall. This meeting will immediately follow the Final Budget Hearing that is scheduled to begin at 6:00 PM.

PUBLIC COMMENT IS ENCOURAGED: Please fill in a comment form and return it to the town clerk before discussion on the agenda item has begun. Please limit comments to three (3) minutes.

As a courtesy to those in attendance it would be appreciated if questions for an individual commissioner were addressed by phone, in writing, or in person outside of the meeting. Your help in avoiding lengthy meetings is appreciated.

AGENDA

1. Call to Order & Welcome - Mayor Wienke

- ✓ • a. Pledge of Allegiance
- ✓ • b. Roll call
- ✓ • c. Approval of Agenda (as amended)

2. Announcements - Mayor Wienke

3. Public Hearings & Presentations:

** MTG ADJOURNED BEFORE HQ.; TABLED
- TO BE SET FOR DATE CERTAIN
(NEXT REG / SPEC. COMM. MTG.)*

• a. Donald & Diana Doyle, 42 South Sewall's Point Road, request permission to construct a dock that exceeds the 250' limit

✓ • b. (Pre-Set 7: PM) Stacy Miller, Florida Department of Transportation, Update on A1A Corridor

4. Consent Agenda: *approved. (a-g)*

ROBERT M. WIENKE.
Mayor

THOMAS P. BAUSCH
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

E. DANIEL MORRIS
Commissioner

MARC S. TEPLITZ
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

EDWIN ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

TO: All Commissioners, Town Attorney, the Public

FROM: Robert M. Wienke, Mayor

SUBJECT: There will be a Public Budget Hearing on Thursday, September 20, 2001 at 6:00 PM at the Town Hall.

PUBLIC COMMENT IS ENCOURAGED: Please fill in a comment form and return it to the town clerk before discussion on the agenda item has begun. Please limit comments to three (3) minutes.

As a courtesy to those in attendance it would be appreciated if questions for an individual commissioner were addressed by phone, in writing, or in person outside of the meeting. Your help in avoiding lengthy meetings is appreciated.

AGENDA

1. **Call to Order & Welcome** - Mayor Wienke
 - a. Pledge of Allegiance
 - b. Roll call
2. **Proposed Millage for fiscal year 2001-2002** - Town Manager Dorsky
 - a. Percentage increase over the rolled back rate necessary to fund the budget
 - b. Specific purposes for which the ad valorem real property tax revenues are being increased
 - c. Comments from the public
 - d. Motion to adopt final millage rate
3. **Proposed Budget for fiscal year 2001-2001** - Town Manager Dorsky
 - a. Comments from the public

M. J. B. L. L.

ED:

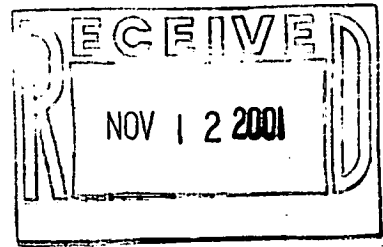
MAY I BORROW YOUR DOYLE
DEF. PERMIT EXHIBITS? _____

ERIC

M. J. B. L. L.

11-12-01

From: Sheila Harrigan
2 Palmetto Drive
Stuart, Florida 34996



To: Head of the Building Department and the Town Clerk of the Town of Sewall's Point
Stuart, Florida 34996

The Objection:

I, Sheila Harrigan, of 2 Palmetto Drive, Stuart being directly across from lot 19 do object to the issuance of a dock permit on Lot 19 the Doyle residence for the following reasons :

Misrepresented facts were presented to the D.E.P. and A.C.E. regarding the 40' parcel; Lot A, in obtaining the Dock permit. See Doyle's survey.

25JanOO=retraction of Unity of Title. 14NovOO=DEP permit 43-0176035-001

Does the unity of title retraction affect DEP permit assumptions with regards to proprietary issues?

No aggregated "riparian survey" per 62-132 definitions (survey) was provided showing dimensions to the correct side riparian lines and to the ad joiner docks.

No reflective devices are indicated in the engineering plans per 62-171, 2,f

Engineering plans show an upland portion of the dock is within the upland buffer. No application or variance for this use is in the file per 70-101,b & c1.

CHECKED
INSPECTION . Deck board spacing of 1" is not identified in the engineering plans per 62-171, 3,d. (Aquatic Preserve over grass)

The Complaint:

The Doyle's have constructed a turn around for a forty + foot bus in an area not permitted or shown on their own survey. Since the turnaround was abandoned, I believe it a new permit is required . A shallow rock garden does not comply. This 10 ft by 16 ft is located in an area that the approximately 40 ' bus could not turn into without hitting the structure .The structure does not meet the code as to the set back from the street of 50 ft. Mr. Doyle's survey shows 40 ft and the height is over the 10 ft limit. It allows him to enter and block the major street of Sewalls Point Drive. I could not find the variances for these exceptions.

Request to the Town Commission:

Our request is to table this request for variance until the applicant to the Town of Sewall's Point has answered these deficiencies and objections.

I request the Town Commission of Sewall's Point, reflect on the following consideration (62-154) allowed in the Sewall's Point Code and waive the no objection letters from the upland riparian property owners, for Palmetto Drive Inc.s future dock permit application to restore our dock.

*** ***Re: 62-154 Appeals of the Sewall's Point Code**

*The Town Commission determines that the applicant's failure to obtain letters of no objection from the adjacent upland riparian property owners is excusable or that any objection from an adjacent upland property owner is without merit. (Code 1978, * 4.5-4(d))*

Initial drawings are in progress and our not for Profit Corporation has been filed (See attached).

We will be selecting a TRUSTEE to represent the fiduciary responsibilities of Lot A for Palmetto Drive, Inc.

Respectfully,

Sheila Harrigan

PRY 2" x 4" CON.
11.2732

1.0' U' WOOD FENCE

N62°38'00"E

10.00

179.77

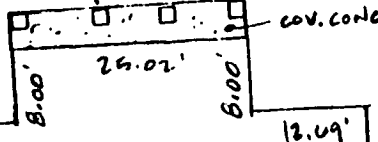
139.77

LOT 19

Rock

CONC. COLUMNS
(TYPICAL)

CONC.



1 STORY C.B.S.?
VEHICLE STORAGE
BUILDING

60.05'

60.32

N27°22'00"W

40.00'

40.58'

40.74'

LOT "A"

SEVASTIAN HILL ROAD

PRM
F-13
W. 12' x 4' C.M.

U'WOOD FENCE

N62°38'00"E

10.00'

179.77'

139.77'

LOT 19

ADD

CONC. COLUMNS
(TYPICAL)

CONC.

26.02'

8.00'

6.00'

40.53'

12.04'

12.09'

CONC. DRIVE

1 STORY C.B.S.
VEHICLE STORAGE
BUILDING

24.33'

50.05'

N27°22'00"W

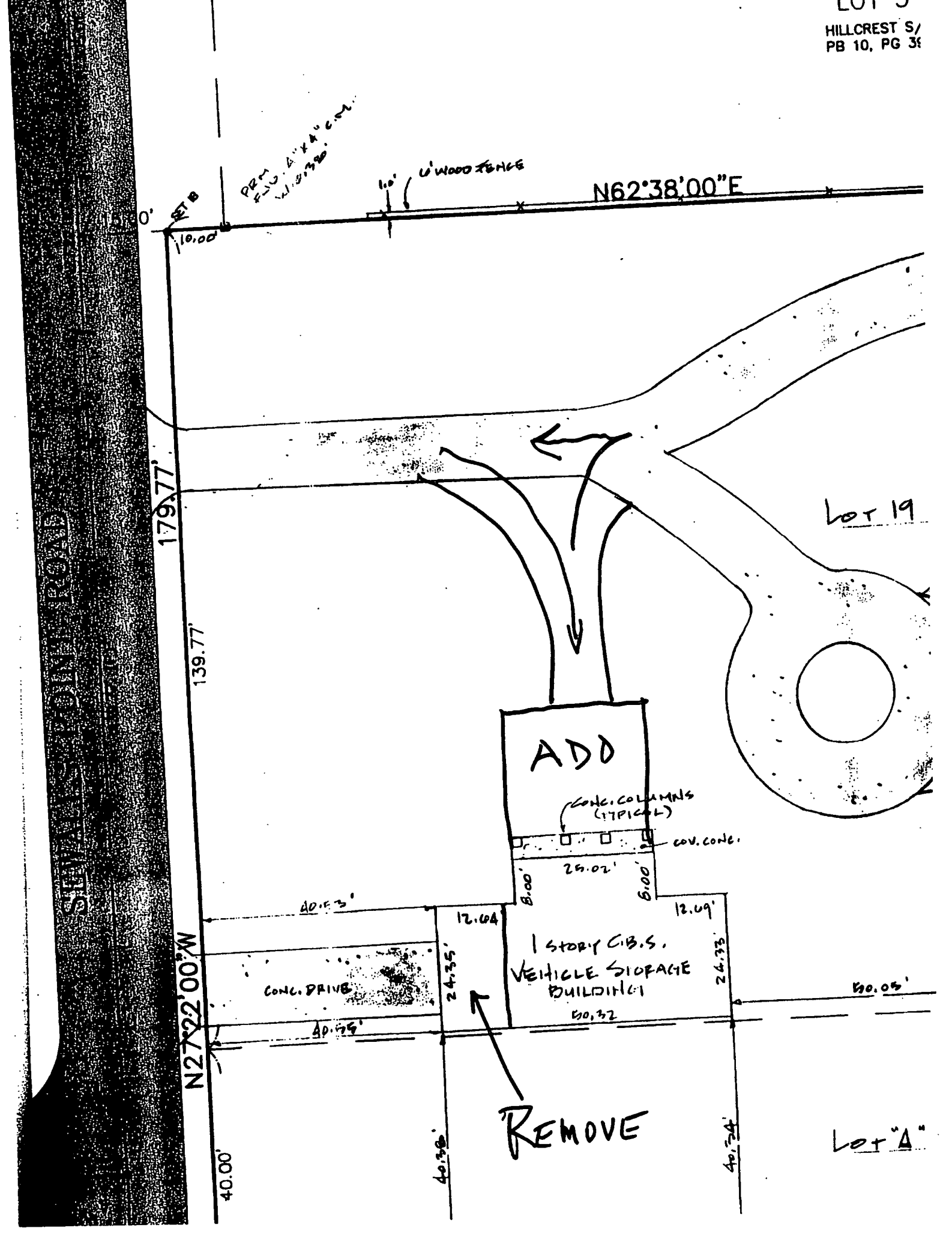
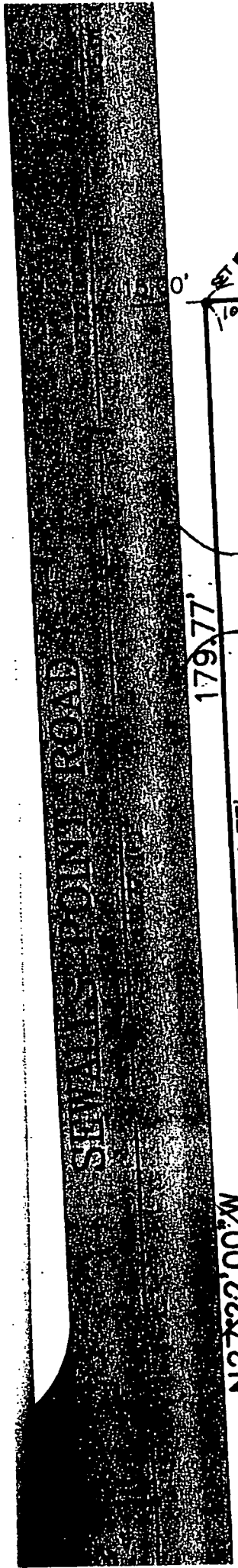
40.95'

