

50 South Sewall's Point Road

6637

FILL

TOWN OF SEWALL'S POINT

Date 3/17/04

BUILDING PERMIT NO. 6637

Building to be erected for MAJETTE

Type of Permit FILL

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision ARBELA

Lot 9

Block _____

Radon Fee _____

Address 50 S. SEWALL'S POINT RD

Impact Fee _____

Type of structure FILL

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

1384100100002060000

Roofing Fee _____

Amount Paid 35.00 Check # 1248 Cash _____

Other Fees (_____)

Total Construction Cost \$ 350.00

TOTAL Fees 35.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

Date **RECEIVED**

MAR 16 2004

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Barnard Majette Phone (Day) 286-7834 (Fax) _____

Job Site Address: 50 S. Sewalls Pt. Dr. City: Stuart State: FL Zip: 34991

Legal Desc. Property (Subd/Lot/Block) Lot 9 Arbelo Parcel Number: _____

Owner Address (if different): SAME City: _____ State: _____ Zip: _____

Description of Work To Be Done: fill low areas to help with flooding

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: MA Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 2550.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Barnard Majette
State of Florida, County of: MARTIN
This the 16th day of MARCH, 2004
by BARNARD PRESIDENT MAJETTE who is personally
known to me or produced FLD 11230 07560-378-0 x 16/1/05
as identification. Laura L. O'Brien

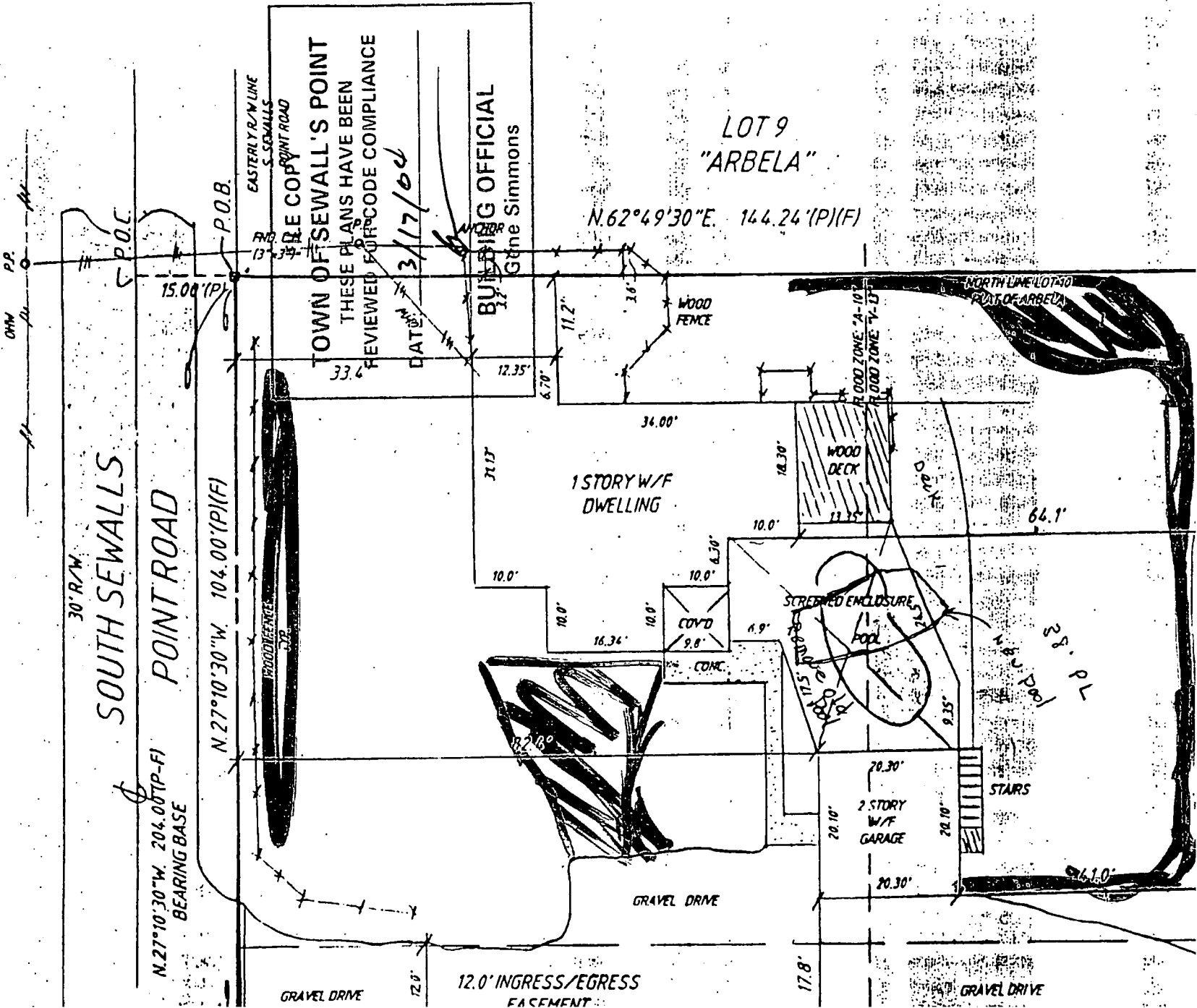
CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____
This the _____ day of _____, 200
by _____ who is personally
known to me or produced _____
As identification. _____

My Commission Expires: _____


Notary Public
My Commission Expires: _____
Seal

Object - fill low area elevations to prevent rain and run-off accumulation. Fill areas approx. 1' from existing elevation. Remaining fill to be on barn along Sewalls Pt. Rd.



TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Barney Major Date: 3-16-04

Signature: [Handwritten Signature]

Address: 50 S. Sewall's Pt. Rd.

City & State: Sewall's Pt. FL. 34996

Permit No. _____

INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

- 1000

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
7561	Smith	7 Simara St	Backflow for irrigation	[Signature] 8/27
7002	Bruce	2 Cranes Nest	Fill for uprooted trees	[Signature] 8/27
6992	Bruce	2 Cranes Nest	Repair fence	[Signature] 8/27
6974	Malone	14 S. Via Lucinda	Fence repair	[Signature] 8/27
6586	King	3 Island Rd	Repl seawall Repair dock	[Signature] 8/27
6188	Lino	6 Island Rd	Repair stucco	[Signature] 8/27
6761	Henderson	24 Island Rd	Dock electric for lift	[Signature] 8/27
7986	Snyder	16 Heron's Nest	Fill	[Signature] 8/27
7230	Hoover	175 S. Sewalls Pt	Fill	[Signature] 8/27
6595	Richardson	15 Ridgeland Dr	Repair power driveway	[Signature] 8/27
6637	Mayetta	50 S Sewalls Pt	Fill	[Signature] 8/27
6329	Mayetta	50 S Sewalls Pt	Reroof	[Signature] 8/27
7530	Mayetta	50 S Sewalls Pt	Demo house	[Signature] 8/27
6436	Lizars	4 Island Rd	Fascia + soffit repair	[Signature] 8/27
6639	Bracken	4 Deland La	Fence	
6651	Ostern	1 Ridgerview Dr	Fill	
6724	Carlson	7 Kington Ct	Hurricane Shutters	
7385	Morris	24 Ridgeland Dr	Roof repair	
7036	Morris	24 Ridgeland Dr	Dock repair	

7530

DEMO

TOWN OF SEWALL'S POINT

Date 5/3/05

BUILDING PERMIT NO. 7530

Building to be erected for Majette

Type of Permit House Demolition

Applied for by O/B (Contractor)

Building Fee 96⁰⁰

Subdivision Arbeta Lot 10 Block _____

Radon Fee _____

Address 50 S. Sewall's Point Rd

Impact Fee _____

Type of structure SFR, Garage, Pool

A/C Fee _____

Parcel Control Number:

1384100101000002060000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

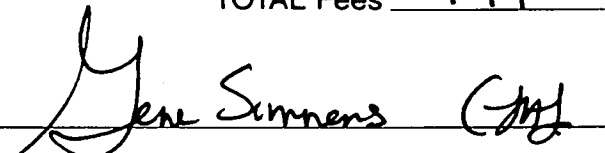
Amount Paid 144 Check # 1359 Cash _____

Other Fees (_____) 2570 O/B

Total Construction Cost \$ 10,000

TOTAL Fees 144⁰⁰

Signed 
Applicant

Signed 
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
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- MECHANICAL ROUGH-IN _____
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- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

APR 29 2005

BY: _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 4.29.05

Permit Number: _____

OWNER/TITLEHOLDER NAME: Barnay Majette

Phone (Day) 862-0345 (Fax) 286-7834

Job Site Address: 50 S. Sewall's Pt. Rd.

City: S.P. State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Arbela lot 10

Parcel Number: _____

Owner Address (if different): 1964 NW Pinecrest Way

City: Stuart State: FL Zip: 34994

Description of Work To Be Done: Reminish hurricane damaged porch, GARAGE & pool

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 10,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 20,000

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 1380 Garage: 400 Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 1380 Wood Deck: 1495 sq. ft. Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

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National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

[Signature]

State of Florida, County of: Martin

This the 29th day of April, 2005

by BARNAY MAJETTE who is personally known to me or produced _____

as identification. [Signature]

Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 200 _____

by _____ who is personally known to me or produced _____

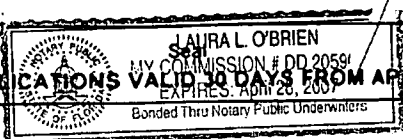
As identification. _____

Notary Public

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

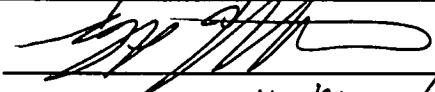
TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Barney Majette Date: 5.3.05

Signature: 

Address: 50 S. Sewalls Pt Rd.

City & State: S.P FL

Permit No. 7530

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____ TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF _____ COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY(INCLUDE STREET ADDRESS IF AVAILABLE):

Abelia lot 10

GENERAL DESCRIPTION OF IMPROVEMENT: Removish American Damage Form

OWNER: BARNARD SUSAN Majette

ADDRESS: 50 S. Jewell's Pt. Dr. S.P. FL. 34996

PHONE #: 341-0337 FAX #: _____

CONTRACTOR: ANNETTE 'SUI' LEE

ADDRESS: _____ STATE OF FLORIDA

PHONE #: _____ FAX #: _____ MARTIN COUNTY

SURETY COMPANY(IF ANY) _____

ADDRESS: _____

PHONE # _____ FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

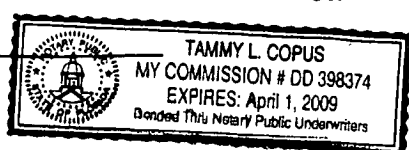
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

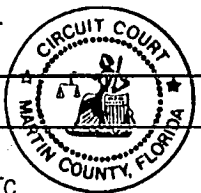
[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 2 DAY OF May 1905 BY Barnard P. Majette

[Signature]
NOTARY SIGNATURE



PERSONALLY KNOWN _____
PRODUCED ID FLA
TYPE OF ID CP 10.18.05



THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
BY: T. Copus D.C.
DATE: 5/20/05

INSTR # 1835759 DR BK 02009 PG 1340 RECD 05/02/2005 03:54:32 PM
MARSHA EWING MARTIN COUNTY DEPUTY CLERK T Copus (05st arr)

INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

- 120

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
7561	Smith	7 Simara St	Backflow for irrigation	JW 8/27
7002	Bruce	2 Cranes Nest	Fill for uprooted trees	JW 8/27
6992	Bruce	2 Cranes Nest	Repair fence	JW 8/27
6974	Malone	14 S. Via Lucinda	Fence repair	JW 8/27
6586	King	3 Island Rd	Repair seawall Repair dock	JW 8/27
6188	Lino	6 Island Rd	Repair stucco	JW 8/27
6761	Henderson	24 Island Rd	Dock electric for lift	JW 8/27
7986	Snyder	16 Heron's Nest	Fill	JW 8/27
7230	Hoover	175 S. Sewalls Pt	Fill	JW 8/27
6595	Richardson	15 Ridgeland Dr	Repair power driveway	JW 8/27
6637	Majette	50 S Sewalls Pt	Fill	JW 8/27
6329	Majette	50 S Sewalls Pt	Reroof	JW 8/27
7530	Moyle	50 S Sewalls Pt	Demo house	JW 8/27
6436	Lizars	4 Island Rd	Fascia + soffit repair	JW 8/27
6639	Bracken	4 Deland La	Fence	
6651	Ostern	1 Ridgerview Dr	Fill	
6724	Carlson	7 Kington Ct	Hurricane Shutters	
7385	Morris	24 Ridgeland Dr	Roof repair	
7036	Morris	24 Ridgeland Dr	Dock repair	

UNITY

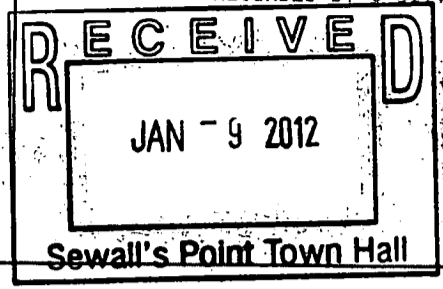
OF

TITLE

INSTR # 2272661
OR BK 02516 PG 0016
Pgs 0016 - 17; (2pgs)
RECORDED 05/06/2011 02:43:57 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY C. Oliveri

This instrument prepared by:

James A. Cioffi, P.A.
Jeffer, Cioffi P.A.
250 Tequesta Drive, Suite 200
Tequesta, Florida 33469



W/C # 83

UNITY OF TITLE AGREEMENT

This Unity of Title Agreement is made and entered into by Scott Frisoli, ("Owner"), as record title holder of the following parcels of real property in Martin County, Florida:

Parcel 1:

The North 104 feet of Lot 10, ARBELA according to the Plat thereof, recorded in Plat Book 3, Page 29, Palm Beach (now Martin) County, Florida, Public Records, lying East of the easterly right-of-way of Sewall's Point Road.

Less and excepting the following described lands which are the same as the excepted lands described in OR Book 148, Page 472, Martin County, Florida, public records, to wit:

Start at the Point where the centerline of Sewall's Point Road intersects the North Line of Lot 10, Plat of ARBELA, Plat Book 3, Page 29, Palm Beach (now Martin) County, Florida, Public Records, thence run North 62 degrees 49'30" East, along said North line of Lot 10, a distance of 15 feet to the Easterly right-of-way line of Sewall's Point Road for the point of beginning; thence continue to run North 62 degrees 49'30" East a distance of 144.24 feet; thence run South 27 degrees 10'30" East a distance of 104 feet; thence run South 62 degrees 49'30" west a distance of 144.24 feet to the aforesaid right-of-way of Sewall's Point Road; thence run North 27 degrees 10'30" West along said right-of-way line a distance of 104 feet to the Point of Beginning.

Parcel 2:

Start at the point where the center line of Sewalls Point Road intersects the north line of Lot 10, Plat of ARBELA, Plat Book 3, Page 29, Palm Beach (now Martin) County, Florida, Public Records, thence run north 62 degrees 49'30" East, along said North line of Lot 10, a distance of 15 feet to the Easterly right-of-way line of Sewall's Point Road for the Point of Beginning. Thence continue to run North 62 degrees 49'30" East a distance of 144.24 feet; thence run South 27 degrees 10'30" East a distance of 104 feet; thence run South 62 degrees 49'30" West a distance of 144.24 feet to the aforesaid right-of-way of Sewall's Point Road thence run North 27 degrees 10'30" West along said right-of-way line a distance of 104 feet to the Point of Beginning.

Together with those lands more particularly described as follows:

Commencing at the Northwest corner of the parcel described above (point being said point of beginning of described parcel); thence North 62 degrees 49'30" East, a distance of 33.2 feet to the point of beginning; thence continue North 62 degrees 49'30" East, a distance of 33.0 feet; thence North 27 degrees 10'30" West, a distance of 4.2 feet ; thence South 62 degrees 49'30" West, a distance of 33.0 feet; thence South 27 degrees 10'30" East, a distance of 4.2 feet to the point of beginning.

Owner covenants that the foregoing real property shall constitute one single property and title to the foregoing property shall never be separately conveyed but shall be conveyed only as one single property.

This Unity of Title Agreement can be amended only with the consent and joinder of the record title holder to the property and shall be binding upon the Owner, his heirs and assigns.

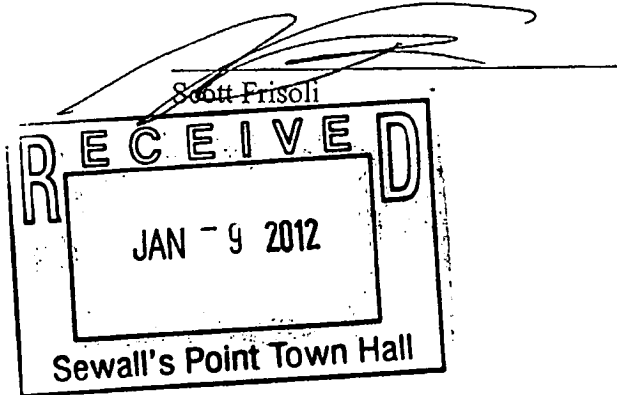
The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, his heirs and assigns.

IN WITNESS WHEREOF, the Owner has caused this Unity of Title Agreement to be executed this 26 day of April, 2011.

Signed, sealed and delivered in our presence.

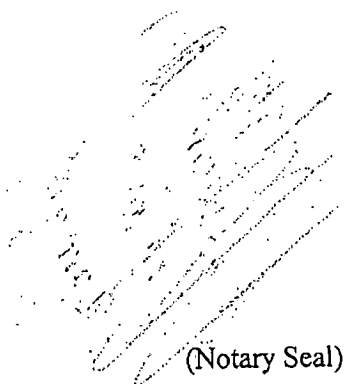
① [Signature]
WITNESS
Printed Name: Sharif Awbson

② [Signature]
WITNESS
Printed Name: Susan F Maloney



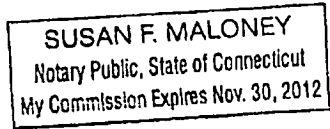
STATE OF Connecticut ss. Stanford
COUNTY OF Fairfield

The foregoing instrument was acknowledged before me this 26th day of April, 2011, by Scott Frisoli, who is/are personally known to me or who has/have produced - as identification and who did not take an oath.



(Notary Seal)

[Signature]
Notary Public:
Susan F Maloney
Printed Notary Name
My Commission Expires: 11/30/12



9969

SFR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9969	DATE ISSUED:	JANUARY 11, 2012
SCOPE OF WORK:	REBUILD SINGLE FAMILY RESIDENCE		
CONTRACTOR:	DRIFTWOOD HOMES		
PARCEL CONTROL NUMBER:	013841-001-010-000108	SUBDIVISION	ARBELA LOT10
CONSTRUCTION ADDRESS:	50 S SEWALLS POINT RD		
OWNER NAME:	FRISOLI		
QUALIFIER:	ALAN MORRIS	CONTACT PHONE NUMBER:	334-2577

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 9969

Date: 12/12/11

OWNER/TITLEHOLDER NAME: Scott Frisoli Phone (Day) 2032765330 (Fax) 2033221169

Job Site Address: 50 South Sewall's City: _____ State: FL Zip: _____

Legal Description: ARBERA, NBY' (see attached) Parcel Control Number: 01-38-41-001-010-00010-8

Owner Address (if different): 1715 Pines Ridge City: New Canaan State: CT Zip: 06840

SCOPE OF WORK (PLEASE BE SPECIFIC): SFR (New NO MCImpact)

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 987,400.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: DRIFWOOD HOMES, LLC Phone: 3342577 Fax: 334-5277

Qualifiers name: Alan B. Morris Street: 2163 PINE RIDGE City: Jensen Beach State: FL Zip: 34957

State License Number: 220052789 OR: Municipality: MCD00089 H.C. License Number: MC00089

LOCAL CONTACT: Same Phone Number: Same

DESIGN PROFESSIONAL: Kery + Kery Arch. Fla. License# 8341
Street: 119 SW 6th St. City: Stuart State: FL Zip: _____ Phone Number: 293-3492

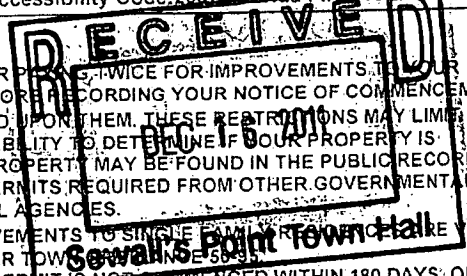
AREAS SQUARE FOOTAGE: Living: 4670 Garage: 1364 Covered Patios/ Porches: 1238 Enclosed Storage: 1226

Carport: _____ Total under Roof 7272 Elevated Deck: _____ Enclosed area below BFE*: 2590
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PERMIT BEING SUSPENDED OR REVOKED. YOU MUST RECORD YOUR NOTICE OF COMMENCEMENT WITHIN 10 BUSINESS DAYS OF THE DATE OF PERMIT ISSUANCE.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED. UPON THEM, THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY HOMES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN OF SEWALL'S POINT ORDINANCE 5.03.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

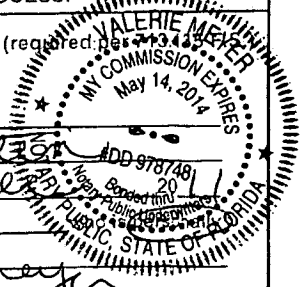
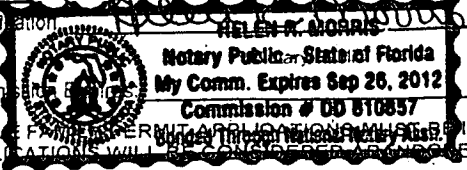


*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
X _____
State of Florida, County of: Martin
On This the 12th day of December 2011
by Scott Frisoli who is personally
known to me or produced

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
X _____
State of Florida, County of: Martin
On This the 16 day of December 2011
by Alan Morris
known to me or produced



As identification _____
My Commission Expires _____

As identification _____
Notary Public
My Commission Expires _____

SINGLE FAMILY PERMITS MUST BE COMPLETED AND ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

AUG 18 11 01:23P
AUG-18-2011 14:09

KELLY & KELLY ARCHITECTS
STEVEN J. BROWN, INC.

772 220 7310
772.385.9999

P. 11/2/11



STEPHEN J. BROWN, INC.

Surveyors • Designers • Land Planners • Consultants

LEGAL DESCRIPTION

Parcel "A"

181 FEET OF LOT 16, ARBELA, ACCORDING TO THE PLAT THEREOF, RECORDED IN
BOOK 29, PAGE 29, PALM BEACH (NOW MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS,
TO THE EASTERLY RIGHT-OF-WAY OF SEWALL'S POINT ROAD;

EXCEPTING THE FOLLOWING DESCRIBED LANDS WHICH ARE THE SAME AS THE
LANDS DESCRIBED IN OR BOOK 14, PAGE 472, MARTIN COUNTY, FLORIDA,
BOOKS, TO-WIT:

THE POINT WHERE THE CENTERLINE OF SEWALL'S POINT ROAD INTERSECTS THE
E OF LOT 16, PLAT OF ARBELA, PLAT BOOK 3, PAGE 29, PALM BEACH (NOW
MARTIN) COUNTY, FLORIDA, PUBLIC RECORDS; THENCE RUN NORTH 61°43'38" EAST, ALONG
N LINE OF LOT 16, A DISTANCE OF 15 FEET TO THE EASTERLY RIGHT-OF-WAY
WALL'S POINT ROAD FOR THE POINT OF BEGINNING; THENCE CONTINUE TO RUN
19°27' EAST A DISTANCE OF 144.24 FEET; THENCE RUN SOUTH 27°19'59" EAST A
DISTANCE OF 144.24 FEET; THENCE RUN SOUTH 61°49'37" WEST A DISTANCE OF 144.24 FEET TO
THE EASTERLY RIGHT-OF-WAY OF SEWALL'S POINT ROAD; THENCE RUN NORTH 27°19'59"
WEST A DISTANCE OF 144.24 FEET TO THE POINT OF

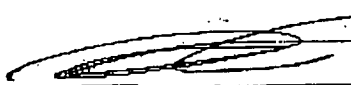
Parcel "B"

Point where the center line of Sewall's Point Road intersects the North line of Lot 16, Plat of
Book 3, page 29, Palm Beach County (now Martin County), Florida, Public Records; Thence
run North 61°43'38" East, a distance of 15 feet to the easterly right of way
of Sewall's Point Road for the Point of Beginning. Thence continue to run North 61°43'38" East a
distance of 144.24 feet; thence run South 27°19'59" East a distance of 144.24 feet; thence run South
61°49'37" West a distance of 144.24 feet to the easterly right of way of Sewall's Point Road; thence run North
27°19'59" West a distance of 144.24 feet to the Point of Beginning.

These lands more particularly described as follows:

At the Northwest corner of the parcel described above (Point being said point of beginning) of
road; Thence North 61°43'38" East, a distance of 23.2 feet to the point of beginning; Thence
run North 61°43'38" East, a distance of 23.0 feet; Thence North 27°19'59" East, a distance of 4.2 feet
to the Point of Beginning; Thence South 27°19'59" East, a distance of 4.2 feet
to the Point of Beginning.

I, Scott Frisoli, owner of the above referenced property have
authorized Stephen J. Brown, Inc. to act as my authorized representative and to act on my
behalf in all aspects of an application for a septic system.



Owner

8/18/11

Date



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

RECEIVED

AUG 23 2011

43-55-1365627
PERMIT NO.
DATE PAID: 8-23-11
FEE PAID: 450.00
RECEIPT #: 1725589
AP 1045217

APPLICATION FOR:

- New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary

APPLICANT: SCOTT FRISOLI / KELLY & KELLY ARCHS.

AGENT: STEPHEN J. BROWN, INC. TELEPHONE: 288-9995 FAX 288-7176

MAILING ADDRESS: 619 EAST 5TH STREET STUART FL 34994

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: PORTIONS OF LOTS 9 & 10 ARBELA PLATTED: 1971

PROPERTY ID #: 01-36-41-001-010-00010-8 ZONING: R I/M OR EQUIVALENT: Y / N

PROPERTY SIZE: .71 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? Y / N DISTANCE TO SEWER: 1000+ FT

PROPERTY ADDRESS: 50 S. SEWALL'S POINT RD.

DIRECTIONS TO PROPERTY: EAST OCEAN BLVD. EAST TO SEWALL'S POINT RD. SOUTH ON SEWALL'S POINT TO # 50

BUILDING INFORMATION

RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
---------	-----------------------	-----------------	--------------------	--------------------------------------------------------------------

1	<u>SINGLE FAMILY</u>	<u>4</u>	<u>4070</u>	
2				
3				
4				

Floor/Equipment Drains Other (Specify) DISPOSAL

SIGNATURE: STEPHEN J. BROWN DATE: 8/18/11

APPLICANT'S NAME: SCOTT FRISOLI / KELLY & KELLY ARCH.

LEGAL DESCRIPTION: PORTIONS OF LOTS 9 & 10 ARBELA

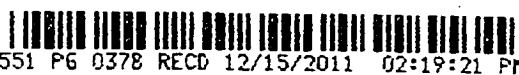
PROPOSED SEPTIC SYSTEM SITE INFORMATION

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN
FLORIDA PROFESSIONAL NO.: 4049
DATE: 8/18/11 JOB NO.: 3302-09-01



INSTR # 2307244 OR BK 02551 PG 0378 RECD 12/15/2011 02:19:21 PM
Pg 0378: (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Cox

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 01-38-41-001-016-00016-8

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): ARBELA, N 104th R 10 T 10 E OF SEAWALL TR RD
SD S. SEAWALL TR RD, SEAWALL TR RD, + 4.21253 PTO RLOT 9 ALG S/LN DEC IN

GENERAL DESCRIPTION OF IMPROVEMENT: NEW SFR OR 854/753

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

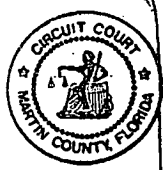
NAME: Scott Frisoli
ADDRESS: 1715 Pines Ridge, New Canaan, CT 06840
PHONE NUMBER: 203-922-7951 FAX NUMBER: _____
INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

STATE OF FLORIDA
MARTIN COUNTY

CONTRACTOR: DUPWOOD HOME LLC
ADDRESS: 21123 PINE RIDGE ST, TOWSON, MD, 21286
PHONE NUMBER: 772-337-2577 FAX NUMBER: 772-337-5077

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.



SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS: N/A
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

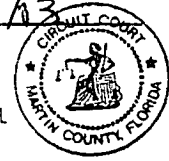
CAROLYN TIMMANN, CLERK

LENDER/MORTGAGE COMPANY: N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

STATE OF FLORIDA
MARTIN COUNTY
DATE: 04/02/13 D.C.

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR COPIES OF THE ORIGINAL DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.



NAME: N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

STATE OF FLORIDA
MARTIN COUNTY
DATE: 04/02/13 D.C.

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

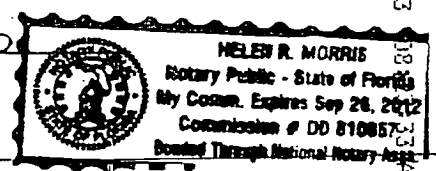
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT
SIGNATORY'S TITLE/OFFICE: _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF Dec 2011

BY: Scott Frisoli AS Owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN X OR PRODUCED IDENTIFICATION _____
TYPE OF IDENTIFICATION PRODUCED _____

Heleen R. Morris



INSTR # 2385778 OR BK 2640 PG 1361 RECD 04/02/2013
(1 Pgs)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

~~REVISIONS~~ - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 9/19/12 PERMIT NUMBER: 990912012

JOB ADDRESS: 50 South Sewalls Point Rd, Fusoli Residence

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
 - CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
 - REVISIONS (Changes to an issued permit)
- ****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****
- REVISOR REVISIONS MUST BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): Install underground Pitman tank and gas line to serve generator, install new water, vent, gas, prep and pump

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 4000

INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: Gary Keenan 486 8818 SIGNATURE: [Signature]

PHONE NUMBER: 220-9678 FAX NUMBER: 220-1829

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 9-24-12 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) 4000 x 2% = 800

Other additional fees: 2 INSP @ 75 Revision review fee: _____ Pages @ \$25.00/Page _____

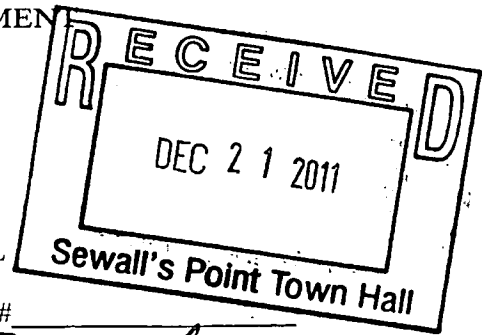
Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 230

Applicant notified by: Valerie 9-24-12 Date: 9-26-12



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



*Final
 50 SSPK*

SUBCONTRACTORS LIST
 RESIDENTIAL ADDITIONS, COMMERCIAL

APPLICANT'S NAME DRIFTWOOD HOMES, LLC BLDG. PERMIT # _____

MAILING ADDRESS 2103 PINE ROGE ST JENSON BCH, FL

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS)

*OK
 OK
 OK
 OK
 OK
 OK
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 OK
 OK
 OK
 OK
 OK
 OK
 OK
 OK
 OK*

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM		
CFI	- FINISH	DRIFTWOOD HOMES	RRO056785
BM	BLOCK MASON	EBRIGHT MASONRY	MCMAS01055
CB	COLUMNS & BEAMS	DRIFTWOOD HOMES	
CA	CARPENTRY ROUGH	DRIFTWOOD HOMES	
GD	GARAGE DOOR	WAYNE DUTTON	
DH	DRYWALL - HANG		
DF	- FINISH	ADDISON DRYWALL	MCDRY00253
IN	INSULATION	GALE INSUL	CGC1512179
LA	LATHING		
FI	FIREPLACE		
PAV	PAVERS		
AL	ALUMINUM		
LPG	LP GAS	ELITE GAS	18361
PAV	PAINTING	ISARNA PAINTING	MLPTGO1860
PLU	PLASTER & STUCCO	RIS PLASTERING	CLL032277
ST	STAIRS & RAILS		
RO	ROOFING	ALL AMERICAN	CLL032277
TM	TILE & MARBLE		1329384
WD	WINDOWS & DOORS	DRIFTWOOD HOMES	
PLU	* PLUMBING	SOUTH PARK PLUMB	CFL057458
AC	* HARV	ASSOCIATES AIL	CAR057622
EL	* ELECTRICAL	HERITAGE ELECT.	MCMH00099

ER0011355



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

form

AL	* LOW VOLTAGE BURGLAR ALARM	<i>SUI</i>	<i>EF 0000076</i>
VS	VACUUM SOUND	<i>SUI</i>	
IR	* IRRIGATION		
SH	SHUTTERS		

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

[Handwritten Signature]

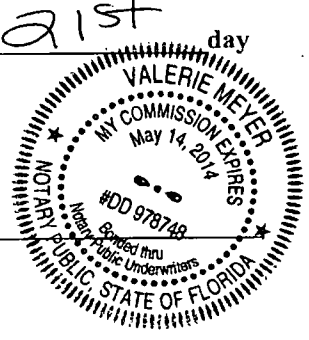
SIGNATURE OF CONTRACTOR
(OR OWNER BUILDER IF APPLICABLE)

STATE OF Florida
 COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 21st day
 of Dec, 20 11

[Handwritten Signature]
 NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: MR. AND MRS. FRISOLI

CONSTRUCTION ADDRESS: 50 S. SEWALLS POINT R.D., SEWALLS PT, FL 34996

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- _____ ELECTRIC
- _____ PLUMBING
- HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: INSTALL H.V.A.C

VALUE OF CONSTRUCTION \$ 19,704

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Michael A. Krenik
SIGNATURE OF LICENSED CONTRACTOR

1552 SE NIEMEYER CIR PORT ST LUCIE, FL 34952
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: ASSOCIATED AIR OF PORT ST LUCIE, INC

TELEPHONE NO: (772) 335-7089 FAX NO: (772) 335-7508

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CACO 57622

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Fresoli

CONSTRUCTION ADDRESS: 50 S Sewalls Pt Rd

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS
- _____ ROOFING

TYPE OF SERVICE: NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: wiring of single family residence

VALUE OF CONSTRUCTION \$ 50,000.00

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

PO Box 1003 Inverloch Fla.
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: HERITAGE ELECTRIC INC

TELEPHONE NO: 334 4675 PLEASE PRINT
FAX NO: _____

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: ER 0011355

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9969

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Driftwood Builders - "Frisoli" Residence

CONSTRUCTION ADDRESS: 50 S Sewall's Point Rd. -

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: _____

VALUE OF CONSTRUCTION \$ _____

<input type="checkbox"/> LOW VOLTAGE	
TYPE OF EQUIPMENT:	<input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK:	VALUE: _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Thomas Wintercorn P.O. Box 768, Port Salerno, FL 34992
SIGNATURE OF LICENSED CONTRACTOR ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Thomas Wintercorn

TELEPHONE NO: 287-2548 FAX NO: 287-2559
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CEC057458

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

ok



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9969

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: FRESA I

CONSTRUCTION ADDRESS: #50 South Sewall's Pt Rd

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
PLUMBING
HVAC
IRRIGATION
FUEL GAS
ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK:

VALUE OF CONSTRUCTION S

LOW VOLTAGE
TYPE OF EQUIPMENT: SECURITY VACUUM SOUND SYSTEM LANDSCAPE OTHER
SCOPE OF WORK: VALUE

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: [Signature]
ADDRESS OF CONTRACTOR: 2504 SE Willoughby Blvd A-11
COMPANY OR QUALIFIER'S NAME: All American Roofing & Coating of Florida Inc Jesus Vasquez Jr.
TELEPHONE NO: 772-781-4410 FAX NO: 772-781-4408

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: CCC1329384

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED:

PARCEL CONTROL #:

SUBDIVISION: LOT: BLK: PHASE:

SITE ADDRESS:

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

GAS CHECKLIST

COMPLIANT TO 2004 FBC W/2006 REVISIONS/FUEL GAS CODE & NFPA 54 & 58

USE:

RESIDENTIAL: COMMERCIAL:

HOOK UP:

TANK METERED UTILITY GAS: OTHER:

TANK SPECS:

SIZE: 500 GALS ABOVE GROUND: UNDERGROUND:

TANK TYPE: D.O.T. ASME: OTHER:

TANK DISTANCE: (MINIMUM)

SOURCE OF IGNITION: 10 FT. BUILDING OPENINGS: 10 FT. BUILDING: 10 FT.

PROPOSED SETBACKS FROM LOT LINE:

FRONT: 30 FT. SIDE 1: 10 FT. SIDE 2: 90 FT. REAR: 120 FT.

GAS SPECS: (SEE FBC/FUEL GAS TABLES 402)

NATURAL: LP: OTHER:

GAS PRESSURE OF 10 psi AND PRESSURE DROP OF 1

BASED ON A 1.5 SPECIFIC GRAVITY GAS

PIPE/TUBING SPECS: (CHECK ALL THAT APPLY)

IRON SCH. 40 SEMI-RIGID CSST COPPER

POLYETHYLENE PLASTIC S. S.: OTHER:

COMBUSTION AIR:

REQUIRED: YES: NO:

METHOD FOR SUPPLYING COMBUSTION AIR: _____

WHO PROVIDED THE COMBUSTION AIR CALCS? _____

ARCHITECT/ENGINEER OF RECORD: _____ GAS COMPANY:

OTHER: _____

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

GAS APPLIANCE SPECS: (LIST APPLIANCE TYPE AND BTU)

APPLIANCE #1:	<u>Generator</u>	BTU <u>300K</u>	*DIA. PIPE <u>3/4"</u>	FT.-LENGTH _____
APPLIANCE #2:	<u>Tomblous White Heater</u>	BTU <u>199K</u>	*DIA. PIPE <u>3/4"</u>	FT.-LENGTH _____
APPLIANCE #3:	<u>Cooktop</u>	BTU <u>40K</u>	*DIA. PIPE <u>1/2"</u>	FT.-LENGTH _____
APPLIANCE #4:	<u>Grill</u>	BTU <u>30K</u>	*DIA. PIPE <u>1/2"</u>	FT.-LENGTH _____
APPLIANCE #5:	<u>Fireplace</u>	BTU <u>30K</u>	*DIA. PIPE <u>1/2"</u>	FT.-LENGTH _____
APPLIANCE #6:	<u>Tomblous Heater</u>	BTU <u>199K</u>	*DIA. PIPE _____	FT.-LENGTH _____

(LENGTH BASED ON THE TOTAL PIPE LENGTH FROM THE GAS SOURCE TO THE APPLIANCE)

*THE ABOVE PIPE SIZES WERE TAKEN FROM 2004 FBC W/2006 REVISIONS/FUEL GAS TABLE NO. _____

#7 Firepit 30K 3/4" Pipe

Elite Gas Contractors
PO Box 1245
Palm City, FL 34991

Combustion Air Requirements

Job Name: The Frisoli Residence
Location: 50 S.Sewalls Point Rd, Stuart.

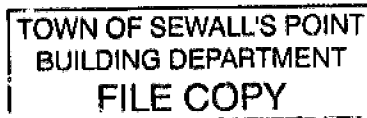
Interior Gas Appliances:

1. Water cook top 40,000 BTU
 2. Fireplace 30,000 BTU Vent Free Design
- both CFM T Fin duct of 4" delivering 80 CFM, no static pressure.

Note: CFM of T Fin Ducts, no static pressure

- 4" 80 CFM
- 6" 120 CFM
- 7" 160 CFM
- 8" 240 CFM

Elite Gas Contractors
Gary Kernan



Propane Services, Inc. DBA/Elite Gas Contractors
"The Elite Installers of Natural & Propane Gas"

Contractor: Duffin and Korman

Billing Address: _____

Owner: Frisoli

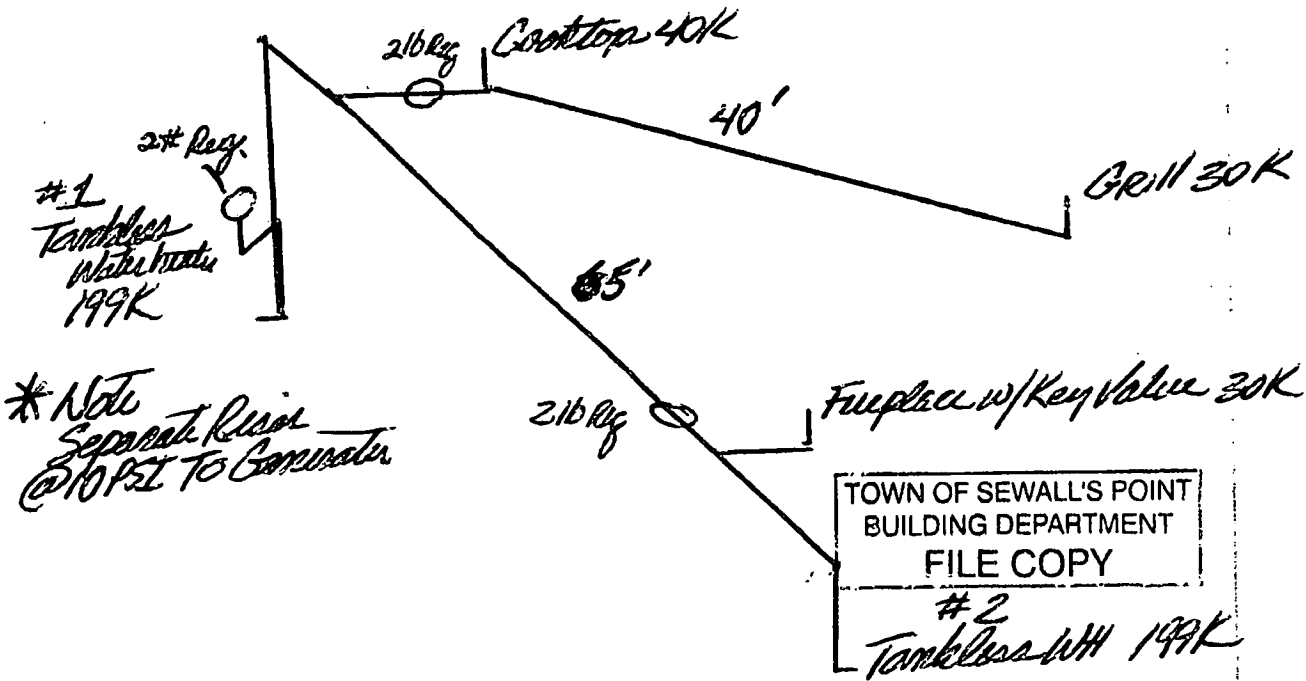
Job site address: 50 South Sewalls Point Rd

Job Contact: Allen 215-0074

Gas System Type: Propane

GAS RISER DIAGRAM (NO SCALE)

Interior Gas Lines
3/4" CSST



500 Gallon UNDERground

Propane Tank



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY
 ENGINEER OF RECORD

DESIGN CERTIFICATION FOR WIND LOAD COMPLIANCE BY ARCHITECT OR ENGINEER OF RECORD

PROJECT NAME FRISOLI RESIDENCE BLDG. PERMIT# _____
 ADDRESS LOT #50, S. SEWALL'S POINT RD. OCCUPANCY TYPE _____
SEWALL'S POINT, FLORIDA CONST. TYPE _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by The Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 2004 FLORIDA BUILDING CODE W/ 2006 REVISIONS
 CHAPTER 6 OF ASCE 7-02

BUILDING / STRUCTURE DESIGN AS: PARTIALLY ENCLOSED ENCLOSED _____ OPEN _____
 WIND TUNNEL TEST _____ OTHER _____

BASIC WIND SPEED: 140 EAST OF TURNPIKE 140 MPH 3 SECOND GUST 54

BUILDING CATEGORY I _____ II III _____ IV _____ OTHER _____

WIND IMPORTANCE/USE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT .18

GARAGE DOOR DESIGN PRESSURE 60 +psf (positive) 60 -psf (negative)

DOOR DESIGN PRESSURE (INT. ZONE) 100 +psf 100 -psf (END ZONE) 55.5+psf 55.5-psf

WINDOW DESIGN PRESSURE (INT. ZONE) 80 +psf 80 -psf (END ZONE) 55.5 +psf 55.5-psf

EXPOSURE C

IMPACT PROTECTION (EXTERIOR OPENINGS): APPROVED SHUTTERS _____ IMPACT RESIST. GLASS

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME GARY R. KELLY

CERTIFICATION # 8341

DATE 21 NOV 11

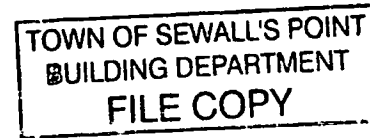
DESIGN FIRM KELLY + KELLY ARCHITECTS

OTHER _____

SEAL



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 (772) 287-2455 FAX (772) 220-4765



PRODUCT APPROVAL CHECKLIST

Permit Type: Residential Permit Number _____ Date: 12 July 2011

Owner's Name: Scott Frisoli Job Site Location: Lot 50, South Sewall's Point Road

Design Professional Name A/E: Gary R. Kelly – Kelly & Kelly Architects

Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications, or general notes, simply indicate page number on the affidavit.

