

76 South Sewall's Point Road

Permit No. # 1068

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED NOV 1 1979

Date 11/1/79

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner GARY B. SCOTT Present address 9 RIVERVIEW DR.Phone 287-2284 JENSEN BEACH, FLAGeneral contractor GARY B. SCOTT Address 1339 E. OCEANPhone 287-8600 STUART, FLAWhere licensed FLA-CERTIFIED G.C. License No. CGC 013406Plumbing contractor SOUTH PARK PLUMBING License No. 0049Electrical contractor MARTIN CO ELEC License No. 086Air-conditioning contractor KRAUSS & CRANE License No. RA 0031984

Describe the building, or alteration to existing building

NEW CONSTRUCTIONName the street on which the building, its front building line and its front yard will face 76 S. SEWALLS POINT RD.Subdivision HOMELAND (AMENDED) Lot No. 2 AreaBuilding area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 2,904Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$101,640.00Cost of permit \$ 540 Plans approved as submitted or, as marked ☒

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor [Signature]

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued, and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the town's zoning ordinance.

Owner [Signature]

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted

Approved by Building Inspector (date) 11/7/79Inspector's initials Jam.Approved by Town Commissioner (date) 8 Nov. 1979Commissioner's initials JegCertificate of Occupancy issued (date) 8/8/80

FRASER ENGINEERING AND TESTING

PHONE: (305) 461-7509

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

Report of DENSITY OF SOIL IN PLACE

ASTM 2167-66

Client: Gary Scott

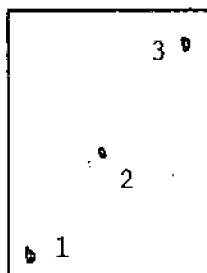
Date: August 17, 1979

Contractor: Client

Site: Lot 2, Block "A"
Homewood Amended Platt
Sewells Point, Florida

Test No.	Location	Elevation	In Place Dry Density	Moisture Density Relationship		Percent Compaction
				Test No.	Max. Dry Density	
26957	Map Location #1	0 - 1'	104.3	26956	101.8	102.5
26958	Map Location #1	1 - 2'	100.7	26956	101.8	98.9
26959	Map Location #2	0 - 1'	103.1	26956	101.8	101.3
26960	Map Location #2	1 - 2'	102.4	26956	101.8	100.6
26961	Map Location #3	0 - 1'	102.2	26956	101.8	100.4
26962	Map Location #3	1 - 2'	100.2	26956	101.8	98.4
All elevations below finish slab grade.						

Copies Client - 2
Sewells Pt. Building Dept. - 1
Indian River



Respectfully submitted,

ALEXANDER H. FRASER, P. E.

FRASER ENGINEERING AND TESTING

3504 INDUSTRIAL 33 RD STREET

FORT PIERCE, FLORIDA - 33450

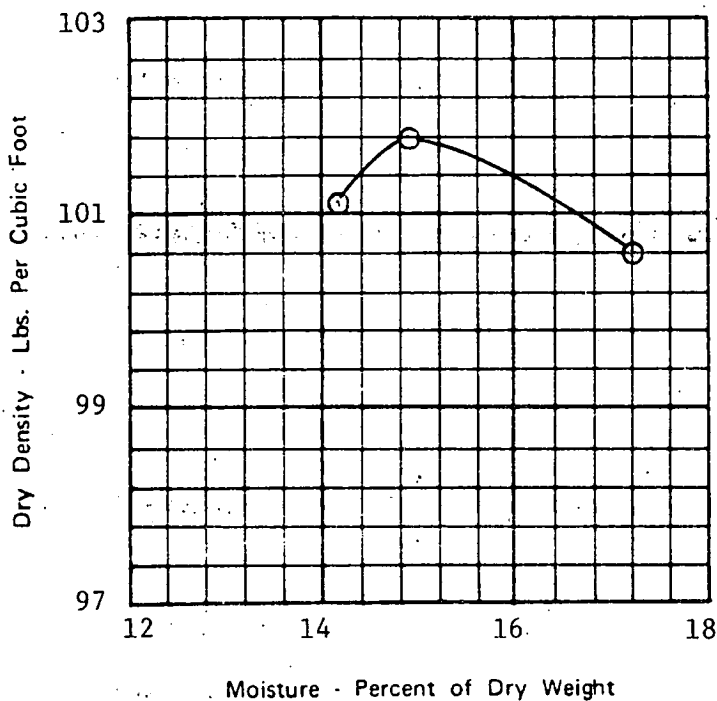
Report
of
MOISTURE DENSITY RELATIONSHIP
ASTM 1557-70

Client: Gary Scott

Date: August 17, 1979

Contractor: Client

Site: Lot 2, Block "A" Homewood Amended Platt
Sewells Point, Florida



Test No.	Test Method	Sample Location	Optimum Moisture %	Max Dry Density-P.C.F.	Soil Description
26956	A	Density Composite	14.9	101.8	Grey fine sand.

Copies Client - 2
Sewells Point Building Dept. - 1

Respectfully submitted,

ALEXANDER H. FRASER, P. E.

Scott 05-23056987

Printed for Lawyers' Title Guaranty Fund, Orlando, Florida

This instrument was prepared by:

350027

Warranty Deed

(STATUTORY FORM — SECTION 689.02 F.S.)

PAUL C. SCHMITT

703 U.S. Highway No. 1
NORTH PALM BEACH, FLORIDA 33403

This Indenture, Made this 20th day of July 1979, Between

THOMAS RAYMOND MUNCY

of the County of Palm Beach, State of Florida, grantor*, and

GARY B. SCOTT

whose post office address is 9 Riverview Drive, Janson Beach, Florida 33457

of the County of Martin, State of Florida, grantee*.

Witnesseth, That said grantor, for and in consideration of the sum of Ten (\$10.00) and no/100 Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 2, Block A, AMENDED PLAT OF HOMEWOOD, according to the Plat thereof filed January 11, 1956 and recorded in Plat Book 3, page 35, Martin County, Florida public records.

Subject to zoning resolutions and building restrictions of public record and restrictions, reservations and easements contained in that certain Deed recorded in O.R. Book 202, page 118, Martin County, Florida public records; and Taxes levied subsequent to December 31, 1978.

THIS PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR HEREIN, NOR DOES THE GRANTOR RESIDE THEREON.

Subject to that certain first mortgage from the Grantees hereof to First Federal Savings and Loan Association of Fort Pierce, dated July 16, 1979, recorded in O.R. Book 476, at page 055, of the Public records of Martin County, Florida securing the original principal sum of \$104,500.00, and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

Paul C. Schmitt
Barbara T. Martine

Thomas Raymond Muncy
THOMAS RAYMOND MUNCY

(Seal)

(Seal)

(Seal)

STATE OF FLORIDA
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments personally appeared

THOMAS RAYMOND MUNCY

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 20th day of July 1979.

My commission expires:

Notary Public, State of Florida at Large
My Commission Expires April 20, 1983
Bonded by American Fidelity Co. with Guaranty

Barbara T. Martine
Notary Public

ST 477 RE 941

Certificate of Insurance



THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER.
THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

NAME AND ADDRESS OF AGENCY

Taylor-Ashley
Box 987
Stuart, Fla. 33494

COMPANIES AFFORDING COVERAGES

COMPANY LETTER **A** South Carolina Ins. Co.

COMPANY LETTER **B**

COMPANY LETTER **C**

COMPANY LETTER **D**

COMPANY LETTER **E**

NAME AND ADDRESS OF INSURED

Gary B. Scott
1339 E. Ocean Blvd.
Stuart, Fla. 33494

This is to certify that policies of insurance listed below have been issued to the insured named above and are in force at this time.

COMPANY LETTER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EXPIRATION DATE	Limits of Liability in Thousands (000)		
					EACH OCCURRENCE	AGGREGATE
A	GENERAL LIABILITY	GLA61 81 71	12/28/79	BODILY INJURY	\$ 300	\$
	<input checked="" type="checkbox"/> COMPREHENSIVE FORM			PROPERTY DAMAGE	\$ 50	\$ 50
	<input type="checkbox"/> PREMISES—OPERATIONS					
	<input type="checkbox"/> EXPLOSION AND COLLAPSE HAZARD					
	<input type="checkbox"/> UNDERGROUND HAZARD					
	AUTOMOBILE LIABILITY	RECEIVED NOV 1 1979		BODILY INJURY (EACH PERSON)	\$	
	<input type="checkbox"/> COMPREHENSIVE FORM			BODILY INJURY (EACH ACCIDENT)	\$	
	<input type="checkbox"/> OWNED			PROPERTY DAMAGE	\$	
	<input type="checkbox"/> HIRED			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	
	<input type="checkbox"/> NON-OWNED					
	EXCESS LIABILITY			BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$	\$
	<input type="checkbox"/> UMBRELLA FORM					
	WORKERS' COMPENSATION and EMPLOYERS' LIABILITY			STATUTORY		
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM				\$	(EACH ACCIDENT)
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES

Cancellation: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

Town of Sewall's Point
Sewall's Point Rd.
Jensen Beach, Fla. 33457

DATE ISSUED: 10/25/79

[Signature]
AUTHORIZED REPRESENTATIVE

STATE OF FLORIDA
Department of Professional And Occupational Regulation
**CONSTRUCTION INDUSTRY
LICENSING BOARD**

SCOTT, GARY B
INDIVIDUAL
CERTIFIED GENERAL CONTRACTOR
HAS PAID THE FEE REQUIRED BY CHAPTER 468
FOR THE YEAR EXPIRING **JUNE 30, 1981**

SIGNATURE

PLEASE READ IMPORTANT

INFORMATION ON REVERSE

GOVERNOR

SECRETARY OF PROFESSIONAL
AND OCCUPATIONAL REGULATION

(WALLET CARD — FOLD HERE)

CONSTRUCTION INDUSTRY LICENSING BOARD
POST OFFICE BOX 2
JACKSONVILLE, FL 32201

AUDIT CONTROL NO.	FILE NO.	BATCH NO.	FEE AMOUNT
251619	CGC013406	0032	\$150.00

RECEIVED NOV 1 1979

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Mr. Scott

Signed

(Keep carbon copy for Town files)

#1415

TOWN OF SEWALL'S POINT FLORIDA

Permit No. _____

Date 8-21-81

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner Glen Krall Present address 76 S Sewall's Point Rd

Phone 576 1771 - 361 6103 Sewall's Point Flg

Contractor Self Address _____

Phone 283-4670 _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: WOOD FENCE 7' HIGH 17' WIDE 23' 6' LONG.

State the street address at which the proposed structure will be built:

76 S Sewall's Point Rd

Subdivision Lucindia Lot No. _____

Contract price \$ 1500.00 Cost of Permit \$ 810 - D.F.

Plans approved as submitted ? Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted

Approved: [Signature] Building Inspector Date 10/13/81

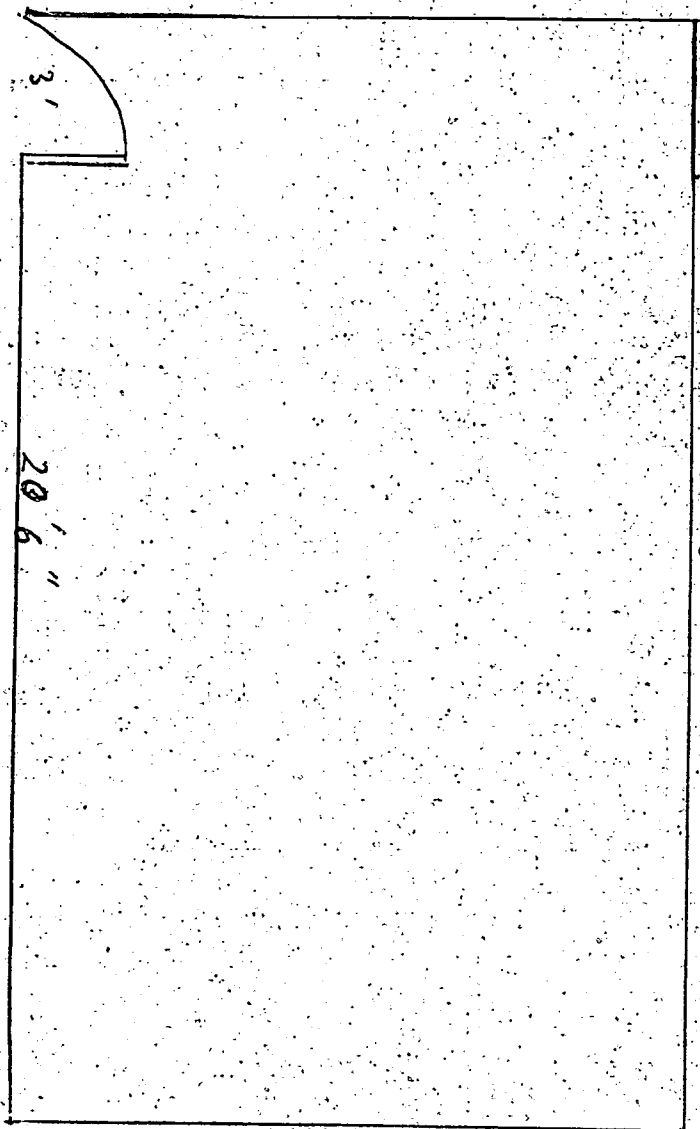
Approved: _____ Commissioner Date _____

Final Approval given: 10/23/81 Date [Signature]

Certificate of Occupancy issued Not Pay Date _____

SP/1-79

#1415



23' 6"

PROPERTY LINE

0' 4"

1504

GARAGE

1504

TOWN OF SEWALL'S POINT FLORIDA

RECEIVED

AUG 26 1982

Date

8/25/82

1504

Permit No. _____

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

This application must be accompanied by three sets of complete plans, to scale, (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house or commercial building construction.

Owner GLEN KALIL Present address 76 S. SEWALLS POINT RD.

Phone 283-7676 JENSEN BEACH, FL 33457

General contractor GARY B. SCOTT Address 1337 E. OCEAN BLVD.

Phone 283-5656 STUART, FL 33494

Where licensed STATE CERTIFIED License No. CGC 013406

Plumbing contractor N/A License No. _____

Electrical contractor N/A License No. _____
Air-conditioning contractor N/A License No. _____
Describe the building, or alteration to existing building Model Energy Efficiency Building Code

CONSTRUCT NEW GARAGE

Name the street on which the building, its front building line and its front yard will face S. SEWALLS POINT RD.

Subdivision HOMEBWOOD Lot No. 2 Block A Area _____

Building area, inside walls (excluding garage, carport, porches, pools, etc.)...square feet 400 S.F.

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$ 5,000.00

Cost of permit \$ 25 Plans approved as submitted ☒ or, as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building for which this permit is issued must be completed within that time and in accordance with the approved plans. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. I agree that the building site will be clean and rough-graded before a Certificate of Occupancy is sought, and, moreover, that I shall be responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply with the above requirements may result in a Building Inspector or a Town Commissioner "Red-tagging" the building project.

Contractor C. B. SCOTT

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood, as required by the Town's zoning ordinance.

Owner X [Signature]

Note: Speculation builders will be required to sign both of the above statements.

TOWN RECORD

Date submitted _____

Approved by Building Inspector (date) 8/27/82 Inspector's initials [Signature]

Approved by Town Commissioner (date) 9/1/82 Commissioner's initials [Signature]

Certificate of Occupancy issued (date) _____

#1504

1543

GARAGE

Permit No. _____

Date 2/8/83

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing setbacks; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner GLEN KALIL Present Address 76 S. SEWALLS POINT RDPhone 283-0877Contractor MERIDIAN DEV., INC.Address 1339 E. OCEAN BLVD.Phone 283-5656Where licensed STATELicense number CG-C 013406Electrical contractor N/A

License number _____

Plumbing contractor N/A

License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: NEW GARAGE

State the street address at which the proposed structure will be built:

76 S. SEWALLS POINT RD.Subdivision HOMELANDLot number LOT 2 Block number AContract price \$ 9,000.00Cost of permit \$ 45.00 90.00

Plans approved as submitted _____

Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor C. J. Smith

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner _____

TOWN RECORD _____

Date submitted 2/9/83Approved: J. MazzuccaDate 2/11/83Approved: J. C. Stralder

Commissioner

Date

Final Approval given: 2/14/83

Date

Certificate of Occupancy issued (if applicable) _____

Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

1543

Permit No. 1900Date 3-11-86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner DAVID & CAROL MILLER Present Address 76 S. SEWALL'S POINT ROADPhone 288-1126 ~~STUART~~ STUART FL 33494Contractor LOUDEN BONDED POOLS Address 4306 S. U.S. 1 FT. PIERCE FLPhone 286-5760 33450Where licensed STATE & COUNTY License number CPCO 11241Electrical contractor LEONARD ELEC. License number 00181Plumbing contractor License number Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: POOL, SPA, & DECK

State the street address at which the proposed structure will be built:

76 SEWALL'S POINT ROADSubdivision HOMEWOOD Lot number 2 Block number AContract price \$ 12,183⁰⁰ Cost of permit \$ 75⁰⁰Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor LOUDEN BONDED POOLS

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner David T. MillerTOWN RECORD 3/31/86Date submitted 3/24/86Approved: 3/24/86Building Inspector GC Strubell

Date

Approved:

Commissioner

Date

Final Approval given:

Date

Certificate of Occupancy issued (if applicable)

Date

SP1282

Permit No.

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2782

REMODEL

Permit No. _____

Date _____

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. & MRS. PETER HUBBARD Present Address 1550 N.E. OCEAN BLVD.Phone 225 - 2927 STUART FLA.Contractor SUN COUNTRY CONST. INC. Address 1147 S.W. 33RD ST.Phone 287-7066Palm CityWhere licensed STATE OF FLORIDA License number CBC 014631Electrical contractor COOK ELECTRIC License number 00152Plumbing contractor MASTER PLUMBING License number RF003 6357Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REMODEL INTERIOR76 SOUTH SEWALLS POINT ROAD

State the street address at which the proposed structure will be built:

Subdivision HOMEBWOOD 2 Lot number Block number AContract price \$ 50,000.⁰⁰ Cost of permit \$ 400.⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor James F. Clarkfor Sun Country Const. Inc.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner C. Hubbard

TOWN RECORD

Date submitted _____

Approved: Dale Brown 5/25/90

Building Inspector

Date

Approved: _____

Commissioner

Date

Final Approval given: _____

Date

Certificate of Occupancy issued (if applicable) _____

Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 10/29/90

This is to request that a Certificate of Approval for Occupancy be issued to Mr. Hubbard
For property built under Permit No. 2782 Dated 5/25/90 when completed in
conformance with the Approved Plans.

Signed James F. Clark

Approved by

Item	
1. LOT STAKES/SET BACKS	
2. TERMITE PROTECTION	
3. FOOTING - SLAB	<u>7/26/90</u>
4. ROUGH PLUMBING	<u>6/15/90</u>
5. ROUGH ELECTRIC	<u>8/20/90</u>
6. LINTEL	
7. ROOF	
8. FRAMING	<u>8/20/90</u>
9. INSULATION	<u>8/21/90</u>
10. A/C DUCTS	<u>8/30/90</u>
11. FINAL ELECTRIC	<u>10/29/90</u>
12. FINAL PLUMBING	<u>10/29/90</u>
13. FINAL CONSTRUCTION	<u>10/29/90</u>

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 10/29/90 date

Approved by Building Commissioner [Signature] date

Utilities notified No Call date

Original Copy sent to OWNER

(Keep carbon copy for Town files)

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

OWNER Mr & Mrs Peter Hubbard
CONTRACTOR Sun Country Const Inc
LOT 2 BLOCK _____ SUB Hamewood
NO. 76 SSPR

TOWN OF SEWALL'S POINT BUILDING PERMIT

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION		
3. FOOTING - SLAB	<u>Slab OK 7/24/90 DB</u>	
4. ROUGH PLUMBING	<u>OK 6/15/90 DB</u>	
5. ROUGH ELECTRIC	<u>OK 8/20/90 DB</u>	
6. LINTEL		
7. ROOF		
8. FRAMING	<u>OK 8/20/90 DB</u>	
9. INSULATION	<u>OK 8/20/90 DB</u>	
10. A/C DUCTS	<u>OK 8/20/90 DB</u>	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

DO NOT REMOVE UNTIL JOB IS COMPLETED

NO 2782 DATE ISSUED 5/25/90

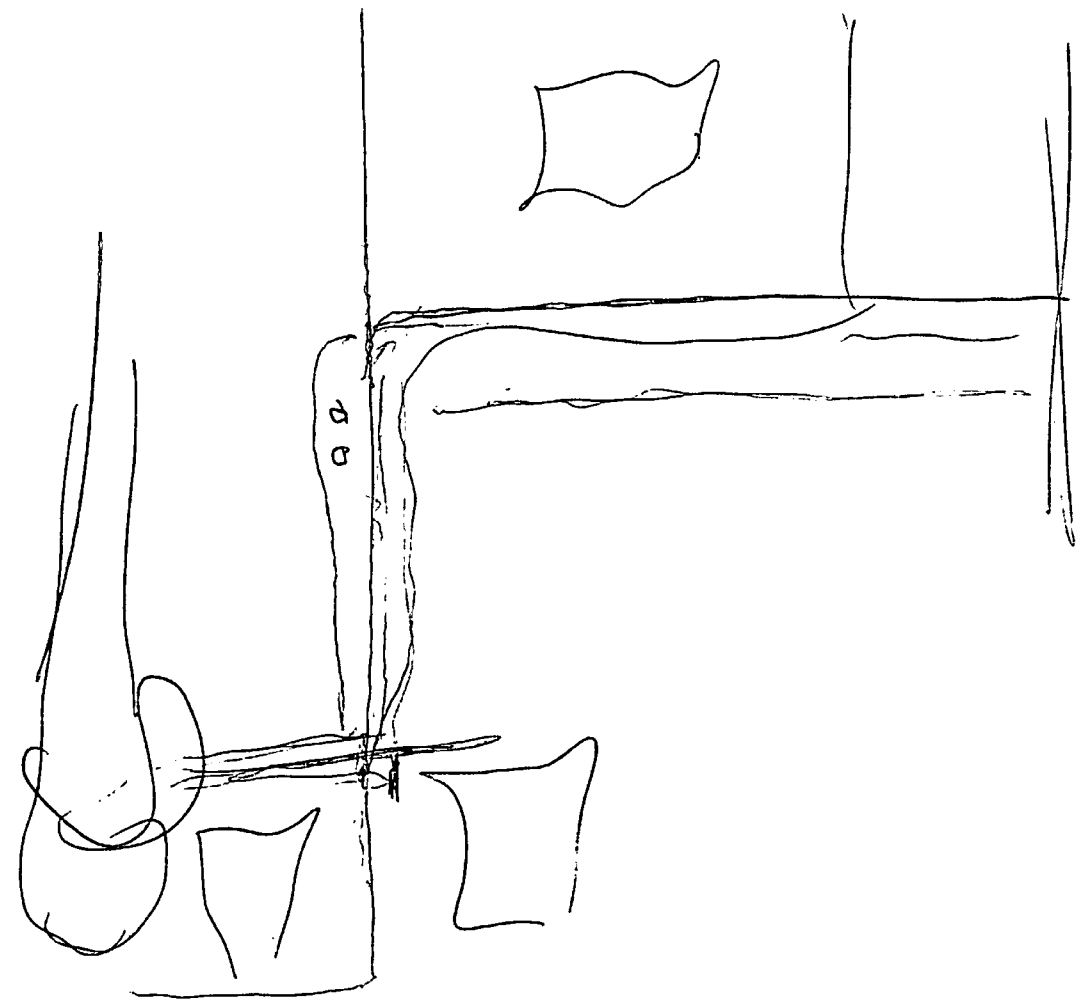
Call 287-2455 From 8:00 A.M. - 12:00 Noon and
1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

- REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.
- WORKING HOURS ARE FROM 8:00 TO 5:00 P.M. MONDAY THRU SATURDAY.

TO CONSTRUCT

Rem House

REMARKS:



2813

REROOF

Permit No. _____

Date 7/10/90

2813
APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a site plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner PETER HUBBARD Present Address 1147 S.W. 33rd ST.

Phone 287-7066 PALM CITY, FL 33490

Contractor WILFRAM CONST. Address 9027 S.E. PINES LN HOBE SOUND

Phone 546-6579 FL. 33458

Where licensed MARTIN CO License number SP 00624

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: REMOVE ENTIRE ROOF

State the street address at which the proposed structure will be built:

76 S. SEWALLS POINT Rd. STUART, FL.

Subdivision Primary Permit # 2787 HOBBSWOOD Block number _____

Contract price \$ 18,088.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Ronald J. White

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Peter Hubbard

TOWN RECORD

Date submitted _____ Approved: Pete Brown 7/10/90

Building Inspector Date

Approved: _____ Commissioner Date Final Approval given: _____

Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Date:
re:
Sun
Country
Const.



V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

754 JENSEN BEACH BLVD. JENSEN BEACH, FL 34957 (407) 334-2600

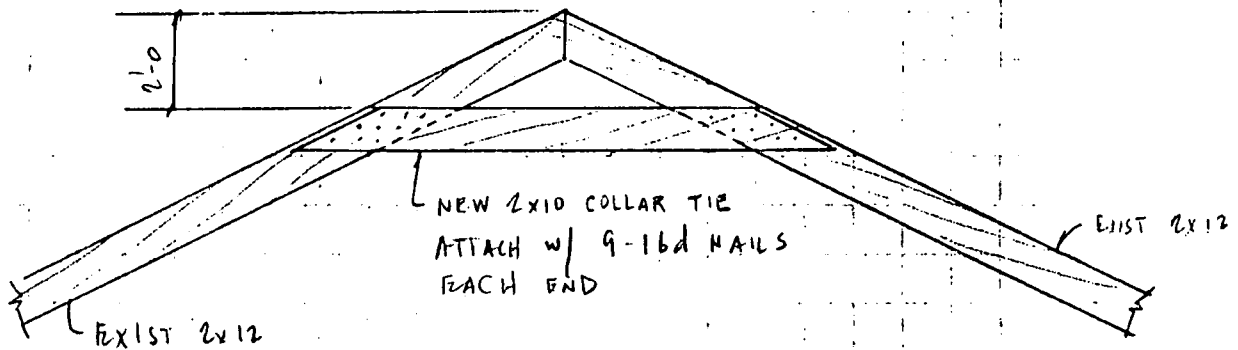
BY V. J. GERLEY DATE 6-18-90

SHEET 1 OF 2

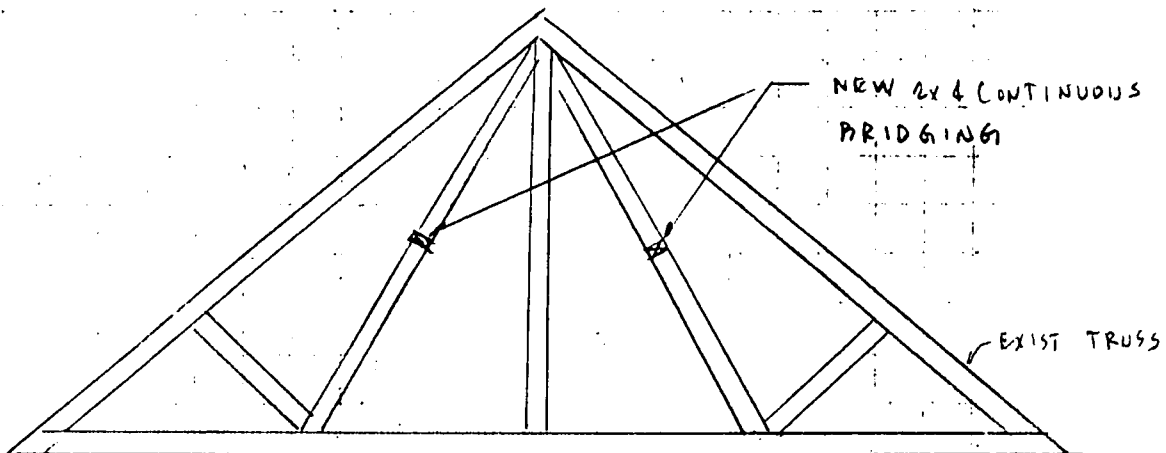
PROJECT HUBBARD RESIDENCE 76. SO. SEWARD'S PT. ROAD

SUBJECT ROOF FRAMING MODIFICATIONS

Sun Country CONST.



DET 'A'



DET 'B'

6-18-90

V. J. GERLEY & ASSOCIATES
CONSULTING ENGINEERS

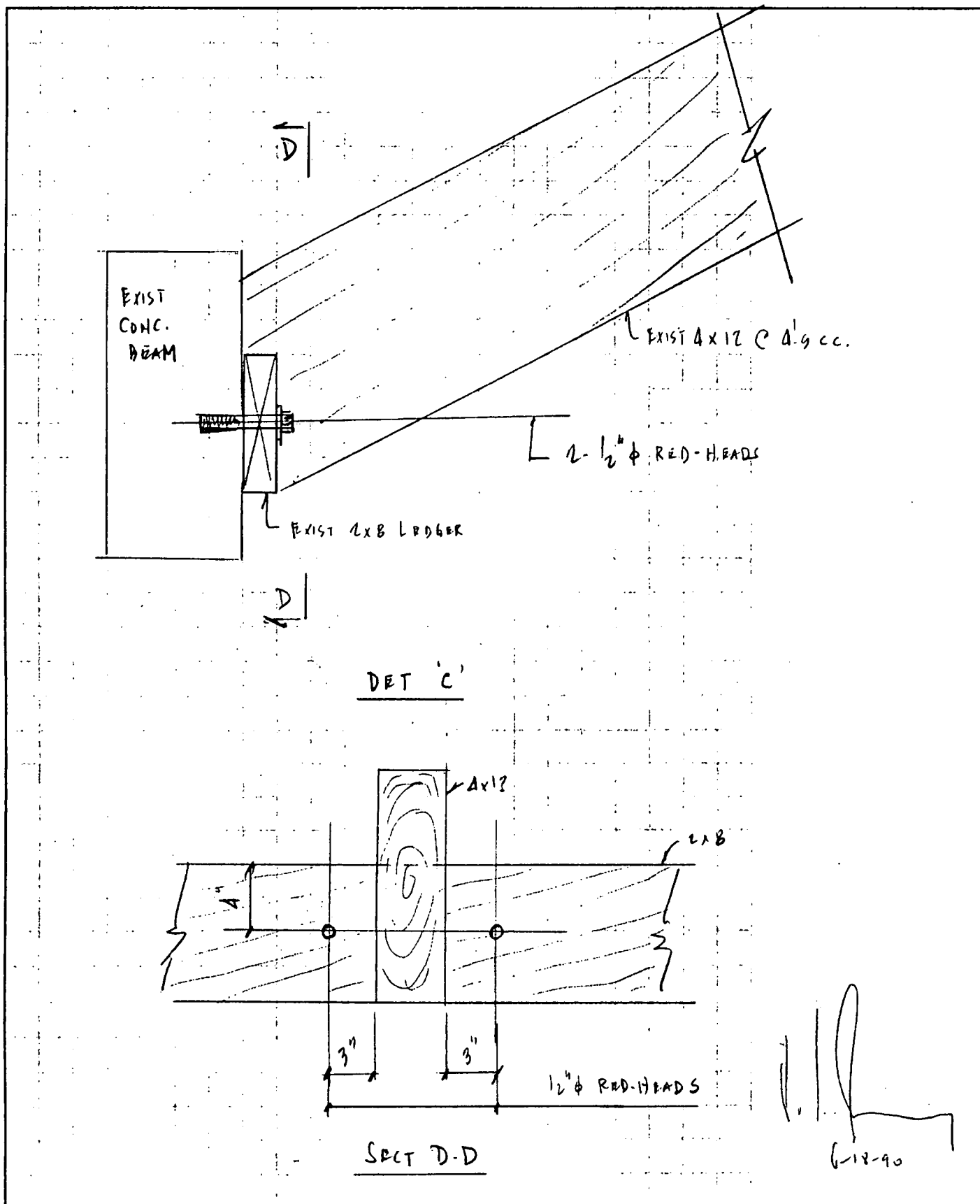
754 JENSEN BEACH BLVD. JENSEN BEACH, FL 34957 (407) 334-2600

BY V. J. GERLEY DATE 6-18-90

SHEET 2 OF 2

PROJECT HUBBARD RESIDENCE

SUBJECT 4x12 SUPPORT MODIFICATION



2884

SOLAR HEAT

Permit No. _____

Date 11-13-90

APPLICATION FOR PERMIT TO BUILD A DECK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner PETER HUBBARD Present Address 76 S. Sewall's Pt. Rd.

Phone _____

Contractor SOLAR ELECTRIC Sys. Address 1244 Bell Ave.Phone 407-288-0442 FT. PIERCE, FL.Where licensed ST. OF FLA. License number CW CO 43078

Electrical contractor _____ License number _____

Plumbing contractor _____ License number 86-520-025Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SOLAR POOL HEATING Sys.

State the street address at which the proposed structure will be built:

76 S. Sewall's Pt. Rd.Subdivision Homewood Lot number 2 Block number AContract price \$ 2800.00 Cost of permit \$ _____Plans approved as submitted on file Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Robert J. Jolliffe

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Francis Hubbard

TOWN RECORD

Date submitted _____ Approved: _____
Building Inspector _____ Date _____Approved: _____ Final Approval given: _____
Commissioner _____ Date _____ Date _____Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2890

SCREEN ENCLOSURE

Permit No.

Date

2890
 APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner PETE HUBBARD Present Address 1550 N/E OCEAN
 Phone 288-3992 OR 225-2927
 Contractor J & K ALUMINUM Address 3110 SLATER ST STUART FLA
 Phone 283-1297
 Where licensed MARTIN COUNTY License number SPA 00122
 Electrical contractor — License number —
 Plumbing contractor — License number —

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SCREEN FENCE

76 S. SEWELLS PT & RD SEWELLS POINT
 State the street address at which the proposed structure will be built:

Subdivision SEWELLS PT Lot number 2 Block number —
 Contract price \$ 3,000 Cost of permit \$ —
 Plans approved as submitted — Plans approved as marked —

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-taping" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted — Approved: [Signature] Building Inspector Date —

Approved: — Commissioner Date — Final Approval given: — Date —

Certificate of Occupancy issued (if applicable) — Date —

SP1282

Permit No. —

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

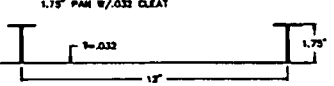
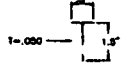
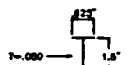
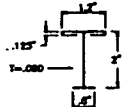
MARCH 1988

TREASURE COAST CHAPTER, INC
OF THE ALUMINUM ASSOCIATION
OF FLORIDA


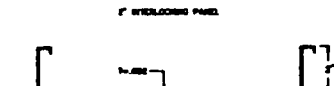



PREPARED BY:

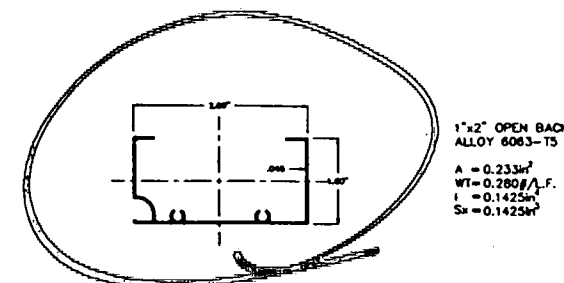
NASH ENGINEERING, INC.
810 SATURN ST. SUITE 16
JUPITER, FLORIDA 33477
(305)747-7254

ROOF PAN (ALLOY 3003 H-18)		PAN THICKNESS	SX	MAX. SPAN @ WIND VELOCITIES SHOWN		
1.75" PAN W/ .032 CLEAT				100MPH	110MPH	120MPH
		.032	.238in ³			10'
CLEAT ALTERNATIVES FOR 1-3/4" PAN						
T-BAR		.032				11'
T-BAR		.032				11'
EXTRUDED T CLEAT		.032				13'

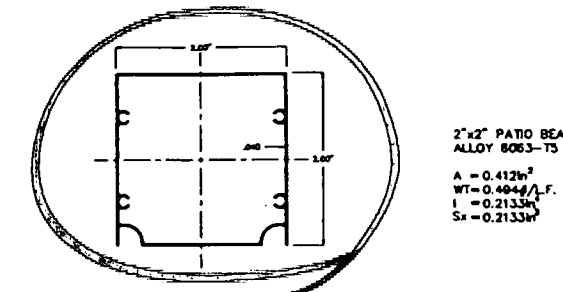
NOTE:
PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

ROOF PAN (ALLOY 3003 H-18)		PAN THICKNESS	SX	MAX. SPAN @ WIND VELOCITIES SHOWN		
2" INTERLOCKING PANEL				100MPH	110MPH	120MPH
		.024	.450in ³			13'-4"
		.032	.608in ³			15'-6"
		.032	.348in ³			11'-0"

NOTE:
PANS MAY OVERHANG 1/3 OF SIMPLE SPAN. SPANS MAY BE INCREASED 2% FOR EACH 12" OF OVERHANG UP TO 3'-0". CONSULT AN ENGINEER FOR GREATER OVERHANG.

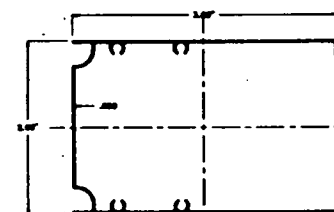


SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	6'-6"	7'-4"	4'-6"	4'-0"
4'	7'-4"	8'-2"	5'-10"	5'-8"
5'	8'-7"	9'-2"	7'-6"	7'-2"
6'	9'-0"	10'-0"	8'-2"	7'-10"
7'	10'-6"	11'-8"	9'-2"	8'-8"
8'	11'-2"	12'-4"	10'-0"	9'-6"
9'	12'-10"	13'-2"	11'-8"	10'-4"
10'	13'-6"	14'-0"	12'-6"	11'-2"



SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	10'-5"	8'-8"	5'-8"	5'-0"
4'	9'-0"	7'-8"	4'-8"	4'-4"
5'	8'-0"	6'-8"	4'-3"	3'-10"
6'	7'-4"	6'-2"	3'-10"	3'-6"
7'	6'-10"	5'-6"	3'-8"	3'-4"
8'	6'-4"	5'-4"	3'-4"	3'-0"
9'	6'-0"	5'-0"	3'-2"	2'-11"
10'	5'-8"	4'-8"	3'-0"	2'-9"

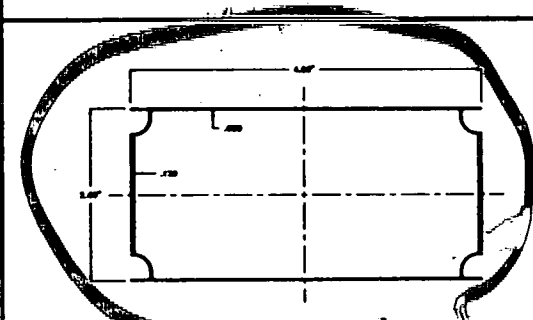
CLEATED ROOF PANS



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	16'-5"	13'-9"	8'-8"	8'-0"
4'	14'-3"	11'-11"	7'-6"	6'-11"
5'	12'-9"	10'-8"	6'-9"	6'-2"
6'	11'-8"	9'-9"	6'-2"	5'-7"
7'	10'-9"	9'-1"	5'-8"	5'-2"
8'	10'-1"	8'-5"	5'-4"	4'-10"
9'	9'-6"	7'-11"	5'-0"	4'-7"
10'	9'-1"	7'-8"	4'-9"	4'-4"

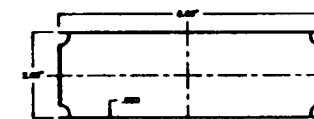
INTERLOCKING ROOF PANS



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	25'-0"	20'-11"	13'-3"	12'-0"
4'	21'-8"	18'-1"	11'-5"	10'-5"
5'	19'-4"	16'-2"	10'-3"	9'-4"
6'	17'-8"	14'-9"	9'-4"	8'-6"
7'	16'-4"	13'-8"	8'-8"	7'-11"
8'	15'-3"	12'-10"	8'-0"	7'-4"
9'	14'-4"	12'-0"	7'-8"	7'-0"
10'	13'-8"	11'-5"	7'-3"	6'-7"

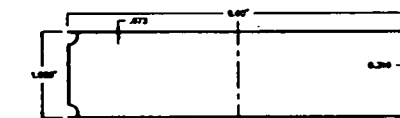
1"x2" OPEN BACK



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	37'-10"	31'-8"	20'-0"	18'-3"
4'	32'-9"	27'-5"	17'-4"	15'-10"
5'	29'-4"	24'-8"	15'-6"	14'-2"
6'	26'-8"	22'-5"	14'-2"	12'-11"
7'	24'-9"	20'-8"	13'-1"	12'-0"
8'	23'-2"	19'-5"	12'-3"	11'-2"
9'	21'-10"	18'-3"	11'-6"	10'-8"
10'	20'-8"	17'-4"	11'-0"	10'-0"

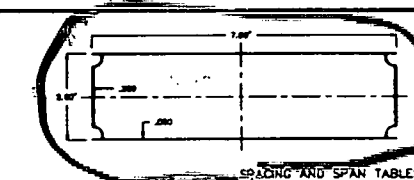
2"x2" PATIO BEAM



MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACING

SPACING	3'	4'	5'	6'	7'	8'
5'-0"	---	---	57'-6"	50'-0"	48'-8"	47'-0"
6'-0"	---	---	---	---	---	45'-8"

2"x9" SELF MATING BEAM



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7# PER S.F.	SCREEN WALL 10# PER S.F.	SOLID WALL 25# PER S.F.	SOLID ROOF 30# PER S.F.
3'	48'-4"	41'-4"	28'-2"	23'-10"
4'	42'-9"	35'-9"	22'-8"	20'-6"
5'	38'-3"	32'-0"	20'-3"	18'-5"
6'	35'-0"	29'-2"	18'-5"	16'-10"
7'	32'-4"	27'-0"	17'-1"	15'-7"
8'	30'-5"	25'-3"	16'-0"	14'-7"
9'	28'-6"	23'-10"	15'-0"	13'-9"
10'	27'-0"	22'-8"	14'-4"	13'-0"

2"x3" PATIO BEAM

2"x4" SELF MATING BEAM

2"x6" SELF MATING BEAM

2"x7" SELF MATING BEAM

DATE	BY	DESCRIPTION
4-8-88	JC	MOVED DETAILS AROUND ON ALL 3 PAGES
4-25-88	JCL	ADDED SPAN DEFINITION SHOTS

REVISIONS

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

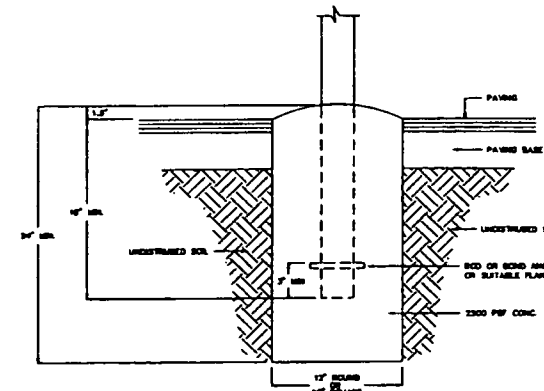
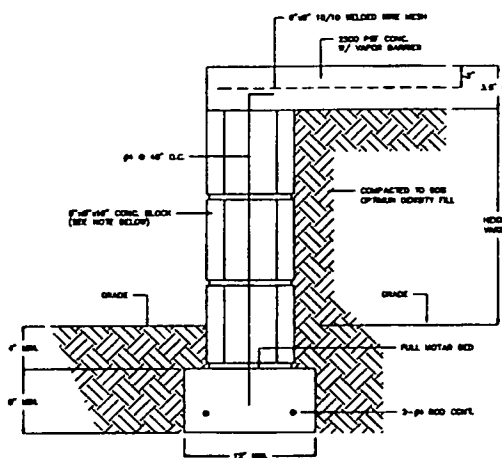
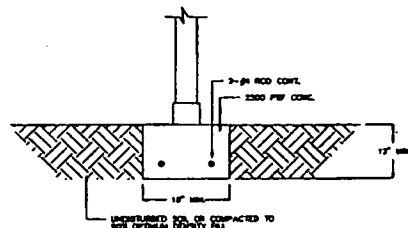
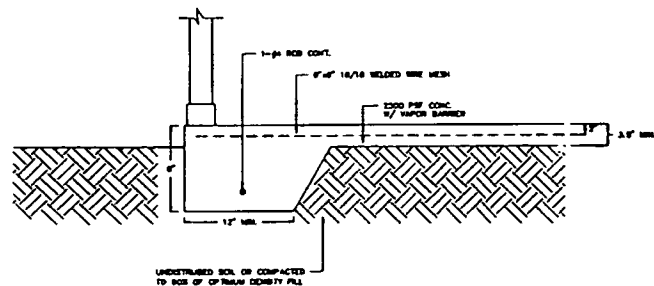


ALUMINUM CONSTRUCTION
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	MARCH 1988
JOB NO.	68010

SEAL
4/27/88

SHEET
1
OF FIVE SHEETS



(NEW) SLAB ON GRADE

ALUMINUM SCREEN ROOMS, GLASS ROOMS, PATIO COVERS AND CARPORTS

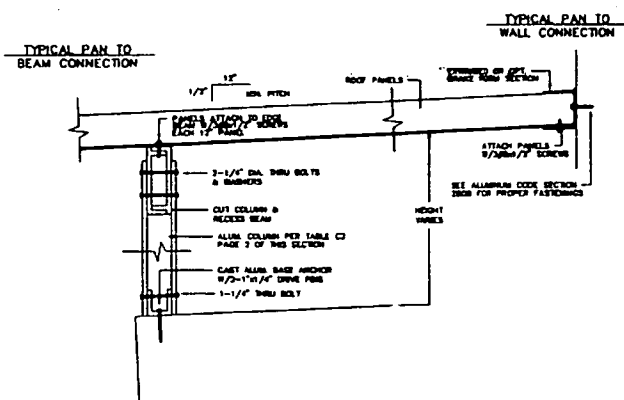
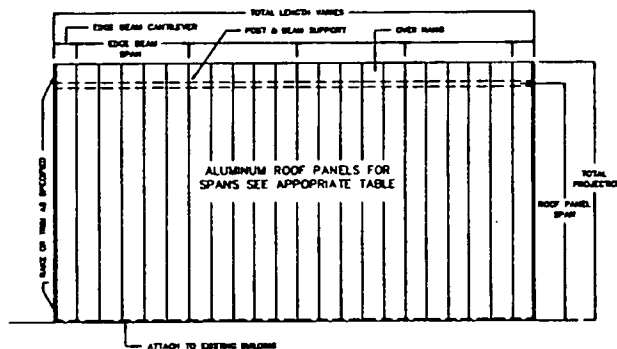
CONTINUOUS WALL FOOTING