40.98'

REMOVE

40.74'

LOT "A"



LETTER OF NO OBJECTION

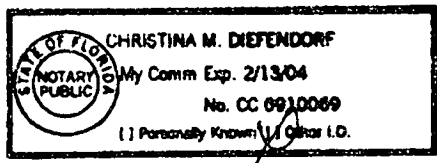
We, Robert A. Murphy, Jr. and Mary C. Murphy

being the owner(s) of certain property adjacent to and abutting the property of DONALD & DIANA DOYLE who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Robert A. Murphy
Mary C. Murphy

STATE OF Florida
COUNTY OF Walter

SWORN TO AND SUBSCRIBED before me this 16th day of Nov, 2000



Christina M. Dieffendorf
Notary Public
My Commission Expires: 02/13/04

LETTER OF NO OBJECTION

We, HERBERT SHORT and Dianne Short

being the owner(s) of certain property adjacent to and abutting the property of DONALD & DIANA DOYLE who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

[Handwritten signature of Dianne Short]

FLDL5630-336-39380.0

FLDL 2630-177-40-850-0

STATE OF Florida

COUNTY OF Manatee

SWORN TO AND SUBSCRIBED before me this 26 day of Oct, 2000



[Handwritten signature of Patricia L. McAuley]
Notary Public

My Commission Expires: 5/25/01

5728

DOCK ELECTRIC

TOWN OF SEWALL'S POINT

Date 3/22/02

BUILDING PERMIT NO. 5728

Building to be erected for DONALD DOYLE

Type of Permit DOCK ELECTRICAL

Applied for by ACE ELECTRICAL SVCS. (Contractor)

Building Fee _____

Subdivision PALMETTO PARK Lot 19 Block _____

Radon Fee _____

Address 42 S. SEWALL'S POINT RD.

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee 120.00

Parcel Control Number:

Plumbing Fee _____

138410100000019000000

Roofing Fee _____

Amount Paid 120⁰⁰ Check # 3757 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 3,685.00

TOTAL Fees \$120.00

Signed [Signature]
Applicant

Signed Mene Simmons / nlc
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: Donald Dayle Building Permit Number: _____ City: _____ State: _____ Zip: _____

Legal Description of Property: PALMETTO PARK LOT 19 Parcel Number: _____

Location of Job Site: 4725 Sewalls Pt Rd Type of Work To Be Done: Dock Electrical DWO David Motors

CONTRACTOR/Company Name: Ace Electrical Services Inc Phone Number: 772-6920217

Street: PO # 2602 Stuart City: Stuart State: FL Zip: 34994

State Registration Number: _____ State Certification Number: _____ Martin County License Number: ME00514

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

Type Sewage: _____ Septic Tank Permit Number From Health Dept: _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD

Proposed First Floor Habitable Floor Finished Elevation: _____ NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$3685.00 Estimated Fair Market Value (FMV) Prior

To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical: Ace Electrical Services State: FL License Number: ER 0012499

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNANCE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____

National Electrical Code _____ Florida Energy Code _____ Florida Accessibility Code _____

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

W.F. Brucker

State of Florida, County of: Martin

This the 15th day of March 2002

by W.F. Brucker who is personally

known to me or produced F.I.D.I.

as identification Joan H. Barrow

Notary Public

Joan H. Barrow

My Commission Expires _____



MY COMMISSION # CC763645 EXPIRES November 30, 2002 BONDED THRU TROY FAIN INSURANCE, INC.

CONTRACTOR SIGNATURE (required)

W.F. Brucker

On State of Florida, County of: Martin

This the 15th day of March 2002

by W.F. Brucker who is personally

known to me or produced F.I.D.I.

As identification Joan H. Barrow

Notary Public

My Commission Expires _____



Joan H. Barrow MY COMMISSION # CC763645 EXPIRES November 30, 2002 BONDED THRU TROY FAIN INSURANCE, INC.

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID SE ACEEL-1	DATE (MM/DD/YY) 03/15/02
PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 561-286-4334 Fax: 561-286-9389	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.		
INSURED AIVA Enterprises, Inc dba Ace Electric PO Box 2602 Stuart FL 34995	INSURERS AFFORDING COVERAGE		
	INSURER A: Hartford		
	INSURER B:		
	INSURER C:		
	INSURER D:		
	INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR _____ GENTL. AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	21SBALC7621	07/09/01	07/09/02	EACH OCCURRENCE \$ 300,000
	FIRE DAMAGE (Any one fire) \$ 50,000				
	MED EXP (Any one person) \$ 5,000				
	PERSONAL & ADV INJURY \$ 300,000				
	GENERAL AGGREGATE \$ 600,000				
	PRODUCTS - COMP/OP AGG \$ 600,000				

AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS _____					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
GARAGE LIABILITY <input type="checkbox"/> ANY AUTO _____					AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE _____ DEDUCTIBLE \$ RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY					WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER <input checked="" type="checkbox"/> ADDITIONAL INSURED; INSURER LETTER: _____	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Debra L. Hill</i>
TOWNS-1 Town of Sewalls Point Attn: Joan 1 S Sewalls Point Road Stuart FL 34996	

02-23-2001

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 12/13/2000
EXPIRATION DATE 12/13/2002
EXEMPTED INDIVIDUAL NAME BRUCKLER WILLIAM F
S.S. 264-90-2534
BUSINESS NAME AIVA ENTERPRISES INC
FEIN 650882276
BUSINESS ADDRESS PO BOX 2602 FL 34995
STUART

NOTE: Pursuant to Chapter 440.10(1),(g),2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE 12/13/2000
EXPIRATION DATE 12/13/2002
EXEMPTED PERSON LAST NAME BRUCKLER
FIRST NAME WILLIAM F
SOCIAL SECURITY NUMBER 264-90-2534
BUSINESS NAME AIVA ENTERPRISES INC
FEDERAL IDENTIFICATION NUMBER 650882276
BUSINESS ADDRESS PO BOX 2602
STUART FL 34995

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NOTE: Pursuant to chapter 440.10(1),(g),2. F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

AHN Joan

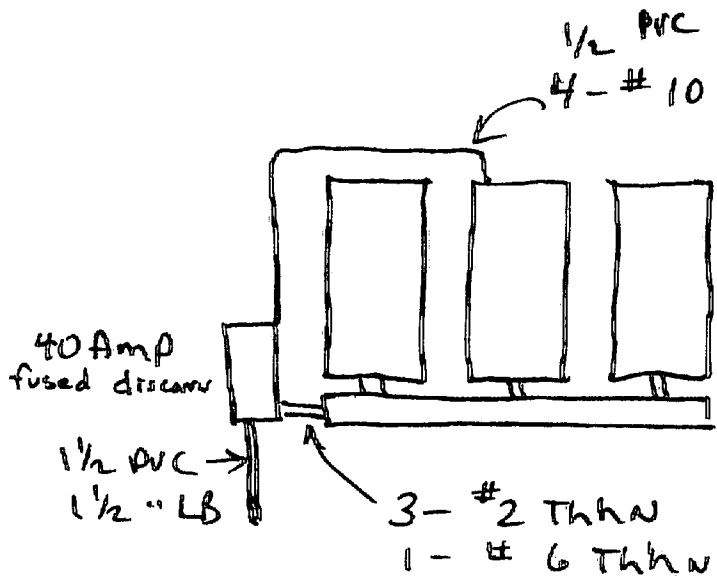


MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

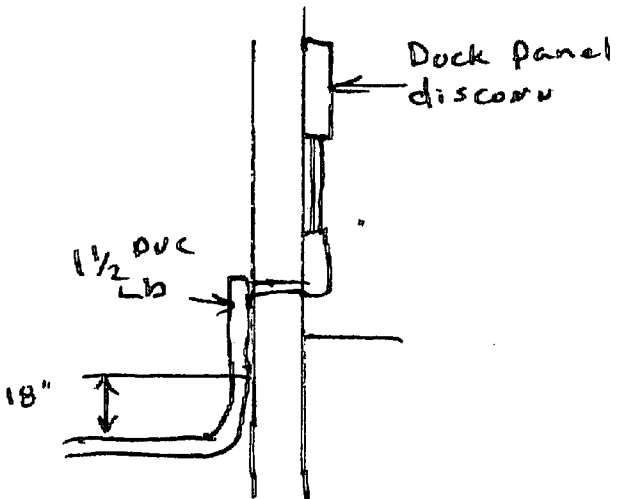
License: ME00514
Expires September 30, 2003


BRUCKLER, WILLIAM F
ACE ELECTRICAL SERVICES
BOX 2602
STUART, FL 34995
MASTER ELECTRICIAN

MR Doyle #42 Sewalls Pt Rd



off house
Panel 1 ckt for
End dock Lt.



FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 3/22/02

BUILDING OFFICIAL
Gene Simmons

Barw Lt
Feed from
main house
w/ #10
Thhn

Days

PVC
J-Box
12'x12'x4'

1/2 PVC

J-boxes

1/2 PVC
3- #2 Thhn
1- #6 "
4- #10 "

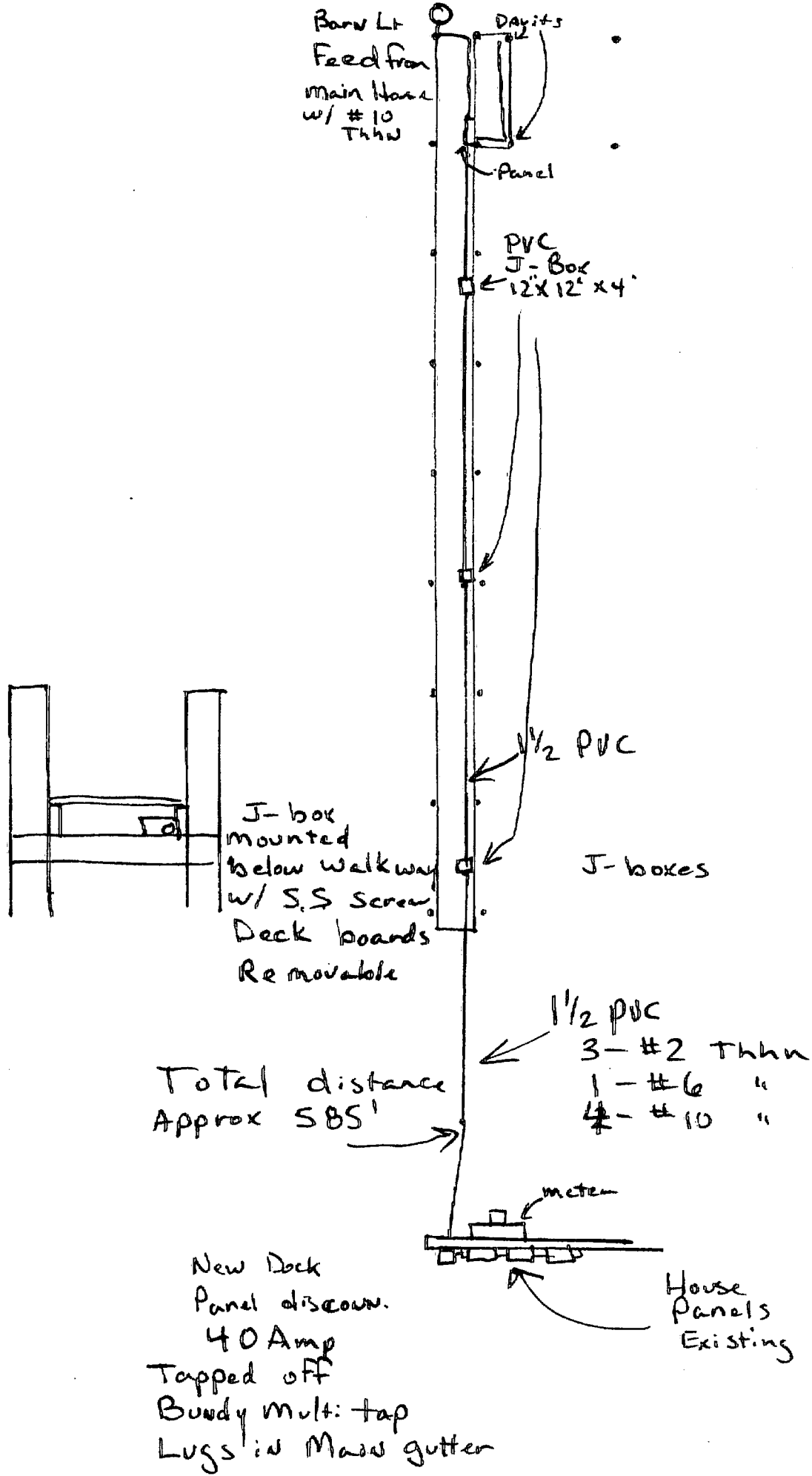
Total distance
Approx 585'

meter

New Deck
Panel disconn.