Product	Model Number	Manufacturer	Evaluation Agency FL# / NOA#	Expiration Date
Windows	Series 360 Alum. Single Hung Window – LMI	CGI Window & Doors	Miami-Dade Co. (BCCO) Product Control Division – No. 09-1210.05	May 05, 2015
	Series 410 Alum. Fixed Window – LMI	CGI Window & Doors	Miami-Dade Co. (BCCO) Product Control Division – No. 09-0127.17	Jun 03, 2014
	Clipped Aluminum Tube Mullion – LMI	CGI Window & Doors	Miami-Dade Co. (BCCO) Product Control Division – No. 08-0331.07	Mar 28, 2013
Exit Doors	Series 450 Outswing Alum. Door – Impact	Construction Glass Industries	Miami-Dade Co. (BCCO) Product Control Division – No. 06-0217.02	Nov 09, 2011
Garage Doors	Series 188/189 Steel Sectional Garage Door	Overhead Door Corporation	Miami-Dade Co. (BCCO) Product Control Division – No. 08-0320.04	Aug 21, 2013
Ridge Vents	N/A			
Soffits	N/A			
Skylights	N/A			
Shutters	N/A			
Roofing Materials	Stile TM Metal Roofing System	Metal Sales Manufacturing Corporation	Miami-Dade Co. (BCCO) Product Control Division – No. 08-0229.11	Jun 29, 2013
Panel Walls	N/A			
Structural Components and Cladding	N/A			
New/Alternative Materials	N/A			

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.

 Architect/Engineer Signature & Seal

8341
 FL Certification/Registration Number
 Page 1 of 1



Charlie Crist
Governor

Department of Environmental Protection

Marjorie Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399-3000
Ms 105
Phone 850-245-2608
Fax 850-245-2645

Michael W. Sore
Secretary

Notice of Mean High Water Survey Filing

The Mean High Water Survey noted below has been filed in the Bureau of Surveying and Mapping public repository. The Mean High Water Survey File Number: 4827

Survey Date: 7/13/2011 County: INDIAN RIVER Waterbody INDIAN RIVER

Job Number 3302-09-01

Project: SEWALL'S POINT

SEC: 1 TWP: 38S RNG:41E

USGS 7.5 Minute Quad Map Name ST. LUCIE INLET

Surveyor's Name Stephen J. Brown, PSM

PSM # 4049

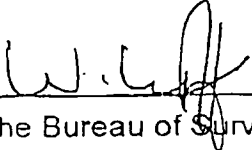
Business Name: Stephen J. Brown, Inc.

Mailing Address: 619 E.5th Street

Stuart, FL 34994-0000

Phone (772) 288-7176

FAX: 772-288-9995



For the Bureau of Surveying and Mapping

7/27/2011
Date of Filing

"Protect, Conserve and Manage Florida's Environment and Natural Resources"

www.dep.state.fl.us

Printed on recycled paper.



COWNER'S COPY

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT #: 43-SS-1365627
APPLICATION #: AP1045217
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____
DOCUMENT #: PR855106

#50 paid #19297

CONSTRUCTION PERMIT FOR: OSTDS New
APPLICANT: Scott Frisoli (Kelly & Kelly Architects)
PROPERTY ADDRESS: 50 S sewall's Point Rd Stuart, FL 34997
LOT: _____ BLOCK: _____ SUBDIVISION: See Attached Legal
PROPERTY ID #: 01-38-41-001-010-000-00010-8 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1,350] GALLONS / GPD Septic CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

D [1,000] SQUARE FEET If installed in a bed SYSTEM
R [750] SQUARE FEET If installed in trenches SYSTEM
A TYPE SYSTEM: [] STANDARD [] FILLED [x] MOUND []
I CONFIGURATION: [] TRENCH [x] BED []

F LOCATION OF BENCHMARK: NAIL IN ROAD, ELV. 4.20FT NVGD

I ELEVATION OF PROPOSED SYSTEM SITE [14.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [4.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT

D FILL REQUIRED: [36.00] INCHES EXCAVATION REQUIRED: [] INCHES

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.
Contractor proposes a filled final grade elevation of 6.5ft NGVD in the unobstructed available area. See attached drawing > TAA1 indicator drainfields that will fit in the U.A.A. *Q*
See attached general and special conditions lists.

SPECIFICATIONS BY: Duen N Ogilvie TITLE: Environmental Specialist II

APPROVED BY: Ray R Cross TITLE: Environmental Specialist 11-07-02 Martin CHD

DATE ISSUED: 09/26/2011 EXPIRATION DATE: 03/26/2013

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)
Incorporated: 64E-6.003, FAC Page 1 of 3



Martin County Health Department

SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS- 1365627

- If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of 36 inches (above original grade 2.0 of MHA please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. **Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.**
- For single-family homes, if the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
- Septic system must be installed in unobstructed area as shown on the approved site plan. Alteration of the information or conditions of this permit found to be in non-compliance will be sufficient cause for revocation of this permit. If any information on a permit changes, an amended application and \$50 review fee must be submitted to our office immediately.
- Future ponds or surface water created onsite must be greater than 75' from septic system.
- The mound area must be sodded prior to a request for final grade inspection.
- Non-potable irrigation lines must be separated from the drainfield by two feet unless an approved backflow prevention device is properly installed.
- A \$75.00 re-inspection fee is required if violations are found during the septic system inspection.
- If an inspector does not witness the work conducted during a septic abandonment, the contractor must submit a statement that the work was completed.
- If a professional engineer designs the septic system, the engineer must certify that the installed system complies with the design and installation requirements.
- For commercial operations, occupational approval will not be given until all requirements for an onsite public water system, food operation or institutional establishment are met.

ADDITIONAL CONDITIONS LIST Special conditions marked "X" are in effect

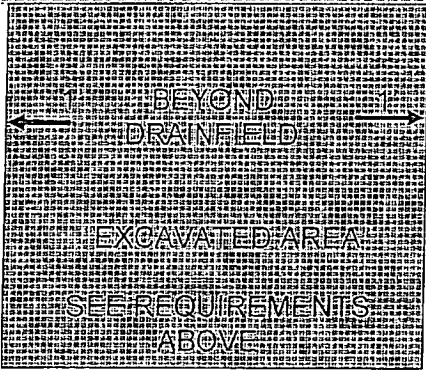
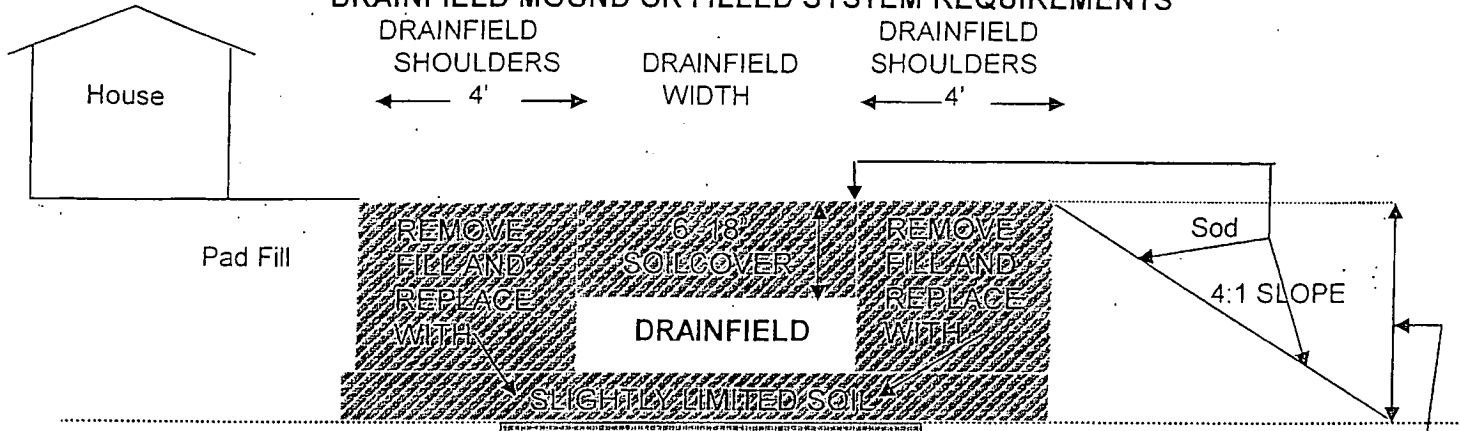
- 1. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
- 2. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$ Annual Permit Fee (For Indust./Manuf. Aerobic System Commercial System Performance-Based).

Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)

- 1. Excavate one foot beyond drainfield area to a depth of inches below natural/ existing grade elevation of feet N.G.V.D. / Assumed. In addition to item #1, 33% of unsuitable soils at depths greater than inches below #1 elevation above must be removed to a depth of slightly limited soils.
- 2. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
- ✓ 3. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

Ray Lewis 9/26/2010 See Reverse Side for Mound or Filled Drainfield Requirements
 Completed By Date

DRAINFIELD MOUND OR FILLED SYSTEM REQUIREMENTS



Note: Soil cover over the drainfield should be slightly limited soil, the same as used on sides and under the drainfield. Moderate limited soil may be use.

Fill amount required as specified on permit.



Martin County Health Department

SEPTIC SYSTEM SPECIAL CONDITIONS FOR PERMIT 43-SS- 1365627

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.

___ CONDUCT SOIL BORINGS DURING INSPECTION TO VERIFY SOIL TYPE AND WATER TABLE FROM OTHERS.

✓ FILL REQUIRED NOTED ABOVE MUST BE OF SLIGHTLY LIMITED QUALITY IN THE INSTALLATION AREA WITH A MINIMUM OF 4 FOOT SHOULDER BEYOND THE DRAINFIELD SIDE WALL (ANY UNSUITABLE PAD FILL IN THE SHOULDER AND UNDER THE DRAINFIELD MUST BE REMOVED AND REPLACED WITH SUITABLE SOIL).

___ DRAINFIELD MUST BE A MINIMUM OF TEN FEET FROM BUILDING FOUNDATION.

___ MAINTENANCE SERVICE AGREEMENT REQUIRED.

___ ANNUAL OPERATING PERMIT FROM MARTIN CO. HEALTH DEPARTMENT IS REQUIRED.

✓ MAINTAIN A MINIMUM OF 150 FEET FROM SURFACE WATER.

✓ THE DRAINFIELD MUST BE AT LEAST 17.5 FEET FROM ✓ PROPERTY LINES 5 BUILDING FOUNDATION ___ OTHER * (NOTE: For Mounded Drainfields Setback, Use four foot shoulder and 4:1 slope plus 1.5 foot Swale/ Berm Unless Applies to Repairs Using Shoulder Setback Reductions From Table V.)

___ INSTALL AN APPROVED OUTLET FILTER DEVICE IN THE SEPTIC TANK. DRAINFIELD COVER ELEV PROPOSED AT 6.5, DRAINAGE PROPOSED AT 6.5, NEED 8" BETWEEN THEM

✓ A MINIMUM OF 6 INCHES AND MAXIMUM OF 18 INCHES OF MODERATELY OR SLIGHTLY LIMITED SOIL CAP IS ALLOWED OVER DRAINFIELD.

___ STATE CODE REQUIRES A MINIMUM DRAINFIELD SIZE OF ___ SQUARE FEET.

✓ THE DRAINFIELD MUST BE PROPERLY GRADED AND STABILIZED PRIOR TO FINAL APPROVAL.

✓ POTABLE WATER LINES WITHIN 10 FEET OF THE SYSTEM MUST BE SLEEVED AND SEALED UNLESS THE WATER LINES THEMSELVES CONSIST OF SCHEDULE 40 PVC OR STRONGER MATERIAL AND NEVER LESS THAN 24 INCHES FROM THE SYSTEM.

✓ POTABLE WATER LINES WITHIN 5 FEET OF A DRAINFIELD SHALL NOT BE LOWER THAN THE DRAINFIELD ELEVATION.

___ POTABLE WATER LINES MUST BE INSTALLED AND EXPOSED AT THE TIME OF THE INITIAL INSTALLATION INSPECTION.

___ REPAIRED MOUND AND FILLED DRAINFIELDS MUST BE PROPERLY GRADED AND SODDED/ STABILIZED WITHIN 14 DAYS OF SYSTEM CONSTRUCTION APPROVAL.

RECOMMEND DRAINAGE FEATURE PREVENT RUNOFF INTO FOUNDATIONS.

P.E. SYSTEM DESIGN REQUIRED.

MAXIMUM DOSE CYCLE = 6 TIMES PER DAY. PUMP(S) REQUIRED. DOSE ENTIRE DRAINFIELD EACH CYCLE. PUMP(S) MUST BE CERTIFIED AS SUITABLE FOR DISTRIBUTION OF SEWAGE EFFLUENT.

AN OPERATIONAL TEST OF THE PUMPS AND HIGH WATER ALARM (AUDIBLE AND VISUAL) IS REQUIRED PRIOR TO FINAL CONSTRUCTION APPROVAL.

EFFLUENT TRANSMISSION LINES MUST BE 5 FEET AWAY FROM POTABLE WATER LINES UNLESS THE TRANSMISSION IS SCHEDULE 40 PVC OR STRONGER AND IT IS AT LEAST 12 INCHES LOWER THAN THE POTABLE WATER LINE.

SEPTIC TANK MUST BE PUMPED PRIOR TO INSTALLION OF THE DRAINFIELD.

AGGREGATE, SOIL, AND OTHER COMPONENTS OF SPOIL MATERIALS FROM DRAINFIELD REPAIRS CANNOT BE USED IN SYSTEM REPAIR IN ANY MANNER. CONTRACTORS MUST PROPERLY DISPOSE OF SPOILS MATERIAL BEFORE FINAL INSPECTION AND NEVER CREATE A SANITARY NUISANCE WITH STORAGE OF SPOILS (SEE HSES MEMO 05-010).

SYSTEM REPAIRS MUST INSTALLATION MUST BE COMPLETED WITHIN 30 DAYS OF SYSTEM PERMITTING OR CONTRACT DATE UNLESS OTHERWISE EXTENDED BY THE APPLICANT.

LANDSCAPE FEATURES SUCH AS BOULDERS OR TREES ARE NOT ALLOWED ON FILLED OR MOUNDED DRAINFIELDS OR SHOULDERS.

VEGETATION COVER ON DRAINFIELDS OTHER THAN SOD MUST BE APPROVED BY THE STATE HEALTH OFFICE.

PUMP SEPTIC TANK (DONE BY CERTIFIED COMPANY), CRUSH OR RUPTURE TANK BOTTOM, SUBMIT TANK PUMPOUT RECEIPT, CONTACT DEPARTMENT FOR INSPECTION.

ADDITIONAL FEES MAY APPLY. * \$ 50 2ND INSPECTION FEE.

ALL ATTACHED GENERAL AND SPECIAL CONDITIONS MUST BE COMPLETED PRIOR TO FINAL INSPECTION AND APPROVAL.

OTHER: MIN. 8 FEET SEDIMENTATION FROM PROPOSED D.F. TO DRIBBLE WAY

NAME: RAY CROSS

DATE: 9/26/2011

235104763
8-26-11

43-55-13656.27
PERMIT # AP 1043217



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

APPLICANT: Scott Frisoli AGENT: SJB
LOT: _____ BLOCK: _____ SUBDIVISION: Conq Legal
PROPERTY ID #: _____ [Section/Township/Parcel No. or Tax ID Number]

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: YES [] NO NET USABLE AREA AVAILABLE: 0.71 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 600 GALLONS PER DAY [RESIDENCES-TABLE 1/OTHER-TABLE2]
AUTHORIZED SEWAGE FLOW: 1775 GALLONS PER DAY [1500 GPD/ACRE OR 2500 GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 3,000 SQFT UNOBSTRUCTED AREA REQUIRED: 1500 SQFT

BENCHMARK/REFERENCE POINT LOCATION: NAIL IN ROAD, ELV 4.20 FT NGVD
ELEVATION OF PROPOSED SYSTEM SITE IS 14 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES
SURFACE WATER: 150 FT DITCHES/SWALES: _____ FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: _____ FT LIMITED USE: _____ FT PRIVATE: _____ FT NON-POTABLE: 75 FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 58 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [] NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: _____ FT MSL/NGVD SITE ELEVATION: 3.5 FT MSL/NGVD

3.0 w/o fill

SOIL PROFILE INFORMATION SITE 1

MUNSELL #/COLOR	TEXTURE	DEPTH
1042 S12 GR/BL	LFS (fill)	0 TO 6
1042 4/1 DGR	SANDS	6 TO 12
1042 6/1 GR	SANDS	12 TO 18
1042 7/1 CIGR	SAND	18 TO 24
1042 8/1 WH	SAND	24 TO 36
1042 7/2 S/G/BL	SPONGE	36 TO 42
Reference "600 WET"		42 TO 72
OBSERVED H2O @ 12" w/fill		TO
USDA SOIL SERIES: #35 Salerno Sand CLC		

SOIL PROFILE INFORMATION SITE 2

MUNSELL #/COLOR	TEXTURE	DEPTH
1042 S12 GR/BL	LFS (fill)	0 TO 6
1042 4/1 DGR	SANDS	6 TO 12
1042 6/1 GR	SANDS	12 TO 18
1042 7/1 CIGR	SAND	18 TO 24
1042 8/1 WH	SAND	24 TO 36
1042 7/2 S/G/BL	SPONGE	36 TO 42
Reference "600 WET"		42 TO 72
OBSERVED H2O @ 12" w/fill		TO
USDA SOIL SERIES: #35 Salerno Sand CLC		

OBSERVED WATER TABLE: 12 INCHES [ABOVE / BELOW] EXISTING GRADE. TYPE: [] PERCHED / APPARENT
ESTIMATED WET SEASON WATER TABLE ELEVATION: 12 INCHES [ABOVE / BELOW] EXISTING GRADE
HIGH WATER TABLE VEGETATION: [] YES [] NO MOTTLING: [] YES [] NO DEPTH: _____ INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: F.S. 0.8/0.6 DEPTH OF EXCAVATION: _____ INCHES
DRAINFIELD CONFIGURATION: TRENCH OR BED [] OTHER (SPECIFY) _____

REMARKS/ADDITIONAL CRITERIA: 08/30/2011 Incomplete Site Eval - Rain @
09/01/2011 Estimated wet season water table caused @ 12" w/fill
fill / 6" without fill where 6/1 strapping observed with 4/1
MARKER * BM (NAIL + DISC ON WEST SIDE OF ROAD PAVEMENT @ 4.20
NGVD
SITE EVALUATED BY: Duane Joe Obry DATE: 09/01/2011

DB: MAINTAIN 50' MIN TO NEIG. IRR W/IN
"VACANT LOT"



Martin County Health Department

DRAINFIELD ELEVATION FOR REPAIR DETERMINATION;

FOR "FILL" OR "MOUND" TYPE DRAINFIELDS, BENCH MARK/ PROPOSED SYSTEM ELEVATION AND SEASONAL HIGH WATER TABLE DETERMINATION.

DEFINITION OF DRAINFIELD TYPES:

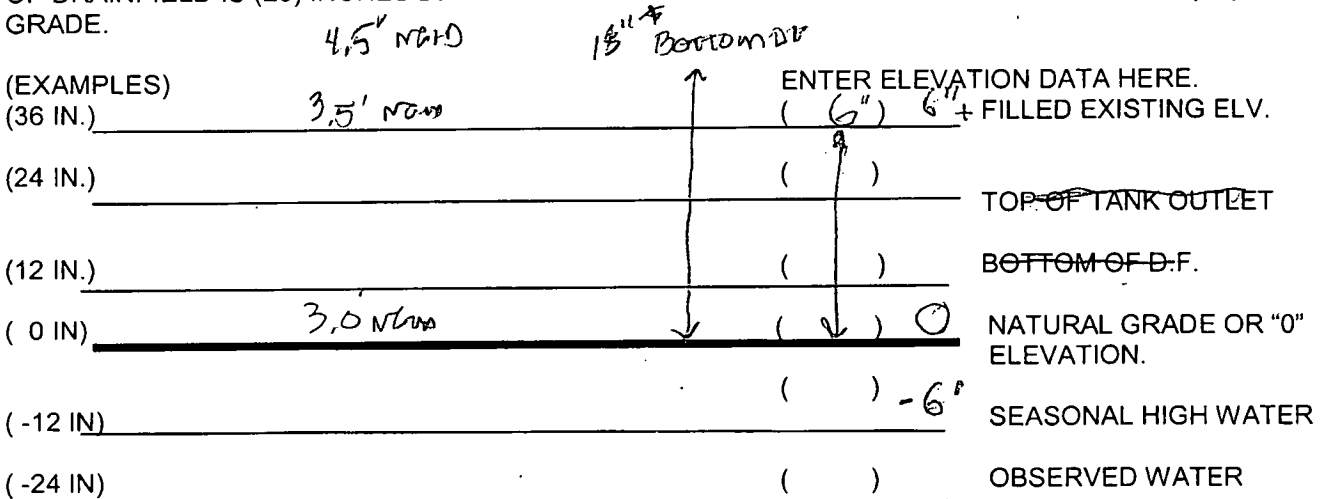
Standard subsurface drainfield system – an onsite sewage treatment and disposal system drainfield consisting of a distribution box or header pipe and a drain trench or absorption bed with all portions of the drainfield sidewalls installed below the elevation of undisturbed native soil.

Filled System – a drainfield system where a portion, but not all, of the drainfield sidewalls are located at an elevation above the elevations of undisturbed native soil on the site.

Mound system – a drainfield constructed at a prescribed elevation in a prepared area of fill material. All drainfields where any part of the bottom surface of the drainfield is located at or above the elevation of undisturbed native soil in the drainfield area is a mound system.

WHEN SUBMITTING A REPAIR SYSTEM APPLICATION, THE EVALUATOR MUST DETERMINE WHAT THE BOTTOM OF THE DRAINFIELD ELEVATION IS IN REFERENCE TO THE NATURAL OR NATIVE SOIL ELEVATION (NOT THE EXISTING GRADE ABOVE THE SEPTIC TANK OR DRAINFIELD).

THE EXAMPLE BELOW SHOWS AN EXISTING MOUND SYSTEM WITH THE EXISTING SEPTIC TANK AND DRAINFIELD ELEVATED ABOVE THE NATURAL SOIL ELEVATION; EXISTING GRADE IS (12) INCHES ABOVE THE SEPTIC TANK AND (36) INCHES ABOVE THE "0" GRADE OR 36 INCHES OF FILL, BOTTOM OF DRAINFIELD IS (20) INCHES BELOW THE EXISTING GRADE AND 16 INCHES ABOVE THE ("0") GRADE.

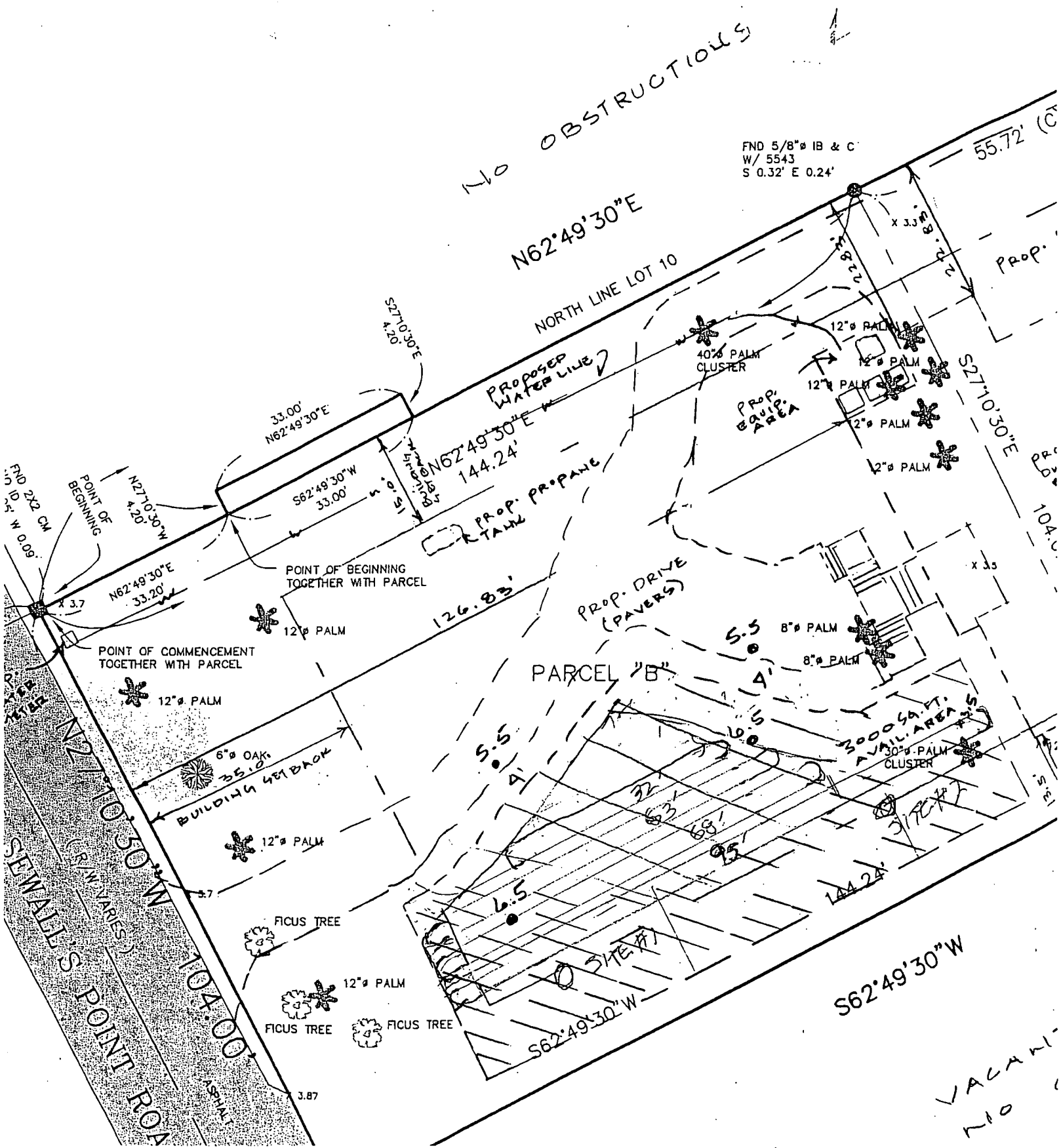


ON FORM 4015, PAGE 4, YOU WOULD ENTER ELEVATION OF BOTTOM OF DRAINFIELD AS (12) INCHES ABOVE EXISTING GRADE (NATURAL OR GRADE "0").
ON FORM 4015, PAGE 3, YOU WOULD ENTER BENCH MARK POINT AS "TOP OF TANK LID AT OUTLET", ELEVATION OF PROPOSED SITE AS (24) INCHES BELOW BENCHMARK POINT AND SEASON HIGH WATER TABLE AS (12) INCHES BELOW NATURAL GRADE.

$4.5 + 1.0 < 5.5 + 0.5 \text{ (Fill GR)} = 6.0$

ON SITE RETENTION REQUIRED

TOTAL IMPERVIOUS AREA 10,954 SQ. FT.
 X 21
 RETENTION VOLUME REQUIRED (12" DEEP) 23006 Q. FT.
 (12" DEEP RETENTION X 2,3006 Q. FT. AREA)




VACANT
 NO

**NON-CONVERSION COVENANT AGREEMENT FOR STRUCTURES BUILT
IN THE TOWN OF SEWALL'S POINT SPECIAL FLOOD HAZARD AREA (V-ZONE)**

Application has been made for a Building Permit
From the Town of Sewall's Point, FL.

Property Owner(s) name: SCOTT FRISOLI
 Property Address 50 S. SEWALLS POINT RD
 Deed dated 4/27/11 Recorded 4/27/11
 Parcel Identification Number: 01-38-41-001-010-00010-8
 Flood Zone AE/VL Base-Flood Elevation 9/10 feet (NGVD)
 FIRM Panel Number _____ Effective date _____

Recorder of Deeds



INSTR # 2314610
OR BK 02558 PG 2448
 Pg 2448 of 1pg)
 RECORDED 02/03/2012 11:49:44 AM
 MARSHA EWING
 CLERK OF MARTIN COUNTY FLORIDA
 RECORDED BY S Phoenix

In consideration for the granting of a permit for the above structure, the property owner(s) agrees to the following:

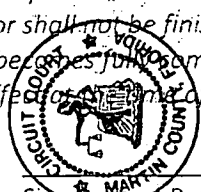
1. That the enclosed area below the base flood elevation (BFE) shall be used solely for parking of vehicles, limited storage, or access to the building and will never be used for human habitation without first becoming fully compliant with the Town of Sewall's Point flood damage prevention ordinance (Chapter 58) in effect at the time of conversion.
2. That all interior walls, ceilings, and floors below the BFE shall be unfinished and constructed of flood-resistant materials.
3. That any essential mechanical, electrical, or plumbing devices shall not be installed below the BFE.
4. The walls of the enclosed areas below the BFE shall be equipped with at least two vents which permit the automatic entry and exit of floodwater with total openings of at least one square inch for every square foot of enclosed area below flood level. The vents shall be on at least two different walls, and the bottoms of the vents shall be no more than one foot above grade.
5. That any variation in construction beyond what is permitted shall constitute a violation of this agreement and Section 58-85 (6) Town of Sewall's Point Code of Ordinances.
6. That this Non-conversion Agreement becomes part of Permit # _____

The following shall be recorded on the deed to the above property: *"This structure has received special permission to be constructed in the Special Flood Hazard Area. The lowest floor shall not be finished or converted to a habitable space unless the enclosed area below the Base Flood Elevation becomes fully compliant with the Town of Sewall's Point Code of Ordinances Chapter 58, most current version in effect at the time of conversion"*

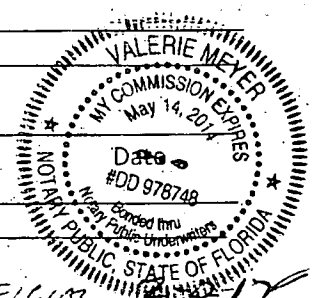
Signature of Property Owner _____ Date 1/26/12
 Print name Scott Frisoli
 Address 1215 Jones Rd
NW Corner of 1215 Jones Rd
 Witness Alan B Morris Date 1/26/12
06840

Print name ALAN B MORRIS
 Address 2163 DUNE RIDGE T. B. # 345

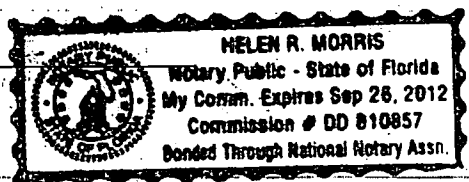
Authorized signature (Town of Sewall's Point) _____ Print _____



Signature of Property Owner _____ Date _____
 Print Name _____
 Address _____
 Witness _____ Date _____
 Print Name _____
 Address _____
 Title _____
 State of _____ Date _____
 County of _____
 On this _____ day of _____, 2012



The foregoing instrument was acknowledged
 Before me by its maker. Date: 1/26/12
 Signature of Notary _____
 My Commission Expires: _____



Notary has personally appeared _____
John Adams
 to me known to be the person who executed the
 foregoing instrument, and acknowledged that he/she
 executed the same as his/her free act and deed.
 SEAL (signed) _____
 Notary Public

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

V-ZONE CERTIFICATION

Note: This V-Zone Certificate is not a substitute for and cannot be used without the required NFIP Elevation Certificate (See FEMA Fact Sheet No. 4), which is required for flood insurance rating. This certificate must be filled out by a Florida registered Architect or Engineer.

Name SCOTT FRISOLI Insurance Policy No. _____
Building Address or Legal Description LOT #50 S. SEWALL'S POINT RD.
City SEWALL'S POINT, FL State FLORIDA Zip Code 34996

SECTION I: Flood Insurance Rate Map (FIRM) Information

Community No. 12085C Panel No. 0154 Suffix F Date of FIRM index 10/4/02 Zone VE

SECTION II: Elevation Information

1. Elevation of the bottom of the lowest horizontal structural member..... 12 feet (NGVD)
2. Base Flood Elevation (BFE)..... 10 feet (NGVD)
3. Elevation of the lowest adjacent grade..... 3.5 feet (NGVD)
4. Approximate depth of anticipated scour/erosion used for foundation design.... 3 feet (NGVD)
5. Embedment depth of pilings or foundation below lowest adjacent grade..... 32 feet (NGVD)

SECTION III: V-Zone Certification Statement

I certify that I have developed or reviewed the structural design, plans, and specifications for the construction and that the design methods of construction to be used are in accordance with accepted standards of practice for meeting the following provisions:

- The bottom of the lowest horizontal structural member of the lowest habitable floor (excluding piles and columns) is elevated one (1) foot above the BFE; and
- The pile and column foundation and structure attached hereto is anchored to resist flotation, collapse, and lateral movement due to the affects of the wind and water loads acting simultaneously on all building components. Water loading values used are those associated with the base flood. Wind loading values are those required by the Florida Building Code. The potential for scour and erosion at the foundation has been anticipated for conditions associated with the base flood, including wave action.

SECTION IV: Breakaway Wall Certification Statement

Note: This section must be certified when breakaway walls exceed a design safe loading resistance of 20 lbs. per sq. ft.

I certify that I have developed or reviewed the structural design, plans, and specifications for the construction and that the design methods of construction to be used for breakaway walls are in accordance with accepted standards of practice for meeting the following provisions:

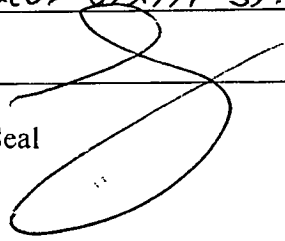
- Breakaway wall collapse shall result from water loads less than that would occur during the base flood; and
- The elevated portion of the building and supporting foundation system shall not be subject to collapse, displacement, or other structural damage due to the effects of wind and water loads (defined in section III) acting simultaneously on all building components.

SECTION V: Certification

Certifier's Name GARY KELLY Company Name KELLY & KELLY ARCHITECTS
Title ARCHITECT Florida License No. ARCHITECT 8341
Address 119 S.W. SIXTH ST. City STUART State FL Zip Code 34994

Signature _____ Date 21 NOV 11 Telephone Number 283-3492
772

Seal




FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: FRISOLI Street: 50 SOUTH SEWALL'S POINT ROAD City, State, Zip: SEWALL'S POINT, FL Owner: Design Location: FL, West Palm Beach	Builder Name: Permit Office: Permit Number: Jurisdiction:
---------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------

<table border="0" style="width:100%;"> <tr> <td>1. New construction or existing</td> <td>New (From Plans)</td> </tr> <tr> <td>2. Single family or multiple family</td> <td>Single-family</td> </tr> <tr> <td>3. Number of units, if multiple family</td> <td>1</td> </tr> <tr> <td>4. Number of Bedrooms</td> <td>5</td> </tr> <tr> <td>5. Is this a worst case?</td> <td>Yes</td> </tr> <tr> <td>6. Conditioned floor area (ft²)</td> <td>4670</td> </tr> <tr> <td>7. Windows(911.0 sqft.)</td> <td>Description Area</td> </tr> <tr> <td>a. U-Factor:</td> <td>DbI, U=0.55 911.00 ft²</td> </tr> <tr> <td>SHGC:</td> <td>SHGC=0.60</td> </tr> <tr> <td>b. U-Factor:</td> <td>N/A ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> </tr> <tr> <td>c. U-Factor:</td> <td>N/A ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> </tr> <tr> <td>d. U-Factor:</td> <td>N/A ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> </tr> <tr> <td>e. U-Factor:</td> <td>N/A ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> </tr> <tr> <td>8. Floor Types (4670.0 sqft.)</td> <td>Insulation Area</td> </tr> <tr> <td>a. Slab-On-Grade Edge Insulation</td> <td>R=0.0 2514.00 ft²</td> </tr> <tr> <td>b. Raised Floor</td> <td>R=11.0 2156.00 ft²</td> </tr> <tr> <td>c. N/A</td> <td>R= ft²</td> </tr> </table>	1. New construction or existing	New (From Plans)	2. Single family or multiple family	Single-family	3. Number of units, if multiple family	1	4. Number of Bedrooms	5	5. Is this a worst case?	Yes	6. Conditioned floor area (ft ²)	4670	7. Windows(911.0 sqft.)	Description Area	a. U-Factor:	DbI, U=0.55 911.00 ft ²	SHGC:	SHGC=0.60	b. U-Factor:	N/A ft ²	SHGC:		c. U-Factor:	N/A ft ²	SHGC:		d. U-Factor:	N/A ft ²	SHGC:		e. U-Factor:	N/A ft ²	SHGC:		8. Floor Types (4670.0 sqft.)	Insulation Area	a. Slab-On-Grade Edge Insulation	R=0.0 2514.00 ft ²	b. Raised Floor	R=11.0 2156.00 ft ²	c. N/A	R= ft ²	<table border="0" style="width:100%;"> <tr> <td>9. Wall Types (6340.0 sqft.)</td> <td>Insulation Area</td> </tr> <tr> <td>a. Concrete Block - Int Insul, Exterior</td> <td>R=5.0 6340.00 ft²</td> </tr> <tr> <td>b. N/A</td> <td>R= ft²</td> </tr> <tr> <td>c. N/A</td> <td>R= ft²</td> </tr> <tr> <td>d. N/A</td> <td>R= ft²</td> </tr> <tr> <td>10. Ceiling Types (4670.0 sqft.)</td> <td>Insulation Area</td> </tr> <tr> <td>a. Under Attic (Vented)</td> <td>R=30.0 4670.00 ft²</td> </tr> <tr> <td>b. N/A</td> <td>R= ft²</td> </tr> <tr> <td>c. N/A</td> <td>R= ft²</td> </tr> <tr> <td>11. Ducts</td> <td></td> </tr> <tr> <td>a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6,</td> <td>934 ft²</td> </tr> <tr> <td>12. Cooling systems (combined)</td> <td></td> </tr> <tr> <td>a. Central Unit</td> <td>Cap: 127.0 kBtu/hr SEER: 14</td> </tr> <tr> <td>13. Heating systems (combined)</td> <td></td> </tr> <tr> <td>a. Electric Strip Heat</td> <td>Cap: 88.0 kBtu/hr COP: 1</td> </tr> <tr> <td>14. Hot water systems</td> <td></td> </tr> <tr> <td>a. Natural Gas</td> <td>Cap: 50 gallons EF: 0.66</td> </tr> <tr> <td>b. Conservation features</td> <td>None</td> </tr> <tr> <td>15. Credits</td> <td>Pstat</td> </tr> </table>	9. Wall Types (6340.0 sqft.)	Insulation Area	a. Concrete Block - Int Insul, Exterior	R=5.0 6340.00 ft ²	b. N/A	R= ft ²	c. N/A	R= ft ²	d. N/A	R= ft ²	10. Ceiling Types (4670.0 sqft.)	Insulation Area	a. Under Attic (Vented)	R=30.0 4670.00 ft ²	b. N/A	R= ft ²	c. N/A	R= ft ²	11. Ducts		a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6,	934 ft ²	12. Cooling systems (combined)		a. Central Unit	Cap: 127.0 kBtu/hr SEER: 14	13. Heating systems (combined)		a. Electric Strip Heat	Cap: 88.0 kBtu/hr COP: 1	14. Hot water systems		a. Natural Gas	Cap: 50 gallons EF: 0.66	b. Conservation features	None	15. Credits	Pstat
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Glass/Floor Area: 0.195	Total As-Built Modified Loads: 106.39	PASS
	Total Baseline Loads: 130.78	

<p>I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.</p> <p style="text-align: right;">561-248-8304</p> <p>PREPARED BY: <u>Paula S. Pearce</u></p> <p>DATE: <u>27 June 2011</u></p> <p>I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.</p> <p>OWNER/AGENT: <u>[Signature]</u></p> <p>DATE: <u>12/14/11</u></p>	<p>Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.</p> <div style="text-align: center;">  </div> <p>BUILDING OFFICIAL: <u>[Signature]</u></p> <p>DATE: <u>1.11.12</u></p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with N1110.A.3.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD


ESTIMATED ENERGY PERFORMANCE INDEX* = 81

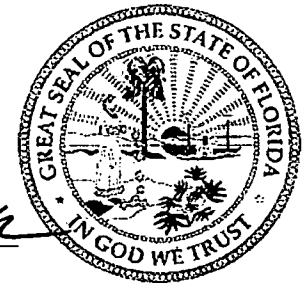
The lower the Energy Performance Index, the more efficient the home.