FOR ALUMINUM ENCLOSURES WITH SOLID ALUMINUM ROOFS

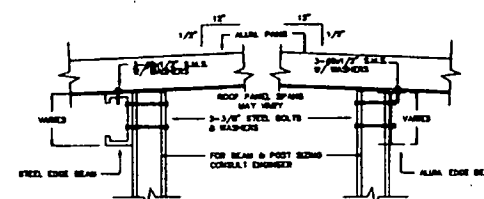
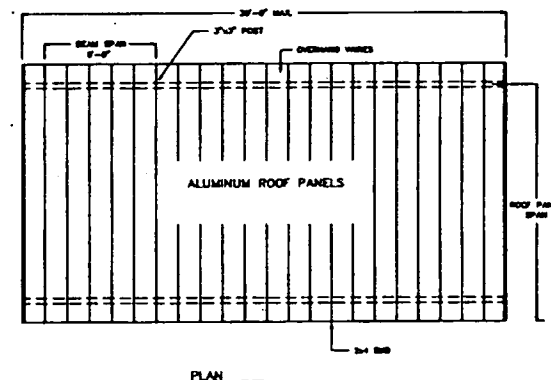
RAISED SLAB

WITH 8\"/>

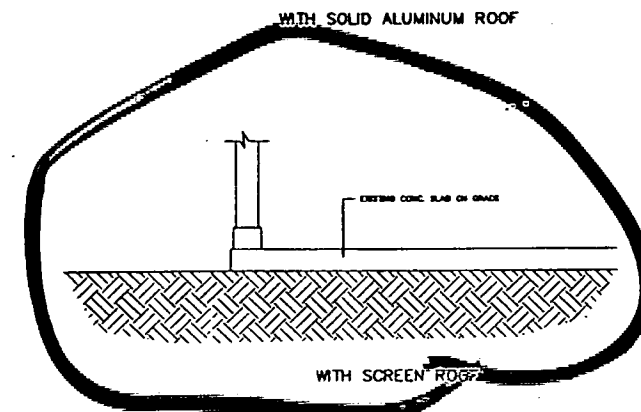
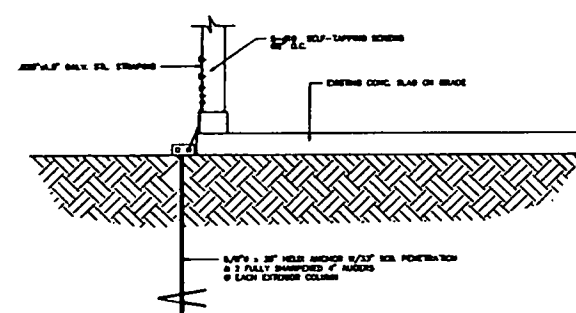
PIER TYPE FOOTING



BEAM SIZE AND SHAPE	MAXIMUM CLEAR BEAM SPANS CONT. EDGE BEAM FOR ROOF SPANS BELOW					TYPICAL POST SIZE & NO. OF BASE ANCHORS
	10'	12'	14'	15'	16'	
 2"x2"x840"	4'-10"	4'-2"	4'-0"	3'-11"	3'-10"	1 2"x2"x840" POST 8/32" DIA. ANCHORS
 2"x3"x840"	5'-0"	5'-10"	5'-0"	5'-2"	5'-0"	
 1.5"x3"x840"	5'-0"	5'-0"	4'-0"	4'-0"	4'-2"	
 2"x4" S.A. BEAM	10'-0"	9'-1"	8'-0"	8'-2"	8'-0"	2"x3"x840" OR 2"x4" POST 8/32" DIA. OF 3-375 BOLTS (100 4-35" BOLTS
 2"x4" S.A. BEAM 9/32" DIA.	12'-0"	11'-0"	10'-1"	9'-0"	8'-0"	
 2"x6" S.A. BEAM	12'-2"	12'-1"	11'-2"	10'-2"	10'-0"	
 2"x7" S.A. BEAM	20'-0"	18'-2"	17'-0"	16'-0"	16'-0"	
 2"x7" S.A. BEAM 9/32" DIA.	22'-0"	19'-10"	18'-2"	16'-0"	15'-0"	
 2"x7" I BEAM	17'-0"	16'-0"	14'-10"	14'-0"	14'-0"	2"x3" POST 8/32" DIA. OF 3-375 ANCHOR BOLTS 4-35" ANCHOR BOLTS
 2"x7" I BEAM 9/32" DIA.	16'-2"	14'-0"	13'-0"	12'-2"	12'-0"	
 2"x8" I BEAM 9/32" DIA.	20'-0"	18'-1"	16'-10"	16'-2"	15'-0"	



NOTE: FOR BEAM & POST SIZING CONSULT ENGINEER SEE THIS SHEET, CARPORT (ATTACHED), FOR DETAILS



CARPORT

(ATTACHED)

EDGE BEAM & POST SPAN TABLE C-1

(ATTACHED ROOFS ONLY)

CARPORT

(FREE STANDING)

EXISTING SLAB ON GRADE

(ALL ALUMINUM CONSTRUCTION ENCLOSURE)

DATE	BY	DESCRIPTION
3-24-88	JC	DETAILS 2-1, 2-2, 2-3, 2-4 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION SHITS
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

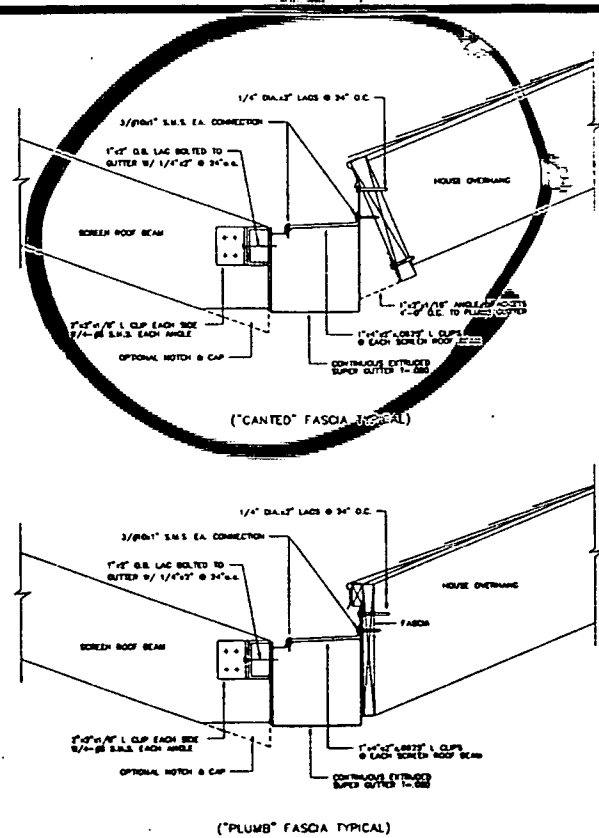


ALUMINUM CONSTRUCTION
DETAILS

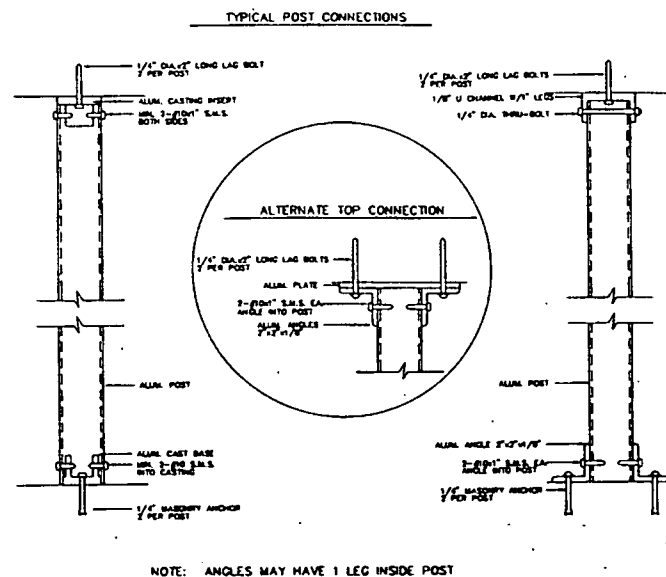
DRAWN	COMPTON
CHECKED	NASH
SCALE	HT.S.
DATE	MARCH 1988
JOB NO.	88018

4/27/88

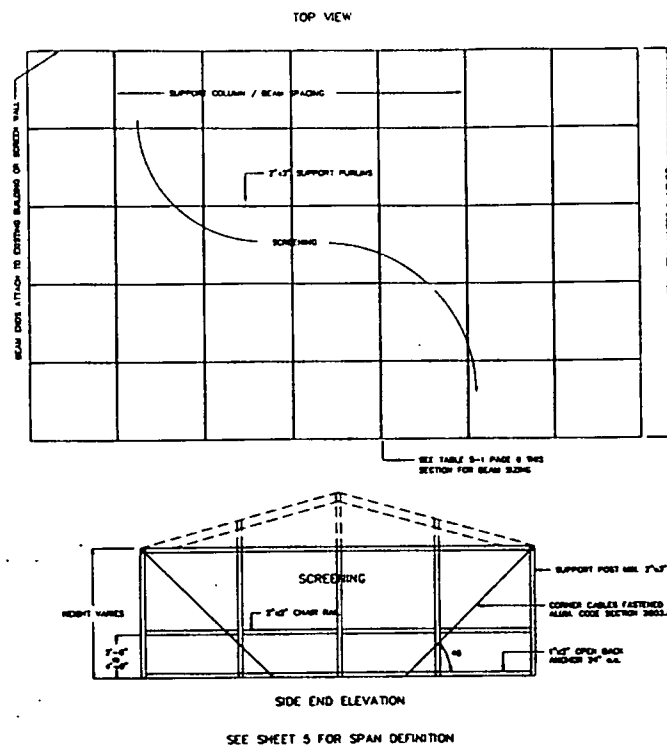
SHEET
2
OF FIVE SHEETS



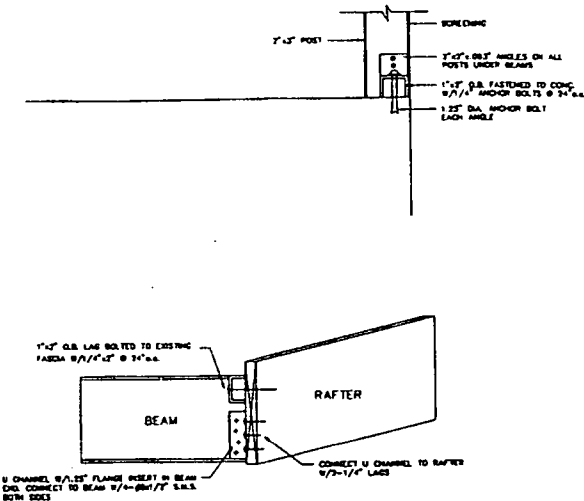
SUPER GUTTER - FASCIA ATTACHMENT



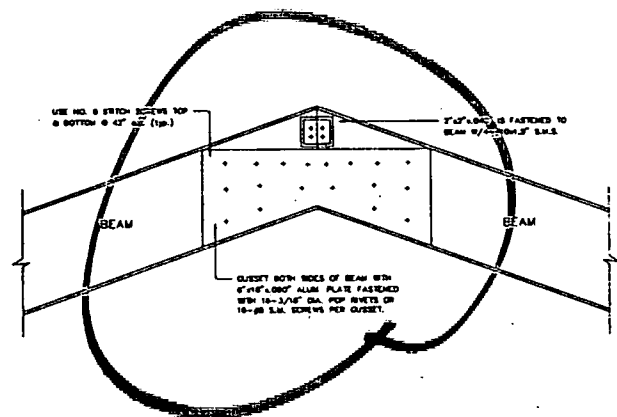
SCREEN ROOM (UNDER WOOD ROOF)



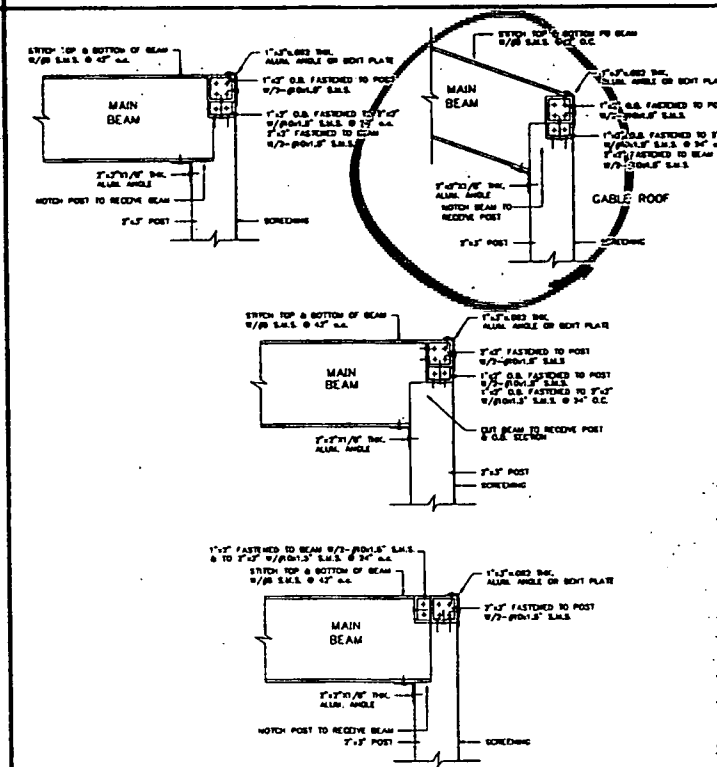
POOL ENCLOSURE (TYPICAL)



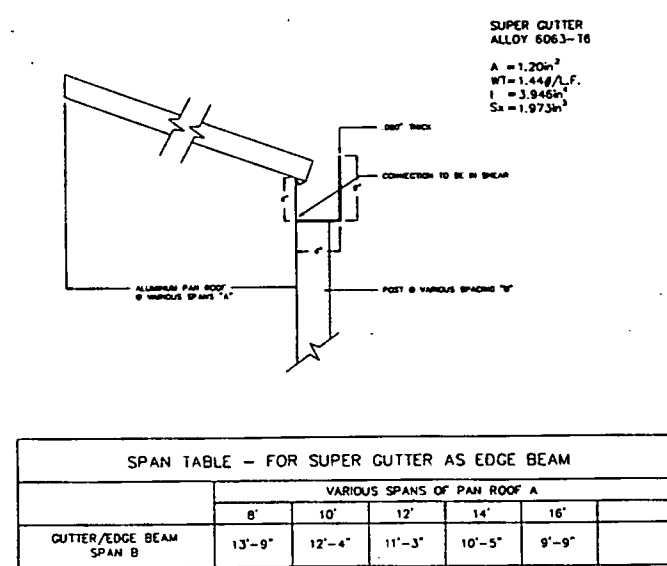
POOL ENCLOSURE & SCREEN ROOM WITH SCREEN ROOF



POOL ENCLOSURE (CONNECTION TYPICALS)



POOL ENCLOSURE (POST TO BEAM TYPICALS)



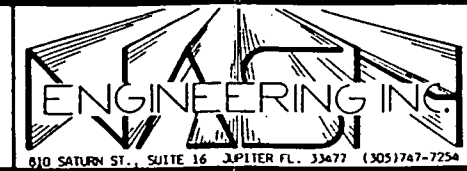
SUPER GUTTER AS EDGE BEAM SPAN TABLE C-2

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	4'-0" C-C	5'-0" C-C	6'-0" C-C	8'-0" C-C	10'-0" C-C	12'-0" C-C	14'-0" C-C	16'-0" C-C
2"x4" S.M. BEAM S _x = 1.25	21'-8"	19'-4"	18'-6"	17'-8"	17'-0"	16'-4"	15'-10"	15'-3"
2"x4" S.M. BEAM W/ INSERT S _x = 1.25	25'-5"	22'-9"	21'-9"	20'-9"	20'-0"	19'-3"	18'-8"	18'-0"
2"x6" S.M. BEAM S _x = 2.00	32'-9"	29'-4"	28'-0"	26'-9"	25'-9"	24'-9"	24'-0"	23'-2"
2"x7" S.M. BEAM S _x = 2.80	42'-9"	38'-3"	36'-7"	35'-0"	33'-8"	32'-4"	31'-4"	30'-3"
2"x7" S.M. BEAM W/ INSERT S _x = 2.80	49'-2"	44'-0"	42'-0"	40'-2"	38'-8"	37'-2"	36'-0"	34'-9"
3"x7" I BEAM W/ SNAP S _x = 3.00	25'-10"	25'-0"	24'-3"	23'-7"	23'-0"	22'-5"	21'-11"	21'-5"
3"x7" I BEAM W/ SNAP S _x = 3.10	34'-10"	31'-1"	29'-10"	28'-6"	27'-5"	26'-4"	25'-5"	24'-8"
4"x8" I BEAM W/ SNAP S _x = 4.00	42'-10"	38'-4"	36'-8"	35'-0"	33'-9"	32'-5"	31'-5"	30'-4"
2"x9" S.M. BEAM S _x = 2.70	--	--	--	52'-6"	50'-0"	48'-8"	47'-0"	45'-6"

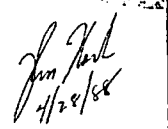
SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
3-24-88	JC	DETAIL 3-4 UPDATED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION TO SHT. 5
REVISIONS		

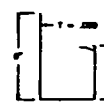
TREASURE COAST CHAPTER, INC.
 OF THE ALUMINUM ASSOCIATION
 OF FLORIDA



ALUMINUM CONSTRUCTION
 DETAILS

DRAWN	COMPTON	 SEAL DATE MARCH 1988 JOB NO. 88017	SHEET 3 OF FIVE SHEETS
CHECKED	NASH		
SCALE	N.T.S.		
DATE	MARCH 1988		

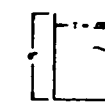
SUPER CUTTER
ALLOY 6063-T6
A = 1.20in²
WT = 1.44lb/L.F.
I = 3.94in⁴
Sx = 1.97in³



2"x4" S.M.B.
ALLOY 6063-T6
A = 1.30in²
WT = 1.67lb/L.F.
I = 5.40in⁴
Sx = 2.62in³



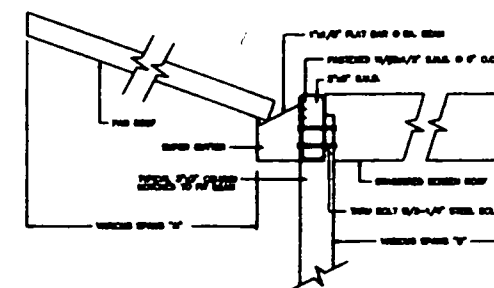
SUPER CUTTER
ALLOY 6063-T6
A = 1.20in²
WT = 1.44lb/L.F.
I = 3.94in⁴
Sx = 1.97in³



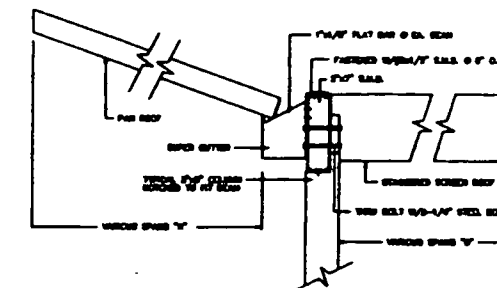
2"x7" S.M.B.
ALLOY 6063-T6
A = 1.70in²
WT = 2.14lb/L.F.
I = 7.12in⁴
Sx = 4.00in³



COMBINATION Sx = 4.60in³



COMBINATION Sx = 6.67in³



SPAN TABLE - FOR COMBINATION - SUPER CUTTER + 2"x4" S.M.B.

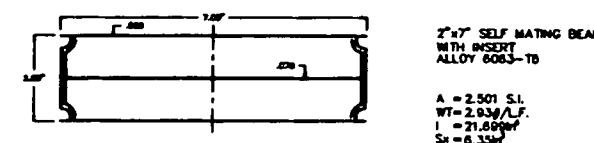
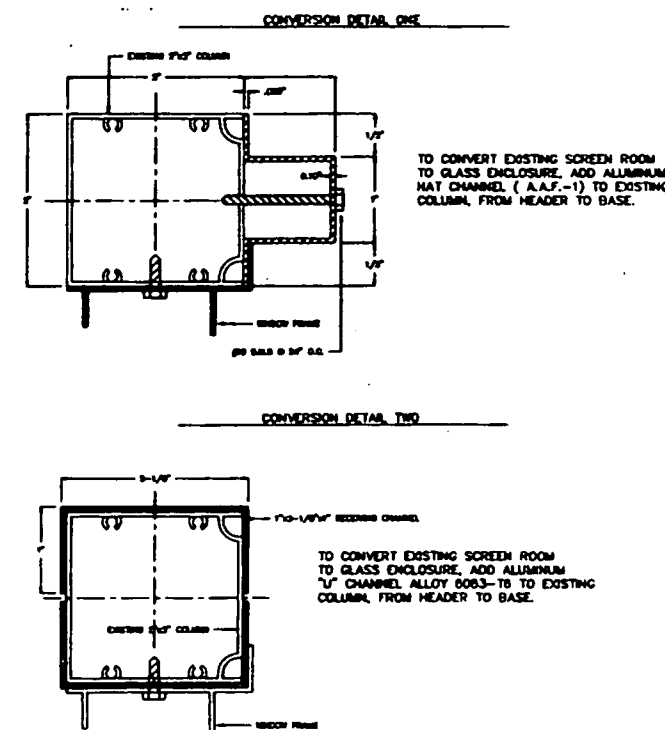
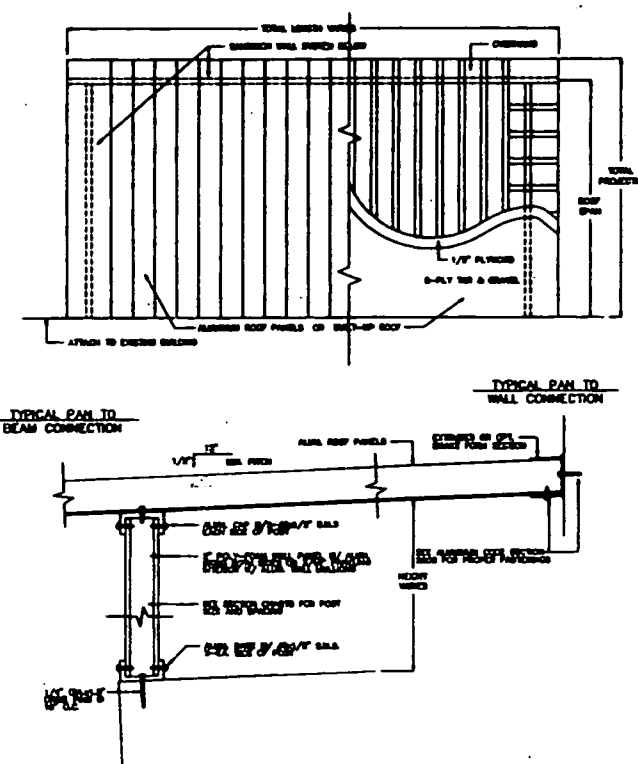
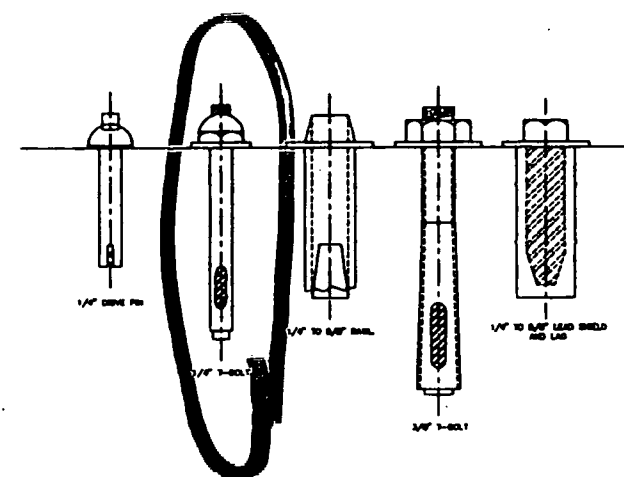
VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"															
	18"	20"	22"	24"	26"	28"	30"	32"	34"	36"	38"	40"	42"	44"	46"	
4'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
5'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
6'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
8'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
10'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
14'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	

SPAN TABLE - FOR COMBINATION - SUPER CUTTER + 2"x7" S.M.B.

VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"															
	18"	20"	22"	24"	26"	28"	30"	32"	34"	36"	38"	40"	42"	44"	46"	
4'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
5'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
6'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
8'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
10'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	
14'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	

CARRIER BEAM - SPAN TABLE S-2
(SUPER CUTTER + 2"x4" S.M.B.)

CARRIER BEAM - SPAN TABLE S-3
(SUPER CUTTER + 2"x7" S.M.B.)



SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 70 PER S.F.	SCREEN WALL 100 PER S.F.	SOLID WALL 250 PER S.F.	SOLID ROOF 300 PER S.F.
3'	56'-0"	47'-0"	30'-0"	27'-5"
4'	40'-2"	41'-2"	26'-0"	23'-0"
5'	44'-0"	36'-10"	24'-3"	21'-3"
6'	40'-2"	33'-6"	21'-3"	19'-4"
7'	37'-2"	31'-1"	19'-6"	17'-11"
8'	34'-0"	28'-0"	18'-5"	16'-0"
9'	32'-0"	27'-5"	17'-4"	15'-10"
10'	31'-0"	26'-0"	16'-5"	15'-0"

MASONRY - CONCRETE FASTENERS

GLASS ROOMS
(SANDWICH SYSTEM)

GLASS ROOM "HAT"
(REINFORCEMENT OF .040 POST)

2"x7" S.M.B. WITH INSERT

DATE	BY	DESCRIPTION
3-23-88	JC	DETAILS 4-1, 4-2, 4-3 UPDATED
4-9-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-18-88	JC	ADDED SPAN DISPARATION DET 5
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA

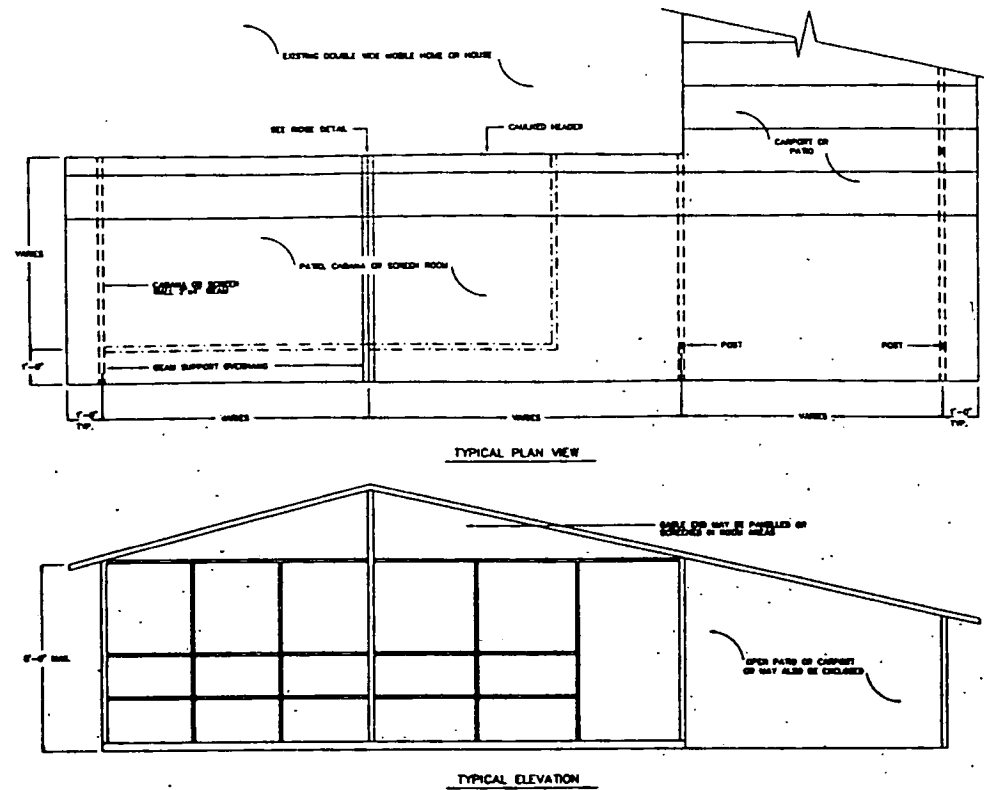


ALUMINUM CONSTRUCTION
DETAILS

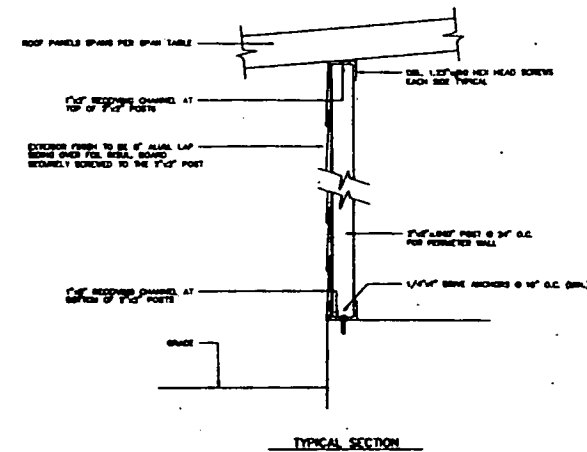
DRAWN	COMPTON
CHECKED	MASH
SCALE	WT.S.
DATE	MARCH 1988
JOB NO.	88016

Tom Paul
4/27/88

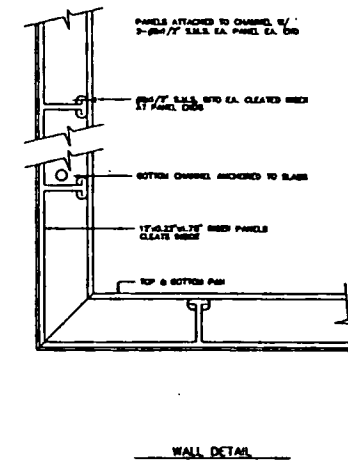
SHEET
4
OF FIVE SHEETS



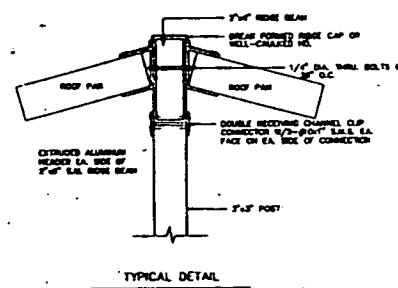
ATTACHED A-FRAME COMBINATION PATIO-CABANA OR CARPORT



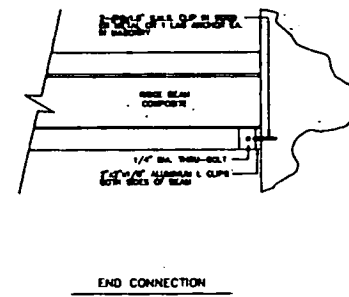
TYPICAL UTILITY ROOM



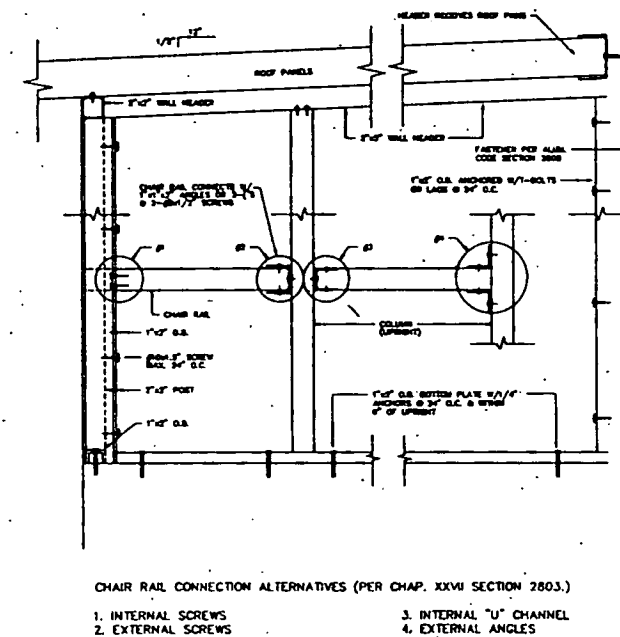
TYPICAL UTILITY ROOM



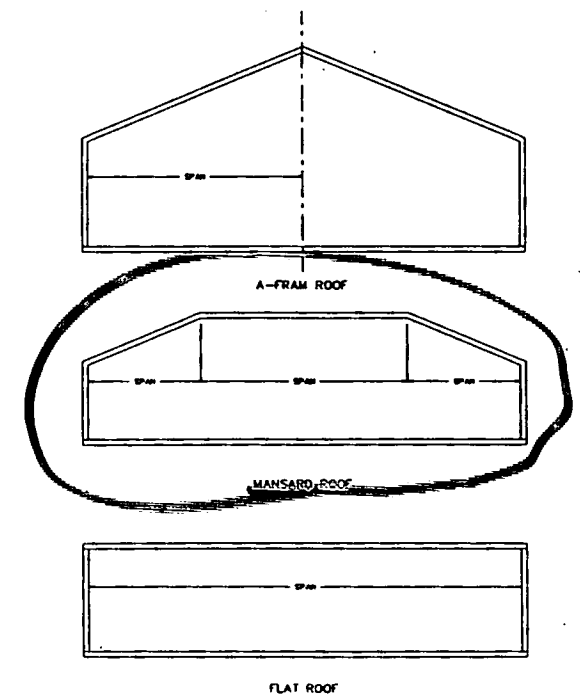
RIDGE BEAM



RIDGE BEAM



SCREEN ROOM
(WITH ALUMINUM ROOF)



SPAN DEFINITION

DATE	BY	DESCRIPTION
3-23-88	JC	DETAIL 5-6 UPDATED & DETAIL 5-7 ADDED
4-8-88	JC	MOVED DETAILS AROUND ON ALL 5 PAGES
4-25-88	JC	ADDED SPAN DEFINITION TO SHT. 5
REVISIONS		

TREASURE COAST CHAPTER, INC.
OF THE ALUMINUM ASSOCIATION
OF FLORIDA



ALUMINUM CONSTRUCTION
DETAILS

DRAWN	COMPTON
CHECKED	NASH
SCALE	N.T.S.
DATE	MARCH 1988
JOB NO.	55015

SEAL
OF FIVE SHEETS
5

2909

ORCHID HOUSE

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR & MRS. PETER HUBBARD Present Address 76 SO. SEWALL'S PT. ROAD

Phone 286-3992

Contractor Sun Country Const. Inc Address 1147 S.W. 33RD ST.

Phone 407-287-7066 Palm City 34990

Where licensed FLA. CERTIFIED License number CBC 014631

Electrical contractor N/A License number N/A

Plumbing contractor N/A License number N/A

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ORCHID HOUSE FOR GARDEN AREA

76 SO. SEWALL'S POINT ROAD

State the street address at which the proposed structure will be built:

Subdivision _____ Lot number _____ Block number _____

Contract price \$ 1,500.⁰⁰ Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor James F. Clark
for Sun Country Const. Inc.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Dale Brown 1/11/91
Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2913

ENTRY WALL

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Mrs & Mr. PETER HUBBARD Present Address 76 SO. SEWALL'S PT. ROAD

Phone 288-3992

Contractor SUN COUNTRY CONSTRUCTION Address 1147 S.W. 33RD ST.

Phone 287-7066

PALM CITY

Where licensed FLA. / MARTIN CO. License number CBC 014631 / 84-512-917

Electrical contractor COOK ELECTRIC License number ME 00 / 152

Plumbing contractor N/A License number N/A

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: _____

ENTRY WALL ~~AND~~ AT FRONT OF PROPERTY.

State the street address at which the proposed structure will be built: _____

76 SO. SEWALL'S POINT ROAD

Subdivision HOME WOOD Lot number #2 Block number _____

Contract price \$ 1,200.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor James F. Clark
CBC 014631

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.)

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Dale Brown 1/17/91
Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

Permit No. **2934**

TOWN OF SEWALL'S POINT FLORIDA

Date **2-27-91**

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two elevations, as applicable.

Owner PETER NOBBARD
South County Construction Inc Present address 1147 SW 33rd St
Palm City
Phone 229-4994

Contractor MARTIN FENCE CO. Address _____
334-0000 862 EAST STREET
Phone LAKE PARK, FL 33403

Where licensed Martin County License number 6100056

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 203' 4' green chain link

76 South Sewall Pointe Rd
State the street address at which the proposed structure will be built:

Subdivision Home wood Lot No. 2

Contract price \$ 879.00 Cost of Permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or a Town Commissioner "Red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

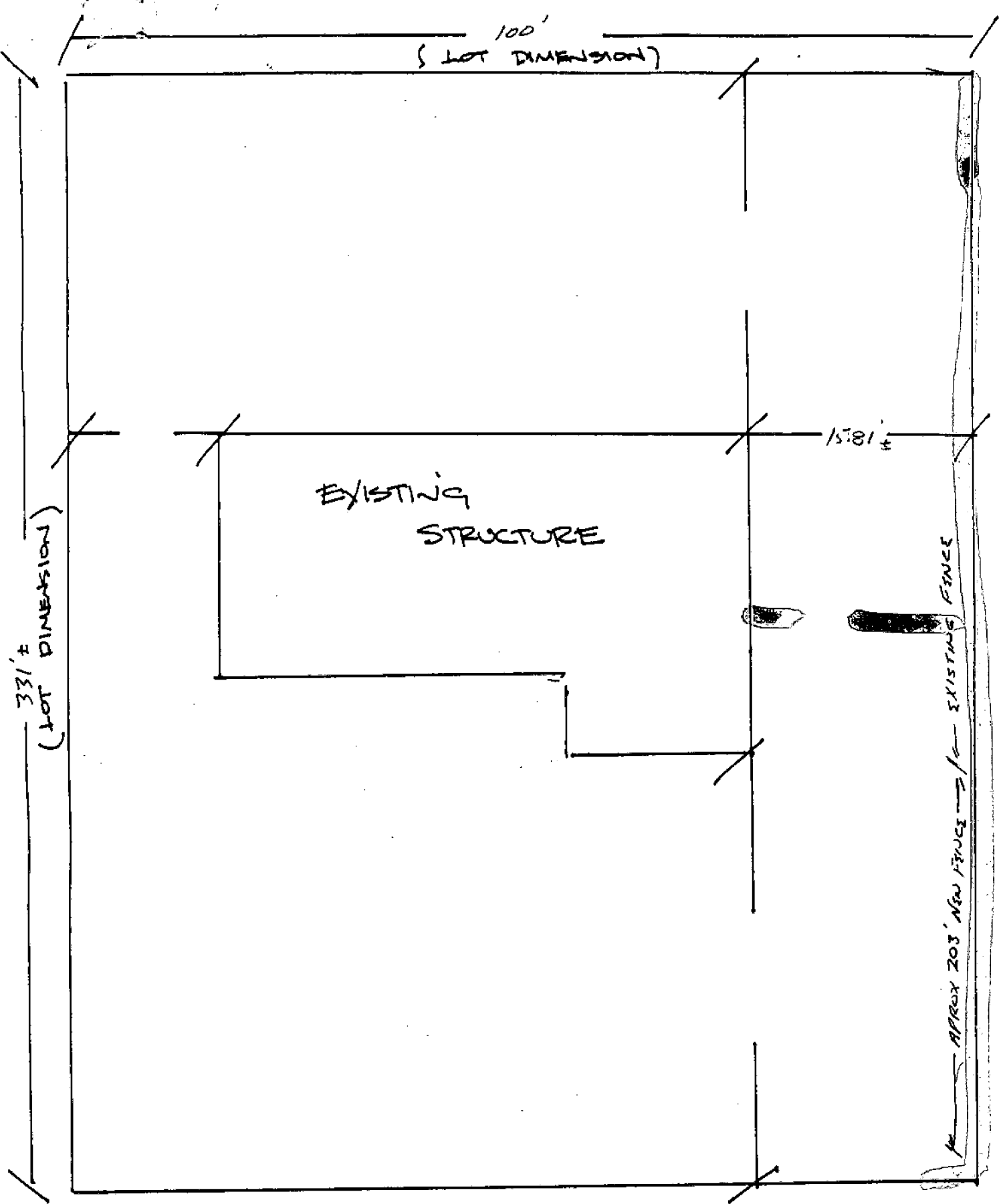
Date submitted _____

Approved: R.R. Mary 2-27-91
Building Inspector Date

Approved: _____
Commissioner Date

Final Approval given: _____
Date

Certificate of Occupancy issued _____
Date



Address: 76 So Sewall Avenue Rd

OWNER:

- 1) LIST: LOT SIZE
- 2) SET BACKS
- 3) DISCRIPTION OF WORK

Plot Plan

No Scale

2918

GARAGE

ALTERATION

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2986
This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR & MRS. PETER HUBBARD Present Address 76 SO. SEWALL'S PT. ROAD

Phone 288-3992

Contractor Sun Country Const. Address 1147 S.W. 33RD ST.

Phone 287-7066

PALM CITY

Where licensed FLORIDA/MARTIN License number CBC014631

Electrical contractor COOK ELECTRIC License number ER0008060

Plumbing contractor N/A

License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

PARTITION OFF EXERCISE ROOM IN EXISTING GARAGE

State the street address at which the proposed structure will be built:

76 SOUTH SEWALL'S POINT ROAD

Subdivision HONEWOOD

Lot number 1

Block number

Contract price \$ 1,500.00

Cost of permit \$

Plans approved as submitted

Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor James F. Clark

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Peter Hubbard

TOWN RECORD

Date submitted

Approved: Dale Brown

Building Inspector

5/3/91
Date

Approved:

Commissioner

Date

Final Approval given:

Date

Certificate of Occupancy issued (if applicable)

Date

SP1282

Permit No.

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

3018

DOCK

Permit No. _____

Date

3018

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. PETER HUBBARD Present Address 76 S. SEWALLS POINT RDPhone 288-3992Contractor HI-TIDE MARINE CONST., INC. Address _____3191 S.E. Waler StreetPhone Stuart, FL 33497Ph: (305) 283-9354Where licensed Statewide License number CC045373Electrical contractor X License number _____Plumbing contractor X License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: CONSTRUCT DOCK (308' long)

76 S. SEWALLS POINT RD

State the street address at which the proposed structure will be built:

Subdivision HOME WOOD Lot number 2 Block number AContract price \$ 12,000 Cost of permit \$ 75XX

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: [Signature] 6/25/91

Building Inspector _____ Date _____

Approved: _____ Commissioner _____ Date _____

Final Approval given: _____ Date _____

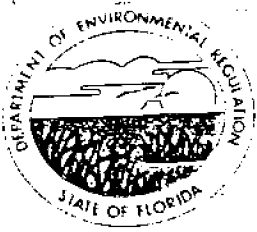
Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

3018



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd • Port St. Lucie, FL 34952 • 407-878-3893/3855-4540

Bob Martinez, Governor

Paula Brachmann, Secretary

John Shearer, Assistant Secretary
Scott Benson, Deputy Assistant Secretary

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION NOTICE OF PERMIT ISSUANCE

In the Matter of an Application
for Permit by:

DER File No. 431622858
WRM - Martin County

Dave Miller
c/o Robert Sandy Construction, Inc.
3452 NE Indian Drive
Jensen Beach, Florida 34957

Enclosed is Permit Number 431622858 to construct a 1,292 square foot private dock issued pursuant to Chapter 403, Florida Statutes.

A person whose substantial interests are affected by this permit may petition for an administration proceeding (hearing) in accordance with Section 120.57, Florida Statutes. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400, within 14 days of receipt of this Permit. Petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. Failure to file a petition within this time period shall constitute a waiver of any right such person may have to request an administrative determination (hearing) under Section 120.57 Florida Statutes.

The Petition shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the applicant's name and address, the Department Permit File Number and the county in which the project is proposed;
- (b) A statement of how and when each petitioner received notice of the Department's action or proposed action;
- (c) A statement of how each petitioner's substantial interest are affected by the Department's action of proposed action;
- (d) A statement of the material facts disputed by petitioner, if any;
- (e) A statement of facts which petitioner contends warrant reversal or modification of the Department's action or proposed action;

(f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and

(g) A statement of the relief sought by petitioner, stating precisely the action petitioner wants the Department to take with respect to the Department's action or proposed action.

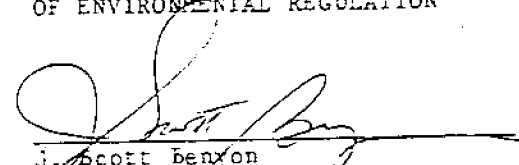
If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this permit. Persons whose substantial interests will be affected by any decision of the Department with regard to the application have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within 14 days of receipt of this notice in the Office of General Counsel at the above address of the Department. Failure to petition within the allowed time frame constitutes a waiver of any right such person has to request a hearing under Section 120.57, F.S., and to participate as a party to this proceeding. Any subsequent intervention will only be at the approval of the presiding office upon motion filed pursuant to Rule 28-5.207, F.A.C.

This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with the above paragraphs or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, F.A.C. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further order of the Department.

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL REGULATION


J. Scott Benyon
Deputy Assistant Secretary
1900 S. Congress Avenue, Suite A
West Palm Beach, Florida 33406
407-964-9668

Page Three
Dave Miller
Permit No. 431622858

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on JUL 17 1989 to the listed persons.

Clerk Stamp

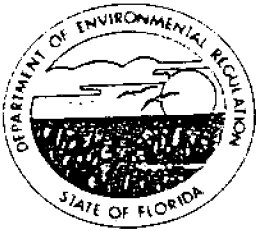
FILING AND ACKNOWLEDGEMENT
FILED, on this date, pursuant to
§120.52(9), Florida Statutes, with
the designated Department Clerk,
receipt of which is hereby
acknowledged.

J. Brown
(Clerk)

JUL 17 1989
(Date)

Copies furnished to:

Department of Natural Resources
U.S. Army Corps of Engineers
Martin County Planning Department
Martin County Property Appraiser



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd • Port St. Lucie, FL 34952 • 407-878-3800/335-4310

Bob Martinez, Governor

Dale Twachmann, Secretary

John Shearer, Assistant Secretary
Scott Benson, Deputy Assistant Secretary

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
3452 NE Indian Drive
Jensen Beach, Florida 34957

I.D. Number: 5143P00781
Permit/Certification Number: 431622858
Date of Issue: JUL 14 1989
Expiration Date: JUL 14 1990
County: Martin
Latitude/Longitude: 27°11'23"/80°11'39"
Section/Township/Range: 1/38S/41E
Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rule 17-12. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

TO:

Construct a 1,292 square foot private dock measuring 308 feet long by 4 feet wide and including an "L" shaped platform 12 feet by 5 feet with 2 mooring piles.