40 Amp
Tapped off
Buddy multi: tap
Lugs in Mass gutter

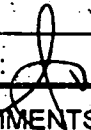







House
Panels
Existing



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ^{Thur} ~~Fri~~ MAR 28, 2001; Page of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5501	Alman 3 Summer Ln. Alman	Roof in prog.	Passal	INSPECTOR: 
5728	Doyle 42 S. Sewalls Pt. Ace Elec.	Deck electr.	Passal	INSPECTOR: 
5689	HENDERSON 24 ISLAND RD BURLFORD.	SLAB.	Passal	INSPECTOR: 
5686	VILLAR 92 N. SEWALLS PT RD PACIFIC	ROOF FINAL	Passal	INSPECTOR: 
				INSPECTOR: 
				INSPECTOR: 
				INSPECTOR: 
				INSPECTOR: 

OTHER: _____

8692

GARAGE DOOR

WIDEN DRIVEWAY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	8692	DATE ISSUED:	AUGUST 20, 2007
SCOPE OF WORK:	GARAGE DOOR & WIDEN DRIVEWAY 2'		
CONDITIONS:			
CONTRACTOR:	TRIUNE BUILDERS		
PARCEL CONTROL NUMBER:	13841010000001900	SUBDIVISION	PALMETTO PK-LOT 19
CONSTRUCTION ADDRESS:	42 S SEWALLS POINT RD		
OWNER NAME:	DOYLE		
QUALIFIER:	ROBERT AUSTIN	CONTACT PHONE NUMBER:	772-287-1949

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 8-14-07
TOWN OF SEWALL'S POINT

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 8/13/07 Permit Number: _____

OWNER/TITLEHOLDER NAME: Donald Doyle Phone (Day) _____ (Fax) _____

Job Site Address: 42 South Sewall's Point Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) PALMETTO PARK Lot 19 Parcel Number: 01-38-41-010-000-00190-0

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Scope of work: INSTALL NEW GARAGE DOOR, WIDEN DRIVEWAY 2'0"

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES:
Estimated Value of Construction or Improvements: \$ 7000.00
(Notice of Commencement required over \$2500)
Estimated Fair Market Value prior to improvement: \$ _____
(FOR ADDITIONS AND REMODEL APPLICATIONS ONLY)
Method of Determining Fair Market Value: _____

CONTRACTOR/Company: TRIVNE BUILDERS INC Phone: 297-1949 Fax: 287-1948

Street: P.O. BOX 631 HOBE City: HOBE SOUND State: FL Zip: 33475

State Registration Number: _____ State Certification Number: _____ Municipality License Number: _____

ARCHITECT JOSEPH P. MCCARTY Lic.#: _____ Phone Number: 287-6735

Street: 900 EAST OSCEOLA STREET City: STUART State: FL Zip: _____

ENGINEER NA Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE (SEWER & ELECTRIC): Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.

THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.
*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

OWNER OR AUTHORIZED AGENT SIGNATURE (required)
Donald A Doyle

State of Florida, County of: Martin

This the 13 day of August, 2007

by Donald Doyle who is personally known to me or produced as identification. Robert Alan Austin

My Commission Expires: _____

Notary Public State of Florida
Robert Alan Austin
My Commission DD461404
Expires 08/14/2009

CONTRACTOR SIGNATURE (required)
Robert A Austin

On State of Florida, County of: Martin

This the 13 day of August, 2007

by Robert A Austin who is personally known to me or produced as identification. Sharon Sperry

My Commission Expires: _____

Notary Public State of Florida
Sharon Sperry
Commission# DD653124
My comm. expires March 20, 2011

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

AC# 3204526

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L070423003

DATE	BATCH NUMBER	LICENSE NBR
04/23/2007	060670510	CRC1328017

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS INC
7190 SE FEDERAL HWY STE 14
STUART FL 34997

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC# 3204515

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L070423003

DATE	BATCH NUMBER	LICENSE NBR
04/23/2007	060670511	CCC1327362

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS INC
7190 SE FEDERAL HWY STE 14
STUART FL 34997

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2006-512-0004 CERT CRC 1328017
PHONE (772) 546-0999 SIC NO 233211

LOCATION: 7770 SE MACCO FARMS RD HS

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL. FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL			25.00

RECEIPT & PAYMENT
LARRY C. O'STEEN
2006-2007 ORIGINAL
20060004 200601
060670510 2007
TRIUNE BUILDERS INC

AUSTIN, ROBERT ALAN
TRIUNE BUILDERS, INC.
7770 SE MACCO FARMS ROAD
HOBE SOUND, FL 33455

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF RESIDENTIAL BUILDING CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

15 AUGUST 06
DAY OF 2007

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID SE TRIUR-1	DATE (MM/DD/YYYY) 08/09/07
PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 772-286-4334 Fax: 772-286-9389		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Triune Builders Inc DBA Triune Roofing P.O. Box 631 Hobe Sound FL 33475		INSURERS AFFORDING COVERAGE	
		INSURER A: Admiral	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	
		NAIC #	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADOL	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS						
A	GENERAL LIABILITY	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY	CA00010152-01	11/13/06	11/13/07	EACH OCCURRENCE	\$ 1000000					
		<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50000					
						VED EXP (Any one person)	\$ 5000					
						PERSONAL & ADV INJURY	\$ 1000000					
						GENERAL AGGREGATE	\$ 2000000					
						PRODUCTS - COMP/OP AGG	\$ 1000000					
		GENL AGGREGATE LIMIT APPLIES PER:										
		<input type="checkbox"/> POLICY				<input type="checkbox"/> PROJ	<input type="checkbox"/> LOC					
		AUTOMOBILE LIABILITY								COMBINED SINGLE LIMIT (Ea accident)	\$	
		<input type="checkbox"/> ANY AUTO									BODILY INJURY (Per person)	\$
<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$					
<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (Per accident)	\$					
<input type="checkbox"/> HIRED AUTOS												
<input type="checkbox"/> NON-OWNED AUTOS												
CARAGE LIABILITY						AUTO ONLY - EA ACCIDENT	\$					
<input type="checkbox"/> ANY AUTO						OTHER THAN AUTO ONLY - EA ACC	\$					
EXCESS UMBRELLA LIABILITY						AGG	\$					
<input type="checkbox"/> OCCUR	<input type="checkbox"/> CLAIMS MADE					EACH OCCURRENCE	\$					
<input type="checkbox"/> DEDUCTIBLE						AGGREGATE	\$					
<input type="checkbox"/> RETENTION \$							\$					
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATUTORY LIMITS	\$					
ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?						OTH ER	\$					
If yes, describe under SPECIAL PROVISIONS below						E.L. EACH ACCIDENT	\$					
OTHER						E.L. DISEASE - EA EMPLOYEE	\$					
						E.L. DISEASE - POLICY LIMIT	\$					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Roofing - STATE OF FLORIDA

CERTIFICATE HOLDER

CANCELLATION

TOWNS-1

Town of Sewalls Point
 1 S Sewalls Point Road
 Stuart FL 34996

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Debra L. Hill

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC07-01001A6-063027 8/9/2007 2:56:24PM
PRODUCER Highpoint Risk Services LLC 14180 Dallas Parkway #500 Dallas, TX 75254 (800) 632-5096 (972) 715-0959 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED: AMS 17c/f/f: TRIUNE BUILDERS, INC. 7100 S.E. NEW HWY SUITE 14 STUART, FL 34997 (772) 287-1949 Fax: (772) 207-1940	INSURERS AFFORDING COVERAGE	
	INSURER A: Companion Property and Casualty Insurance Comp INSURER B: INSURER C: INSURER D: INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMPION AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY - EA ACC \$ ACC \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEFECTIVE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC7777999C401	04/01/2007	04/01/2008	<input checked="" type="checkbox"/> YES STATE <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 1000000 EL DISEASE - EA EMPLOYEE \$ 1000000 EL DISEASE - POLICY LIMIT \$ 1000000
	OTHER				LIMITS \$ LIMITS \$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to TRIUNE BUILDERS, INC., effective 04/01/2007.

PLEASE SEE ATTACHED EMPLOYEE ROSTER.

CERTIFICATE HOLDER Sewalls Point Building Department 1 South Sewalls Point Road Sewalls Point, FL 34996	ADDITIONAL INSURED; INSURER LETTER: CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE:
---	--

INSTR # 2032771 OR BK 02271 PG 1839 RECD 08/15/2007 09:52:37 AM

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 01-38-41-010-000-00190-0

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Palmetto Park lot 19/42 S.E. Sewalls Point Rd.

GENERAL DESCRIPTION OF IMPROVEMENT: Install new garage door, Enlarge Drive

OWNER: Donald Doyle

ADDRESS: 42 South Sewalls Point Rd. Stuart, FL 34996

PHONE #: _____

FAX #: _____

INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Triune Builders Inc.

ADDRESS: P.O. Box 631 Hope Sound FL 33475

PHONE #: 287-1949

FAX #: 287-1948

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

STATE OF FLORIDA
MARTIN COUNTY

FAX #: _____
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

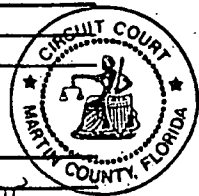
MARSHA EWING, CLERK

LENDER/MORTGAGE COMPANY _____

ADDRESS: _____

PHONE #: _____

FAX #: _____
BY: [Signature] D.C.
DATE: 8/13/07



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S

NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ **FAX #:** _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

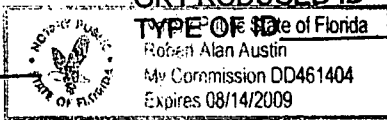
[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 13 DAY OF August 2007

BY Donald Doyle

PERSONALLY KNOWN _____
OR PRODUCED ID _____

[Signature]
NOTARY SIGNATURE





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TABLE 1609.6D

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (z)

MEAN ROOF HEIGHT (feet)	EXPOSURE		
	B	C	D
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66
35	1.05	1.45	1.70
40	1.09	1.49	1.74
45	1.12	1.53	1.78
50	1.16	1.56	1.81
55	1.19	1.59	1.84
60	1.22	1.62	1.87

For SI: 1 foot = 304.8mm.