50 SOUTH SEWALL'S POINT ROAD, SEWALL'S POINT, FL,

<p>1. New construction or existing 2. Single family or multiple family 3. Number of units, if multiple family 4. Number of Bedrooms 5. Is this a worst case? 6. Conditioned floor area (ft²)</p>	<p style="text-align: center;">New (From Plans)</p> <p>Single-family 1 5 Yes 4670</p>	<p>9. Wall Types a. Concrete Block - Int Insul, Exterior b. N/A c. N/A d. N/A</p> <p>10. Ceiling Types a. Under Attic (Vented) b. N/A c. N/A</p> <p>11. Ducts a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 934 ft²</p> <p>12. Cooling systems (combined) a. Central Unit</p> <p>13. Heating systems (combined) a. Electric Strip Heat</p> <p>14. Hot water systems a. Natural Gas b. Conservation features None</p> <p>15. Credits</p>	<p>Insulation Area R=5.0 6340.00 ft² R= ft² R= ft² R= ft²</p> <p>Insulation Area R=30.0 4670.00 ft² R= ft² R= ft²</p> <p>Cap: 127.0 kBtu/hr SEER: 14</p> <p>Cap: 88.0 kBtu/hr COP: 1</p> <p>Cap: 50 gallons EF: 0.66</p> <p>Pstat</p>																																							
<p>7. Windows**</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 15%;">a. U-Factor:</td> <td style="width: 45%;">Dbl, U=0.55</td> <td style="width: 40%;">911.00 ft²</td> </tr> <tr> <td>SHGC:</td> <td>SHGC=0.60</td> <td></td> </tr> <tr> <td>b. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>c. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>d. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> <tr> <td>e. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> </tr> </table> <p>8. Floor Types</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 15%;">a. Slab-On-Grade Edge Insulation</td> <td style="width: 15%;">R=0.0</td> <td style="width: 15%;">2514.00 ft²</td> </tr> <tr> <td>b. Raised Floor</td> <td>R=11.0</td> <td>2156.00 ft²</td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> </tr> </table>	a. U-Factor:	Dbl, U=0.55	911.00 ft ²	SHGC:	SHGC=0.60		b. U-Factor:	N/A	ft ²	SHGC:			c. U-Factor:	N/A	ft ²	SHGC:			d. U-Factor:	N/A	ft ²	SHGC:			e. U-Factor:	N/A	ft ²	SHGC:			a. Slab-On-Grade Edge Insulation	R=0.0	2514.00 ft ²	b. Raised Floor	R=11.0	2156.00 ft ²	c. N/A	R=	ft ²			
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I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature:  Date: 12/14/11
 Address of New Home: 50 S. Sewall's Pt Rd City/FL Zip: Seawall, FL



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

PROJECT

Title: FRISOLI	Bedrooms: 5	Address Type: Street Address
Building Type: FLAsBuilt	Conditioned Area: 4670	Lot #
Owner:	Total Stories: 3	Block/SubDivision:
# of Units: 1	Worst Case: Yes	PlatBook:
Builder Name:	Rotate Angle: 90	Street: 50 SOUTH SEWALL'S
Permit Office:	Cross Ventilation:	County: MARTIN
Jurisdiction:	Whole House Fan:	City, State, Zip: SEWALL'S POINT ,
Family Type: Single-family		FL ,
New/Existing: New (From Plans)		
Comment:		

CLIMATE

	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
✓	FL, West Palm Beach	FL_WEST_PALM_BEAC	2	44	90	75	70	316	60	Medium

FLOORS

	#	Floor Type	Perimeter	Perimeter R-Value	Area	Joist R-Value	Tile	Wood	Carpet
✓	1	Slab-On-Grade Edge Insulatio	248 ft	0	2514 ft²		0	0	1
	2	Raised Floor			208 ft²	11	0	0	1
	3	Raised Floor			1948 ft²	11	0	0	1

ROOF

	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
✓	1	Hip	Barrel tile	5058 ft²	0 ft²	Medium	0.96	No	0	22.6 deg

ATTIC

	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
✓	1	Full attic	Vented	300	4670 ft²	N	N

CEILING

	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
✓	1	Under Attic (Vented)	30	4670 ft²	0.11	Wood

WALLS

	#	Omt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
✓	1	N=>E	Exterior	Concrete Block - Int Insul	5	1830 ft²	5	0	0.75
	2	S=>W	Exterior	Concrete Block - Int Insul	5	1830 ft²	5	0	0.75
	3	E=>S	Exterior	Concrete Block - Int Insul	5	2010 ft²	5	0	0.75
	4	W=>N	Exterior	Concrete Block - Int Insul	5	670 ft²	5	0	0.75

DOORS

✓	#	Omt	Door Type	Storms	U-Value	Area
_____	1	N=>E	Insulated	None	0.460000	70 ft²
_____	2	N=>E	Insulated	None	0.460000	70 ft²
_____	3	N=>E	Insulated	None	0.460000	70 ft²
_____	4	E=>S	Insulated	None	0.460000	32 ft²
_____	5	E=>S	Insulated	None	0.460000	32 ft²
_____	6	E=>S	Insulated	None	0.460000	16 ft²
_____	7	W=>N	Insulated	None	0.460000	32 ft²
_____	8	S=>W	Insulated	None	0.460000	48 ft²
_____	9	E=>S	Insulated	None	0.460000	24 ft²

WINDOWS

Orientation shown is the entered orientation (=>) changed to Worst Case.

✓	#	Omt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang		Int Shade	Screening
										Depth	Separation		
_____	1	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	12 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	2	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	12 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	3	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	8 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	4	S=>W	Metal	Double (Tinted)	Yes	0.55	0.6	N	60 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	5	S=>W	Metal	Double (Tinted)	Yes	0.55	0.6	N	80 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	6	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	20 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	7	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	72 ft²	13 ft 0 in	0 ft 0 in	HERS 2006	None
_____	8	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	90 ft²	13 ft 0 in	0 ft 0 in	HERS 2006	None
_____	9	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	13 ft 0 in	0 ft 0 in	HERS 2006	None
_____	10	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	54 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	11	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	36 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	12	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	13	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	8 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	14	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	16 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	15	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	36 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	16	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	17	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	9 ft 0 in	0 ft 0 in	HERS 2006	None
_____	18	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	40 ft²	9 ft 0 in	0 ft 0 in	HERS 2006	None
_____	19	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	20 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	20	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	13 ft 0 in	0 ft 0 in	HERS 2006	None
_____	21	E=>S	Metal	Double (Tinted)	Yes	0.55	0.6	N	60 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	22	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	30 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	23	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	15 ft²	2 ft 0 in	0 ft 0 in	HERS 2008	None
_____	24	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	8 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	25	N=>E	Metal	Double (Tinted)	Yes	0.55	0.6	N	12 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	26	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	27	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	24 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None
_____	28	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	30 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None

WINDOWS

Orientation shown is the entered orientation (=>) changed to Worst Case.

✓ #	Omt	Frame	Panels	NFRC	U-Factor	SHGC	Storms	Area	Overhang			Int Shade	Screening
									Depth	Separation			
29	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	4 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None	
30	W=>N	Metal	Double (Tinted)	Yes	0.55	0.6	N	20 ft²	2 ft 0 in	0 ft 0 in	HERS 2006	None	

INFILTRATION & VENTING

✓ Method	SLA	CFM 50	ACH 50	ELA	EqLA	— Forced Ventilation —		Run Time Fraction	Fan Watts
						Supply CFM	Exhaust CFM		
Default	0.00036	4410	5.67	242.1	455.3	0 cfm	0 cfm	0	0

COOLING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
1	Central Unit	None	SEER: 14	36 kBtu/hr	1080 cfm	0.75	sys#0
2	Central Unit	None	SEER: 14	36 kBtu/hr	1080 cfm	0.75	sys#0
3	Central Unit	None	SEER: 14	55 kBtu/hr	1650 cfm	0.75	sys#0

HEATING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Ducts
1	Electric Strip Heat	None	COP: 1	25 kBtu/hr	sys#0
2	Electric Strip Heat	None	COP: 1	25 kBtu/hr	sys#0
3	Electric Strip Heat	None	COP: 1	38 kBtu/hr	sys#0

HOT WATER SYSTEM

✓ #	System Type	EF	Cap	Use	SetPnt	Conservation
1	Natural Gas	0.66	50 gal	80 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓ FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
None	None			ft²		

DUCTS

✓ #	— Supply —			— Return —		Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
	Location	R-Value	Area	Location	Area						
1	Attic	6	934 ft²	Attic	233.5 ft	Default Leakage	Interior	(Default)	(Default) %		

Project Information

For: FRISOLI

Notes:

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 47 °F
Inside db 70 °F
Design TD 23 °F

Summer Design Conditions

Outside db 91 °F
Inside db 75 °F
Design TD 16 °F
Daily range L
Relative humidity 50 %
Moisture difference 57 gr/lb

Heating Summary

Structure 38645 Btuh
Ducts 0 Btuh
Central vent (25 cfm) 623 Btuh
Humidification 0 Btuh
Piping 0 Btuh
Equipment load 39268 Btuh

Sensible Cooling Equipment Load Sizing

Structure 25804 Btuh
Ducts 0 Btuh
Central vent (25 cfm) 433 Btuh
Blower 0 Btuh
Use manufacturer's data n
Rate/swing multiplier 0.96
Equipment sensible load 25188 Btuh

Infiltration

Method Simplified
Construction quality Average
Fireplaces 0

	Heating	Cooling
Area (ft ²)	1261	1261
Volume (ft ³)	12320	12320
Air changes/hour	0.45	0.23
Equiv. AVF (cfm)	92	47

Latent Cooling Equipment Load Sizing

Structure 2235 Btuh
Ducts 0 Btuh
Central vent (25 cfm) 958 Btuh
Equipment latent load 3193 Btuh
Equipment total load 28381 Btuh
Req. total capacity at 0.70 SHR 3.0 ton

Heating Equipment Summary

Make
Trade
Model
GAMA ID n/a

Efficiency 100 EFF
Heating input 0 Btuh
Heating output 39257 Btuh
Temperature rise 0 °F
Actual air flow 0 cfm
Air flow factor 0 cfm/Btuh
Static pressure 0 in H2O
Space thermostat

Cooling Equipment Summary

Make Trane
Trade
Cond 4TTB4036A3
Coil
ARI ref no.
Efficiency 11.6 EER, 14 SEER
Sensible cooling 25200 Btuh
Latent cooling 10800 Btuh
Total cooling 36000 Btuh
Actual air flow 1200 cfm
Air flow factor 0.047 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0.89

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

Project Information

For: FRISOLI

Notes:

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 47 °F
Inside db 70 °F
Design TD 23 °F

Summer Design Conditions

Outside db 91 °F
Inside db 75 °F
Design TD 16 °F
Daily range L
Relative humidity 50 %
Moisture difference 57 gr/lb

Heating Summary

Structure 46494 Btuh
Ducts 0 Btuh
Central vent (70 cfm) 1761 Btuh
Humidification 0 Btuh
Piping 0 Btuh
Equipment load 48255 Btuh

Sensible Cooling Equipment Load Sizing

Structure 39234 Btuh
Ducts 0 Btuh
Central vent (70 cfm) 1225 Btuh
Blower 0 Btuh
Use manufacturer's data n
Rate/swing multiplier 0.96
Equipment sensible load 38841 Btuh

Infiltration

Method Simplified
Construction quality Average
Fireplaces 0

	Heating	Cooling
Area (ft ²)	2148	2148
Volume (ft ³)	22000	22000
Air changes/hour	0.32	0.16
Equiv. AVF (cfm)	117	59

Latent Cooling Equipment Load Sizing

Structure 2680 Btuh
Ducts 0 Btuh
Central vent (70 cfm) 2708 Btuh
Equipment latent load 5388 Btuh
Equipment total load 44229 Btuh
Req. total capacity at 0.70 SHR 4.6 ton

Heating Equipment Summary

Make
Trade
Model
GAMA ID n/a

Efficiency 100 EFF
Heating input 0 Btuh
Heating output 42730 Btuh
Temperature rise 0 °F
Actual air flow 0 cfm
Air flow factor 0 cfm/Btuh
Static pressure 0 in H2O
Space thermostat

Cooling Equipment Summary

Make Trane
Trade
Cond 4TTB4060
Coil
ARI ref no.
Efficiency 12.0 EER, 14 SEER
Sensible cooling 38850 Btuh
Latent cooling 16650 Btuh
Total cooling 55500 Btuh
Actual air flow 1850 cfm
Air flow factor 0.047 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0.88

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Project Information

For: FRISOLI

Notes:

Design Information

Weather: West Palm Beach, FL, US

Winter Design Conditions

Outside db 47 °F
Inside db 70 °F
Design TD 23 °F

Summer Design Conditions

Outside db 91 °F
Inside db 75 °F
Design TD 16 °F
Daily range L
Relative humidity 50 %
Moisture difference 57 gr/lb

Heating Summary

Structure 38645 Btuh
Ducts 0 Btuh
Central vent (25 cfm) 623 Btuh
Humidification 0 Btuh
Piping 0 Btuh
Equipment load 39268 Btuh

Sensible Cooling Equipment Load Sizing

Structure 25804 Btuh
Ducts 0 Btuh
Central vent (25 cfm) 433 Btuh
Blower 0 Btuh
Use manufacturer's data n
Rate/swing multiplier 0.96
Equipment sensible load 25188 Btuh

Infiltration

Method Simplified
Construction quality Average
Fireplaces 0

	Heating	Cooling
Area (ft ²)	1261	1261
Volume (ft ³)	12320	12320
Air changes/hour	0.45	0.23
Equiv. AVF (cfm)	92	47

Latent Cooling Equipment Load Sizing

Structure 2235 Btuh
Ducts 0 Btuh
Central vent (25 cfm) 958 Btuh
Equipment latent load 3193 Btuh
Equipment total load 28381 Btuh
Req. total capacity at 0.70 SHR 3.0 ton

Heating Equipment Summary

Make
Trade
Model
GAMA ID n/a

Efficiency 100 EFF
Heating input 0 Btuh
Heating output 39257 Btuh
Temperature rise 0 °F
Actual air flow 0 cfm
Air flow factor 0 cfm/Btuh
Static pressure 0 in H2O
Space thermostat

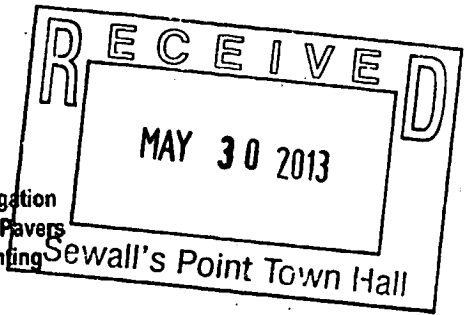
Cooling Equipment Summary

Make Trane
Trade
Cond 4TTB4036A3
Coil
ARI ref no.
Efficiency 11.6 EER, 14 SEER
Sensible cooling 25200 Btuh
Latent cooling 10800 Btuh
Total cooling 36000 Btuh
Actual air flow 1200 cfm
Air flow factor 0.047 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0.89

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Landscaping • Irrigation
Waterfalls • Brick Pavers
Landscape Lighting



Florida Exotic A Landscape Company, Inc.

4016 SW Moore St
Palm City, FL 34990

P: 772-286-2924 F: 772-286-1417

Email: floridaexotic@hughes.net Website: Floridaexoticlandscaping.com

May 28, 2013

Driftwood Homes
2163 Pine Ridge Street
Jensen Beach, FL 34957

Ref: Irrigation System
Frisoli Residence

Please be advised that the irrigation system for the above referenced residence was designed to use low water irrigation nozzles, heads and with irrigation rain sensors.

If you have any questions, please do not hesitate to contact me.

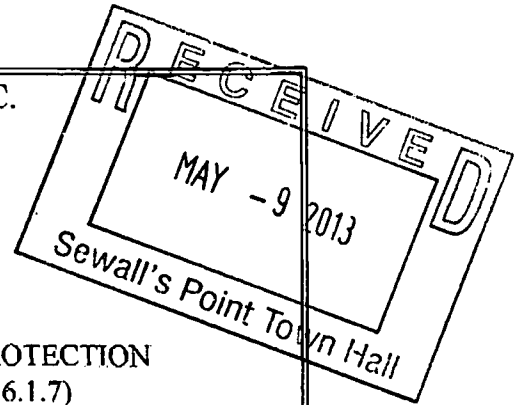
Regards,

Reuben Turner
Irrigation Manager

SOUTHCOAST PEST CONTROL INC.
1758 SW. CABIN PL.
PALM CITY, FL. 34990
772-370-4120

PEST CONTROL LICENSE # JB 110518

CERTIFICATE OF COMPLIANCE FOR TERMITE PROTECTION
(as required by Florida Building Code (FBC) 18116.1.7)



Treatment address: 50 S. SEWALLS POINT RD.

Permit

Builder: DRIFTWOOD HOMES

Date of final treatment: 5/6/13

Date of treatment: 5/6/13

Time of treatment: 3:00

Area treated: 250 LIN. FT.

Gallons used: 100

Chemical name: CROSSCHECK

Percentage of solution: .6%

Method of treatment: RODDED

Other:

THE BUILDING HAS RECEIVED A TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

Signature of Applicator: _____

A handwritten signature in black ink, appearing to be "Dan Salter", written over a horizontal line.



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



CERTIFICATE OF: OCCUPANCY COMPLETION

Single Family Residence Other _____

Temporary: Expiration Date _____

Partial (Area description) _____

BUILDING PERMIT NO: 9969 DATE OF ISSUE: 1-11-12

OWNER(S): SCOTT FRISOLI PROPERTY ADDRESS: 50 S. SEWALLS PT RD

LEGAL DESCRIPTION: LOT 10 BLOCK _____ SUBDIVISION Arbela

GENERAL CONTRACTOR: Driftwood Homes LIC/CERT NO: PR0056789

ARCHITECT OR ENGINEER: KELLY+KELLY LIC/CERT NO: 8341

CODE EDITION: 2010 FBC CONST. TYPE: TII B USE: SFR OCCUPANCY: N/A

OCCUPANT LOAD: N/A SPRINKLERS REQUIRED: N/A SPRINKLERS USED: N/A

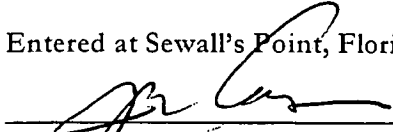
INSPECTION RECORDS

Inspection Type	Date Approved	Inspection Type	Date Approved
UNDERGROUND PLUMBING	<u>2-9-12</u>	TEMP POWER POLE	<u>1-13-12</u>
UNDERGROUND MECHANICAL		UNDERGROUND GAS	<u>3-6-13</u>
GRADE BEAMS	<u>2-22-12</u>	UNDERGROUND ELECTRICAL	
STEM-WALL FOOTING		PRE POUR STAIRS	<u>9-12-12</u>
SLAB	<u>2-22-12</u>	FOOTING	
ELEVATED SLAB	<u>5-18-12</u>	TIE BEAM/COLUMNS	<u>3-13-12, 5-18-12, 6-26-12</u>
ROOF SHEATHING	<u>7-18-12</u>	WALL SHEATHING	
TIE DOWN /TRUSS ENG	<u>10-10-12</u>	INSULATION	<u>10-25-12</u>
WINDOW/DOOR BUCKS	<u>10-22-12</u>	LATH	<u>11-6-12</u>
ROOF DRY-IN/METAL	<u>10-22-12</u>	ROOF TILE IN-PROGRESS	
PLUMBING ROUGH-IN	<u>10-22-12</u>	ELECTRICAL ROUGH-IN	<u>10-22-12</u>
MECHANICAL ROUGH-IN	<u>10-22-12</u>	GAS ROUGH-IN	<u>10-22-12</u>
FRAMING	<u>10-10-12, 10-22-12</u>	METER FINAL	<u>2-19-13</u>
FINAL PLUMBING	<u>5-29-13</u>	FINAL ELECTRICAL	<u>5-29-13</u>
FINAL MECHANICAL	<u>5-29-13</u>	FINAL GAS	<u>4-16-13</u>
FINAL ROOF	<u>5-29-13</u>	BUILDING FINAL	<u>5-29-13</u>

The described structure (or portion thereof) has been inspected for compliance with the requirements of this code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 3RD day of JUNE, 2013.


 John R. Adams, CBO
 Building Official, Town of Sewall's Point

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name **SCOTT FRISOLI #3302-09**

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
50 SOUTH SEWALL'S POINT ROAD
 City **STUART** State **FL** ZIP Code **34996**

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
W 144.24' OF N 104' OF LOT 10, E OF SEWALL'S PT. RD., & 4.2 X 33 PT OF LOT 9, ALG S/LN, ARBELA

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) **RESIDENTIAL**

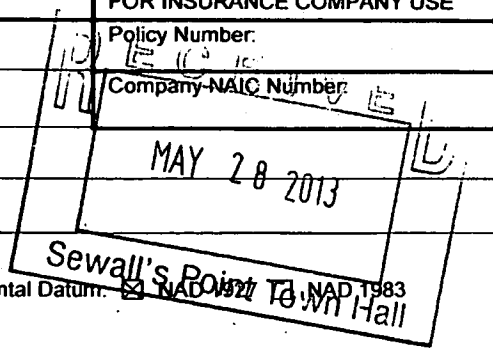
A5. Latitude/Longitude: Lat. **27°11'45"N** Long. **80°11'46"W**
 Horizontal Datum: **NAD 1983**

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number **6**

A8. For a building with a crawlspace or enclosure(s):
 a) Square footage of crawlspace or enclosure(s) **N/A** sq ft
 b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade **N/A**
 c) Total net area of flood openings in A8.b **N/A** sq in
 d) Engineered flood openings? Yes No

A9. For a building with an attached garage:
 a) Square footage of attached garage **2590** sq ft
 b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade **0**
 c) Total net area of flood openings in A9.b **0** sq in
 d) Engineered flood openings? Yes No



SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number
SEWALL'S POINT, TOWN OF 120164

B2. County Name
MARTIN

B3. State
FLORIDA

B4. Map/Panel Number
12085C0154

B5. Suffix
F

B6. FIRM Index Date
10/04/02

B7. FIRM Panel Effective/Revised Date
10/04/02

B8. Flood Zone(s)
AE, VE

B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
9.0, 10.0

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?
 Designation Date: _____ CBRS OPA Yes No

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: **MARTIN CTY ENG DEPT** Vertical Datum: **NGVD 1929**
 Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor) **4.76** feet meters

b) Top of the next higher floor **14.0** feet meters

c) Bottom of the lowest horizontal structural member (V Zones only) **11.7** feet meters

d) Attached garage (top of slab) **4.76** feet meters

e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) **13.65** feet meters

f) Lowest adjacent (finished) grade next to building (LAG) **2.89** feet meters

g) Highest adjacent (finished) grade next to building (HAG) **4.22** feet meters

h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support **4.76** feet meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

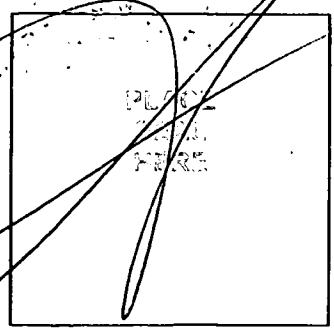
Check here if attachments

Certifier's Name **STEPHEN J. BROWN** License Number **4049**

Title **SURVEYOR & MAPPER** Company Name **STEPHEN J. BROWN, INC.**

Address **619 EAST 5TH STREET** City **STUART** State **FL** ZIP Code **34994**

Signature **STEPHEN J. BROWN** Date **05/16/13** Telephone **(772) 288-7176**



ELEVATION CERTIFICATE, page 2

IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 50 SOUTH SEWALL'S POINT ROAD	Policy Number:
City STUART State FL ZIP Code 34996	Company NAIC Number:

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C2e IS THE AO UNIT

C2d ALL GARAGE WALLS ARE FRANGIBLE

Signature STEPHEN J. BROWN

Date 05/16/13

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	-----------------------------------------------------

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design-flood elevation: _____ feet meters Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

Check here if attachments.

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
50 SOUTH SEWALL'S POINT ROAD

Policy Number:

City STUART

State FL

ZIP Code 34996

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

DATE OF PHOTOGRAPHS:05/06/13



Building Photographs

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
50 SOUTH SEWALL'S POINT ROAD

Policy Number:

City STUART

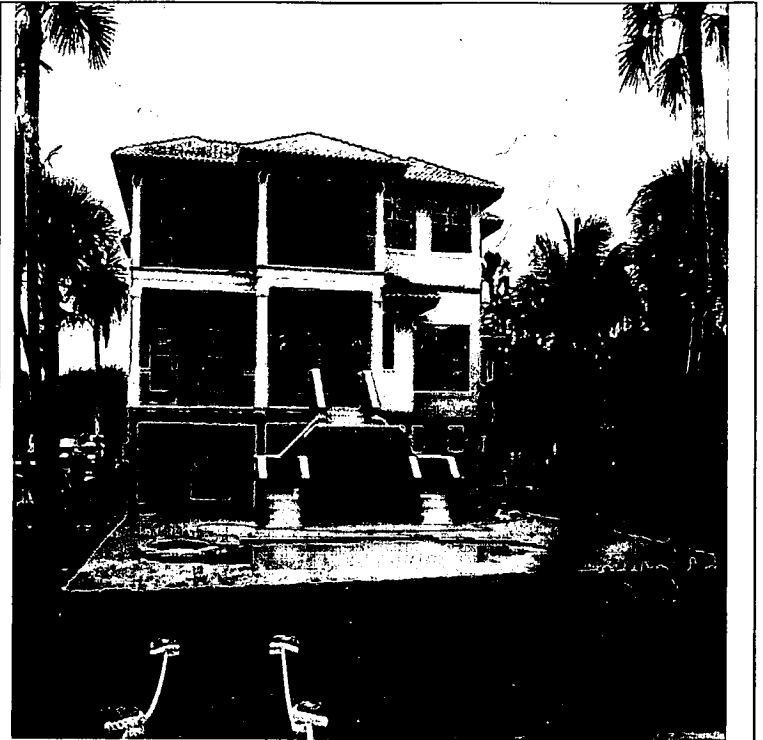
State FL

ZIP Code 34996

Company NAIC Number:

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

DATE OF PHOTOGRAPHS:05/06/13



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 1-13-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9970	Sharfi	Final		
1ST	73 N Sewalls	Garage door	Pass	Close
	Chris French			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9930	Dareth	window buck		
	7 N Via Lucinda	FINN	Pass	Close
	Kamrell Windows			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9958	Luchalski	UG Plumbing		
	6 Banyan Rd		Pass	
	JMC			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9969	FRISON	TEMP PILE	NO	READY FOR
	DRIFTWOOD			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Tree	McMahon	Tree		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

Valerie Meyer

From: Valerie Meyer [vmeyer@sewallspoint.martin.fl.us]
Sent: Monday, January 16, 2012 9:09 AM
To: FPL (tc_inspections@fpl.com)
Subject: Temp power

Inspection complete and passed. Please install meter for temporary power pole at the following:

FRISOLI Residence
50 S. Sewalls Pt Rd
Sewall's Point, FL 34996

Thank you,

Valerie Meyer
BUILDING DEPT
TOWN OF SEWALL'S POINT
772-287-2455 EXT 13

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed ~~Thur~~ Fri 2-9-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4908	Reewood	rough plumbing " electric	PASS	
9AM ?	34 N River Seagate	" AC framing murse	↓	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4904	Howley	Plumb/Rough Plumb	Pass	
	^{CRANES} 14 AVENUE NEST SHERLOCK HOMES	ROUGH A/C	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	146 S. S Pt RD	CRANE PLUMB	OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9969	4050 S. S Pt RD	AC PLUMBING	PASS	
1 PM	50 S S Pt RD Driftwood			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9561	Woods	Final SPA in master		CANCEL & RESET FOR MONDAY
	32 E High Pt Pool Crafters			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
Trees	33 N River Rd	Trees	OK	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-22-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10012	15 Palm Rd Florida Gas	UG. GAS LINES	Pass	INSPECTOR <i>[Signature]</i>
9991	Burkhard 106 JSP Way Morris, Alan	Temp Power Pole		Contact PPL INSPECTOR <i>[Signature]</i>
9969	Frisoli 50 JSP Rd Morris, Alan	Tree COND. SERVICE 4-2-10	Pass	INSPECTOR <i>[Signature]</i>
Tree	32 W High Pt	Tree	Oh	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-13-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10023	Marley	Final		
1Pm	39 W High Pt Chris French Spv	Garage Door	PASS	Inspector [Signature]
tree	22 S Sewalls	Tree		
			OK	INSPECTOR
9061	FRISOLI			
	50 S S Pt Rd DRIFT WOOD HOMES	Columns	PASS	INSPECTOR [Signature]
10026	Galfond	Final		
	8 S Sewalls	Garage Door		
	DXP Garage			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-18-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10045	Wood/Grenville 15 Lantana La All American	Final ROOF		Cancel
				INSPECTOR
10083	White 15 Ridgeland Tuscany Bay	Footer & SLAB	Pass	
				INSPECTOR <i>[Signature]</i>
99169	DRIFTWOOD	FOOTER	Pass	
	DRIFTWOOD	FOOTER	Pass	
	DRIFTWOOD	FOOTER	Pass	
	DRIFTWOOD	FOOTER	Pass	
	DRIFTWOOD	FOOTER	Pass	
	DRIFTWOOD	FOOTER	Pass	
99109	Township 112 Henry Sewall Seagate	Footers	Pass	
				INSPECTOR <i>[Signature]</i>
	Castro 225 Sewalls		OK	
				INSPECTOR
9747	Schwartz TON Sewall Driftwood	Final - rec'd all necessary documents OK for CO	Pass	CLOSE ✓
				INSPECTOR <i>[Signature]</i>
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-26-12 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10120	RADER	FINAL		
11-2pm	5 HERITAGE NISA IN	A/C	PASS	CLOSE INSPECTOR <i>JA</i>
10080	Ledon 2 KNOWLES MAT Const.	FINAL RE INSPECT	PASS	CLOSE INSPECTOR <i>JA</i>
10127	Woods 32 Cavell Hill NISA IN	Final AR	PASS	CLOSE INSPECTOR <i>JA</i>
9884	Creeden 176 S Sewalls MJK Const	deck framing	PASS	INSPECTOR <i>JA</i>
9884	Creeden	deck framing	PASS	INSPECTOR <i>JA</i>
9884	50 S SPT RD DRIFTWOOD	(CUPPER)	PASS	INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-18-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10027 PM	Gardis 25 Skinner Rd Team Parks	slab garage rebar basement BASEMENT WALLS PREPOUR	RESERVED FOR AM TOWN	INSPECTOR
10030 PM 10:00	Bauer 1 Tuscan La Seagate	rough plumbing rough electric rough framing rough AC FINAL ROOF	PASS	INSPECTOR <i>[Signature]</i>
9909 9:30	Twaley 112 Henry Sewall Seagate	water final	PASS	READY FOR FPL INSPECTOR <i>[Signature]</i>
9909 AM	16150-51 50 S SPT RD DRIFTWOOD HOMES	ROOF SHEATHING	PASS	INSPECTOR <i>[Signature]</i>
9991 AM	BURKHARD 106 S. SOT RD DRIFTWOOD HOMES	PREPOUR STAIRS STRAPPING & ENG.	PASS Fair	NOT READY INSPECTOR <i>[Signature]</i>
10139	Lienhardt 17 Levernview On Shore	Pt metal Dry - IN & METAL	FAIL	NOT READY - NEED ENG ON STRUCTURAL REPAIRS INSPECTOR <i>[Signature]</i>
	Rio Vista S.S.P.R.	obstruction from trees		INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspector: Mon Tue Wed Thur Fri 9-12-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
		CE		
	19 E. HIGH PT	INVESTIGATE	WALK THROUGH	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10213	Resnick			
	27 LONTANA	A/C FINAL	PASS	CLAE
	Miranda Sales			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	36 FIELDWAY			
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9969	FOUR 210	P.P. STAIN		
	50 S STAN		PASS	
	DRIFTWOOD			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	NXT TO 14N VIA LUC.	WORKS DETAILS		
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 10-10-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9069 1ST	Driftwood 00 S Sewalls Driftwood	strapping framing	Pass	INSPECTOR <i>[Signature]</i>
10212	Parks Jones 48 N River Rd OB	windows/door attachment	Pass	INSPECTOR <i>[Signature]</i>
8 10AM	Totterman 107 N Sewalls Duncan	Pre-con	<i>[Signature]</i>	INSPECTOR
10171	Potter 4 Ferrwinkel Cir Mr Hunter	windows + door final roof in-progress	Pass Fail	INSPECTOR <i>[Signature]</i>
10021 10021 LATE PM	Goudis 25 S River Rd 100 S Sewalls Team Parks	UPPER GUEST HOUSE TIE BEAM	Pass	INSPECTOR <i>[Signature]</i>
10231	Maher 32 S Sewalls Pt Rd	Flashing	Pass	INSPECTOR <i>[Signature]</i>
2-2 ³⁰	Roof Repairs Only			
		TREE		
	19 EMARITA DR	Queen Palm	<i>[Signature]</i>	INSPECTOR
	305-793-5050			

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

10-22-12

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
996	Driftwood	dry-in/metal	Pass	
2:00	505 Sewalls Driftwood	dry-in/metal	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9991	Burkard 1065 Sewalls Driftwood	dry-in/metal	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10241	BETSON BETSON 7 COPPARE RD FERRIS GAS	GAS ROUGH	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10175	Lienhart 17 Riverview Dr Country Coast	Final beam	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10144	Parksh 8 Herons Nest Browne	TEMP I BEAM Removal		Piercing INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10241	Besson 7 Copaire Level Gas	gas rough pressure	Duplicate	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed Thur Fri 10-25-12 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10259	McGARA			
1 st AM	123 S. SPT RD Breath Healthy Air	AC/KINR	PASS	CLOSE INSPECTOR <i>gt</i>
		meet w/ owner		
930 AM	3 Marguerita		OK	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10241	Berson	Final gas		
LATE PM	2 Copaire Terrell Gas		CANCEL	RESET INSPECTOR <i>gt</i>
PERMIT #	OWNER ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10027	Gaudis	1st fl tie beam		
LATE PM	25 Silver Rd Team Parks		CANCEL	NO RESET INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10126	Perch	Counterfoot wall footer & 2 walls		
2 nd	8 Morgan Cir Scott Holmes		PASS	INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
99169	Driftwood			
	501 S. SPT RD	1/2" x 2" x 8"	PASS	
	Driftwood			INSPECTOR <i>gt</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9911	Brekeny	Final		
	6 Riverview		PASS	CLOSE
	Freedom Home			INSPECTOR <i>gt</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 11-6-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10111	Potter 4 Perruinker M Huette	Final Bldg	PASS	Close INSPECTOR <i>A</i>
9969	50 S Sewalls	Over	PASS	INSPECTOR <i>A</i>
Tree	McGovern 2 Tuscan La	Tree	<i>ok</i>	INSPECTOR
Tree	Pay Tree Lodge 143 S River Rd	Tree	<i>ok</i>	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

①

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-19-13** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10258	Comcast 114 S Sewalls Reel Comm.	Final UG cables	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10261	Comcast 157 S River Reel Communication	Final UG cables	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10353	Sapp 6 Miramar Capps Roofing	mail in affidavit dry-in pictures Final	CANCEL Pass	Used for work Capps INSPECTOR <i>[Signature]</i>
9615	Comcast 173 S River Allcomm	Final UG cables (from 2010)	Pass	CLOSE INSPECTOR <i>[Signature]</i>
9969	Wood	Deck	Pass	INSPECTOR <i>[Signature]</i>
930	50 S Sewalls Dreftwood	FINN	Pass	INSPECTOR <i>[Signature]</i>
10349	DAILEY 20 Pearl WINKLE MEDICAL BLDG	NAILING UNDERLAYMENT	Pass	INSPECTOR <i>[Signature]</i>
10248	Bahner 2 N Sewalls Renar	entry door deck attachment	Pass	INSPECTOR <i>[Signature]</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-6-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10356	KUHNS 94 S. RIVER State Certified Roof	DRY-IN/METAL	PASS	INSPECTOR <i>JA</i>
10369	Greene 1st 26 Island Rd Astel	Final AC	PASS	CLOSE INSPECTOR <i>JA</i>
10248	Bukner 9:30-10:00 AM 2 N Sewalls Remar	Final Roof - Insulation	PASS PASS	INSPECTOR <i>JA</i>
10294	Guggio 2 ISLAND RD Cosmopolitan	SLAB	PASS	INSPECTOR <i>JA</i>
0969	Frisco 50 S Sewalls Driftwood	Deck	PASS	INSPECTOR <i>JA</i>
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 4-16-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10373	Hoffman 20 Palm Rd mc propane	FINAL new gas (interior)	PASS	CLOSE INSPECTOR [Signature]
9969	[Illegible]	[Illegible]	[Illegible]	[Illegible]
2	50 S Sewalls Driftwood	[Illegible]	[Illegible]	[Illegible] INSPECTOR [Signature]
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR



TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



CERTIFICATE OF: OCCUPANCY COMPLETION

Single Family Residence Other _____

Temporary: Expiration Date _____

Partial (Area description) _____

BUILDING PERMIT NO: 9969 DATE OF ISSUE: 1-11-12

OWNER(S): SCOTT FRISOLI PROPERTY ADDRESS: 50 S. SEWALLS PT RD

LEGAL DESCRIPTION: LOT 10 BLOCK _____ SUBDIVISION Arbela

GENERAL CONTRACTOR: Driftwood Homes LIC/CERT NO: PR0056789

ARCHITECT OR ENGINEER: KELLY+KELLY LIC/CERT NO: 8341

CODE EDITION: 2010 FBC CONST. TYPE: III B USE: SFR OCCUPANCY: N/A

OCCUPANT LOAD: N/A SPRINKLERS REQUIRED: N/A SPRINKLERS USED: N/A

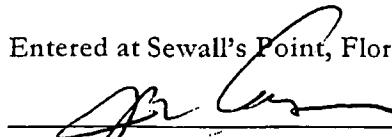
INSPECTION RECORDS

Inspection Type	Date Approved	Inspection Type	Date Approved
UNDERGROUND PLUMBING	<u>2-9-12</u>	TEMP POWER POLE	<u>1-13-12</u>
UNDERGROUND MECHANICAL		UNDERGROUND GAS	<u>3-6-13</u>
GRADE BEAMS	<u>2-22-12</u>	UNDERGROUND ELECTRICAL	
STEM-WALL FOOTING		PRE POUR STAIRS	<u>9-12-12</u>
SLAB	<u>2-22-12</u>	TIE BEAM/COLUMNS	<u>3-13-12, 5-18-12, 6-26-12</u>
ELEVATED SLAB	<u>5-18-12</u>	WALL SHEATHING	
ROOF SHEATHING	<u>7-18-12</u>	INSULATION	<u>10-25-12</u>
TIE DOWN /TRUSS ENG	<u>10-10-12</u>	LATH	<u>11-6-12</u>
WINDOW/DOOR BUCKS	<u>10-22-12</u>	ROOF TILE IN-PROGRESS	
ROOF DRY-IN/METAL	<u>10-22-12</u>	ELECTRICAL ROUGH-IN	<u>10-22-12</u>
PLUMBING ROUGH-IN	<u>10-22-12</u>	GAS ROUGH-IN	<u>10-22-12</u>
MECHANICAL ROUGH-IN	<u>10-22-12</u>	METER FINAL	<u>2-19-13</u>
FRAMING	<u>10-10-12, 10-22-12</u>	FINAL ELECTRICAL	<u>5-29-13</u>
FINAL PLUMBING	<u>5-29-13</u>	FINAL GAS	<u>4-16-13</u>
FINAL MECHANICAL	<u>5-29-13</u>	BUILDING FINAL	<u>5-29-13</u>
FINAL ROOF	<u>5-29-13</u>		

The described structure (or portion thereof) has been inspected for compliance with the requirements of this code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 3RD day of JUNE, 2013.


 John R. Adams, CBO
 Building Official, Town of Sewall's Point

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

5-29-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
09769	Frisoli	Final	Pass	1-2505-6-6
	50 S Sewalls	SFR	Pass	
	Driftwood Homes			INSPECTOR <i>[Signature]</i>
10403	Frisoli	Final	Pass	
	50 S Sewalls	Gate	Pass	Close
	Driftwood Homes	FRONT ENTRY WALK		INSPECTOR
10448	Stern	UG Plumbing	Pass	
	9 Lantana Ln		Pass	
	Freedom Home			INSPECTOR <i>[Signature]</i>
10386	Pittch	equipotential	Pass	
	3 Tumor St	bond wire	Pass	
	Flamingo			INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

10042

DOCK

&

BOATLIFT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10042	DATE ISSUED:	MARCH 22, 2012
SCOPE OF WORK:	DOCK & BOATLIFT W/ELECTRIC		
CONTRACTOR:	ATLANTIC SEAWALL & DOCK CO		
PARCEL CONTROL NUMBER:	013841001-010-000108	SUBDIVISION	ARBELA - LOT 9
CONSTRUCTION ADDRESS:	50 S SEWALLS PT RD		
OWNER NAME:	FRISOLI		
QUALIFIER:	ADAM TRENTER	CONTACT PHONE NUMBER:	263-1712

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: 02/20/12 Permit Number: 10042

OWNER/TITLEHOLDER NAME: Scott Frisoli Phone (Day) 203972 7937 (Fax) _____

Job Site Address: 50 S. Sewall's Point Rd City: Stuart State: FL Zip: _____

Legal Description _____ Parcel Control Number: 01-38-41-001-010-00010-8

Owner Address (if different): 30 Buxton Farm Rd City: Stamford State: CT Zip: 06905

Scope of work (please be specific): CONSTRUCT 1,172 s.f. dock with boat lift

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 35,676.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND/RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: ATLANTIC SEAWALL DOCK CO Phone: 772-263-1712 Fax: 866-380-0356

Street: 7366 SW 39th St City: PAUM CITY State: FL Zip: 34990

State License Number: CBC1258639 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Adam Trenter Phone Number: 772-263-1712

DESIGN PROFESSIONAL: PAUL WELCH, INC. Lic# 29945 Phone Number: _____

Street: 1984 SW Biltmore Street #114 City: PSL State: FL Zip: 34984

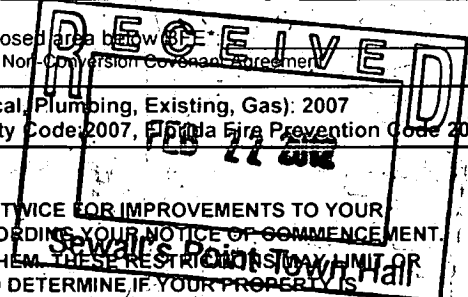
AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof _____ Elevated Deck: 1172 Enclosed area below BFE _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY HINDER OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS, PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.