IN ACCORDANCE WITH:

The three (3) stamped drawing(s) which are attached and a part hereof and DER Application Form 17-1.203(1) dated February 21, 1989 and signed by J.W. Berger (not attached)

LOCATED AT:

76 South Sewall's Point Road, Lot 2, Homewood, Indian River Aquatic Preserve No. 19, O.F.W., Class III waters, Section 1, Township 38 South, Range 41 East, Stuart, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through ten (10).

PERMITTEE:

I.D. Number:
Permit Certification Number:
Date of Issue:
Expiration Date:

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations, and restrictions set forth herein are "Permit Conditions" and as such are binding upon the permittee and enforceable pursuant to the authority of Sections 403.161, 403.727, or 403.859 through 403.861, Florida Statutes. The permittee is hereby placed on notice that the department will review this permit periodically and may initiate enforcement action for any violation of the "Permit Conditions" by the permittee, its agents, employees, servants or representatives.
2. This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the department.
3. As provided in Subsections 403.087(6) and 403.722(5), Florida Statutes, the issuance of this permit does not convey any vested rights or any exclusive privileges. Nor does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations. This permit does not constitute a waiver of or approval of any other department permit that may be required for other aspects of the total project which are not addressed in the permit.
4. This permit conveys no title to land or water, does not constitute state recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the state. Only the trustees of the Internal Improvement Trust Fund may express state opinion as to title.
5. This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, plant or aquatic life or property and penalties therefor caused by the construction or operation of this permitted source, nor does it allow the permittee to cause pollution in contravention of Florida Statutes and department rules, unless specifically authorized by an order from the department.
6. The permittee shall at all times properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed or used by the permittee to achieve compliance with the conditions of this permit, as required by department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by department rules.
7. The permittee, by accepting this permit, specifically agrees to allow authorized department personnel, upon presentation of credentials or other documents as may be required by law, access to the premises, at reasonable times, where the permitted activity is located or conducted for the purpose of:
 - a. Having access to and copying any records that must be kept under the conditions of the permit;
 - b. Inspecting the facility, equipment, practices, or operations regulated or required under this permit; and
 - c. Sampling or monitoring any substances or parameters at any location reasonably necessary to assure compliance with this permit or department rules.Reasonable time may depend on the nature of the concern being investigated.
8. If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately notify and provide the department with the following information:
 - a. a description of and cause of non-compliance; and

PERMITTEE:

I.D. Number:

Permit/Certification Number:

Date of Issue:

Expiration Date: JUL 14 1989

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

9. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.
10. The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time for compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.
11. This permit is transferable only upon department approval in accordance with Florida Administrative Code Rules 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.
12. This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.
13. This permit also constitutes:
 - () Determination of Best Available Control Technology (BACT)
 - () Determination of Prevention of Significant Deterioration (PSD)
 - () Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
 - () Compliance with New Source Performance Standards
14. The permittee shall comply with the following monitoring and record keeping requirements:
 - a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department, during the course of any unresolved enforcement action.
 - b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.
 - c. Records of monitoring information shall include:
 - the date, exact place, and time of sampling or measurements;
 - the person responsible for performing the sampling or measurements;
 - the date(s) analyses were performed;
 - the person responsible for performing the analyses;
 - the analytical techniques or methods used; and
 - the results of such analyses.
15. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts or information shall be submitted or corrected promptly.

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
Jensen Beach, Florida

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 14 1984

Expiration Date: JUL 14 1984

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to, turbidity curtains, shall be employed during all operations that may create turbidity in excess of background, as provided in Chapter 17-4 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. Decking boards shall be spaced a minimum of one (1) inch apart to allow for light penetration to seagrasses below.
5. No liveboards shall be allowed at this facility at any time. For the purpose of this condition, a liveboard is considered to be any boat which is occupied overnight for two or more consecutive nights.
6. All decking shall be constructed to provide a minimum of five (5) feet clearance from mean high water to the bottom of the dock deck.
7. Prior to construction of the permitted private docking facility, the permittee shall:
 - a) Remove existing unauthorized wooden bulkhead, and
 - b) Remove existing unauthorized dock structure from the site.
8. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.
9. "If historical or archeological artifacts, such as Indian canoes, are discovered at any time within the project site the permittee shall immediately notify the district office and the Bureau of Historic Preservation, Division of Archives, History and Records Management, R.A. Gray Building, Tallahassee, Florida 32301."

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
Jensen Beach, Florida

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 14 1989

Expiration Date: JUL 14 1994

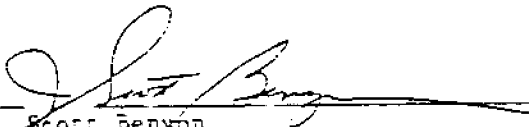
SPECIFIC CONDITIONS:

10. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.

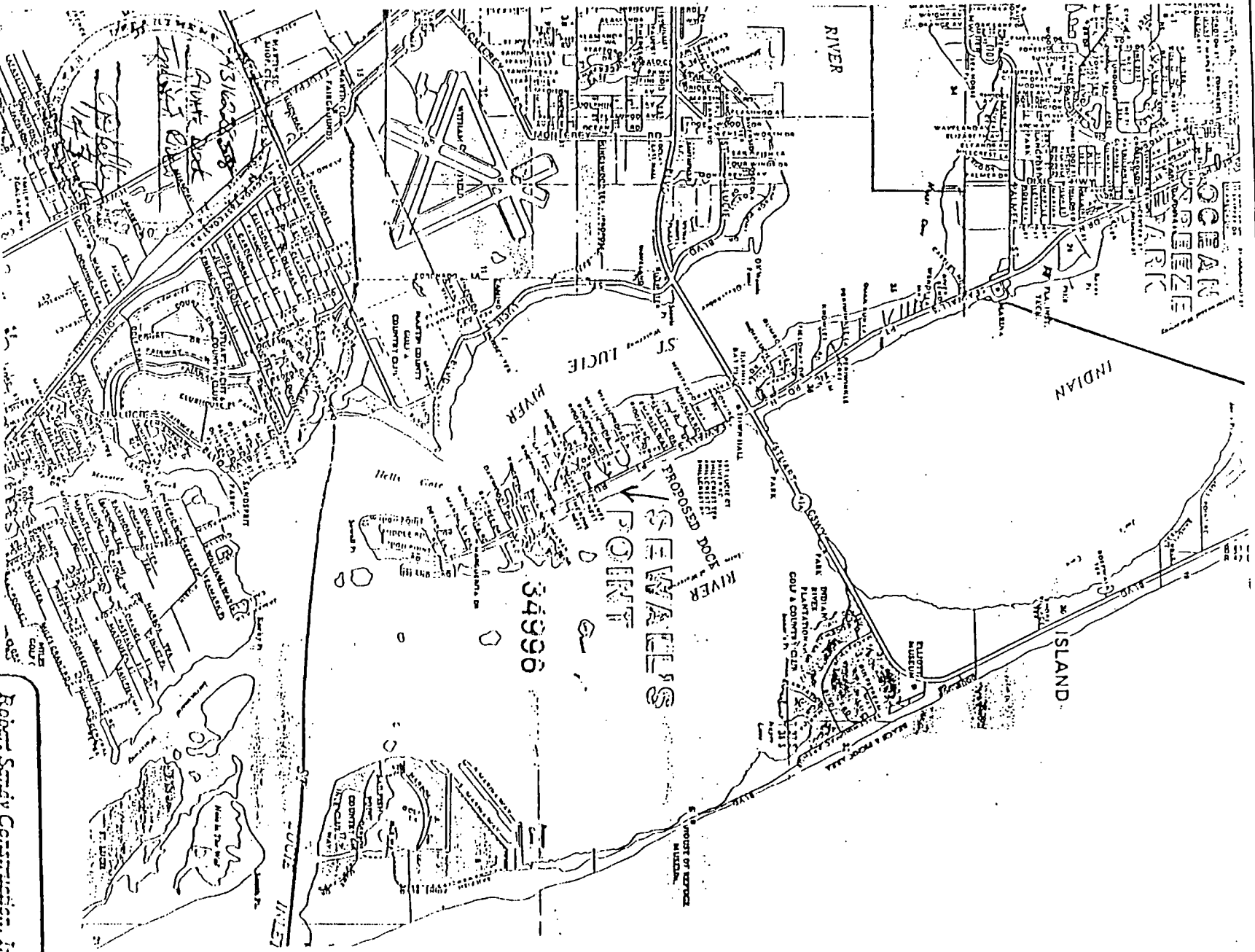
JSB:jam/tf/jkv/13

Issued this 14th day of July, 1989

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION

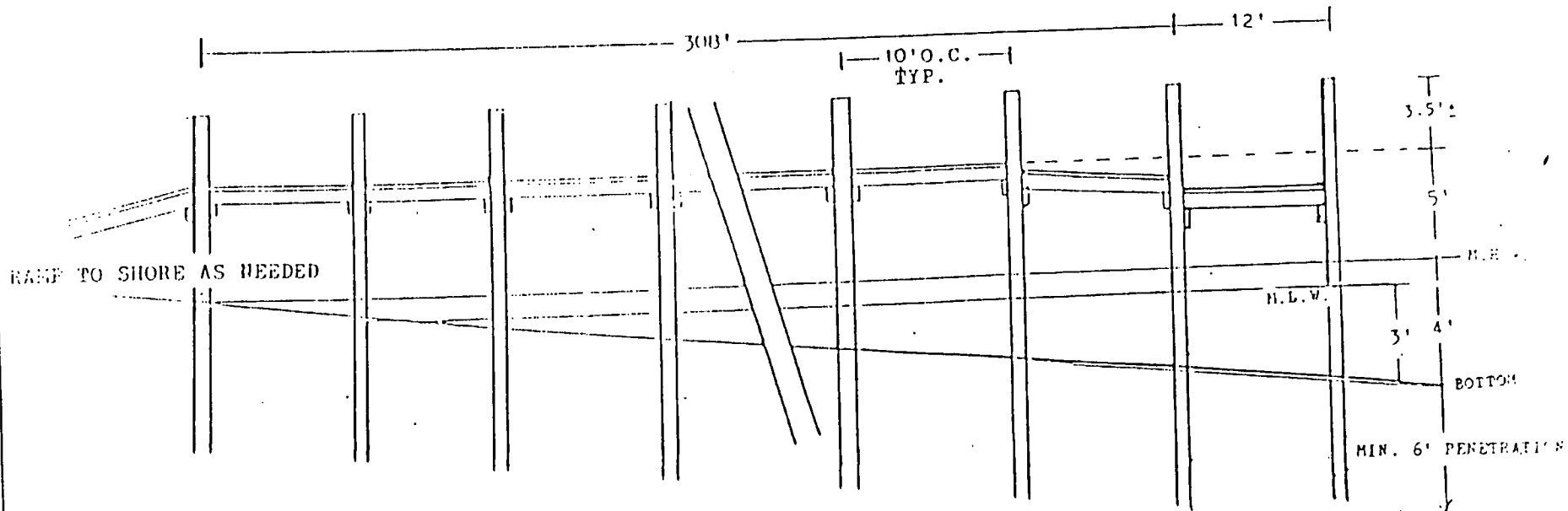

J. Scott Benyon
Deputy Assistant Secretary

3 Pages attached.



Robert Sandy Construction, Inc.
 3455 N.E. Indian Drive
 Jensen Beach, FL 34957
 407-334-3045

PROPOSED DOCK FOR HILDER 76 SE SEWALL'S POINT ROAD

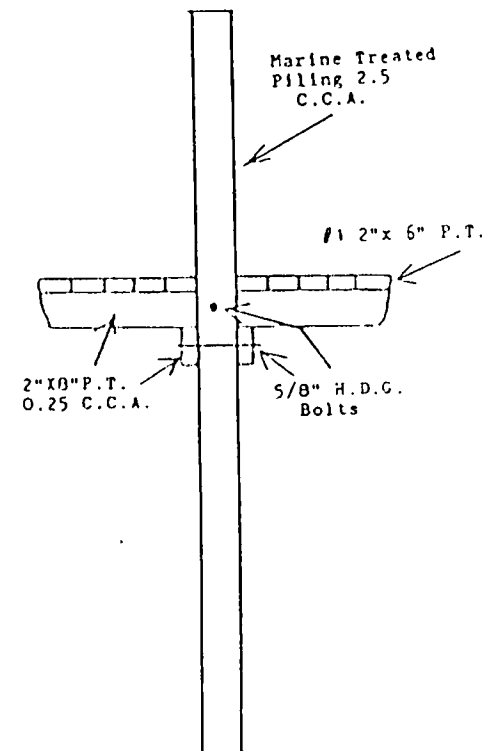


42162-2555
 1/21/09
 1/21/09

1/21/09
 1/21/09

Robert Smith Construction, Inc.
 3402 N.E. Indian Drive
 Jensen Beach, FL 34957
 407-324-1245

Robert S. Smith Construction, Inc.
3225 N.E. Highway 100
Jackson Beach, FL 33557
407-331-2245



TYPICAL SECTION
DETAIL N.T.S.



TOM GARDNER
Executive Director

State of Florida
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

DEPARTMENT OF NATURAL RESOURCES
DIVISION OF STATE LANDS
GENERAL CONSENT CONDITIONS

Governor
JIM SMITH
Secretary of State
BOB BUTTERWORTH
Attorney General
GERALD LEWIS
State Comptroller
BILL GUNTER
State Treasurer
DOYLE CONNER
Commissioner of Agriculture
BETTY CASTOR
Commissioner of Education

PLEASE ADDRESS REPLY TO:

Project No. 431622858

1. No activities other than those set forth in the attached letter dated 3/22/89 are authorized. Any additional activities on state-owned sovereignty submerged lands must receive further consent from the Governor and Cabinet, sitting as the Board of Trustees of the Internal Improvement Trust Fund (hereinafter the "Board") or their properly designated agent.

2. Grantee agrees that all title and interest to all lands lying below the historical mean high water line or ordinary high water line are vested in the Board, and shall make no claim of title or interest in said lands by reason of the occupancy or use thereof.

3. Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances or illegal operations of any kind on the premises.

4. Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time.

5. Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent.

6. No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board to enforce the same in the event of subsequent breach.

7. Grantee binds itself and its successors and assigns, to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this Consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have thirty (30) days in



DEPARTMENT OF THE ARMY

MIAMI REGULATORY FIELD OFC., JACKSONVILLE DISTRICT, CORPS OF ENGINEERS

P.O. BOX 520766

MIAMI, FLORIDA 33152-0766

REPLY TO
ATTENTION OF

OCT 27 1983

Regulatory Section
Miami
896P30257

Dan E. Miller
C/O Robert Sandy Construction
3452 N.E. Indian Drive
Jensen Beach, Florida 34957

Dear Mr. Miller:

Reference is made to your application for a Department of the Army permit concerning:

construction of an access ramp 296 feet by 4 feet with "L" platform 12 feet by 5 feet elevated 5 feet above MHWL in Indian River at 76 S. Sewall Point Road in Section 1, Township 38 South, Range 41 East, Martin County.

The project as proposed is authorized by General Permit SAJ-20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, state or local permits which may be required.

Thank you for your cooperation with the Corps permit program.

Sincerely,

Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

Enclosures

DEPARTMENT OF THE ARMY PERMIT

NOV 1 1988

GENERAL PERMIT SAJ-20

PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.

2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.

3. No structures shall be authorized by the general permit in:

a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.

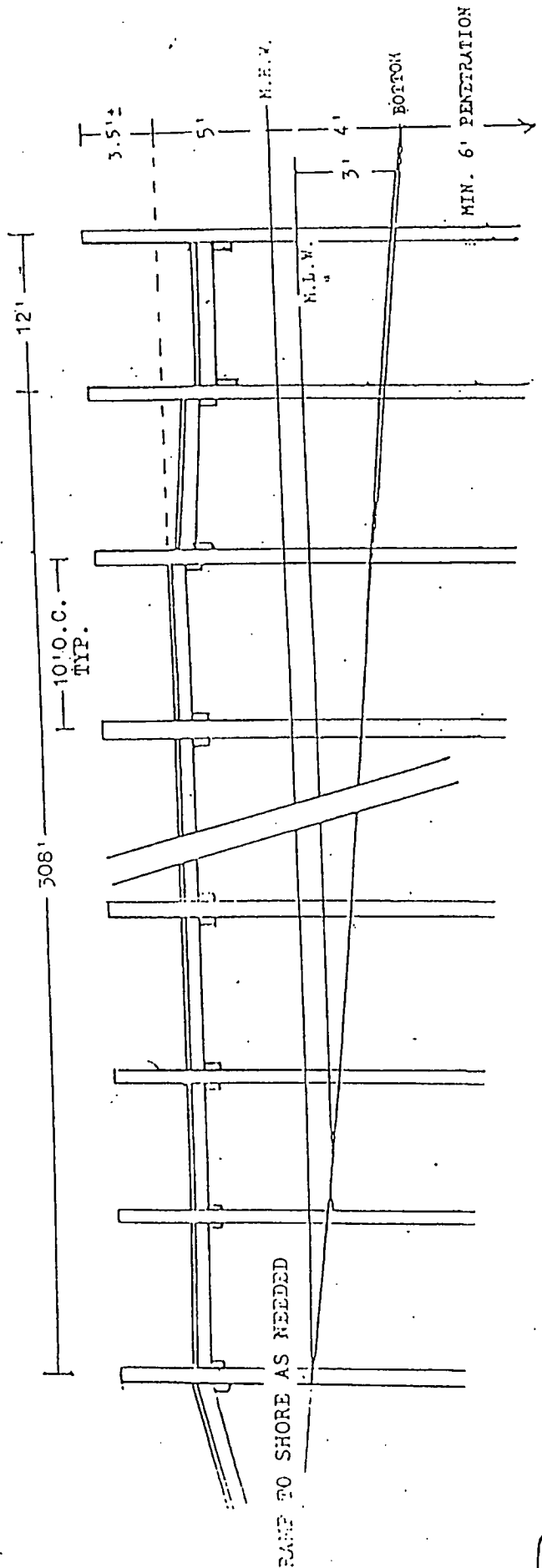
b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).

c. Faka Union Canal in Collier County.

4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.

5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.

6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1821) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).



Handwritten notes:
 7/7/84
 [Signature]

PROPOSED DOCK FOR MILLER 76 SE SEWALL'S POINT ROAD

Robert Sandy Construction, Inc.
 3452 N.E. Indian Drive
 Jensen Beach, FL 34557
 407-334-3245

4 Received
Removal
10-5-89

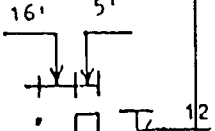
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09/20
to M
10-11-89

INDIAN RIVER



MIN. 25' SETBACK FROM
EITHER PROPERTY LINE

TIE OFF PILING

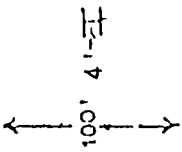


308'

49' Setback

INDICATES DEPTH AT M.L.V.

80°11' 39"W
27°11' 23"N



375'

308

Lot 1

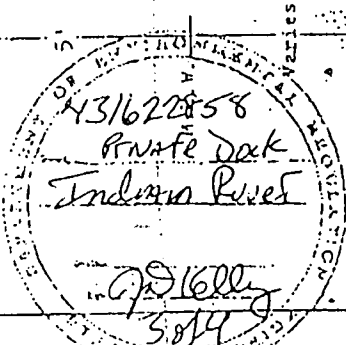
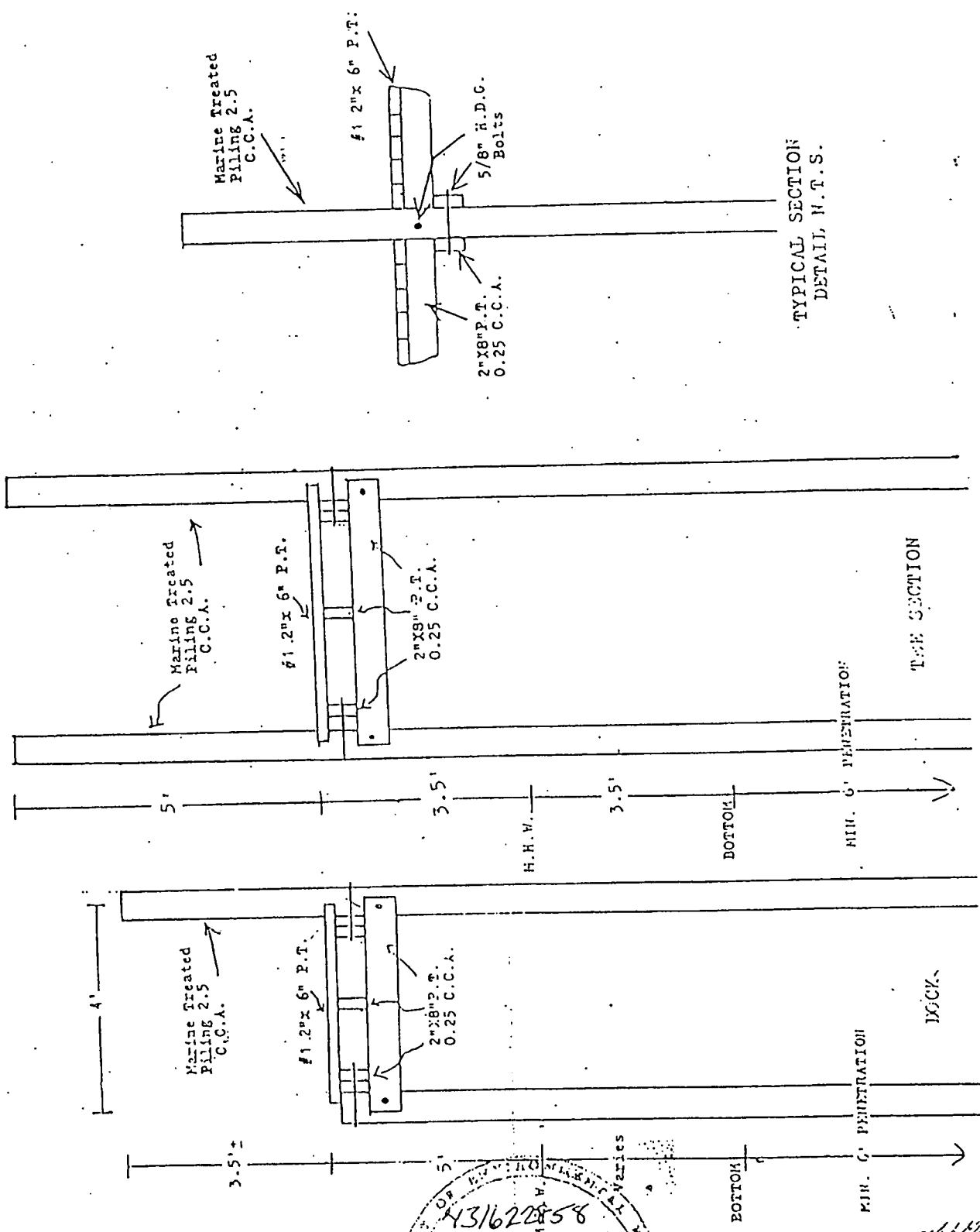
Lot 2

Lot 3

4771111
7/7/89

PROPOSED DOCK FOR MILLER 76 SE SEWALL'S POINT ROAD

Robert Sandy Construction, Inc.
3452 N.E. Indian Drive
Jensen Beach, FL 34957
407-334-3046



Handwritten signature and date
7/1/87

Robert Sandy Construction, Inc.
3452 N.E. Indian Drive
Jensen Beach, FL 34557
407-334-3046

INDIAN RIVER

Piles must be 20

MIN. 25' SETBACK FROM
RIVER PROPERTY LINE

TIE OFF PILING

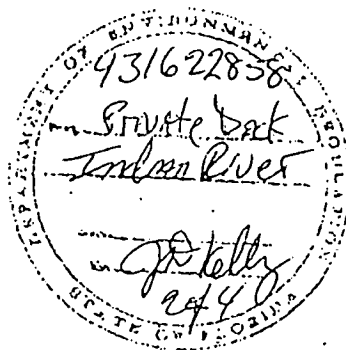
308'

• INDICATES DEPTH AT M.L.V.

80°11' 39"W
27°11' 23"N

100' 4'-2"

375'



Lot 1

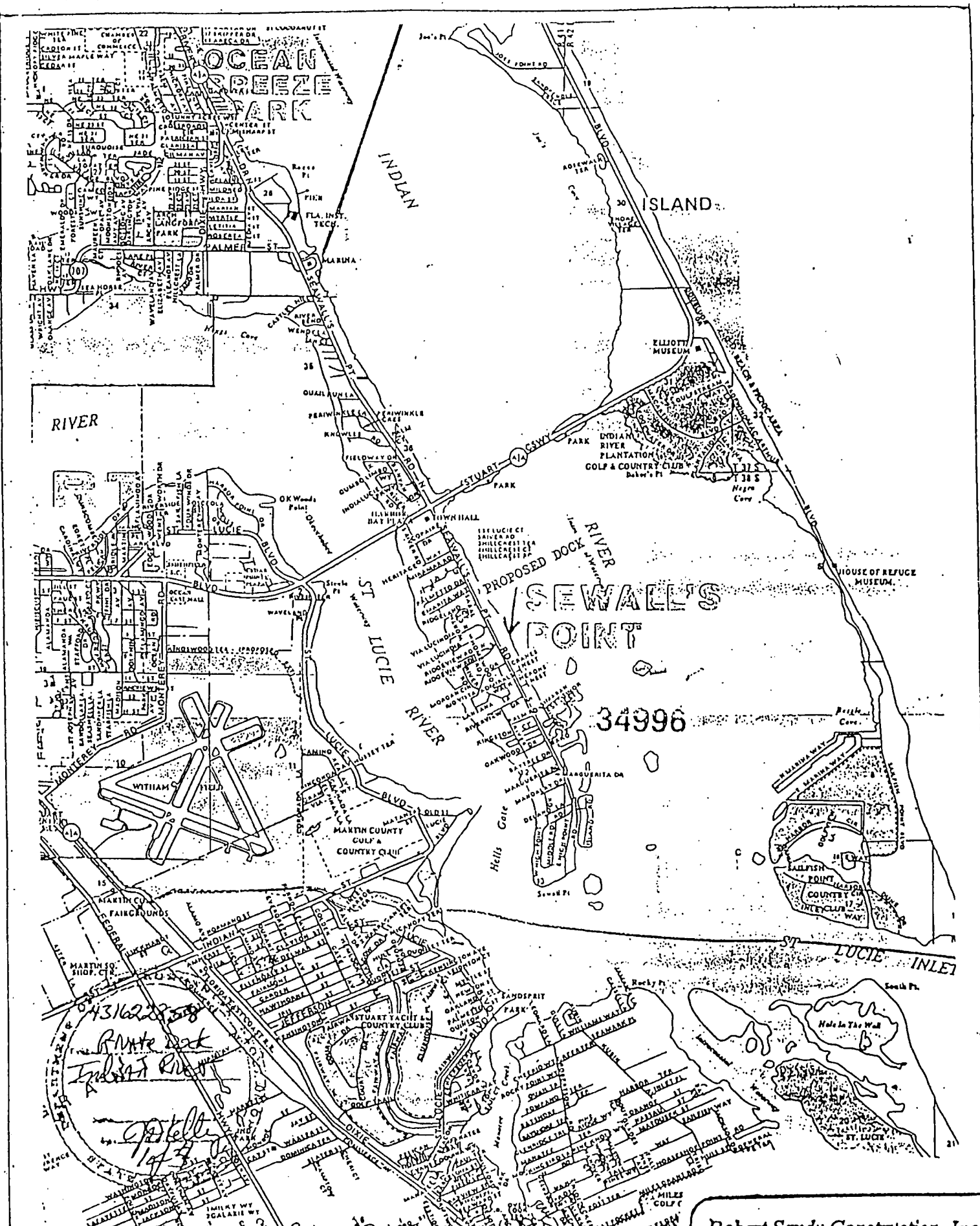
Lot 2

Lot 3

*W. M. Miller
7/7/97*

PROPOSED DOCK FOR MILLER 76 SE SEWALL'S POINT ROAD

Robert Sandy Construction, Inc.
3452 N.E. Indian City
Jensen Beach, FL 34957
407-334-3045



Robert Sandy Construction, Inc.
3452 N.E. Indian Drive
Jensen Beach, FL 34957
407-334-3046

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
Jensen Beach, Florida

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 14 1989

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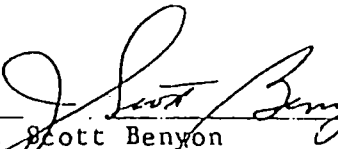
SPECIFIC CONDITIONS:

10. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.

JSB:jam/tf/jkv/13

Issued this 14th day of July, 1989

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION


J. Scott Benyon
Deputy Assistant Secretary

3 Pages attached.

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
Jensen Beach, Florida

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 14 1983

Expiration Date: JUL 14 1994

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to, turbidity curtains, shall be employed during all operations that may create turbidity in excess of background, as provided in Chapter 17-4 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. Decking boards shall be spaced a minimum of one (1) inch apart to allow for light penetration to seagrasses below.
5. No liveboards shall be allowed at this facility at any time. For the purpose of this condition, a liveboard is considered to be any boat which is occupied overnight for two or more consecutive nights.
6. All decking shall be constructed to provide a minimum of five (5) feet clearance from mean high water to the bottom of the dock deck.
7. Prior to construction of the permitted private docking facility, the permittee shall:
 - a) Remove existing unauthorized wooden bulkhead, and
 - b) Remove existing unauthorized dock structure from the site.
8. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.
9. "If historical or archeological artifacts, such as Indian canoes, are discovered at any time within the project site the permittee shall immediately notify the district office and the Bureau of Historic Preservation, Division of Archives, History and Records Management, R.A. Gray Building, Tallahassee, Florida 32301."

PERMITTEE:

I.D. Number:

Permit/Certification Number:

Date of Issue:

Expiration Date: JUL 14 1989

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

1. In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.
2. The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time for compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.
3. This permit is transferable only upon department approval in accordance with Florida Administrative Code Rules 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.
4. This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.
5. This permit also constitutes:
 - () Determination of Best Available Control Technology (BACT)
 - () Determination of Prevention of Significant Deterioration (PSD)
 - () Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
 - () Compliance with New Source Performance Standards
6. The permittee shall comply with the following monitoring and record keeping requirements:
 - a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department, during the course of any unresolved enforcement action.
 - b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.
 - c. Records of monitoring information shall include:
 - the date, exact place, and time of sampling or measurements;
 - the person responsible for performing the sampling or measurements;
 - the date(s) analyses were performed;
 - the person responsible for performing the analyses;
 - the analytical techniques or methods used; and
 - the results of such analyses.
7. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts or information shall be submitted or corrected promptly.

PERMITTEE:

I.D. Number:

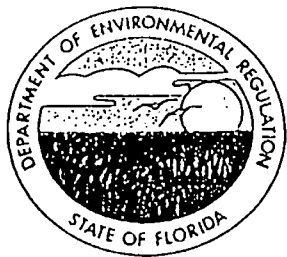
Permit/Certification Number:

Date of Issue:

Expiration Date: JUN 14 1991

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations, and restrictions set forth herein are "Permit Conditions" and as such are binding upon the permittee and enforceable pursuant to the authority of Sections 403.161, 403.727, or 403.859 through 403.861, Florida Statutes. The permittee is hereby placed on notice that the department will review this permit periodically and may initiate enforcement action for any violation of the "Permit Conditions" by the permittee, its agents, employees, servants or representatives.
2. This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the department.
3. As provided in Subsections 403.087(6) and 403.722(5), Florida Statutes, the issuance of this permit does not convey any vested rights or any exclusive privileges. Nor does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations. This permit does not constitute a waiver of or approval of any other department permit that may be required for other aspects of the total project which are not addressed in the permit.
4. This permit conveys no title to land or water, does not constitute state recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the state. Only the Trustees of the Internal Improvement Trust Fund may express state opinion as to title.
5. This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, plant or aquatic life or property and penalties therefor caused by the construction or operation of this permitted source, nor does it allow the permittee to cause pollution in contravention of Florida Statutes and department rules, unless specifically authorized by an order from the department.
6. The permittee shall at all times properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed or used by the permittee to achieve compliance with the conditions of this permit, as required by department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by department rules.
7. The permittee, by accepting this permit, specifically agrees to allow authorized department personnel, upon presentation of credentials or other documents as may be required by law, access to the premises, at reasonable times, where the permitted activity is located or conducted for the purpose of:
 - a. Having access to and copying any records that must be kept under the conditions of the permit;
 - b. Inspecting the facility, equipment, practices, or operations regulated or required under this permit; and
 - c. Sampling or monitoring any substances or parameters at any location reasonably necessary to assure compliance with this permit or department rules.Reasonable time may depend on the nature of the concern being investigated.
8. If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately notify and provide the department with the following information:
 - a. a description of and cause of non-compliance; and



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtmann, Secretary

John Shearer, Assistant Secretary

Scott Benyon, Deputy Assistant Secretary

PERMITTEE:

Dave Miller

c/o Robert Sandy Construction, Inc.

3452 NE Indian Drive

Jensen Beach, Florida 34957

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 13 1989 1989

Expiration Date: JUL 14 1990 1990

County: Martin

Latitude/Longitude: 27°11'23"/80°11'39"

Section/Township/Range: 1/38S/41E

Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rule 17-12. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

TO:

Construct a 1,292 square foot private dock measuring 308 feet long by 4 feet wide and including an "L" shaped platform 12 feet by 5 feet with 2 mooring piles.

IN ACCORDANCE WITH:

The three (3) stamped drawing(s) which are attached and a part hereof and DER Application Form 17-1.203(1) dated February 21, 1989 and signed by J.W. Borger (not attached)

LOCATED AT:

76 South Sewall's Point Road, Lot 2, Homewood, Indian River Aquatic Preserve No. 19, O.F.W., Class III waters, Section 1, Township 38 South, Range 41 East, Stuart, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through ten (10).

Page Three
Dave Miller
Permit No. 431622858

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on JUL 17 1989 to the listed persons.

Clerk Stamp

FILING AND ACKNOWLEDGEMENT
FILED, on this date, pursuant to
§120.52(9), Florida Statutes, with
the designated Department Clerk,
receipt of which is hereby
acknowledged.

J. Brown
(Clerk)

JUL 17 1989
(Date)

Copies furnished to:

Department of Natural Resources
U.S. Army Corps of Engineers
Martin County Planning Department
Martin County Property Appraiser

Page Two
Dave Miller
Permit No. 431622858

(f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and

(g) A statement of the relief sought by petitioner, stating precisely the action petitioner wants the Department to take with respect to the Department's action or proposed action.

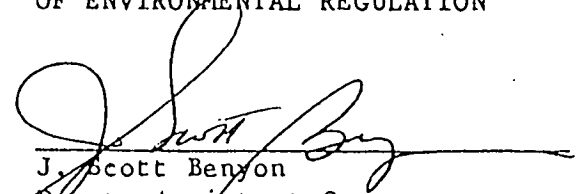
If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this permit. Persons whose substantial interests will be affected by any decision of the Department with regard to the application have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within 14 days of receipt of this notice in the Office of General Counsel at the above address of the Department. Failure to petition within the allowed time frame constitutes a waiver of any right such person has to request a hearing under Section 120.57, F.S., and to participate as a party to this proceeding. Any subsequent intervention will only be at the approval of the presiding office upon motion filed pursuant to Rule 28-5.207, F.A.C.

This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with the above paragraphs or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, F.A.C. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further order of the Department.

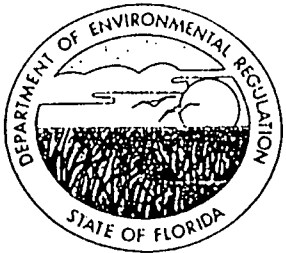
When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL REGULATION


J. Scott Benyon
Deputy Assistant Secretary
1900 S. Congress Avenue, Suite A
West Palm Beach, Florida 33406
407-964-9668

433-2650



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtmann, Secretary

John Shearer, Assistant Secretary
Scott Benyon, Deputy Assistant Secretary

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION
NOTICE OF PERMIT ISSUANCE

In the Matter of an Application
for Permit by:

DER File No. 431622858
WRM - Martin County

Dave Miller
c/o Robert Sandy Construction, Inc.
3452 NE Indian Drive
Jensen Beach, Florida 34957

Enclosed is Permit Number 431622858 to construct a 1,292 square foot private dock issued pursuant to Chapter 403, Florida Statutes.

A person whose substantial interests are affected by this permit may petition for an administration proceeding (hearing) in accordance with Section 120.57, Florida Statutes. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400, within 14 days of receipt of this Permit. Petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. Failure to file a petition within this time period shall constitute a waiver of any right such person may have to request an administrative determination (hearing) under Section 120.57 Florida Statutes.

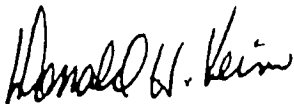
The Petition shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the applicant's name and address, the Department Permit File Number and the county in which the project is proposed;
- (b) A statement of how and when each petitioner received notice of the Department's action or proposed action;
- (c) A statement of how each petitioner's substantial interest are affected by the Department's action of proposed action;
- (d) A statement of the material facts disputed by petitioner, if any;
- (e) A statement of facts which petitioner contends warrant reversal or modification of the Department's action or proposed action;

Dane Miller
May 22, 1989
Page Two

We appreciate your cooperation. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in dark ink, appearing to read "Donald H. Keirn". The signature is fluid and cursive, with the first name "Donald" being more prominent.

Donald H. Keirn
Division of State Lands
Southeast Florida District Office

DHK/bs
Attachments
cc: Department of Environmental Regulation

STATE OF FLORIDA
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building • 3900 Commonwealth Boulevard • Tallahassee, Florida 32399
Tom Gardner, Executive Director

May 22, 1989

Dane Miller
c/o Robert Sandy Construction, Inc.
3452 North East Indian Drive
Jensen Beach, Florida 34957

Dear Mr. Miller:

File No. 431622858
Applicant: Miller, Dane

This will advise you that the applicant is hereby authorized to proceed with construction of a single family dock as proposed in the Department of Environmental Regulation Permit No. 431622858, showing the location in Martin County, Section 1, Township 38, Range 41. This authorization is specifically conditioned upon the following:

- 1) Compliance with and acceptance of the attached general consent conditions.
- 2) The total length of the dock and terminal platform shall be 300 feet waterward of mean high water.
- 3) The access pier shall be five (5) feet above mean high water.
- 4) The dock shall be located at the shoreline to avoid or minimize destruction or impacts to mangroves and other wetlands vegetation.
- 5) The dock shall not be used, on either a temporary or permanent basis, by any watercraft with a full operating draft of vessel and propulsion unit exceeding 1.5 feet.

Please consider this the conditional authority sought under Section 253.77, Florida Statutes, to pursue this project.

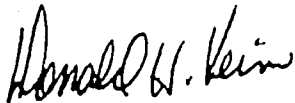
This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.



Dane Miller
May 22, 1989
Page Two

We appreciate your cooperation. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in dark ink, appearing to read "Donald H. Keirn". The signature is fluid and cursive, with the first name "Donald" being more prominent.

Donald H. Keirn
Division of State Lands
Southeast Florida District Office

DHK/bs
Attachments
cc: Department of Environmental Regulation

3058

FENCE

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner PETER S. HUBBARD Present Address 76 So. Sewall's Pt. Rd.
Phone 288-3992

Contractor Carroll Landscape Co Address 7201 Redbird Cir Hobe Sound FL 33455
Phone (407) 546-8308

Where licensed Martin County License number 91-267017

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought A 100 Ft. fence along side of the house (between the two property's)

State the street address at which the proposed structure will be built:

Subdivision Home wood 2 Lot number _____ Block number _____

Contract price \$ 1,500 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Francis J. Hubbard

TOWN RECORD

Date submitted _____ Approved: Dale Brown 9/11/91
Building Inspector _____ Date _____

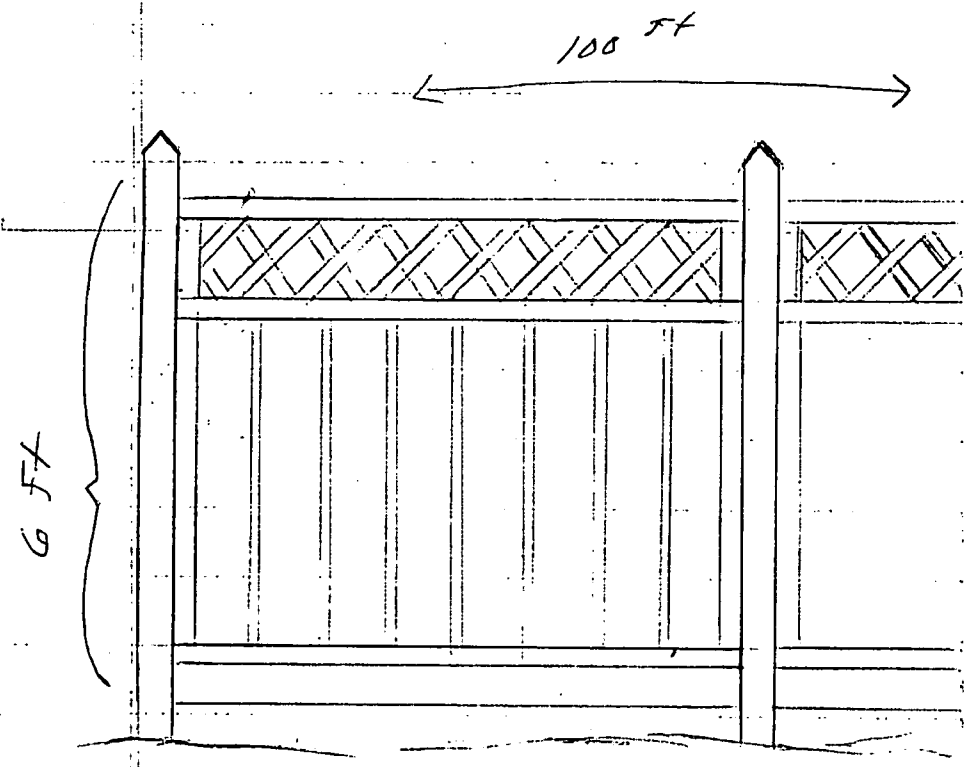
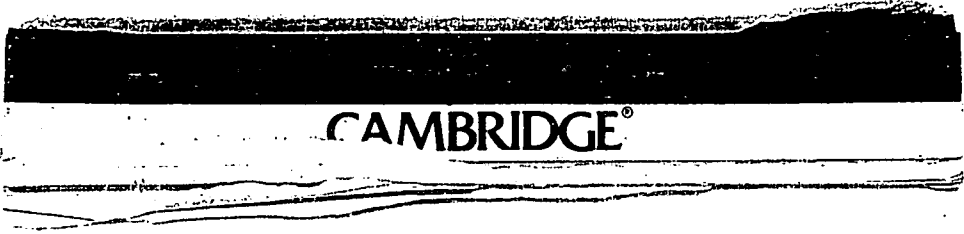
Approved: _____ Commissioner _____ Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



4100

REMODEL

TAX FOLIO NO. 41100DATE 12/2-96APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner PETER HUBBARD Present Address 76. SO. SEWALL'S PT.Phone 288-3992 ROADContractor SUN COUNTRY CONST. Address 1147 S.W. 33RD ST.Phone 287-7066 PALM CITYWhere licensed FLORIDA License Number CBC 014631Electrical Contractor N/A License Number ---Plumbing Contractor GARY BISHOP License Number CO 27632

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: NEW TOP BOARDS (SURFACE) FOR WOOD DECK / REMODEL

BATHROOM & LAUNDRY / AND BUILD STORAGE ROOM IN EXISTING GARAGE.

State the street address at which the proposed structure will be built:

76 SO. SEWALL'S POINT ROAD

Subdivision HOME WOOD Lot Number 2 Block Number AContract Price \$ 10,000.⁰⁰ Cost of Permit \$ 130.⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor Gary F. Clark
CBC 014631

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____

Approved: [Signature]
Building Inspector _____ Date _____Approved: _____ Final Approval given: _____
Commissioner _____ Date _____ Date _____Certificate of Occupancy issued(if applicable) _____
Date _____

SP1282

Permit No. _____

4122

REROOF

4122

TAX FOLIO NO. 13841006001000000DATE 1-9-97APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner PETER HUBBARD Present Address 76 S. SEWALLS PT RDPhone 28 STUART, FLContractor PACIFIC ROOFING Address P.O. BOX 2697Phone 283-7663 STUART, FL 34995Where licensed FLORIDA License Number CCC056798

Electrical Contractor _____ License Number _____

Plumbing Contractor _____ License Number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: RE ROOF - TILE - 5/12 PITCH76 S. SEWALLS PT. RD, STUART, FL
State the street address at which the proposed structure will be built:Subdivision 110 MEWOOD Lot Number 2 Block Number AContract Price \$ 2400 Cost of Permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector of Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____

Approved: _____
Building Inspector _____ Date _____Approved: [Signature]
Commissioner _____ Date _____Final Approval given: _____
Date _____Certificate of Occupancy issued(if applicable) _____
Date _____

SP1282

Permit No. #4122

4344

FENCE

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/6/98

BUILDING PERMIT NO. 4344

Building to be erected for FRANCIS HUBBARD

Type of Permit _____

Applied for by ADREN FENCE

(Contractor)

Building Fee _____

Subdivision HOMELWOOD

Lot 2

Block A

Radon Fee _____

Address 76 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure FENCE

A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Parcel Control Number:

Roofing Fee _____

1 3841006 001 0002 00000

Amount Paid 25 Check # 2977 Cash _____

Other Fees (FENCE) 25

Total Construction Cost \$ 6542

TOTAL Fees 25

Signed _____
Applicant

Signed [Signature]
Town Building Inspector

FENCE PERMIT

INSPECTIONS

SETBACKS
FOOTINGS

DATE _____
DATE _____

HEIGHT
FINAL

DATE _____
DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

☐ New Construction ☐ Remodel ☐ Addition ☐ Demolition

This permit must be visible from the street, accessible to the inspector.

**FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!**

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/6/98

BUILDING PERMIT NO. 4344

Building to be erected for FRANCIS HUBBARD

Type of Permit _____

Applied for by ADRON FENCE

(Contractor)

Building Fee _____

Subdivision HOMELWOOD

Lot 2

Block A

Radon Fee _____

Address 76 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure FENCE

A/C Fee _____

Electrical Fee _____

Plumbing Fee _____

Parcel Control Number:

1 3841006 001 0002 0000

Roofing Fee _____

Amount Paid 25 Check # 2977

Cash _____

Other Fees (FENCE) 25

Total Construction Cost \$ 6542

TOTAL Fees 25

Signed _____

Applicant

Signed [Signature]

Town Building Inspector

FENCE PERMIT

INSPECTIONS

SETBACKS
FOOTINGS

DATE _____
DATE _____

HEIGHT
FINAL

DATE _____
DATE _____

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NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE

DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

4344

Town of Sewall's Point

P.I.N. 1-38-41-006-001-0002.0000Date 2/25/98

ACCESSORY STRUCTURE PERMIT APPLICATION to construct:

- ☐ DOCK requires prerequisite approval from State and Army Corps of Engineers.
☐ BULKHEAD requires prerequisite approval from State and Army Corps of Engineers.
☐ DETACHED GARAGE ☐ SWIMMING POOL ☐ WALL
☐ SOLAR WATER HEATER ☐ SCREENED ENCLOSURE
☒ FENCE may not require sealed drawings.

OTHER: 101' of 48" Jerith Alum Fence + 182' of 72" Wood

Owner's Name

Francis Hubbard

Owner's Address

76 So. Sewall's Pt. Road

Fee Simple Titleholder's Name (If other than owner)

Fee Simple Titleholder's Address (If other than owner)

City

Sewall's Point

State

FL

Zip

34996

Contractor's Name

Adron Fence Co.

Contractor's Address

2762 N.W. 4th St.

City

Okeechobee

State

FL

Zip

34972

Job Name

Francis Hubbard

Job Address

76 So. Sewall's Pt. Road

Martin County, Stuart, FL 34966

Legal Description

Bonding Company

Bonding Company Address

City

State

Zip

Architect/Engineer's Name

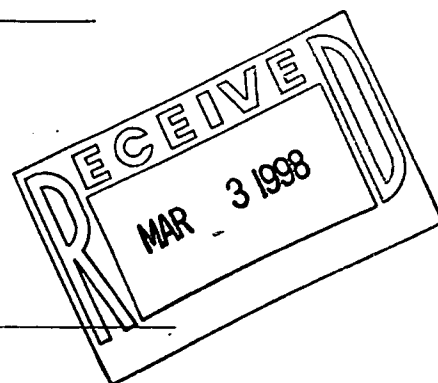
Architect/Engineer's Address

Mortgage Lender's Name

Mortgage Lender's Address

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

#6542



OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent

Date

Contractor

Date

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 25 day of Feb, 1998 by

Pamela S Chambers

who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: Wickie Malcolm

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of



WICKIE MALCOLM
Notary Public, State of Florida
My comm. expires April 20, 2001
Comm. No. CC640056

commission expires: _____

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this ___ day of _____, 199_, by

who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: _____

Typed, printed or stamped

(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of

_____ and my commission expires: _____

Certificate of Competency Holder

Contractor's State Certification or Registration No. _____

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer

_____ Building Commissioner

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERM KATHERINE HUBBARD PUBLIC RELATIONS

NOTICE OF COMMENCEMENT

STATE OF Florida COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):
ALL OF LOT 2, Block 4, Amended Plat of Homestead According to The Plat
Recorded in Plat Book 2 Page 25, Public Records of Martin County, FL.

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER: FRANCES M. Hubbard

ADDRESS: 76 So Sewall's Point Road

PHONE #: (561) 288-3992 FAX #: _____

CONTRACTOR: Adron Fence Co.

ADDRESS: 2762 NW 4 St.

PHONE #: 80-242-5574 FAX #: 941-763-8464

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.18(1)(A)7, FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.18(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Frances M. Hubbard
 SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 27th DAY OF February 1998 BY _____

OR PERSONALLY KNOWN
 PRODUCED ID X
 TYPE OF ID FLD ID# 210 410

STATE OF FLORIDA
 MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL

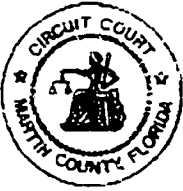
MARSHA STILLER, CLERK

BY Jim Stender D.C.

DATE 3-6-98

2317 BROWN STREET PHILADELPHIA, PA 19130 PHONE/FAX 215.235.8972

OR BK 1 2 9 3 PGO 1 9 1



LAST PAGE

RECORDED & VERIFIED BY

MARSHA STILLER
 CLERK OF CIRCUIT COURT
 MARTIN CO., FL

98 MAR -5 AM 11:01

01283409

Permit # 4344

Adron Fence Company

2762 Nw 4th Street
Okeechobee, FL 34972
Fax (941) 763-8404

To:

Firm:

Fax:

Date:

Joan
Town of Seawalls Point
561-320-4705
3/23/98

*Transmitting 2 pages
including cover

From:

Vicki

Notes:

Recorded Notice of Commencement

For Permit # 4344

Francis Hubbard

If you have any question, or do not receive all pages of this fax,
please call:

941-763-6255

4560

DEMO

(PATIAL INTERIOR)

4560
#87
Bldg. Pmt#

Town of Sewall's Point

BUILDING PERMIT APPLICATION (DEMOLITION)

Owner's Name: LARRY BARBITT Phone No. 954-629-8749
Owner's Present Address: 3660 NE 18TH TERRACE, Pompano Beach 33064 954-431-6459
Fee Simple Titleholder's Name & Address if other than owner: N/A

Location of Job Site: 716 South Sewall's Point Road

TYPE OF WORK TO BE DONE: DEMOLITION (INTERIOR)

CONTRACTOR INFORMATION

Contractor/Company Name: CLARK & COMPANY CONSTRUCTION Phone No. 287-7066
COMPLETE MAILING ADDRESS: 1147 S.W. 33201 ST. PALM CITY FL. 34990
State Registration: FLA. State License: CBC 014631
Legal Description of Property: _____
Parcel Number: _____

ARCHITECT/ENGINEER INFORMATION

Architect: JOSEPH P. MCCARTY Phone No. 287-6735
Address: 900 E. OSCEOLA ST. STUART
Engineer: _____ Phone No. _____
Address: _____

Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement _____
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE _____
Sworn to and subscribed before me this _____ day of _____, 1998 by _____ who is personally known to me or has produced or has produced _____ and who did (did not) take an oath.
CONTRACTOR SIGNATURE Joan H. Barrow
Sworn to and subscribed before me this 3rd day of March, 1998 by J. Clark who is personally known to me or has produced _____ and who did (did not) take an oath.



MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIR INSURANCE, INC.

Joan H. Barrow

TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

4579

REMODEL , ADDITION

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/31/99

BUILDING PERMIT NO. 4579

Building to be erected for LARRY BABBITT Type of Permit BLOC.

Applied for by CLARK & Co. (Contractor) Building Fee 720.00

Subdivision Home wood Lot 2 Block A Radon Fee _____

Address 76 S. SEWALL'S PT. RD. Impact Fee _____

Type of structure REMODEL INTERIOR & ADDITION A/C Fee 120.00

Parcel Control Number: _____ sec # 4560 Electrical Fee 120.00

Amount Paid \$1152.00 Check # 1223 Cash _____ Other Fees (P.R.) 72.00

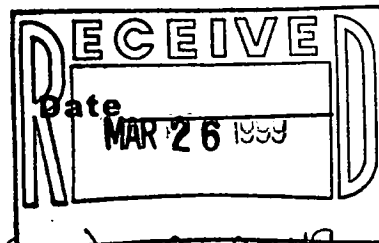
Total Construction Cost \$ 75,000 TOTAL Fees 1152.00

Signed [Signature] Applicant Signed [Signature] Town Building Inspector

Bldg. Pmt# 4579

Town of Sewall's Point

BUILDING PERMIT APPLICATION



Owner's Name: LARRY BABBITT Phone No. (954) 629-8749
Owner's Present Address: (954) 431-6459 Home
Fee Simple Titleholder's Name & Address if other than owner: N/A

Location of Job Site: 76 SO. SEWALL'S POINT ROAD
TYPE OF WORK TO BE DONE: INTERIOR REMODEL AND BEDROOM ADDITION WITH LAUNDRY ROOM
CONTRACTOR INFORMATION
Contractor/Company Name: CLARK COMPANY CONST. Phone No. 287-7066
COMPLETE MAILING ADDRESS: 1147 S.W. 33rd ST. Palm City, FLA. 34990
State Registration: _____ State License: CBC 014631
Legal Description of Property: LOT 2 BLOCK A HOMELAND
Parcel Number: _____

ARCHITECT/ENGINEER INFORMATION

Architect: JOSEPH McCARTY Phone No. 287-6735
Address: 900 EAST OSCEOLA STREET STUART
Engineer: V.J. GERLEY & ASSOC. Phone No. 334-2600
Address: 3190 N.E. MAPLE AVE. JENSEN BEACH

Area Square Footage: Living Area 490 sq ft Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. 43-SS-884
NEW electrical SERVICE SIZE MOVE AMPS AND 43-SS-00883
EXISTING 150 AMP

FLOOD HAZARD INFORMATION

flood zone V 13 minimum Base Flood Elevation (BFE) 10 NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement \$75,000.00
Fair Market Value (FMV) prior to improvement \$1650.000 (Purchase Price 1999)
Substantial Improvement 50% of FMV yes _____ (No) ✓
Method of determining FMV PURCHASE PRICE

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical: COOL ELECTRIC State License ER 000 80 60
Mechanical: CLASSIC COOLING State License# CAC 029403
Plumbing: PLUMBING BY BISHOP State License# CFL 027632
Roofing: PACIFIC ROOFING State License# CCC 056793

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE: Lawrence Babbitt
Sworn to and subscribed before me this 25 day of March, 1999 by Lawrence Babbitt who is personally known to me or has produced or has produced FL ID B1365374105 and who did (did not) take an oath.
CONTRACTOR SIGNATURE: James Clark
Sworn to and subscribed before me this 25 day of March, 1999 by James Clark who is personally known to me or has produced 464464645 and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER-# _____

1. ALL APPLICATIONS REQUIRE:

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # 4579
SEWALL'S POINT

TAX FOLIO # _____

NOTICE OF COMMENCEMENTSTATE OF FLORIDACOUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 2 BLOCK A HOMEWOOD / 76 SO. SEWALL'S PT. RD.

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER: LARRY BABBITTADDRESS: Suite 200A 3660 N.E. 18TH TERRACE Pompano, FLA. 33064PHONE #: (954) 629-8749FAX #: (954) 431-4452(954) 431-6459CONTRACTOR: CLARK & Company CONST.ADDRESS: 1147 S.W. 33RD ST. PALM CITY, FLA. 34990PHONE #: 287-7066FAX #: 287-7066SURETY COMPANY (IF ANY) N/A

ADDRESS: _____

PHONE # _____

FAX #: _____

BOND AMOUNT: _____

LENDER: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES N/A

OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHALL STILLER, CLERK

DATE 3-31-99 D.C.

SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 31 DAY OF March19 99 BY Larry Babbitt

OR

PERSONALLY KNOWN _____

PRODUCED ID _____

My Comm Exp. 6/26/2001





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

RECEIVED

JAN 19 1999

PERMIT NO. 13.55.60 884
DATE PAID: 1-12-99
FEE PAID: 95
RECEIPT #:

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT:

LARRY BARRITT (MAIN HOUSE)

AGENT:

SJB, INC.

TELEPHONE: 288-7176

MAILING ADDRESS:

619 E. 5TH ST.
STUART, FLA.

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 2 BLOCK: A SUBDIVISION: HomeWood PLATTED: 11/10/56

PROPERTY ID #: _____ ZONING: _____ I/M OR EQUIVALENT: ☒ Y ☐ N

PROPERTY SIZE: 0.91 (ACRES) WATER SUPPLY: ☐ PRIVATE PUBLIC ☒ ≤ 2000 GPD ☒ > 2000 GPD
1 MILE

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 76 SOUTH SEWALL'S POINT ROAD

DIRECTIONS TO PROPERTY: SEE LOCATION MAP

SEWALL'S POINT

BUILDING INFORMATION

☐ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SINGLE FAMILY</u>	<u>3</u>	<u>3400</u>	<u>S/F</u>
2				
3				
4				

☒ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE:

STEPHEN J. BROWN

DATE:

1/16/99

APPLICANT'S NAME:

LARRY BABBITT (MAIN HOUSE)

LEGAL DESCRIPTION:

Lot 2, Blk A, HOMEWOOD

PROPOSED SEPTIC SYSTEM SITE INFORMATION

CIRCLE ONE ANSWER FOR EACH QUESTION (FOR ITEMS 1-17 BELOW).

N/A MEANS THAT THE QUESTION IS NOT APPLICABLE.

1. Is there a septic system within 75 feet of the proposed private well? Yes No N/A
2. Is there a potable private well within 75 feet of the available area for the proposed septic system? Yes No
3. Is there a non-potable well within 50 feet of the available area for the proposed septic system? Yes No
4. Is there a proposed well within 25 feet of the building foundation? Yes No
5. Is there a public well that serves less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system? Yes No
6. Is there a public well that serves more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system? Yes No
7. Is there a gravity sewer line or lift station within 50 feet of the proposed lot? Yes No
8. Is there a lake, stream, wetland, or surface water within 75 feet of the available area for the proposed septic system? Yes No
9. Is there a proposed or existing public drinking water line within 10 feet of the proposed septic system? Yes No
10. Is there a storm water retention area or drainage easement within 15 feet of the proposed septic system? Yes No
11. Is the proposed septic system in an area proposed for paving or vehicular traffic? Yes No
12. Are all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot shown on the site plan? Yes No N/A
13. Are all public wells within 200 feet of the applicant's lot shown on the site plan? Yes No N/A
14. Does the site plan include a plat of the lot or total site ownership drawn to scale, boundaries with dimensions, locations of building or residences, swimming pools, recorded easements, proposed or existing septic systems, any proposed or existing wells, public water lines, paved areas or driveways, and surface waters such as lakes, ponds, streams, canals, or wetlands? Yes No
15. Does the site plan show the general slope of the property, recorded easements from the recorded plat, filled areas and drainage features and surface waters such as lakes, ponds, streams, canals, or wetlands? Yes No
16. Are the natural grade elevation in the area of the septic system and the benchmark shown on the site plan? Yes No
17. Is the public water line location from the water meter to the house shown on the site plan? Yes No N/A
18. There is 1400 square feet of available, unobstructed, contiguous land to install the septic system. This area excludes interferences. Shade this available area on the site plan.

SITE ELEVATIONS

1. Crown of road elevation 6.85 NGVD. Show location on the site plan. If the road is not paved, benchmark elevation 6.85 NGVD. Show location on site plan.
2. Natural grade elevation in the area of the proposed septic system 3.7 NGVD. Show location on site plan.
3. Is the building location in a flood hazard area "A" or "V" as identified on F.E.M.A. maps? Yes or No If yes, what is the minimum required flood hazard floor elevation of the building? 10.00 NGVD.

NOTE: Please locate the reference point or benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER

CERTIFIED BY: STEPHEN J. BROWN
FLORIDA PROFESSIONAL NO.: 4049
DATE: 1/16/99 JOB NO.: 2959-01-01



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-00884
DATE PAID: _____
FEE PAID: _____

CONSTRUCTION PERMIT FOR:

[☒] New System [] Existing System [] Holding Tank [] Innovative Other
[] Repair [] Abandonment [] Temporary [] _____

APPLICANT: BABBITT, LARRY (MAIN AGENT: 96-1256, BROWN STEPHEN)

PROPERTY STREET ADDRESS: 76 S SEWALLS POINT Rd SEWALLS POINT FL 34996

LOT: 2 BLOCK: A SUBDIVISION: HOMEWOOD

[Section/Township/Range/Parcel No.]

PROPERTY ID #: --- [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC
DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME
PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT,
REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS
PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM
COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

T [1200] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [☒]
A [0] Gallons MULTI-CHAMBERED/IN SERIES: [☐]
N [0] GALLONS GREASE INTERCEPTOR CAPACITY
K [0] GALLONS DOSING TANK CAPACITY [0] GALLONS @ [0] DOSES PER 24 HRS # PUMPS [0]

D [625] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [0] SQUARE FEET SYSTEM

A TYPE SYSTEM: [☐] STANDARD [☐] FILLED [☒] MOUND [☐]
I CONFIGURATION: [☒] TRENCH [] BED [☐] 5 Trenches X 41.7' L
N

F LOCATION TO BENCHMARK: Finished Floor 6.85'

I ELEVATION OF PROPOSED SYSTEM SITE [37.8] [INCHES] [☐] BELOW BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [25.8] [INCHES] [☐] BELOW BENCHMARK/REFERENCE POINT
L

D FILL REQUIRED: [33.0] INCHES EXCAVATION REQUIRED: [0.0] INCHES

OTHER REMARKS:

The top of the stubout pipe to be a minimum elv. of 6" BELOW FFE 6.85'. The top of the
drainfield pipe to be a minimum elv. of 16" BELOW FFE 6.85'. The top of the septic tank to
be a minimum elv. of 2" BELOW FFE 6.85'. The drainfield aggregate must be a least 18 feet
from the property line(s). Install an approved outlet filter device in the septic tank.
Do not exceed 18" of cover on the top of the drainfield. "See the attached special
conditions list."

SPECIFICATIONS BY: EDGARDO MORALES

TITLE: Environmental Specialist

APPROVED BY: Cross, Ray

TITLE: Env. Supervisor II Martin

CHD

DATE ISSUED: 2/2/99

EXPIRATION DATE: 8/2/00

DH 4016, 03/97 (Obsoletes previous editions which may not be used)

(Stock Number: 5744-001-4016-0) (ostds_cons_4016-1)



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

CENTRAX #: 43-SS-00884
OSTDSNBR : 99-0928-N

APPLICANT: Larry Babbitt (main house)

AGENT: 96-1256 STEPHEN BROWN, SJB

LOT: 2 BLOCK: A SUBDIVISION: Hollywood ID#: Small's Street

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: ☒ YES [] NO NET USABLE AREA AVAILABLE: 0.91 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 500 GALLONS PER DAY [64E-6, TABLE 1]
AUTHORIZED SEWAGE FLOW: 2275 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 1400 SQFT UNOBSTRUCTED AREA REQUIRED: 1250 SQFT

BENCHMARK/REFERENCE POINT LOCATION: FFE 6.85'
ELEVATION OF PROPOSED SYSTEM SITE IS 37.8 [] INCHES [] [Below] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: N/A FT DITCHES/SWALES: N/A FT NORMALLY WET? [] YES ☒ NO
CELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: 65 FT
BUILDING FOUNDATIONS: 18 FT PROPERTY LINES: 18 FT POTABLE WATER LINES: 10 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES ☒ NO 10 YEAR FLOODING? [] YES ☒ NO
0 YEAR FLOOD ELEVATION FOR SITE: - FT NGVD SITE ELEVATION: 3.7 FT NGVD

SOIL PROFILE INFORMATION SITE 1			
Munsell #/Color	Texture	Depth	
10YR 5/3 Brown	F Sand	0 to 24	
10YR 4/2 D. Gray Br.	F Sand	24 to 36	
10YR 6/3 light. Br.	Sand	36 to 60	
10YR 4/1 D. Brown	LFS spodic	60 to 72	
		to	
		to	
		to	
		to	
USDA SOIL SERIES:		Asterno # 35	

SOIL PROFILE INFORMATION SITE 2			
Munsell #/Color	Texture	Depth	
10YR 5/3 Brown	FS	0	to 24
10YR 4/2 D. Gray B.	FS	24	to 36
10YR 6/3 Light. Brown	Sand	36	to 60
10YR 4/1 D. Brown	LFS spodic	60	to 72
			to
			to
			to
USDA SOIL SERIES:		Asterno Sand #35	

OBSERVED WATER TABLE: 24 INCHES [] BELOW [] EXISTING GRADE TYPE: [] APPARENT []
ESTIMATED WET SEASON WATER TABLE ELEVATION: 12 INCHES [Below] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: [] YES ☒ NO MOTTLING: [] YES ☒ NO DEPTH: - INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: FS/0.80 DEPTH OF EXCAVATION: N/A INCHES
DRAINFIELD CONFIGURATION: ☒ TRENCH [] BED [] OTHER (SPECIFY) -
REMARKS/ADDITIONAL CRITERIA: -

SITE EVALUATED BY: [Signature] DATE: 1/22/99



Martin County Health Department

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: Larry Babbitt SEPTIC TANK PERMIT NO.: 43, SS - 43-SS-884
LEGAL DESCRIPTION: Lot 2, Block A, Homewood

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Department prior to the first plumbing inspection by the Building Department. Approval of this stubout elevation certification constitutes commencement of building construction for septic system permits.

- ☒ 1. Building Permit Number: _____ (Certification not required for this item).
- ☒ 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches (circle one) above / below benchmark elevation as indicated on septic tank permit.
- ____ 3. I certify that the top of the lowest building plumbing stubout is _____ inches (circle one) above / below crown of road elevation shown on septic tank permit.
- ____ 4. I certify that the top of the drainfield pipe elevation is _____ inches (circle one) above / below _____ BM / CR.
- ____ 5. I certify that all moderate and or severely limited soils have been removed from an area of _____ feet by _____ feet a minimum depth of _____. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram _____ A / _____ B on reverse side) Date Observed: ____/____/____
- ____ 6. I certify that all moderately and or severely limited soils have been removed in an area _____ feet wide or 33% of the area of the drainfield. This area is centered in the drainfield and extends to a depth of _____ feet where slightly limited soils exist. Surveyor must submit 2 plot plans to scale of excavated area. (See diagram B on reverse side) Date Observed: ____/____/____

- NOTE:
- a. Severely limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.
 - c. Condition numbers 5 and 6 may be satisfied with excavation certification from the certified septic installer responsible for drainfield installation.

CERTIFIED BY: _____

As applicant or applicant's representative,
I understand the above requirements.

Date: _____ Job Number: _____

(Signature)

FOR MARTIN COUNTY HEALTH DEPARTMENT USE ONLY

Martin County Health Department Approval Signature

(Date)

Stubcert.doc forms disk I Revised 12/17/98

DIAGRAM "A"

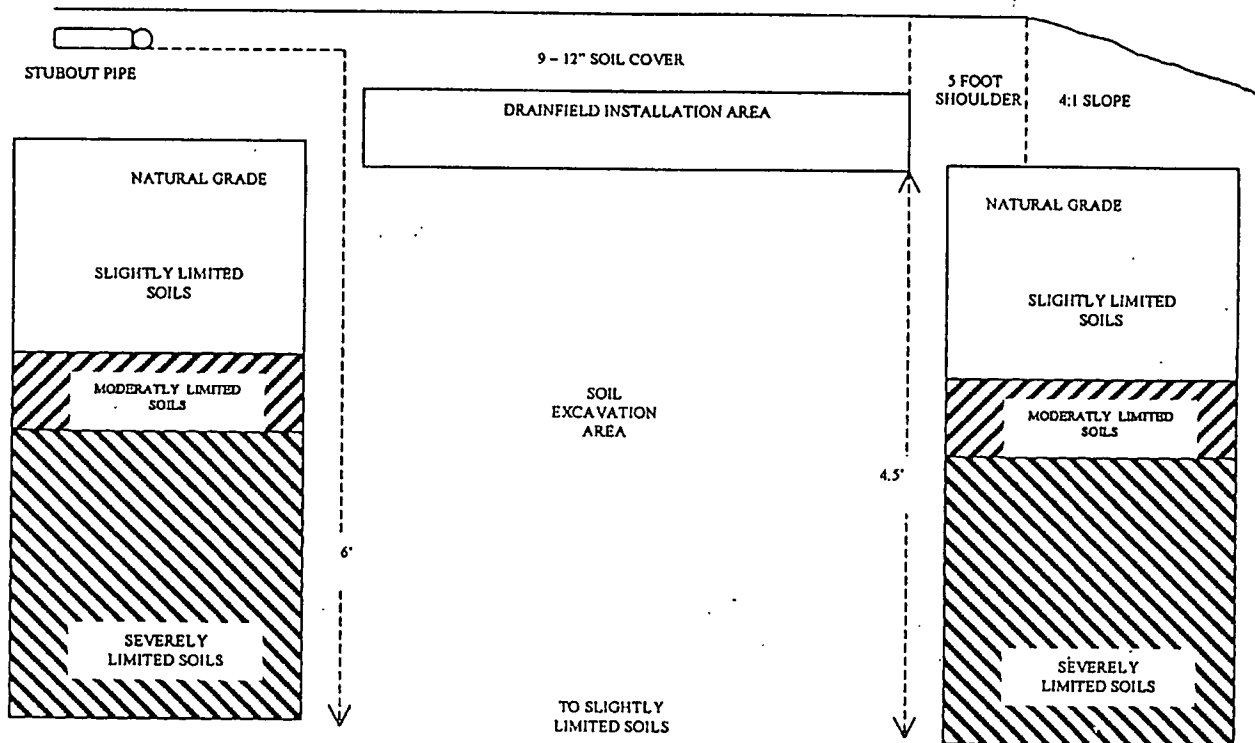
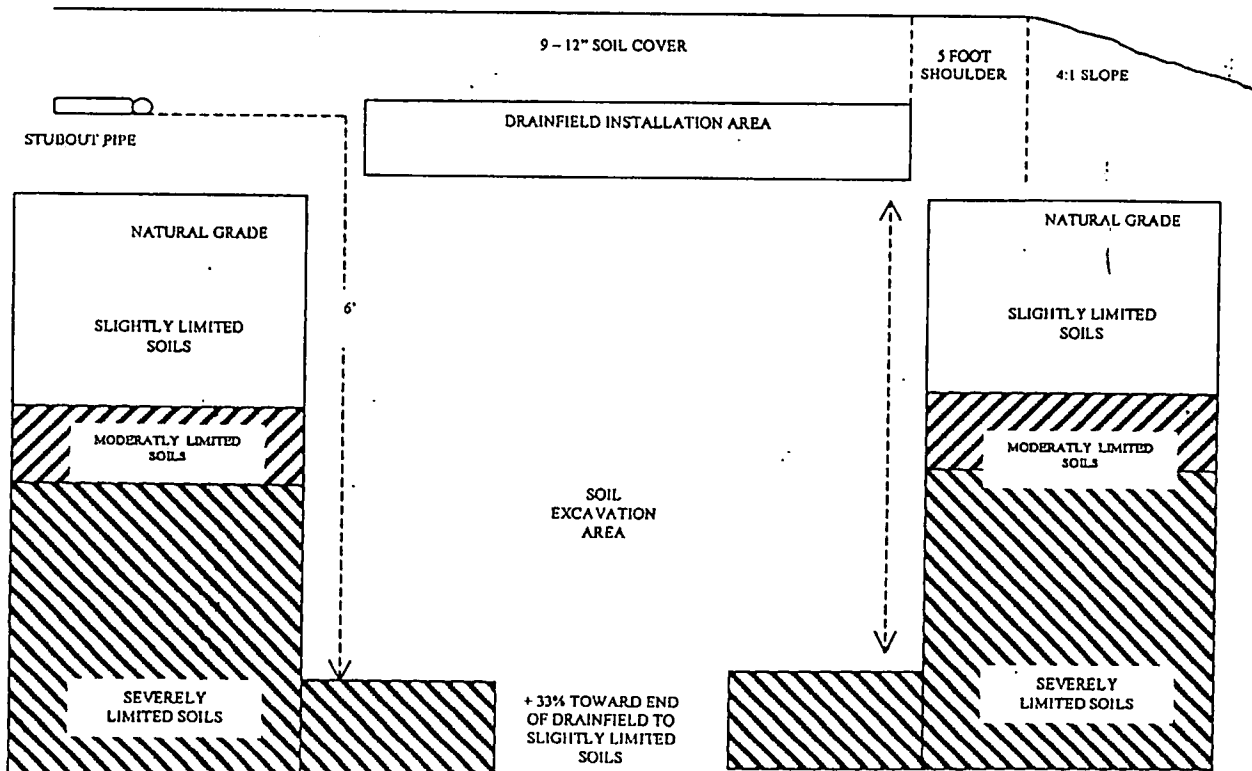


DIAGRAM "B"





Martin County Health Department

SEPTIC TANK SYSTEM SPECIAL CONDITIONS LIST

APPLICATION NAME: Babbitt PERMIT NO.: 43-SS-884
SUBDIVISION: Main House Lot 2, Block A Homewood

NOTE Special Condition(s) marked "X" are in effect.

- ☒ 1. Drainfield must be maintained under grass; ___ and protected from vehicular traffic (i.e., traffic barriers).
- ☐ 2. Operational test of dosing pump(s) and high water alarm (audible and visual) required prior to final construction approval.
- ☒ 3. Driveway / sidewalk elevation must be 9" higher than drainfield pipe elevation if they are within 15 feet of each-other.
- ☒ 4. Septic system must be 75' from surface water / wetlands / mean high water line.
- ☐ 5. Excavate one foot beyond drainfield area to a depth of _____.
- ☐ 6. In addition to item #5, 33% of unsuitable soils at depths greater than _____ must be removed to a depth of slightly limited soils.
- ☐ 7. If excavation is not required below the drainfield, the organic vegetation layer at the existing grade must be removed and slightly limited fill placed between the existing grade and the bottom of the drainfield.
- ☒ 8. Septic tank abandonment notices from the Septic Tank Contractor must be received by this office prior to final construction approval.
- ☒ 9. The attached well abandonment form must be completed by a certified well driller and submitted to this office prior to the initial building construction or system inspection.
- ☒ 10. The mound area must be sodded prior to the request for final grade inspection.
- ☒ 11. Any future ponds or surface water created onsite must be greater than 75' from septic system(s).
- ☒ 12. The available area for septic installation must to be evenly filled and leveled.
- ☐ 13. \$_____ re-inspection fee is required if the well is not installed at time of initial onsite sewage disposal system inspection.

☒ SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS. Page 1 of 3

SPECIAL CONDITION REQUIREMENTS (Page 2 of 3) Revised 11/18/98

- ☒ 14. Septic system must be a minimum of 10 feet from drainage culverts or storm water drains and a 15 feet minimum from dry retention, dry detention or dry drainage ditches.
- ☐ 15. Occupational approval will not be given until all requirements for public water system/ food-service/ institutional/ septic system are met. _____
- ☐ 16. Septic tank/ dosing chamber/ grease trap must have (traffic lds with) manhole cover (s) per tank extending to the surface.
- ☐ 17. _____ to be dosed two / six times in a twenty-four hour period is required. A high water alarm that gives audible and visual signals is required. If two drainfields are used, each field must be connected to an individual pump and alternately dose.
- ☐ 18. Two pumps are required to alternately dose into two separate fields. Separate drainfields must be a minimum of 10 feet apart.
- ☒ 19. If the roof drip line is within 5 feet of the drainfield, shoulder or slope and the roof drains toward the septic system, gutters are required.
- ☒ 20. Irrigation lines must be separated from the drainfield by ten feet unless an approved backflow prevention device is properly installed.
- ☒ 21. Potable water lines, whether connected to an on-site well or to a utility meter, must be a minimum of ten feet from drainfields or sealed with a water proof sealant within a sleeve of similar pipe to a distance of ten feet from the nearest portion of the drainfield. In no case can the sleeved line be located within 24 inches of the drainfield or at an elevation lower than the bottom of the drainfield.
- ☒ 22. All new wells must be 25' from the building foundation and meet all other setback installation requirements.
- ☒ 23. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.
- ☒ 24. If the building stubout is placed more than 20ft. from septic tank or drainfield, the stubout elevation must be higher than the permitted elevation to achieve gravity flow. This must have prior approval from the health unit.
- ☒ 25. If fill is required, contact Martin County Building Division for requirements.
- ☒ 26. Inspection results will be posted on the building permit. A copy of the construction approval is available upon request.
- ☒ 27. A septic tank outlet filter is required on all septic tanks.
- ☒ 28. If any information on this permit changes, an amended application is required to be filed immediately.

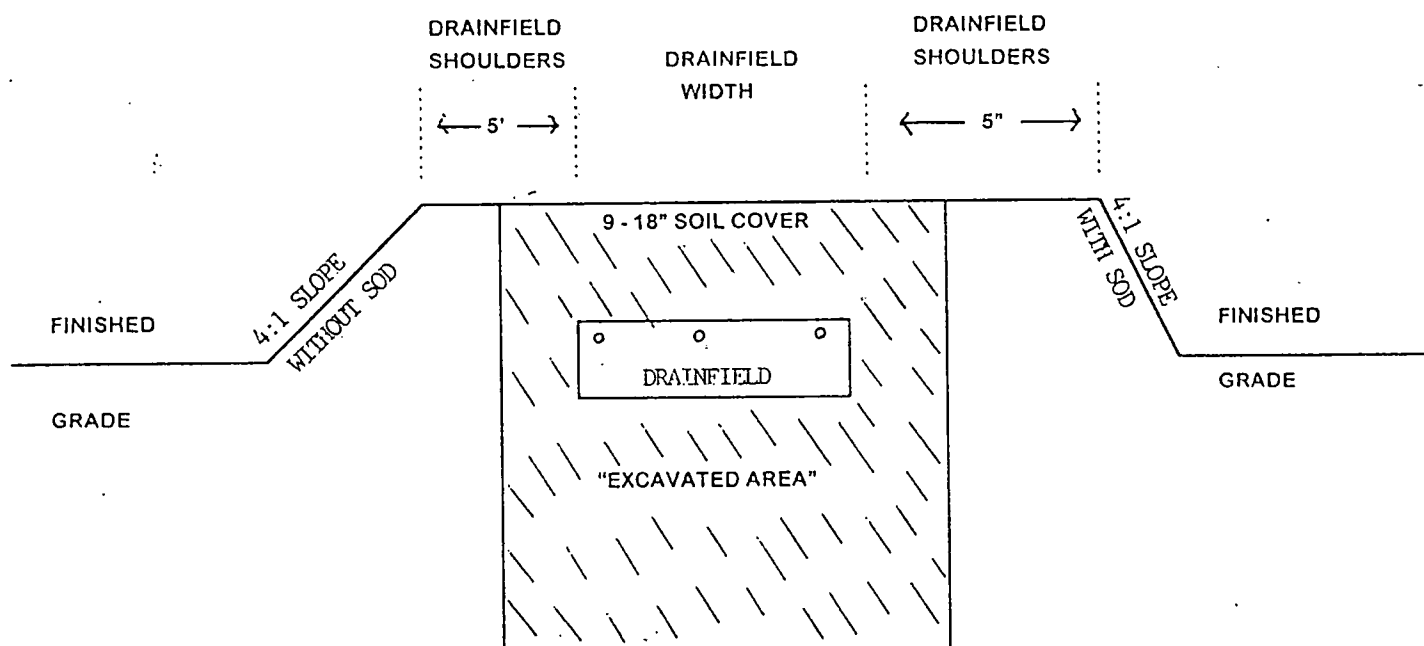
X 29. Any alteration of the information or conditions of this permit found to be in non compliance with 64E-6, Florida Administrative Code, will be sufficient cause for revocation of this permit.

___ 30. The engineer of record must certify that the installed system complies with the approved design and installation requirements.

___ 31. Prior to final construction approval, the property owner must apply for an annual operating permit and pay the \$_____ annual permit fee (For ___ Indust./Manuf. ___ Aerobic system ___ Commercial System).

X 32. If a mound drainfield is proposed, see following sketch of additional requirements (No retaining walls are allowed within the drainfield shoulder or slope areas of a mound system).

DRAINFIELD MOUND REQUIREMENTS



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.
SEE EXCAVATION CERTIFICATION SHEET FOR EXCAVATION DETAILS.

___ 33. A well construction permit is required prior to well installation.

___ 34. Other: _____

NOTE - \$25.00 RE-INSPECTION FEE WILL BE CHARGED IF REQUIREMENTS ARE NOT MET DURING INSPECTION.

Questions concerning special conditions can be answered by calling Egar Morales at (561) 221-4090

cl:special confr. 11/18/98

FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET

FORT PIERCE (561) 461-7508

FORT PIERCE FLORIDA 34946

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

Report of DENSITY OF SOIL IN PLACE ASTM D2922

CLIENT: Clark & Company

DATE: 4/15/99

CONTRACTOR: Client

PERMIT #: 4579

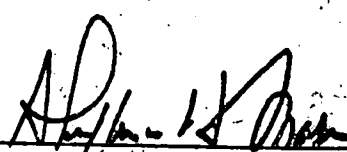
SITE: 76 S. Sewall's Point Road
Addition, Footings for Stemwall

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
9583	4/15/99	North Footing Center	0 - 1'	9583	106.0	104.8	98.9
		South Footing Center	0 - 1'			105.1	99.2
ALL ELEVATIONS BELOW FOOTING GRADE.							

Copies: Client - 1
Martin Co. Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.


Alexander H. Fraser, P.E. Fla. Reg. No. 16178

FRASER ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET

FORT PIERCE, FLORIDA 34946

VERO BEACH (561) 567-6167

FORT PIERCE (561) 461-7598

STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

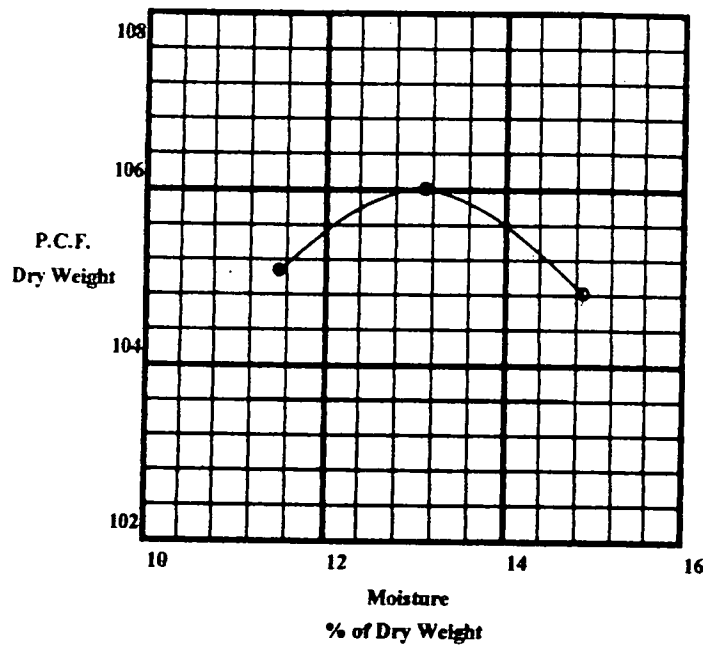
Report of MOISTURE DENSITY RELATIONSHIP ASTM D-1557

CLIENT: Clark & Company

DATE: 4/15/99

CONTRACTOR: Client

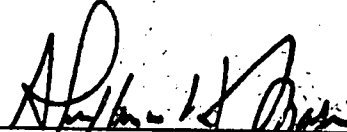
SITE: 76 S. Sewall's Point Road
Addition, Footings for Stemwall



Test No.	Test Method	Sample Location	Optimum Moisture %	Max. Dry Density- P.C.F.	Soil Description
9583	B	Composite	13.1	106.0	Brown and gray fine sand.

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.


Alexander H. Fraser, P.E., Florida Reg. No. 16178

FRASER ENGINEERING AND TESTING, INC.

VERO BEACH (561) 567-6167

3504 INDUSTRIAL 33rd STREET
FORT PIERCE (561) 461-7508

FORT PIERCE FLORIDA 34946
STUART (561) 283-7711

FT. PIERCE 1-800-233-9011

Report of DENSITY OF SOIL IN PLACE ASTM D2922

CLIENT: Clark Construction

DATE: 4/30/99

CONTRACTOR: Client

PERMIT #: 4579

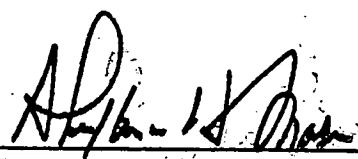
SITE: 76 S. Sewall's Point Rd.
Foundation Fill - Addition

DENSITY TEST NO.	DATE TESTED	LOCATION	ELEVATION	MOISTURE-DENSITY RELATIONSHIP		IN PLACE DRY DENSITY	PERCENT COMPACTION
				TEST NO.	MAX. DRY WT.		
9654	4/30/99	S.W. Corner	0 - 1'	9583	106.0	103.3	94.5
		S.W. Corner	1 - 2'			104.2	98.3
		Center	0 - 1'			103.6	97.7
		Center	1 - 2'			104.7	98.8
		N.E. Corner	0 - 1'			102.5	96.7
		N.E. Corner	1 - 2'			104.3	98.4
ALL ELEVATONS BELOW SLAB GRADE.							

Copies: Client - 1
Sewall's Pt. Bldg. Dept. - 1

Respectfully submitted,

FRASER ENGINEERING AND TESTING, INC.


Alexander H. Fraser, P.E. Fla. Reg. No. 16178

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600C-97

Residential Limited Applications Prescriptive Method C

SOUTH 7 8 9

Small Additions, Renovations & Building Systems

Department of Community Affairs

Compliance with Method C of Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600C-97 for additions of 600 square feet or less, site-installed components of manufactured homes, and renovations to single and multifamily residences. Alternative methods are provided for additions by use of Form 600B-97 or 600A-97.

PROJECT NAME: AND ADDRESS:	Babbitt KES	BUILDER: JF Clark	CLIMATE ZONE: 7 <input checked="" type="checkbox"/> 8 <input type="checkbox"/> 9 <input type="checkbox"/>
	705 Sewells Point Rd	PERMITTING OFFICE:	
OWNER: Larry Babbitt		PERMIT NO.:	JURISDICTION NO.:

SMALL ADDITIONS TO EXISTING RESIDENCES (600 Square feet or less of conditioned area). Prescriptive requirements in Tables 6C-1, 6C-2 and 6C-3 apply only to the components of the addition, not to the existing building. Space heating, cooling, and water heating equipment efficiency levels must be met only when equipment is installed specifically to serve the addition or is being installed in conjunction with the addition construction. Components separating unconditioned spaces from conditioned spaces must meet the prescribed minimum insulation levels. RENOVATIONS (Residential buildings undergoing renovations costing more than 30% of the assessed value of the building). Prescriptive requirements in Tables 6C-1 and 6C-2 apply only to the components and equipment being renovated or replaced. MANUFACTURED HOMES AND BUILDINGS. Only site-installed components and features are covered by this form. BUILDING SYSTEMS Comply when complete new system is installed.

Please Print

CK

1. Renovation, Addition, New System or Manufactured Home

2. Single family detached or Multifamily attached

3. If Multifamily—No. of units covered by this submission

4. Conditioned floor area (sq. ft.)

5. Predominant eave overhang (ft.)

6. Glass area and type:

- Clear glass
- Tint, film or solar screen

7. Percentage of glass to floor area

8. Floor type and insulation:

- Slab-on-grade (R-value)
- Wood, raised (R-value)
- Wood, common (R-value)
- Concrete, raised (R-value)
- Concrete, common (R-value)

9. Wall type and insulation:

- Exterior:
 - Masonry (Insulation R-value)
 - Wood frame (Insulation R-value)
- Adjacent:
 - Masonry (Insulation R-value)
 - Wood frame (Insulation R-value)
- Marriage Walls of Multiple Units* (Yes/No)

10. Ceiling type and insulation:

- Under attic (Insulation R-value)
- Single assembly (Insulation R-value)

11. Cooling system*

(Types: central, room unit, package terminal A.C., gas, existing, none)

12. Heating system*: (Types: heat pump, elec. strip, natural gas, L.P. gas, gas h.p., room or PTAC, existing, none)

13. Air Distribution System*:

- Backflow damper or single package systems* (Yes/No)
- Ducts on marriage walls adequately sealed* (Yes/No)

14. Hot water system:

(Types: elec., natural gas, other, existing, none)

* Pertains to manufactured homes with site installed components.

1. Addition	
2. SFD	
3. 1	
4. 494	
5. 0.0	
6a. 34.0 sq. ft.	Double Pane
6b. 1.07 %	
7. 1.07 %	
8a. R= 0.0 43.4 lin. ft.	
8b. R=	
8c. R=	
8d. R=	
8e. R=	
9a-1 R= 5 348 sq. ft.	
9a-2 R= 19 150 sq. ft.	
9b-1 R= 5 149 sq. ft.	
9b-2 R=	
9c	
10a. R=	
10b. R= 30 494 sq. ft.	
11. Type: central	
SEER/EER: 12.0	
12. Type: strip	
HSPF/COP/AFUE: 1.0	
13a.	
13b. 425	
14. Type: elect	
EF: 80	

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY:

DATE:

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT:

DATE:

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL:

DATE:

TABLE 6C-1: PRESCRIPTIVE REQUIREMENTS FOR SMALL ADDITIONS (600 Sq. Ft. and Less), RENOVATIONS TO EXISTING BUILDINGS AND SITE-INSTALLED COMPONENTS OF MANUFACTURED HOMES.