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

TABLE 1609.6E

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

EFFECTIVE WIND AREA		Basic Wind Speed V (mph - 3 second gust)							
Width (ft)	Height (ft)	85	90	100	110	120	130	140	150
Roof Angle 0-10 degrees									
8	8	10.5 -11.9	11.7 -13.3	14.5 -16.4	17.5 -19.9	20.9 -23.6	24.5 -27.7	28.4 -32.2	32.6 -36.9
10	10	10.1 -11.4	11.4 -12.7	14.0 -15.7	17.0 -19.0	20.2 -22.7	23.7 -26.6	27.5 -30.8	31.6 -35.4
14	14	10.0 -10.7	10.8 -12.0	13.3 -14.8	16.1 -17.9	19.2 -21.4	22.5 -25.1	26.1 -29.1	30.0 -33.4
Roof Angle > 10									
9	7	11.4 -12.9	12.8 -14.5	15.8 -17.9	19.1 -21.6	22.8 -25.8	26.7 -30.2	31.0 -35.1	35.6 -40.2
16	7	10.9 -12.2	12.3 -13.7	15.2 -16.9	18.3 -20.4	21.8 -24.3	25.6 -28.5	29.7 -33.1	34.1 -38.0

For SI: 1 Square foot = 0.929 Sqm, 1mpg = 0.447 m/s, 1psf = 47.88 N/sqm.

1. For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
2. Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1606.2D.
3. Plus and minus signs signify pressures acting toward and away from the building surfaces.
4. Negative pressures assume door has 2 feet of width in building's end zone.

1609.6.5.1 Garage doors. Pressures from Table 1609.6E. for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-10, 2007 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8559	Wolcott	Final.	PASS	CLOSE
3	32 Rio Vista Linden Marine	MAURICE 349-0727		INSPECTOR: <i>[Signature]</i>
8708	Madeleine 5 Mandalay Schiller	rough plumbing Cancel		INSPECTOR: _____
8720	Arch	Final A/C +	PASS	10:00 AM CLOSE
1	18 Palm Rd	Electric	PASS	INSPECTOR: Mike Call contractor for access 519-9209
8692	DOYLE 42 S.S. PR TRIUNE.	POOR EDCU	PASS	INSPECTOR: <i>[Signature]</i>
8691	Pelican Group	GRADING	PASS	PRELIMINARY GRADE.
	142 S.S. P.R.	DEADMAN	PASS	
	KIBBS & SON.	TIE BACKS	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: _____
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: _____

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10-17, 2007

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8679 6	Watters 70N River Rd JTG	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
Tree 3	Schnabel 1225 Sewalls Pt O/B	Tree	PASS	 INSPECTOR: <i>AM</i>
8738 1	Servastanus 19 Island Rd Triune	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
7224 2	Johnson 34 W High Pt Schiller	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
8692 5	Doyle 42 S Sewalls Pt Triune	Final	PASS	CLOSE INSPECTOR: <i>AM</i>
8705 4	Strait 17 Rio Vista O/B	buck (w/o)	FAIL	 INSPECTOR: <i>AM</i>
		WORK W/O PERMIT		
	7 WEST HIGH PT.	NOT STOP WORK		
		ORDER ISSUED.		INSPECTOR:
OTHER: 8037	Marney 121 Hillcrest Dr O/B	Final A/C	PASS	CLOSE <i>AM</i>

9024

RETAINING WALL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9024	DATE ISSUED:	OCTOBER 13, 2008
SCOPE OF WORK:	RETAINING WALL		
CONDITIONS:			
CONTRACTOR:	HARBOR BAY MARINE		
PARCEL CONTROL NUMBER:	013841010000001900	SUBDIVISION	PALMETTO PARK-LOT 19
CONSTRUCTION ADDRESS:	42 S SEWALLS POINT RD		
OWNER NAME:	DOYLE		
QUALIFIER:	SCOTT SZAFRANSKI	CONTACT PHONE NUMBER:	772-485-2298

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

RECEIVED
DATE: 10-8-08
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: 10-8-08 PERMIT NUMBER: _____

OWNER/TITLEHOLDER NAME: Don Doyle Phone (Day) 286-3777 (Fax) _____

Job Site Address: 42 S. Sewall's Pt. Rd. City: Sewall's Pt. State: FL Zip: _____

Legal Description: Palmetto Park - Lot 19 Parcel Control Number: 013841-010-000-001900

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): 18" TAIL REMAINING W/AIL BEHIND EXISTING CONCRETE BAGS

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$12,000⁰⁰
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Harbor Bay Marine Phone: 772-485-2298 Fax: 335-7080

Street: 1525 S.E. Cambridge Dr. City: POCOT ST LUCIE State: FL Zip: 34952

State License Number: _____ OR: Municipality: Martin County License Number: SP0-2985

LOCAL CONTACT: Scott Szafiranski Phone Number: 772-485-2298

DESIGN PROFESSIONAL: Harbor Bay Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2004 W/ 2006 REV., National Electrical Code: 2005 Florida Energy Code: 2004/6 Florida Accessibility Code: 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - 5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNER'S LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Donald A Doyle
State of Florida, County of: Martin
This the 8th day of October, 2008
by Donald A Doyle who is personally known to me or produced FD# 400-181-36-370-0 as identification. Valerie Meyer

My Commission Expires: _____
NOTARY PUBLIC
VALERIE MEYER
MY COMMISSION # DD552119
EXPIRES: May 14, 2010

CONTRACTOR SIGNATURE: (required)
Scott A Szafiranski
State of Florida, County of: Martin
This the 8th day of October, 2008
by Scott A Szafiranski who is personally known to me or produced FD# S165-781-65-022-6 as identification. Valerie Meyer

My Commission Expires: _____
NOTARY PUBLIC
VALERIE MEYER
MY COMMISSION # DD552119
EXPIRES: May 14, 2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 013841-010-000-00190-0

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): PALMETTO PARK LOT 19 42 S. Sewall's Point Rd. Sewall's Pt. FL. 34996

GENERAL DESCRIPTION OF IMPROVEMENT: RETAINING WALL REPLACEMENT

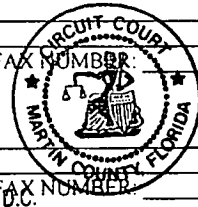
OWNER NAME: Don Doyle 42 S. SEWALL'S POINT RD. SEWALL'S PT. FL.
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: _____
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: Harbor Bay Marine Industries
ADDRESS: 1525 SE Cambridge Dr. Pompano Beach FL 33062
PHONE NUMBER: 772 482-2292 FAX NUMBER: 335-7080

SURETY COMPANY (IF ANY): STATE OF FLORIDA MARTIN COUNTY
ADDRESS: _____
PHONE NUMBER: _____ THIS IS TO CERTIFY THAT THE _____ FAX NUMBER: _____
BOND AMOUNT: FORGOING PAGES IS A TRUE _____

LENDER/MORTGAGE COMPANY: _____ AND CORRECT COPY OF THE ORIGINAL.
ADDRESS: MARSHA EWING, CLERK
PHONE NUMBER: _____ FAX NUMBER: _____
BY: [Signature] D.O.C.



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

* Donald A Doyle
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

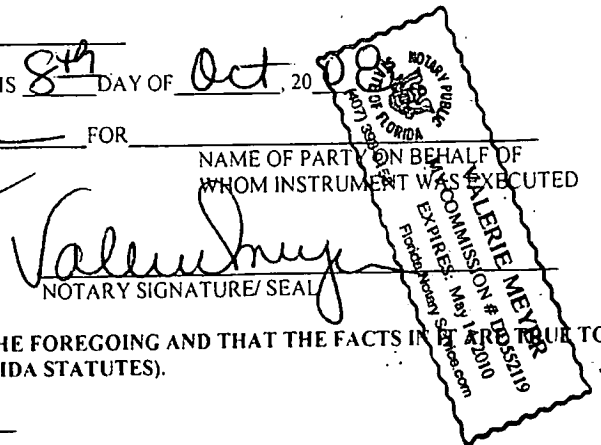
SIGNATORY'S TITLE/OFFICE: owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF Oct, 2008

BY: Donald A. Doyle AS owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY.

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED: FLID

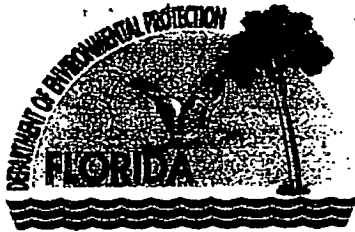


UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN _____ ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

* Donald A Doyle
(Signature of Natural Person Signing Above)

INSTR # 2111133 OR BK 02355 PG 1510 RECD 10/13/2008 01:32:12 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK S Phoenix





Jack Long, Director
Southeast District Office

Florida Department of Environmental Protection

Port Saint Lucie Office
1801 SE Hillmoor Drive Suite C204
Port Saint Lucie, FL 34952
(772) 398-2806
FAX #(772)398-2815

Charlie Crist
Governor

Jeff Kottkamp
Lt. Governor

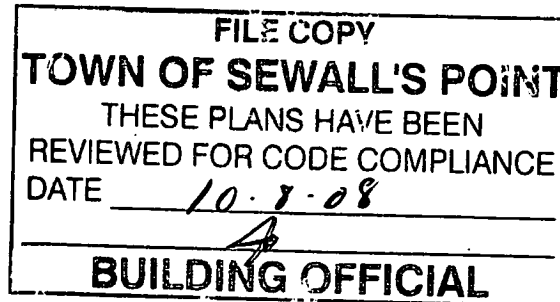
Michael W. Sole
Secretary

OCT 06 2008

Donald Doyle
42 South Sewalls Point Road
Sewalls Point, FL 34996

Applicant: Doyle, Donald
File No.: 43-0176035-002

Dear Mr. Doyle:



On September 12, 2008, we received your application for an exemption to perform the following activities: construct a 145 linear foot upland retaining wall, a minimum of 10 feet landward of the Mean High Water line, in the location and configuration as shown on the attached drawings. The project is located adjacent to the Indian River, Jensen Beach to Jupiter Inlet Aquatic Preserve, Outstanding Florida Waters, Class III Waters of the State, at 42 South Sewalls Point Road, (Section 1, Township 38 South, Range 41 East), Stuart, Martin County, (Latitude 27° 11' 48.83" N, Longitude 80° 11' 50.07" W).

Your application has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for work in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. – NOT REQUIRED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance with operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that your project is not within the jurisdiction of the Department, pursuant to Chapter 373, Florida Statutes (F.S.), because all of the construction will take place on uplands. Therefore, no further authorization is required.

Any modifications to your plans should be submitted for review, as changes may result in permits being required. No temporary dredging or filling, slope grading or equipment access is allowed in jurisdictional waters during project construction. The Department's jurisdiction may extend above mean high water where listed wetland species occur as defined in Rule 62-340, Florida Administrative Code.

2. Proprietary Review (related to state-owned lands). – NOT REQUIRED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Applicant: Doyle, Donald
File No.: 43-0176035-002
Page 2

Your project will not occur on sovereign submerged land. Therefore, pursuant to Chapter 253.77, F.S., authorization from the Board of Trustees is not required.

3. Federal Review (State Programmatic General Permit). – NOT REQUIRED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is not within the jurisdiction of the Corps. No further permitting for this activity is required by the Corps.

The determinations in this letter are based solely on the information provided to the Department and on the statutes and rules in effect when the application was submitted. The determinations are effective only for the specific activity proposed. These determinations shall automatically expire if site conditions materially change or if the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

NOTICE OF RIGHTS OF SUBSTANTIALLY AFFECTED PERSONS

This letter acknowledges that the proposed activity is exempt from ERP permitting requirements. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. The procedures for petitioning for a hearing are set forth in the attached notice.