***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)

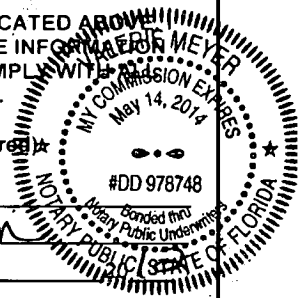
State of Florida, County of: _____
 This the _____ day of _____, 20____
 by _____ who is personally
 known to me or produced
 as identification _____
 Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: Martin
 This the 22 day of Feb
 by Adam T. Trenter who is personally
 known to me or produced PD# 7653-018-81-428-0
 as identification _____
 Notary Public

My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: FRISOLI
CONSTRUCTION ADDRESS: 50 S Sewall's Point Rd.

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS
- ROOFING

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: wiring of dock

VALUE OF CONSTRUCTION \$ 5000.00

<input type="checkbox"/> LOW VOLTAGE TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: [Signature] ADDRESS OF CONTRACTOR: PO Box 1003 Jensen Beach

COMPANY OR QUALIFIER'S NAME: HERITAGE ELECTRIC
TELEPHONE NO: 334 4675 FAX NO: _____
PLEASE PRINT

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: NCME 00094

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

NOTICE OF COMMENCEMENT
To be completed when construction value exceeds \$2,500.00

PERMIT #: _____ TAX FOLIO # 01-38-41.001-010-0000-8

STATE OF FLORIDA COUNTY OF MARTIN

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS, IF AVAILABLE) 50 S. SEWALL'S POINT ROAD - ARCELA N 104' LOT 10E OF SEWALLS

GENERAL DESCRIPTION OF IMPROVEMENT: CONSTRUCT NEW DOCK PT RD & 4.2' x 33' PT OF LOT 9 ALG S/LN OF SC IN OR 856/753

OWNER INFORMATION OR LESSEE INFORMATION, IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:
Name: SCOTT FRISOLI
Address: 30 BUXTON FARM ROAD, SUITE 300
Interest in property: OWNER
Name and address of fee simple title holder (if different from Owner listed above): N/A

CONTRACTOR'S NAME: ATLANTIC SEWALL DOCK CO. Phone No.: 772 263 1712
Address: 2366 SW 39th St PALM CITY, FL 34990

SURETY COMPANY (if applicable, a copy of the payment bond is attached):
Name and address: N/A
Phone No.: _____ Bond amount: _____

LENDER'S NAME: N/A Phone No.: _____
Address: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes:

Name: _____ Phone No.: _____
Address: _____

In addition to himself or herself, owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
Phone number of person or entity designated by Owner: _____

Expiration date of Notice of Commencement:
(the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager/Attorney-in-fact
Scott Frisoli

Signatory's Title/Office

The foregoing instrument was acknowledged before me this 9th day of January, 2012

By: Scott Frisoli as _____ for _____
Name of person Type of authority (e.g. officer, trustee) Party on behalf of whom instrument was executed

Richard J. Simon
Notary's Signature

Personally known or produced identification
Type of identification produced CTDL

(Print, Type, or Stamp Commissioned Name of Notary)

GRAPHIC SCALE
(IN FEET)
1 Inch = 50 Ft.

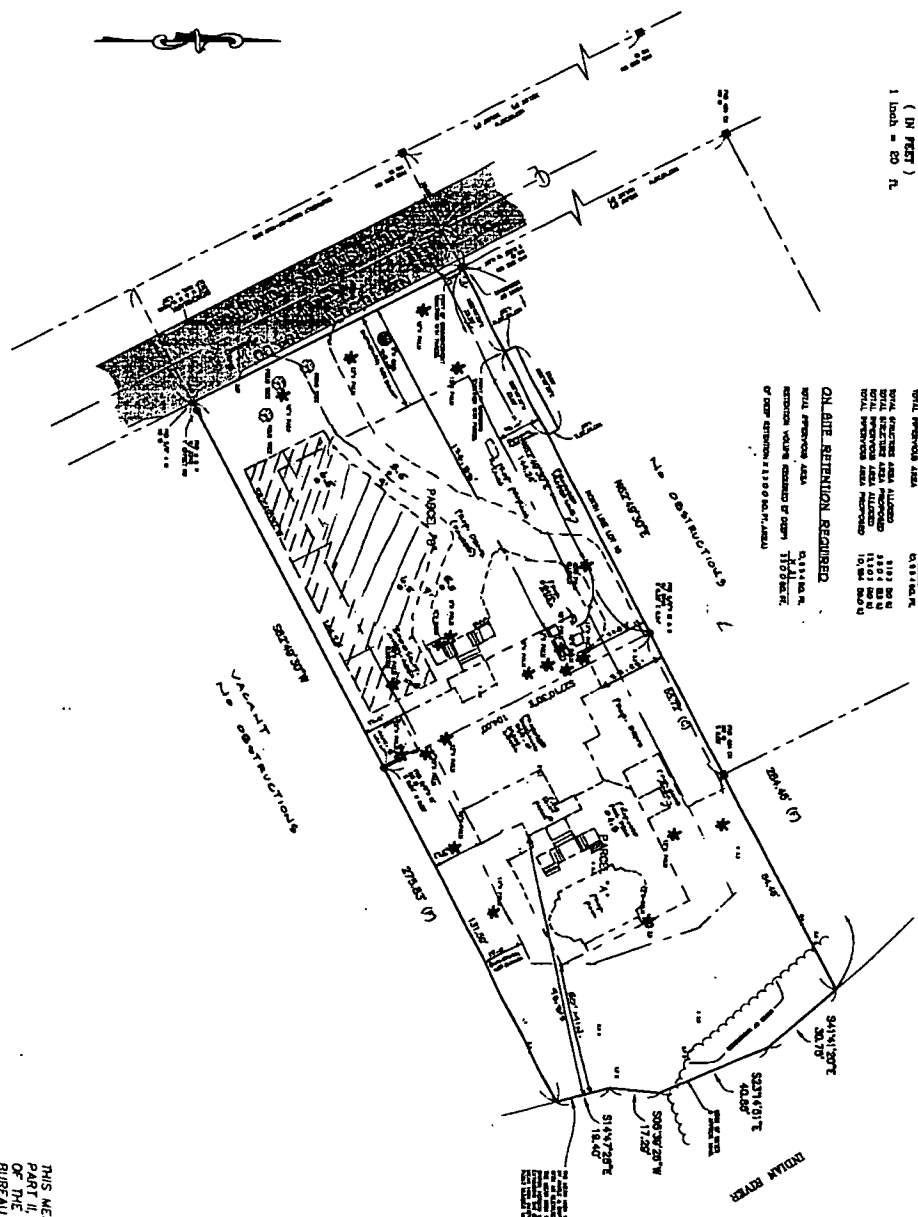


AREA CALCULATIONS

LOT AREA	20,300 S.F.
REMOVING AREA PROPOSED	1,110
REMOVING AREA EXISTING	1,110
TOTAL REMOVING AREA	2,220
TOTAL PROPOSED AREA	18,080
TOTAL EXISTING AREA ADJUSTED	11,910
TOTAL PROPOSED AREA ADJUSTED	11,910
TOTAL PROPOSED AREA PROPOSED	10,900

OIL FUEL RETENTION REQUIRED

TOTAL PROPOSED AREA	18,080 S.F.
RETENTION VALUE (BASED ON 0.05)	904 S.F.
BY OIL FUEL RETENTION (11.910 S.F. AREA)	119.1 S.F.



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- PROPERTY ADDRESS: SEWELL'S POINT ROAD
- CERTIFIED TO:
 - SCOTT FRISOU
 - OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 - OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

STEPHEN J. BROWN, INC

STEPHEN J. BROWN, PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATION NO. 5094, STATE OF FLORIDA

THIS MEAN HIGH WATER LINE SURVEY COMPLIES WITH CHAPTER 177, PART 16, MEAN HIGH WATER LINE SURVEY AND IS RECORDED IN THE PUBLIC REPOSITORY OF THE FLORIDA DEPARTMENT OF REVENUE, DIVISION OF SURVEYING AND MAPPING AS MEAN HIGH WATER SURVEY FILE NO. 4822.

THE GENERAL STATE OF THE PROPERTY, EXCEPT AS SHOWN THEREIN, IS NOT SHOWN.

DATE OF THIS SURVEY: 04/24/2011

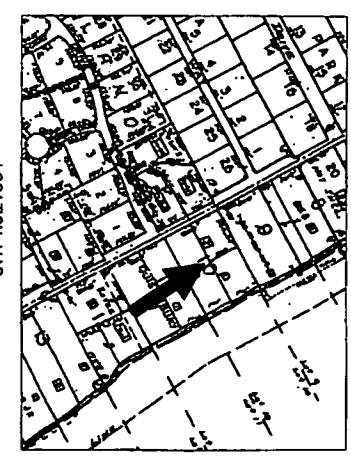
LEGAL DESCRIPTION

Parcel A

THE PROPERTY FOR THE PART OF LOT 10, BLOCK 10, SUBDIVISION 10, ...

Parcel B

THE PROPERTY FOR THE PART OF LOT 11, BLOCK 10, SUBDIVISION 10, ...



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PREPARED FOR: FRISOU

BOUNDARY, TREE, TOPO & MEAN HIGH WATER LINE SURVEY

STEPHEN J. BROWN, INC LICENSED BUSINESS NUMBER: 5464

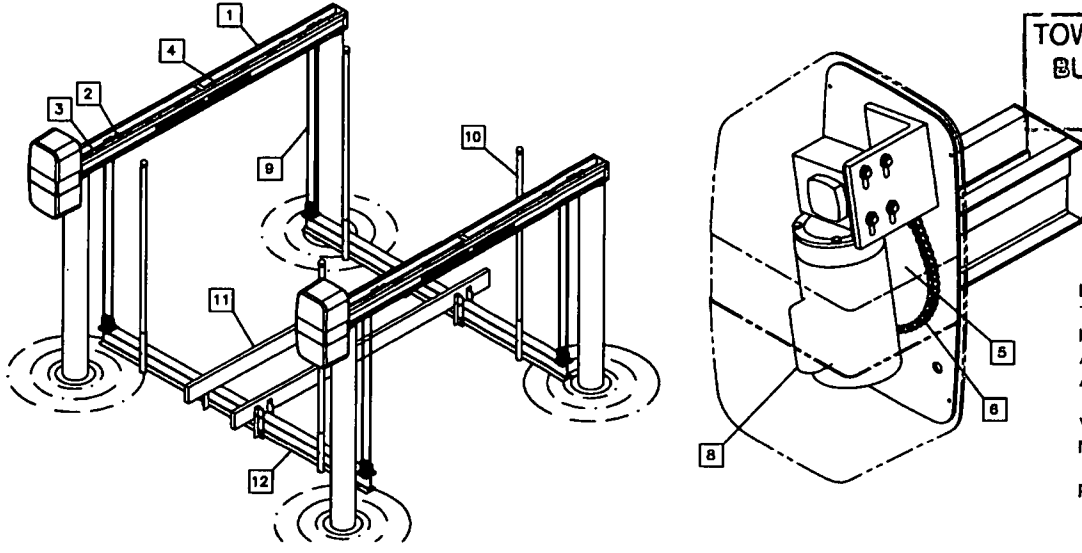
SURVEYORS • DESIGNERS • LAND PLANNERS • CONSULTANTS

610 EAST 5TH STREET, STUART, FLORIDA 34994 (787) 828-7170

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QUALITY BOAT LIFTS

ALUM-A-VATOR II BOAT LIFT SPECIFICATIONS 4 POST BOAT LIFTS WITH 2 CRADLE BEAMS AND 4 CABLES



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

QUALITY BOAT LIFTS, INC.
IS NOT RESPONSIBLE FOR
THE DOCK STRUCTURE, OR
ITS ABILITY RESIST THE
APPLIED LOADS OF THE
ALUM-A-VATOR II BOAT LIFT.
THE SITE SHOULD BE
VERIFIED BY A LICENSED
MARINE CONTRACTOR.
APPLIED LOADS WILL BE
PROVIDED UPON REQUEST.

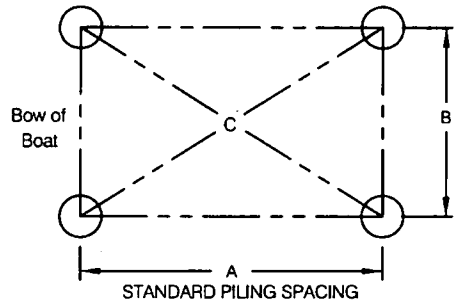
	1	2	3	4	5	6	7	8	9	10	11	12			
LIFT CAPACITY LBS.	CABLE BEAM SIZE CUSTOM CHANNEL INCHES	NO. OF BEARINGS	GROOVED CABLE WIDHER SIZE INCHES	DRIVE SHAFT SIZE INCHES	DRIVE SHAFT SPROCKET	CHAIN SIZE	GEAR DRIVE SPROCKET	GEAR DRIVE RATIO	NO. OF MOTORS 4 H.P.	NO. OF CABLES AND SIZE INCHES	CABLE SPREAD INCHES	INCHES OF LIFT PER MINUTE	GUIDE POST HEIGHT	BOAT BIRKS INCHES	CRADLE BEAM SIZE "B" x "L" INCHES
4,500	5 x .230 H 2 x .160 W	10	2.375 DIA. 19" LG LIFTS 14 FT.	1.837 TUBE	60 TOOTH	#50	11 TOOTH	60:1	(2) 3/4" P-120V/23A 240V/12A	25 DIA. 15' FT. 1 PART	104	40	7	2 x 8 x 144	6 x .180 H 4 x .290 W 120 L
7,000	8 x .230 H 2 x .160 W	10	2.375 DIA. 19" LG LIFTS 14 FT.	1.837 TUBE	60 TOOTH	#50	9 TOOTH	60:1	(2) 3/4" P-120V/23A 240V/12A	312 DIA. 15' FT. 1 PART	116	32	7	2 x 8 x 144	6 x .190 H 4 x .290 W 144 L
10,000	8 x .230 H 2 x .160 W	10	2.375 DIA. 19" LG LIFTS 14 FT.	1.837 TUBE	60 TOOTH	#50	11 TOOTH	60:1	(2) 3/4" P-120V/23A 240V/12A	25 DIA. 30' FT. 2 PART	113	20	7	2 x 8 x 144	8 x .230 H 5 x .350 W 150 L
13,000	11 x .230 H 2 x .160 W	10	2.375 DIA. 19" LG LIFTS 14 FT.	1.837 TUBE	60 TOOTH	#50	9 TOOTH	60:1	(2) 3/4" P-120V/23A 240V/12A	312 DIA. 30' FT. 2 PART	113	16	7	2 x 8 x 144	8 x .230 H 5 x .350 W 150 L
16,000	11 x .230 H 2 x .160 W	10	2.375 DIA. 19" LG LIFTS 14 FT.	1.837 TUBE	50 TOOTH	#60	12 TOOTH	60:1	(2) 1" P-120V/28A 240V/14A	312 DIA. 30' FT. 2 PART	111	26	10	3 x 10 x 168	10 x .250 H 6 x .410 W 168 L
20,000	14 x .313 H 2 x .313 W	10	2.375 DIA. 23" LG LIFTS 14 FT.	1.837 TUBE	50 TOOTH	#60	12 TOOTH	60:1	(2) 1" P-120V/28A 240V/14A	312 DIA. 45' FT. 3 PART	127	17	10	3 x 10 x 182	12 x .290 H 7 x .470 W 182 L
27,000	14 x .313 H 2 x .313 W	10	2.375 DIA. 23" LG LIFTS 14 FT.	1.837 TUBE	50 TOOTH	#60	10 TOOTH	60:1	(2) 1" P-120V/28A 240V/14A	312 DIA. 45' FT. 4 PART	151	14	10	3 x 10 x 182	12 x .290 H 7 x .470 W 182 L

HI-SPEED OPTION**

GEAR DRIVE RATIO	NO. OF MOTORS # H.P.	MOTOR BRAKE TORQUE	INCHES OF LIFT PER MINUTE
60:1	(2) 1/2" P-120V/33A 240V/17A	6 FT-LBS	80
30:1	(2) 1/2" P-120V/33A 240V/17A	6 FT-LBS	64
30:1	(2) 1/2" P-120V/33A 240V/17A	6 FT-LBS	40
30:1	(2) 1/2" P-120V/33A 240V/17A	6 FT-LBS	32
30:1	(2) 1" P-120V/38A 240V/18A	6 FT-LBS	42
30:1	(2) 1" P-120V/38A 240V/18A	6 FT-LBS	34
30:1	(2) 1" P-120V/38A 240V/18A	6 FT-LBS	28

ALL SPACING TO CENTER OF PILING

LIFT CAPACITY	A	B	C	RECOMMENDED PILING SIZES
4,500 LB	132"	120"	178.375"	8" DIA.
7,000 LB	144"	144"	203.625"	8" DIA.
10,000 LB	144"	150"	208"	8" DIA.
13,000 LB	144"	150"	208"	8" DIA.
16,000 LB	144"	168"	221.25"	10" DIA.
20,000 LB	168"	192"	255.125"	10" DIA.
27,000 LB	192"	192"	271.50"	10" DIA.



STRUCTURAL ENGINEERING REVIEW

THIS CONSTRUCTION HAS BEEN DESIGNED AS A MAIN WIND FORCE RESISTING SYSTEM, WITH CALCULATED GRAVITY AND WIND LOADS IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2007, WITH 2009 SUPPLEMENTS, SECTION 1609, ADM 2005, ASCE 7-05, AND "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A BASIC WIND SPEED OF 150 MPH, EXPOSURE "C". ARNOLD/SANDERS CONSULTING ENGINEERS HAS NO CONTROL OF THE MANUFACTURING, PERFORMANCE, OR INSTALLATION OF THIS PRODUCT. THESE GENERIC PLANS WERE ENGINEERED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES AND DATA PROVIDED BY THE MANUFACTURER.

J.L. Sanders
8-24-10

Arnold/Sanders Consulting Engineers, Inc.
Certificate of Authorization 9451
16681 McGregor Blvd. Suite 102, Ft. Myers, FL 33908
239-267-3666 Fax: 239-267-2771
Reg. Florida No. 66361

Date:

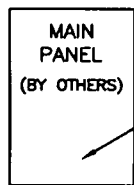
SIGNATURE NOT VALID WITHOUT RAISED SEAL

Quality
BOAT LIFTS, INC.

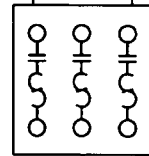
DWG: 600100 Pub. 0810

ALUM-A-VATOR II WIRING SCHEMATIC

MINIMUM RECOMMENDED WIRE SIZE TABLE (AWG)				
COPPER WIRE ONLY				
LIFT CAPACITY	MAXIMUM DISTANCE FROM SERVICE TO CONTROLLER			
	75 FEET	150 FEET	300 FEET	400 FEET
4500# TO 13000# AT 120 VOLTS	#10	#8	#6	#6
4500# TO 13000# AT 240 VOLTS	#12	#10	#8	#6
16000# TO 27000# AT 240 VOLTS	#10	#8	#6	#4
32000# TO 54000# AT 240 VOLTS	#6	#4	#2	#0



120 / 240 GFCI BREAKER

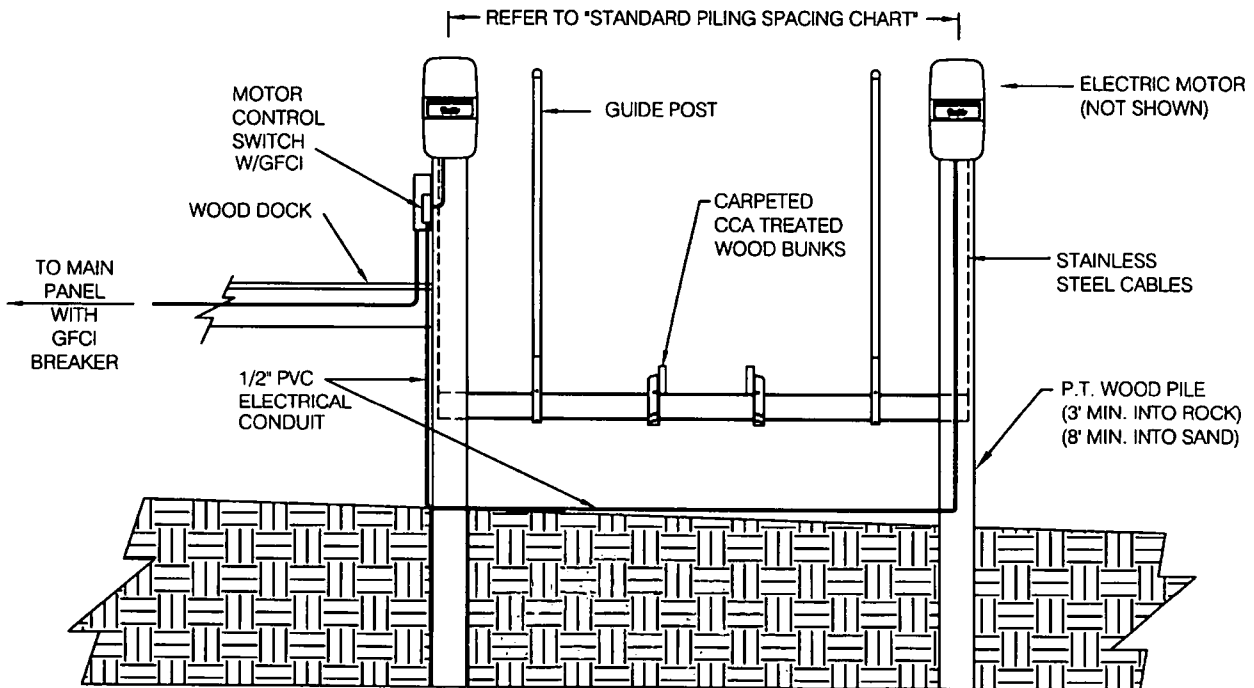


14/5 SJTW CORD

14/5 SJTW CORD

120 / 240 V
MOTOR 1

120 / 240 V
MOTOR 2



Quality
BOAT LIFTS, INC.

17030 Alico Center Rd.

Ft. Myers, Fl. 33967

Phone: (800) 545-5603

DWG: G00100 Pub. 0810

Fax: (239) 432-0019

12. Construction, alteration, operation, maintenance, removal and abandonment approved by this general permit shall be conducted in a manner which does not cause violations of state water quality standards, including any antidegradation provisions of Sections 62-4.242(1)(a) and (b), 62-4.242(2) and (3), and 62-302.300, F.A.C., and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. The permittee shall implement best management practices for erosion, turbidity, and other pollution control to prevent violation of state water quality standards. Temporary erosion control measures such as sodding, mulching, and seeding shall be implemented and shall be maintained on all erodible ground areas prior to and during construction. Permanent erosion control measures such as sodding and planting of wetland species shall be completed within seven days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands and other surface waters exists due to the permitted activity. Turbidity barriers shall remain in place and shall be maintained in a functional condition at all locations until construction is completed and soils are stabilized and vegetation has been established. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
13. The permittee shall hold and save the Department harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the general permit.
14. The permittee shall immediately notify the Department in writing of any previously submitted information that is later discovered to be inaccurate.

62-341.427 General Permit for Certain Piers and Associated Structures.

(1) A general permit is hereby granted to any person to construct, extend, or remove piers and associated structures as described below:

(a) Single-family piers, along with boat lifts, boat houses, terminal platforms, and gazebos attached to the pier, where these structures:

1. Do not accommodate the mooring of more than two water craft;
2. Do not, together with existing structures, exceed a total area of 2,000 square feet; and
3. Have a minimum depth of two feet below the mean low water level for tidal waters and two feet below the mean annual low water level for non-tidal waters for all areas designed for boat mooring and navigational access; and

(b) Public fishing piers that do not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed".

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat house, boat shelter, boat lift, gazebo, or terminal platforms, shall not occur over submerged grassbeds, coral communities or wetlands. In addition, the boat mooring location shall not be over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no wet bars, or living quarters over wetlands or other surface waters or on the pier, and no structure authorized by this general permit shall be enclosed by walls or doors;

(c) The structure and its use shall not significantly impede navigability in the water body;

(d) There shall be no dredging or filling associated with construction of the structures authorized herein, other than that required for installation of the actual pilings for the pier, boat lift, boat shelter, gazebo, or terminal platform;

(e) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit; and

(f) This general permit shall not authorize the construction of more than one pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property.

Specific Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.414(9), 373.416, 373.418, 373.426 FS. History - New 10-3-95.



Florida Department of Environmental Protection

Southeast District
Port St. Lucie Branch Office
1801 SE Hillmoor Drive, Suite C-204
Port St. Lucie, FL 34952
(772) 380-1260

Rick Scott
Governor

Jennifer Carroll
Lt. Governor

Herschel T. Vinyard Jr.
Secretary

JUN 24 2011

Scott Frisoli
30 Buxton Farm Road, Suite 300
Stamford, CT 06905

Re: File No.: 43-0306500-001
File Name: Frisoli, Scott

Dear Mr. Frisoli:

On May 27, 2011, we received your notice of intent to use a noticed general permit (NGP) pursuant to Rule 62-341.427, Florida Administrative Code (F.A.C.) to perform the following activity: construct a 1,172 sq. ft. dock consisting of a 253 ft. x 4 ft. access walkway, ending in a 160 sq. ft. terminal platform with one associated 12-ft. x 25-ft. mooring area and one 12-ft. x 12-ft. boatlift, in the locations and configurations as shown on the attached drawings. The access walkway will be elevated 5 ft. above mean high water (MHW) with 1-inch deck spacing. Rope handrails will be constructed along both sides of the entire access walkway posted with "No Mooring" signs. To accommodate access to the water, the access walkway will be configured to avoid any impacts to the existing mangroves occurring along the intertidal shoreline. All vessels utilizing the dock shall have a minimum clearance of 1-ft. between the deepest draft of the vessel and the top of the substrate and submerged resources. The project is located in the Indian River, Jensen Beach to Jupiter Inlet Aquatic Preserve, Outstanding Florida Waters, Class III Waters of the State, adjacent to 50 S. Sewall's Point Road, Stuart (Section 01, Township 38 South, Range 41 East), in Martin County, (27° 11' 46.27" North Latitude, 80° 11' 45.01" West Longitude).

Your intent to use a noticed general permit has been reviewed to determine whether it qualifies for any of three kinds of authorization that may be necessary for works in wetlands or waters of the United States. The kinds of authorization are (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully. Your project may not have qualified for all three forms of authorization. If your project did not qualify for one or more of the authorizations, refer to the specific section dealing with that authorization for advice on how to obtain it.

1. Regulatory Review. - GRANTED

The Department has the authority to review your project under Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, Florida Administrative Code (F.A.C.), and in accordance to operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

Based on the information you submitted, we have determined that the project meets the requirements for and is hereby granted the noticed general permit listed above (Rule 62-341.427, F.A.C.).

Activities performed under a noticed general permit are subject to the general conditions required in Rule 62-341.215, F.A.C. (attached) and to the specific conditions of the permit for which notice was given (62-341.427, F.A.C., attached). Deviations from the general and specific conditions may subject the permittee to enforcement action and penalties. Project drawings and a location map are attached.

Please be advised that the construction phase of the noticed general permit must be completed within 5 years from the date the notice to use the noticed general permit was received by the Department.

2. Proprietary Review (related to state-owned lands). - GRANTED

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereignty submerged lands. The Department has the authority to review your project under Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-343.075, F.A.C.

Your project will occur on sovereignty submerged land and will require authorization from the Board of Trustees to use public property. As staff to the Board of Trustees, we have reviewed the proposed project and have determined that, as long as it is located within the described boundaries and is consistent with the attached general consent conditions, the project qualifies for a letter of consent to use sovereignty submerged lands. Therefore, pursuant to Chapter 253.77, Florida Statutes, you may consider this letter as authorization from the Board of Trustees to perform the proposed project.

3. Federal Review (State Programmatic General Permit). - NOT GRANTED

Federal authorization for the proposed project is reviewed pursuant to an agreement between the Department and the U.S. Army Corps of Engineers (Corps). The agreement is outlined in a document titled *Coordination Agreement Between the U.S. Army Corps of Engineers and the Florida Department of Environmental Protection State Programmatic General Permit, Section 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.*

Your project has been reviewed for compliance with a State Programmatic General Permit (SPGP). As shown on the attached drawings, the proposed project is not consistent with the SPGP program. A copy of your application has been sent to the Corps who may require a separate permit. Failure to obtain their authorization prior to construction could subject you to enforcement action. For further information, contact the Corps directly at 561-472-3530.

This letter does not relieve you from the responsibility of obtaining other permits (federal, state, or local) that may be required for the project.

If you change the project from what you submitted, the authorizations granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

Notice of Rights of Substantially Affected Persons

This letter acknowledges that the proposed activity may be conducted under noticed general permit rule 62-341.427, F.A.C. This determination is final and effective on the date filed with the Clerk of the Department unless a sufficient petition for an administrative hearing is timely filed under sections 120.569 and 120.57 of the Florida Statutes as provided below. If a sufficient petition for an administrative hearing is timely filed, this determination automatically becomes only proposed agency action subject to the result of the administrative review process. Therefore, on the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because an administrative hearing may result in the reversal or substantial modification of this action, the applicant is advised not to commence construction or other activities until the deadlines noted below for filing a petition for an administrative hearing or request for an extension of time have expired.

Mediation is not available.

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under sections 120.569 and 120.57 of the Florida Statutes. The petition must contain the information set forth below and must be filed (received by the clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under rule 62-110.106(4) of the Florida Administrative Code, a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at

3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon. If a request is filed late, the Department may still grant it upon a motion by the requesting party showing that the failure to file a request for an extension of time before the deadline was the result of excusable neglect.

If a timely and sufficient petition for an administrative hearing is filed, other persons whose substantial interests will be affected by the outcome of the administrative process have the right to petition to intervene in the proceeding. Intervention will be permitted only at the discretion of the presiding officer upon the filing of a motion in compliance with rule 28-106.205 of the Florida Administrative Code.

In accordance with rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under section 120.60(3) of the Florida Statutes, must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. Under section 120.60(3) of the Florida Statutes, however, any person who has asked the Department for notice of agency action may file a petition within 14 days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition for an administrative hearing within the appropriate time period shall constitute a waiver of that right.

A petition that disputes the material facts on which the Department's action is based must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;

(e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;

(f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action; and

(g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

A petition that does not dispute the material facts on which the Department's action is based shall state that no such facts are in dispute and otherwise shall contain the same information as set forth above, as required by rule 28-106.301.

Under sections 120.569(2)(c) and (d) of the Florida Statutes, a petition for administrative hearing must be dismissed by the agency if the petition does not substantially comply with the above requirements or is untimely filed.

The Department will not publish notice of this determination. Publication of this notice by you is optional and is not required for you to proceed. However, in the event that an administrative hearing is held and the Department's determination is reversed, proceeding with the proposed activity before the time period for requesting an administrative hearing has expired would mean that the activity was conducted without the required permit.

If you wish to limit the time within which all substantially affected persons may request an administrative hearing, you may elect to publish, at your own expense, the enclosed notice (Attachment A) in the legal advertisement section of a newspaper of general circulation in the county where the activity is to take place. A single publication will suffice.

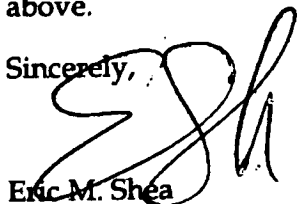
If you wish to limit the time within which any specific person(s) may request an administrative hearing, you may provide such person(s), by certified mail, a copy of this determination, including Attachment A.

For the purposes of publication, a newspaper of general circulation means a newspaper meeting the requirements of sections 50.011 and 50.031 of the Florida Statutes. In the event you do publish this notice, within seven days of publication, you must provide to the following address proof of publication issued by the newspaper as provided in section 50.051 of the Florida Statutes. If you provide direct written notice to any person as noted above, you must provide to the following address a copy of the direct written notice.

This determination constitutes an order of the Department. Subject to the provisions of paragraph 120.68(7)(a) of the Florida Statutes, which may require a remand for an administrative hearing, the applicant has the right to seek judicial review of the order under section 120.68 of the Florida Statutes, by the filing of a notice of appeal under rule 9.110 of the Florida Rules of Appellate Procedure with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida, 32399-3000; and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice of appeal must be filed within 30 days from the date when the final order is filed with the Clerk of the Department.

If you revise your project after submitting the initial joint application, please contact us as soon as possible. Also, if you have any questions, please contact Cynthia Lott at 772/380-1273. When referring to this project, please use the FDEP file number listed above.

Sincerely,



Eric M. Shea

6/24/11

Date

Environmental Manager
Submerged Lands and Environmental Resources Program

Enclosures: NGP General Conditions
NGP Specific Conditions
General Consent Conditions
Attachment A (Newspaper Publication Notice)
Project Drawings


cc: USACOE Palm Beach Gardens, Dana Rankin, Dana.L.Rankin@usace.army.mil
Danna Small, DLS Environmental Services, Inc.,
danna@dlsenvironmentalservices.com (agent)

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this permit and authorization to use sovereignty submerged lands, including all copies, were mailed before the close of business on June 24, 2011, to the above listed persons.

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to 120.52(9),
Florida Statutes, with the designated Department
Clerk, receipt of which is hereby acknowledged.

 4/24/11
Clerk Date

GENERAL CONSENT CONDITIONS:

- (1) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.
- (2) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.
- (3) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in Sections 253.04 and 258.46, F.S., or Chapter 18-14, F.A.C.
- (4) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.
- (5) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
- (6) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.
- (7) Structures or activities shall not create a navigational hazard.
- (8) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of Rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.
- (9) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(f), F.A.C., or any other applicable law.



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
4400 PGA BOULEVARD, SUITE 500
PALM BEACH GARDENS, FLORIDA 33410

December 22, 2011

REPLY TO
ATTENTION OF

Regulatory Division
Palm Beach Gardens Section
SAJ-2011-01804(LP-KDS)

Scott Frisoli
30 Buxton Farm Road, Suite 300
Stamford, Connecticut 06905

Dear Mr. Frisoli:

This is in reference to your request for a Department of the Army (DA) permit to perform work in or affecting waters of the United States. If you determine that the permit provided is acceptable in its entirety and you have chosen to proceed with the authorized activity, then upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403), you are authorized under a Letter of Permission to construct a 1,172-square-foot dock consisting of a 253-foot by 4-foot access walkway and a 160-square-foot terminal platform with one boatlift on the north side and two mooring pilings on the south side. The structure will be elevated 5 feet above Mean High Water with 1-inch spacing between the deckboards on the access walkway and ½-inch spacing on the terminal platform. The dock will have a maximum of two mooring locations. The project is located in the Indian River, an Outstanding Florida Water, at 50 South Sewall's Point Road, in Section 1, Township 38 south, Range 41 east, Stuart, Martin County, Florida.

Geographic Position: Latitude: 27.1961° North
Longitude: 80.1956° West

The project must be completed in accordance with the six enclosed construction drawings, and the general and special conditions which are incorporated in, and made a part of, the permit.

Special Conditions:

- 1. Assurance of Navigation and Maintenance:** The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.
- 2. Manatee Conditions:** The Permittee shall comply with the "Standard Manatee Conditions for In-Water Work – 2011" provided in Attachment B of this permit.

3. Sea Turtle and Smalltooth Sawfish Conditions: The Permittee shall comply with National Marine Fisheries Service's "Sea Turtle and Smalltooth Sawfish Construction Conditions" dated March 23, 2006 and provided in Attachment B of this permit.

4. Dock Construction Guidelines: The Permittee shall comply with the "Dock Construction Guidelines in Florida for Docks or Other Minor Structures Constructed in or over Submerged Aquatic Vegetation, Marsh or Mangrove Habitat – U.S. Army Corps of Engineers/National Marine Fisheries Service – August 2001." Specifically,

- a. The height of the piling-supported structure shall be a minimum of 5 feet above mean high water/ordinary high water as measured from the top surface of the decking.
- b. Pilings shall be installed in a manner which will not result in the formation of sedimentary deposits ("donuts" or "halos") around the newly installed pilings. Pile driving is the preferred method of installation, but jetting with a low pressure pump may be used.
- c. The spacing of pilings through SAV beds shall be a minimum of 10 feet on center.
- d. The gaps between deckboards shall be a minimum of 1-inch on the access walkway and ½ inch on the terminal platform.

5. Monitoring: The permittee shall conduct annual seagrass monitoring for a period of 3 years, starting at the seagrass growing season (June 1st through September 30th) following completion of construction. The survey area should include the area beneath the dock and a 15-foot radius. The survey must show the location, species, aerial percent cover and/or and frequency of occurrence. The survey must indicate the date of and persons performing the survey. The survey should be conducted between June 1st through September 30th, to accommodate periods of dormancy (or senescence) of certain seagrass species. Mail one copy of the Annual Monitoring Report to the Regulatory Division, Enforcement Section, Attention: Jose Rivera, 4400 PGA Boulevard, Suite 500, Palm Beach Gardens, Florida 33410. Mail another copy to Regulatory Division, Attention: Section Chief, 4400 PGA Boulevard, Suite 500, Palm Beach Gardens, Florida 33410. If all three years of monitoring reports are not submitted to the above addresses or a loss of seagrass is detected, a functional assessment will be prepared and submitted. Compensatory mitigation may be required to offset 240 square feet of impacts to seagrass.

6. Turbidity Barriers: Prior to the initiation of any of the work authorized by this permit the Permittee shall install floating turbidity barriers with weighted skirts that extend to within one foot of the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity

barriers shall remain in place and be maintained until the authorized work has been completed and all erodible materials have been stabilized.


7. **Self-Certification:** Within 60 days of completion of the work authorized, the attached "Self-Certification Statement of Compliance" must be completed and submitted to the U.S. Army Corps of Engineers. Mail the completed form to the Regulatory Division, Enforcement Section, Attention: Jose Rivera, 4400 PGA Boulevard, Suite 500, Palm Beach Gardens, Florida 33410.

If the work authorized is not completed on or before **December 21, 2016**, authorization, if not previously revoked or specifically extended, shall cease and be null and void.

Should you have any questions regarding this letter, please contact the project manager Krista Sabin in writing at the letterhead address, by telephone at 561-472-3518, or by email at: Krista.D.Sabin@usace.army.mil.

The Corps Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to take a few minutes to visit <http://per2.nwp.usace.army.mil/survey.html> and complete our automated Customer Service Survey. Your input is appreciated – favorable or otherwise. Please be aware this web address is case sensitive and should be entered as it appears above.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:


for Alfred A. Pantano, Jr.
Colonel, U.S. Army
District Commander

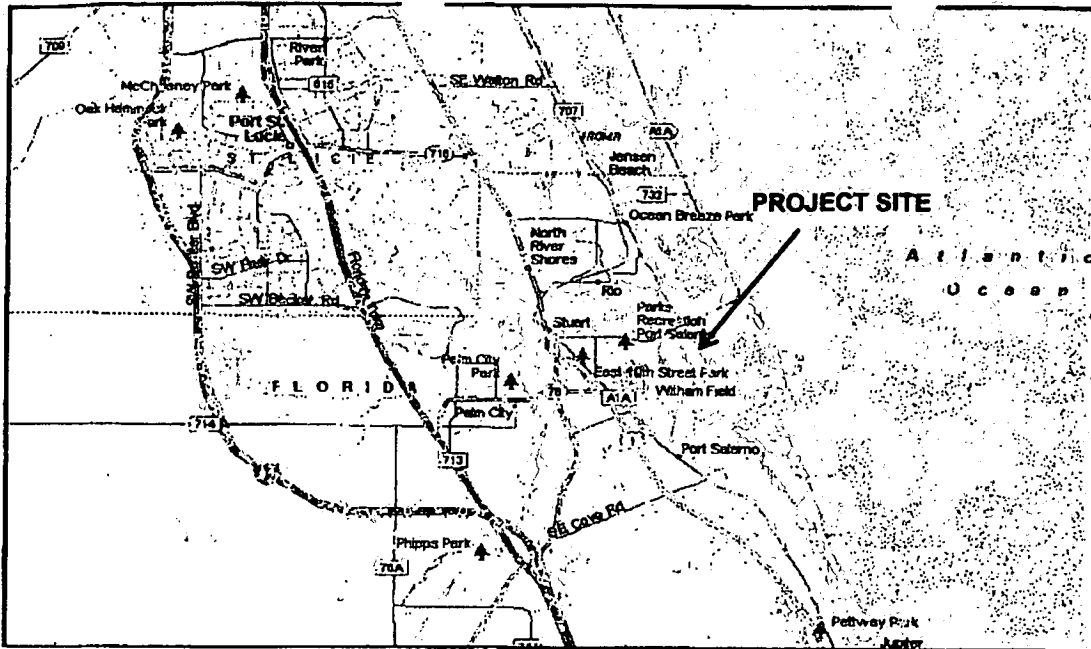
Enclosures

Copies Furnished:

Danna Small, danna@dlsenvironmentalservices.com
CESAJ-RD-PE (w/ enclosures)

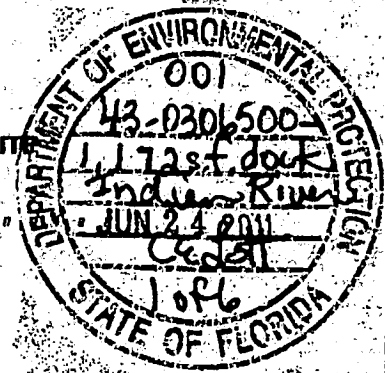
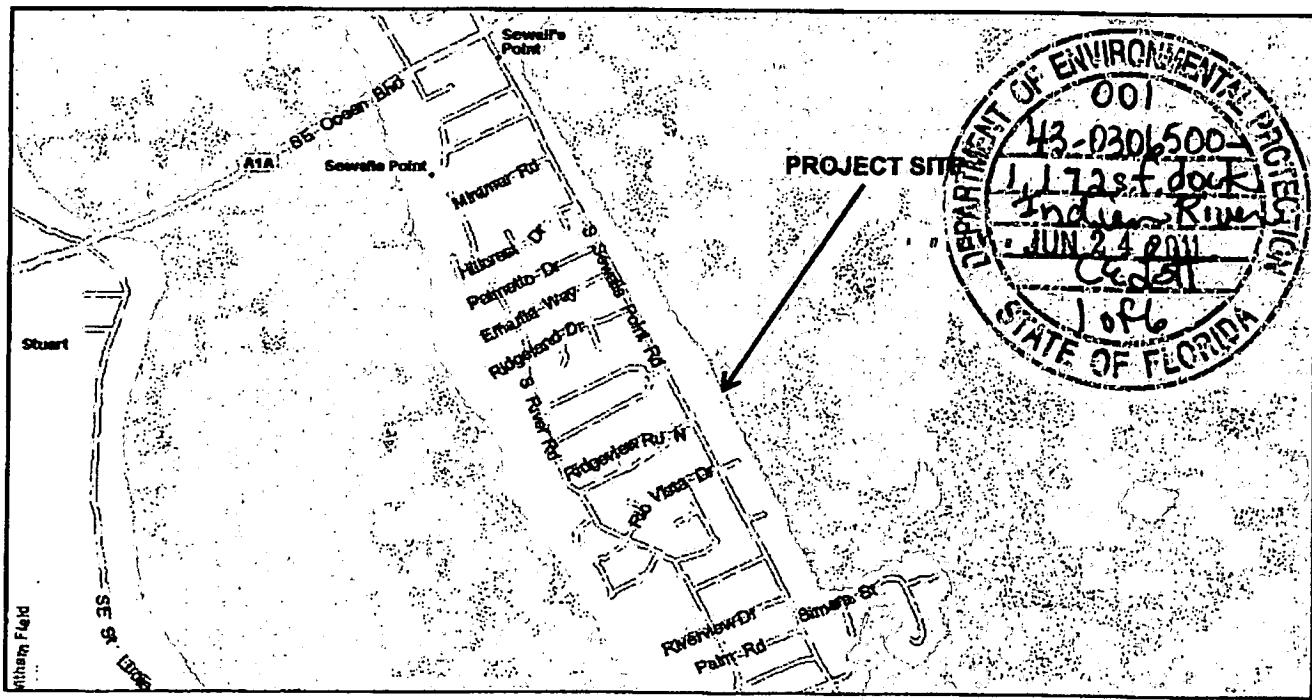
GENERAL CONDITIONS
33 CFR PART 320-330
PUBLISHED FR DATED 13 NOVEMBER 1986

1. The time limit for completing the work authorized ends on **the date noted in the permit letter**. If you find that you need more time to complete the authorized activity, submit your request for a time extension to this office for consideration at least one month before the above date is reached.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.