COMPONENT		MINIMUM INSULATION	INSULATION INSTALLED	EQUIPMENT		MINIMUM EFFICIENCY	INSTALLED EFFICIENCY
WALLS	Concrete Block	R-5	<u>R-5</u>	COOLING	Central A/C - Split	SEER = 10.0	SEER = <u>12</u>
	Frame, 2' x 4'	R-11			-Single Pkg.	SEER = 9.7	SEER = _____
	Frame, 2' x 6'	R-19	<u>R-19</u>		Room unit or PTAC	EER = 8.5*	EER = _____
	Common, Frame	R-11		SPACE HEATING	Electric Resistance	ANY	
	Common, Masonry	R-3			Heat pump - Split	HSPF = 6.8	HSPF = _____
CEILINGS	Under Attic	R-30			- Single Pkg.	HSPF = 6.6	HSPF = _____
	Single Assembly; Enclosed	R-19	<u>R-30</u>		Room unit or PTHP	COP = 2.7*	HSPF/ = _____
	Frame	R-13			Gas, natural or propane	AFUE = .78	AFUE = _____
	Metal Pans	R-10			Fuel Oil	AFUE = .78	AFUE = _____
	Single Assembly; Open	R-11		HOT WATER	Electric Resistance	EF = .88	EF = <u>88</u>
FLOORS	Slab-on-grade	No Minimum	<u>0.0</u>		Gas, Natural or L.P.	EF = .54	EF = _____
	Raised Wood	R-11			Fuel Oil	EF = .54	EF = _____
	Raised Concrete	R-5					
	Common, Frame	R-11					
DUCT	In unconditioned space	R-6	<u>R-6</u>				
	In conditioned space	No minimum					

* See Table 6-3, 6-7

TABLE 6C-2: PRESCRIPTIVE REQUIREMENTS FOR GLASS AREAS IN ADDITIONS ONLY

Maximum percentage glass to floor area allowed is selected by type, overhang length, and shading coefficient. Maximum% = _____ Installed % = _____							
GLASS TYPE, OVERHANG, AND SHADING COEFFICIENT REQUIRED FOR GLASS PERCENTAGE ALLOWED							
UP TO 20%		UP TO 30%		UP TO 40%		UP TO 50%	
Single	Double	Single	Double	Single	Double	Single	Double
OH - SC	OH - SC	OH - SC	OH - SC	OH - SC	OH - SC	OH - SC	OH - SC
1' - 1.0	0' - .90	2' - 1.0	1' - .90	3' - 1.0	2' - .90	4' - 1.0	3' - .90
<u>0' - .86</u>		1' - .86	0' - .70	2' - .86	1' - .70	3' - .86	2' - .70
		0' - .65		1' - .65	0' - .50	2' - .65	1' - .50
				0' - .45		1' - .45	0' - .40
						0' - .35	
SHGC or SC may be obtained from the manufacturer. Single clear SC = 1.0, double clear SC = .90, and single tint SC = .86. SHGC ÷ .87 = SC							

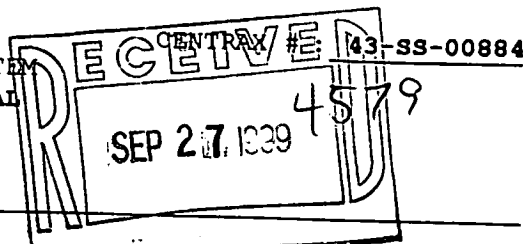
TABLE 6C-3 MINIMUM REQUIREMENTS FOR ALL PACKAGES			
COMPONENTS	SECTION	REQUIREMENTS	CHECK
Exterior Joints & Cracks	606.1	To be caulked, gasketed, weather-stripped or otherwise sealed.	✓
Exterior Windows & Doors	606.1	Max. 0.3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	✓
Sole & Top Plates	606.1	Sole plates and penetrations through top plates of exterior walls must be sealed.	✓
Recessed Lighting	606.1	Type IC rated with no penetrations (two alternatives allowed).	✓
Multi-story Houses	606.1	Air barrier on perimeter of floor cavity between floors.	✓
Exhaust Fans	606.1	Exhaust fans vented to unconditioned space shall have dampers, except for combustion devices with integral exhaust ductwork.	✓
Combustion Heating	606.1	Combustion space and water heating systems must be provided with outside combustion air, except for direct vent appliances.	✓
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	✓
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have minimum thermal efficiency of 78%.	exist.
Hot Water Pipes	612.1	Insulation is required for hot water circulating systems (including heat recovery units).	✓
Shower Heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	✓
HVAC Duct Construction, Insulation & Installation	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610.1. Ducts in attics must be insulated to a minimum of R-6.	✓
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	✓

GENERAL DIRECTIONS:

- On Table 6C-1 indicate the R-value of the insulation being added to each component and the efficiency levels of the equipment being installed. All R-values and efficiencies installed must meet or exceed the minimum values listed. Components and equipment neither being added nor renovated may be left blank.
- ADDITIONS ONLY.** Determine the percentage of new glass to conditioned floor area in the addition as follows. Total the areas of all glass windows, sliding glass doors and glass door panels. Double the area of all non-vertical roof glass and add it to the previous total. When glass in existing exterior walls is being removed or enclosed by the addition, an amount equal to the total area of this glass may be subtracted from the total glass area. Divide the adjusted glass area total by the conditioned floor area of the addition. Multiply by 100 to get the percent. Find the largest glass percentage under which your calculated percentage falls on Table 6C-2. Prescriptives are given by the type of glass (Single or Double pane) and the overhang (OH) paired with a shading coefficient (SC). For a given glass type and overhang, the minimum shading coefficient allowed is specified. Actual glass windows and doors previously in the exterior walls of the house and being reinstalled in the addition do not have to comply with the overhang and shading coefficient requirements on Table 6C-2. All new glass in the addition must meet the requirement for one of the options in the glass percentage category you indicated. The overhang (OH) distance is measured perpendicularly from the face of the glass to a point directly under the outermost edge of the overhang.
- RENOVATIONS ONLY.** Replacement glass needs to meet the following requirements. Any glass type and shading coefficient may be used for glass areas which are under at least a two foot overhang and whose lowest edge does not extend further than 8 feet from the overhang. Glass areas being renovated that do not meet this criteria must be either single-pane tinted, double-pane clear or double-pane tinted.
- BUILDING SYSTEMS.** Comply when new system is installed for system installed.
- Complete the information requested on the top half of page 1.
- Read "Minimum Requirements for Small Additions and Renovations", Table 6C-3, and check all applicable items.
- Read, sign and date the "Owner/Agent" certification statement on page 1.



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION INSPECTION AND FINAL APPROVAL



APPLICANT: BABBITT, LARRY (MAIN HOMEENT: 96-1256,

PROPERTY STREET ADDRESS: 76 S SEWALLS POINT Rd SEWALLS POINT FL 34996

LOT: 2 BLOCK: A SUBDIVISION: HOMWOOD

PROPERTY ID #: --- [Section/Township/Range/Parcel No.]
[OR TAX ID NUMBER]

CHECKED [X] ITEMS ARE NOT IN COMPLIANCE WITH CHAPTER 64E-6, FLORIDA ADMINISTRATIVE CODE.

TANK INSTALLATION

- [] [01] TANK SIZE [1] 1350 [2]
- [] [02] TANK MATERIAL Fiberglass
- [] [03] OUTLET DEVICE Label A1800
- [] [04] MULTI-CHAMBERS
- [] [05] LEGEND Alpha Gen. 28-004-17
- [] [06] WATERTIGHT
- [] [07] LEVEL
- [] [08] DEPTH OF LID

SETBACKS

- [] [27] SURFACE WATER
- [] [28] DITCHES
- [] [29] PRIVATE WELLS
- [] [30] PUBLIC WELLS
- [] [31] IRRIGATION WELLS
- [] [32] POTABLE WATER LINES
- [] [33] BUILDING FOUNDATION
- [] [34] PROPERTY LINES
- [] [35] OTHER NA

DRAINFIELD INSTALLATION Trenches

- [] [09] AREA [1] 625 [2] SQFT
- [] [10] DISTRIBUTION BOX/GRADER
- [] [11] NUMBER OF DRAINLINES 6
- [] [12] DRAINLINE SEPARATION
- [] [13] DRAINLINE SLOPE

FILLED/MOUND SYSTEM

- [] [36] DRAINFIELD COVER
- [] [37] SHOULDERS
- [] [38] SLOPES
- [] [39] STABILIZATION MATERIAL 9-27-99

- [] [14] DEPTH OF COVER
- [] [15] SYSTEM ELEVATION 26" Below FFE (Garage)
- [] [16] SYSTEM LOCATION
- [] [17] DOSING PUMPS NA
- [] [18] AGGREGATE SIZE
- [] [19] AGGREGATE SOURCE
- [] [20] AGGREGATE WASHED
- [] [21] AGGREGATE DEPTH

ADDITIONAL INFORMATION

- [] [40] UNOBSTRUCTED AREA
- [] [41] STORMWATER RUNOFF
- [] [42] ALARMS
- [] [43] MAINTENANCE AGREEMENT
- [] [44] BUILDING AREA
- [] [45] PLUMBING FIXTURES
- [] [46] FINAL SITE GRADING
- [] [47] CONTRACTOR K. Hamilton
- [] [48] OTHER EQ 36, 25 chambers

FILL/EXCAVATION MATERIAL

- [] [22] FILL AMOUNT
- [] [23] FILL TEXTURE
- [] [24] EXCAVATION DEPTH
- [] [25] EXCAVATION AREA
- [] [26] REPLACEMENT MATERIAL

ABANDONMENT

- [] [49] TANK PUMPED
- [] [50] TANK CRUSHED AND FILLED

EXPLANATION OF VIOLATIONS:

Cover, hold for Final Grade
Final grade Approved Em 9-27-99

INSTRUCTION [APPROVE / DISAPPROVE]

INAL SYSTEM [APPROVE / DISAPPROVE]

Martin

CHD Date: 8-12-99

Martin

CHD Date: 9-27-99



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Gulfstream Aluminum and Shutter Corporation
197 S.E. Monterey Rd.
Stuart FL 34994

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Product Approval of:

ASSA/Economy Aluminum Accordion Shutter

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.

If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 99-0712.04

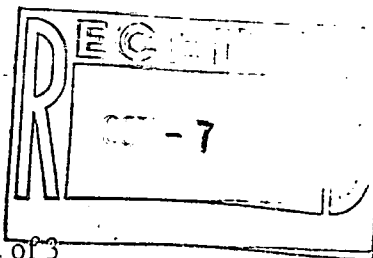
Expires: 08/30/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.



Approved: 09/01/1999

Francisco J. Quintana, R.A.

Director
Miami-Dade County
Building Code Compliance Office





METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Gulfstream Aluminum & Shutter
197 S.E. Monterey Rd.
Stuart FL 34994

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339

Your application for Product Approval of:

Aluminum Storm Panel (5052-H32 Alloy)

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

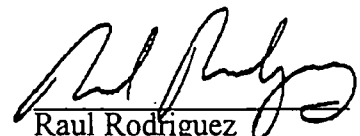
Applicant, along with Gulfstream Aluminum & Shutter Corp. Drawing No. 96-314, sheets 1 through 5 of 5, dated 10/07/96, revision #1 dated 01/15/98, signed and sealed on 01/16/98 by Walter A. Tillit Jr., P.E. (For listing, see Section 8 of this Notice of Acceptance)

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any ammendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0606.01

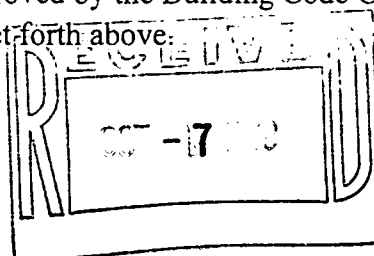
Expires: 02/19/01

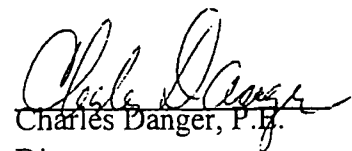

Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.




Charles Danger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 02/19/98

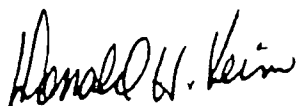
-1-



Dane Miller
May 22, 1989
Page Two

We appreciate your cooperation. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in dark ink, appearing to read "Donald H. Keirn". The signature is written in a cursive, slightly slanted style.

Donald H. Keirn
Division of State Lands
Southeast Florida District Office

DHK/bs
Attachments
cc: Department of Environmental Regulation



PERMIT # 4579
BABBITT

COURT REPORTERS

TEL NO: (941) 460-1900

#36416 PAGE: 2/21

CLARK & CO. CONST.

METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901
FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Vinyl Tech/Progressive Glass Technology
1070 Technology Drive
Nokomis FL 34275

PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-8339

Your application for Product Approval of:

Series C-700 Outswing Aluminum Casement Window - Impact

under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and Types of Construction, and completely described in the plans, specifications and calculations as submitted by:

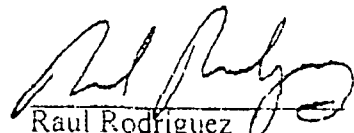
Applicant, along with Drawing No. 330, Sheets 1 thru 10 of 10. (For listing, see Section 8 of this Notice of Acceptance)

has been recommended for acceptance by the Building Code Compliance office to be used in Dade County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, the Code Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The applicant shall re-evaluate this product or material should any amendments to the South Florida Building Code be enacted affecting this product or material. The Building Code Compliance Office reserves the right to revoke this approval, if it is determined by the Building Code Compliance Office that this product or material fails to meet the requirements of the South Florida Building Code. The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 97-0212.01


Expires: 04/16/01


Raul Rodriguez
Product Control Supervisor

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE COMMITTEE

This application for Product Approval has been reviewed by the Metropolitan Dade County Building Code Compliance Department and approved by the Building Code Committee to be used in Dade County, Florida under the conditions set forth above.


Charles Dinger, P.E.
Director
Building Code Compliance Dept.
Metropolitan Dade County

Approved: 04/16/98

CLARK & CO. CONST.



Permit # 4579

BABBITT

METROPOLITAN DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDINGBUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130 1563(305) 375-2901
FAX (305) 375-2900PRODUCT CONTROL DIVISION
(305) 375-2902
FAX (305) 372-6339**PRODUCT CONTROL NOTICE OF ACCEPTANCE**

Southeastern Door Company

P. O. Box 794

Jupiter

FL 33458

Your application for Product Approval of:
*Series 600 Aluminum Sliding Glass Door*under Chapter 8 of the Metropolitan Dade County Code governing the use of Alternate Materials and
Types of Construction, and completely described in the plans, specifications and calculations as submitted by:*Applicant, along with Drawing No. S.D.C 100-1, Sheets 1 and 2 of 2. (For listing, see
Section 8 of this Notice of Acceptance)*has been recommended for acceptance by the Building Code Compliance office to be used in Dade
County, Florida under the specific conditions set forth on pages 2 et. seq. and the Standard Conditions
on page 3.

This approval shall not be valid after the expiration date stated below. The Office of Code Compliance
reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for
quality control testing. If this product or material fails to perform in the approved manner, the Code
Compliance Office may revoke, modify, or suspend the use of such product or material immediately. The
applicant shall re-evaluate this product or material should any amendments to the South Florida Building
Code be enacted affecting this product or material. The Building Code Compliance Office reserves the
right to revoke this approval, if it is determined by the Building Code Compliance Office that this
product or material fails to meet the requirements of the South Florida Building Code. The expense of
such testing will be incurred by the manufacturer.

Acceptance No.: 97-0131.04Expires: 02/05/01
Raul Rodriguez

Product Control Supervisor

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS****BUILDING CODE COMMITTEE**

This application for Product Approval has been reviewed by the Metropolitan Dade County Building
Code Compliance Department and approved by the Building Code Committee to be used in Dade
County, Florida under the conditions set forth above.

Charles Danger, P.E.

Director

Building Code Compliance Dept.
Metropolitan Dade CountyApproved: 02/05/98

-1-



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
One South Sewall's Point Road
Sewall's Point, Florida 34996
Tel: (561) 287-2455
Fax: (561) 220-4765



TEMPORARY ELECTRIC HOOK-UP AGREEMENT: PN 4579

OWNER: LARRY BABBITT ; ADDRESS: 71603 Palmetto Way Cooper City FL 330
PROJECT ADDRESS: 76 SO. SEWALL'S PT. RD. ; LEGAL: LOT 2 BLK A SUB HOMEWOOD
GENERAL CONTRACTOR: CLARK & COMPANY CONST. ; LIC/CERT No. CBC 014631
ADDRESS: 1147 S.W. 33RD ST. PALM CITY, FLA. ; TEL 287-7066, FAX 287-7066
ELECTRICAL CONTRACTOR: COOK ELECTRIC INC. ; LIC/CERT No. ER0008060
ADDRESS: 4250 S.E. COMMERCE AVE. STUART, FLA ; TEL 287-0938, FAX 287-9084

WHEREAS, pursuant to the provisions of, and governed by, Sections 0307.6 and 4504.6 of the South Florida Building Code as adopted in Section 4-16 of the Codes and Ordinances of the Town of Sewall's Point, temporary electrical service for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested a temporary electrical hook-up of 76. SO. SEWALL'S POINT ROAD for the purpose of TURNING ON AIR CONDITIONING SYSTEM. at the above designated construction now in progress under a valid building permit; and

WHEREAS, it is necessary to have a temporary electric hook-up for testing of equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT;

1. The parties to this agreement are Edwin B. Arnold, Building Official, Town of Sewall's Point, and the above named responsible persons, firms or corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant a temporary hook-up permit.
3. This temporary hook-up permit shall be effective for 30 calendar days from the date of this agreement, after which time the temporary hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. This temporary electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF, the parties have caused this agreement to be executed this 10TH day of SEPTEMBER, 1999.

Larry Babbitt
SIGNATURE OF GENERAL CONTRACTOR

Larry Babbitt
SIGNATURE OF OWNER

Edwin B. Arnold V PRES
SIGNATURE OF ELECTRICAL CONTRACTOR

Edwin B. Arnold
EDWIN B. ARNOLD, BUILDING OFFICIAL



1998 - 1999 Town of Sewall's Point Building Department - Inspection Log

283-7778

FRI 9/3

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4516	LINO	FOOTER	PASSED	
	6 ISLAND WAY	(PRIVATE WALLS)		
S		+ PTL ELECT: 1ST FL BACK PORCH		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4640	AMOS	FINAL		
	114 S. SPR			cancel 9/2/99
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4663	BECKER	framing	PASSED	MAIN HOUSE ALTERATIONS ONLY
	12 ISLAND			
S	Smith Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4661	BENIHANA	STUART F.D.	BOB SMITH	ESTABLISHED INSP. PROCEDURES
	3602 SE OCEAN	JT. INSP. SMITH	RUS PROVENOM	(JOINT); REVIEWED OUTSTANDING
	(SHOWER CONST.)	11:00 AM 221	EBA	BLDG ITEMS (ATTIC DRAFT BARRIER)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4553	Trishman	porch tie	PASSED	notation p/tl framing & rgh
S	16 S Sewall Pt	downs + elect		elect. - porches only.
* 2:00	entr. col.	on porch		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4651	Sermackian	temp. power	PASSED	DUMPSTER (PORTABLE) ON SITE;
	19 Castle Hill	pole		WATER REQ. PRIOR TO CALL IN SERVING
N	Way			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4579	Bal-litt	elect. terminal	CLARK	review ltr legal for power xls
	76 S. Sewall Pt		COOK BROS	- EBA to provide formal response
S	CLARK CONST	Ent.	EBA	

- OTHER:
- ① 23 N. RIDGEVIEW RD - TREE REMOVAL PERMIT INSPECTION ✓ DONE
 - ② 8 PALM COURT - " RELOCATION " " ✓ DONE
 - ③ 171 S. SEWALL'S PT. RD - " REMOVE " " ✓ DONE
 - ④ 23 W. HIGHTPOINT - PRE-INSPECT (request for 30 day equip. power release) ✓ DONE
 - ⑤ 19 BANYAN DR. - TREE REMOVAL PERMIT INSPECTION ✓ DONE

INSPECTOR: _____

DATE: _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

9-10-99 - FRIDAY

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4682	Short	straps &	PASSED	
	38 S. Sewall's	anchor &		
	Point Rd.	+ TIE BM/COL		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4579	Ebbitt	electric	PASSED	TERMS OF TEMP. HOOKUP
	76 S. Sewall's	verification		LETTER 10. FORC'D 30 DAYS
	Point Rd.			TO COMPLETE (10/10/99)
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4650	SWISS AM	TEMP. ELEC. SERV.	PASSED	FORWARDED SURVEY/ SOIL TREATMENT RCVD
	4 SE BANYAN	FTG/SLAB	PASSED	DENSITY TESTS
	334-7730			FPL POWER RELEASE 9/10 11:05 AM
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4665	NICKLAS	TEMP. ELEC. SERV.	PASSED	TREE REMOVAL IN EXCESS OF PERMIT
	21 CASTLE HILL WAY	U/G PLUMB.	PASSED	FPL POWER RELEASE 9/10 11:05 AM
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4655	Hickman	slab	FAILED	STC PLANT OK; BLK. CABS
	11 Castle Hill		(NO PERM REVS)	OBSTRUCTED - BACK TO FIELD W/SPR
				AFTER CLEAROUT W/WH. LTR. THEN REINSPECT
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4653	Fadden	all trades	CANCEL	2:00 built furb all off
	16 S. Sewall's		- NO ONE	site - unable to
	Pt. Rd.		ON SITE	perform inspection
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4640	AMOS	final - DOCK	PASSED	SEPARATE ELECTRICAL PERMIT REQ.
	114 S. SEWALL'S PT. RD			will call with gate code LANDSCAPER ACCESS -
4680	118 " " (WEIGAND)	BOAT LIFT	PASSED	

OTHER: 1. BOWAIL RUN; BP4619 PER P.D. COMPLAINT (LARRY) POSTED REQUEST TO CALL RE: CONTROL OF RAINWATER RUNOFF

INSPECTOR: _____

DATE: _____



1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log

722-10-899

PAGE 2 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4620	Laraway	Insulation	PASSED	
	15 Middle Rd			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4579	Bobbitt	final	PASSED	PROH. APPE. ENGR. DUES REQ. (SHEET 1/2)
	76 S. Sewall's			- C.O. ISSUE THUR 10/16/99
	Pt. Rd.			UNDO DOCUMENT SUBMITTAL
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4786	Cook	walk thru	PERFORMED	FINAL C.O. INSP. SCHED
	12 Oak Hill Way		w/ OWNER	FOR WEDNESDAY 10/13/99
			(CHECKLIST 17805)	
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4689	Schlumpf	el. disconnect		
	10 Oak Hill Way	(C.O. REINSP.)	FAILED	NOT COMPLETE
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
46	Swiss Am	tie beam	FAILED	11:45 NO ONE ON SITE/NO ACCESS
	4 Bar Var			12:15 LEFT MESSAGE w/ CONTR.
	HELMUT GIPDERGE 334-7730			2:45 NO ONE ON SITE/NO ACCESS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4651	DERMARKARIAN	SLAB	PASSED	REINSP FEE \$30.9
	19 CASTLE HILL WAY	(REINSPECT)		NOTATION FOR PORCH DOWELS
	(STATHMORE)			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS

OTHER: I. BRUNER; 105 HILLCREST CT. T/R PERMIT INSP. ✓
Z. OGDONOR; 16 FIELDWAY DR. " " " ✓

INSPECTOR: _____

DATE: _____

JON E. CHICKY, SR.
Mayor

ROBERT M. WIENKE
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

CYRUS KISSLING
Commissioner

DONALD B. WINER
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

WILBUR C. KIRCHNER
Chief of Police

EDWIN B. ARNOLD
Building Official

JOSE TORRES, JR.
Maintenance

CERTIFICATE OF COMPLETION

INTERIOR ALTERATIONS/ADDITION
☒ Single Family Residence ☐ Other _____

OWNER: LARRY BABBITT ; PROPERTY ADDRESS: 76 S. SEWALL'S POINT RD.

LEGAL DESCRIPTION: LOT 2 BLOCK A SUBDIVISION HOMEWOOD

GENERAL CONTRACTOR: CLARK & COMPANY CONST. ; LIC/CERT No. CBC 014631

ADDRESS: 11475 W. 33RD ST., PALM CITY, FL. 34990 ; TEL 287-7066 ; FAX _____

ARCHITECT OR ENGINEER: JOSEPH P. MCCARTY ; LIC/REG. No. 09639

ADDRESS: 900 E. OSCEOLA STREET, STUART, FL ; TEL 287-6735 ; FAX _____

PERMIT No: 4579 ; DATE OF ISSUE: 3/31/99 ; RENEWAL PERMIT No: N/A ; DATE OF ISSUE: —

In accordance with the requirements of the South Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 16TH day of OCTOBER, 1999.

Edwin B. Arnold, AIA, CBO
Building Official, Town of Sewall's Point

cc: TOWN CLERK
POLICE CHIEF
BUILDING FILE

PREDICTABILITY + ACCOUNTABILITY = COMPLIANCE



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

4633

FENCE

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 6/21/99 BUILDING PERMIT NO. 4633
Building to be erected for LARRY BARKER Type of Permit FENCE
Applied for by AUTOMATED GATE ENTRY SYSTEMS (Contractor) Building Fee 30.00
Subdivision _____ Lot _____ Block _____ Radon Fee _____
Address 76 S. SEWALL'S POINT ROAD Impact Fee _____
Type of structure S.P.R. A/C Fee _____
Electrical Fee _____
Parcel Control Number: _____ Plumbing Fee _____
Roofing Fee _____
Amount Paid \$30.00 Check # 2214 Cash _____ Other Fees () _____
Total Construction Cost \$ 7,400.00 TOTAL Fees \$30.00
Signed [Signature] Applicant Signed [Signature] Town Building Inspector

FENCE PERMIT

INSPECTIONS			
SETBACKS	DATE <u>11/29/99</u>	HEIGHT	DATE <u>12/3/99</u> (PER 1015 PA 100)
FOOTINGS	DATE _____	FINAL	DATE <u>12/3/99</u>

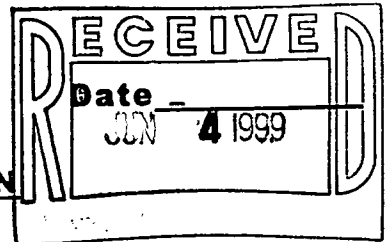
24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS – 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

☐ New Construction ☐ Remodel ☐ Addition ☐ Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# 4633
6/2/99

Town of Sewall's Point
BUILDING PERMIT APPLICATION



Owner's Name: Larry Babbitt Phone No. 1-954-431-4452
Owner's Present Address: 76 So. Sewell's Pt Road
Fee Simple Titleholder's Name & Address if other than owner _____
n/a

Location of Job Site: 76 So. Sewell's Pt. Road.
TYPE OF WORK TO BE DONE: Install Fencing/ Gates/ Electric gate operator.
CONTRACTOR INFORMATION
Contractor/Company Name: Automated Gates-Entry System Phone No. 219-0666
COMPLETE MAILING ADDRESS 4125 S.W. Martin Hwy. Palm City, FL. 34990
State Registration _____ State License SPO 2593 -Martin County.
Legal Description of Property Lot #2, Block A, Homewood
Parcel Number ====

ARCHITECT/ENGINEER INFORMATION

Architect _____ Phone No. _____
Address _____
Engineer _____ Phone No. _____
Address _____
Area Square Footage: Living Area _____ Garage Area _____ Carport _____
Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION

flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
proposed finish floor elevation _____ NGVD (minimum 1 foot above BFE)
Cost of construction or Improvement \$7,400.00
Fair Market Value (FMV) prior to improvement _____
Substantial Improvement 50% of FMV yes _____ No _____
Method of determining FMV _____

SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)

Electrical _____ State License _____
Mechanical _____ State License# _____
Plumbing _____ State License# _____
Roofing _____ State License# _____

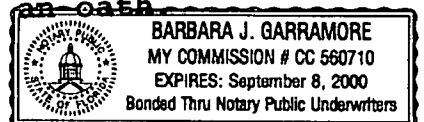
Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE Jerry Giannoutsos
Sworn to and subscribed before me this 2 day of May, 1998 by
Jerry Giannoutsos who is personally known to me or has produced or has
produced Dr. License and who did (did not) take an oath.

CONTRACTOR SIGNATURE Dr. Licence
Sworn to and subscribed before me this 2 day of May, ~~1998~~ 1999
by Jerry Giannoutsos who is personally known to me or has produced
Dr. Licence and who did (did not) take an oath.



TREE REMOVAL (Attach sealed survey)

No. of trees to be removed _____ No. to be retained _____ No. to be planted _____
Specimen tree removed _____ Fee _____ Authorized/Date _____
DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE :

- A. Property Appraiser's Parcel Number.
- B. A Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- C. Contractor's name, address, phone number & license numbers.
- D. Name all sub-contractors (properly licensed).
- E. Current Survey
- F. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.
3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.
4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architect's seal and the following items:

1. Floor Plan
2. Foundation Details
3. Elevation Views - Elevation Certificate due after slab inspection.
4. A Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
5. Truss layout
6. Vertical Wall Sections (one detail for each wall that is different)
7. Fireplace drawing: If prefabricated submit manufacturers data.

ADDITIONAL Required Documents are:

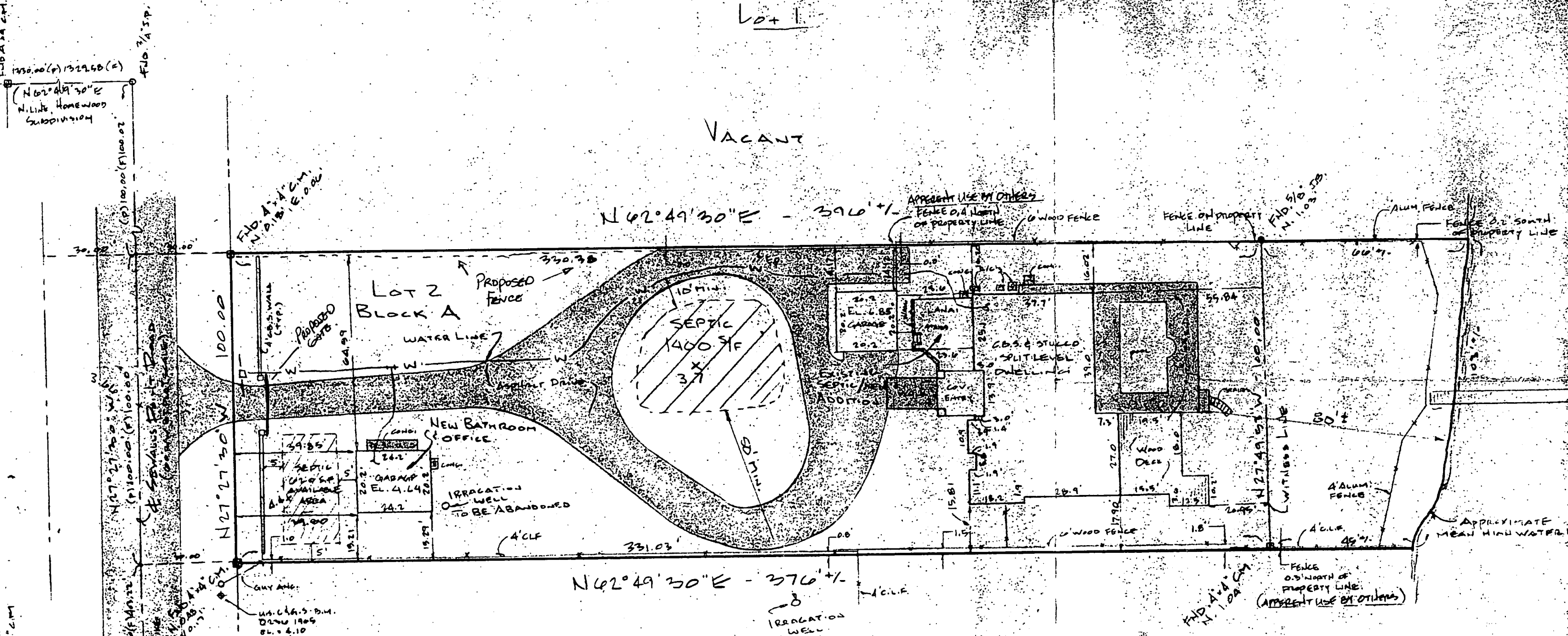
1. Use Permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (Atlantic Ave. only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership - (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
9. Replat required upon completion of slab or footing inspection and prior to any further inspections.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official _____

Approved by Town Engineer _____

Lot 1



AC	ACRE	CHD	CHORD DISTANCE	EW	EDGE OF WATER	INV	INVERT	NTS	NOT TO SCALE	POB	POINT OF BEGINNING	RLS	REGISTERED LAND SURVEYOR
A/C	AIR CONDITIONER	CONC	CONCRETE	EM	ELECTRIC METER	IB	IRON BAR	N	NORTH	POC	POINT OF COMMENCEMENT	RCP	REINFORCED CONCRETE PIPE
ALUM	ALUMINUM	CBS	CONC. BLOCK STRUCTURE	ES	ELECTRIC SERVICE	IP	IRON PIPE	NO	NUMBER	POC	POINT OF COMPOUND CURVATURE	R/W	RIGHT OF WAY
ANC	ANCHOR	CM	CONCRETE MONUMENT	ELEV	ELEVATION	IB & C	IRON BAR & CAP	ORB	OFFICIAL RECORD BOOK	PC	POINT OF CURVATURE	SSMH	SANITARY SEWER MANHOLE
AVE	AVENUE	CNR	COULD NOT READ	ENCL	ENCLOSURE	LE	LANDSCAPE EASEMENT	O/S	OFFSET	PI	POINT OF INTERSECTION	SS	SANITARY SEWER
BRO	BEARING	CPP	CONCRETE POWER POLE	EQUIP	EQUIPMENT	LB	LICENSE BUSINESS	OH	OVERHANG	PRC	POINT OF REVERSE CURVATURE	SECT	SECTION
BLK	BLOCK	COR	CONCRETE CORNER	X 17.00	EXISTING ELEVATION	LP	LIGHT POLE	OE	OVERHANG EASEMENT	PT	POINT OF TANGENCY	SET I.B.	SET 5/8 IRON BAR & CAP #40
BLVD	BOULEVARD	COV	COVERED	FEET	FEET	LAE	LIMITED ACCESS EASEMENT	OHW	OVERHEAD WIRE	PP	POWER POLE	S/W	SIDEWALK
BE	BUFFER EASEMENT	CMP	CORRUGATED METAL PIPE	F	FIELD MEASUREMENT	LFE	LOWEST FLOOR ELEVATION	PG	PAGE	PUE	PRIVATE UTILITY EASEMENT	S	SOUTH
BLDG	BUILDING	CVG	CONCRETE VALLEY GUTTER	FFE	FINISH FLOOR ELEVATION	ME	MAINTENANCE EASEMENT	PK	PARKER-KALON NAIL	PLS	PROFESSIONAL LAND SURVEYOR	SBT	SOUTHERN BELL TELEPHONE BOX
BM	BENCHMARK	D	DEED	FH	FIRE HYDRANT	MH	MANHOLE	PK & W	PARKER-KALON NAIL & WASHER	PROP	PROPOSED	S/F	SQUARE FEET
CATV	CABLE TELEVISION BOX	DE	DRAINAGE EASEMENT	FPL	FLORIDA POWER & LIGHT	MHWL	MEAN HIGH WATER LINE	PVMT	PERMANENT CONTROL POINT	● 17.00	PROPOSED ELEVATION	S/D	SUBDIVISION
C	CALCULATED	EASE	DRAINAGE EASEMENT	GOVT	GOVERNMENT	N & TT	NAIL & TIN TAB	PRM	PERMANENT REFERENCE MONUMENT	R	RADIUS	T	TANGENT
CB	CATCH BASIN	E	EAST	HSE	HOUSE	N & W	NAIL & WASHER	P	PLAT	RNG	RAILROAD SPIKE	TCE	TEMPORARY CONSTRUCTION EASEMENT
CLF	CHAINLINK FENCE	EP	EDGE OF PAVEMENT	I & E	INGRESS & EGRESS EASEMENT	NGVD	NATIONAL GEODETIC VERTICAL DATUM	PB	PLATBOOK	RME	RECIPROCAL MAINTENANCE EASEMENT	TT	TIN TAB

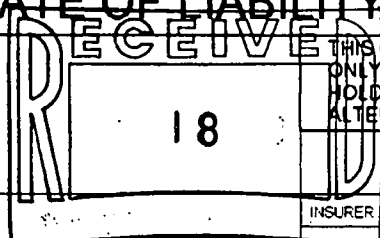
1. PROPERTY ADDRESS: 76 SOUTH SEWALLS POINT ROAD
2. CERTIFIED TO: LARRY S. & KATHERINE A. BABBITT
ATTORNEYS TITLE INSURANCE FUND, INC.
NEIL A. MILESTONE, ESQUIRE FIRST

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN J. BROWN, INC.

- NOTES:
1. Survey of description as furnished
 2. Lands shown hereon were not abstr rights-of-way of record
 3. All bearings are referenced to the plotted as N 27° 27' 30" W and all other b
 4. Elevations shown hereon are relativ

ACORD CERTIFICATE OF LIABILITY INSURANCE		OP ID SB AUTOG-1	DATE (MM/DD/YY) 06/18/99
PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City FL 34990 Phone: 561-286-4334		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Automated Gates-Entry Systems, Inc. 4125 SW Martin Hwy #6 Palm City FL 34990		INSURERS AFFORDING COVERAGE INSURER A: Hanover Insurance Company INSURER B: Auto Owners Insurance Co INSURER C: INSURER D: INSURER E:	



LIBB. ONLY
COMP WAIVER
ATTACHED

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.					
INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	BINDER#AUTOG042899-01	04/28/99	04/28/00	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:					PRODUCTS - COMPIOP AGG \$ 2,000,000
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
B	AUTOMOBILE LIABILITY	4164972600	11/07/98	11/07/99	COMBINED SINGLE LIMIT (Ea accident) \$
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$ 300000
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$ 300000
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident) \$ 100000
	<input checked="" type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				<input type="checkbox"/> WC STAT- TORY LIMITS <input type="checkbox"/> OTH- ER E L. EACH ACCIDENT \$ E L. DISEASE - EA EMPLOYEE \$ E L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Automated Gates - State of Florida

CERTIFICATE HOLDER	N	ADDITIONAL INSURED: INSURER LETTER: _____	CANCELLATION
TOWNS-1 Town of Sewalls Point 1 S Sewalls Point Road Stuart FL 34996			SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
			Joseph E. Coons, CPCU. CIC.

07-03-1997

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE OF EXEMPTION 07/05/1997

EXEMPTED INDIVIDUAL NAME GIANOUTSOS JERRY

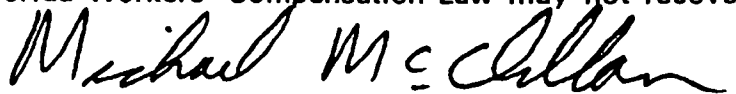
S.S. 094-40-7314

BUSINESS NAME AUTOMATED GATES ENTRY SYSTEMS INC

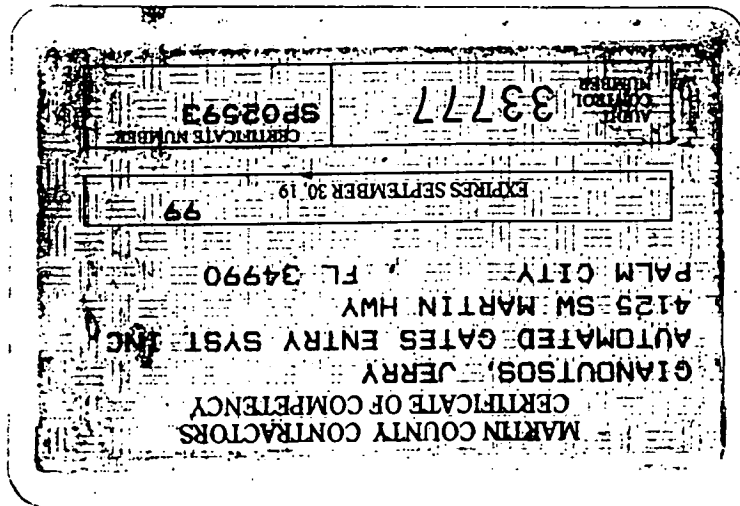
FEIN 650747394

BUSINESS ADDRESS 4125 SW MARTIN HWY
PALM CITY FL 34990

NOTE: Pursuant to Chapter 440.10(1),(g),2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.



AUTHORIZED SIGNATURE



**MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1998 520 050 CERT SPO2593

PHONE 561 219 0666 SIC NO 1742

LOCATION:
4125 SW MARTIN HWY

PREV YR. \$	<u>0.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>0.00</u>	PENALTY \$	<u>2.50</u>
\$	<u>0.00</u>	COL. FEE \$	<u>5.00</u>
\$	<u>0.00</u>	TRANSFER \$	<u>0.00</u>
TOTAL			<u>32.50</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **FENCE CONTRACTOR**

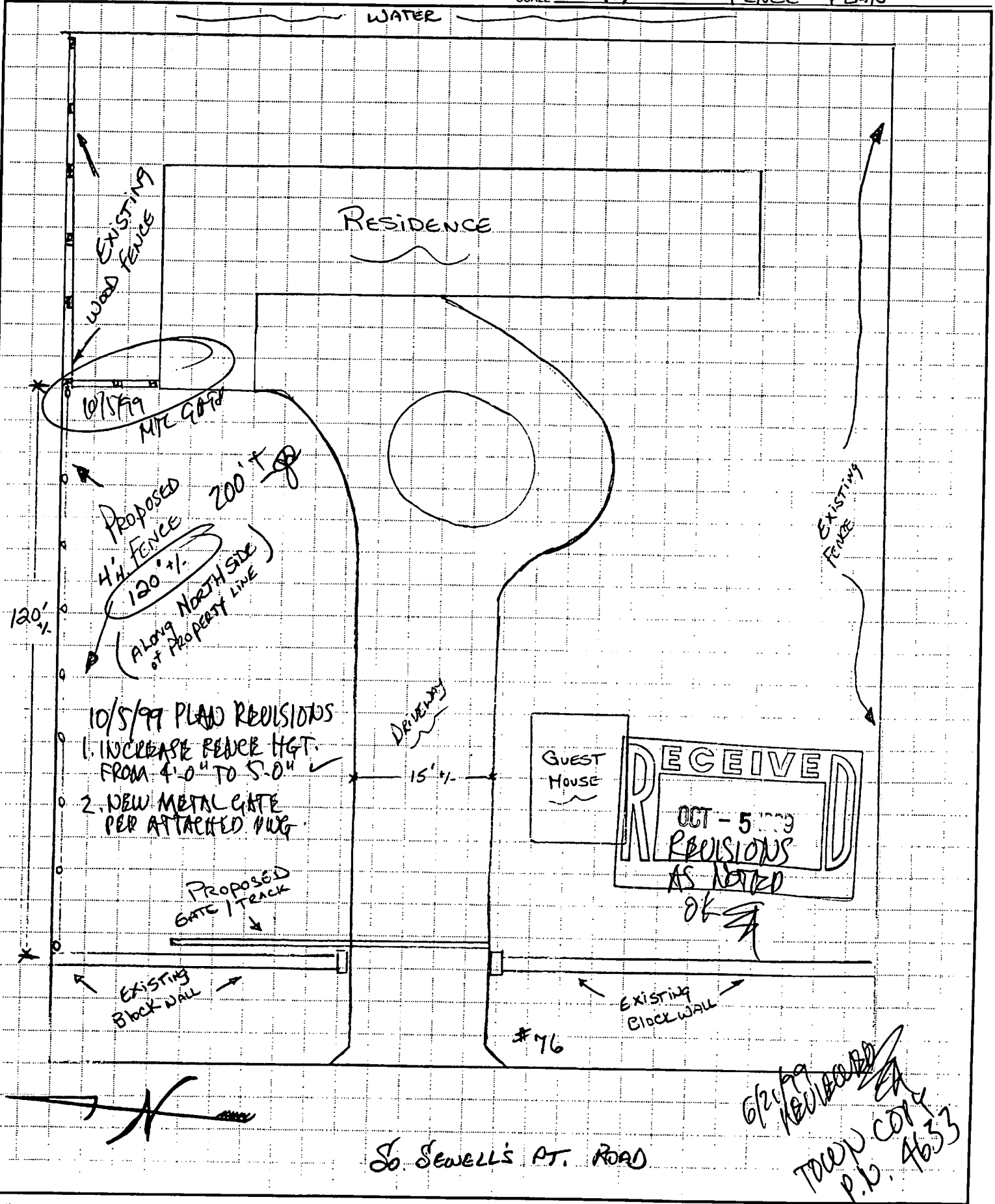
AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

21 DAY OF OCTOBER 1998 SEC.
AND ENDING SEPTEMBER 30, 1999

AUTOMATED GATES SYSTEM INC
JERRY GIANOUTSOS
4125 SW MARTIN HWY
PALM CITY FL 34990

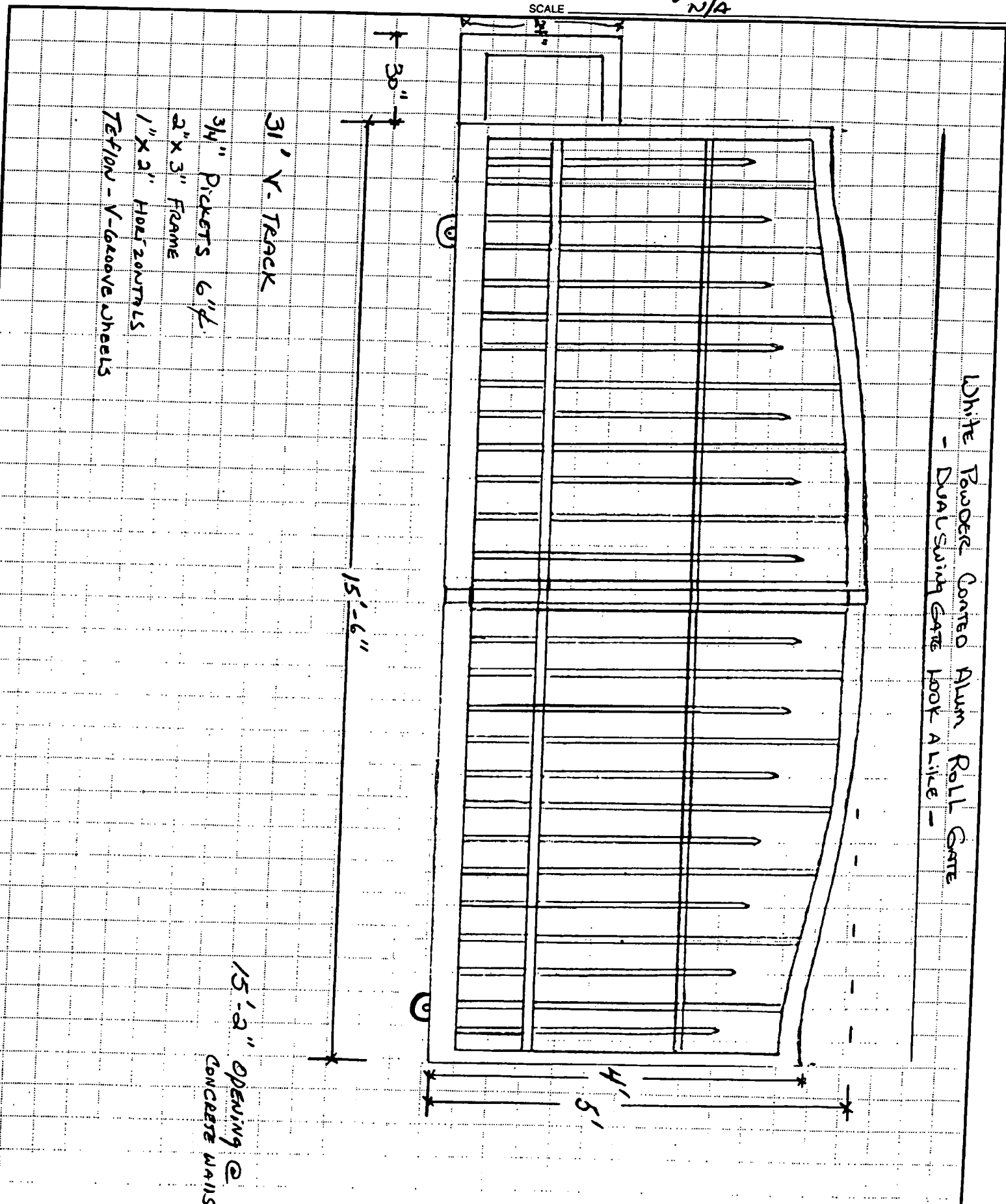
**AUTOMATED GATES
ENTRY SYSTEMS, INC.**
4125 S.W. Martin Hwy., Suite #6
PALM CITY, FL 34990
(561) 219-0666