This determination is based on the information you provided the Department and the statutes and rules in effect when the application was submitted and is effective only for the specific activity proposed. This determination shall automatically expire if site conditions materially change or the governing statutes or rules are amended. In addition, any substantial modifications in your plans should be submitted to the Department for review, as changes may result in a permit being required. In any event, this determination shall expire after one year.

Be advised that your neighbors and other parties who may be substantially affected by the proposed activity allowed under this determination of exemption have a right to request an administrative hearing on the Department's decision that the proposed activity qualifies for this exemption. Because the administrative hearing process is designed to redetermine final agency action on the application, the filing of a petition for an administrative hearing may result in a final determination that the proposed activity is not authorized.

The Department will not publish notice of this determination. Publication of this notice by you is optional and not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permits.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Applicant: Doyle, Donald
File No.: 43-0176035-002
Page 3

If you wish to limit the time within which all substantially affected persons may request an administrative hearing (or mediation, if available), you may elect to publish, at your own expense, the enclosed notice (Attachment A) one time only in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place.

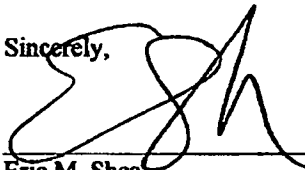
If you wish to limit the time within which any person may request an administrative hearing (or mediation, if available), you may provide such person, by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address a certification or affidavit of publication issued by the newspaper. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

Florida Department of Environmental Protection
Southeast District Branch Office
Submerged Lands & Environmental Resources Program
1801 SE Hillmoor Dr., Suite C-204
Port St. Lucie, Fl 34952

If you have any questions, please contact Cindy Lott at (772) 398-2806 ext. 116 or at Cynthia.Lott@dep.state.fl.us. When referring to your project, please use the FDEP file name and number listed above.

Sincerely,



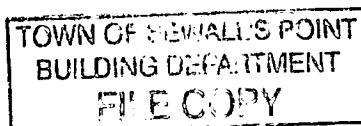
10/3/08
Date

Eric M. Shea
Environmental Supervisor
Florida Department of Environmental Protection
Southeast District Branch Office

EMS/cel

Enclosures

cc: USACOE - Palm Beach Gardens Samantha.L.Rice@usace.army.mil [without enclosures]
Scott Szafranski, Harbor Bay Marine, harborbaymarine@aol.com, agent [without enclosures]



STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
NOTICE OF DETERMINATION OF EXEMPTION

The Department of Environmental Protection gives notice that the construction of a 145 linear foot upland retaining wall, a minimum of 10 feet landward of the Mean High Water line, in the location and configuration as shown on the attached drawings, has been determined to be exempt from requirements to obtain an environmental resource permit. The project is located adjacent to the Indian River, Jensen Beach to Jupiter Inlet Aquatic Preserve, Outstanding Florida Waters, Class III Waters of the State, at 42 South Sewalls Point Road, (Section 1, Township 38 South, Range 41 East), Stuart, Martin County, (Latitude 27° 11' 48.83" N, Longitude 80° 11' 50.07" W).

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Mediation is not available.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rule 62-110.106(3), F.A.C., petitions for an administrative hearing must be filed within 21 days of publication of the notice or receipt of written notice, whichever occurs first. Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000 prior to the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. Upon motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect, the Department may also grant the requested extension of time.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that right.

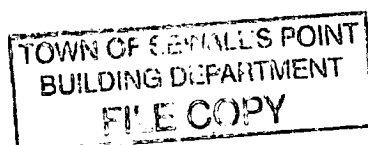
A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing shall be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

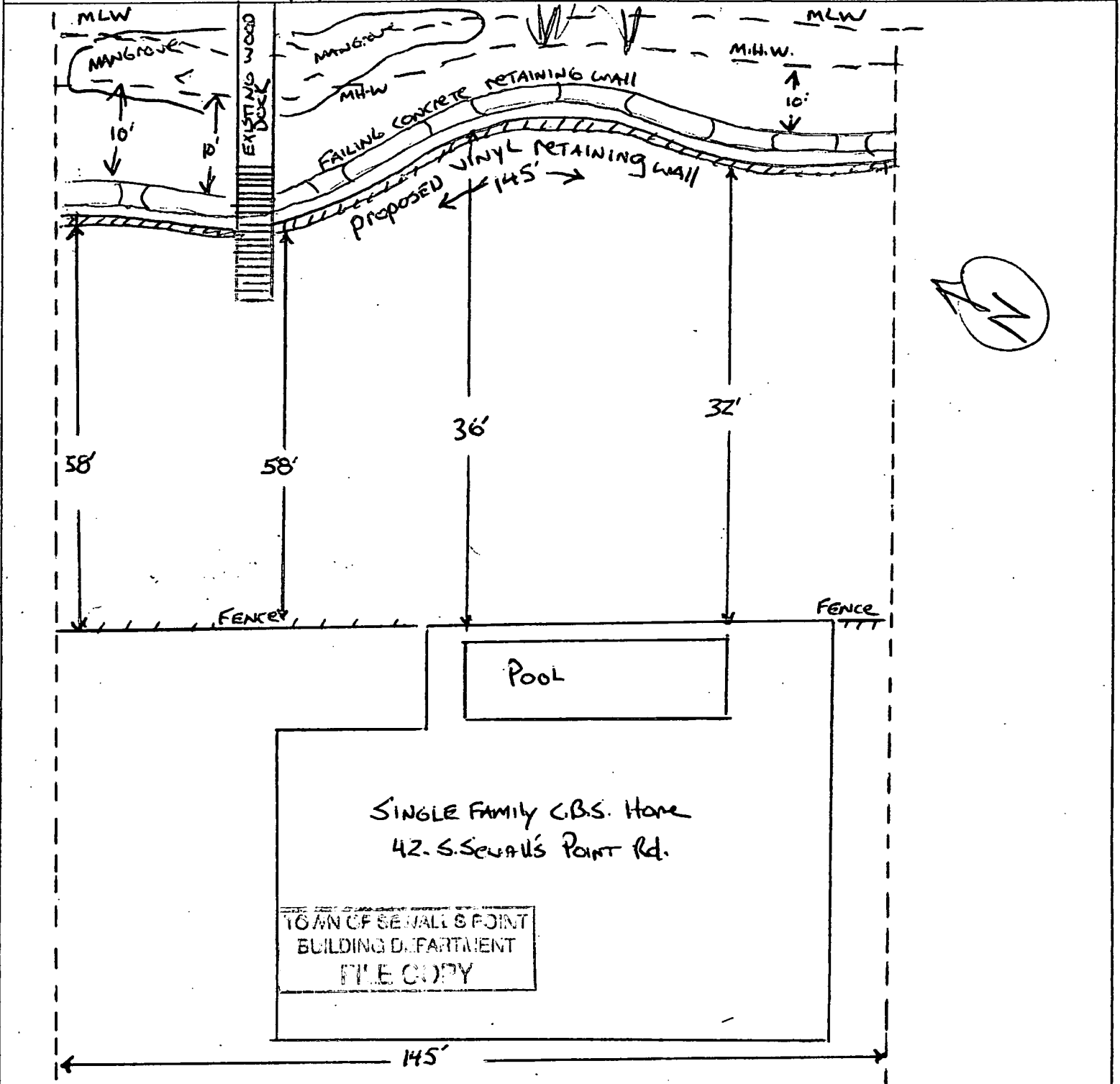
Complete copies of all documents relating to this determination of exemption are available for public inspection during normal business hours, 8:00 a.m. to 5:00 p.m., Monday through Friday, at the Southeast District office, 1801 Hillmoor Drive, Suite C-204, Port St. Lucie, Florida.



HARBOR BAY MARINE INDUSTRIES INC.

* Seawalls * Docks * Boat Lifts * Pile Driving * Marine Permitting *

(772) 485-2298 - Fax (772) 335-7080 - email harborbaymarine@aol.com



SINGLE FAMILY C.B.S. Home
42. S. Sewall's Point Rd.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

TITLE Don Doyle
42. S. Sewall's Pt. Rd.
Sewall's Pt. Florida

REVISIONS		
NO.	DATE	DESCRIPTION

DATE ORIGINAL SCALE

LATEST REVISION JOB NO.

CHECKED DRAWN

Proposed upland retaining wall

PAUL WELCH INC.
MECH-ELECT-CIVIL ENG
1984 BILTMORE ST. #114
PORT ST. LUCIE, FL 34984
PAUL WELCH, P.E. FLA REG NO 29945

SEP 24 2003

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 1-21 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9082	Phamuef	Final	PASS	CLOSE
2	12 Mandalay Heaton Roofing			INSPECTOR <i>[Signature]</i>
9085	CD2	Final	PASS	CLOSE
<i>Johu</i>	75 N Sewalls Stuart Fence			INSPECTOR <i>[Signature]</i>
9800	Tooman	Electric		
1	37 W High Pt Louden Roof	LIGHT NICHES	PASS	INSPECTOR <i>[Signature]</i>
9024	Boyle	Final	PASS	CLOSE
4	42 S Sewalls Harbor Bay Marine			INSPECTOR <i>[Signature]</i>
9000	CD2 LLC			
5	4 RIVER OAK PL CD2 S. NAYNES	U.G. PLUMB	PASS	INSPECTOR <i>[Signature]</i>
8535	Stark	Final	PASS	ready for C.O.
3	81 S River Rd Emil LaViola			INSPECTOR <i>[Signature]</i>
9064	Masterpiece	stem wall		
	1 Marguerita Dr Masterpiece			INSPECTOR

9980

BOATLIFT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9980	DATE ISSUED:	JANUARY 25, 2012
SCOPE OF WORK:	REPLACE BOATLIFT		
CONTRACTOR:	HARBOR BAY MARINE		
PARCEL CONTROL NUMBER:	013841010-000-001900	SUBDIVISION	PALMETTO PK-LOT 19
CONSTRUCTION ADDRESS:	42 S SEWALLS PT RD		
OWNER NAME:	DOYLE		
QUALIFIER:	SCOTT SZAFRANSKI	CONTACT PHONE NUMBER:	485-2298

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

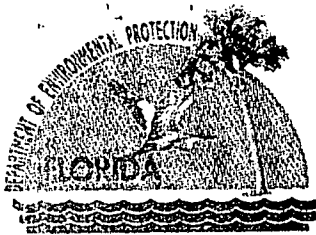
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



Jeb Bush
Governor

Department of Environmental Protection

Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

NOV 14 2003

CERTIFIED MAIL

RETURN RECEIPT REQUESTED 7000 0600 0022 8538 1082

Donald and Diana Doyle
42 South Sewall's Point Road
Sewall's Point, FL 34996

Dear Mr. and Mrs. Doyle:

Enclosed is Standard General Permit Number 43-0176095-001, issued pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code.

Appeal rights for you as the permittee and for any affected third party are described in the text of the permit along with conditions which must be met when permitted activities are undertaken. Please review this document carefully to ensure compliance with both the general and specific conditions contained herein. As the permittee, you are responsible for compliance with these conditions. **Please ensure that all construction personnel associated with your activity review and understand the approved drawings and conditions.** Failure to comply with this permit may result in liability for damages and restoration, and the imposition of civil penalties up to \$10,000 per violation per day, pursuant to Sections 403.141 and 403.161, F.S.

In addition, please ensure the construction commencement notice and all other reporting conditions are forwarded to the appropriate office as indicated in the specific conditions.

If you have any questions about this document, please contact me at the phone number listed above.

Sincerely,

Darryl DeLeeuw
Environmental Specialist
Submerged Lands and Environmental Resources Program

Enclosure

"More Protection, Less Process"

Printed on recycled paper.