RECEIVED
 MAY 27 2011
 FL DEP PORT ST. LUCE

MARTIN COUNTY



SECTION 1, TOWNSHIP 38 SOUTH, RANGE 41 EAST

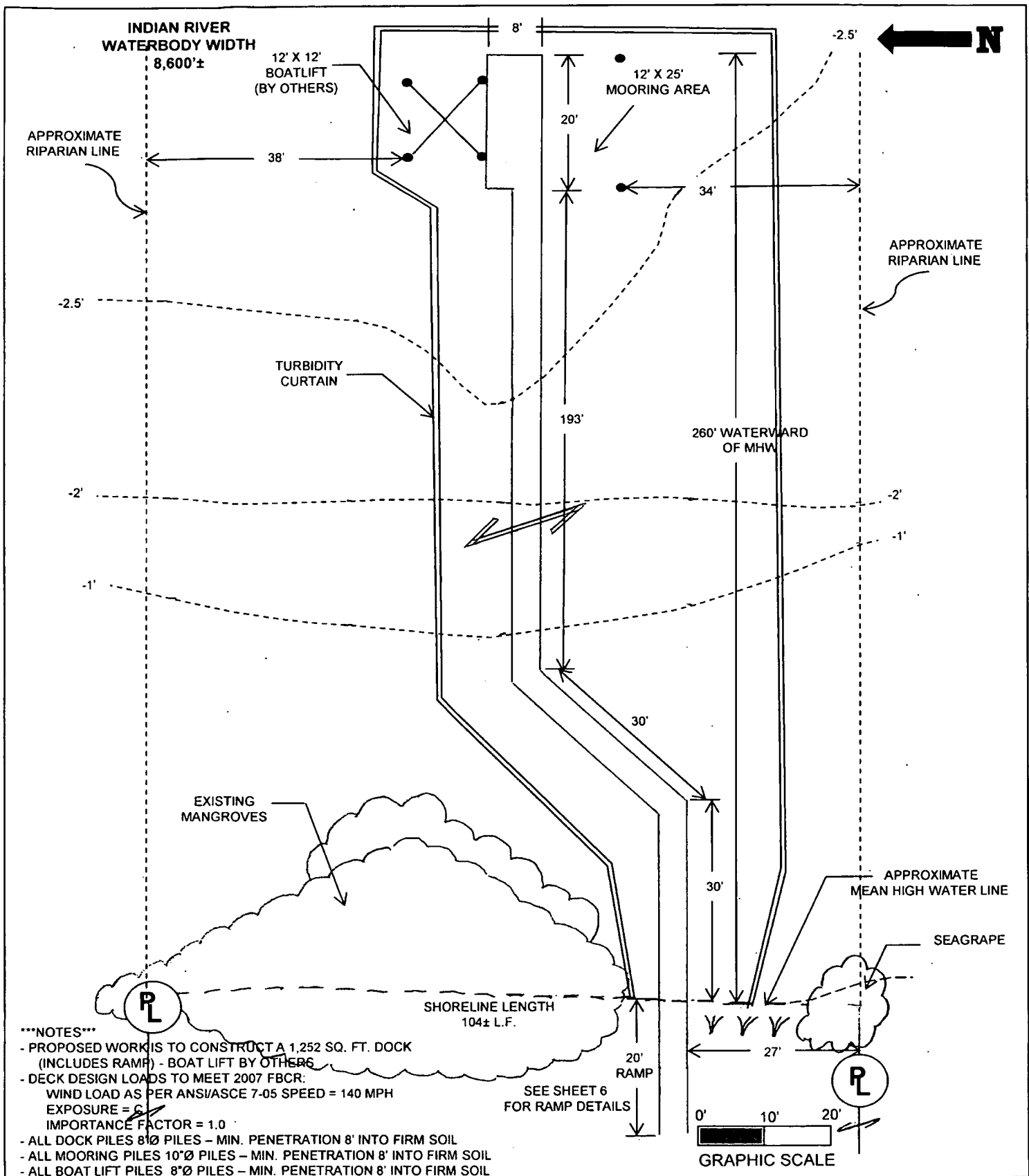
DS Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-216-3997 Fax: 772-879-4520
 www.dsenvironmentalservices.com

Location Map

Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

SCALE: N.T.S.	MAY 2010	SHEET 1 of 5
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NOTES

- PROPOSED WORK IS TO CONSTRUCT A 1,252 SQ. FT. DOCK (INCLUDES RAMP) - BOAT LIFT BY OTHERS
- DECK DESIGN LOADS TO MEET 2007 FBCR: WIND LOAD AS PER ANS/ASCE 7-05 SPEED = 140 MPH EXPOSURE = C IMPORTANCE FACTOR = 1.0
- ALL DOCK PILES 8"Ø PILES - MIN. PENETRATION 8' INTO FIRM SOIL
- ALL MOORING PILES 10"Ø PILES - MIN. PENETRATION 8' INTO FIRM SOIL
- ALL BOAT LIFT PILES 8"Ø PILES - MIN. PENETRATION 8' INTO FIRM SOIL

DLS Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4520
 www.dlsevenvironmentalservices.com

OVERALL DOCK PLAN VIEW

Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

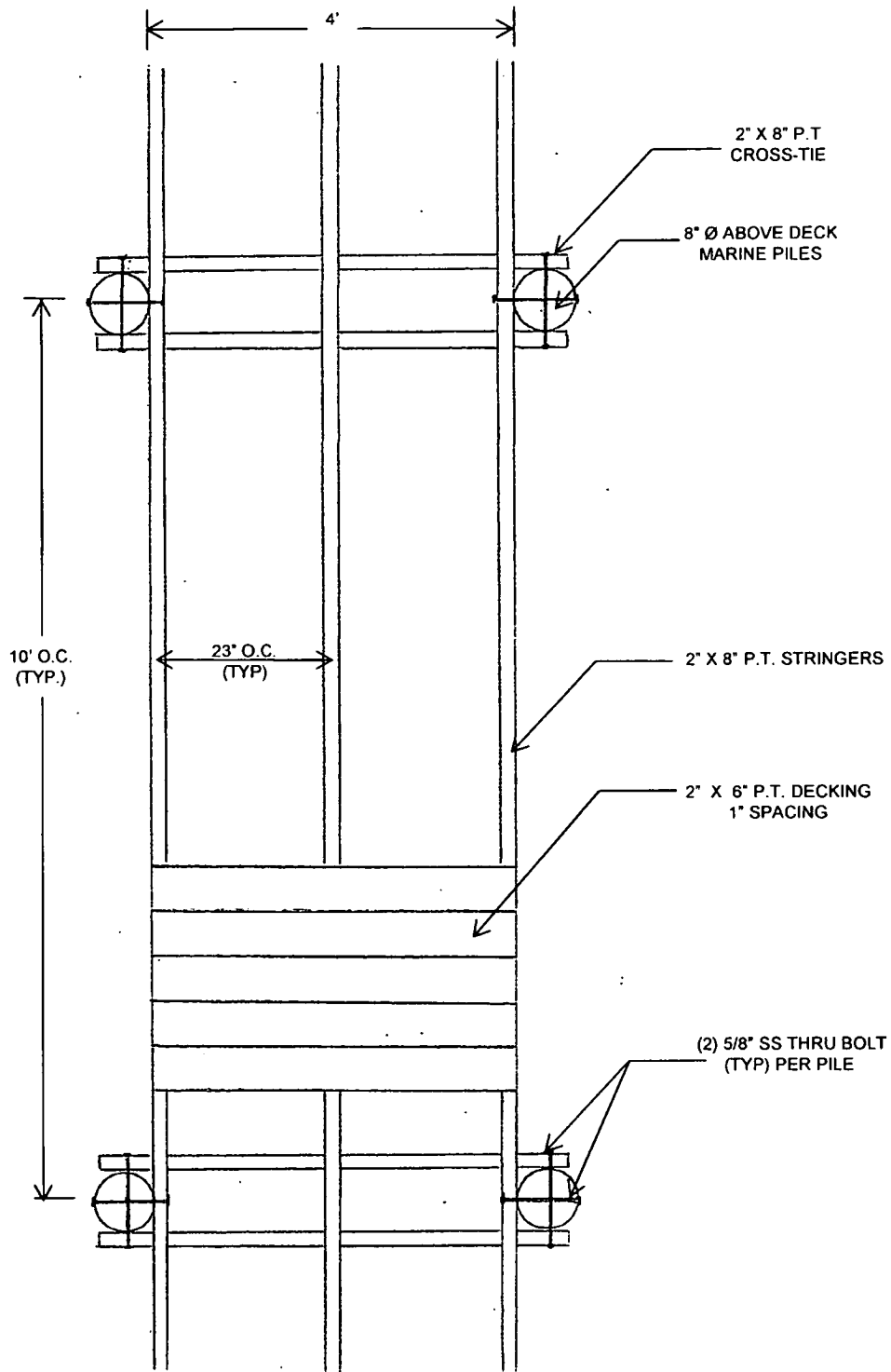
SCALE: 1" = 20'

Paul Welch, Inc.
 1984 SW Biltmore Street, #114
 Port St. Lucie, FL 34984

[Signature] FEB 02 2012
 Paul Welch, PE No. 29945

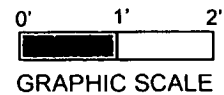
JAN 2012

SHEET 1 of 6



NOTES

- PROPOSED WORK IS CONSTRUCT A 1,252 SQ. FT. DOCK (INCLUDES RAMP)
- ALL 8"Ø MARINE DOCK PILES - MIN. PENETRATION 8' INTO FIRM SOIL
- ALL DOCK PILINGS TO BE WRAPPED IN INDUSTRY STANDARD, INERT, NON-LEACHING, SYNTHETIC MATERIAL.
- 2' X 8" P.T. DECKING NOT ALL SHOWN FOR CLARITY
- DECKING WILL BE ATTACHED WITH #10 SS DECK SCREW X 3"
- ROPE HAND RAIL (MIN. 1½" DIAMETER) ALONG BOTH SIDES OF ACCESS

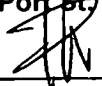


DLSE Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4520
 www.dlsevenvironmentalservices.com

**TYPICAL DOCK ACCESS
 PLAN VIEW DETAIL**

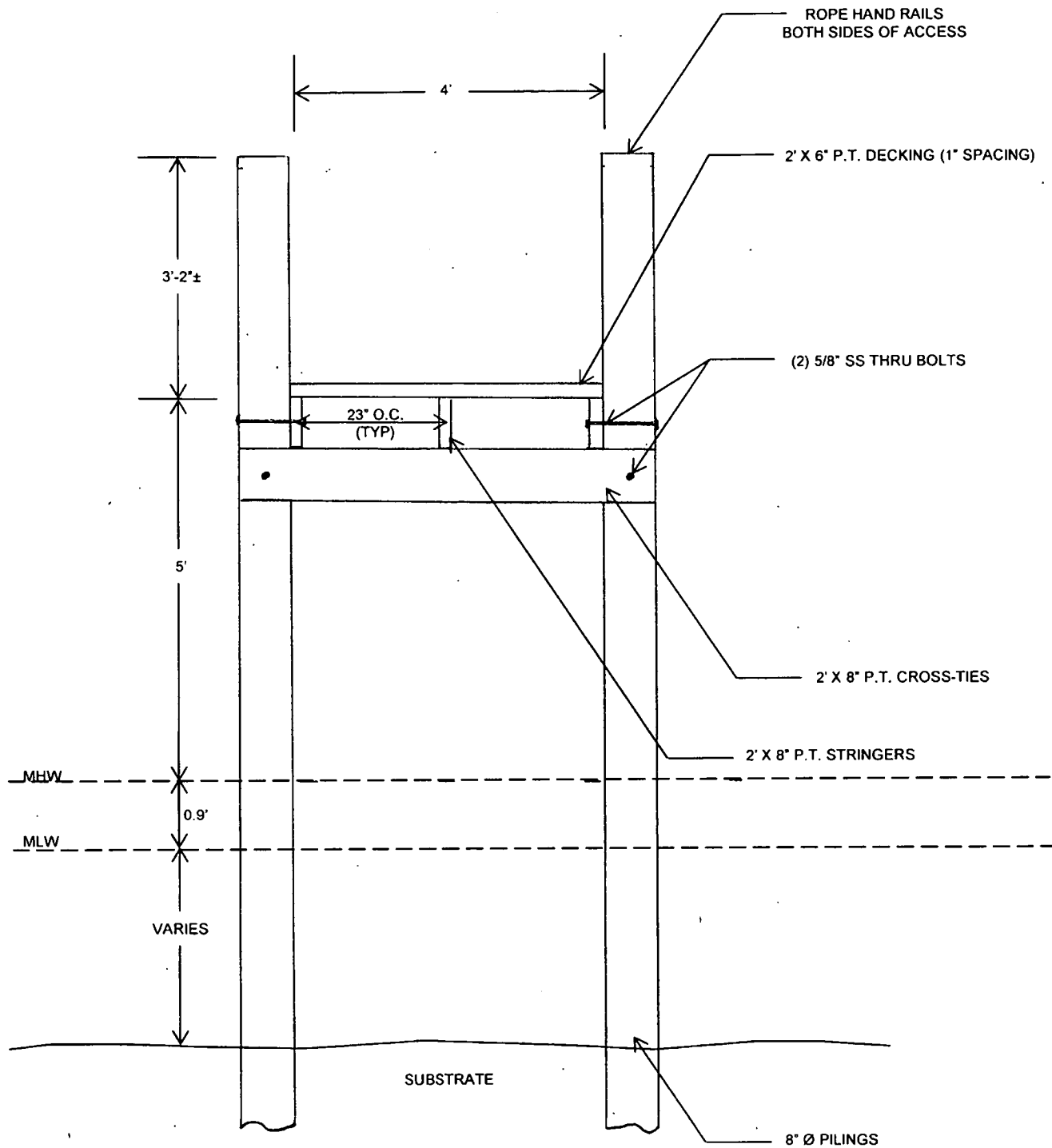
Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

Paul Welch, Inc.
 1984 SW Biltmore Street, #114
 Port St. Lucie, FL 34984

 FEB 02 2012
 Paul Welch, PE No. 29945

SCALE: 1" = 2'

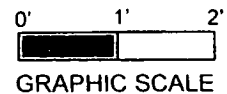
JAN 2012

SHEET 2 of 6



NOTES

- PROPOSED WORK IS CONSTRUCT A 1,252 SQ. FT. DOCK (INCLUDES RAMP)
- ALL 8"Ø MARINE DOCK PILES - MIN. PENETRATION 8' INTO FIRM SOIL
- ALL DOCK PILINGS TO BE WRAPPED IN INDUSTRY STANDARD, INERT, NON-LEACHING, SYNTHETIC MATERIAL
- ALL HARDWARE ON THE DECK AND BELOW TO BE GRADE 304 (OR BETTER) SS
- ROPE HAND RAIL (MIN. 1½" DIAMETER) ALONG BOTH SIDES OF ACCESS



DLSE Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4520
 www.dlsevenvironmentalservices.com

**TYPICAL DOCK ACCESS
 CROSS SECTION VIEW**

Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

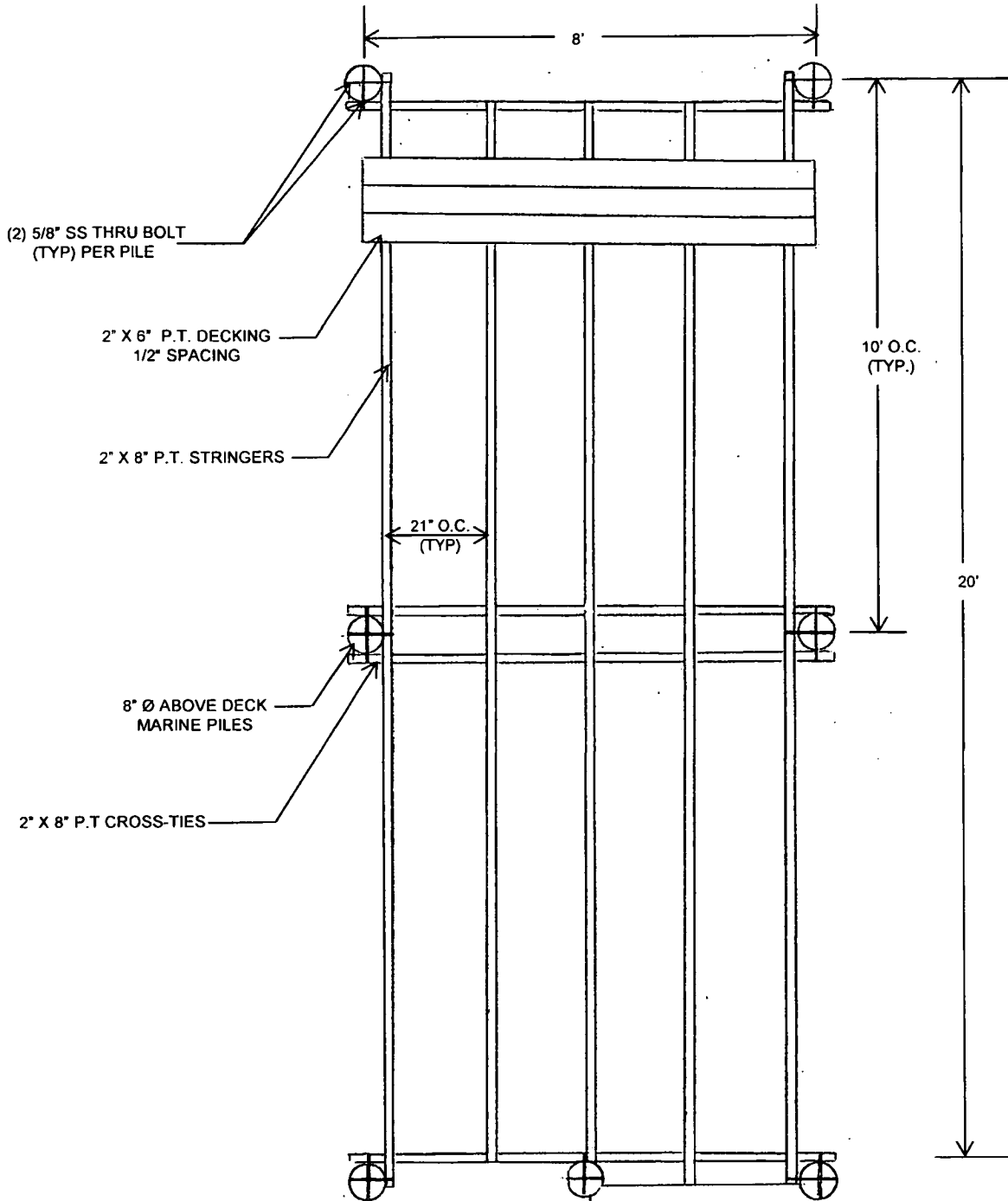
Paul Welch, Inc.
 1984 SW Biltmore Street, #114
 Port St. Lucie, FL 34984

[Signature]
 FEB 02 2012
 Paul Welch, PE No. 29945

SCALE: 1" = 2'

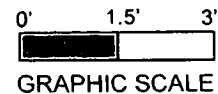
JAN 2012

SHEET 3 of 6



NOTES

- PROPOSED WORK IS CONSTRUCT A 1,252 SQ. FT. DOCK (INCLUDES RAMP)
- ALL 8"Ø MARINE DOCK PILES - MIN. PENETRATION 8' INTO FIRM SOIL
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- 2" X 6" P.T. DECKING NOT ALL SHOWN FOR CLARITY
- DECKING WILL BE ATTACHED WITH #10 SS DECK SCREW X 3"



DLS Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4520
 www.dlsevenvironmentalservices.com

**DOCK PLATFORM
 PLAN VIEW DETAIL**

Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

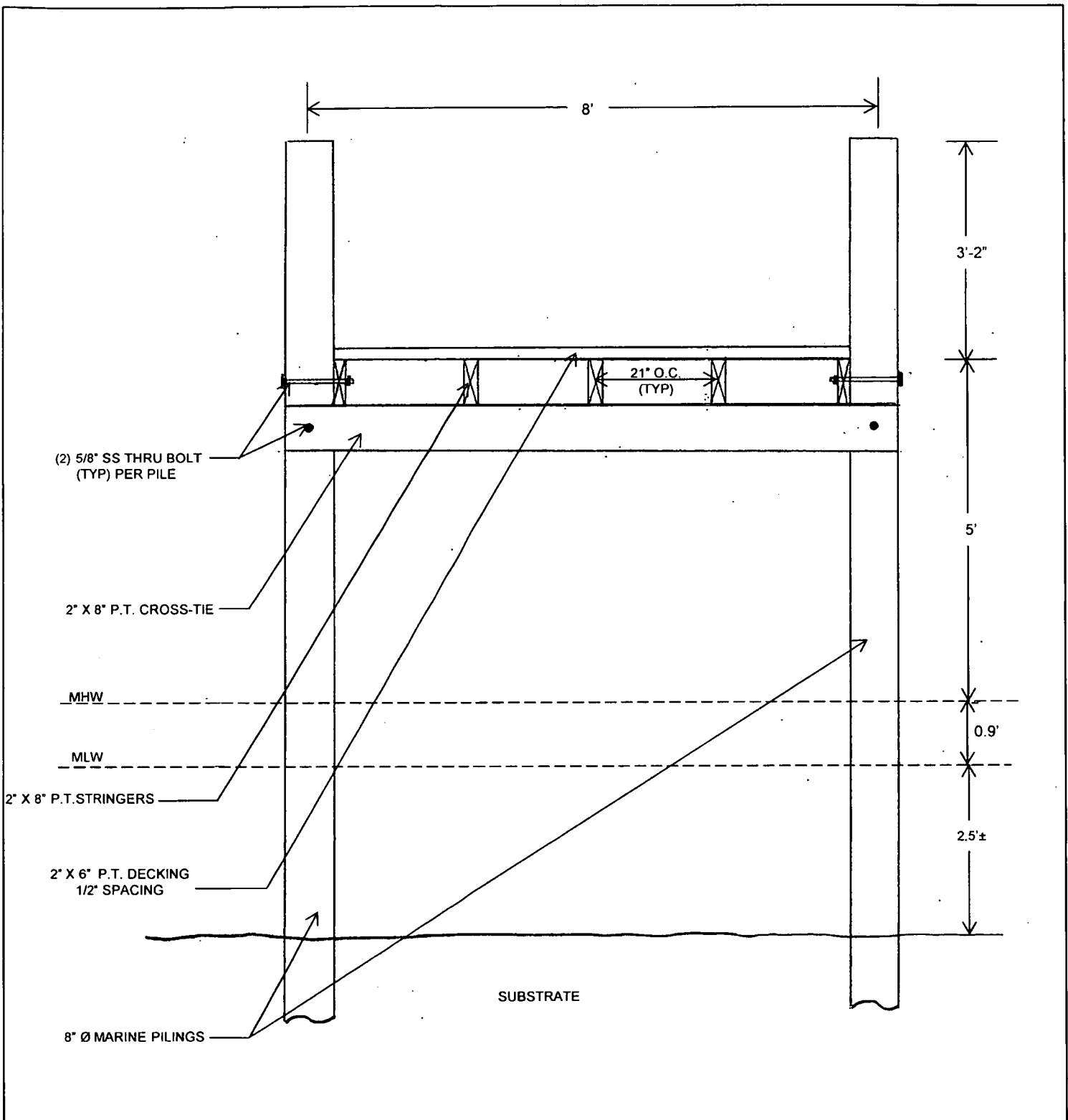
Paul Welch, Inc.
 1984 SW Biltmore Street, #114
 Port St. Lucie, FL 34984

[Signature]
 FEB 02 2012
 Paul Welch, PE No. 29945

SCALE: 1" = 3'

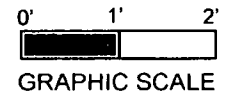
JAN 2012

SHEET 4 of 6



NOTES

- PROPOSED WORK IS CONSTRUCT A 1,252 SQ. FT. DOCK (INCLUDES RAMP)
- ALL 8"Ø MARINE DOCK PILES - MIN. PENETRATION 8' INTO FIRM SOIL
- ALL DOCK PILINGS TO BE WRAPPED IN INDUSTRY STANDARD, INERT, NON-LEACHING, SYNTHETIC MATERIAL
- ALL HARDWARE ON THE DECK AND BELOW TO BE GRADE 304 (OR BETTER) SS



DLS Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4520
 www.dlsevenvironmentalservices.com

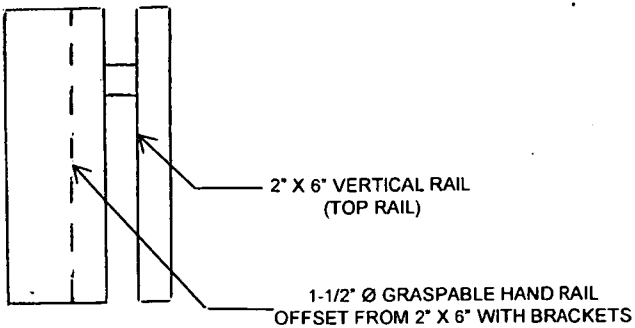
TYPICAL DOCK PLATFORM CROSS SECTION VIEW

Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

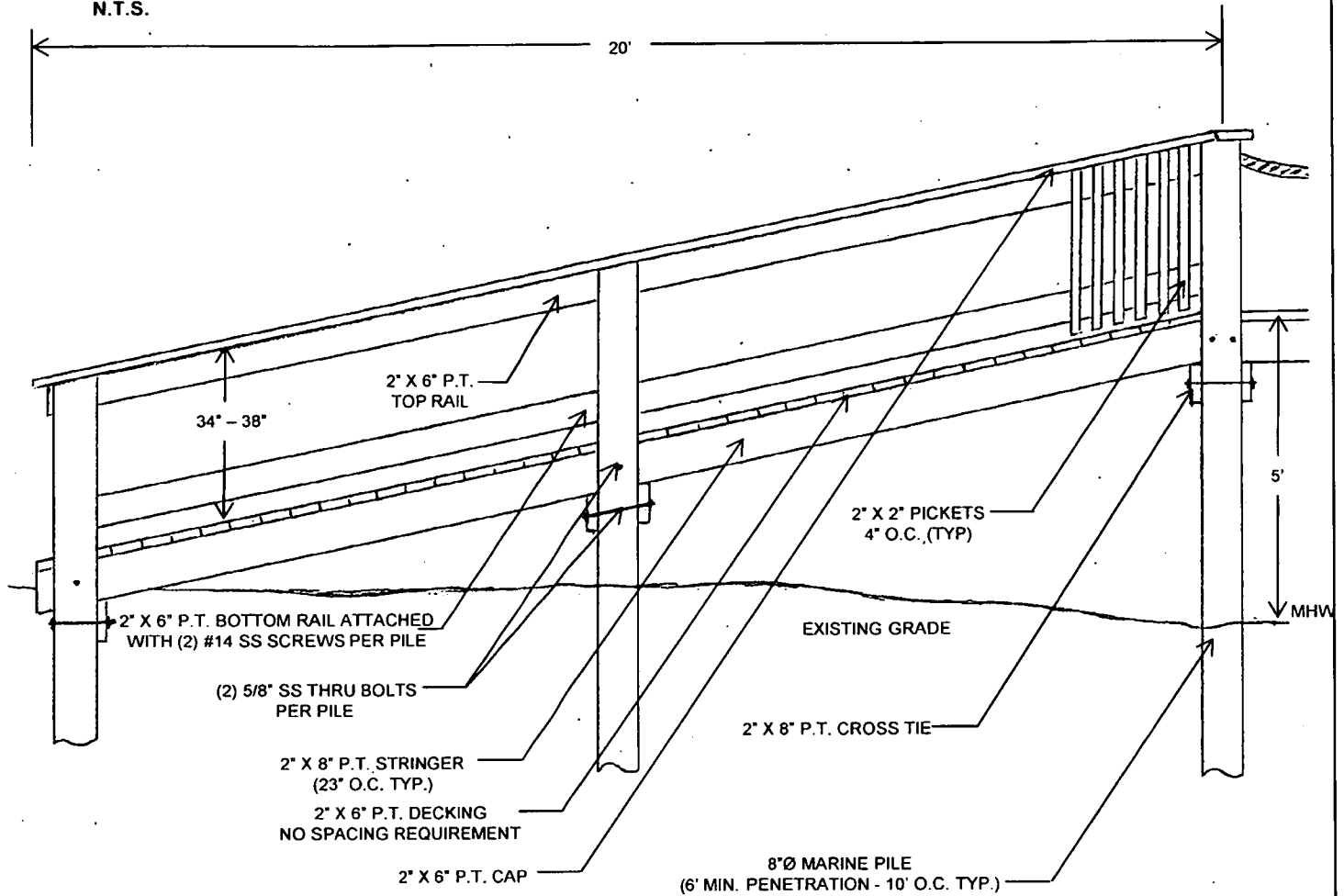
SCALE: 1" = 2'

Paul Welch, Inc.
 1984 SW Biltmore Street, #114
 Port St. Lucie, FL 34984

[Signature]
 FEB 02 2012
 Paul Welch, PE No. 29945

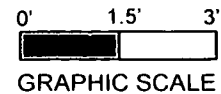


HAND RAIL DETAIL - TOP VIEW
N.T.S.



NOTES

- PROPOSED WORK IS CONSTRUCT A 1,252 SQ. FT. DOCK (INCLUDES RAMP)
- ALL HARDWARE ON THE DECK AND BELOW TO BE GRADE 304 (OR BETTER) SS



DLS Environmental Services, Inc.
1901 SW Yellowtail Avenue
Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4520
www.dlsevenvironmentalservices.com

RAMP DETAIL

Scott Frisoli
50 S. Sewall's Point Road
Stuart, Florida
PCN# 01-38-41-001-010-00010-8

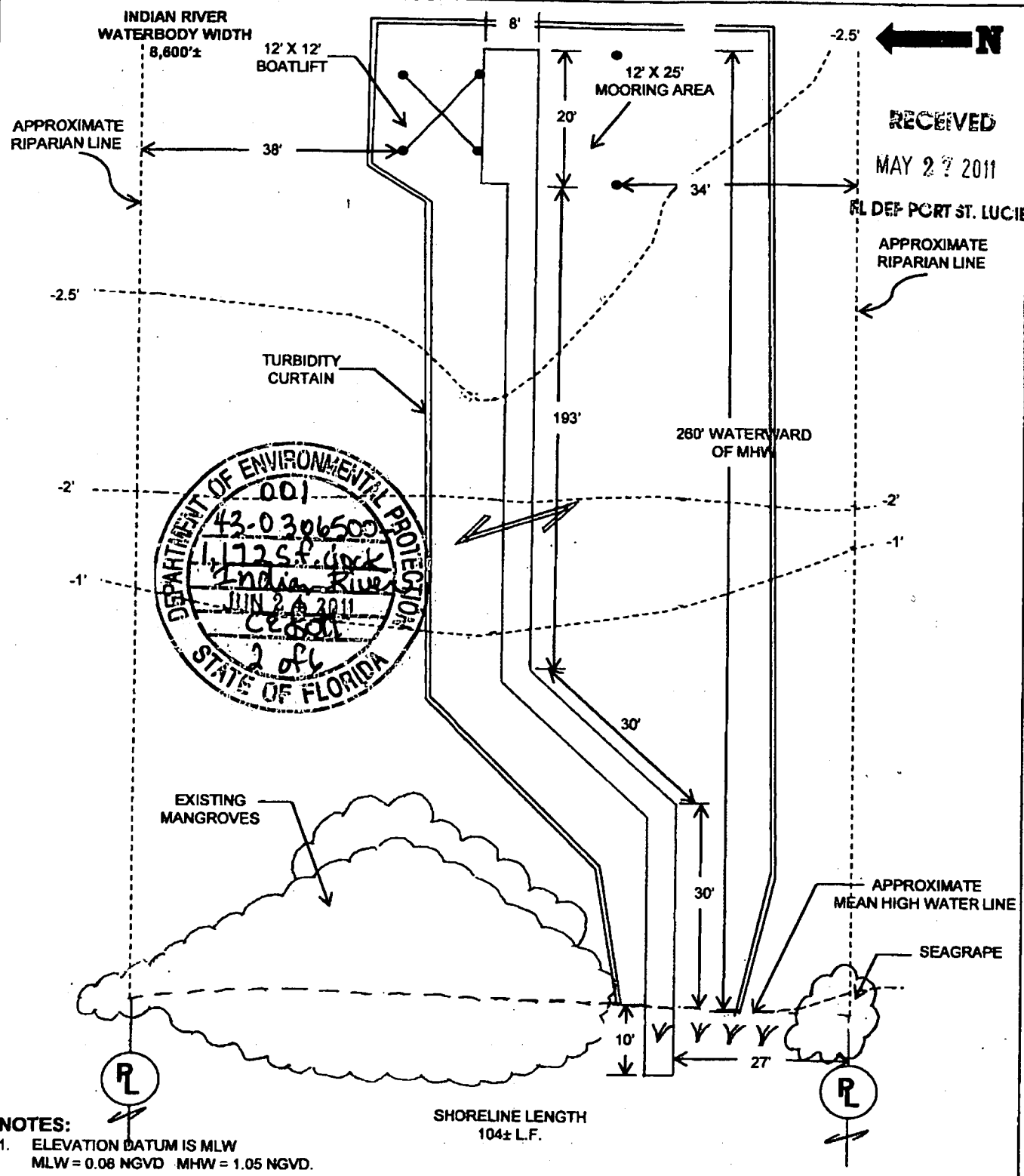
Paul Welch, Inc.
1984 SW Biltmore Street, #114
Port St. Lucie, FL 34984

[Signature] FEB 02 2012
Paul Welch, PE No. 29945

SCALE: 1" = 3'

JAN 2012

SHEET 6 of 6



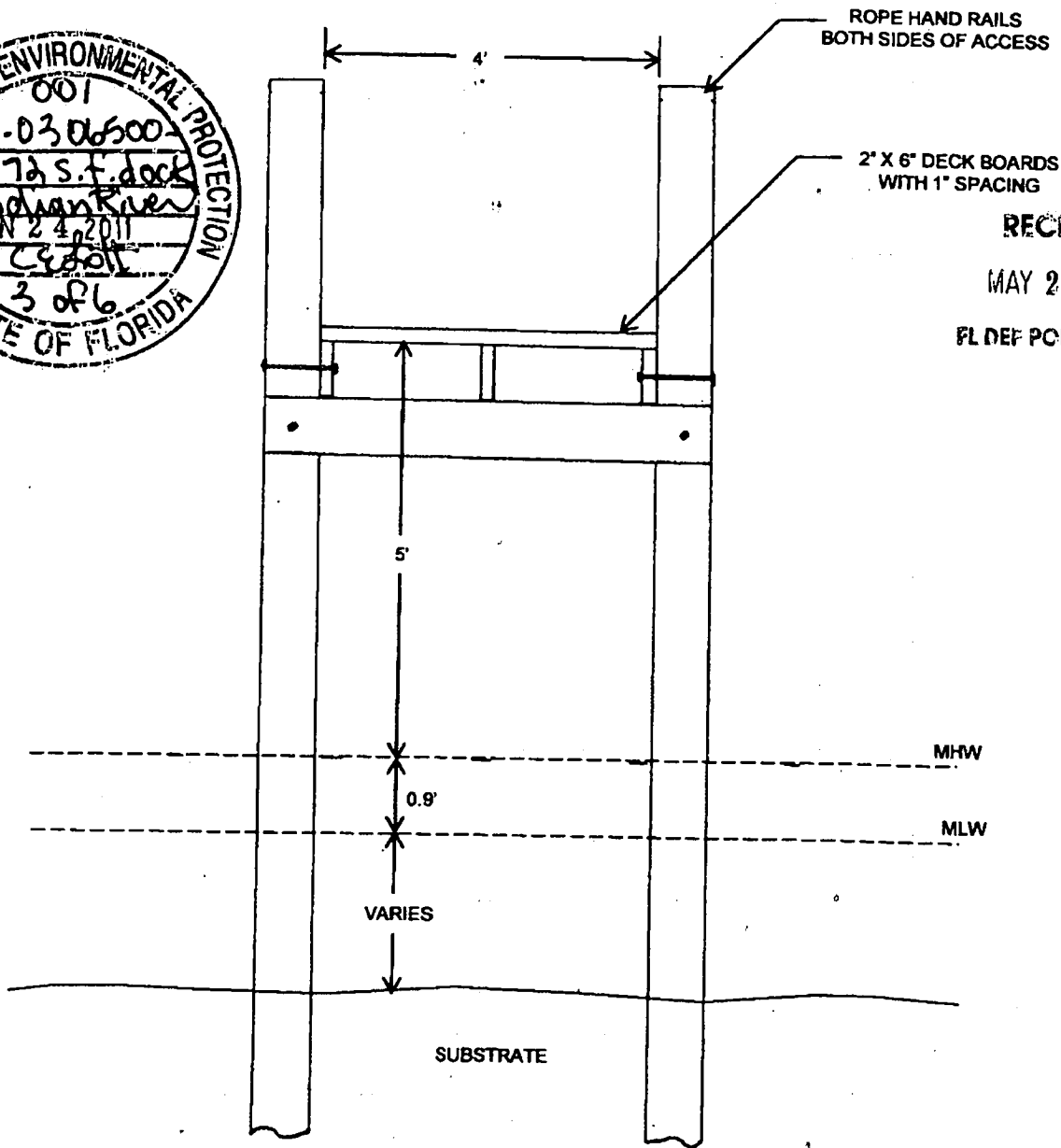
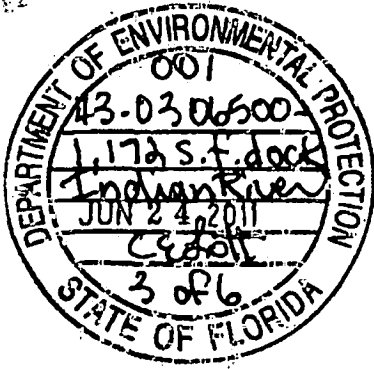
Environmental Services, Inc.
 1801 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-879-4620
 www.dlsenvironmentalservices.com

Proposed Dock Plan View

Scott Frisoll
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

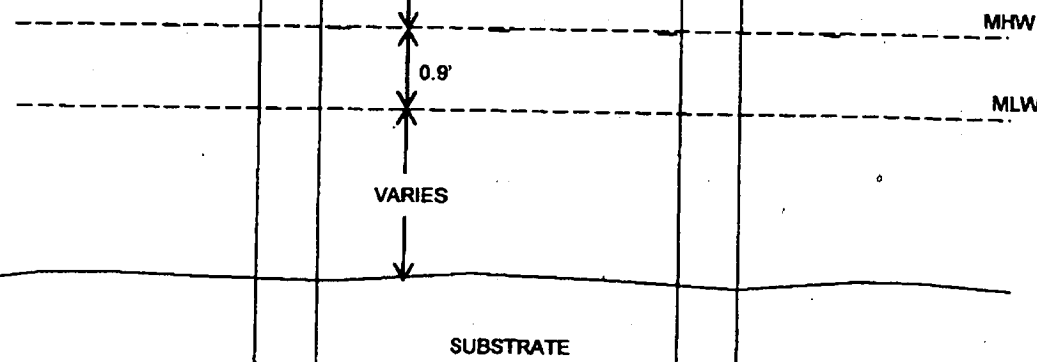
SCALE: 1" = 20'		MAY 2010	SHEET 2 of 5
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ROPE HAND RAILS
BOTH SIDES OF ACCESS

2" X 6" DECK BOARDS
WITH 1" SPACING

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MAY 27 2011
FL DEP PORT ST. LUCIE



- NOTES:**
- ELEVATION DATUM IS MLW
MLW = 0.08 NGVD MHW = 1.05 NGVD.
 - ALL DOCK PILINGS TO BE WRAPPED IN INDUSTRY STANDARD, INERT, NON-LEACHING, SYNTHETIC MATERIAL.
 - ROPE HAND RAIL (MIN. 1 1/4" DIAMETER) ALONG BOTH SIDES OF ACCESS WITH "NO MOORING" SIGNS.
 - ALL DOCK ACCESS DECKING 2" X 6" DECK BOARDS WITH 1" SPACING.