JOB Babbitt Residence
SHEET NO. 1 OF 1
CALCULATED BY [Signature] DATE 5/26/99
CHECKED BY [Signature] DATE 5/26/99
SCALE N/A FENCE PLAN



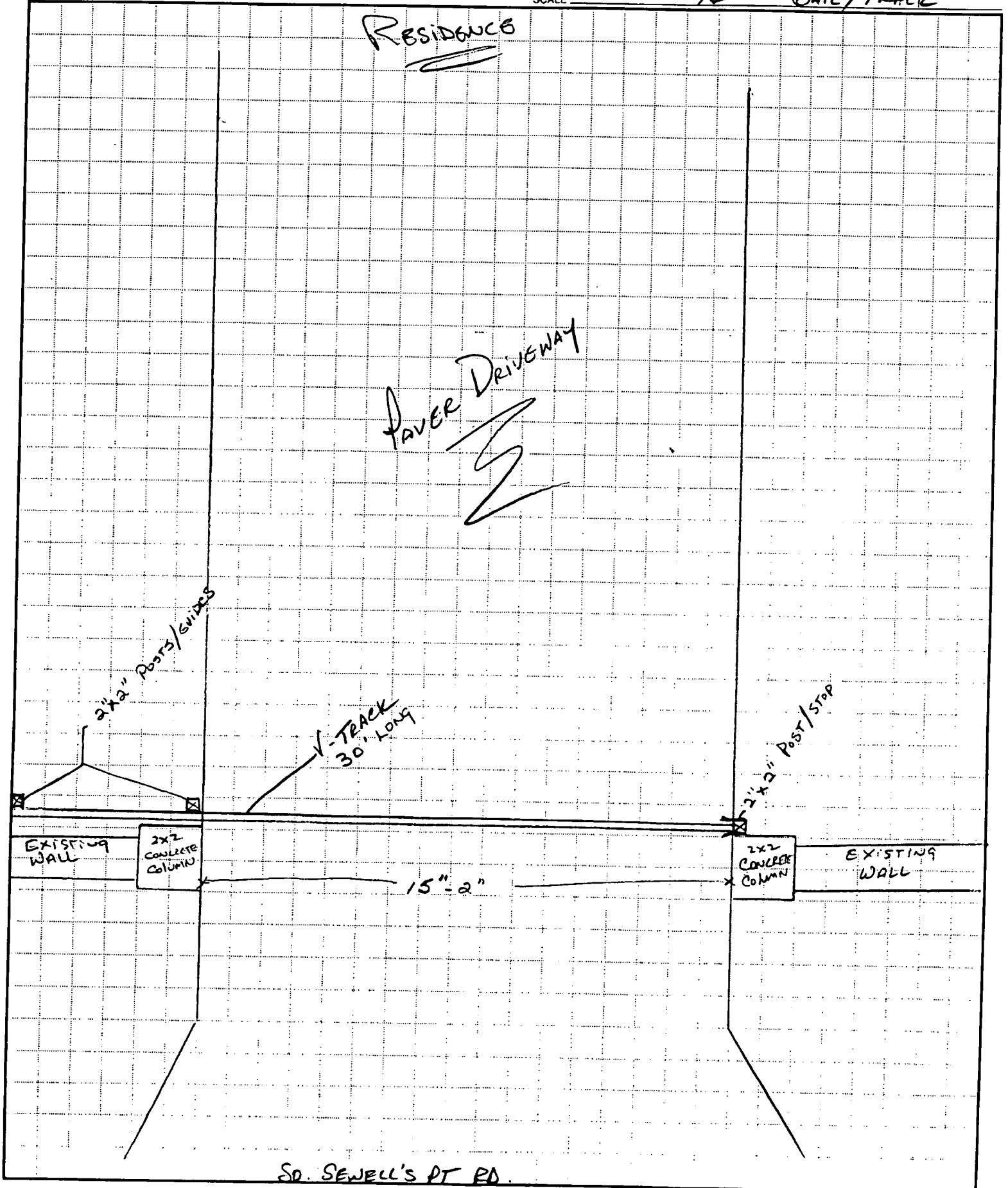
**AUTOMATED GATES
ENTRY SYSTEMS, INC.**
4125 S.W. Martin Hwy., Suite #6
PALM CITY, FL 34990
(561) 219-0666

JOB Babbit Residence
SHEET NO. 1 OF 2
CALCULATED BY [Signature] DATE 5-26-99
CHECKED BY [Signature] DATE 5-26-99
SCALE N/A



**AUTOMATED GATES
ENTRY SYSTEMS, INC.**
4125 S.W. Martin Hwy., Suite #6
PALM CITY, FL 34990
(561) 219-0666

JOB Babbitt RESIDENCE
SHEET NO. 2 OF 2
CALCULATED BY [Signature] DATE 5-26-99
CHECKED BY [Signature] DATE 5-26-99
SCALE N/A GATE/TRACK

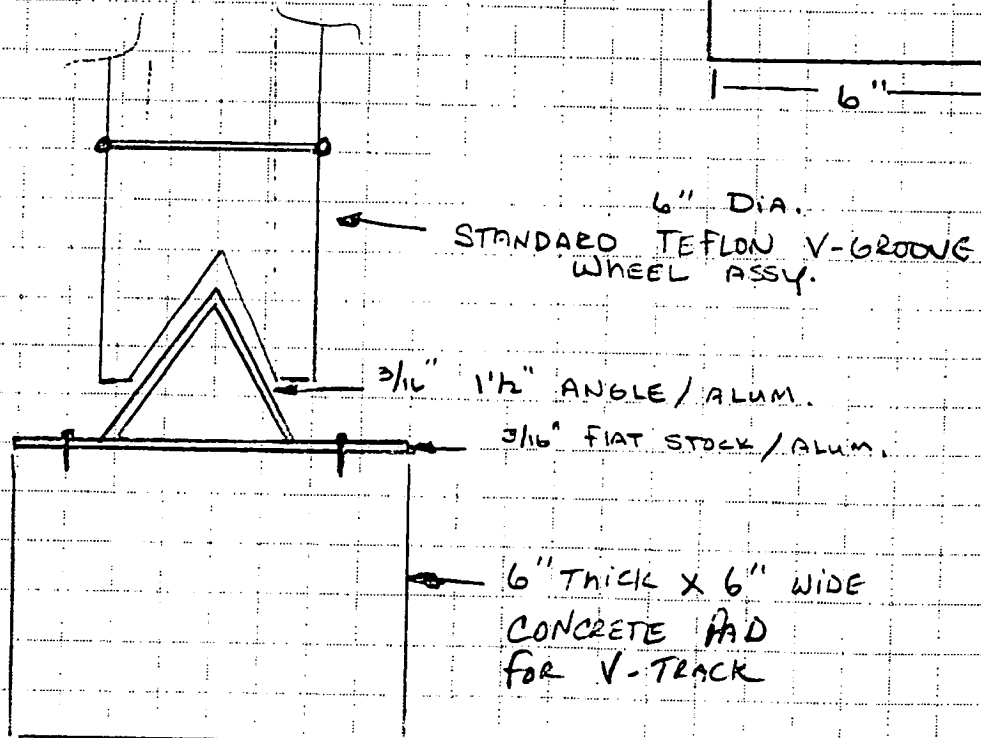
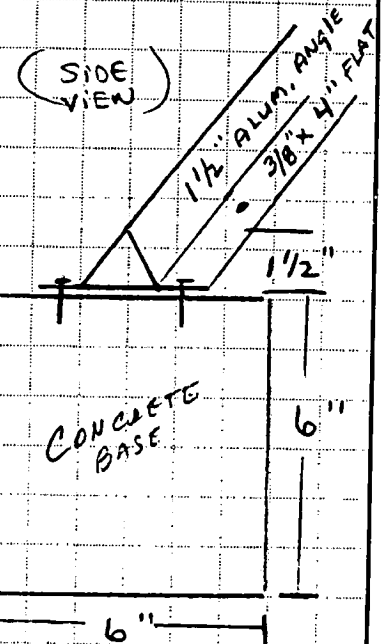
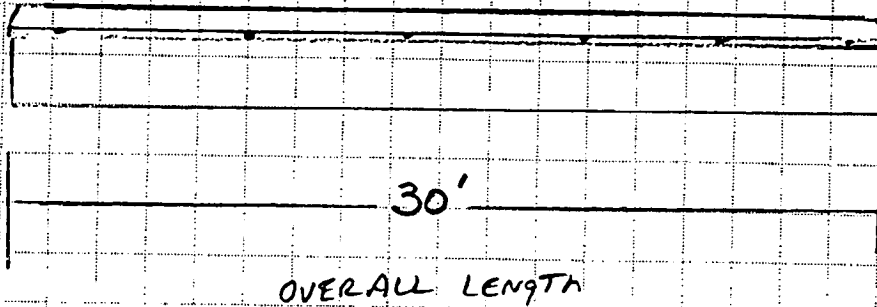


**AUTOMATED GATES
ENTRY SYSTEMS, INC.**
4125 S.W. Martin Hwy., Suite #6
PALM CITY, FL 34990
(561) 219-0666

JOB Babbitt RESIDENCE
SHEET NO. 1 OF 1
CALCULATED BY [Signature] DATE 6-18-99
CHECKED BY [Signature] DATE 6-18-99
SCALE N/A DETAIL

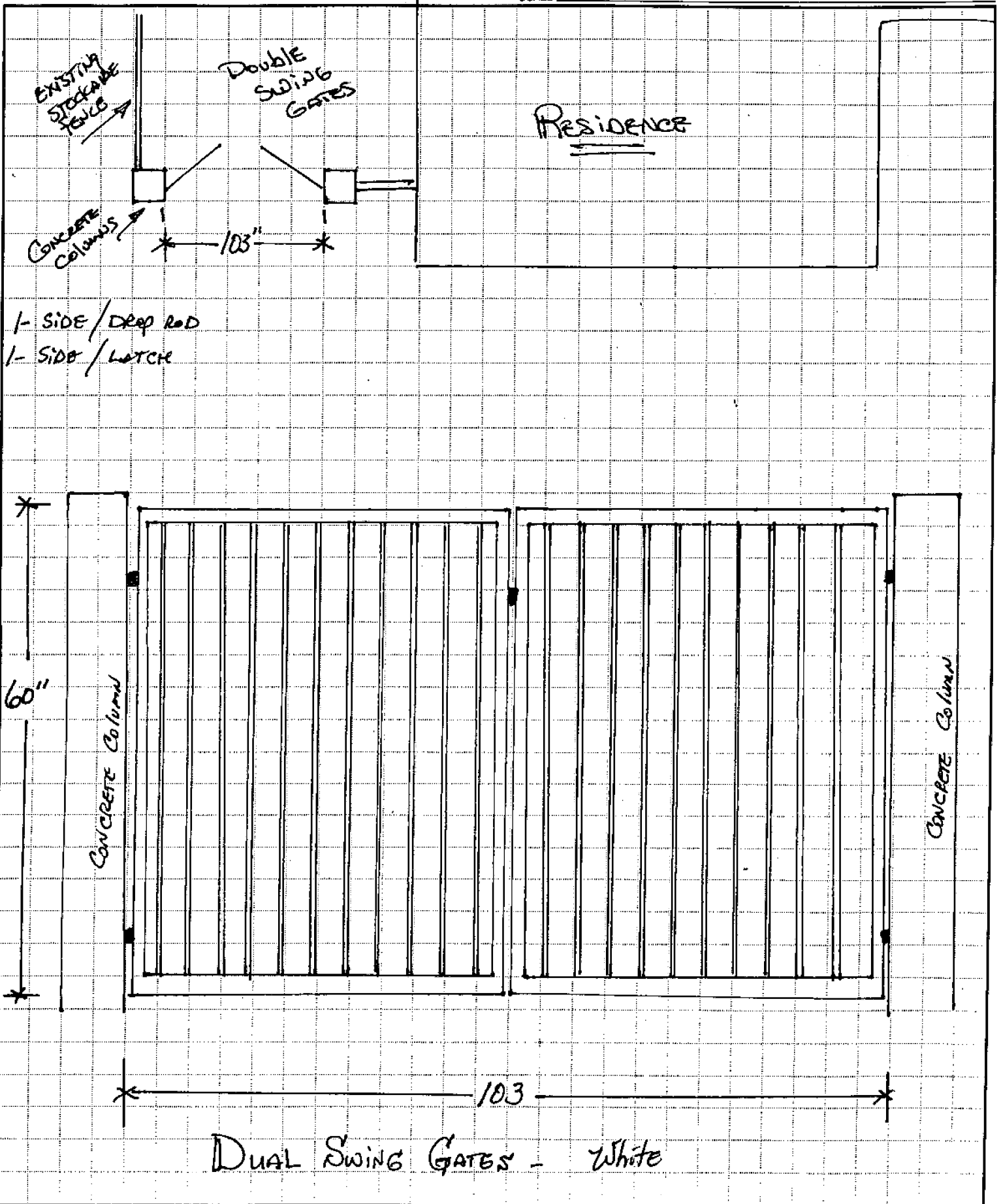
**V-TRACK DETAIL
(FOR SLIDE GATE GUIDE)**

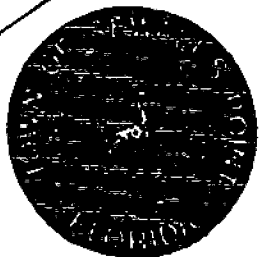
(FRONT)



**AUTOMATED GATES
ENTRY SYSTEMS, INC.**
4125 S.W. Martin Hwy., Suite #6
PALM CITY, FL 34990
(561) 219-0666

JOB Babbit - WALK GATE
SHEET NO. 1 OF 1
CALCULATED BY [Signature] DATE 8/16/99
CHECKED BY [Signature] DATE 8/16/99
SCALE N/A





1998 - 1999
Town of Sewall's Point
Building Department - Inspection Log
Fri, 12-3-99

PAGE 1 OF 2

PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
47633	Babbitt	fence	PASSED	
	26 S.S.P.Rd.	final		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4732	Hufnagel	steel	PASSED	early
	19 Lutting Way	FTG/FOUND/SLAB		FOUND FORMWORK SURVEY OK
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4752	Sinton	pool/steel	PASSED	
	33 N. River	gr.		
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4735	Coverdale	sheathing	FAILED	DRIED (N - CONTRACTOR NOT ON SITE; UNABLE TO INSPECT.
	51 N. River Rd.	(PERMIT 12/2/99; START 11/27 PER OWNER)		NOTE: WORK COMMENCED PRIOR TO
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4632	Short	fireplace	PASSED	
	38 S. Sewall's Pt. Rd.			
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4739	Kelsey	roof-final	FAIL	NO PERMIT DOCS.
	12 W. 1st St.			NO ACCESS
PERMIT	OWNER/ ADDRESS	INSPECTION TYPE	RESULTS	REMARKS
4650	Swiss Am	gable end	PASSED	
	4 Banyan	bracing		
		(REINSPECT)		

OTHER: CODE ENFORCEMENT COMPLAINT 24 SIMARA - GRADING
SEWER.

INSPECTOR:

DATE: 12/3/99

7202

DOCK REPAIR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/14/05 BUILDING PERMIT NO. 7202
Building to be erected for BABBIT Type of Permit DOCK REPAIR
Applied for by LEE HAYMES (Contractor) Building Fee 240.00
Subdivision HOMENWOOD Lot 2 Block A Radon Fee _____
Address 76 S. SEWALL'S POINT RD Impact Fee _____
Type of structure DOCK A/C Fee _____
Electrical Fee _____
Parcel Control Number: _____ Plumbing Fee _____
138410060010002000000 Roofing Fee _____
Amount Paid 264.00 Check # _____ Cash ☒ Other Fees (10% PR) 24.00
Total Construction Cost \$ 5000.00 TOTAL Fees 264.00

Signed Lee HAYMES

Applicant

Signed Helen Summers (AOS)

Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/ BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

IAN 14 2005

BY:

Town of Sewall's Point

Date: 1-13-05 Catherine and Larry Babbitt BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: Larry Babbitt Phone (Day) _____ (Fax) _____

Job Site Address: 76 south sewalls Point Rd City: Sewalls Point State: FL Zip: _____

Legal Desc. Property (Subd/Lot/Block) HOMENWOOD B/LK A LOT 2 Parcel Number: 138410060010002000000

Owner Address (if different): same City: _____ State: _____ Zip: _____

Description of Work To Be Done: Dock Repair

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5,000
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Lee Haymes Marine Phone: 530-9281 Fax: _____

Street: 1620 apache ave City: Stuart State: FL Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: SP00210

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

Katherine A. Babbitt

State of Florida, County of: MARTIN

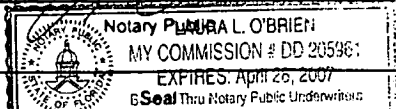
This the 14th day of JANUARY, 2005

by KATHERINE A. BABBITT who is personally

known to me or produced FLDK B130-001-43-810-0

as identification: [Signature] X8/3d05

My Commission Expires:



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 2005

by _____ who is personally

known to me or produced _____

As identification: _____

Notary Public

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # Parcel ID 1354100600100020000000

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): Homewood Lot 2, B1KA
76 South Sewall's Point RD, Stuart, FL 34996

GENERAL DESCRIPTION OF IMPROVEMENT: DOCK REPAIR

OWNER: Katherine A. Babbitt

ADDRESS: 76 South Sewall's Point Road, Stuart, FL 34996

PHONE #: 772-261-5296

FAX #: _____

CONTRACTOR: Lee Haymes

ADDRESS: 1620 Apache Avenue, Stuart, FL

PHONE #: 530-9281

FAX #: _____

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Katherine A. Babbitt
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14th DAY OF JANUARY
BY KATHERINE A. BABBITT

[Signature]
NOTARY SIGNATURE

OR
PERSONALLY KNOWN
PRODUCED ID B30-501-43 810-8/2/05
TYPE OF ID FL
LAURA L. O'BRIEN
MY COMMISSION # DD 205961
EXPIRES: April 28, 2007
Bonded Thru Notary Public Underwriters



TOM CARDNER
Executive Director

State of Florida
DEPARTMENT OF NATURAL RESOURCES

Margery Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399

DEPARTMENT OF NATURAL RESOURCES
DIVISION OF STATE LANDS
GENERAL CONSENT CONDITIONS

Governor
JIM SMITH
Secretary of State
BOB BUTTERWORTH
Attorney General
GERALD LEWIS
State Comptroller
BILL GUNTER
State Treasurer
DOYLE CONNER
Commissioner of Agriculture
BETTY CASTOR
Commissioner of Education

PLEASE ADDRESS REPLY TO:

Project No. 431622858

1. No activities other than those set forth in the attached letter dated 3/22/89 are authorized. Any additional activities on state-owned sovereignty submerged lands must receive further consent from the Governor and Cabinet, sitting as the Board of Trustees of the Internal Improvement Trust Fund (hereinafter the "Board") or their properly designated agent.
2. Grantee agrees that all title and interest to all lands lying below the historical mean high water line or ordinary high water line are vested in the Board, and shall make no claim of title or interest in said lands by reason of the occupancy or use thereof.
3. Grantee agrees to use or occupy the subject premises for those purposes specified herein, and Grantee shall not permit the premises or any part thereof to be used or occupied for any other purpose or knowingly permit or suffer any nuisances or illegal operations of any kind on the premises.
4. Grantee agrees to maintain the premises in good condition in the interest of the public health, safety and welfare. The premises are subject to inspection by the Board or its designated agent at any reasonable time.
5. Grantee agrees to indemnify, defend and hold harmless the Board and the State of Florida from all claims, actions, lawsuits and demands arising out of this consent.
6. No failure, or successive failures, on the part of the Board to enforce any provision, waiver or successive waivers on the part of the Board of any provision herein, shall operate as a discharge thereof or render the same inoperative or impair the right of the Board to enforce the same in the event of subsequent breach.
7. Grantee binds itself and its successors and assigns, to abide by the provisions and conditions set forth herein. In the event Grantee fails or refuses to comply with the provisions and conditions of this Consent, the consent of use may be terminated by the Board after written notice to the Grantee. Upon receipt of such notice, the Grantee shall have thirty (30) days in

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 1/14/05

Gene Simmons
BUILDING OFFICIAL
Gene Simmons

REPAIR WORK FOR
HURRICANE DAMAGE



DEPARTMENT OF THE ARMY

MIAMI REGULATORY FIELD OFC., JACKSONVILLE DISTRICT, CORPS OF ENGINEERS

P.O. BOX 520766

MIAMI, FLORIDA 33152-0766

REPLY TO
ATTENTION OF

OCT 27 1983

Regulatory Section

Miami

89GP30257

Dan E. Miller
C/O Robert Sandy Construction
3452 N.E. Indian Drive
Jensen Beach, Florida 34957

Dear Mr. Miller:

Reference is made to your application for a Department of the Army permit concerning:

construction of an access ramp 296 feet by 4 feet with "L" platform 12 feet by 5 feet elevated 5 feet above MHWL in Indian River at 76 S. Sewall Point Road in Section 1, Township 38 South, Range 41 East, Martin County.

The project as proposed is authorized by General Permit SAJ-20, a copy of which is enclosed for your information and use. You are authorized to proceed with the project in accordance with the enclosed drawings subject to all conditions of the permit.

This letter of authorization does not obviate the necessity to obtain any other Federal, state or local permits which may be required.

Thank you for your cooperation with the Corps permit program.

Sincerely,

Charles A. Schnepel
Charles A. Schnepel
Chief, Regulatory Section

Enclosures

DEPARTMENT OF THE ARMY PERMIT

NOV 1 1988

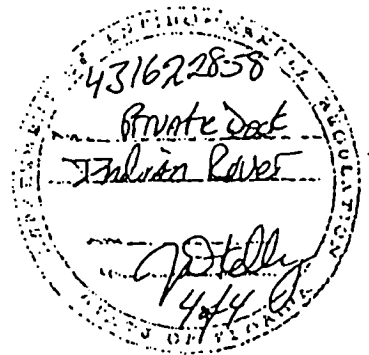
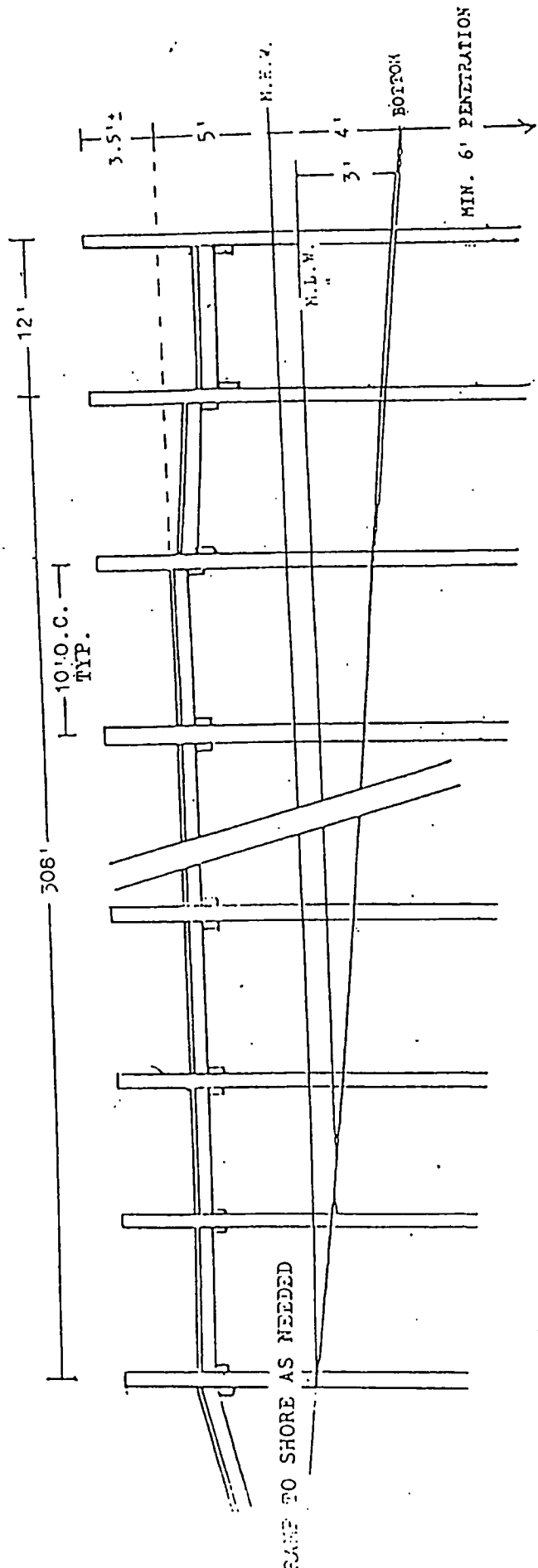
GENERAL PERMIT SAJ-20

PRIVATE SINGLE-FAMILY PIERS - STATE OF FLORIDA

Upon recommendation of the Chief of Engineers, pursuant to Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), general authority is hereby given to construct private single-family piers in navigable waters of the United States within the State of Florida subject to the following conditions:

SPECIAL CONDITIONS:

1. Structures authorized under this general permit are private single-family piers including normal appurtenances such as boat hoists, boat shelters with open sides, stairways, walkways, mooring piling, dolphins, and maintenance of same.
2. No work shall be performed until the applicant submits satisfactory plans for the proposed structure and receives written authorization from the District Engineer.
3. No structures shall be authorized by the general permit in:
 - a. Florida DNR or U.S. Fish and Wildlife Service established boat regulatory zones, sanctuaries or reserves.
 - b. Crystal, Salt, and Homosassa Rivers, Citrus County, where the structure extends waterward greater than minus (-) three (3) feet mean low water (mlw).
 - c. Faka Union Canal in Collier County.
4. The permittee agrees the contractor will instruct all personnel associated with the construction of the facility, of the presence of manatees and the need to avoid collisions with manatees.
5. The permittee agrees all personnel will be advised that there are civil and criminal penalties for harming, harassing, or killing manatees, which are protected under the Endangered Species Act of 1973, the Marine Mammal Protection Act of 1972, and the Florida Manatee Sanctuary Act. The permittee and/or contractor will be held responsible for any manatees harmed, harassed, or killed as a result of construction of the project.
6. The permittee agrees that any collision with a manatee shall be reported immediately on the manatee "hotline" (1-800-342-1821) and to the U.S. Fish and Wildlife Service, Jacksonville Endangered Species Field Station (904-791-2580).



Handwritten signature and date:
 7/7/99

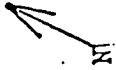
Robert Sandy Construction, Inc.
 3452 N.E. Indian Drive
 Jensen Beach, FL 34957
 407-334-3045

ROCK FOR PILE 76 SE SEWALL'S POINT ROAD

4 Received
Permit
10-5-89

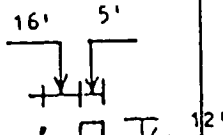
Sent
8/20
to M
10-11-89

INDIAN RIVER



MIN. 25' SETBACK FROM
EITHER PROPERTY LINE

TIE OFF PILING



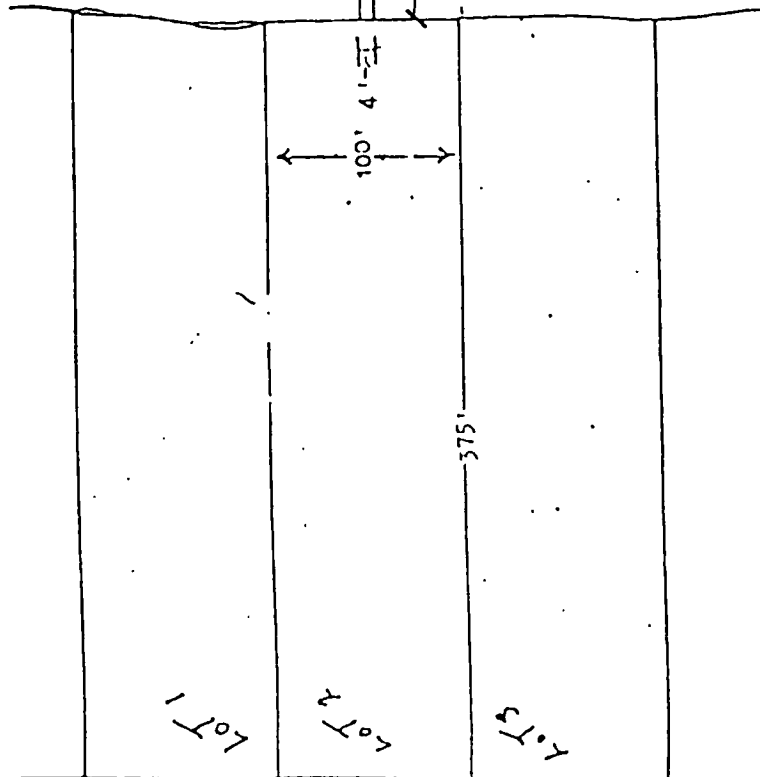
• 2.5'

• 1.5'

• INDICATES DEPTH AT M.L.V.

80°11' 39"W
27°11' 23"N

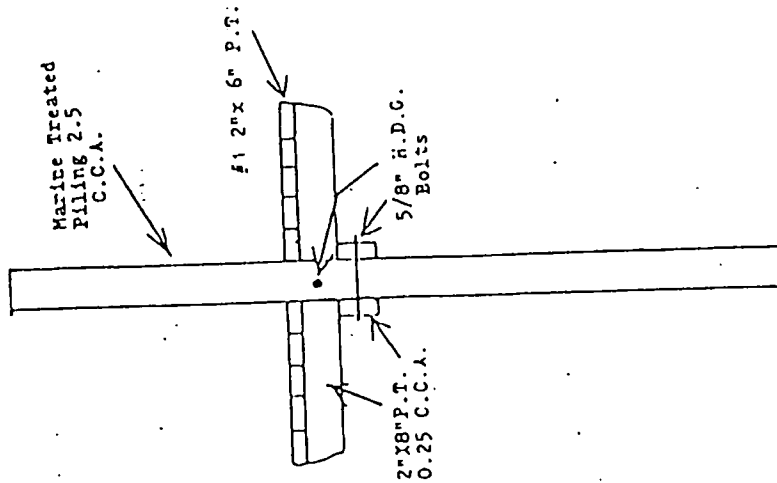
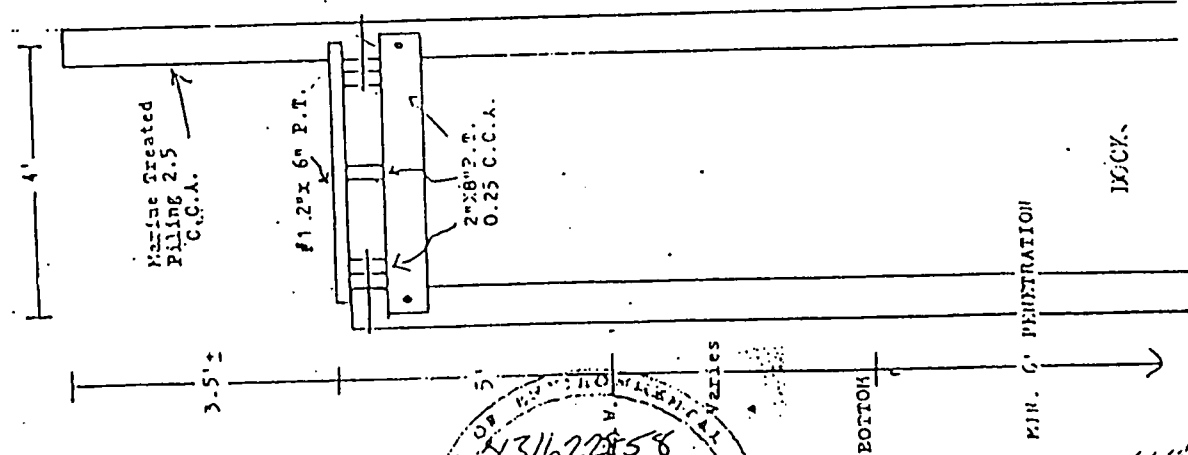
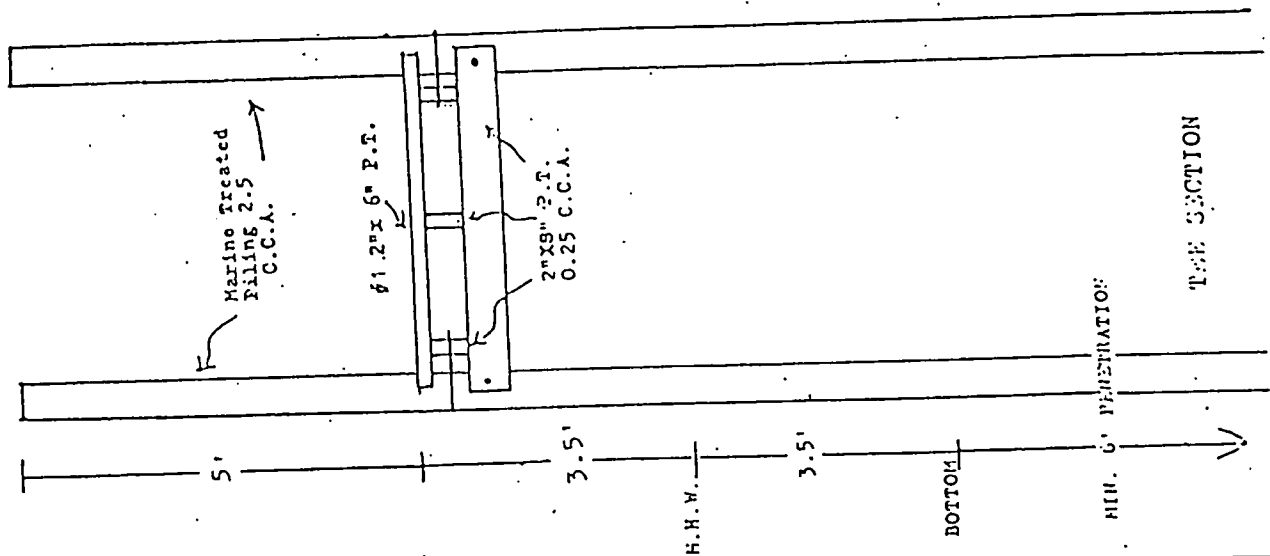
49' Setback



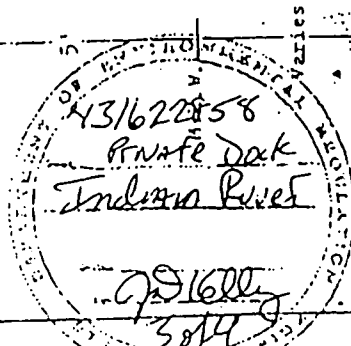
308

Robert Sandy Construction, Inc.
3452 N.E. Indian Drive
Jensen Beach, FL 34957
407-334-3046

5'



TYPICAL SECTION
DETAIL, N.T.S.



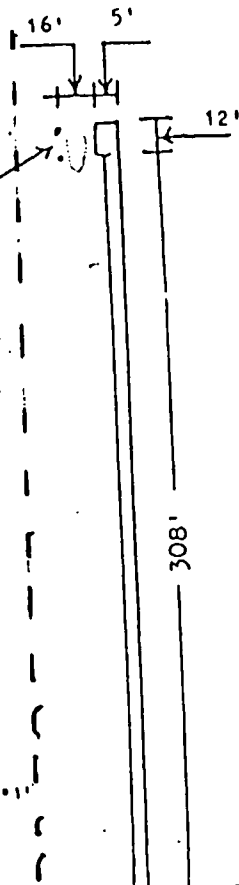
Robert Sandy Construction, Inc.
3452 N.E. Indian Drive
Jensen Beach, FL 34557
407-334-3046

INDIAN RIVER

Piling
must be
20

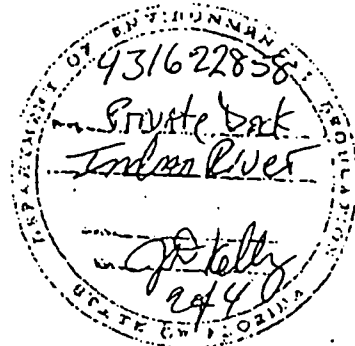
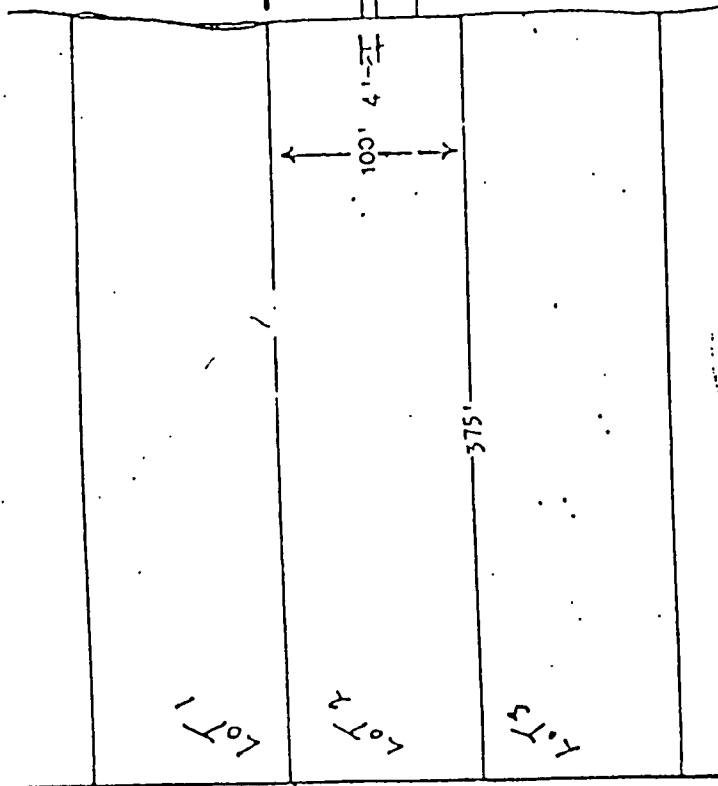
MIN. 25' SETBACK FROM
WATER PROPERTY LINE

TIE OFF PILING



*INDICATES DEPTH AT M.L.V.

80°11' 39"W
27°11' 23"N



42 PM 7/7/89

PROPOSED DOCK FOR MILLER 76 SE SEWALL'S POINT ROAD

Robert Sandy Construction, Inc.
3452 N.E. Indian Crk
Jensen Beach, FL 34557
407-334-3245

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
Jensen Beach, Florida

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 14 1989

Expiration Date: JUL 14 1994

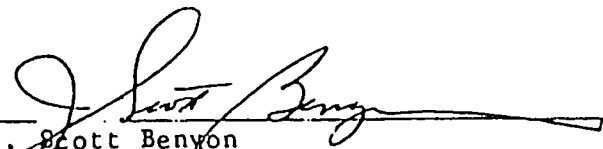
SPECIFIC CONDITIONS:

10. "No person shall commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund or the Department of Natural Resources under Chapter 253, until such person has received from the Board of Trustees of the Internal Improvement Trust Fund the required lease, license, easement, or other form of consent authorizing the proposed use." Pursuant to Florida Administrative Code Rule 16Q-14, if such work is done without consent, or if a person otherwise damages state land or products of state land, the Board of Trustees may levy administrative fines of up to \$10,000 per offense.

JSB:jam/tf/jkv/13

Issued this 14th day of July, 1989

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION


J. Scott Benyon
Deputy Assistant Secretary

3 Pages attached.

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
Jensen Beach, Florida

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 14 1983

Expiration Date: JUL 14 1994

SPECIFIC CONDITIONS:

1. Written notification shall be provided to the Department of Environmental Regulation, Southeast Florida District Branch Office in Port St. Lucie, a minimum of forty-eight (48) hours prior to commencement of construction and a maximum of forty-eight (48) hours after completion of construction.
2. An effective means of turbidity control, such as, but not limited to, turbidity curtains, shall be employed during all operations that may create turbidity in excess of background, as provided in Chapter 17-4 of the Florida Administrative Code. Turbidity control shall remain in place until all turbidity has subsided.
3. Reflective devices shall be installed on the dock terminus in such a way that will alert night boat traffic of its presence.
4. Decking boards shall be spaced a minimum of one (1) inch apart to allow for light penetration to seagrasses below.
5. No liveboards shall be allowed at this facility at any time. For the purpose of this condition, a liveboard is considered to be any boat which is occupied overnight for two or more consecutive nights.
6. All decking shall be constructed to provide a minimum of five (5) feet clearance from mean high water to the bottom of the dock deck.
7. Prior to construction of the permitted private docking facility, the permittee shall:
 - a) Remove existing unauthorized wooden bulkhead, and
 - b) Remove existing unauthorized dock structure from the site.
8. All other necessary State, Federal, or Local permits must be applied for and received prior to the start of work.
9. "If historical or archeological artifacts, such as Indian canoes, are discovered at any time within the project site the permittee shall immediately notify the district office and the Bureau of Historic Preservation, Division of Archives, History and Records Management, R.A. Gray Building, Tallahassee, Florida 32301."

ITTEE:

I.D. Number:
Permit/Certification Number:
Date of Issue: JUL 14 1989
Expiration Date: JUL 14 1991

b. the period of noncompliance, including exact dates and times; or, if not corrected, the anticipated time the non-compliance is expected to continue, and steps being taken to reduce, eliminate, and prevent recurrence of the non-compliance.

The permittee shall be responsible for any and all damages which may result and may be subject to enforcement action by the department for penalties or revocation of this permit.

In accepting this permit, the permittee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, which are submitted to the department, may be used by the department as evidence in any enforcement case arising under the Florida Statutes or department rules, except where such use is proscribed by Sections 403.73 and 403.111, Florida Statutes.

The permittee agrees to comply with changes in department rules and Florida Statutes after a reasonable time for compliance, provided however, the permittee does not waive any other rights granted by Florida Statutes or department rules.

This permit is transferable only upon department approval in accordance with Florida Administrative Code Rules 17-4.12 and 17-30.30, as applicable. The permittee shall be liable for any non-compliance of the permitted activity until the transfer is approved by the department.

This permit is required to be kept at the work site of the permitted activity during the entire period of construction or operation.

This permit also constitutes:

- () Determination of Best Available Control Technology (BACT)
- () Determination of Prevention of Significant Deterioration (PSD)
- () Certification of Compliance with State Water Quality Standards (Section 401, PL 92-500)
- () Compliance with New Source Performance Standards

The permittee shall comply with the following monitoring and record keeping requirements:

- a. Upon request, the permittee shall furnish all records and plans required under department rules. The retention period for all records will be extended automatically, unless otherwise stipulated by the department, during the course of any unresolved enforcement action.
- b. The permittee shall retain at the facility or other location designated by this permit records of all monitoring information (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation), copies of all reports required by this permit, and records of all data used to complete the application for this permit. The time period of retention shall be at least three years from the date of the sample, measurement, report or application unless otherwise specified by department rule.
- c. Records of monitoring information shall include:
 - the date, exact place, and time of sampling or measurements;
 - the person responsible for performing the sampling or measurements;
 - the date(s) analyses were performed;
 - the person responsible for performing the analyses;
 - the analytical techniques or methods used; and
 - the results of such analyses.

- d. When requested by the department, the permittee shall within a reasonable time furnish any information required by law which is needed to determine compliance with the permit. If the permittee becomes aware that relevant facts were not submitted or were incorrect in the permit application or in any report to the department, such facts or information shall be submitted or corrected promptly.

MITTEE:

I.D. Number:

Permit/Certification Number:

Date of Issue:

Expiration Date: JUN 14 1991

GENERAL CONDITIONS:

The terms, conditions, requirements, limitations, and restrictions set forth herein are "Permit Conditions" and as such are binding upon the permittee and enforceable pursuant to the authority of Sections 403.161, 403.727, or 403.859 through 403.861, Florida Statutes. The permittee is hereby placed on notice that the department will review this permit periodically and may initiate enforcement action for any violation of the "Permit Conditions" by the permittee, its agents, employees, servants or representatives.

This permit is valid only for the specific processes and operations applied for and indicated in the approved drawings or exhibits. Any unauthorized deviation from the approved drawings, exhibits, specifications, or conditions of this permit may constitute grounds for revocation and enforcement action by the department.

As provided in Subsections 403.087(6) and 403.722(5), Florida Statutes, the issuance of this permit does not convey any vested rights or any exclusive privileges. Nor does it authorize any injury to public or private property or any invasion of personal rights, nor any infringement of federal, state or local laws or regulations. This permit does not constitute a waiver of or approval of any other department permit that may be required for other aspects of the total project which are not addressed in the permit.

This permit conveys no title to land or water, does not constitute state recognition or acknowledgement of title, and does not constitute authority for the use of submerged lands unless herein provided and the necessary title or leasehold interests have been obtained from the state. Only the Trustees of the Internal Improvement Trust Fund may express state opinion as to title.

This permit does not relieve the permittee from liability for harm or injury to human health or welfare, animal, plant or aquatic life or property and penalties therefor caused by the construction or operation of this permitted source, nor does it allow the permittee to cause pollution in contravention of Florida Statutes and department rules, unless specifically authorized by an order from the department.

The permittee shall at all times properly operate and maintain the facility and systems of treatment and control (and related appurtenances) that are installed or used by the permittee to achieve compliance with the conditions of this permit, as required by department rules. This provision includes the operation of backup or auxiliary facilities or similar systems when necessary to achieve compliance with the conditions of the permit and when required by department rules.

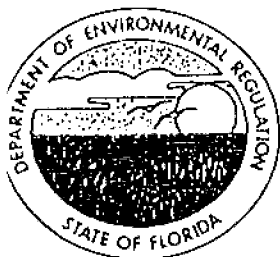
The permittee, by accepting this permit, specifically agrees to allow authorized department personnel, upon presentation of credentials or other documents as may be required by law, access to the premises, at reasonable times, where the permitted activity is located or conducted for the purpose of:

- a. Having access to and copying any records that must be kept under the conditions of the permit;
- b. Inspecting the facility, equipment, practices, or operations regulated or required under this permit; and
- c. Sampling or monitoring any substances or parameters at any location reasonably necessary to assure compliance with this permit or department rules.

Reasonable time may depend on the nature of the concern being investigated.