As staff to the Board of Trustees, the Department has reviewed the activity described above, and has determined that the activity qualifies for a consent to use sovereign, submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein. Therefore, consent is hereby granted, pursuant to Chapter 253.77, F.S., to perform the activity on the specified sovereign submerged lands.

SPGP REVIEW - AUTHORIZATION GRANTED

Federal authorization for the proposed project is reviewed by DEP pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (the Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

~~Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). Your proposed activity as outlined on the attached drawings is in compliance with the SPGP program. U.S. Army Corps of Engineers (Corps) General conditions apply to your project, as attached. No further permitting for this activity is required by the Corps. The authority granted under this SPGP expires December 17, 2003. Your project must be completed prior to this expiration date.~~

You are hereby advised that authorizations may also be required by other federal, state, and local entities. This authorization does not relieve you from the requirements to obtain all other required permits and authorizations.

The above named permittee is hereby authorized to construct the work shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the Department and made a part hereof. **This permit and authorization to use sovereign submerged lands is subject to the limits, conditions, and locations of work shown in the attached drawings, and is also subject to the attached [19] General Conditions, [12] General Consent Conditions, and [11] Specific Conditions, which are a binding part of this permit and authorization.** You are advised to read and understand these drawings and conditions prior to commencing the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings. If you are utilizing a contractor, the contractor also should read and understand these drawings and conditions prior to commencing the authorized activities. Failure to comply with all drawings and conditions shall constitute grounds for revocation of the permit and appropriate enforcement action.

Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and with the general and specific conditions of this permit/certification/authorization, as specifically described below.

GENERAL CONDITIONS:

- (1) All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
- (2) This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by the Department staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
- (3) Activities approved by this permit shall be conducted in a manner which does not cause violations of state water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of state water quality standards. Temporary erosion control shall be

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: 9980 TAX FOLIO #: 013841-010-000-00190-0

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): PALMCREST PALM LOT 19 42 S. SANDS POND RD.

GENERAL DESCRIPTION OF IMPROVEMENT: BOATLIFT

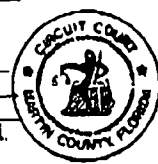
OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: Don Doyle
ADDRESS: 42 S. SANDS POND RD.
PHONE NUMBER: 286-3777 FAX NUMBER:
INTEREST IN PROPERTY: own

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): DOYLE

CONTRACTOR: Harbor Bay Marine Industries Inc.
ADDRESS: 1125 S.E. CHAMBRIDGE POSEY ST. LACUA FL 34972
PHONE NUMBER: 772-485-2298 FAX NUMBER: 335-7080

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT: STATE OF FLORIDA MARTIN COUNTY

LENDER/MORTGAGE COMPANY: TRUSTS TO CERTIFY THAT THE FOREGOING 4 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OF OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b) 7, FLORIDA STATUTES:

NAME: BY: DATE: D.C.
ADDRESS: DATE:
PHONE NUMBER: FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES OF TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B) FLORIDA STATUTES:
PHONE NUMBER: FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: (EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

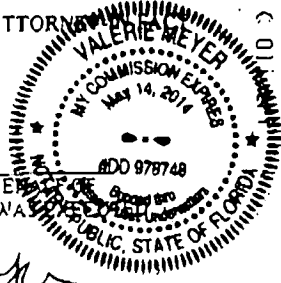
UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY: [Signature]

SIGNATORY'S TITLE/OFFICE: Owner
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26 DAY OF Jan, 2012

BY: Donald Doyle AS owner FOR NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION:
TYPE OF IDENTIFICATION PRODUCED: FIDC #0400-181-36-370-0 Valerie Meyer



INST. # 2315523 OR BR 02559 FG 2634 RECD 02/09/2012 01:41:57 PM
MARKSHA EWING MARTIN COUNTY DEPUTY CLERK

KRAMER, SEWELL, SOPKO & LEVENSTEIN, P.A.

ATTORNEYS AT LAW

ROBERT S. KRAMER
LAURIE RUSK SEWELL
JAMES SOPKO

Board Certified Tax Lawyer
Board Certified Wills, Trusts
and Estates Lawyer

RICHARD H. LEVENSTEIN

JEANNA D. BIALCZAK

KATHLEEN S. MAC MAHON

853 S.E. MONTEREY COMMONS BLVD.
POST OFFICE BOX 2421
STUART, FLORIDA 34995

(561) 288-0048

FAX (561) 288-0049

BOCA RATON: (561) 394-8886

e-mail KSSLawyers.com

November 30, 2001

Department of Environmental Protection
Port St. Lucie Branch Office
Ms. Dana Small
1801 SE Hillmore Drive, Suite C204
Port St. Lucie, FL 34952

Re: Dock application for Donald and Diana Doyle
42 South Sewell's Point Road, Sewell's Point, Florida

Dear Ms. Small:

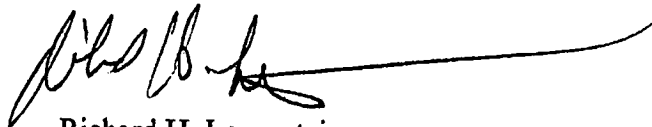
Pursuant to your request, with regard to the referenced dock application, enclosed are the following documents:

- 1) Deed to Lot A
- 2) Deed to Lot 19
- 3) Retraction of Unity of Title
- 4) Executor's Deed

~~The Doyles have been granted a conditional dock variance from the Town of Sewell's Point conditioned upon the amendment of the DEP application to indicate that Lot 19 and Lot A are~~
separate lots and that the DEP's approval of said application was made based solely on Lot 19 without regard to Lot A. The enclosed documents provide evidence that Lot 19 is owned by the Doyles, while Lot A is held in Trust, by Donald and Diana Doyle as Co-Trustees, for the benefit of the title holders in Palmetto Park Subdivision. Please amend your records accordingly.

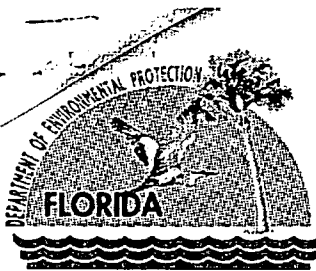
Should you require any further information or documentation please contact me. Your immediate attention to this matter is greatly appreciated.

Sincerely,



Richard H. Levenstein

RHL/nlm
enclosures
cc: Mr. and Mrs. Donald Doyle



Jeb Bush
Governor

Department of Environmental Protection

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(561)398-2806

David B. Struhs
Secretary

CONSOLIDATED ENVIRONMENTAL RESOURCE PERMIT AND SOVEREIGN SUBMERGED LANDS AUTHORIZATION

PERMITTEE/AUTHORIZED ENTITY:

Donald and Diana Doyle
42 South Sewall's Point Road
Sewall's Point, FL 34996

Permit/Authorization No.: 43-0176035-001
Date of Issue: November 14, 2000
Date of Expiration: November 14, 2005
County: Martin
Project: Single Family Dock

This permit is issued under the authority of Part IV of Chapter 373, Florida Statutes (F.S.), and Title 62, Florida Administrative Code (F.A.C.). The activity is not exempt from the requirement to obtain an Environmental Resource Permit. Pursuant to Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C., the Department is responsible for reviewing and taking final agency action on this activity.

ACTIVITY DESCRIPTION:

The purpose of the project is to construct a 1,920 square foot private, single family dock with a 480" x 4" access pier, and one wet slip with an associated boat lift.

ACTIVITY LOCATION:

The project is located in the Jensen Beach to Jupiter Inlet Aquatic Preserve, O.F.W. (Class III waters of the state), at 42 South Sewall's Point Road, Sewall's Point, Martin County, FL.

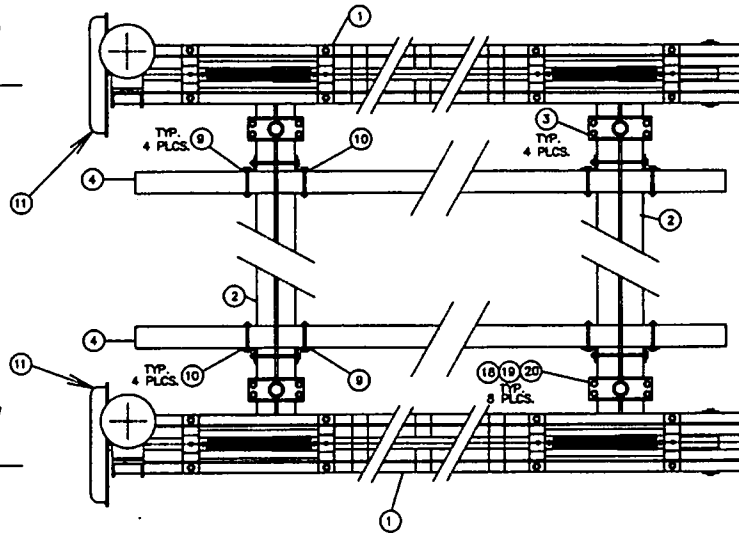
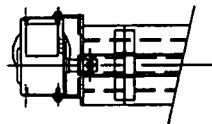
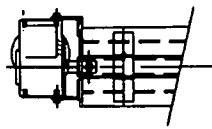
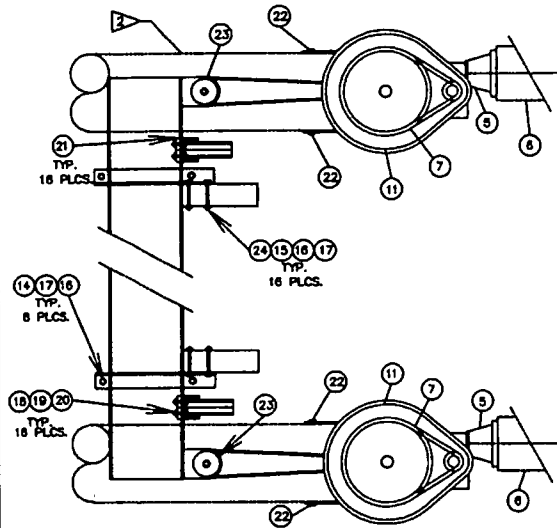
This permit also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Management Act.

This permit also constitutes certification of compliance with water quality standards under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

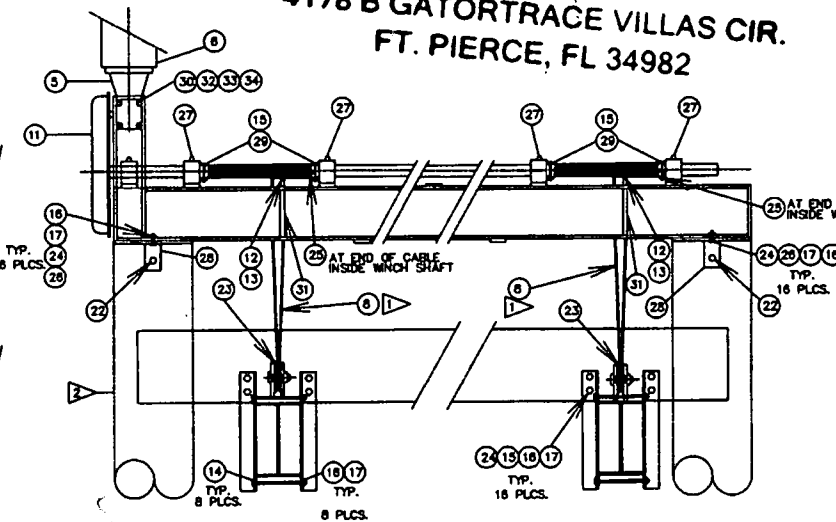
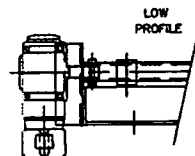
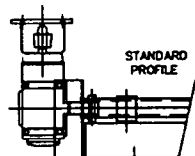
This activity also requires a proprietary authorization, as the activity is located on sovereign submerged lands owned by the Board of Trustees of the Internal Improvement Trust Fund, pursuant to Article X, Section 11 of the Florida Constitution, and Sections 253.002 and 253.77, F.S. The activity is not exempt from the need to obtain a proprietary authorization. The Department has the responsibility to review and take final action on this request for proprietary authorization in accordance with Section 18-21.0051, and the Operating Agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C. In addition to the above, this proprietary authorization has been reviewed in accordance with Chapter 253 and Chapter 258, F.S., Chapter 18-20, Chapter 18-21, Section 62-343.075, F.A.C., and the policies of the Board of Trustees.