DS Environmental Services, Inc.
1901 SW Yellowtail Avenue
Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-878-4520
www.dsenvironmentalservices.com

Typical Dock Access Cross Section View

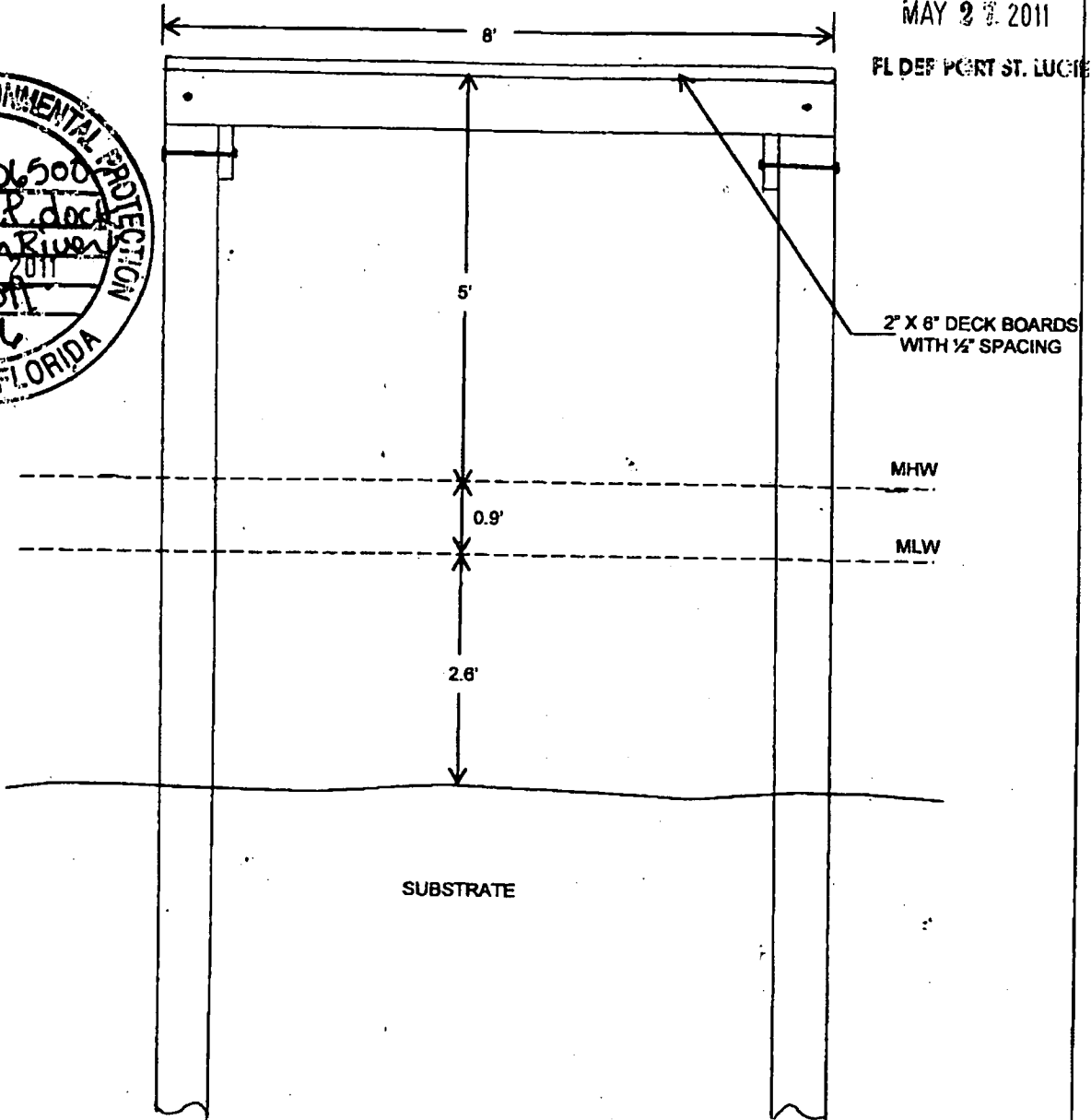
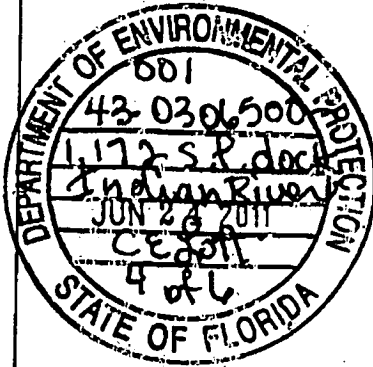
Scott Frisoll
50 S. Sewall's Point Road
Stuart, Florida
PCN# 01-38-41-001-010-00010-8

SCALE 1" = 2'		MAY 2010	SHEET 3 of 5
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RECEIVED

MAY 27 2011

FL DEP PORT ST. LUCIE



SUBSTRATE

2" X 8" DECK BOARDS
WITH 1/2" SPACING

MHW

MLW

NOTES:

1. ELEVATION DATUM IS MLW
MLW = 0.08 NGVD MHW = 1.05 NGVD.
2. ALL DOCK PILINGS TO BE WRAPPED IN INDUSTRY
STANDARD, INERT, NON-LEACHING, SYNTHETIC MATERIAL.
3. ALL PLATFORM DECKING 2" X 6" DECK BOARDS WITH 1/2" SPACING

DS Environmental Services, Inc.
 1901 SW Yellowtail Avenue
 Port Saint Lucie, FL 34953

Phone: 772-215-3997 Fax: 772-878-4520
 www.dsenvironmentalservices.com

Typical Platform Cross Section View

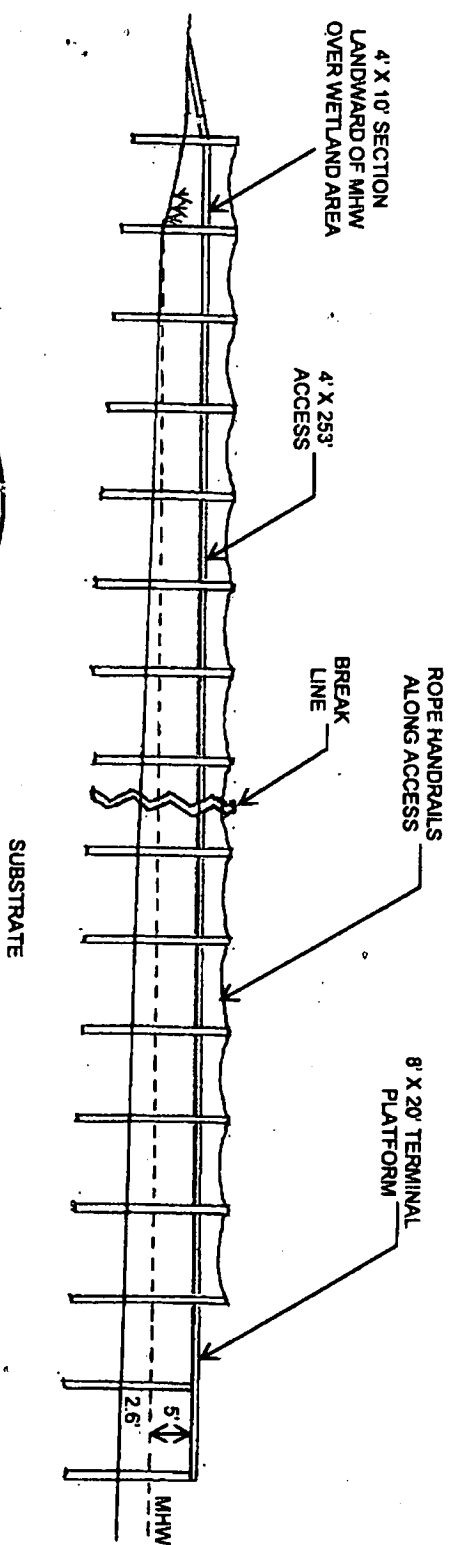
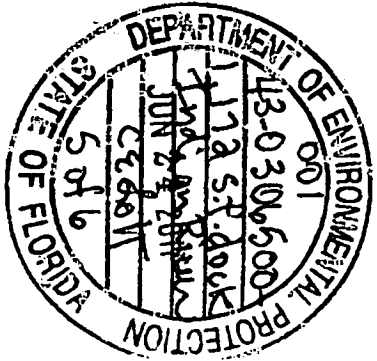
Scott Frisoli
 50 S. Sewall's Point Road
 Stuart, Florida
 PCN# 01-38-41-001-010-00010-8

SCALE: 1" = 2'

MAY 2010

SHEET 4 of 5

RECEIVED
MAY 27 2010
FL DEPT PORT ST. LUCIE



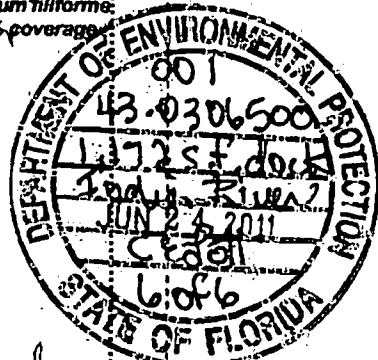
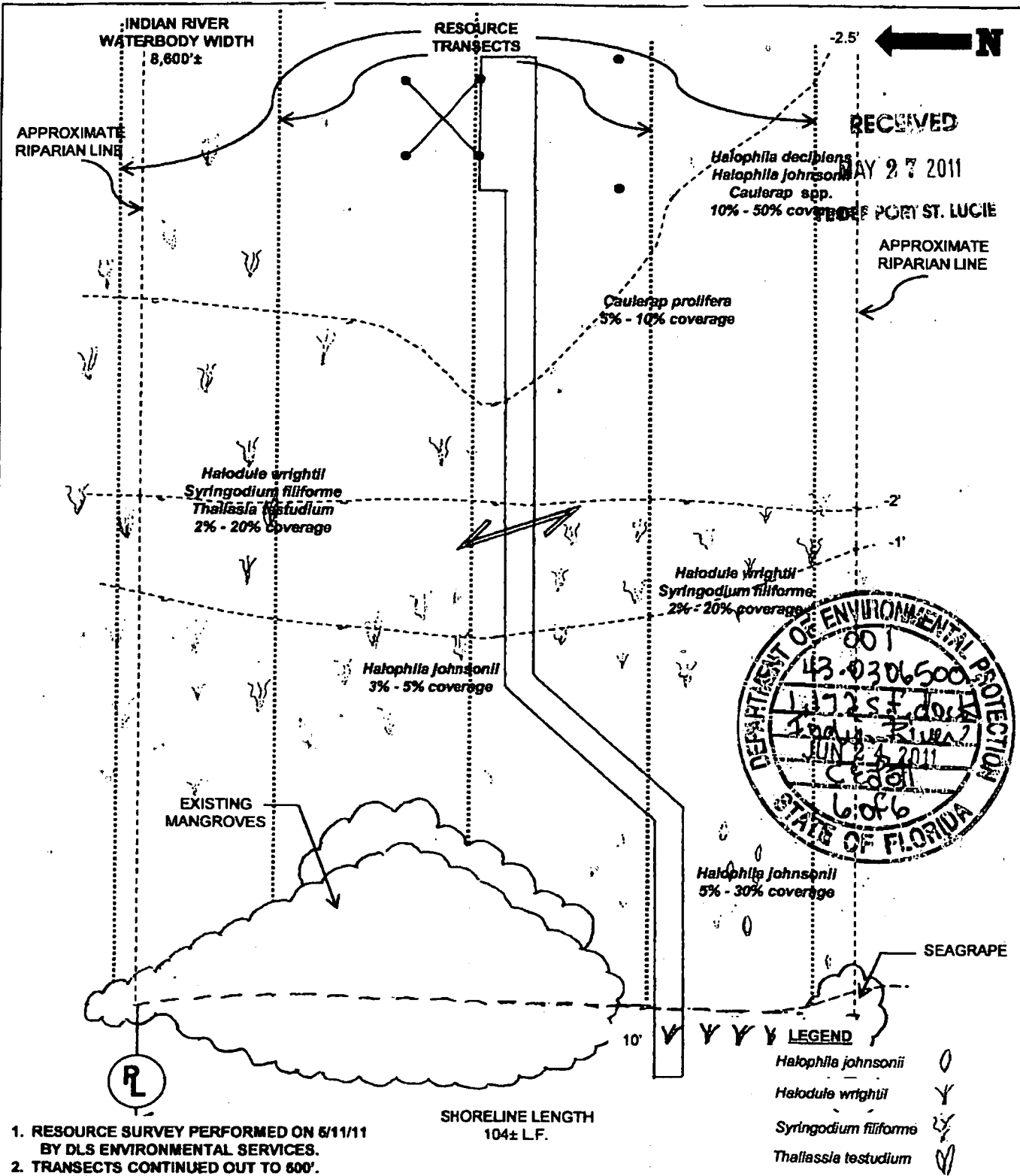
- NOTES:**
1. ELEVATION DATUM IS MLW
MLW = 0.08 NGVD MHW = 1.05 NGVD.
 2. ALL DOCK PILINGS TO BE WRAPPED IN INDUSTRY STANDARD, INERT, NON-LEACHING, SYNTHETIC MATERIAL.
 3. ROPE HAND RAIL (MIN. 1 1/2" DIAMETER) ALONG BOTH SIDES OF ACCESS WITH "NO MOORING" SIGNS.
 4. ALL DOCK ACCESS DECKING TO 2' X 8' DECK BOARDS WITH 1" SPACING.
 5. PILING SPACING TO BE 10' O.C. (TYP).

DE Environmental Services, Inc.
1901 SW Yellowtail Avenue
Port Saint Lucie, FL 34853
Phone: 772-216-3997 Fax: 772-879-4520
www.dlsenvironmentalservices.com

Typical Dock Cross Section View

Scott Frisoli
50 S. Sewall's Point Road
Stuart, Florida
PCN# 01-38-41-001-010-00010-8

SCALE 1" = 20'	MAY 2010	SHEET 5 of 5
-------------------	----------	--------------



DLS Environmental Services, Inc.
1901 SW Yellowtail Avenue
Port Saint Lucie, FL 34953

Phone: 772-216-3997 Fax: 772-878-4520
www.dlsevenvironmentalservices.com

Resource Survey
Scott Frisoli
50 S. Sewall's Point Road
Stuart, Florida
PCN# 01-38-41-001-010-00010-8

SCALE: 1" = 20'

MAY 2010

EXHIBIT I

**Rule 62-341.215 Florida Administrative Code
General Conditions for All Noticed General Permits.**

1. The terms, conditions, requirements, limitations, and restrictions set forth in this section are general permit conditions and are binding upon the permittee for all noticed general permits in this chapter. These conditions are enforceable under Part IV of Chapter 373, F.S.
2. The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit. A violation of the permit is a violation of Part IV of Chapter 373, F.S., and may result in suspension or revocation of the permittee's right to conduct such activity under the general permit. The Department also may begin legal proceedings seeking penalties or other remedies as provided by law for any violation of these conditions.
3. This general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.
4. This general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit as provided by Chapter 62-330, F.A.C.
5. The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution in contravention of Florida Statutes and Department rules.
6. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
7. The authorization to conduct activities pursuant to a general permit may be modified, suspended or revoked in accordance with Chapter 120, F.S., and Section 373.429, F.S.
8. This permit shall not be transferred to a third party except pursuant to Section 62-343.130, F.A.C. The permittee transferring the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located.
9. Upon reasonable notice to the permittee, Department staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to insure conformity with the plans and specifications approved by the permit.
10. The permittee shall maintain any permitted system in accordance with the plans submitted to the Department and authorized in this general permit.
11. A permittee's right to conduct a specific noticed activity under this noticed general permit is authorized for a duration of five years.

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.



CAUTION: MANATEE HABITAT

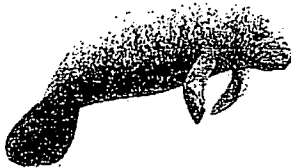
All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:
1-888-404-FWCC(3922)

cell *FWC or #FWC



**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: Frisoli, Scott	File Number: SAJ-2011-01804(LP-KDS)	Date: December 22, 2011
---------------------------	-------------------------------------	-------------------------

Attached is:	See Section below	
<input type="checkbox"/>	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
<input checked="" type="checkbox"/>	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
<input type="checkbox"/>	PERMIT DENIAL	C
<input type="checkbox"/>	APPROVED JURISDICTIONAL DETERMINATION	D
<input type="checkbox"/>	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I: The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/CECW/Pages/reg-materials.aspx> or Corps regulations at 33 CFR Part 33.11.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SIGNATURE REQUEST FOR APPEAL OF OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION

If you have questions regarding this decision and/or the appeal process you may contact:

Project Manager as noted in letter

If you only have questions regarding the appeal process you may also contact:

**Jason Steele
404-562-5137**

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6/22/2012 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10131	Antonelli Hamilton 10 Island Rd	job check window attachment	FAIL	NEED ENG. REPORT INSPECTOR <i>AS</i>
10085	Stern 9 LANTANA Dreamworks	INSULATION	PASS	 INSPECTOR <i>AS</i>
10118	Nearing 9 Mandalay DANIELS FENCE	FENCE FINA	PASS	CLOSE INSPECTOR <i>AS</i>
10042	Travis 60. SS. Pt. Rd Atlantic Seawall	DIG FENCE WIRE FENCE	FAIL	STILL NEEDS WIRE FENCE INSPECTOR
Tree	Potter 4 Perrinwinkle Cr	Tree	<i>OK</i>	 INSPECTOR
10097	Buro 101 Henry Sewall GM Const.	fireplace bond beam	PASS	 INSPECTOR <i>AS</i>
10136	Connolly 10 Ridgeland Dr Home Depot	window in progress	FAIL	NEED SITE SPEC. ENGINEERING INSPECTOR <i>AS</i>

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-12-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
110484	Paradise	Final AC	Pass	Choke
1st 9AM	11 Lidgeland Ave Aircor			INSPECTOR [Signature]
10042	50 Sewalls	Final		
	Atlantic Sewall			INSPECTOR [Signature]
9962	Scheppe	Final alarm	Pass	Choke
	8 Palm Rd Certified Alarm			INSPECTOR [Signature]
				INSPECTOR
				INSPECTOR
	WEEKS			INSPECTOR
	DINNA JOYCE			
	ACCESS FROM HILLcrest			
	2 ON Middle Rd			INSPECTOR
	MARG T S. RIVER RD			
	MARG COURT - WIPENG			
	PALM RD			
	SIMONA GIACOMO			
	2 ON MORGAN		1800-536-3132	INSPECTOR

10282

POOL, SPA & DECK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10280	DATE ISSUED:	NOVEMBER 15, 2012
SCOPE OF WORK:	POOL, SPA & DECK		
CONTRACTOR:	SOUTH FLORIDA CUSTOM POOLS		
PARCEL CONTROL NUMBER:	013841001-010-000108	SUBDIVISION	ARBELA - LOT 10
CONSTRUCTION ADDRESS:	50 S SEWALLS PT RD		
OWNER NAME:	FRISOLI		
QUALIFIER:	RODERICK MAINE	CONTACT PHONE NUMBER:	286-7033

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 10280

Date: _____
 OWNER/LESSEE NAME: Frisoli Phone (Day) _____ (Fax) _____
 Job Site Address: 50 S. Sewall's Point Rd. City: Sewall's Point State: FL Zip: 34996
 Legal Description: Arbel, N. 104' of lot 10 Parcel Control Number: 01-38-1-001-010-00010-8
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Swimming Pool, Spa & Deck

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 40,000
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: South Florida Custom Pools Phone: 772 286 7033 Fax: 286 2690

Qualifiers name: Rob J. Maine Street: 2625 sw map Rd. City: Palm City State: FL Zip: 34890

State License Number: CPC1457785 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Rob Maine Phone Number: 2600848

DESIGN PROFESSIONAL: _____ Fla. license# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof: 3804 Elevated Deck: _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

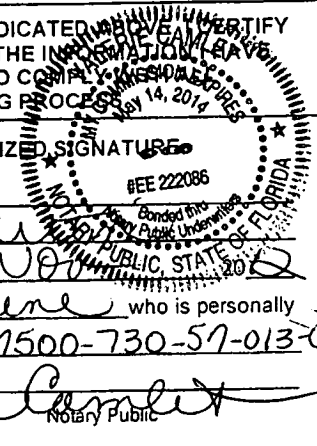
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED AND I HEREBY CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: _____
 On This the 7th day of November, 2012
 by Scott J. Frisoli who is personally known to me or produced _____
 As identification: [Signature] HELEN R. MORRIS
 Notary Public, State of Florida
 My Commission Expires Sep 26, 2012
 Commission # EE 83674

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
 X [Signature]
 State of Florida, County of: Manatee
 On This the 7 day of NOV, 2012
 by Roderick J. Maine who is personally known to me or produced PD611500-730-57-013-0
 As identification: [Signature]
 My Commission Expires: _____



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

INSTR # 2361714
OR BK 2612 FG 1648
RECORDED 11/15/2012
MARSHA EWING
MARTIN COUNTY

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: _____ TAX FOLIO #: 01-38-41-001-010-00010-8

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 50 S. Sewall's Point Rd. Sewall's Point, FL 34996
Arbela, N. 104' of lot 10 E. of Sewall's point Rd. + 4.2' x 33' pt of lot 9 ALG S/LN Desc in ORC 201753

GENERAL DESCRIPTION OF IMPROVEMENT: Swimming Pool, Spa & Deck

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: SCOTT FRASOLI
ADDRESS: 1715 PAWNS RIDGE NEW CANAAN, CT 06840
PHONE NUMBER: 203-772-7951 FAX NUMBER: _____
INTEREST IN PROPERTY: _____

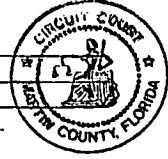
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: South Florida Custom Pools
ADDRESS: 2625 SW MARR RD. Palm City, FL 34990
PHONE NUMBER: 772 286 2037 FAX NUMBER: 286 2690

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED) _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____ STATE OF FLORIDA
MARTIN COUNTY

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL



PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICE OF THE FOREGOING DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES.
BY: [Signature] D.C.
DATE: 11/15/12
NAME: _____ ADDRESS: _____ PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

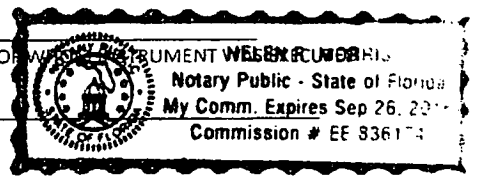
SIGNATORY'S TITLE/OFFICE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF Nov, 2012

BY: Scott Frasoli AS _____ FOR _____
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION PRODUCED _____

[Signature]
NOTARY SIGNATURE/ SEAL





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765



PERMIT # _____

**RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT
AFFIDAVIT OF REQUIREMENT COMPLIANCE**

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at (**Print street address**) 50 S. Sewall's Point Rd., and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statutes and 2010 Florida Building Code. Please check your choice of compliance.

Residential swimming pool safety feature options:

In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet the following requirements relating to pool safety features:

PLEASE NOTE THAT IF THE ALARM OPTION IS SELECTED, THIS AFFIDAVIT MUST BE ACCOMPANIED BY A LETTER OF CERTIFICATION FROM A FLORIDA LICENSED ALARM CONTRACTOR, ARCHITECT, OR ENGINEER STATING FULL COMPLIANCE WITH 2010 FBC R4101.17.1.9. PLEASE INDICATE BY INITIALING THE FOLLOWING:

- (a) The pool/spa must be equipped with an approved safety pool cover (4101.17 exceptions, no other barrier feature required).
- (b) The pool/spa must be isolated from access by an enclosure that meets the pool barrier requirements of section (R4101.17.1 thru R4101.17.3;)
- (c) Where a wall of a dwelling serves as part of the barrier one (1) of the following shall apply: (R4101.17.1.9)
 - 1. All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm which produces an audible continuous warning when the door and its screen are opened. The alarm shall sound immediately after the door is opened and be capable of being heard **throughout the house during normal household activities**. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. Such deactivation shall last no more than 15seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.

Exceptions:

- a. Screened or protected windows having a bottom sill height of 48 inches or more measured from the interior finished floor at the pool access level.
 - b. Windows facing the pool on floor above the first story.
 - c. Screened or protected pass-through kitchen windows 42 inches or higher with a counter beneath. (R4101.17.1.9 (1))
2. All doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with positive mechanical latching/locking installed a minimum of 54 inches above the threshold, which is approved by the authority having jurisdiction. (R4101.17.1.9 (2))



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

AFFIDAVIT OF REQUIREMENT COMPLIANCE

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable as established in the Florida Statute.

Rd J Main
 CONTRACTOR'S SIGNATURE & DATE

X [Signature]
 OWNER'S SIGNATURE & DATE

NOTARY AS TO CONTRACTOR:

STATE OF Florida

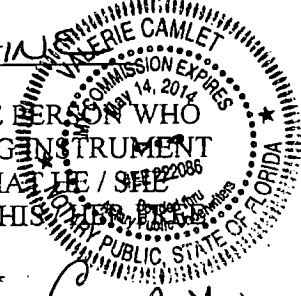
COUNTY OF Martin

ON THIS 7 DAY OF Nov, 2012

BEFORE ME PERSONALLY APPEARED:

RODERICK J MAIN
 TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED) Valerie Camlet



NOTARY AS TO OWNER:

STATE OF Florida

COUNTY OF Martin

ON THIS 5th DAY OF November, 2012

X BEFORE ME PERSONALLY APPEARED:

Scott Trisoli

TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FORGOING INSTRUMENT AND ACKNOWLEDGED THAT HE / SHE EXECUTED THE SAME AS HIS / HER FREE ACT AND DEED.

SEAL (SIGNED) Helen R. Morris
 Helen R. Morris

THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT SCHEDULING THE FINAL INSPECTION.





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

THIS FORM MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION

SWIMMING POOL AND SPA SUBCONTRACTORS LIST

Applicant's Name South Florida Custom Pools Permit # _____

Mailing Address 2625 SW Mapp Rd. City Palm City State FL Zip 34990

Please provide a subcontractors list for verification. Any changes to this list must be provided prior to final inspection. Using unlicensed contractors or subcontractors may prevent you from being eligible for inspections. For further information, please contact the Town of Sewall's Point Building Department at 772-287-2455.

Please include all Competency Card or State Certification numbers. Do not use occupational license numbers.

<u>CONTRACTOR/TRADE</u>	<u>COMPANY NAME</u>	<u>LICENSE #</u>
CONCRETE POOL DECK	<u>Blue Reef Concrete</u>	
<u>BR</u> DECK FINISH	<u>Blue Reef Concrete</u>	
<u>ME</u> MASTER ELECTRICIAN	<u>Heritage Electric</u>	
<u>PG</u> POOL GUNITE	<u>Prestige Gunite</u>	
<u>IPF</u> INTERIOR POOL FINISH	<u>Prestige Pool Plaster</u>	
<u>PS</u> POOL STEEL	<u>South Florida Custom Pools</u>	<u>CPC 1457785</u>
BARRIER/ALARM	<u>Protect a Child (John Cruise)</u>	

I certify that the above information is accurate and that all work will be performed by eligible competency card holders or State Certified contractors.

I understand that a complete notarized subcontractors list is required prior to final inspection.

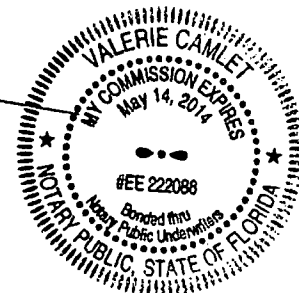
Roderic J. Mainé
 Signature of applicant RODERIC J. MAINÉ

Sworn to and subscribed before me this 5th day of Nov 2012 by

Roderic J. Mainé Valerie Camlet

Notary Public, State of Florida, County of Martin
 _____ Personally Known Produced Identification

Type of ID Produced: FDL#M500-730-57-013-0



TOTAL HOLDDOWN FORCE FORMULA IS:

Af = OUTER EDGE AREA OF THE POOL FLOOR IN SQ. FT.
Tf = THICKNESS OF THE POOL FLOOR IN FEET.
Tw = THICKNESS OF THE POOL WALL IN FEET.
Dp = AVERAGE DEPTH OF POOL
Ww = WEIGHT OF ONE CUBIC FOOT OF SEA (SALT) WATER 64 LBS/CU. FT.
Wg = WEIGHT OF ONE CUBIC FOOT OF GUNITE 150 LBS/CU. FT.
Ppa = AVERAGE EDGE PERIMETER OF POOL IN FEET
SF = SAFETY FACTOR = 1.6
F = TOTAL HOLD DOWN FORCE REQUIRED FOR POOL

$$F = [(Af \times (Dp + Tf) \times Ww) - ((Af \times Tf) + (Ppa \times Tw \times Dp) \times Wg) \times SF =$$

30'x 19' x 6' DEEP POOL

$$F1 = [(543 \times (5 + 0.5) \times 64) - ((543 \times 0.5) + (99 \times 0.5 \times 5)) \times 150] \times 1.6 = (191136 - 77850) \times 1.6 = 181258 \text{ LBS.}$$

TOTAL HOLDDOWN FORCE = F1 = 181258 LBS. = 90.6 TONS

Lic. # CPC145T185
South Florida Custom Pools.
2625 S.W. Mapp Rd. Palm City, FL 34990
Phone: 772-286-7033

NAME:

FRISOLI

ADDRESS:

50 S SEWALL'S POINT RD.

CITY/STATE:

SEWALL'S POINT, FL. 34996

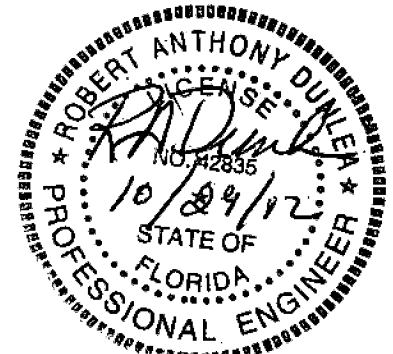
COUNTY:

MARTIN

PID #:

01-38-41-001-010-00010-8

R. A. Dunlea, P.E. License # 42835
1513 Cervantes Place, The Villages, FL 32159
Telephone # 772-285-6444





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Revised October 24, 2012

Driftwood Homes, Inc.
2163 Pine Ridge Street
Jensen Beach, Florida 34957

**Subject: Geotechnical Recommendations Pool Helical Anchor Piles
Frisoli Residence - 50 S Sewall's Point Road
Stuart, Martin County, Florida
GFA Project No. 12-2073.00**

Ladies and Gentlemen:

We are pleased to submit this report for the referenced project. The recommendations contained in this revised report supersede those from the initial report dated October 22, 2023.

GFA was requested to provide recommendations for helical piles to be used as pool uplift anchors. The helical installation will be performed by BK Marine, which indicated that the helicals will have an 8", 10", 12" triple helix configuration with 2 and 2.5 feet between helices, a 4 inch tip, and use a round 3" Grade 60 steel pipe shaft. Based on the helical configuration and the results of soil test borings, recommendations for helical anchors are provided below.

Helical Piers

Helical piers consist of galvanized steel shafts with helical flight augers on the bottom shaft. The shafts are bolted together as the shafts are drilled into the subsurface. The torque applied to the piers during drilling is correlated to the compression and tension capacity of the helical pier. The shafts are cut to the appropriate cut-off elevation, and typically pile caps are cast on the top of the helical piers or an embed system is used to connect to the pool.

We were informed that the combined uplift tension required is 90.6 tons. GFA reviewed the data and performed pile-soil interaction calculations. The cemented sand encountered at about 19 to 24 feet below ground surface limits the depth and tension capacity of the piers before refusal of pile on rock. GFA recommends 13 tons tension uplift capacity per pile installed to a depth of 21 feet or refusal on rock. This corresponds to 7 piles for a combined uplift capacity of 91 tons.

We recommend the piers be spaced at least 3 diameters (largest helical diameter) apart center-to-center. Each pier must be installed with a minimum of twice their design capacity. The capacity of several piers should be verified by shear pins.

Helical pier design and installation is proprietary in nature. The locations and required capacity of the piers must be designed by the structural engineer or other qualified professional. We recommend that a geotechnical engineer or his representative monitor the helical pier installation in accordance with the Florida Building Code. Installation of piers should be performed after all utilities have been identified and located to avoid installation problems and for safety reasons. These services were not within our scope of services.

POOL CONSTRUCTION RECOMMENDATIONS

During the pool excavation, soils that are suitable for use as fill should be stockpiled separately. Most of the sand soils observed from the borings will provide good fill material. Soils with high silt or organic contents should not be used for structural fill under the pool deck (or beneath any other structure).

The excavated surface (bottom of the pool) should be compacted so that the upper 1 foot of the subgrade soil achieve a density of at least 95% of the modified Proctor maximum dry density (ASTM D 1557).

The backfill around the pool should be placed in 6 to 8 inch lifts and compacted to 95% of the modified Proctor maximum dry density (ASTM D 1557). The backfill soil should be "clean" sand with less than 5% fines (% of dry weight passing a U.S. No. 200 sieve). Higher fine contents can be used but more construction control is necessary.

If the water table is above the bottom of the proposed pool, dewatering will be necessary during the construction. Furthermore, the pool structure should be anchored to resist hydraulic uplift when it is empty or pressure relief drains should be installed in the bottom of the pool.

Care must be taken not to undermine the foundations of nearby structures during excavation. Additional recommendations for pool design as well as excavation and backfill may be needed if the edge of the pool will be within 5 feet of the structures, or if the sand soils cave during construction and could potentially cause undermining of nearby structure foundations. Also, to avoid surcharge loading from footings onto the pool structure, the pool bottom and sides should be offset so as to not infringe on a 45 degree plane to the horizontal as measured from the bottom edge of footings.

If there is a nearby seawall or retaining wall, it must have the structural integrity to withstand the loadings imposed by the new pool. Evaluation and design of the nearby seawalls and retaining walls are the responsibility of the structural engineer, specialty engineer, contractor, or others. Evaluation of the seawall is not within our scope of work.



CLOSURE

This consulting report has been prepared for the exclusive use of the current project owners and other members of the design team for the project. This report has been prepared in accordance with generally accepted local geotechnical engineering practices; no other warranty is expressed or implied. The evaluation submitted in this report, is based in part upon the data collected during a field exploration, however, the nature and extent of variations throughout the subsurface profile may not become evident until the time of construction. If variations then appear evident, it may be necessary to reevaluate information and professional opinions as provided in this report. In the event changes are made in the nature, design, or locations of the proposed structure, the evaluation and opinions contained in this report shall not be considered valid, unless the changes are reviewed and conclusions modified or verified in writing by GFA International.

The analysis and recommendations submitted in this report are based on the data obtained from the tests performed. This report does not reflect any variations, which may occur between borings. While the borings are representative of the subsurface conditions at their respective locations and for their vertical reaches, local variations characteristic of the subsurface soils of the region are anticipated and may be encountered. The delineation between soil types shown on the soil logs is approximate and the description represents our interpretation of the subsurface conditions at the designated boring locations on the particular date drilled.

Any third party reliance of our geotechnical report or parts thereof is strictly prohibited without the expressed written consent of GFA International.

We appreciate the opportunity to be of service to you on this project and look forward to a continued association with Driftwood Homes, Inc. Please contact the undersigned if you have any questions or comments, or if we may further assist you as your plans proceed.

Respectfully Submitted,
GFA INTERNATIONAL, INC.
FIRE Certificate No. 4030
No 60675
10/24/12
Gerald W. Molen, P.E.
Senior Geotechnical Engineer
Florida Registration No. 60675
PROFESSIONAL ENGINEER



David Alker
Project Manager

Copies: Client (2)





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

V-ZONE DESIGN CERTIFICATE FOR IN-GROUND POOLS

Name of Property Owner Frisoli
 Building Address 50 S. Sewall's Point Rd.
 Legal Description Arbela, N 104' of lot 10 E of Sewall's Point Rd + 4.2' x 33' Pt of Lot 9
 City Sewall's Point State Fl. Zip Code 34996 ALG SLN Desc in OR 856/753
01-38-41-001-010-00010-8

FLOOD INSURANCE RATE MAP INFORMATION

Community # 120164 Panel # 0154 Suffix F
 Date of FIRM 10-4-02 Zone VE Base Flood Elevation 9 and 10

ELEVATION INFORMATION

Base Flood Elevation 9 + 10
 Elevation of Lowest Adjacent Grade 2.7 Highest Adjacent Grade 3.3
 Depth of Anticipated Scour used for foundation design 6'
 Embedment Of Piles/Footings/Columns Below Lowest Adjacent Grade 19' to 24'
 Elevation of top edge of pool 4.9 Elevation of deck around pool 4.8'

V-ZONE CERTIFICATION STATEMENT

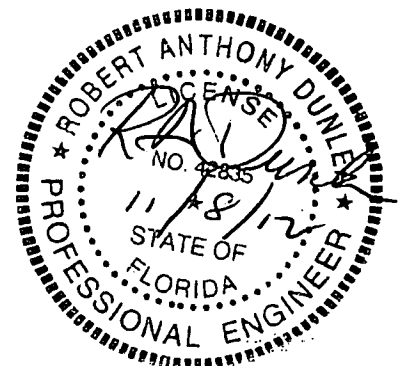
I certify that I have developed or reviewed the structural design, specifications and location for construction. The design and methods of construction to be used are in accordance with accepted standards of practice for meeting the following provisions: ... The foundation and structure attached thereto is anchored to resist flotation, collapse and lateral movement due to the combined effects of wind and water loads acting simultaneously on all structural components. Water loading values used are those associated with the 100 year storm event. Wind loading values are those associated with a 160 mph (3 second gust) wind potential. The potential for scour and erosion at the foundation has been anticipated for conditions associated with the base flood.

CERTIFIED BY

Certifiers Name R.A. Dunlea Title Professional Engineer
 Company Name NA License # FL 42835
 Address 1513 Cervantes Place City The V. Hages
 State FLORIDA Zip Code 32159 Phone # 772-285-6444

Signature *R.A. Dunlea*
 Date: 11/8/2012

SEAL:



KSM

KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.
 MARTIN (772) 337-7755 P.O. BOX 78-1377, SEBASTIAN, FL 32978-1377 SEBASTIAN (772) 589-0712
 PALM BEACH (561) 845-7445 www.ksmengineering.net MELBOURNE (321) 768-8488
 FAX (561) 845-8876 E-Mail: KSM@KSMENGINEERING.NET ST. LUCIE (772) 229-9093
 C.A.: 5693 FAX (772) 589-6469

SOIL COMPACTION REPORT
ASTM D 1557 and ASTM D 2922

DATE TESTED : January 3, 2013

JOB # : 130010-1pd

PERMIT # : **10230**

P.O. #: Frisoli

CONTRACTOR : South Florida Custom Pools

JOB LOCATION : **50 S. Sewall Point Road**
Stuart, Florida

ITEM TESTED : Pool Backfill

TEST LOCATION OF SAMPLE	DEPTH	* PEN READ	DRY DENSITY	MAX. DRY PROCTOR VALUE	PERCENT COMPACTION
1 N.W.	0' - 1'	40	106.1	110.3	96.2
2	1' - 2'	38		"	95.0+
3	2' - 3'	42		"	95.0+
4	3' - 4'	40		"	95.0+
5 N.E.	0' - 1'	44	106.8	110.3	96.8
6	1' - 2'	38		"	95.0+
7	2' - 3'	40		"	95.0+
8	3' - 4'	40		"	95.0+
9 E. Center	0' - 1'	36	105.9	110.3	96.0
10	1' - 2'	44		"	95.0+
11	2' - 3'	38		"	95.0+
12	3' - 4'	30		"	95.0+

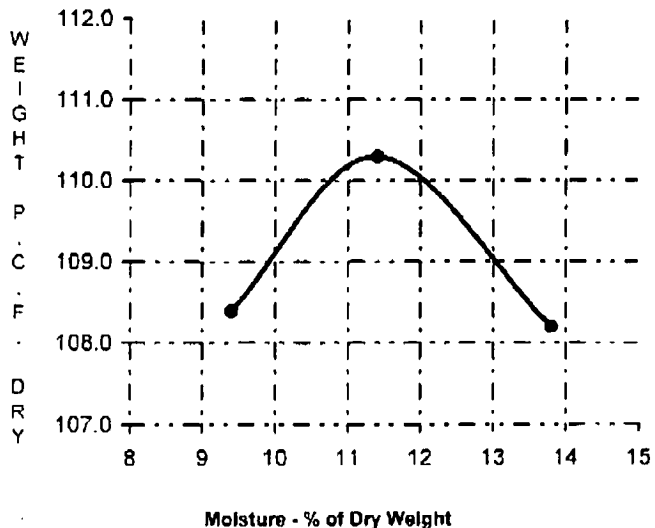
Soil Description:
Gray and Brown Sand

In Place Moisture:
7.5 Percent

Optimum Moisture:
11.4 Percent

Max. Dry Density:
110.3 P.C.F.