If, for any reason, the permittee does not comply with or will be unable to comply with any condition or limitation specified in this permit, the permittee shall immediately notify and provide the department with the following information:

- a. a description of and cause of non-compliance; and



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachmann, Secretary

John Shearer, Assistant Secretary
Scott Benyon, Deputy Assistant Secretary

PERMITTEE:

Dave Miller
c/o Robert Sandy Construction, Inc.
3452 NE Indian Drive
Jensen Beach, Florida 34957

I.D. Number: 5143P00781

Permit/Certification Number: 431622858

Date of Issue: JUL 15 1989 1989

Expiration Date: JUL 14 1990 1994

County: Martin

Latitude/Longitude: 27°11'23"/80°11'39"

Section/Township/Range: 1/38S/41E

Project: Private Dock

This permit is issued under the provisions of Chapter 403, Florida Statutes, and Florida Administrative Code Rule 17-12. The above named permittee is hereby authorized to perform the work or operate the facility shown on the application and approved drawing(s), plans, and other documents attached hereto or on file with the department and made a part hereof and specifically described as follows:

TO:

Construct a 1,292 square foot private dock measuring 308 feet long by 4 feet wide and including an "L" shaped platform 12 feet by 5 feet with 2 mooring piles.

IN ACCORDANCE WITH:

The three (3) stamped drawing(s) which are attached and a part hereof and DER Application Form 17-1.203(1) dated February 21, 1989 and signed by J.W. Borger (not attached)

LOCATED AT:

76 South Sewall's Point Road, Lot 2, Homewood, Indian River Aquatic Preserve No. 19, O.F.W., Class III waters, Section 1, Township 38 South, Range 41 East, Stuart, Martin County.

SUBJECT TO:

GENERAL CONDITIONS one (1) through fifteen (15) and SPECIFIC CONDITIONS one (1) through ten (10).

STATE OF FLORIDA
DEPARTMENT OF NATURAL RESOURCES

Marjory Stoneman Douglas Building • 3900 Commonwealth Boulevard • Tallahassee, Florida 32399
Tom Gardner, Executive Director

May 22, 1989

Dane Miller
c/o Robert Sandy Construction, Inc.
3452 North East Indian Drive
Jensen Beach, Florida 34957

Dear Mr. Miller:

File No. 431622858
Applicant: Miller, Dane

This will advise you that the applicant is hereby authorized to proceed with construction of a single family dock as proposed in the Department of Environmental Regulation Permit No. 431622858, showing the location in Martin County, Section 1, Township 38, Range 41. This authorization is specifically conditioned upon the following:

- 1) Compliance with and acceptance of the attached general consent conditions.
- 2) The total length of the dock and terminal platform shall be 300 feet waterward of mean high water.
- 3) The access pier shall be five (5) feet above mean high water.
- 4) The dock shall be located at the shoreline to avoid or minimize destruction or impacts to mangroves and other wetlands vegetation.
- 5) The dock shall not be used, on either a temporary or permanent basis, by any watercraft with a full operating draft of vessel and propulsion unit exceeding 1.5 feet.

Please consider this the conditional authority sought under Section 253.77, Florida Statutes, to pursue this project.

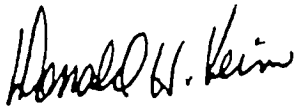
This letter in no way waives the authority and/or jurisdiction of any governmental entity nor does this letter disclaim any title interest that the State may have in this project site.



Dane Miller
May 22, 1989
Page Two

We appreciate your cooperation. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in cursive script, appearing to read "Donald H. Keirn".

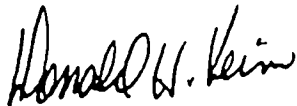
Donald H. Keirn
Division of State Lands
Southeast Florida District Office

DHK/bs
Attachments
cc: Department of Environmental Regulation

Dane Miller
May 22, 1989
Page Two

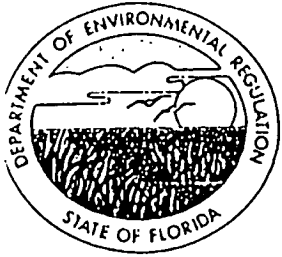
We appreciate your cooperation. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in dark ink, appearing to read "Donald H. Keirn". The signature is fluid and cursive, with the first name "Donald" being more prominent.

Donald H. Keirn
Division of State Lands
Southeast Florida District Office

DHK/bs
Attachments
cc: Department of Environmental Regulation



Florida Department of Environmental Regulation

Southeast District Branch Office • 2745 S.E. Morningside Blvd. • Port St. Lucie, FL 34952 • 407-878-3890/335-4310

Bob Martinez, Governor

Dale Twachtman, Secretary

John Shearer, Assistant Secretary
Scott Benyon, Deputy Assistant Secretary

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL REGULATION
NOTICE OF PERMIT ISSUANCE

In the Matter of an Application
for Permit by:

DER File No. 431622858
WRM - Martin County

Dave Miller
c/o Robert Sandy Construction, Inc.
3452 NE Indian Drive
Jensen Beach, Florida 34957

Enclosed is Permit Number 431622858 to construct a 1,292 square foot private dock issued pursuant to Chapter 403, Florida Statutes.

A person whose substantial interests are affected by this permit may petition for an administration proceeding (hearing) in accordance with Section 120.57, Florida Statutes. The petition must contain the information set forth below and must be filed (received) in the Office of General Counsel of the Department at 2600 Blair Stone Road, Tallahassee, Florida 32399-2400, within 14 days of receipt of this Permit. Petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. Failure to file a petition within this time period shall constitute a waiver of any right such person may have to request an administrative determination (hearing) under Section 120.57 Florida Statutes.

The Petition shall contain the following information:

- (a) The name, address, and telephone number of each petitioner, the applicant's name and address, the Department Permit File Number and the county in which the project is proposed;
- (b) A statement of how and when each petitioner received notice of the Department's action or proposed action;
- (c) A statement of how each petitioner's substantial interest are affected by the Department's action of proposed action;
- (d) A statement of the material facts disputed by petitioner, if any;
- (e) A statement of facts which petitioner contends warrant reversal or modification of the Department's action or proposed action;

Page Two
Dave Miller
Permit No. 431622858

(f) A statement of which rules or statutes petitioner contends require reversal or modification of the Department's action or proposed action; and

(g) A statement of the relief sought by petitioner, stating precisely the action petitioner wants the Department to take with respect to the Department's action or proposed action.

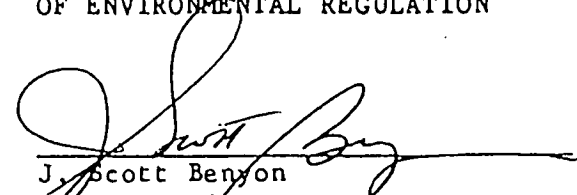
If a petition is filed, the administrative hearing process is designed to formulate agency action. Accordingly, the Department's final action may be different from the position taken by it in this permit. Persons whose substantial interests will be affected by any decision of the Department with regard to the application have the right to petition to become a party to the proceeding. The petition must conform to the requirements specified above and be filed (received) within 14 days of receipt of this notice in the Office of General Counsel at the above address of the Department. Failure to petition within the allowed time frame constitutes a waiver of any right such person has to request a hearing under Section 120.57, F.S., and to participate as a party to this proceeding. Any subsequent intervention will only be at the approval of the presiding office upon motion filed pursuant to Rule 28-5.207, F.A.C.

This permit is final and effective on the date filed with the Clerk of the Department unless a petition is filed in accordance with the above paragraphs or unless a request for extension of time in which to file a petition is filed within the time specified for filing a petition and conforms to Rule 17-103.070, F.A.C. Upon timely filing of a petition or a request for an extension of time this permit will not be effective until further order of the Department.

When the Order (Permit) is final, any party to the Order has the right to seek judicial review of the Order pursuant to Section 120.68, Florida Statutes, by the filing of a Notice of Appeal pursuant to Rule 9.110, Florida Rules of Appellate procedure, with the Clerk of the Department in the Office of General Counsel, 2600 Blair Stone Road, Tallahassee, Florida 32399-2400; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date the Final Order is filed with the Clerk of the Department.

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL REGULATION


J. Scott Benyon
Deputy Assistant Secretary
1900 S. Congress Avenue, Suite A
West Palm Beach, Florida 33406
407-964-9658

435-2650

Page Three
Dave Miller
Permit No. 431622858

CERTIFICATE OF SERVICE

This is to certify that this NOTICE OF PERMIT and all copies were mailed before the close of business on JUL 17 1989 to the listed persons.

Clerk Stamp

FILING AND ACKNOWLEDGEMENT
FILED, on this date, pursuant to
§120.52(9), Florida Statutes, with
the designated Department Clerk,
receipt of which is hereby
acknowledged.

J. Brown
(Clerk)

JUL 17 1989
(Date)

Copies furnished to:

Department of Natural Resources
U.S. Army Corps of Engineers
Martin County Planning Department
Martin County Property Appraiser



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 7202
74 S. SEWALL'S PT. ROAD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DOCK FINAL

ALL REQUIRED PAPERWORK
(DOCK DETAILS, SITE PLAN ETC)
WERE NOT ON JOB SITE.

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/2






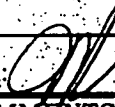
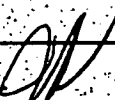
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☒ Wed ☐ Fri FEB 2, 2005 Page 1 of 2


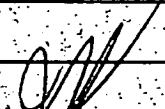
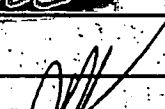
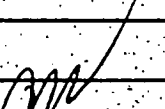
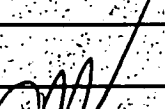
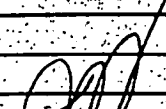
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7234	JANSON	FINAL A/C	FAIL	
2	132 S. RIVER RD HONEST A/C			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7202	BABBITT	DOCK FINAL	FAIL	
4	76 S. SEWALL'S PT 76 S HAYMES			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
6741	OSTEEN	ELEC ROUGH	PASS	
5	1 RIDGEVIEW ANGUS ENTERPR.	AC ROUGH FRAMING	PASS PASS	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7164	WILCOX	FENCE REPAIR	PASS	CLOSE
3	95 S. RIVER RD ROOSTH CONST			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7210	WILCOX	FRAMING PORCH + WINDOW REPAIR	FAIL	
3	95 S. RIVER RD ROOSTH CONST.			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7253	FLAUGH	DEYN	PASS	
9	14 N. RIVER ROAD DENEMARK			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7043	GOLNIK	RE ROOF	FAIL	
7	4 S. VIA LUCINDIA O/B			INSPECTOR: 

OTHER:

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☐ Mon ☐ Wed ☒ Fri FEB 4, 2005 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7166	JAVORSKY	FINAL ROOF	PASS	CLOSE
8	4 PINEAPPLE LA O/B	(*LATE*)		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7258	BEHRINGER	PATIO SLAB	FAIL	
13	18 INDIA WUCIEPKY DETHOMAS CONCRETE			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7111	PALM ROW	DOCK	PASS	CLOSE
4	120 S. SEWALL'S J & B BOATLIFT			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7108	WINSLOW	TINTAG METAL		Reschedule Mon
	10 S. SEWALL'S PT PACIFIC ROOFING			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7202	BABBITT	DOCK FINAL	PASS	CLOSE
6	76 S. SEWALL'S PT O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	SCHNABEL	TREE	PASS	
3	122 S. SEWALL'S			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7043	SWEENEY	TINTAG+METAL	PASS	
9	4 S. VIA LUCINDA O/B	SKYLIGHT SCREENS		INSPECTOR: 
OTHER:	TREE RIGHT TO 8 PALM COURT	TREE	PASS	

9424

REROOF GAZEBO



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9424	DATE ISSUED:	MAY 5, 2010
SCOPE OF WORK:	REROOF GAZEBO		
CONDITIONS:			
CONTRACTOR:	ONSHORE ROOFING		
PARCEL CONTROL NUMBER:	013841006-001-000200	SUBDIVISION	HOMWOOD-L2, BL A
CONSTRUCTION ADDRESS:	76 S SEWALLS PT RD		
OWNER NAME:	BABBITT		
QUALIFIER:	JOSEPH KALINOSKI	CONTACT PHONE NUMBER:	283-1505

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____
UNDERGROUND MECHANICAL _____
STEM-WALL FOOTING _____
SLAB _____
ROOF SHEATHING _____
TIE DOWN /TRUSS ENG _____
WINDOW/DOOR BUCKS _____
ROOF DRY-IN/METAL _____
PLUMBING ROUGH-IN _____
MECHANICAL ROUGH-IN _____
FRAMING _____
FINAL PLUMBING _____
FINAL MECHANICAL _____
FINAL ROOF _____

UNDERGROUND GAS _____
UNDERGROUND ELECTRICAL _____
FOOTING _____
TIE BEAM/COLUMNS _____
WALL SHEATHING _____
INSULATION _____
LATH _____
ROOF TILE IN-PROGRESS _____
ELECTRICAL ROUGH-IN _____
GAS ROUGH-IN _____
METER FINAL _____
FINAL ELECTRICAL _____
FINAL GAS _____
BUILDING FINAL _____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number: **9424**

Date: **3-23-10**

OWNER/TITLEHOLDER NAME: **Larry Babbitt** Phone (Day): **919-796-4552**

Job Site Address: **76 Sewalls Pt. Rd.** City: **Stuart** State: **FL** Zip: **34996**

Legal Description: **Homewood Lot 2 BKA** Parcel Control Number: **01-38-41-006-00-00020-0**

Owner Address (if different): **30 E Williams St.** City: **Angier** State: **NC** Zip: **27501**

Scope of work (please be specific): **RE-ROOF OF GARAGE DETACHED**

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES ☐ NO ☒

Has a Zoning Variance ever been granted on this property?
 YES ☐ (YEAR) ☐ NO ☒
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ **72,000**
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 ☒ X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ **435,820**
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: **Onshore Roofing Specialists** (Phone) **283-1505** Fax **283-1557**

Street: **1501 SE Decker Ave #304** City: **Stuart** State: **FL** Zip: **34997**

State License Number: **CC01328994** OR: Municipality: License Number:

LOCAL CONTACT: **Trisha Quigley** Phone Number: **283-1505-**

DESIGN PROFESSIONAL: **WJA** Lic#: Phone Number:

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof Elevated Deck: Enclosed area below BFE*:
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007.

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
 OR OWNER'S LEGAL AUTHORIZED AGENT (REQUIRED)

State of Florida, County of: **Martin**

This the **18** day of **March**, 20**10**

by **Larry Babbitt** who is personally known to me or produced as identification.

CONTRACTOR SIGNATURE: (required)

On State of Florida, County of: **Martin**

This the **18** day of **March**, 20**10**

by **Joseph Kolinski** who is personally known to me or produced as identification.

As identification. **TRISHA NEAL QUIGLEY** Comm# DD0706197

My Commission Expires: **8/25/2011**

My Commission Expires: **8/25/2011**

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



Martin County, Florida

Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.14

Summary

print | | | | | Owner
1 of 1

Parcel Info

Summary

Land

Residential

Improvement

Commercial

Image

Sales & Transfers

Assessments ➡

Taxes ➡

Exemptions ➡

Parcel Map ➡

Full Legal ➡

Parcel ID	Unit Address	Serial Index ID Order	Commercial	Residential
01-38-41-006-001-00020-0	76 S SEWALL'S POINT RD	17643Owner	0	1

Summary

Property Location 76 S SEWALL'S POINT RD

Tax District 2200 Sewall's Point

Account # 17643

Land Use 101 0100 Single Family

Neighborhood 193110

Acres 0.903

Legal Description

Property Information

HOMEWOOD, LOT 2 BLK A

Search By

Parcel ID

Owner

Address

Account #

Use Code

Legal Description

Neighborhood

Sales

Map ➡

Owner Information

Owner Information

BABBITT, LARRY S & KATHERINE A

Mail Information

56 E WILLIAMS ST
ANGIER NC 27501

Assessment Info

Front Ft. 1.00

Market Land Value \$591,380

Market Impr Value \$435,820

Market Total Value \$1,027,200

Site Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Recent Sale

Sale Amount \$650,000

Sale Date 1/20/1999

Book/Page 1365 1207

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/29/2010

Powered by
MANATRON

Joseph P. McCarty, Architect, Inc.

900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

April 26, 2010

Sewall's Point Building Department
One South Sewall's Point Road
Sewall's Point, Florida 34996

RECEIVED
APR 29 2010
Sewall's Point Town Hall

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 5-4-10
[Signature]
BUILDING OFFICIAL

RE: 76 South Sewall's Pont Road – Independent roofed structure on deck

To whom it may concern:

Please be advised that this permit is to re-roof existing roofed structure at 76 South Sewall's Point Road. Existing roof is cedar shake installed on wood strips, that are to be replaced with 5/8" CDX plywood.

Wind Certification – Design Criteria

These plans are designed to the following standards
Florida Building Code 2007 with 2009 amendments
2008 NEC

Wind Speed – 140 MPH 3 second gust
Exposure "C"

Structure is "enclosed"

Interior pressure coefficient =/.18

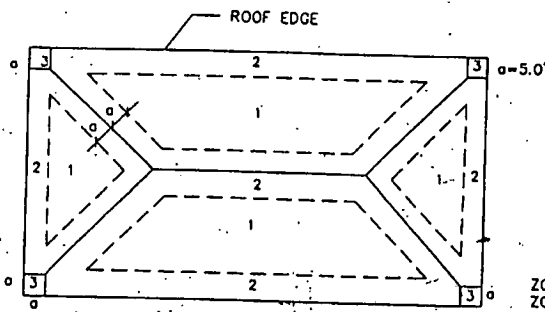
Building Category II Importance Factor 1.0

Roof is to be JM metals standing seam, galvalume roof Florida Building Code approval FL 12966.7. Roof is to be installed per Method Two– neg. 159.25 PSF uplift resistance., on Peel and Stick underlayment, on 5/8" CDX ring-shank nailed installed per schedule to Existing 2x6 roof rafters at maximum 24" on center. Rafters are to inspected, rafters that are deteriorated are to be replaced with new 2x6 rafters. New rafters to be fastened to beam with Simpson H2.5 clips with (10) 8d nails and Simpson A34 clip to hip members.

Sincerely,


Joseph P. McCarty

140 C



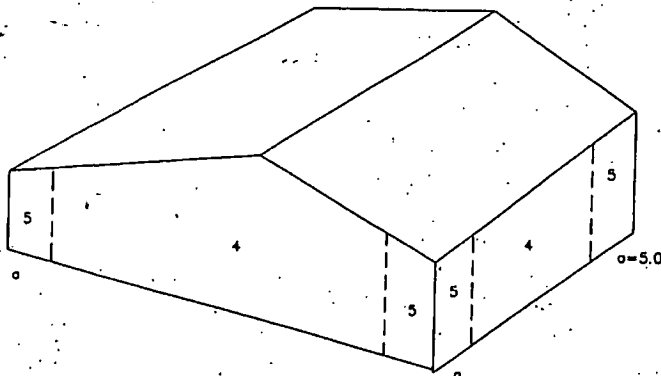
UPLIFT PRESSURES

ZONE 1- 58 PSF
ZONE 2- 97 PSF
ZONE 3- 97 PSF

NAILING SCHEDULE

ZONE 1-8d ringshank @ 6"
ZONE 2-8d ringshank @ 4"
ZONE 3-8d ringshank @ 4"

140 MPH EXPOSURE "C"



AREA	PRESSURE (PSF)		ZONE 4,5
	ZONE 4	ZONE 5	
10	-63	-78	+58
20	-61	-73	+56
30	-59	-70	+55
50	-58	-68	+54
100	-53	-61	+51
200	-51	-56	+47

76 SOUTH SEWALLS POINT ROAD
RE-ROOF

JOSEPH P. McCARTY, ARCHITECT, Inc.
900 EAST OSCEOLA STREET 287-6735
STUART FLORIDA

D.P.R. Registration Number 9639

[Handwritten signature and date 4/20/10]



CBUCK Engineering

Specialty Structural Engineering

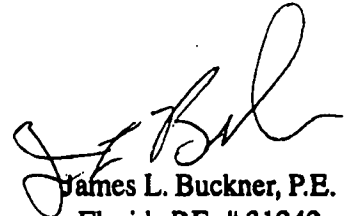
CBUCK, Inc. Florida Certificate of Authorization # 8064

Evaluation Report
of
Innovative Distribution, LLC d/b/a JM Metals
JM "1.5 Standing Seam"
Metal Roof Assembly
for
Florida Product Approval
FL 12966.7
Florida Building Code 2007
Per Rule 9B-72
Method: 1 - D
Category: Roofing
Sub - Category: Metal Roofing

Product: *JM "1.5 Standing Seam" Roof Panel*
Material: *Steel*
Panel Thickness: *24 Gauge Minimum*
Net Coverage Width: *16" Maximum Coverage*
Support Type: *Wood Deck*

Prepared for:
Innovative Distribution, LLC d/b/a JM Metals
1505 Cox Road
Cocoa, Florida 32926

Prepared by:
James L. Buckner, P.E.
Florida Professional Engineer # 31242
Florida Evaluation ANE ID: 1916
Project Manager: Diana Galloway
Report No. 09-180-1.5SS-16-S4W-ER
Date: 8 / 21 / 08



James L. Buckner, P.E.
Florida P.E. # 31242
AUG 27 2009

Contents:
Evaluation Report Pages 1 - 7

CBUCK, Inc.
1334 S. Killian Drive, Suite 4, West Palm Beach, Florida 33403
Phone: (561)491-9927 Fax: (561)491-9928 Website: www.cbuckinc.net

CBUCK Engineering

Specialty Structural Engineering

CBUCK, Inc. Florida Certificate of Authorization # 8064

Manufacturer: Innovative Distribution, LLC d/b/a JM Metals

Product Name: JM 1.5 Standing Seam

Product Category: Roofing

Product Sub-Category: Metal Roofing

Compliance Method: State Product Approval Rule 9B-72.070 (1) (d)

Product Description: Standing Seam, Steel Roof Panel on Plywood Deck

Panel Material / Standards: Material: Steel
Yield Strength: 50 ksi Minimum
Corrosion Resistance:
Material shall comply with the Florida Building Code (FBC), 2007
Section 1507.4.3.

Panel Dimension(s) Thickness: 24 Ga minimum
Width: 16 in Maximum (Net Coverage Width)
Rib Height: 1.5 in

Support Type: Wood Deck
(Design of support system is not included in this evaluation)

Support Description:

- 15/32 in or greater plywood, or
- Wood plank deck

Slope Range: Minimum slope shall comply with FBC 2007, applicable sections including 1504.7 and in accordance with the manufacturer's recommendations.

Underlayment: Underlayment shall be per manufacturer's guidelines as required in FBC Section 1507.4.5

Insulation: (Optional) Rigid Insulation Board, 3 in maximum thickness and with a density of 2.25 pcf (lbs/ft³) minimum or a compressive strength of 25 psi minimum.

CBUCK Engineering

Specialty Structural Engineering

CBUCK, Inc. Florida Certificate of Authorization # 8064

**Attachment Component
Description:**

Roof Panel Clips

Type: One piece

Material : Steel

Yield Strength: 40 ksi minimum

Thickness: 24 gauge minimum

Nominal Dimension: 1.5 in (wide) x 2.0 in (long) x 1.625 in (high)

Corrosion Resistance: Per FBC Section 1506.7

Clip Fasteners

Type: Pancake-Head wood screws

Size: #10 x minimum penetration through deck 3/16 in

Corrosion Resistance: Per FBC Section 1507.4.4 or 1506.6

Standard: Per ANSI/ASME B18.6.1

Sealant

Product Name: Bostik® Chem-Calk® 915 Sealant

Type: One Component, Polyurethane adhesive

Application Size: ¼" Continuous Bead

Standard: ASTM D412

"JM 1.5 Standing Seam Panel" Steel Roof Panel to Wood Deck
(Refer to drawings on Pgs 5-7 of this report.)

Installation:

Method 1:

- Clip spacing: 16 in o.c.
(along the length of the panel and within 3 in" from all ends)
- Two fasteners per clip
- Rib Seam : Mechanically seamed 90 degrees (Single Lock)

Method 2:

Installation:

- Clip spacing: 12 in o.c.
(along the length of the panel and within 3 in from all ends)
- Two fasteners per clip
- **Sealant** shall be applied along the length of the panel
- Rib Seam : Mechanically seamed 90 degrees (Single Lock)

Install the system in compliance with the evaluated installation method(s). The installation method(s) described herein have been evaluated to address the scope of the evaluation. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

Design Uplift Pressure:

Method 1: - 95 PSF (Safety Factor of 2:1)

Method 2: -159.25 PSF (Safety Factor of 2:1)

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- Quality Assurance:** The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9B-72.070 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Keystone Certifications, Inc.** (FBC Organization #: QUA 1824)
- Performance Standards:** The product described herein has demonstrated compliance with:
- **UL580-94** – *Test for Uplift Resistance of Roof Assemblies—with Revisions through February 1998*
 - **UL 1897-98** – *Uplift test for roof covering systems*
- Standards Equivalency:** Test standard TAS 125-03 meets or exceeds the test procedures prescribed in UL 580-94 with 98 Revisions and UL 1897-98.
- Code Compliance:** The product described herein has demonstrated compliance with the Florida Building Code 2007, Section 1504.3.2.
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural wind load requirements of the Florida Building Code, as related to Rule 9B-72.
- Limitations and Condition of Use:**
- Scope of “Limitations and Conditions of Use” for this evaluation:
This evaluation report for “Optional Statewide Approval” contains technical documentation, specifications and installation method(s) which include “Limitations and Conditions of Use” throughout the report in accordance with Rule 9B-72.070. Per Rule 9B-72.060, the Florida Building Commission is the authority to approve products under “Optional Statewide Approval”.
 - Option for application outside “Limitations and Conditions of Use”
Rule 9B-72.070(1)(e) allows rational engineering analysis for “project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code”. Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
 - Fire Classification is outside the scope of Rule 9B-72, and is therefore not included in this evaluation. Additional approved substrates may be added for Fire Classification purposes.
 - This report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)
- Referenced Data:**
1. TAS 125-03 Uplift Test
By Hurricane Test Laboratory, LLC. (FBC Organization #TST ID: 1527)
Method 1: Report 0223-0301-00; Test Date: 05 / 05 / 00
Method 2: Report 0223-1009-06; Test Date: 10 / 18 / 06 – 10/20/06
 2. Quality Assurance
By Keystone Certifications, Inc., (FBC Organization #QUA ID:1824)
Innovative Distribution, LLC d/b/a JM Metals, Licensee #: 344
 3. Certification of Independence
By James L. Buckner, P.E. @ CBUCK Engineering
(FBC Organization # ANE 1916)

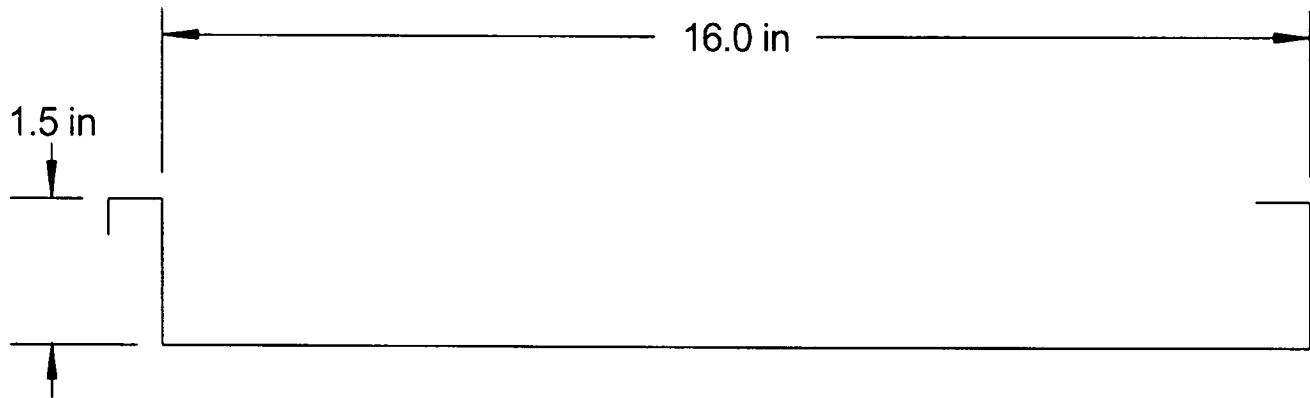
CBUCK Engineering

Specialty Structural Engineering

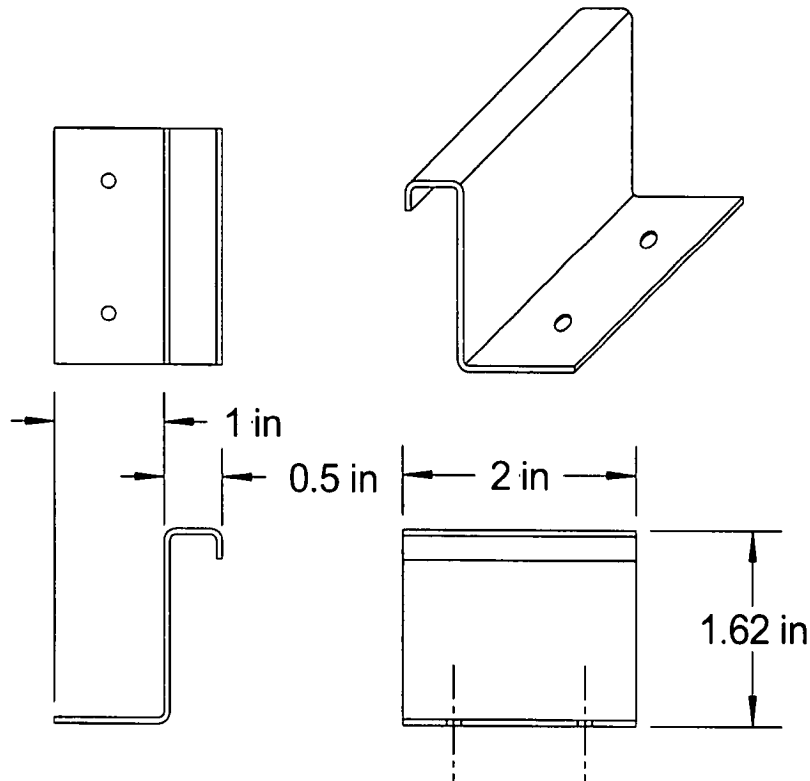
CBUCK, Inc. Florida Certificate of Authorization # 8064

Installation Method Innovative Distribution, LLC d/b/a JM Metals “JM 1.5 Standing Seam” (24 Gauge) Panel Attached to Plywood Deck

Profile Drawings



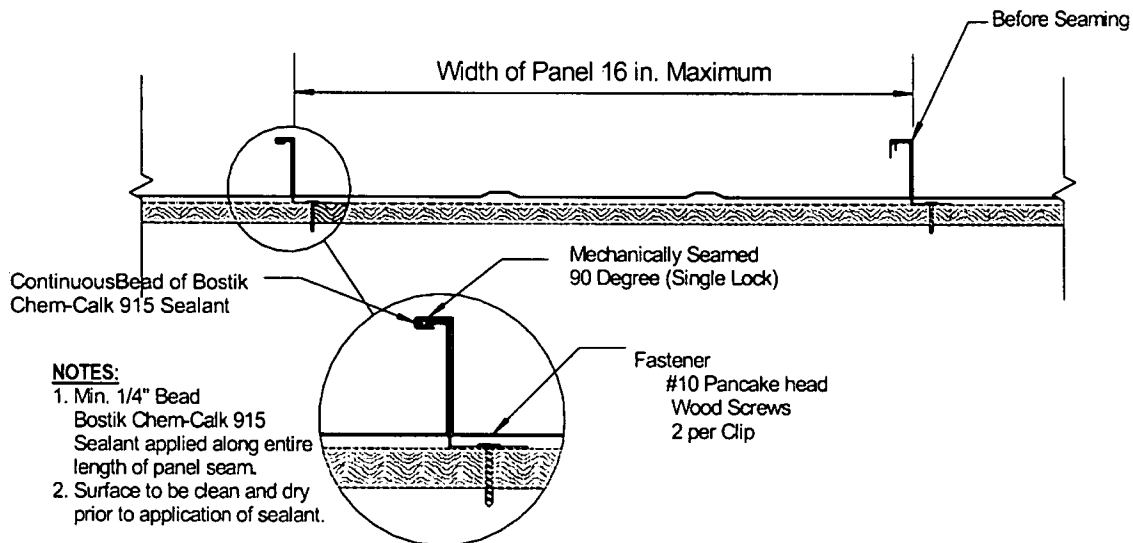
Typical Panel Profile View



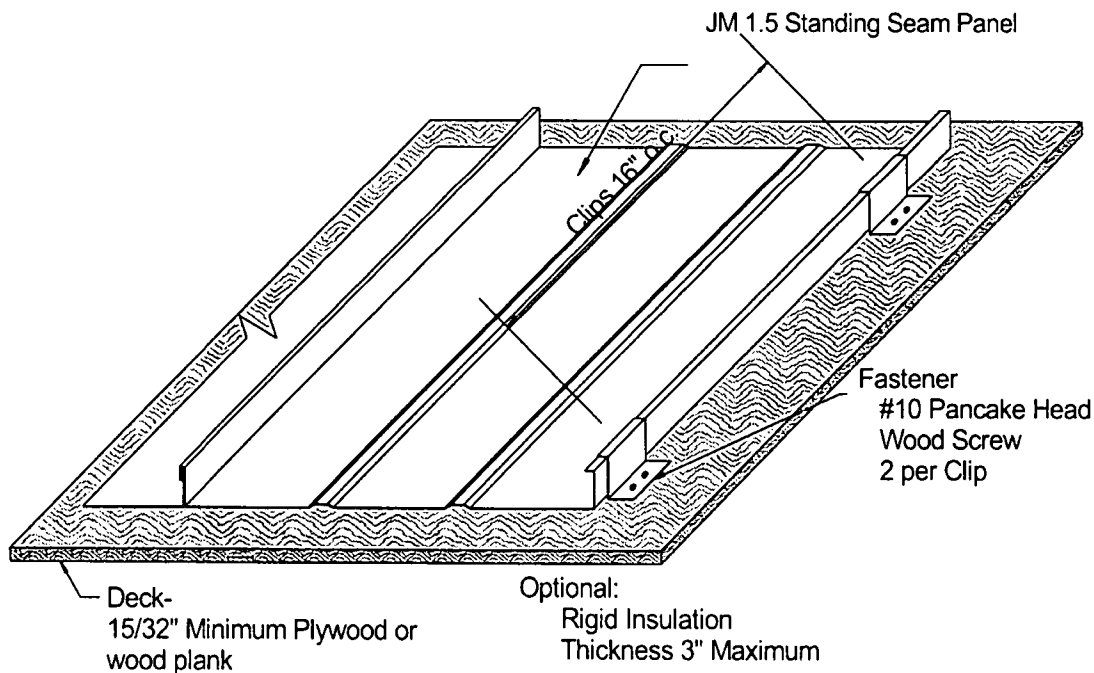
Clip Drawings

Installation Method Innovative Distribution, LLC d/b/a JM Metals “JM 1.5 Standing Seam” (24 Gauge) Panel Attached to Plywood Deck

Method 1



Typical Assembly Profile View



Typical Assembly Isometric View

CBUCK Engineering

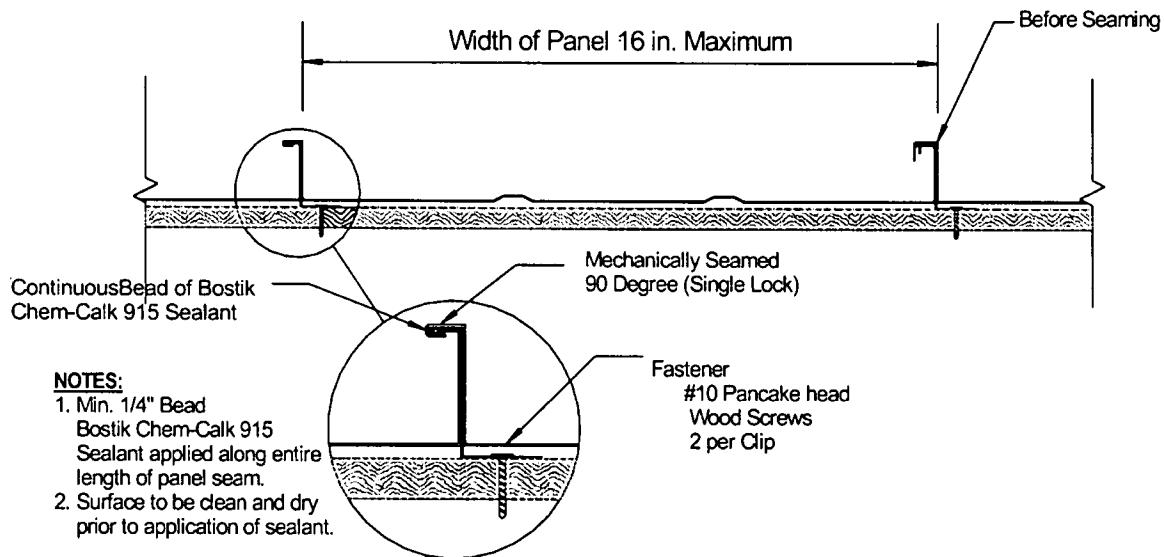
Specialty Structural Engineering

CBUCK, Inc. Florida Certificate of Authorization # 8064

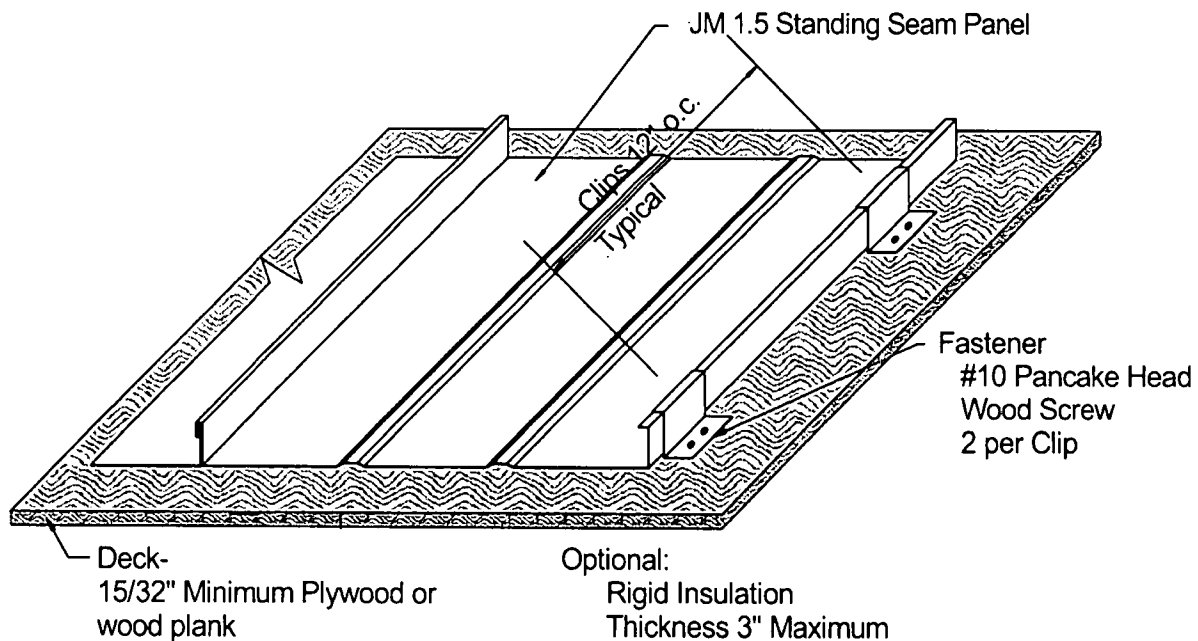
FL #: FL 12966.7
Date: 08 / 21 / 09
Report No.: 09-180-1.5SS-16-S4W-ER
Page 7 of 7

Installation Method Innovative Distribution, LLC d/b/a JM Metals “JM 1.5 Standing Seam” (24 Gauge) Panel Attached to Plywood Deck

Method 2



Typical Assembly Profile View



Typical Assembly Isometric View

ROOFING MATERIAL LIST

[illegible]

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: Onshore Roofing

PHONE #:

FAX:

OWNER'S NAME: Babbitt

CONSTRUCTION ADDRESS: 74 Swails Rd

CITY: Stuart

STATE: _____

RE-ROOF: ☒

RESIDENTIAL (SINGLE FAMILY) Detached Gazebo

COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP ____ YES ____ NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC ____ YES ____ NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. ☒

YES

NO

- INSURED VALUE OF RESIDENCE Gazebo

ROOF TYPE: ☒

HIP

☒ BOSTON-HIP

____ GABLE

____ FLAT

____ OTHER

ROOF PITCH: 4

/12 SLOPE

ROOF DECK: *

____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF
NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER
FLORIDA BUILDING CODE "2004".

____ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-
SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME
SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK
NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

☒ EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: Shake

EXISTING COVERING TO BE REMOVED? YES ☒ NO

PROPOSED NEW ROOF COVERING: Standing Seam

MANUFACTURER: Sm

PRODUCT NAME: _____

PRODUCT APPR # _____

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE
INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT
INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: ☒

GALV./STEEL

____ ALUMINUM

____ COPPER

____ OTHER

RIDGEVENT TO BE INSTALLED: ☒

YES

____ NO

DESCRIPTION OF WORK: Re-Roof of Gazebo

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE
WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR: _____

DATE: 3/18/10

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☐ Wed ☐ Thur ☒ Fri 7-30 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9424	Bobbie 16 S Sewalls Pt	dry out gate code	Pass	
	On Shore	0911		INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9518	Bobbie	Final		
	101 S Sewalls	AC	Pass	CLOSE
	Costed AC			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9504	WALKER			
	6 CRANES NEST	PANK & LINES	Pass	
	ELITE/PROP & NW			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9508	SWARTZ	COLUMNS &		GREENHOUSE
	73 N SP RD	BEAMS	Pass	
	Mosier & Son			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☐ Wed ☒ Thur ☐ Fri 8-5 2010 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9501	SNAREI	PENNIS BLDG	V.14 ELEC	PASS
SLAB PM	73 N. SEWALLS AVE		SLAB	
	MOSLEY & SON			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9321	WOODS			2ND LIFT
PM	32 E. HIGH RD	STAIRS	PASS	
	CAPITOL			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9424	BARBER	TENAL		
	765 SEWALLS	POOF	PASS	
	Onshore Roofing	(0911)		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9503	SANTERAMO WOOD	TENAL		
	195 Ridgeview Rd	Fence	PASS	CLOSE
	Marston Court			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10290

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10290	DATE ISSUED:	NOVEMBER 27, 2012
SCOPE OF WORK:	FENCE		
CONTRACTOR:	A GREAT FENCE		
PARCEL CONTROL NUMBER:	013841006001-000200	SUBDIVISION	HOMEWOOD, L2, BL A
CONSTRUCTION ADDRESS:	76 S SEWALLS PT RD		
OWNER NAME:	BABBITT		
QUALIFIER:	DARRICK BAILEY	CONTACT PHONE NUMBER:	812-0223

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM – MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____
UNDERGROUND MECHANICAL	_____
STEM-WALL FOOTING	_____
SLAB	_____
ROOF SHEATHING	_____
TIE DOWN /TRUSS ENG	_____
WINDOW/DOOR BUCKS	_____
ROOF DRY-IN/METAL	_____
PLUMBING ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____
FRAMING	_____
FINAL PLUMBING	_____
FINAL MECHANICAL	_____
FINAL ROOF	_____

UNDERGROUND GAS	_____
UNDERGROUND ELECTRICAL	_____
FOOTING	_____
TIE BEAM/COLUMNS	_____
WALL SHEATHING	_____
INSULATION	_____
LATH	_____
ROOF TILE IN-PROGRESS	_____
ELECTRICAL ROUGH-IN	_____
GAS ROUGH-IN	_____
METER FINAL	_____
FINAL ELECTRICAL	_____
FINAL GAS	_____
BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 11/21/12

BUILDING PERMIT APPLICATION

Permit Number: 10290

OWNER/LESSEE NAME: LARRY BABBITT

Phone (Day) 919-796-4552 (Fax) _____

Job Site Address: 76 SOUTH SEWALLS POINT ROAD

City: SEWALLS POINT State: FL Zip: 34996

Legal Description: HOMEWOOD LOT 2 BLK A

Parcel Control Number: _____

Fee Simple Holder Name: _____

Address: _____

City: _____

State: _____

Zip: _____

Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC):

FENCE

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES _____ NO X

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO _____

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 2,100.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only. Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: A GREAT FENCE, LLC

Phone: 772 812 0223 Fax: 772 408 0272

Qualifiers name: DARRICK BAILEY

Street: 540 NW MERCANTILE PL City: PSL State: FL Zip: 34986

State License Number: N/A

OR: Municipality: MARTIN COUNTY

License Number: MCFE5176

LOCAL CONTACT: DARRICK BAILEY

Phone Number: 772-812-0223

DESIGN PROFESSIONAL: N/A

Street: _____

City: _____

State: _____

Zip: _____

Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____

Garage: _____

Covered Patios/ Porches: _____

Enclosed Storage: _____

Carport: _____ Total under Roof: _____

Elevated Deck: _____

Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

State of Florida, County of: ST LUCIE

On This the 21ST day of NOVEMBER, 20 12

by DARRICK BAILEY personally

known to me or produced

As identification

My Commission Expires: 11/21/2016

State of Florida, County of: ST LUCIE

On This the 21ST day of NOVEMBER, 20 12

by DARRICK BAILEY who is personally

known to me or produced

As identification

My Commission Expires: 11/21/2016

Notary Public ROB

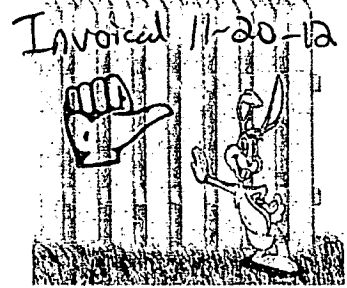
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 90 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) PLEASE PICK UP YOUR PERMIT PROMPTLY!