"More Protection, Less Process"

Printed on recycled paper.

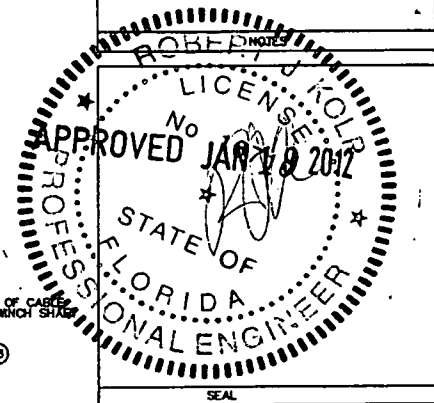


ROBERT J. KOLP
 P.E. NO. 16710
 4178 B GATORTRACE VILLAS CIR.
 FT. PIERCE, FL 34982



BOATLIFT COMPLIES WITH THE
 ASCE/SEI 7-05 MINIMUM DESIGN
 LOADS INCLUDING WIND LOADS
 FOR BUILDING AND OTHER
 STRUCTURES, THE 2007 FLORIDA
 BUILDING CODE INCLUDING THE
 2009 SUPPLEMENTS, THE ALUMINUM
 ASSOCIATION'S DESIGN MANUAL
 2005 (AA ADI) - SPECIFICATIONS
 AS REQUIRED BY THE FLORIDA
 BUILDING CODE.

REV	QTY	DESCRIPTION	QTY
34	8	7/16-14 S.S. HEX. NUT	8
33	8	7/16 S.S. FLATWASHER	8
32	8	7/16 S.S. LOCKWASHER	8
31	4	1/2" SCHED 40 ALUMINUM PIPE	4
30	8	7/16-14 S.S. HEX. HD. BOLT - 1 1/2" LONG	8
29	8	3/8-18 S.S. SELF LOCKING HEX. NUT	8
28	10	EX-0055-2 10" TOP CARRIER MOUNTING BRACKET	10
27	10	GREASE FITTING	10
26	8	3/8 S.S. CARRIAGE BOLT - 1 1/2" LONG	8
25	4	1/4 CABLE CLAMPS	4
24	32	3/8 S.S. LOCKWASHER	32
23	4	ALUMINUM SHEAVE	4
22	8	3/8 S.S. LAG BOLT-3" LONG	8
21	16	22-1088-43 P.V.C. STANSON MITG. SOCKET CLAMP	16
20	18	1/2-13 S.S. HEX. NUT	18
19	18	1/2 S.S. LOCKWASHER	18
18	18	1/2-13 S.S. HEX. HD. BOLT-1 1/2" LONG	18
17	32	3/8 S.S. FLAT WASHER	32
16	24	3/8-18 S.S. HEX. NUT	24
15	16	3/8-18 S.S. HEX. HD. BOLT-4" LONG	16
14	8	3/8-18 S.S. HEX. HD. BOLT-7" LONG	8
13	8	3/16 SWAGE FITTINGS	8
12	4	3/16 THIMBLE	4
11	2	EX-0022 GEAR COVER ASSEMBLY	2
10	4	22-3208-17 BUNKCLAMP 'B'	4
9	4	22-3208-18 BUNKCLAMP 'A'	4
8	4	22-1088-45 3/16 S.S. CABLE	4
7	2	22-1088-19 RSU ROLLER CHAIN	2
6	2	1 HP ELECTRIC MOTOR (2 HP FOR X2)	2
5	2	22-1088-23 60:1 WORM GEAR ASSEMBLY	2
4	2	22-3208-06 BUNK ASSEMBLY	2
3	4	22-3208-04 P.V.C. STANSON MITG. SOCKET ASSY.	4
2	2	22-3208-05 LIFTER ASSEMBLY	2
1	2	20-1307-03 WINCH ASSEMBLY	2
REV	DWG. NR.	NOMENCLATURE	QTY.



REVISIONS	DATE
REVISD AND RENAMED 29-1913-01 TO ROL-16000-ASSEMBLY	30 AUG. 1997

REVISED BY	DATE	SEE NOMENCLATURE
RVH	6/2/10	RO-UFT/GEAR DRIVE/X2 16000 LBS CAPACITY
SCALE	1:15	

Hi-Tide Sales, Inc. ROL-GD-16000-ASSEMBLY

Stress Calculations: 16,000 Gear Drive #X2
 Root Lift For Hi-Tide Sales, Inc.
 [Alum. Design Mar. 2025]

01/11/00
 R Kolp
 P.E. No. 16710

Winch Assembly:

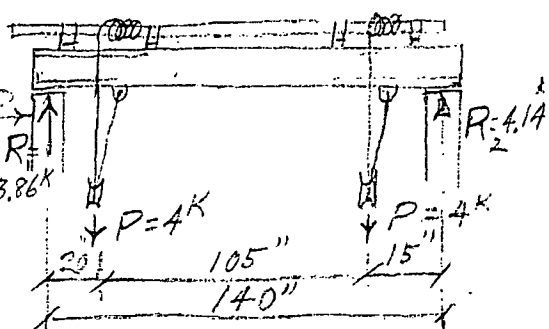
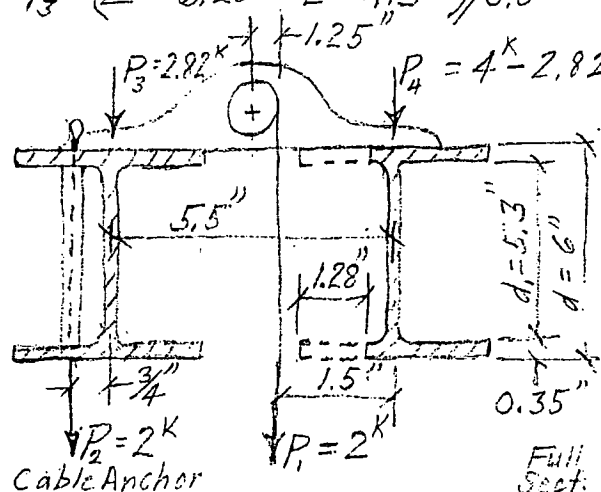
IG x 4.69 Alum. 6061-T6 $S_x = 8.5 \text{ in}^3$, $r_y = .968$ 10" ϕ Pile

$P = 16,000 \div 4 \text{ Cables} = 4 \text{ K}$

$R_1 = 15" \times 4 \text{ K} + 120" \times 4 \text{ K} = 3.86 \text{ K}$ $R_2 = 8 - 3.86 = 4.14 \text{ K}$

$[\Sigma M_{P_2} = 0]$ $R_3 = (2 \text{ K} \times 6.25 + 2 \text{ K} \times 1.5) / 5.5 = 2.82 \text{ K}$

$P_3 = 2.82 \text{ K}$ $P_4 = 4 \text{ K} - 2.82 \text{ K} = 1.18 \text{ K}$ (At Cable & Anchor Area)



Check Beam w/ Cable Anchor:

$f(\text{act}) = \frac{M}{S_x} = \frac{R_1 \times 20}{8.5 \text{ in}^3} = \frac{2.72 \times 20}{8.5} = 6.4 \text{ Ksi} \leq 9.0 \text{ Ksi}$ (At Welds) OK

Check Beam w/ Cutaway Flange: b (Flange Width) = 4"

$S_x(\text{Cutaway Section}) = \frac{b(d^3 - d_1^3)}{6d} = \frac{1.5(6^3 - 5.3^3)}{6 \times 6} = 2.79$

$S_x(\text{Net Beam}) = S_x(\text{Total Beam}) - S_x(\text{Cutaway Section}) = 8.5 - 2.79 = 5.71$

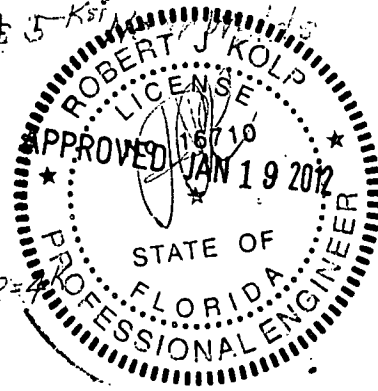
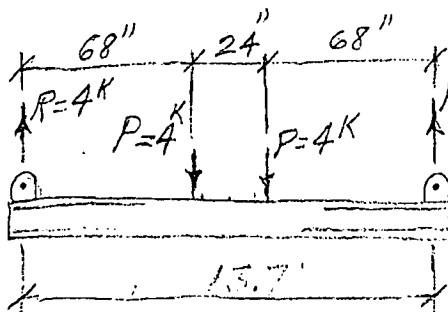
Portion of P_3 Anchored Beam (R_1) ; $f(\text{act}) = \frac{M}{S_x} = \frac{R_1 \times 20}{5.71} = \frac{1.14 \times 20}{5.71} = 3.99 \text{ Ksi} < 9.0 \text{ Ksi}$ (At Welds) OK

Beam w/ Cable Anchor: This beam has greatest stress. It will control.
 Compressive Stress: Table 2-22 Sect. 3.4.11; L_u (Unsupported Length) = 36"
 $L/r = 36 / 0.968 = 37.2$ between S_1 & S_2 So: F_c (Allow. Compr. Stress) = $23.9 - 0.124 L/r$
 $F_c(\text{allow}) = 23.9 - 0.124 \times 37.2 = 19.3 \text{ Ksi}$ $F_c(\text{allow At Welds}) = 10.2 - 0.043 \times 37.2 = 8.6 > 6.4 \text{ Ksi}$ OK

Buckling Compr. Stress: Table 2-22 Sect. 3.4.15 $b = 4$ " - Web thickness
 $b/t = (4 - 0.2) / 2 \times 0.35 = 5.41 < S$, So: $F_c \text{ allow} = 9 \text{ Ksi}$ Within 1" of Welds; $f_c(\text{act}) = 6.4 < 9.0$ OK

Shear Stress Web: Sect. 3.4.20 $h = \text{Web height} = 5.3$ ", $t = 0.21$ "
 $h/t = 5.3 / 0.21 = 25.4 < S$, So: F_v (allow Shear Stress) = 12 Ksi & 5 Ksi
 $f_v(\text{act}) = \frac{V}{A_{web}} = \frac{2.82 \text{ K}}{5.3 \times 0.21} = 2.53 \text{ Ksi} < 5 \text{ Ksi}$ OK

Lifter Beam:



ROBERT J. KOLP
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 4178 B GATORTRACE VILLAS CIR.
 FT. PIERCE, FL 34982

Tension in Lifter Beam: Table 2-22, Sect. 3.4.2

I 10 x 8.65 Alum. 6061-T6 $S_x = 26.4$, $r_y = 1.42"$
 $f_r(\text{acting}) = M/S_x = 4^k \times 68" / 26.4 \text{ in}^3 = 10.3 \text{ ksi} < 19 \text{ ksi}$
 OK