@ Test Locations the Density & Penetrometer Readings Indicate the Test Locations Compaction Meets Minimum Requirements.
 Penetrometer Readings Taken to Natural Grade.
 Respectfully Submitted
 No. 68366



PROFESSIONAL ENGINEER
 JULIE E. KELLER, P.E.
 No. 68366
 1/4/13

Fax to: 772-286-2690

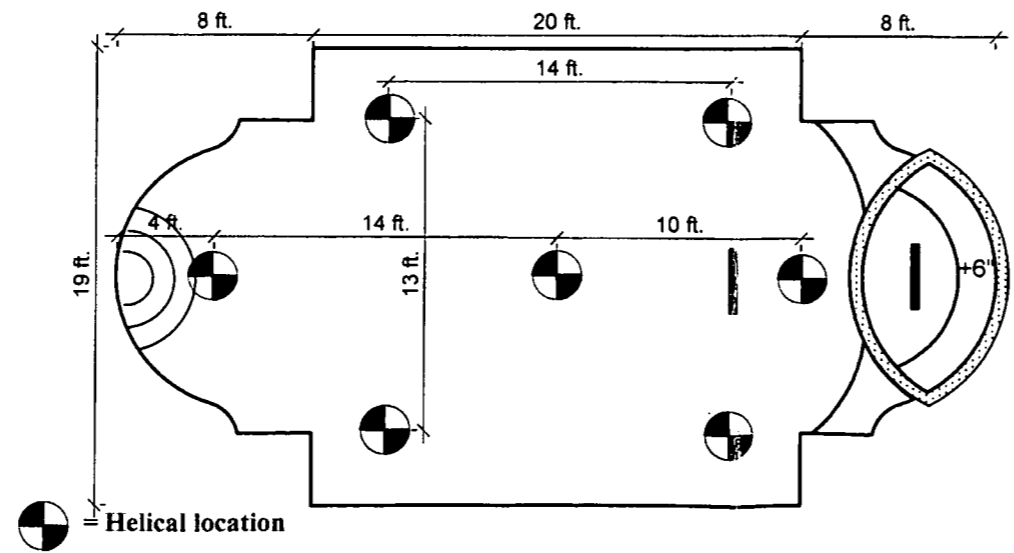
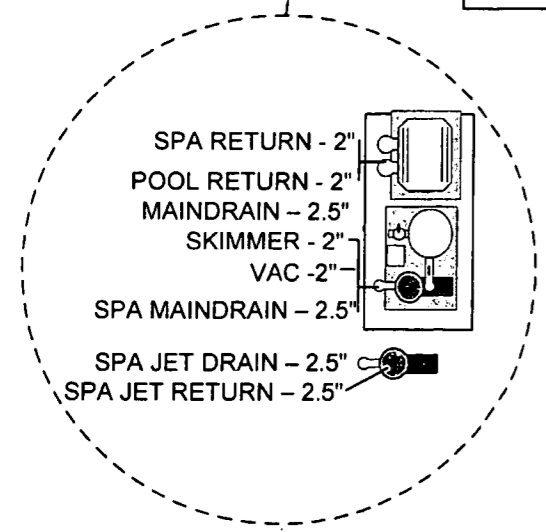
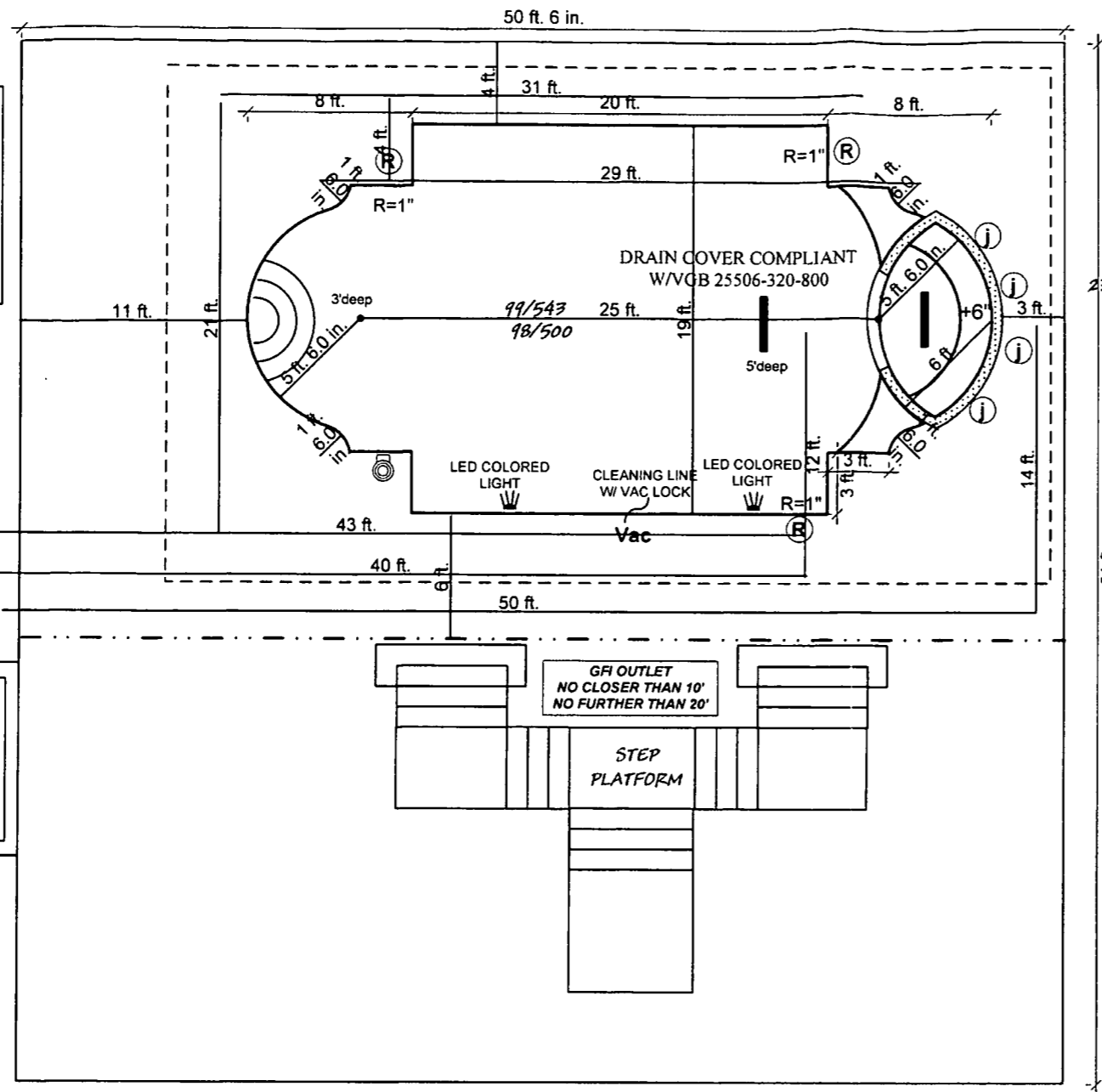
Fax to: Town of Sewalls Point - 772-220-4765

Ronald G. Keller, P.E.: 37293 / SI Lic. No.: 860 / Julie E. Keller, P.E.: 68366

NO OVERHEAD POWER LINES

EQUIPOTENTIAL BOND TO MEET NEC 680.26C STANDARDS. BONDING CONDUCTOR SHALL BE #8 AWG BARE SOLID COPPER WIRE BURIED TO A DEPTH OF 4"-6" BELOW SUBGRADE, AND 18"-24" FROM INSIDE WALL OF POOL OR SPA, ATTACHED AT 4 POINTS

4' CHILD BARRIER NO CLOSER THAN 20"



Helical Piers to be used as pool uplift anchors. Helicals will have an 8", 10", 12" triple helix configuration with 2 and 2.5 feet between helixes, a 4" tip, and use a round 3" Grade 60 steel pipe shaft.

ANSI 15.5.3.2 Swimming pool filtration pumps shall be selected from the California Energy Commission's Appliance Efficiency Database for Residential Pool Pumps, or the APSP Appliance Efficiency Pool Pump Database.

ANSI 15.5.3.2.1 For pools equal to or less than 17,000 gallons, a filter pump shall be chosen such that the flow rate listed for curve A is less than the maximum filtration flow rate calculated according to section 5.2.1 "The filtration flow rate shall not be greater than the rate needed to turn the pool water volume in 6 hours or at 36 gpm, whichever is greater." For pools less than 13,000 gal.

@41.67 GPM TURNOVER IN 6 HOURS.

USING 66'- 2.5" SUCTION PIPE AND 185'- 2" RETURN PIPE WITH 5 RETURNS AND 1" EYEBALLS CALCULATES TO 27.93' HEAD LOSS. THE MAX FLOW RATE AT MAX RPM WITH THIS HEAD LOSS IS 84.82GPM

Pipes and drain must than meet ANSI 7 code for suction entrapment based on this TDH Calculation 84.82GPM

POOL SPECIFICATIONS

- POOL SIZE
- POOL PERIMETER
- POOL AREA
- POOL DEPTH
- POOL GAL.
- 3 POOL INLETS 1" EYEBALLS
- SKIMMER
- 1 VAC LINE
- 2- LED POOL LIGHT
- Sta-Rite PLM 300 SQ. CARTRIDGE FILTER 112.5GPM MAX**
- STA-RITE INTELLIFLO Pump VS-3050 (P6E6XS4H-209L)**
- CUSTOM MOLDED PRODUCTS**
- 1 - 32" x 3" CHANNEL DRAIN
- MAX FLO RATE THROUGH 2.5" PLUMBING USING CENTER PORT IS 200 GPM (FLOOR)
- INTELLICHLOR SALT SYSTEM**
- STA-RITE 400,000btu GAS HEATER**
- INTERIOR FINISH : FLA. GEM**

CONCRETE DECK

SPA SPECIFICATIONS

- SPA SIZE
- SPA PERIMETER
- SPA AREA
- SPA DEPTH
- 2- INLETS 1" EYEBALLS
- 1- LED SPA LIGHT
- 4 JETS

STA-RITE MAX-E-PRO 1 1/2 HP JET PUMP
MAX FLOW 94.72gpm WITH 12.69 HEAD LOSS

CUSTOM MOLDED PRODUCTS
1 - 32" x 3" CHANNEL DRAIN
MAX FLO RATE WITH CENTER PORT PLUGGED AND OUTER PORTS OPEN IS 308 GPM (FLOOR) WHEN USING 2.5" PLUMBING.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Lic. # **CPL145T185**
South Florida Custom Pools.
2625 S.W. Mapp Rd. Palm City, Fl.
Phone: 772-286-7033 34990

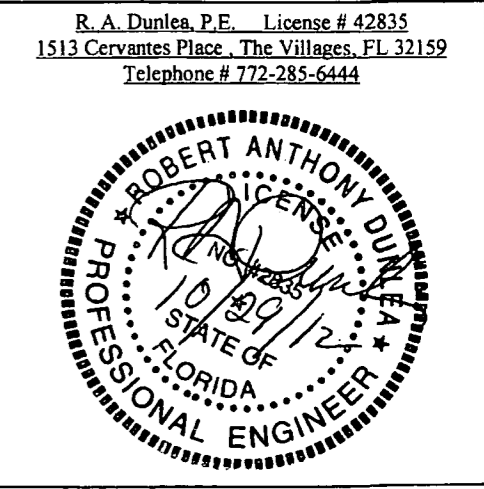
NAME:

ADDRESS:

CITY/STATE:

COUNTY:

PID #:



ANSI / APSP - 7

4.4 The velocity in field-fabricated piping is based on the maximum system flow rate. Maximum water velocity in branch suction piping shall be limited to 6 feet per second when one of a pair is blocked. In normal operation then, the branch suction piping velocity is 3 feet per second. All other suction piping velocities shall be 8 feet per second for residential pools.

4.4.1 Maximum system flow rate shall be determined by one of the following :

TDH calculation for the circulation system of each pump; or Simplified TDH calculation.

4.5 Listed suction outlet cover / grate shall be tested and listed by a nationally recognized testing laboratory as conforming to the most recent edition of ASME / ANSI A112.19.8 and include a permanently marked flow rating tested to prevent hair entrapment. They are not governed by the velocity limitations of 4.4 and 4.6.

4.6 Minimum flow rating for each cover/grate. When used, submerged suction outlet arrangements shall be single unblockable, dual, or three-or-more as defined in 4.6.1 and 4.6.2.

4.6.1 Single or dual outlets. The flow ratings for each listed cover/grate shall be greater than the maximum system flow as determined in accordance 4.4.1.

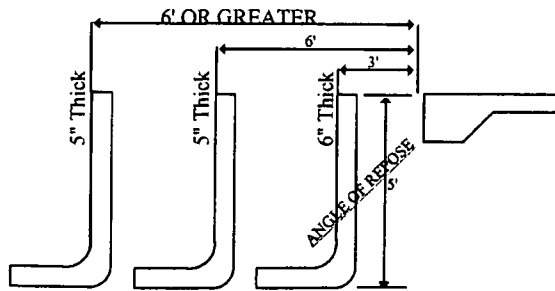
4.6.2 Three or more outlets. For a system with three or more covers/grates, the sum of the flow ratings shall be at least twice the maximum system flow rate as determined in accordance with 4.4.1, or alternatively

4.6.3 Warning: When using covers/grates of different flow ratings on the same system, the lowest flow rating shall be used in calculating.

SINGLE UNBLOCKABLE OUTLET ANSI/APSP-7 5.5.1
A single channel outlet shall be considered acceptable if the size of the perforated area is 3 inches or greater in width and 31 inches or greater in length.

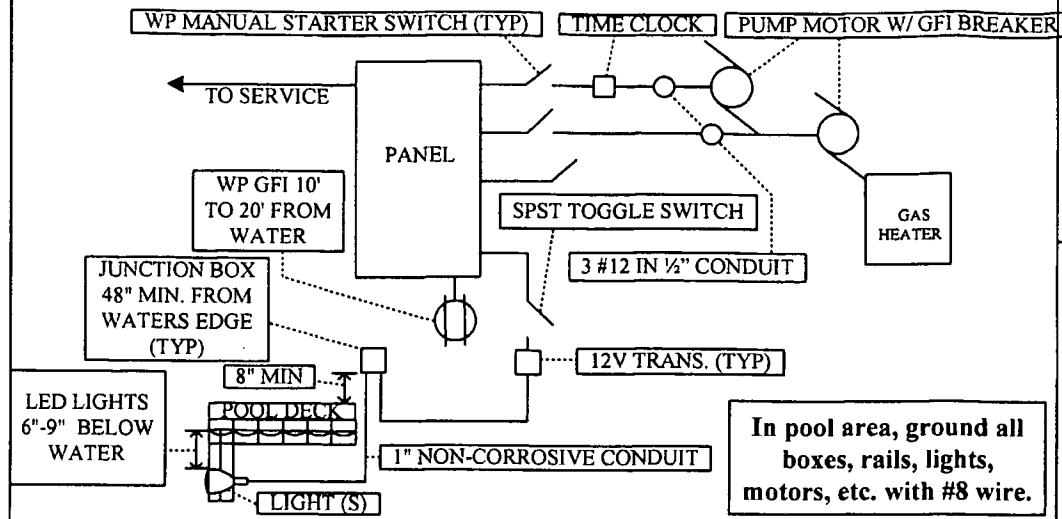
ANGLE OF REPOSE

The detail below is representative of a 5' deep pool section. The extra steel, sheating, and shoring applies only to those areas of the pool/spa in which extra steel, sheating, and shoring are required and shall be determined by the following: If the pool structure is within an area equal to depth + 1' of an existing structure, then shoring and /or sheating and/or extra steel is required.



- ~ Outside angle of repose 5' and greater - 5" thick w/ #3 @12" O. C. each way.
- ~ 3' to 6' - 5" thick w/ #3 @ 6" O. C. each way.
- ~ 0' to 3' - 6" thick w/ #3 @ 6" O. C. each way.

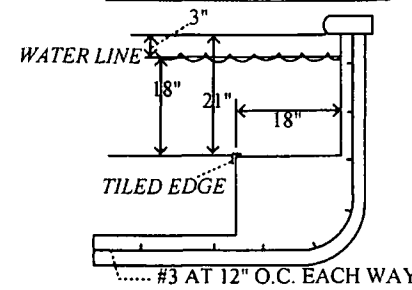
ELECTRICAL DIAGRAM



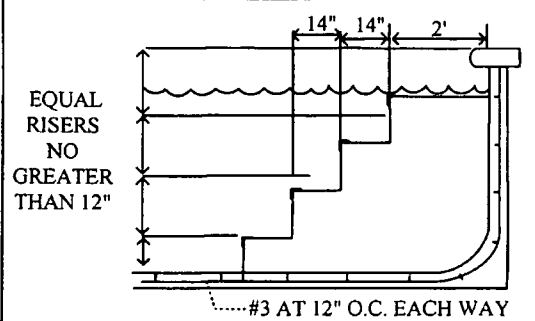
ELECTRICAL NOTES
POOL PANEL AND SWITCHES MUST BE AT LEAST 5' FROM THE INSIDE WALL OF THE POOL. ALL ELECTRICAL WIRING AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE 2008 EDITION OF THE NATIONAL ELECTRICAL CODE. PROVIDE PROPER WORKING CLEARANCE SPACES FOR ELECTRICAL EQUIPMENT AS PER HO-26 OF NFPA 70. POOL PUMP MOTOR LOCATED ABOVE GRADE. PROVIDE SEPARATE CIRCUIT FOR PUMP MOTOR AND HEATER ETC. INSTALL 125V 15AMP WEATHERPROOF DUPLEX RECEPTACLE AT LEAST 10' AWAY AND NOT MORE THAN 20' FROM THE INSIDE WALL OF THE POOL.

In pool area, ground all boxes, rails, lights, motors, etc. with #8 wire.

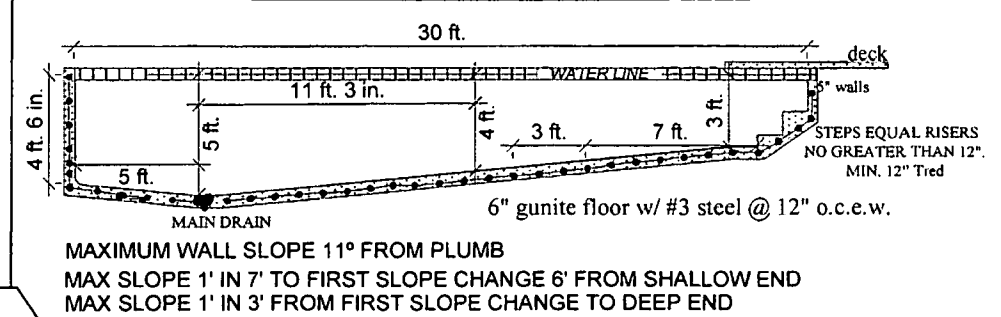
SWIMOUT DETAIL



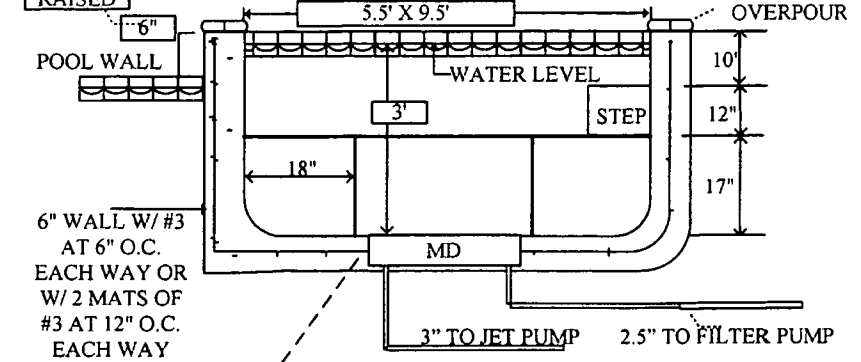
STAIR DETAIL



LONGITUDINAL POOL SECTION

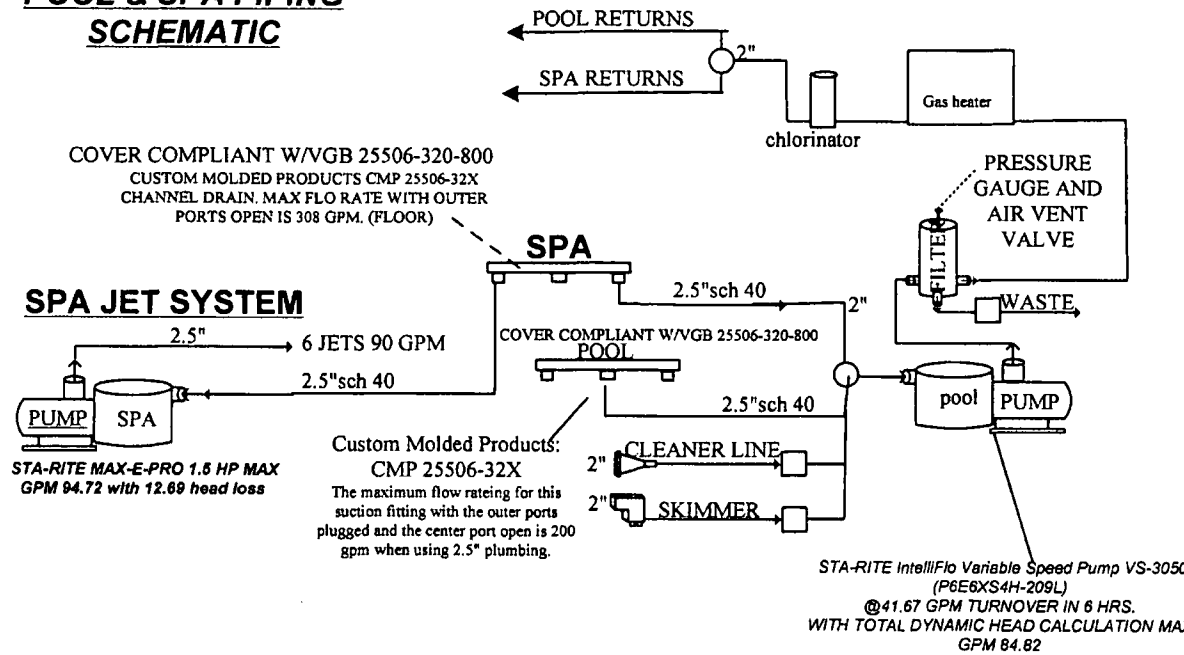


AUXILIARY SPA DETAIL



SINGLE UNBLOCKABLE OUTLET ANSI/APSP-7 5.5.1
A single channel outlet shall be considered acceptable if the size of the perforated area is 3 inches or greater in width and 31 inches or greater in length.
COVER COMPLIANT W/VGB 25506-320-800

POOL & SPA PIPING SCHEMATIC



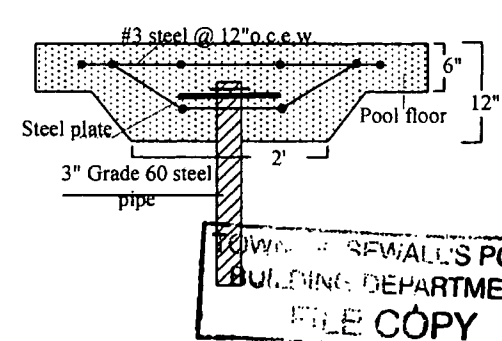
POOL TDH FLOW RATE SYSTEM:

TDH POOL PUMP FLOW RATE :	84.82gpm
MAXIMUM DRAIN FLOW RATE :	200gpm
MAXIMUM SUCTION PIPE FLOW RATE CAPACITY @8 FPS :	2.5"- 117 gpm
MAXIMUM RETURN PIPE FLOW RATE CAPACITY @10 FPS :	2"- 103 gpm

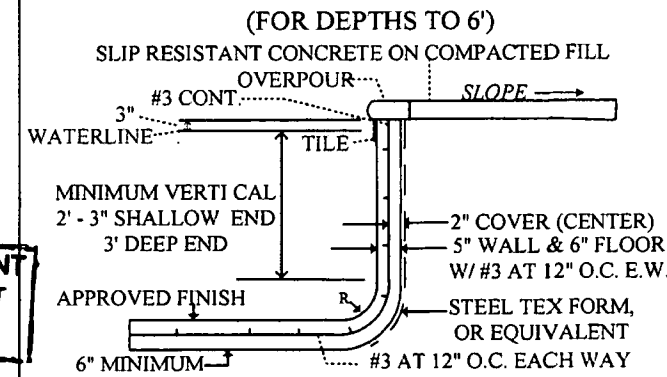
SPA FILTER TDH FLOW RATE SYSTEM:

SPA TOTAL SYSTEM:	
MAXIMUM DRAIN FLOW RATE :	308gpm
TDH SPA PUMP FLOW RATE :	84.82gpm
SPA JET PUMP FLOW RATE :	94.72gpm
= 179.54 GPM	
MAXIMUM SUCTION PIPE FLOW RATE CAPACITY @8 FPS :	FILTER PUMP 2.5"- 117 gpm
JET PUMP 2.5"- 117 gpm	
MAXIMUM RETURN PIPE FLOW RATE CAPACITY @10 FPS :	FILTER PUMP 2"- 103 gpm
JET PUMP 2.5"- 146 gpm	

Helical Pile connection to pool steel



TYPICAL WALL and DECK SECTION



South Florida Custom Pools
CPC 1457785

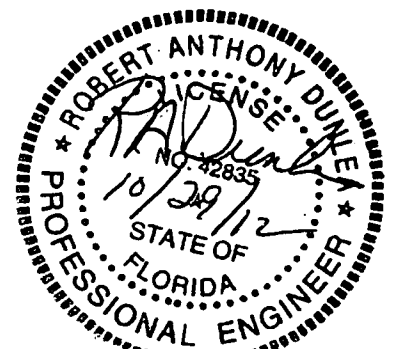
This pool and spa shall be designed and constructed in accordance with FBC 2010 residential code chapter 41

NAME: **FRISOLI**
ADDRESS: **50 S. SEWALL'S POINT RD.**
CITY/STATE: **SEWALL'S POINT, FL. 34996**

PID #: 01-38-41-001-010-00010-8 COUNTY: **MARTIN**

DATE: 10-24-12 PAGE: 2 OF 2

R. A. Dunlea, P.E. License # 42835
1513 Cervantes Place, The Villages, FL 32159
Telephone # 772-285-6444



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-12-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10248	Buhner	slab	Pass	
1st	2 N Sewalls Renar			INSPECTOR <i>[Signature]</i>
10232	Kesnick	steel	Pass	* Letter in Permit Box
	27 Lantana Almar Jackson	main drain		INSPECTOR <i>[Signature]</i>
10280	Frankie	Steel	Pass	
	505 Sewalls	Iron	Pass	
	5074 Custom Pool			INSPECTOR <i>[Signature]</i>
10265	Morales		Pass	
	10 N. RIDGELAND Gibben Const	slab		INSPECTOR <i>[Signature]</i>
10287	Matthews	Final	Pass	
	9 Pineapple Ln Am Garage Door	garage door		INSPECTOR <i>[Signature]</i>
	3 TUSCAN LANE	TREE	<i>[Signature]</i>	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 12-28-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10215	Dewalt	Fence		
<u>151</u>	<u>Peruunkle La</u> <u>DS Air</u>		<u>Pass</u>	<u>Close</u>
				INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10248	Bulmer	sub-siding		
	2 N Sewalls		<u>Pass</u>	
	Renar			INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10280	50 S Sewalls	Pool	Pass	
	Soft Custom Pools			INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10271	BURKAMND	EQUIPOTENTIAL		
	106 S Sewalls	<u>COND</u>	<u>Pass</u>	
	Soft Custom Pools			INSPECTOR <u>JA</u>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
<u>Trees</u>	<u>19 N Ridgeway</u> <u>Gubbs</u>	<u>Trees</u>		
			<u>Pass</u>	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 1-16-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10315	Kingston	Final		
1st	12 Admirals Walk	Door	PASS	Close
	Lowe's	(Mother-in-law well used door used to protect walk)		
10144	MURPHY/BAKSH	Meter		
	8 HERONS NEST	FINAL	CANCEL	NOT READY
	BROWNIE			INSPECTOR <i>[Signature]</i>
10280	Frasconi	COMPLETION		
	50 Sewalls	(Pool)	PASS	
	5078 Custom Pools			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	J. BROWNIE	260-3799		
				INSPECTOR

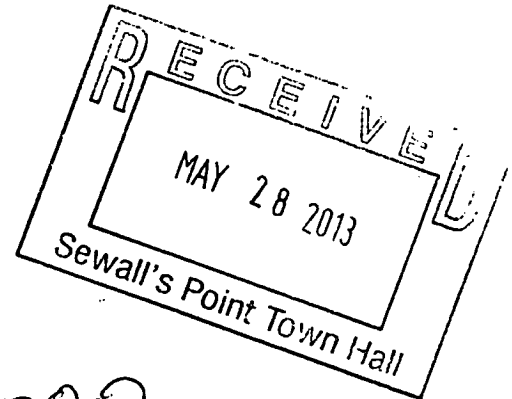


K E L L Y & K E L L Y A R C H I T E C T S



May 1, 2013

Town of Sewall's Point Building Department
1 South Sewall's Point Road
Stuart, Florida 34996



Re: Frisoli Residence
50 South Sewall's Point Road
Permit Number: 9969

Pool N 10280

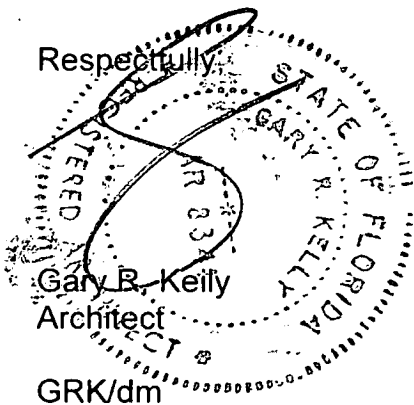
Dear Sir or Madam,

Please note the following regarding the above referenced project:

- 1.) A door alarm for the pool has been installed in lieu of the safety fence as per FBC R4101.17.1.9.

Materials and methods are acceptable to the architect.

Respectfully,



Gary R. Kelly
Architect

GRK/dm

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-20-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10027	Goudio 25 Slevier Team Parks	Temp meter final	PASS	E-MAIL FPL INSPECTOR <i>[Signature]</i>
10454	Weder 21 Palm Rd NISQin	Final AC	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10280	Eniola 50 S 3rd St Soft Custom Pools	Pool FINISH	PASS	CLOSE INSPECTOR <i>[Signature]</i>
	W. S. S. Co	Final	PASS	CLOSE INSPECTOR <i>[Signature]</i>
		Final	PASS	CLOSE INSPECTOR <i>[Signature]</i>
		Closed 4-10-13		
10398	Luger 9 Riverview Schiller	Prepour Pooldeck & bond	PASS	INSPECTOR <i>[Signature]</i>
10408	Stanton 6 S 3rd St Karam Haddad	FINISH SIDING	PASS	CLOSE INSPECTOR <i>[Signature]</i>
				INSPECTOR

10403

ENTRY GATE

&

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10403	DATE ISSUED:	APRIL 2, 2013
SCOPE OF WORK:	ENTRY GATE & FENCE		
CONTRACTOR:	DRIFTWOOD HOMES		
PARCEL CONTROL NUMBER:	013841001-010-000108	SUBDIVISION	ARBELA - LOT 10
CONSTRUCTION ADDRESS:	50 S SEWALLS PT RD		
OWNER NAME:	FRISOLI		
QUALIFIER:	ALAN MORRIS	CONTACT PHONE NUMBER:	215-0074

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: 10403

Date: 3/24/13

OWNER/LESSEE NAME: SCOTT FRISOLI Phone (Day) 203-276-5330 (Fax) _____

Job Site Address: 50 S. SEWALLS PT RD City: SEWALLS PT State: FL Zip: _____

Legal Description: ARBELA IN 60416 FLOWERS PRD. Parcel Control Number: 01-38-41-001-090-00010-8

Fee Simple Holder Name: SALU Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** FRONT GATE/FENCE SYSTEM

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 11,000.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: DAFTWOOD HOME LLC Phone: 215-0079 Fax: 334-5817

Qualifiers name: ALAN B. MORIS Street: 2103 PINE RIDGE City: JENSEN BEACH State: FL Zip: 34957

State License Number: 12R0056789 OR: _____ Municipality: _____ License Number: _____

LOCAL CONTACT: SAME Phone Number: _____

DESIGN PROFESSIONAL: KERRY + KERRY ARCHITECTS Fla. License# 8341

Street: 1195W 6th St City: SEWALLS State: FL Zip: _____ Phone Number: 283-3492

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 600 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS: MAR 26 2013

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: [Signature]
X
State of Florida, County of: Marion
On This the 27 day of March
by Alan Moris who is known to me or produced
As identification: [Signature]
My Commission Expires: _____

CONTRACTOR LICENSEE NOTARIZED SIGNATURE: [Signature]
X
State of Florida, County of: Marion
On This the 27 day of March
by Alan Moris who is known to me or produced
As identification: [Signature]
My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: _____

CONSTRUCTION ADDRESS: _____

PERMIT TYPE: _____ RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

Heritage Electric

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE OTHER

SCOPE OF WORK: WIRING OF FRONT GATE

VALUE OF CONSTRUCTION \$ 500⁰⁰

_____ LOW VOLTAGE

TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER

SCOPE OF WORK: WIRING OF FRONT GATE VALUE 500⁰⁰

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Wayne E. Parker
SIGNATURE OF LICENSED CONTRACTOR

PO BOX 1003 JUNIOR BEACH FL
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: HERITAGE ELECTRIC
PLEASE PRINT

TELEPHONE NO: 772 334 4675 FAX NO: _____

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: MCME 00094

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



INSTR # 2307244 DR BK 02551 PG 0378 RECD 12/15/2011 02:19:21 PM
Ps 0378; (1pg)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Cox

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 01-38-41-001-016-00016-8

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): ARBEA, N 104th ST LOT 10 E OF SOWALS AT RD SD S. SOWALS TR RD, SOWALS ST PL, + 4.2'x23' PTO LOT 9 ALG S/W LN DECI IN OR 854/753

GENERAL DESCRIPTION OF IMPROVEMENT: NEW SFR

OWNER NAME OR LESSEE INFORMATION, IF LESSEE, CONTRACTED FOR THE IMPROVEMENT

NAME: Scott Frisoli
ADDRESS: 1715 Foxus Ridge, New Canaan, CT 06840
PHONE NUMBER: 203-922-7951 FAX NUMBER: _____
INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

NAME: N/A ADDRESS: _____

CONTRACTOR: DRIFTWOOD HOMES LLC
ADDRESS: 21123 Pine Ridge Dr, Jones Bldg, B...
PHONE NUMBER: 772-337-2577 FAX NUMBER: 772-337-5877

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED):
ADDRESS: N/A FAX NUMBER: _____
PHONE NUMBER: _____ BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: N/A
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OF OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: N/A ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES N/A OF _____
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

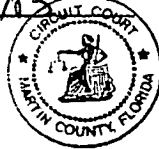
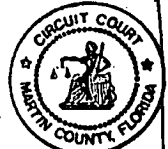
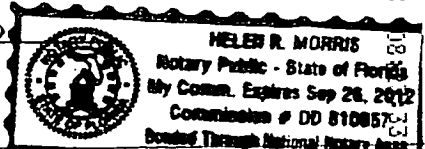
SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE: _____
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF Dec, 2011

BY: Scott Frisoli AS Owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____
TYPE OF IDENTIFICATION PRODUCED _____

Heleen R. Morris



INSTR # 2307244 DR BK 2640 PG 1361 RECD 04/02/2013
(1 Pgs)
CAROLYN TIMMANN MARTIN COUNTY CLERK
DEED DOC \$0.00, MTG DOC \$0.00, INTANGIBLE \$0.00



DATE: 11/11/11
 74 AND 11
 11/11/11
 74 AND 11

90 SOUTH SEWALL'S POINT ROAD
 SEWALL'S POINT, FLORIDA
ERISOLL RESIDENCE
 KELLY & KELLY ARCHITECTS
 130 S. W. 67th STREET, SUITE 1, FT. LEE, FLORIDA 32938-9492



90 SOUTH SEWALL'S POINT ROAD
 SEWALL'S POINT, FLORIDA
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DATE: 11/11/11
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 11/11/11
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SHEET INDEX

- 01 ARCHITECTURAL DRAWINGS
- 02 LOTS
- 03 MAIN LEVEL FLOOR PLAN
- 04 SECOND LEVEL FLOOR PLAN
- 05 POOL DECK FLOOR PLAN
- 06 DECK ELEVATION
- 07 POOL DECK ELEVATION
- 08 MAIN LEVEL 18' BAY PLAN
- 09 MAIN LEVEL 18' BAY PLAN
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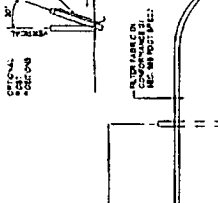
AREA CALCULATIONS

LOT AREA	30,000 SQ. FT.
STRUCTURE AREA	14,254
POOL DECK AREA	1,010
DRIVEWAY AREA	1,010
TOTAL IMPAVED AREA	16,274 SQ. FT.
TOTAL UNIMPAVED AREA	13,726 SQ. FT.
TOTAL AREA	30,000 SQ. FT.
TOTAL IMPAVED AREA PERCENT	54.25%
TOTAL UNIMPAVED AREA PERCENT	45.75%

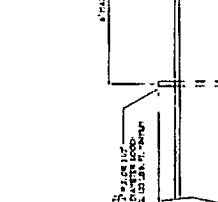
ON-SITE RETENTION REQUIRED

TOTAL IMPAVED AREA	16,274 SQ. FT.
RETENTION VOLUME REQUIRED AT 24" DSD	310,000 GALS.
PERCENT RETENTION	1.00%

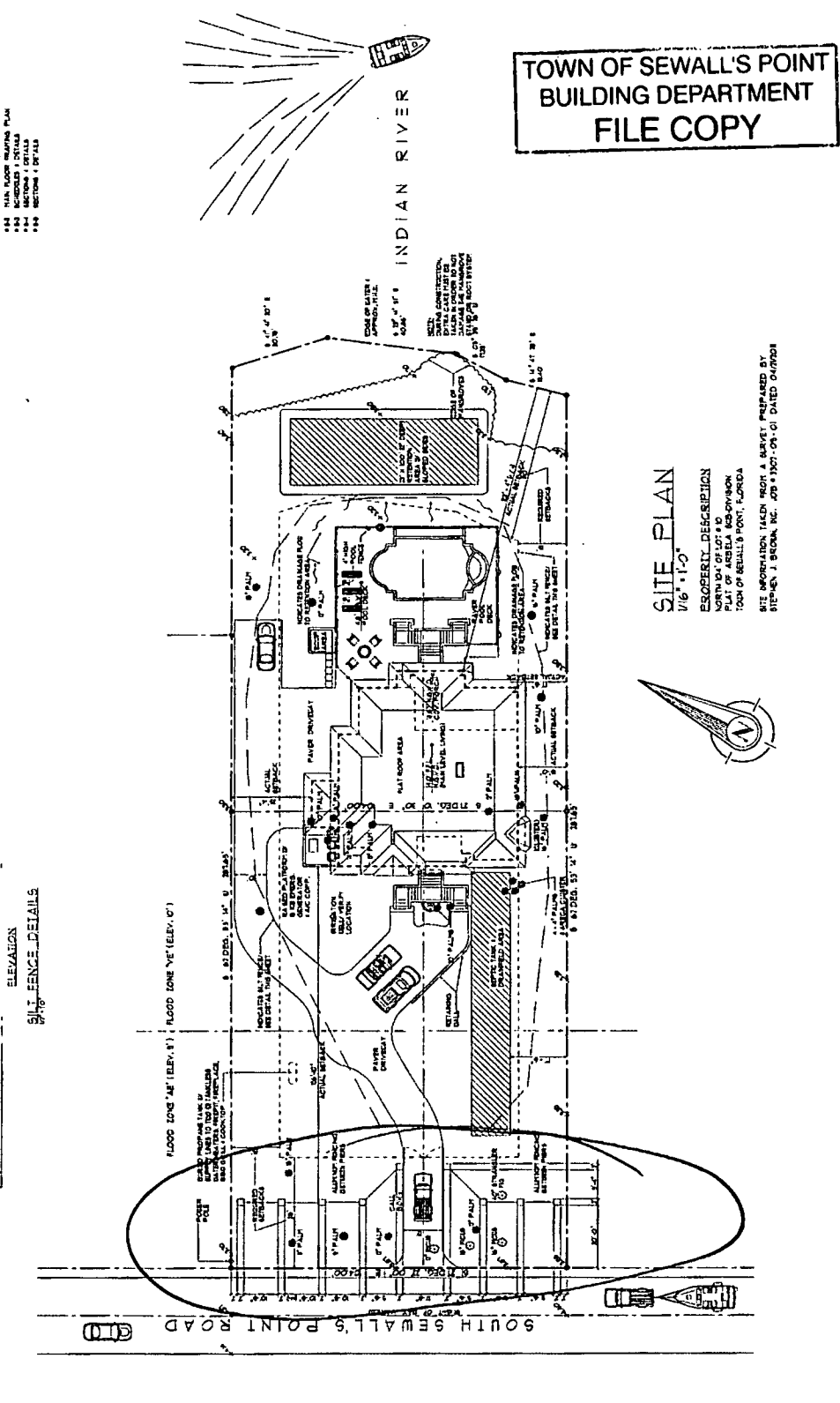
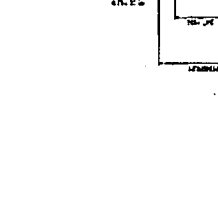
SECTION



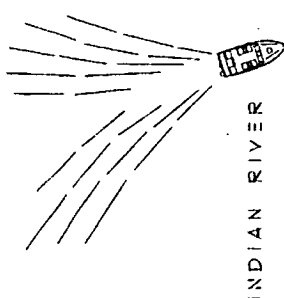
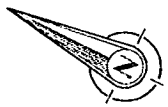
ELEVATION



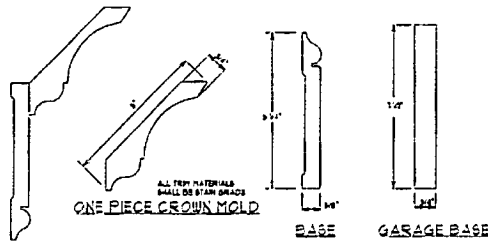
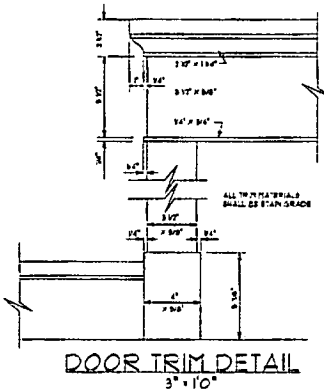
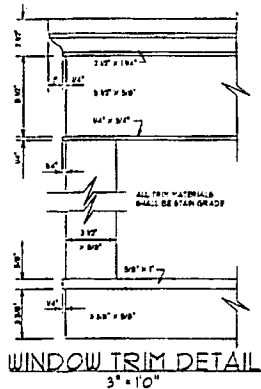
SILT FENCE DETAILS



SITE PLAN
 1/8" = 1'-0"
 PROPERTY DESCRIPTION
 NORTH OF LOT # 10
 PLAT OF AREOLA ACB-07-008
 TOWN OF SEWALL'S POINT, FLORIDA
 SITE INFORMATION TAKEN FROM A SURVEY PREPARED BY
 STEPHEN J. BROWN, INC. JOB # 1907-01-01 DATED 04/20/11

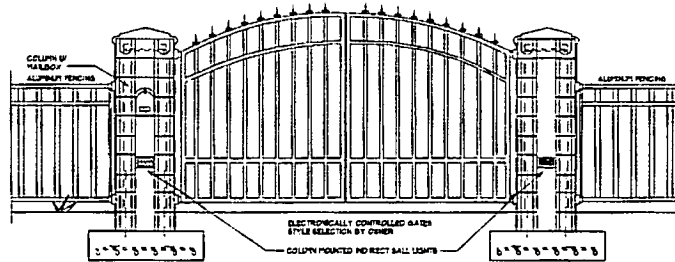
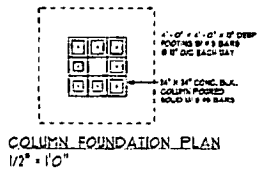


INDIAN RIVER

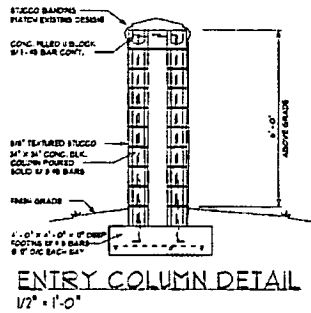


TWO PIECE CROWN MOLD

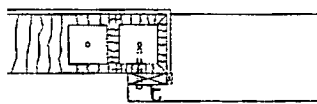
NOTES:
 ALL INTERIOR DOORS WINDOW CASING DOOR CASING HOLDINGS SHALL BE PAINT GRADE UP TO THE EXCEPTION OF THE COVERED CEILING HOLDING IN THE GARAGING ROOM.
 COVERED CEILING HOLDING INTERIOR WALKING TOP (BOTTOM RAILS) SHALL BE STAIN GRADE.
 INTERIOR DOORS SHALL BE FDM PANELED (220 PANEL)