Compression - Gross Section: Sect. 3.4.11

$L_u/r_y = 68" / 1.42" = 47.9$ between S_1 & S_2
 $S_o: F_c(\text{allow}) = 23.9 - 0.124 L_u/r = 23.9 - 0.124 \times 47.9 = 18.0 \text{ ksi} > 12.9 \text{ ksi (Actual Stress)}$
 OK

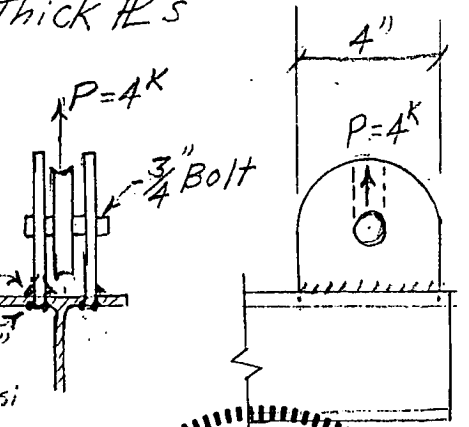
Shear in Web: Sect. 3.4.20 $h = 10" - 2 \times 0.41" = 9.2"$ $t = 0.25"$

$h/t = 9.2 / 0.25 = 36.7$ between S_1 & S_2
 $S_o: F_r(\text{allow}) = 15.8 - 0.101 h/t = 15.8 - 0.101 \times 36.7 = 12.1 \text{ ksi}$
 $f_r(\text{actual}) = P/A = 4^k / (9.2 \times 0.25) = 1.74 \text{ ksi} < 12.1 \text{ ksi}$
 OK

Pulley Support Plates: Alum. 6061-T6 $\frac{1}{4}"$ Thick Pl's

$f_w(\text{weld}) = \frac{P}{A_w} = 2^k / (2 \times 1.77" \times 4") = 1.41 \text{ ksi} < 5.9 \text{ ksi}$
 OK

Filler Wire 4043 Allow Stress = $\frac{11.5 \text{ ult.}}{1.95} = 5.9 \text{ ksi [PIA-6A]}$

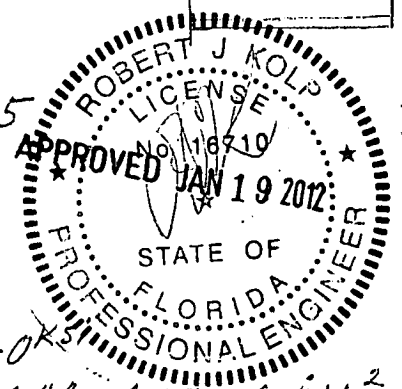


Shear Thru Pl's From Bolt:

$f_r(\text{act. shear}) = \frac{P}{A} = 2^k / [0.25(2 - 0.75/2)] = 4.9 \text{ ksi}$ $\frac{1}{4}"$ Weld Throat 1.77"
 P I A - 16, Table 3.3-1 $F_r(\text{allow}) = \frac{F_{su}}{n_u} = \frac{27}{1.95} = 13.8 > 4.9 \text{ ksi}$
 OK

Bearing on $\frac{1}{4}"$ Pl For $\frac{3}{4}"$ Bolt: P I A - 26, Sect. 3.4.5

$F_p(\text{allow bearing stress}) = 2 F_{tu} / n_u = 2 \times 38 / 1.95 = 39 \text{ ksi}$
 $f_p(\text{actual}) = \frac{P}{A} = 2^k / (0.75" \times 0.25") = 10.7 \text{ ksi} < 39 \text{ ksi}$
 OK



Bolt Shear: Stainless 18-8, $F_{tu} = 80 \text{ ksi}$, $F_{ty} = 40 \text{ ksi}$

$A(\text{net bolt}) = \text{Area } \frac{3}{4}" \text{ Bolt} - \text{Area Grease hole dia } \frac{3}{16}" = 0.44 - 0.03 = 0.41 \text{ in}^2$
 $F_r(\text{allow}) = 0.22 F_{tu} = 0.22 \times 80 = 17.6 \text{ ksi}$
 $f_r(\text{actual}) = \frac{P}{A} = \frac{4^k / 2}{0.41} = 4.88 \text{ ksi} < 17.6 \text{ ksi}$
 D.S. OK

Cable Stress:

Stainless steel $\frac{5}{16}"$ dia. 7x19 strand
 $F_t(\text{Break strength}) = 9^k$ $F_t(\text{actual}) = 2^k$ $F.S. = \frac{9}{2} = 4.5 > 4.0 \text{ min. allowat}$
 OK

Torque in Lifter Pipe:

Bending in $\frac{9}{16}$ " Bolt: R_1 R_2

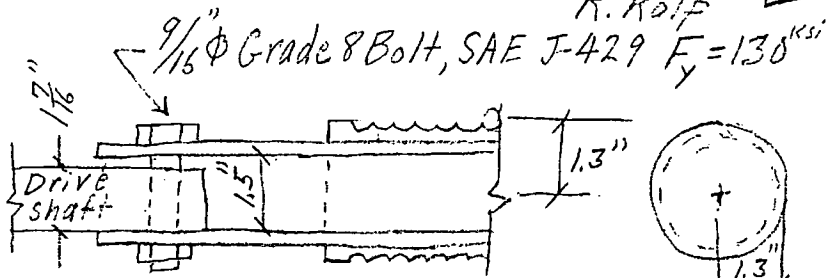
$T(\text{Torque}) = 4^k \times 1.3" = 5.2 \text{ in}\cdot\text{k}$

$R_1 = \frac{5.2 \text{ in}\cdot\text{k}}{1.5"} = 3.47^k$ $R_2 = \frac{5.2}{1.25} = 4.16^k$

$M_{R_2} = \frac{1}{4} \times R_1 = 0.25" \times 4.16^k = 1.04 \text{ in}\cdot\text{k}$

$f_b(\text{act.}) = \frac{M}{S_x} = \frac{1.04 \text{ in}\cdot\text{k}}{0.0175 \text{ in}^3} = 59.4 \text{ ksi}$

$F_b(\text{allow}) = \frac{F_y}{1.65} = \frac{130 \text{ ksi}}{1.65} = 78 \text{ ksi} > 59.4 \text{ ksi}$ (Combine w/ shear stress)
 10K



P = 4^k
Total of 2 cables

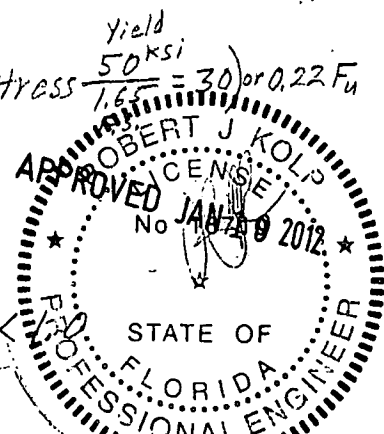
$S_x(\text{Bolt}) = \frac{\pi d^3}{32} = \frac{\pi \times 0.5625^3}{32} = 0.0175 \text{ in}^3$

Shear in Bolt - At Drive Shaft: $A(\text{Bolt}) = 0.248 \text{ in}^2$

$f_s(\text{act.}) = \frac{R}{A} = \frac{4.16^k}{0.248 \text{ in}^2} = 16.8 \text{ ksi} < 30 \text{ ksi}$ (allow working stress $\frac{50 \text{ ksi}}{1.65} = 30$ or $0.22 F_u$)
 10K

Combined Bending & Shear Stress:

$\left(\frac{f_s}{F_s}\right)^2 + \left(\frac{f_b}{F_b}\right)^2 \leq 1.0$
 $\left(\frac{16.8}{30}\right)^2 + \left(\frac{59.4}{78}\right)^2 = 0.31 + 58.0 = 0.89 < 1.0$
 10K



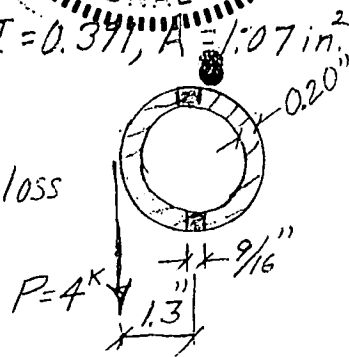
Torsional Shear in Lifter Pipe: A-53 Steel, O.D. = 1.9" $I = 0.391$, $A = 1.07 \text{ in}^2$

$T = \text{Torque} = 1.3" \times 4^k = 5.2 \text{ in}\cdot\text{k}$ $f_r(\text{act.}) = T \times \text{O.D.} / J$

$J(\text{Polar mom. of inertia}) = I_x + I_y = 0.391 + 0.391 = 0.782 \text{ in}^4$

$f_r(\text{Gross section}) = 5.2 \times 1.9 / 0.782 = 12.6 \text{ ksi} + \text{Stress from area loss}$

$f_r(\text{Net section}) = \frac{A}{A - \text{hole area}} \times 12.6 = \frac{1.07}{1.07 - 0.225} \times 12.6 = 16.0 \text{ ksi} > 14 \text{ ksi Allow Stress}$



A-53 steel pipe does not meet the safe working stress requirements.

Use: Grade "B" Cold formed A509 or A618 High strength steel pipe
 $F_y = 46 \text{ ksi}$ or $F_y = 50 \text{ ksi}$

Shear in Cable Winder Bolts: $\frac{3}{8}$ " stainless 18-8, $F_u = 80 \text{ ksi}$, $A = 0.11 \text{ in}^2$

$T(\text{actual Torque}) = 1.3 \times 2^k = 2.6 \text{ in}\cdot\text{k}$ $f_r(\text{act. Shear}) = T / d \div A = 2.6 / (1.9 \times 0.11) = 12.44 \text{ ksi}$

$F_r(\text{Allow Shear}) = 0.22 \times F_u = 0.22 \times 80 = 17.6 \text{ ksi} > 12.44 \text{ ksi}$
 10K

TOWN OF SEWALLS POINT

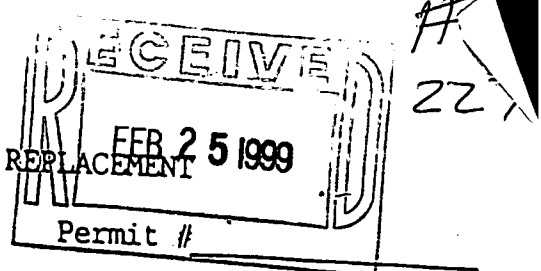
BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-1-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
1980	Boyle	Final		
	42 Sewalls	deck Boatlift	Pass	Close
	Harbor Bay Marine			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	ROBINSON			
	175 S. River			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9974	BOTWINIK	Cap Steel		
<i>AM</i>	24 EMARITA	WING WALLS	Pass	
	TC Poore			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	DALTON			
	6 Rio Vista	Trees	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	EUSTACE			
	LOT NORTH OF	BRAZILLIAN	OK	
	130 N. SPT RD	POPPING		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>10:30</u>	129	LANE		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Trees	54 N River	Trees	OK	
				INSPECTOR

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT



Date Issued 2-26-99

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner DONALD DOYLE Address 42 SEWALLS PT RD Phone 221-7742

Contractor _____ Address _____ Phone _____

Number of trees to be removed(list kinds of trees) _____

1 SEED MAW/66

~~Number of trees to be relocated within 30 days(no fee)(list kinds of trees):~~

~~Number of trees to be replaced (list kinds of trees):~~

Permit Fee \$ _____ (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.)

No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 2 26 99

Approved by Building Inspector _____ Date _____

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH AS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?