ENTRY GATE COLUMN & RAILING DETAIL
1/2" = 1'-0"



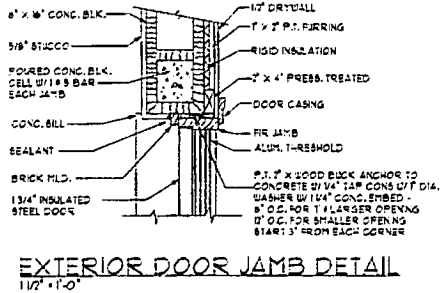
ENTRY COLUMN DETAIL
1/2" = 1'-0"



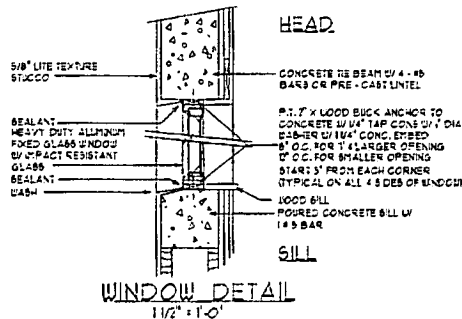
GARAGE DOOR ATTACHMENT

7" x 8" P.I. BOOD BUCK TO CONCRETE
 3" DOOR 7" x 8" P.I. BUCK W/ 1/4" DIA. # 3 CONC. EMBED TAPCON W/ 1/4" DIA. WASHER & 1/4" O.C. # 4 JAMB 18" O.C. # 3 RECEPT START 3" FROM CORNERS
 3" DOOR 7" x 8" P.I. BUCK W/ 1/4" DIA. # 3 CONC. EMBED TAPCON W/ 1/4" DIA. WASHER & 1/4" O.C. # 4 JAMB 18" O.C. # 3 RECEPT START 3" FROM CORNERS
 TRACK BRACKETS TO P.I. BUCK
 1" O.C. JAMB DOOR 18" x 18" 1/4" DIA. ACRES
 1/4" WASHER HEADS SPACED AS REQ'D BY MANUFACTURER AT EACH JOINT

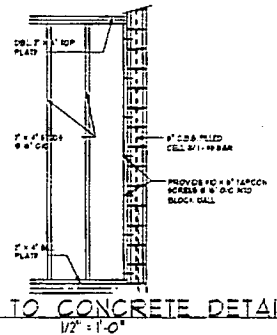
GARAGE DOOR ANCHOR DETAIL
1/2" = 1'-0"



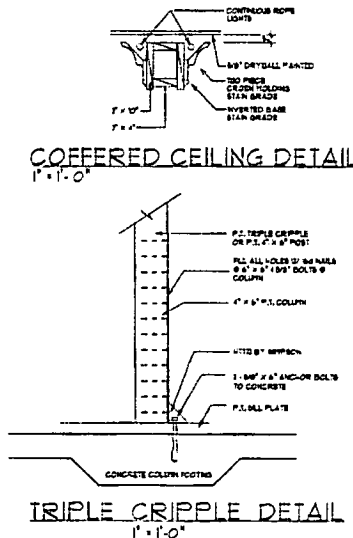
EXTERIOR DOOR JAMB DETAIL
1/2" = 1'-0"



WINDOW DETAIL
1/2" = 1'-0"



FRAME TO CONCRETE DETAIL
1/2" = 1'-0"



TRIPLE CRIPPLE DETAIL
1" = 1'-0"

ROOM NAME	FLOOR	BASE	WALLS	CEILING	HGT.	NOTES
FOUR BAY GARAGE	1st CONCRETE	1/2" x 3/4" BOOD PAINT GRADE	1/2" DRYTALL SMOOTH PAINTED	5/8" DRYTALL SMOOTH PAINTED	8'-1"	
STAIRS						
STAIRS	WOOD	3/4" x 3/4" BOOD STAIN GRADE				DOMED
ELEVATOR EQUIP. ROOM	1st CONCRETE	1/2" x 3/4" BOOD PAINT GRADE				8'-0"
LOBBY Foyer	WOOD	3/4" x 3/4" BOOD STAIN GRADE				
ENTRY PORCH	OUTDOOR NON SLP. TLE	NA	5/8" LITE TEXTURE STUCCO	1" x 1/2" GROOVE CYPRUS	10'-1"	
Foyer	FLR	3/4" x 3/4" BOOD STAIN GRADE	1/2" DRYTALL SMOOTH PAINTED	5/8" DRYTALL SMOOTH PAINTED	10'-0"	
HOLDER ROOM						
LAUNDRY						
KITCHEN						
DINING ROOM						
BATHING ROOM	WOOD				8'-1"	100 STORY COVERED CEILING w/ CROWN HOLDING (STAIN GRADE)
STUDY	WOOD				10'-0"	
STUDY HALL						
STUDY BATH	FLR					
GUEST BATH						
GUEST BEDROOM	WOOD					
JAMBS PORCH	OUTDOOR NON SLP. TLE	NA	5/8" LITE TEXTURE STUCCO	1" x 1/2" GROOVE CYPRUS	10'-0"	
LOFT	WOOD	3/4" x 3/4" BOOD STAIN GRADE	1/2" DRYTALL SMOOTH PAINTED	5/8" DRYTALL SMOOTH PAINTED	8'-1"	
OWNER'S SUITE						100 STORY COVERED CEILING w/ CROWN HOLDING (STAIN GRADE)
OWNER'S BATH	FLR				10'-1"	
OWNER'S HALL	WOOD				8'-1"	
BEDROOM # TWO						
BATH # TWO	FLR					
BEDROOM # THREE	WOOD					
BATH # THREE	FLR					
BEDROOM # THREE H.C.	WOOD					
JAMB DECK	OUTDOOR NON SLP. TLE	NA	5/8" LITE TEXTURE STUCCO	1" x 1/2" GROOVE CYPRUS	8'-0"	



KELLY & KELLY ARCHITECTS
 135 B. W. 873 STREET, STUART, FL. (772) 283-3400



ERISOLL RESIDENCE
 50 SOUTH SEWELL'S POINT ROAD SEWELL'S POINT, FLORIDA

DATE: 28 DEC 11
 3 MAR 17

11111

34 AUG 11

OF NINETEEN



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue ~~Wed~~ ~~Thur~~ Fri 3-7-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10368	Testebo	Service chg	Pass	Cmz FPL
pm 2:30	109N Sewalls Demorest			
				INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10403	50 S. Sewalls	Demorest		
10403	50 S. Sewalls		Pass	
130	Demorest			INSPECTOR <i>A</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

5-29-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
09169	Frisoli 505 Sewalls Driftwood Homes	Final SFR	Pass	ISSUE C.O. INSPECTOR <i>[Signature]</i>
10463	Frisoli 50 S. Sewalls Driftwood Homes	Final Code FRONT EXTERIOR WALL	Pass	<i>[Signature]</i> INSPECTOR
10448	Stern 9 Lantana La Freedom Home	UG Plumbing	Pass	INSPECTOR <i>[Signature]</i>
10386	Pittch 3 Tumor St Flamingo	equipotential bond wire	Pass	INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR

10411

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10411	DATE ISSUED:	APRIL 9, 2013
SCOPE OF WORK:	FENCE		
CONTRACTOR:	A GREAT FENCE		
PARCEL CONTROL NUMBER:	013841001-010-000108	SUBDIVISION	ARBELA - LOT 10
CONSTRUCTION ADDRESS:	50 S SEWALLS PT RD		
OWNER NAME:	FRISOLI		
QUALIFIER:	DARRICK BAILEY	CONTACT PHONE NUMBER:	812-0223

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Date: 04/01/2013 Permit Number: 10411
 OWNER/LESSEE NAME: SCOTT FRISOLI Phone (Day) 772-215-0074 (Fax) N/A
 Job Site Address: 50 S. SEWALL'S POINT ROAD City: SEWALL'S POINT State: FL Zip: 34996
 Legal Description: SEE ATTACHED Parcel Control Number: 01-38-41-001-010-00010-B
 Fee Simple Holder Name: _____ Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** INSTALL 4' TALL 2-RAIL ALUM & 4' TALL BRACED CHAIN LINK

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 2380.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: A GREAT FENCE Phone: 772-812-0223 Fax: 772-408-0272
 Qualifiers name: DANNICK BAILEY Street: 540 NW MERCANTILE PLACE City: PSL State: FL Zip: 34986
 State License Number: N/A OR: Municipality: MARTIN COUNTY License Number: MCFE 5176

LOCAL CONTACT: DANNICK BAILEY Phone Number: 772-812-0223
 DESIGN PROFESSIONAL: N/A Fla. License# _____
 Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical/Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

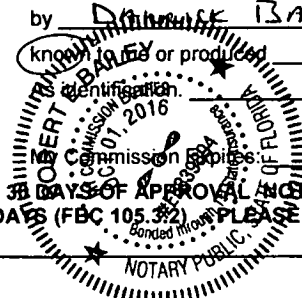
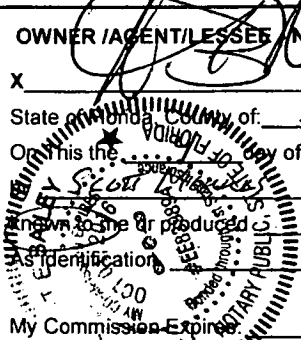
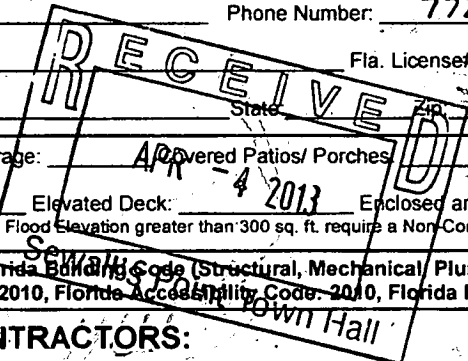
******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER / AGENT / LESSEE / NOTARIZED SIGNATURE: _____
 X _____
 State of Florida, County of: ST LUCIE
 On This the 1 day of April, 2013
 by _____ who is personally
 known to me or produced
 identification.
 Notary Public
 My Commission Expires: 10/01/2016

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE: _____
 X _____
 State of Florida, County of: ST LUCIE
 On This the 1 day of April, 2013
 by DANNICK BAILEY who is personally
 known to me or produced
 identification.
 Notary Public
 My Commission Expires: 10/01/2016

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10411
ADDRESS	50 S SEWALLS PT RD - FRISOLI
DATE 4/9/13	SCOPE OF WORK FENCE

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$	
Total number of inspections (Value < \$200K)@\$100ea		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	2380
Total number of inspections @ \$100.00 each	1		100
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	109

Handwritten signature and date:
 4-10-13
 ve



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

*Need
original
& 2 copies
of drawing*

REVISIONS - CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: APRIL 23, 2013 PERMIT NUMBER: 10411 *Frasoli*

JOB ADDRESS: 50 S. SEWALL'S POINT ROAD

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

****ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING****

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): FENCE NEEDS TO MEET POOL BARRIER REQUIREMENTS
SEE ATTACHED REVISED DRAWING. (2 COPIES) CHANGES ARE CLOUDED

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUES
INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: DANIEL BAILEY SIGNATURE: *[Signature]*
PHONE NUMBER: 772-812-0223 FAX NUMBER: 772-408-0272

FOR OFFICE USE ONLY:

Reviewed by: _____ Date: _____ Approve _____ Deny _____

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

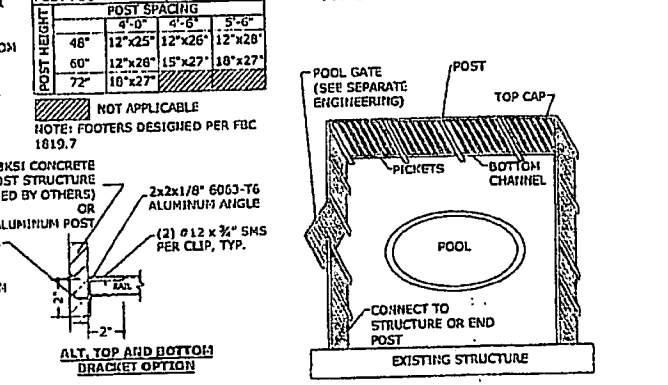
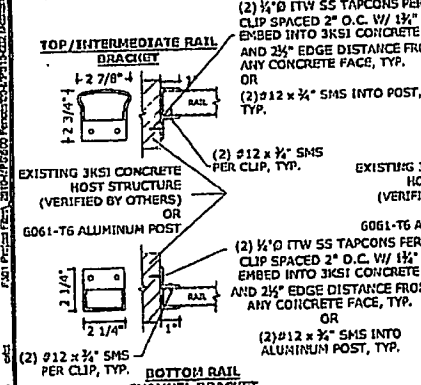
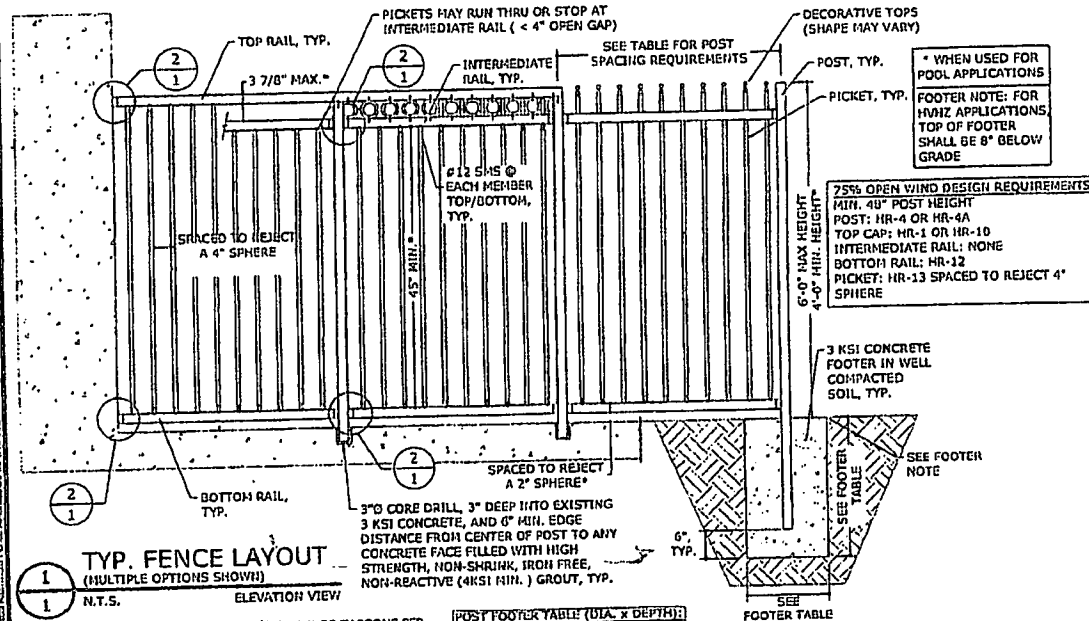
Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ _____

Applicant notified by: _____ Date: _____

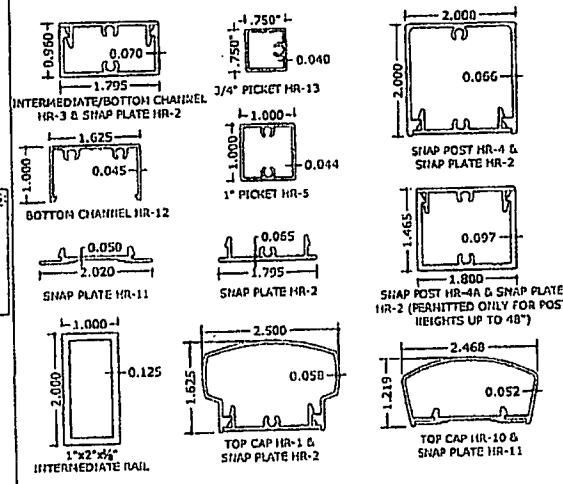
MECHANICAL ALUMINUM FENCE AT GRADE

(NON-STRUCTURAL, DECORATIVE BARRIER, TYPICAL INSTALLATION (GROUND LEVEL ONLY) (HVHZ ONLY)



FENCE EXTRUSIONS

6061-T6 ALUMINUM, EXTRUSION TOLERANCES TO BE PER INDUSTRY STANDARDS



GENERAL NOTES

- THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE.
- DESIGN BASED ON ASCE 7-10 USING $V_w = 115 \text{ MPH}$ / $V_w = 50 \text{ MPH}$ (3 SEC GUST, UP TO 6'-0" WINDH) (HVHZ) EXPOSURE B, RISK CATEGORY I, USING THE "OPEN" METHOD. 70% OPEN USED IN CALCULATIONS.
- THIS FENCE DESIGN IS TO BE USED AT GROUND SURFACE ONLY, WITH USE LIMITED TO DECORATIVE BARRIER PURPOSES ONLY. THIS FENCE IS NOT INTENDED TO MEET CODES GOVERNING ELEVATED BALCONIES OR STRUCTURAL BARRIERS.
- ALL FASTENERS TO BE #12 x 3/4" OR GREATER 2024-T4, 18-8 SERIES 304 NON-MAGNETIC STAINLESS STEEL, OR CADAHMIUM PLATED OR OTHER CORROSION RESISTANT MATERIAL, AND SHALL COMPLY WITH S.I.C.C. SPECIFICATIONS FOR ALUM. STRUCTURES - SECTION 1, THE ALUMINUM ASSOCIATION, INC. & APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- ALL EXTRUDED MEMBERS SHALL BE ALUMINUM ALLOY TYPE 6061-T6 OR BETTER US10.
- ALL CONCRETE SHALL BE UNCRACKED ONLY WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI U.W.C. AND SHALL BE MINIMUM 1.5X THICKER THAN ANY MEMBER ENCLOSING. ALL CORN AND GROUT SHALL MEET OR EXCEED COMPRESSIVE STRENGTH OF THE CONCRETE AND SHALL BE IRON-FREE, NON-SHRINK AND NON-REACTIVE. CONCRETE FOOTERS SHALL CONTAIN MIN 0.1% FRESHEN ADMIXTURE PER CY.
- FOOTER NOTE: FOR HVHZ APPLICATIONS, TOP OF FOOTER SHALL BE 6" BELOW GRADE.
- SURROUNDING SOIL TO BE COMPACTED TO 90% OPTIMUM DENSITY, 2500 PSF RH AND SHALL BE CLASSIFIED OR VERIFIED BY OTHERS PRIOR TO CONSTRUCTION PER FBC 1800.2 AND SHALL BE SANDY GRAVEL CLASS ONLY.
- FOR ALUMINUM ATTACHMENTS ALL ANCHORS SHALL BE SPACED WITH 2X DIAMETER END DISTANCE AND 2.5X DIAMETER END SPACING TO ADJACENT ANCHORS, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIPILAR MATERIALS TO PREVENT ELECTROLYSIS.
- POOL ACCESS GATES WHICH PROVIDED SHALL COMPLY WITH FBC 424.2 AND MUST BE AT LEAST 40" ABOVE GRADE & EQUIPPED WITH A SELF CLOSING, SELF LATCHING LOCKING DEVICE NOT LESS THAN 54" FROM BOT. OF GATE. GATE MUST OPEN OUTWARD AWAY FROM POOL, & MUST HAVE NO OPENING > 1/2" WITHIN 18" OF RELEASE MECHANISM.
- ELECTRICAL GROUND, WHICH REQUIRED, TO BE DESIGNED & INSTALLED BY OTHERS.
- ENGINEER DEAL APPLIED HEREIN VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, R.L.S. INDICATES & SAVES HEREIN THIS ENGINEER FOR ALL COST & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ELECTION, CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THE PLAN.
- THIS DOCUMENT IS GENERIC AND DOES NOT PERTAIN TO ANY SPECIFIC PRODUCT SITE. INFORMATION CONTAINED HEREIN IS BASED ON CONTRACTOR-APPLIED DATA AND MEASUREMENTS. ENGINEERING EXPRESS SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR CONSEQUENCES OR INADEQUATE DATA OR MEASUREMENTS. HELD RESPONSIBLE OR LIABLE TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY. DIMENSIONS ARE GIVEN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY. SIGHTLY, BUT MUST REMAIN WITHIN THE LIMITATIONS SPECIFIED HEREIN. WORK SHALL BE FIELD VERIFIED BY OTHERS PRIOR TO CONSTRUCTION. ENGINEERING EXPRESS SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO REEVALUATE OUR WORK UPON DISCOVERY OF ANY INADEQUATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS, ALTERATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION.
- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.

FRANK L. BEHARDO, P.E., ARCHITECT

DRAWING VALID ONLY WITH ORIGINAL SIGNATURE AND RAISED SEAL. VALID FOR 500FT OF FENCING AT (1) LOCATION PER SEALED DRAWING

95/04/201

VALID FOR (1) LOCATION ONLY PER SEALED DRAWING

ENGINEERING EXPRESS
 160 SW 12TH AVENUE, #106
 DEERFIELD BEACH, FL 33442
 Ph: (561) 354-0850 Fax: (561) 354-0443
 WWW.ENGPXP.COM
 CHIEF OF ENGINEERS
 FRANK L. BEHARDO, P.E., ARCHITECT

MECHANICAL ALUMINUM FENCE AT GRADE MASTER PLAN SHEET
 2010 FLORIDA BUILDING CODE
 ASCE 7-10 - OPEN SIGN METHOD - 70% OPEN

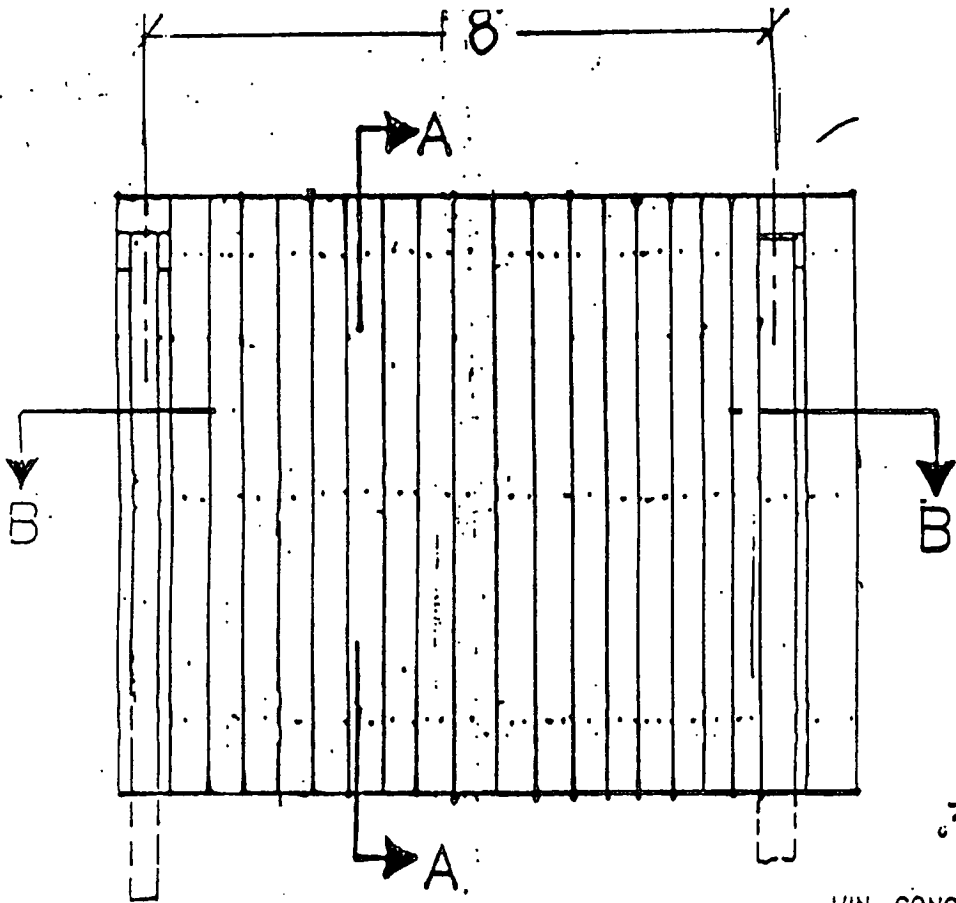
REVISION	DATE	DESCRIPTION

00-MPS10-602

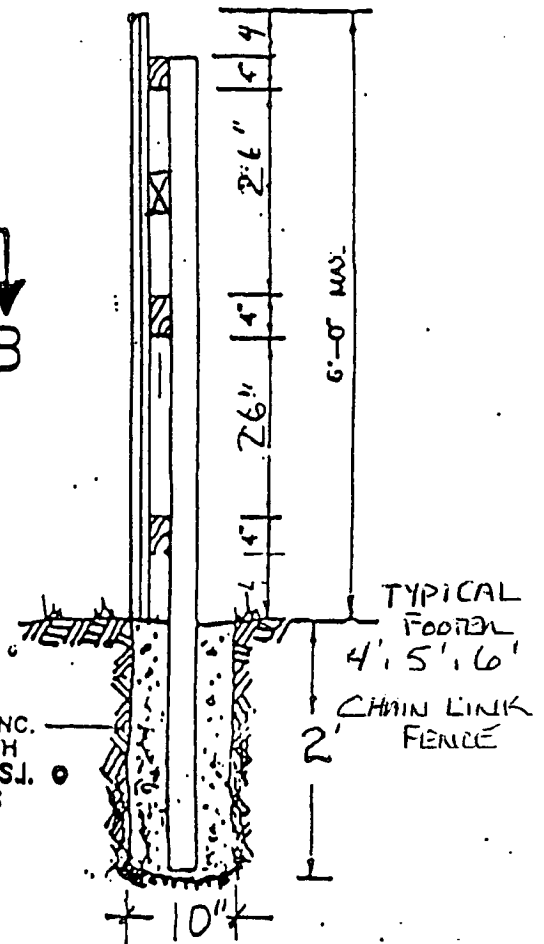
SCALE: 1" = 1'-0"

PAGE DESCRIPTION: 1

1



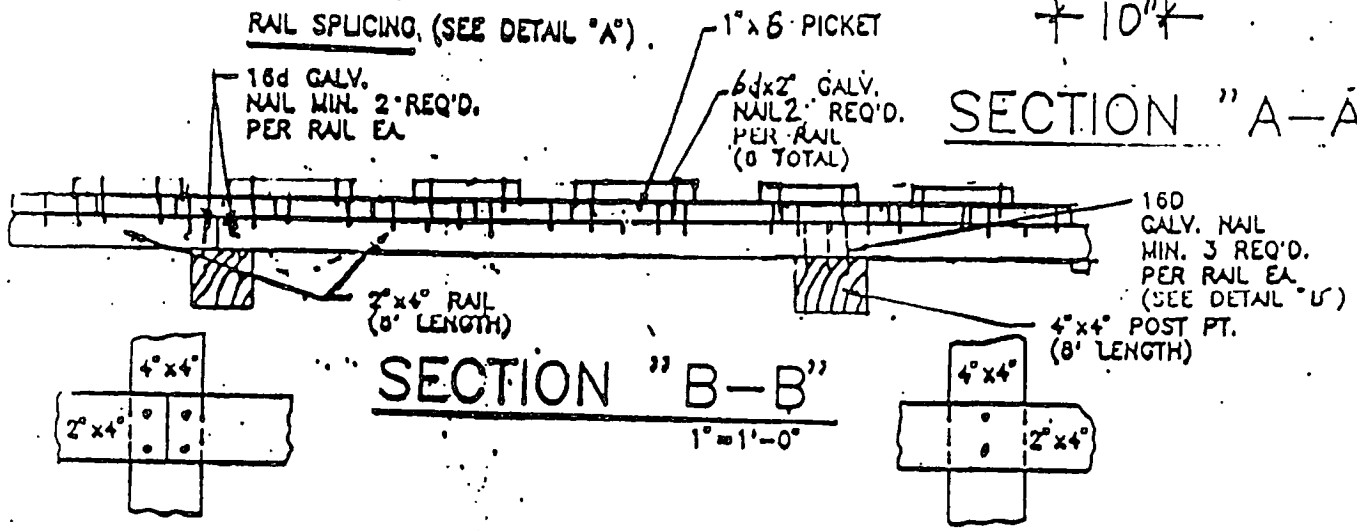
FENCE VIEW
(POSTS FACE INSIDE PROPERTY)



MIN. CONC.
STRENGTH
2500 P.S.I.
28 DAYS

TYPICAL
FOOTER
4'5'6"
CHAIN LINK
FENCE

SECTION "A-A"



RAIL SPLICING, (SEE DETAIL "A")

16d GALV.
NAIL MIN. 2 REQ'D.
PER RAIL EA.

1" x 6" PICKET

6x2 GALV.
NAIL 2" REQ'D.
PER RAIL
(6 TOTAL)

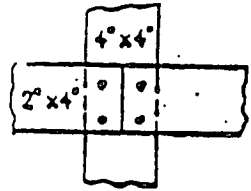
7" x 4" RAIL
(8' LENGTH)

16d
GALV. NAIL
MIN. 3 REQ'D.
PER RAIL EA.
(SEE DETAIL "B")

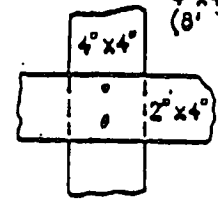
4" x 4" POST PT.
(8' LENGTH)

SECTION "B-B"

1" = 1'-0"



DETAIL "A" (N.T.S.)



DETAIL "B" (N.T.S.)

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-1-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10425	Bartels	dry-in/metal		
PM	3 St Lucie Ct JA Taylor		Pass	INSPECTOR <i>[Signature]</i>
10356	Kuhns	un-progress metal		
	945 River		Pass	<i>[Signature]</i>
	State Ct IF CANCEL 561-198-1980 June			INSPECTOR <i>[Signature]</i>
10415	Smith	UG Electric	1	* E-MAIL FPL
PM	11 Palmetto	Footer S&B	Pass	TEMP POLE
	Ark Homes	Temp Power	✓	INSPECTOR <i>[Signature]</i> ✓
10411	Smith	Fence		
	50 S Sewalls	fence	Pass	<i>[Signature]</i>
	A Great Fence			INSPECTOR <i>[Signature]</i>
10397	Krzepisz	Fence		
	10 Riv Vista	Roof	Pass	Close
	On Shore Roofing			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

CORRESPONDENCE

TOWN OF SEWALL'S POINT

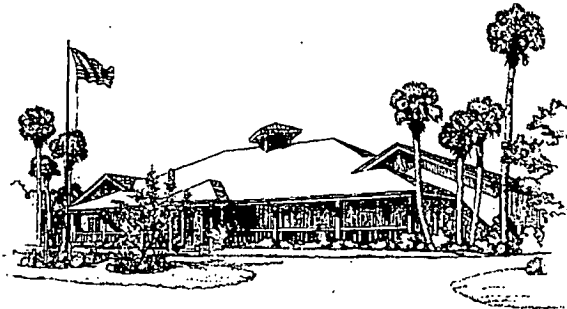
MARK KLINGENSMITH
Mayor

JACQUI THURLOW-LIPPISH
Vice Mayor

PAUL SCHOPPE
Commissioner

PAMELA BUSHA
Commissioner

THOMAS P BAUSCH
Commissioner



ROBERT L. KELLOGG
Town Manager

ANN-MARIE S. BASLER
Town Clerk

ERIC CERNIGLIA
Chief of Police

JOHN R. ADAMS
Building Official

JOSE TORRES
Maintenance

MEMO

DATE: May 24, 2011

TO: ALL DEPARTMENTS, COMMISSIONERS, MAYOR & VICE MAYOR

RE: New Address

FROM: Robert Kellogg, Town Manager

Matt
221-1336

Please be advised that there is a new address for parcel ID# 01-38-41-001-010-00010-8.

This property is located on the Indian River behind 50 S. Sewall's Pt Rd. and north of 52 S. Sewall's Pt Rd. (See attached map).

The address of this parcel is 2 Sewall's Lane.

6-1-11 Mr Fusoli called MRK -
he bought 50 S. S. Rd. also & is
having unity of title - therefore, lot
will be large & address will be
50 S. Sewalls -

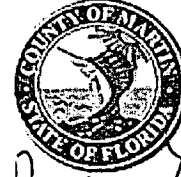




SMART DATA STRATEGIES



Martin County



2 Sewalls Lane

Handwritten scribble



Martin County, Florida Disclaimer
Information deemed reliable but not guaranteed.
Copyright © 2011



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
government.com 1.12

203-276-5330

Summary



Parcel ID
1 of 1

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Parcel Map (To be phased out 6/1/11) →
- Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
01-38-41-001-010-00010-8	17566	2 SEWALLS LN, SEWALL'S POINT	\$429,000	5/28/2011

Owner Information

Owner(Current)	FRISOLI SCOTT
Owner/Mail Address	30 BUXTON FARM RD #300 STAMFORD CT 06905
Sale Date	4/27/2011
Document Book/Page	2516 0013
Document No.	2272660
Sale Price	400000

Location/Description

Account #	17566	Map Page No.	SP-04
Tax District	2200	Legal Description	ARBELA, N 104' OF LOT 10 E OF SEWALL'S PT RD & 4.2' X 33' PT OF LOT 9 ALG S/LN DESC IN OR 856/753
Parcel Address	2 SEWALLS LN, SEWALL'S POINT		
Acres	.7110		

Parcel Type

Use Code	0000 Vacant Residential
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$429,000
Market Improvement Value	\$0
Market Total Value	\$429,000

Searches

- Parcel ID**
- Owner
- Address
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- NEW: Navigator
- Maps →
- Maps (To be phased out 6/1/11) →

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Print First Previous Next Last

Legal Disclaimer / Privacy Statement



Heather Kern

From: Bill Milord [bmilord@milord.com]
Sent: Friday, June 23, 2006 11:42 AM
To: kern@milord.com
Subject: FW: 52 S Sewall's Pt Rd

-----Original Message-----

From: Valerie Meyer [mailto:builddept@sewallspoint.martin.fl.us]
Sent: Tuesday, June 13, 2006 8:52 AM
To: milordcorp@aol.com
Subject: 52 S Sewall's Pt Rd

Dear Heather;

In response to your request regarding the address change on 52 S Sewall's Pt Rd, please be advised that I mentioned this to our Town Clerk and she asked that you forward all the correspondence you have regarding this matter. We feel we have a solution for you -

Please contact me if you have any questions.

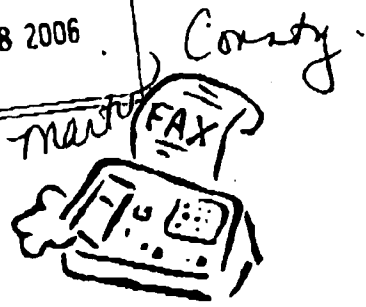
Valerie Meyer
Bldg Dept
Sewall's Point

6/28/2006



*Bill in our...
Phil - inspector
Permit -*

FAXED
JUN 08 2006
BY:



FAX COVER SHEET
Bldg official is now met
the
MILORD
company
CONTRACTORS & ENGINEERS • EST. 1987

Laura no longer there.

Date: 6/8/06

To: ~~Laura~~ Valerie

Company: Jan of Sewall's Point

Fax Number: (772) 220-4765

From: Heather Ken

RE: Sewall's Point Road Parcel 4d #

01-38-41-001-010-00030-4

The last time we spoke in January, you were checking w/ the Property Appraiser's office in regard to our address for the above described parcel. Has anything been done or changed? Just need a 2 Pages to follow (excluding cover sheet) little update for Bill.

If you do not receive all of the pages, please call us at 561-738-1773

Thank you in Advance

3600 South Congress Avenue • Suite 1 • Boynton Beach, FL 33426
Phone (561) 738-1773 • Fax (561) 738-5729 • e-mail: milordcorp@aol.com • www.milord.com

*NOTOWN MGR
NO TOWN BUDG OFF
TOWN CLERK ON VACATION*

Valerie Meyer

From: "Valerie Meyer" <builddpt@sewallspoint.martin.fl.us>
To: <milordcorp@aol.com>
Sent: Tuesday, June 13, 2006 8:52 AM
Subject: 52 S Sewall's Pt Rd

Dear Heather;

In response to your request regarding the address change on 52 S Sewall's Pt Rd, please be advised that I mentioned this to our Town Clerk and she asked that you forward all the correspondence you have regarding this matter. We feel we have a solution for you -

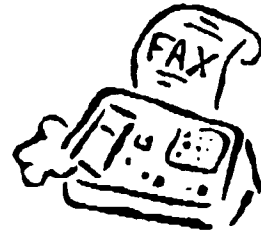
Please contact me if you have any questions.

Valerie Meyer
Bldg Dept
Sewall's Point



FAX COVER SHEET

the MILORD company
CONTRACTORS & ENGINEERS - EST. 1987



*Dewis Property
525-*

Date: 6/8/06

To: Laura/Valerie

Company: Jan of Sewall's Point

Fax Number: (772) 220-4765

From: Heather Kern 52

RE: Sewall's Point Road Parcel 4ld #
01-38-41-001-010-00030-4 (525.SPR)

The last time we spoke in January, you were checking w/ the Property Appraisers' office in regard to our address for the above described parcel. Has anything been done or changed? Just need a ~~0~~ Pages to follow (excluding cover sheet) little update for Bill.

If you do not receive all of the pages, please call us at 561-738-1773

Thank you in Advance



FAX COVER SHEET

the **MILORD** company

CONTRACTORS & ENGINEERS - EST. 1987



Date: 6/28/06

To: Valerie Meyer

Company: Town of Seville's Point

Fax Number: ~~(772)~~ (772) 220-4765

From: Heather Kern

RE: Attached is the backup paperwork that we discussed with you on 6/18/06. Should you have any questions or need anything further, please call me @ the number listed below. Thank you in advance.

10 Pages to follow (excluding cover sheet) also: my direct email address is

If you do not receive all of the pages, please call us at 561-738-1773

Kerne milord.com

Huxley 112-001
3140

CONTACT SHEET

Negotiating fence

DATE: 06/22/2006

NAME OF CONTACT: Saura

NAME OF AFFILIATED COMPANY: Home of Sewall's Point

CALL: INCOMING _____ OUTGOING: 772-287-2455 ext 13

CALL TIME START: _____ CALL END TIME: _____

REASON FOR CALL: _____
Calling about address change - Both Michael & Saura have same address
Saura looked on map & will now talk w/ Gene Simmons & call us back.

Map 50

Riverside = 52

54 already owned

South from road to Riverside

One Ridgeland ^{Drive} Court across from Ridgeland drive

DMS = 2 Ridgeland Court
↳ Identification to strangers
property appraisers
Sometimes people get lost on Court.

TREE

TOWN OF SEWALL'S POINT, FLORIDA

Date 3/26 ~~2003~~ **TREE REMOVAL PERMIT** No. 498

APPLIED FOR BY Barney Majette (Contractor or Owner)

Owner 50 S. Sewall's Point Rd

Sub-division _____, Lot _____, Block _____

Kind of Trees 2 boxwoods

No. Of Trees: REMOVE 2 - growing into house

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty lined box for notes or drawings]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued: _____

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner Barney Majette Address 505 Sewalls Pt Rd Phone 286-7834

Contractor Self Address _____ Phone _____

Number of trees to be removed (list kinds of trees) 2 overgrown boxwoods -
OK to remove growing into
Number of trees to be relocated within 30 days (no fee) (list kinds of trees): hobby, dangerous

Number of trees to be replaced: _____ (list kinds of trees): _____

Permit Fee \$ ~~_____~~
\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant [Signature] Plans approved as marked _____

Approved by Building Inspector [Signature] Date submitted: 3/26/03

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA

See attached Tree Species List



driveway

Scall

Street

TOWN OF SEWALL'S POINT, FLORIDA

Date MAY 9 2005 TREE REMOVAL PERMIT No 2476

APPLIED FOR BY MARLETTE (Contractor or Owner)

Owner 50 S. Sewall's Pt Rd

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 6 1 BANYAN/TREES, 1 NORFOLK PINE

No. Of Trees: RELOCATE 3 WITHIN 30 DAYS (NO FEE) 1 STRUB, 2 QUEEN PALMS

No. Of Trees: REPLACE _____ WITHIN 30 DAYS 1 COCONUT PALM

REMARKS _____

Signed, _____ Applicant

Signed, [Signature] FEE \$ 0
Town Clerk
BUILDING OFFICIAL

Call 287-2455 - 8:00 A.M.-12:00 Noon for inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TOWN OF SEWALL'S POINT

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for notes or drawings]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED
 ST 2/02
 JH

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Brenda Majette Address 50 S. Sewall Pt. Rd. Phone 341-0332

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 6 Type: 1 BANYAN 1 NOR. PINE 1 UNK. IN SHED 2 QUEEN PALMS 1 COCONUT PALM

No. of Trees: RELOCATE 3 WITHIN 30 DAYS Type: 2 QUEEN 1 COCONUT

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

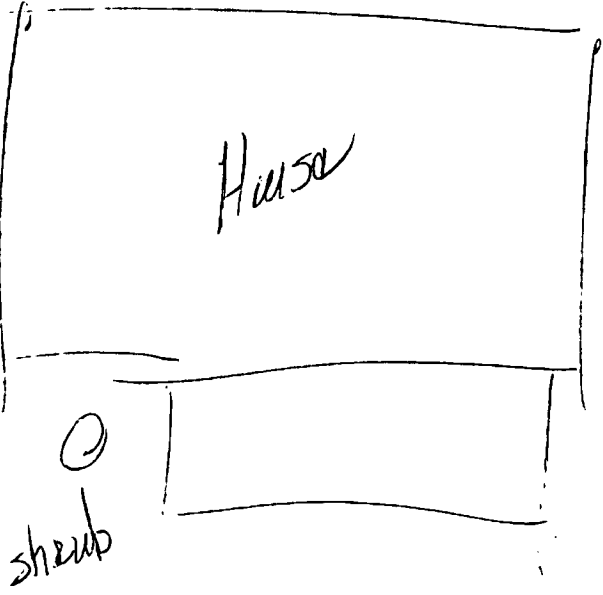
Written statement giving reasons: IN LINE OF WORK FOR DEMO OF HOUSE

Signature of Property Owner [Signature] Date 5-02-05

Approved by Building Inspector: [Signature] Date 5/9 Fee: 15

Plans approved as submitted _____ Plans approved as revised/marked: _____

Road



N ↑