A Great Fence, LLC

(772) 812-0223

Licensed and Insured
(772) 408-0272 Fax
www.AGreatFence.com

Proposal / Contract



Customer's Name: LARRY BABBITT		Date: 11/17/12	
Address: 76 SEWELLS POINT ROAD		City: SEWELLS POINT	ST: FL Zip: 34996
Phone: 919-796-4552		Cell:	Work: Fax:
<input checked="" type="radio"/> RESIDENTIAL	<input type="radio"/> COMMERCIAL	<input type="radio"/> INDUSTRIAL	
To be installed at:		BOAT / DOCK WATER GATE HAS OPEN OUT - PER JOHN ADAMS NO. 11/17/12 POOL BUILT PER 20 SHRUBS	
Total Footage	Height	47 1/2 SHRUBS CUSTOMER TO TRIM BOTH SIDES.	
101'	4'	5' WALK WAY WALK GATE BOTTOM OF GATE CLOSE TO GROUND, ABOUT 6"	
Walk Gate (s)	Drive Gate (s)		
1			
Size (s)	Size (s)		
5'			
Pool Barrier	Removal		
<input checked="" type="radio"/> Yes	<input checked="" type="radio"/> No		
Additional Instructions			
REMOVE OLD PVC 101'			
WOOD			
Type	Style		
Hand Build	Pre Fab	SHADOW BOX	
Good Side	Gate Frame		
In	Out	Metal	Wood
CHAIN LINK			
Type	Color		
Galv.	Vinyl		
Knuckles	Tension Wire		
Up	Down	Top	Bottom
Rail		Middle Rail	
Top	Bottom	Yes	No
PVC VINYL			
Type			
Picket	Semi Private	Privacy	
Style	Color		
ORNAMENTAL			
Style	Type		
2- RAIL	<input checked="" type="radio"/> Alum	<input type="radio"/> Iron	
Color	Other		
BLACK			

REPLACE 3 POSTS AND RAIL RAILS

HOME

STREET

PER DANNICK

2,200.00

2,750.00

+ PERMIT

600.00 DEPOSIT RECEIVED CK # 1152108

SMALL DOGS, FENCE TO THE GROUND.

PROJECT PRICE

2,100.00

DEPOSIT

600.00

BALANCE DUE

1,500.00

PERMIT

100.00

Approval of Proposal - Contract: The project price, specifications and Terms / Conditions on reverse side are accepted. A Great Fence, LLC is authorized to do the work specified. Upon signing by Purchaser this becomes a binding contract. SEE REVERSE SIDE FOR TERM / CONDITIONS AND WARRANTY INFORMATION

CUSTOMER'S SIGNATURE:

DATE:

SALES REP:

Bob

CELL #: **772-812-0223**



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

FENCE and or POOL BARRIER CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

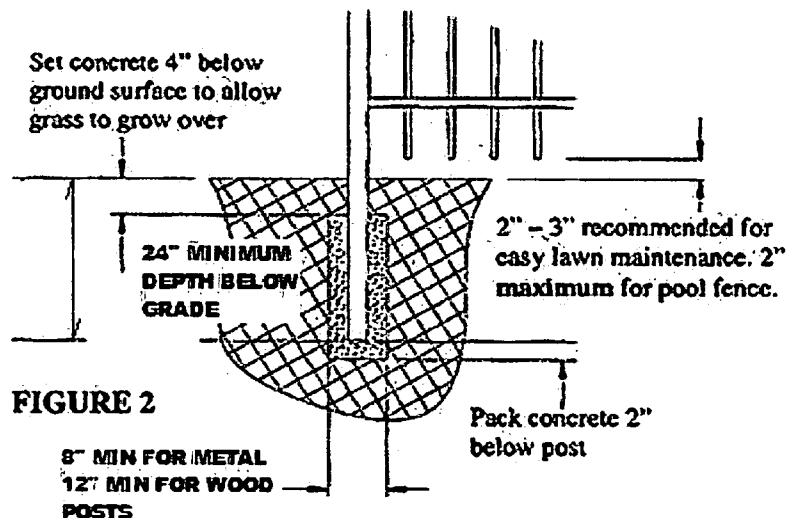
- ✓ 1 Copy Completed permit application
- ✓ 2 Copies Survey or site plan showing the following:
 - All existing structures on property
 - Location of proposed fence
 - Setbacks from the fence to property lines
 - Height & type of fence
 - Location of all easements
 - Street & house number on site plans

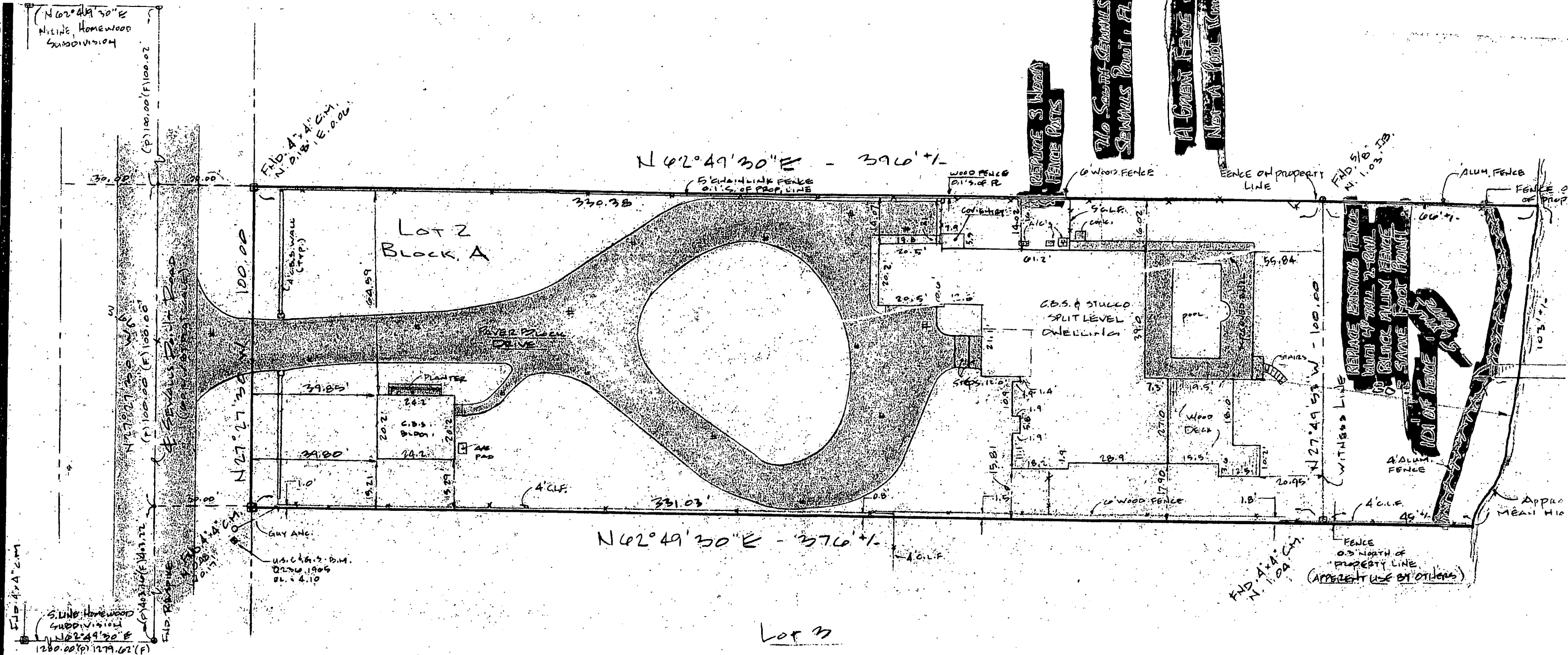
DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS

- ✓ 2 Copies support post footer sketch indicating size of footers. Fences to be used as a Pool Barrier (other than chain link fence) must include an Accurate sketch or drawing indicating barrier requirement compliance.
- 2 Copies, if fence crosses any easement, Easement agreement from all utility Companies are required. Agreement form included in permit package.

Typical Fence Footer

ALUM FENCE POSTS SET 18" WITH 1/2 BAG 2500 PSI CONCRETE





AC	ACRE	CHD	CHORD DISTANCE	EW	EDGE OF WATER	INV	INVERT	NTS	NOT TO SCALE	POB	POINT OF BEGINNING	RLS	REGISTERED LA
A/C	AIR CONDITIONER	CONC	CONCRETE	EM	ELECTRIC METER	IB	IRON BAR	N	NORTH	PCC	POINT OF COMMENCEMENT	RCP	REINFORCED CONCRETE
ALUM	ALUMINUM	CBS	CONC. BLOCK STRUCTURE	ES	ELECTRIC SERVICE	IP	IRON PIPE	NO	NUMBER	PC	POINT OF CURVATURE	R/W	RIGHT OF WAY
ANC	ANCHOR	CM	CONCRETE MONUMENT	ELEV	ELEVATION	IB & C	IRON BAR & CAP	ORB	OFFICIAL RECORD BOOK	PI	POINT OF INTERSECTION	SSMH	SANITARY SEWER
AVE	AVENUE	CNR	COULD NOT READ	ENCL	ENCLOSURE	LE	LANDSCAPE EASEMENT	O/S	OFFSET	PRC	POINT OF REVERSE CURVATURE	SS	SANITARY SEWER
BRG	BEARING	CPP	CONCRETE POWER POLE	EQUIP	EQUIPMENT	LB	LICENSE BUSINESS	OH	OVERHANG	PT	POINT OF TANGENCY	SECT	SECTION
BLK	BLOCK	COR	CORNER	X 17.00	EXISTING ELEVATION	LP	LIGHT POLE	OE	OVERHANG EASEMENT	PP	POWER POLE	SET I.B.	SET 5/8 IRON
BLVD	BOULEVARD	COV	COVERED	F	FEET	LAE	LIMITED ACCESS EASEMENT	OHW	OVERHEAD WIRE	PUE	PRIVATE UTILITY EASEMENT	S/W	SIDEWALK
BE	BUFFER EASEMENT	CMP	CORRUGATED METAL PIPE	FFE	FIELD MEASUREMENT	LFE	LOWEST FLOOR ELEVATION	PG	PAGE	PLS	PROFESSIONAL LAND SURVEYOR	S	SOUTH
BLDG	BUILDING	CVG	CONCRETE VALLEY GUTTER	FH	FINISH FLOOR ELEVATION	ME	MAINTENANCE EASEMENT	PK	PARKER-KALON NAIL	PROP	PROPOSED	SBT	SOUTHERN BEL
BM	BENCHMARK	D	DEED	FL	FIRE HYDRANT	MH	MANHOLE	PK & W	PARKER-KALON NAIL & WASHER	● 17.00	PROPOSED ELEVATION	S/F	SQUARE FEET
CATV	CABLE TELEVISION BOX	DE	DRAINAGE EASEMENT	FND	FOUND	MHWL	MEAN HIGH WATER LINE	PVMT	PAVEMENT	R	RADIUS	S/D	SUBDIVISION
C	CALCULATED	EASE	DRAINAGE EASEMENT	GOVT	GOVERNMENT	N & TT	NAIL & TIN TAB	PCP	PERMANENT CONTROL POINT	RNG	RAILROAD SPIKE	T	TANGENT
CB	CATCH BASIN	E	EAST	HSE	HOUSE	N & W	NAIL & WASHER	PRM	PERMANENT REFERENCE MONUMENT	RME	RANGE	TT	TEMPORARY CC
CLF	CENTRAL ANGLE	EP	EDGE OF PAVEMENT	I & E	INGRESS & EGRESS EASEMENT	NGVD	NATIONAL GEODETIC VERTICAL DATUM	P	PLAT			TCE	TEMPORARY CC
	CHAINLINK FENCE					NIC	NOT INCLUDED	PB	PLATBOOK			TOB	TOP OF BANK

1. PROPERTY ADDRESS: 76 SOUTH SEWALLS POINT ROAD
2. CERTIFIED TO: LARRY S. & KATHERINE A. BABBITT
ATTORNEYS TITLE INSURANCE FUND, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

NOTES:

1. Survey of description as i
2. Lands shown hereon were rights-of-way of record.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☒ Mon

☐ Tue

☐ Wed

☐ Thur

☐ Fri

2-4-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10290	Babbitt	Fence		
	76 S. Sewalls	Fence	Pass	Close
	A Great Fence			INSPECTOR <i>A</i>
10265	Morales	window & door buck		
	10 N. Ridgeway	metal/dry in roof	Pass	
	Gibben	mech rough		INSPECTOR <i>A</i>
102	Chen	Tree		
	83 S. Sewalls	Tree	OK	
				INSPECTOR
10320	Paturnick	Fence		
	27 Emerald Way	Roof Repair	Pass	Close
	Cardinal Roof			INSPECTOR <i>A</i>
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10811

WINDOW

(EXPIRED)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW
FROM THE STREET PRIOR TO BEGINNING ANY WORK**

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10811	DATE ISSUED:	3/21/2014
SCOPE OF WORK:	WINDOW REPLACEMENT		
CONTRACTOR:	THE GLASS PROFESSIONALS		
PARCEL CONTROL NUMBER:	013841006001000200	SUBDIVISION	HOMWOOD LOT 2
CONSTRUCTION ADDRESS:	76 S SEWALL'S POINT ROAD		
OWNER NAME:	BABBITT		
QUALIFIER:	DAVID LAPRADA	CONTACT PHONE NUMBER:	772 286-0459

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10811		
ADDRESS:	76 S SEWALL'S POINT ROAD		
DATE ISSUED:	3/21/2014	SCOPE OF WORK:	WINDOW REPLACEMENT

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)	\$	
(No plan submittal fee when value is less than \$100,000)		
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.		\$ -
Total square feet non-conditioned space, or interior remodel:		
@ \$ 59.81 per sq. ft. s.f.		\$ -
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.		\$ -
Total Construction Value:		
	\$	\$ -
Building fee: (2% of construction value SFR or >\$200K)	\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)		\$ -
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp		n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)	\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)	\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)		n/a
Martin County Impact Fee:	\$	
TOTAL BUILDING PERMIT FEE:	\$	\$ -

ACCESSORY PERMIT	Declared Value:	\$	\$ 7,600.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 2.00	\$ 200.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	\$ 3.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	\$ 3.00
Road impact assessment: (.04% of construction value - \$5 min.)			\$ 5.00
TOTAL ACCESSORY PERMIT FEE:		\$	211.00

Pa 3/24/14
CK 8434

Town of Sewall's Point

Date: 3-17-14

BUILDING PERMIT APPLICATION

Permit Number: 10811

OWNER/LESSEE NAME: Larry Babbitt Phone (Day) _____ (Fax) _____
 Job Site Address: 76 S Sewall's Point Rd City: Stuart State: FL Zip: 34996
 Legal Description: Home wood Lot 2 B1KA Parcel Control Number: 01-38-41-006-001-00020-0
 Fee Simple Holder Name: N/A Address: _____
 City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC): Install 7 Impact Windows

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO X

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO X
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 7,600 =

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 X AE9 X AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$ _____

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: The Glass Professionals Phone: 286-0459 Fax: 286-0461

Qualifiers name: David LaPrade Street: 3570 SE Dixie Hwy City: Stuart State: FL Zip: 34997

State License Number: _____ OR: Municipality: Martin Co License Number: MCGIA 01777

LOCAL CONTACT: Brian Huse Phone Number: 286-0459

DESIGN PROFESSIONAL: N/A Fla. License# _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: *Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010

National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:

Larry Babbitt
 State of Florida, County of: Martin
 On This the 17th day of March, 2014
Larry Babbitt who is personally
 known to me or produced
 As identification.

Kelly Widman Notary Public

My Commission Expires: 10-01-2015

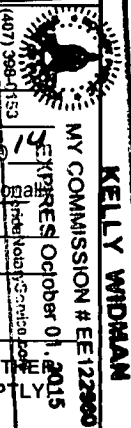
CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

David LaPrade
 State of Florida, County of: Martin
 On This the 17th day of March, 2014
 by David LaPrade who is personally
 known to me or produced
 As identification.

Kelly Widman Notary Public

My Commission Expires: 10-1-2015

KELLY WIDMAN
 NOTARY COMMISSION # EE122600



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY



ANNE M. GANNON
CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County

Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
www.pbctax.com Tel: (561) 355-2264

"LOCATED AT"

3560 SE DIXIE HIGHWAY
STUART, FL 34997-5245

TYPE OF BUSINESS	OWNER	CERTIFICATION #	RECEIPT #/DATE PAID	AMT PAID	BILL #
81-0336 CLOSET - SHOWER DOOR INSTALLATION	LAPRADE DAVID PRESIDENT		B13.1380785 - 07/09/13	\$33.00	B401201

This document is valid only when receipted by the Tax Collector's Office.

STATE OF FLORIDA
PALM BEACH COUNTY
2013/2014 LOCAL BUSINESS TAX RECEIPT

B1 - 415

GLASS PROFESSIONALS INC THE
GLASS PROFESSIONALS INC THE
3570 SE DIXIE HWY
STUART, FL 34997-5245



LBTR Number: 199816366
EXPIRES: SEPTEMBER 30, 2014

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

2013-2014 **MARTIN COUNTY ORIGINAL**
BUSINESS TAX RECEIPT
HONORABLE RUTH PIETRUSZEWSKI GFC, TAX COLLECTOR
3485 S.E. WILLOUGHBY BLVD., STUART, FL 34994
(772) 288-6604

ACCOUNT 1995-520-0039 CERT
PHONE (772) 286-0459 SIC NO 235920
LOCATION:
3570 SE DIXIE HWY ST

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR.	\$.00	LIC. FEE	\$ 26.25
	\$.00	PENALTY	\$.00
	\$.00	COL. FEE	\$.00
	\$.00	TRANSFER	\$.00
TOTAL		26.25	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **GLASS SPECIALTY CONTRACTOR**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 DAY OF **JULY** 2014
AND ENDING SEPTEMBER 30, 2014

LAPRADE, DAVID A (QUALIFIED)
GLASS PROFESSIONALS INC
3570 SE DIXIE HWY
STUART, FL 34997



91 2013 03937.0001 PAID

CITY OF FORT ST. LUCIE
BUILDING DEPARTMENT
CERTIFICATE OF COMPETENCY
EXPIRE: 09/30/14

111290

LAPRADE, DAVID A
THE GLASS PROFESSIONALS INC
3570 SE DIXIE HWY
STUART, FL 34997

SIGNATURE

GLASS & GLAZING

FLA:

PSL14-11566

CITY OF FORT ST. LUCIE



MARTIN COUNTY, FLORIDA
Contractor's Licensing
Certificate of Competency

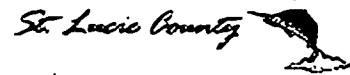
GLASS & GLAZING - MC

License #: MCGLA01777 Expires: 09/30/2015

LAPRADE, DAVID A
THE GLASS PROFESSIONALS INC
3570 SE DIXIE HWY
STUART, FL 34997

St. Lucie County

CONTRACTOR
IDENTIFICATION CARD



County Certification Number 19363

Class Code: Glass & Glazing

This is to certify that LAPRADE, DAVID A DBA GLASS PROFESSIONALS INC (THE) has been issued a County Certificate in St. Lucie County, beginning on 10/1/2007 and ending on 9/30/2014, unless license is revoked.

Danielle K. Williams
Authorized Licensing Official

Code Enforcement Supervisor

Contractor Licensing: (772) 462-1673
Contractor Fax Line: (772) 462-1148

Automated Inspection Line: (866) 284-1280
Inspection Line: (772) 462-2172

Class Code: Glass & Glazing

License Type: County Certification

PALM BEACH COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

CERTIFICATE #
U-19197



EXPIRATION
09/30/2015

NAME: DAVID A LAPRADE
FIRM: THE GLASS PROFESSIONALS INC

DBA:

3570 SE DIXIE HWY
STUART, FL 34997

CERTIFIED CONTRACTOR
GLASS & GLAZING

FEE: \$250.00

ISSUED BY: [Signature]

DATE: 07/30/2013

ID: 80065263

Signature: [Signature]

Contractor Signature Required



CERTIFICATE OF LIABILITY INSURANCE

 DATE (MM/DD/YYYY)
 9/30/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Murray Insurance Services, Inc. 1149 SW 34th St PO Box 367 Palm City FL 34991		CONTACT NAME: House Account PHONE: (772) 287-1411 FAX: (772) 283-0106 E-MAIL: ADDRESS:	
INSURED The Glass Professionals, Inc. 3570 S.e. Dixie Hwy Stuart FL 34997		INSURER(S) AFFORDING COVERAGE INSURER A: Covington Specialty Insurance INSURER B: PROGRESSIVE EXPRESS INS CO INSURER C: FLCitrus, Bus.&Ind.Fund(SIF) INSURER D: INSURER E: INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** CL1393000199 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

LINE	TYPE OF INSURANCE	ADD. SUBR. INSD. NO.	POLICY NUMBER	POLICY EFF. DATE	POLICY EXP. DATE	LIMITS
A	GENERAL LIABILITY					EACH OCCURRENCE \$ 2,000,000
	COMMERCIAL GENERAL LIABILITY					DAMAGE TO RENTED PREMISES (Per occurrence) \$ 100,000
	CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		VBA240199-00	5/22/2013	5/22/2014	MED EXP (Any one person) \$ 10,000
						PERSONAL & ADV INJURY \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:					GENERAL AGGREGATE \$ 2,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC					PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY					COMBINED SINGLE LIMIT (Per accident) \$ 1,000,000
	ANY AUTO					BODILY INJURY (Per person) \$
	ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS		04272276-4	7/28/2013	7/28/2014	BODILY INJURY (Per accident) \$
	HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS					PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR					HCPD \$
	EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE					EACH OCCURRENCE \$
	DED <input type="checkbox"/> RETENTION \$					AGGREGATE \$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY					WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)		10647479	7/1/2013	7/1/2014	E.L. EACH ACCIDENT \$ 100,000
	<input type="checkbox"/> YES <input type="checkbox"/> NO	N/A				E.L. DISEASE - EA EMPLOYEE \$ 100,000
	DESCRIPTION OF OPERATIONS below:					E.L. DISEASE - POLICY LIMIT \$ 500,000

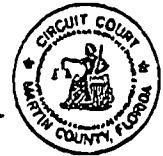
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER:
CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

C. Guarnotta



AFTER RECORDING - RETURN TO:

The Glass Professionals, INC.
3570 S.E. Dixie Hwy
Stuart, FL 34997

PERMIT NUMBER: _____

THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE.

CAROLYN THIMMANN, CLERK

BY: [Signature] D.C.DATE: 3/20/14

NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

01-38-41-006-001-00020-0

DESCRIPTION OF PROPERTY (Legal description of the property & street address, if available) TAX FOLIO NO.: _____

SUBDIVISION Homewood BLOCK A TRACT LOT 2 BLOCK UNITHomewood Lot 2 Bk A

GENERAL DESCRIPTION OF IMPROVEMENT:

Window Replacement

OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

a. Name and address: Larry Babbitt 76 S Small's Point Rd Stuart FL 34996b. Interest in property: owner

c. Name and address of fee simple titleholder (if different from Owner listed above): _____

d. a. CONTRACTOR'S NAME: The Glass ProfessionalsContractor's address: 3570 SE Dixie Hwy Stuart FLb. Phone number: 772-286-045934997

e. SURETY (if applicable, a copy of the payment bond is attached):

a. Name and address: NA

b. Phone number: _____

c. Amount of bond: \$ _____

d. e. LENDER'S NAME: NA

Lender's address: _____

b. Phone number: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: NA

b. Phone numbers of designated persons: _____

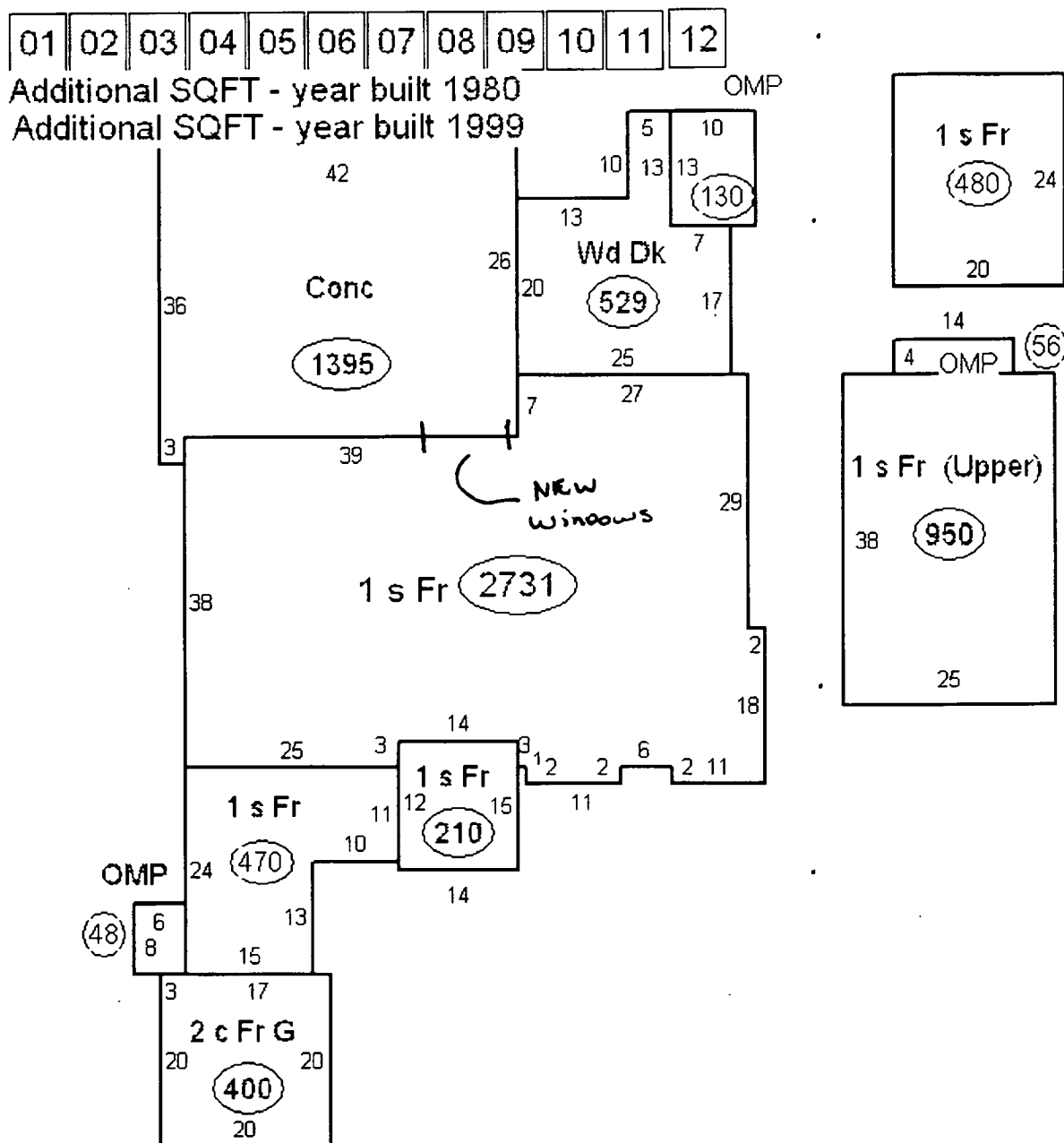
8. a. In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

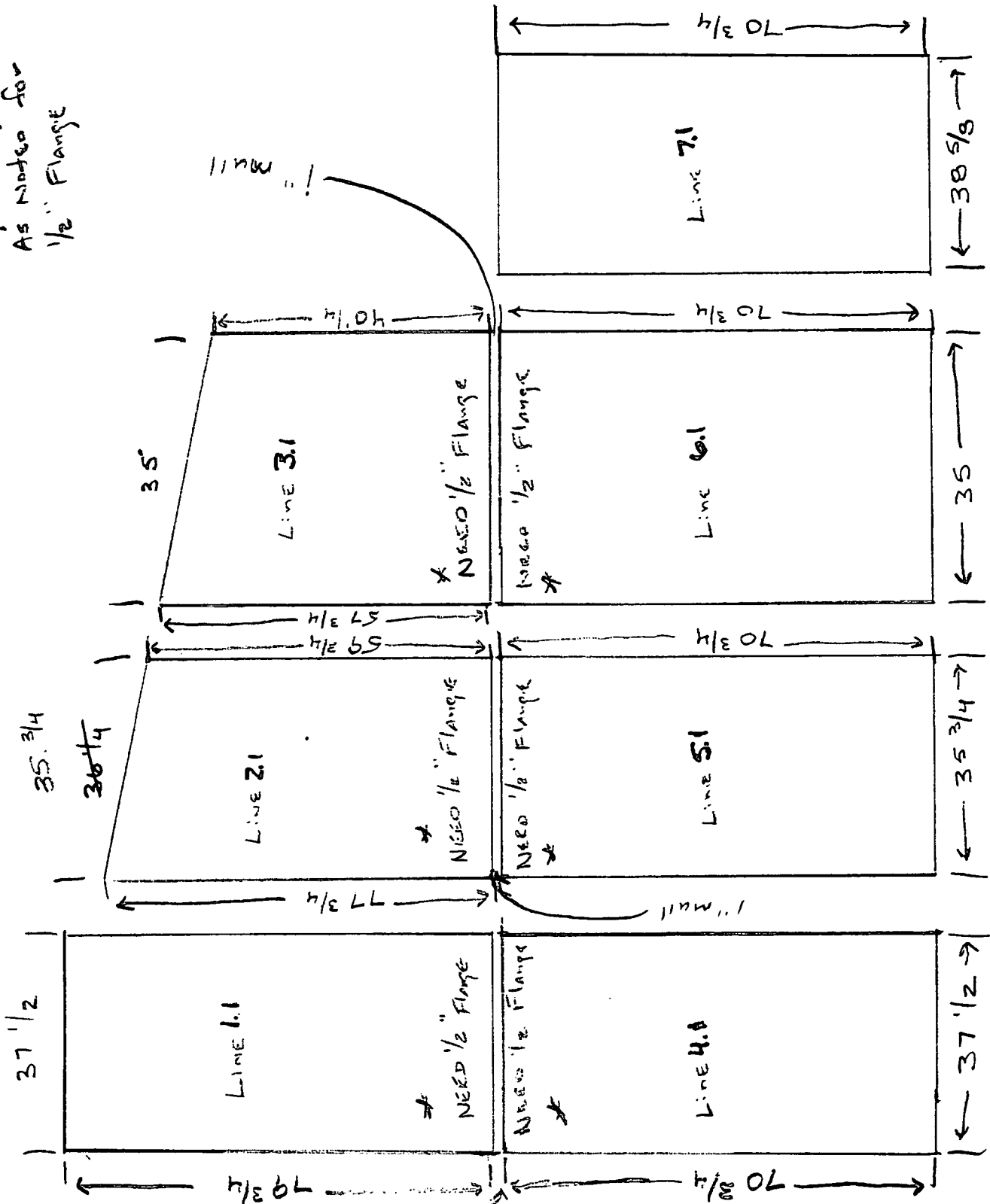
9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
(Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager)Larry Babbitt
(Print Name and Provide Signatory's Title/Office)State of FloridaCounty of MartinThe foregoing instrument was acknowledged before me this 17th day of March, 20 14by Larry Babbitt as owner
(name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)for _____
(name of party on behalf of whom instrument was executed)Personally Known ☒ or Produced Identification _____ Type of Identification Produced _____[Signature]
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)



* All Equal leg except
As noted for
1/2" Flange



GLASS
The Professionals Inc.

WINDOW/DOOR SCHEDULE

ID NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37" X 63"	25	SH		X	EXAMPLE
1	37 1/8 x 79	CUSTOM	FIX	X		PET PW 2720
2	35 3/4 x 77					
3	36 x 57 3/4					
4	37 1/2 x 70 3/4					
5	35 3/4 x 70 3/4					
6	25 x 70 3/4					
7	33 3/8 x 70 3/4					
8						
9						
10						
11						
12						
13						
14						
15						
16						
17						
18						
19						
20						
21						
22						
23						
24						
25						
26						
27						
28						
29						
30						

20 #
18.5
18.75
18
17
17
10.75
123 #

TOTAL GLAZED OPENING AREA FOR STRUCTURE: 720 S.F.

* PERCENTAGE OF NEW GLAZED AREA: 17 %

(TOTAL INSTALLED GLAZED AREA DIVIDED BY TOTAL GLAZED OPENINGS FOR STRUCTURE)

NOTE: The replacement of more than 25% of the aggregate area of exterior glazing (windows & doors) in one & two family dwellings within a 12 month period will require impact protection on all proposed glazed opening replacement (approved shutters or impact resistant glazing) as per 2004 FBC/ EXISTING BUILDING 507.3.

* TYPE WINDOWS

SH - SINGLE HUNG
DH - DOUBLE HUNG

AWN - AWNING
CAS - CASEMENT

SL - SLIDING
FIX - FIXED



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION

NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY, FLORIDA
PRODUCT CONTROL SECTION
11805 SW 26th Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/pera/

PGT Industries, Inc.
1070 Technology Drive
North Venice, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA -Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami-Dade County) and/ or the AHJ (in areas other than Miami-Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series ~~PW2s-2720~~ 2820 Vinyl White PVC Fixed Window ~~L.M.L.~~

APPROVAL DOCUMENT: Drawing No. 08-00885 titled "Series PW 2720 PVC Fixed Window Impact & PW 2820 PVC Fixed Window Impact", sheets 1 through 7 of 7, prepared by manufacturer, dated 08/04/08 with the latest revision "C" dated 10/27/11, prepared by PGT Industries, Inc., signed and sealed by Anthony Lynn Miller, P. E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/ series and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA No. 09-1104.02 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Jaime D. Gascon, P. E.



J. Gascon
2/9/12

NOA No. 09-1104.02

Expiration Date: August 11, 2013
Approval Date: February 16, 2012
Page 1



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY
AFFAIRS (PERA)
BOARD AND CODE ADMINISTRATION DIVISION

NOTICE OF ACCEPTANCE (NOA)

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/pera/

PGT Industries
1070 Technology Drive,
North Venice, FL 34275

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series **"PGT" Clipped Extruded Aluminum Tube Mullion - L.M.L.**

APPROVAL DOCUMENT: Drawing No. 6300JR, titled "Impact-Resistant Aluminum Tube Mullions", sheets 1 through 22 of 22, prepared by manufacturer, dated 08/29/11, signed and sealed by Anthony Lynn Miller, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series, and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 10-0819.05 and consists of this page 1 and evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No. 11-0922101
Expiration Date: May 26, 2016
Approval Date: December 08, 2011
Page 1

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☒ Mon

☐ Tue

☐ Wed

☐ Thur

☐ Fri

3/24-14

Page ____ of ____

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10619	LEE	FINAL-ROOF		772-287-2829
	15 LOSTING WAY		Pass	CLOSE
	CODE RED ROOFER			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
		ROOF REPAIR	NO	
	1 MARGURITA	NO PERMIT	EVIDENCE	
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10724	WATKINS	FINAL	RESET ^{TUES}	342-3612
	122 SSPT RD		RESET CANCEL NO RESET	
				INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10750	GARY	IN PROGRESS		
	26 RIO VISTA	ROOF TILE	Pass	
	ROOF ACTIVITY			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10672	DUKE	PART ROOF		
		SKETCHING	Pass	
	CDR BLOK			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10793	BELL	FINAL		
	34 S. SEWALLS RD	WINDOW	Pass	
	GLASS PRO	ROUGH		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10811		IN PROGRESS		
PM	34 S. SEWALLS RD	WINDOW	CANCEL	
	GLASS PROS			INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☒ Tue

☐ Wed

☐ Thur

☐ Fri

3.25

-14

Page ____ of ____

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10811	BABBIT 76 S. Sewalls Rd GLASS PROS	WINDOW ATTACH		
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10724	WADKINS 122 S. SPY RD	FINAL		RESET FOR WED
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10722	NOVINS 111 S Sewall's Rd SAULS / MADDOCK	FINAL Garagedoor Pros		Alison Clore 772-266-8950
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10837

REROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road

Sewall's Point, Florida 34996

Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW
FROM THE STREET PRIOR TO BEGINNING ANY WORK**

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10837	DATE ISSUED:	4/25/2014
SCOPE OF WORK:	REROOF		
CONTRACTOR:	INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC		
PARCEL CONTROL NUMBER:	013841006001000200	SUBDIVISION	HOMEWOOD LOT2
CONSTRUCTION ADDRESS:	76 S. SEWALL'S POINT ROAD		
OWNER NAME:	HOMEWOOD		
QUALIFIER:	TODD WHITE	CONTACT PHONE NUMBER:	772 812-5068

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
CALL 287-2455 - 8:00AM TO 4:00PM**

INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point
BUILDING PERMIT APPLICATION Permit Number: 10837
Date: 4/19/2014
OWNER/LESSEE NAME: LARRY BABBITT Phone (Day) 919 716 4552 (Fax) _____
Job Site Address: 76 S. SEWALLS POINT ROAD City: STUART State: FL Zip: 34996
Legal Description: HUMERWOOD, LOT 2 BLK A Parcel Control Number: 01-38-41-006-001-00020-0
Fee Simple Holder Name: N/A Address: _____
City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Removal and replacement of Roof.
WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO ☒
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)
COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 38,000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 ☒ _____
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: INDEPENDENT CONSTRUCTION Phone: 772-812-5068 Fax: _____
Qualifiers name: TODD WHITE OF THE TREASURE COAST, LLC Street: 708 SE PARKWAY City: STUART State: FL Zip: 34996
State License Number: CCC1328596 OR: Municipality: _____ License Number: _____
LOCAL CONTACT: JOHN WHITE Phone Number: 772-812-5068
DESIGN PROFESSIONAL: _____ Fla. License# _____
Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____
Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

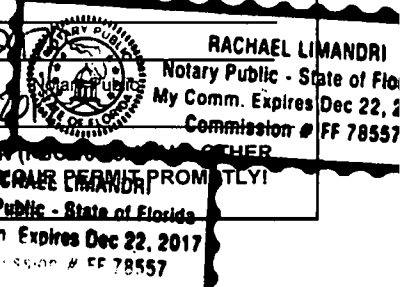
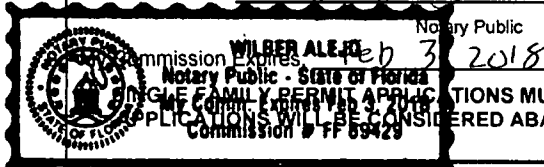
***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE:
[Signature]
State of Florida, County of: Martin
On This the 19 day of April, 2014
by Lawrence Sheldon Babbitt who is personally
known to me or produced Florida Driver License
As identification: [Signature]

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:
X [Signature]
State of Florida, County of: ST JOHNS
On This the 11 day of April, 2014
by Rachael Limandri who is personally
known to me or produced FDL
As identification: W30814632

My Commission Expires: DEC 22 2018



NOTICE: SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL. NOTIFICATION (FBC 105.3.2) PICK UP PERMIT PROMPTLY!
APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10837		
ADDRESS:	76 S SEWALL'S POINT ROAD		
DATE ISSUED:	4/25/2014	SCOPE OF WORK:	RE-ROOF

SINGLE FAMILY OR ADDITION /REMODEL		Declared Value	\$	
---	--	----------------	----	--

Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)	\$	
(No plan submittal fee when value is less than \$100,000)		
Total square feet air-conditioned spa @ \$ 121.75 per sq. ft. s.f.	\$	-
Total square feet non-conditioned space, or interior remodel:		
@ \$ 59.81 per sq. ft. s.f.	\$	-
Total square feet remodel with new trusses: \$ 90.78 per sq. ft. s.f.	\$	-
Total Construction Value:		
	\$	-
Building fee: (2% of construction value SFR or >\$200K)	\$	n/a
Building fee: (1% of construction value < \$200K + \$100 per insp.)	\$	-
Total number of inspections (Value < \$200K) \$ 100.00 per insp. # insp		n/a
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		
	\$	n/a
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		
	\$	n/a
Road impact assessment: (.04% of construction value - \$5 min.)		
		n/a
Martin County Impact Fee:		
	\$	
TOTAL BUILDING PERMIT FEE:		
	\$	-

ACCESSORY PERMIT	Declared Value:	\$	\$ 38,000.00
Total number of inspections: @ \$ 100.00 per insp. # insp		\$ 4.00	\$ 400.00
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)			
		\$	\$ 6.00
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)			
		\$	\$ 6.00
Road impact assessment: (.04% of construction value - \$5 min.)			
			\$ 15.20
TOTAL ACCESSORY PERMIT FEE:			
			\$ 427.20

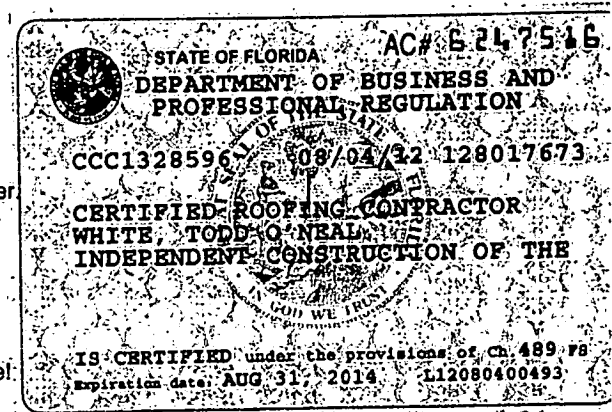
PD-4-25-14
CX 1571

**STATE OF FLORIDA****DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION****CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783****(850) 487-1395****WHITE, TODD O'NEAL
INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC
879 SE POLYNESIAN AVE
PORT SAINT LUCIE FL 34983-4625**

Congratulations! With this license you become one of the nearly one million Floridians licensed by the Department of Business and Professional Regulation. Our professionals and businesses range from architects to yacht brokers, from boxers to barbeque restaurants, and they keep Florida's economy strong.

Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

Our mission at the Department is: License Efficiently, Regulate Fairly. We constantly strive to serve you better so that you can serve your customers. Thank you for doing business in Florida, and congratulations on your new license!



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AC# 6247516**STATE OF FLORIDA****DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD****SEQ# L12080400493**

DATE	BATCH NUMBER	LICENSE NBR
08/04/2012	128017673	CCC1328596

The **ROOFING CONTRACTOR**
Named below IS **CERTIFIED**
Under the provisions of Chapter 489, F.S.
Expiration date: **AUG 31, 2014**

**WHITE, TODD O'NEAL
INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC
879 SE POLYNESIAN AVE
PORT SAINT LUCIE FL 34983-4625****RICK SCOTT
GOVERNOR****KEN LAWSON
SECRETARY**

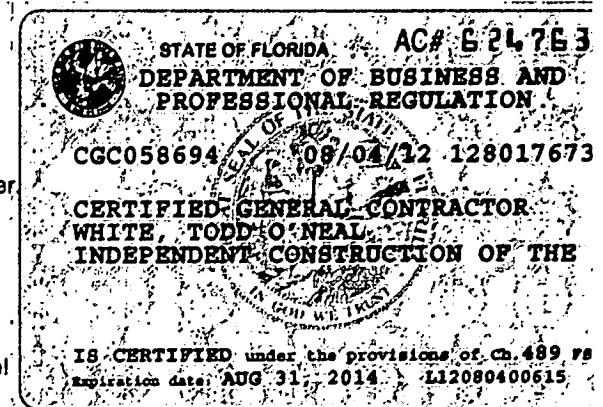
DISPLAY AS REQUIRED BY LAW

**STATE OF FLORIDA****DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION****CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783****(850) 487-1395****WHITE, TODD O'NEAL
INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC
879 SE POLYNESIAN AVE
PORT SAINT LUCIE FL 34983-4625**

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Every day we work to improve the way we do business in order to serve you better. For information about our services, please log onto www.myfloridalicense.com. There you can find more information about our divisions and the regulations that impact you, subscribe to department newsletters and learn more about the Department's initiatives.

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AC# 6247638**STATE OF FLORIDA****DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD****SEQ# L12080400615**

DATE	BATCH NUMBER	LICENSE NBR.
08/04/2012	128017673	CGC058694

The **GENERAL CONTRACTOR**
Named below **IS CERTIFIED**
Under the provisions of Chapter 489, FS.
Expiration date: **AUG 31, 2014**

**WHITE, TODD O'NEAL
INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC
708 EAST PARKWAY
STUART FL 34996**

**RICK SCOTT
GOVERNOR****KEN LAWSON
SECRETARY**

DISPLAY AS REQUIRED BY LAW



INDEP-2

OP ID: SN

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/11/14

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Stuart Insurance, Inc. 3070 S W Mapp Palm City, FL 34990 Cabot W. Lord, CIC.	Phone: 772-286-4334	CONTACT NAME:
	Fax: 772-286-9389	PHONE (A/C, No, Ext):
		FAX (A/C, No):
		E-MAIL ADDRESS:
		INSURER(S) AFFORDING COVERAGE
		INSURER A: ACCIDENT INSURANCE CO INC
		INSURER B:
		INSURER C:
		INSURER D:
		INSURER E:
		INSURER F:

INSURED
Independent Construction of
the Treasure Coast, LLC
708 SE Parkway Drive
Stuart, FL 34996

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBH INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY		79506FHB1	06/23/13	06/23/14	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY					DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					MED EXP (Any one person)	\$ EXCLUDED
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMP/OP AGG	\$ 2,000,000
							\$
	AUTOMOBILE LIABILITY					COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO					BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS	<input type="checkbox"/> NON-OWNED AUTOS				PROPERTY DAMAGE (Per accident)	\$
							\$
	UMBRELLA LIAB	<input type="checkbox"/> OCCUR				EACH OCCURRENCE	\$
	EXCESS LIAB	<input type="checkbox"/> CLAIMS-MADE				AGGREGATE	\$
	DED	RETENTION \$					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	<input type="checkbox"/> Y/N	N/A			WC STATUTORY LIMITS	OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)					E.L. EACH ACCIDENT	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below					E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CERTIFICATE HOLDER

TOWSP-1

Town of Sewalls Point
1 South Sewalls Point Road
Sewalls Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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05-03-2012

JEFF ATWATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

*** * CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW * ***
CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 05/03/2012 EXPIRATION DATE: 05/03/2014

PERSON: WHITE TODD

FEIN: 261971875

BUSINESS NAME AND ADDRESS:

INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LL
708 EAST PARKWAY
STUART FL 34998

SCOPE OF BUSINESS OR TRADE:

- 1- CARPENTRY - DETACHED ONE OR TWO
2- ROOFING
3- CARPENTRY - NOC 4- CERTIFIED ROOFING CONTRACTOR

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

QUESTIONS? (850) 413-1609

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-11

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION
CONSTRUCTION INDUSTRY
CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA
WORKERS' COMPENSATION LAW



EFFECTIVE: 05/03/2012 EXPIRATION DATE: 05/03/2014

PERSON: TODD WHITE

FEIN: 261971875

BUSINESS NAME AND ADDRESS:

INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LL
708 EAST PARKWAY
STUART, FL 34998

SCOPE OF BUSINESS OR TRADE:

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QUESTIONS? (850) 413-1609

CUT HERE

• Carry bottom portion on the job, keep upper portion for your records.

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-11



05-03-2012

JEFF ATWATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

*** * CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW * ***
CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 05/03/2012 EXPIRATION DATE: 05/03/2014

PERSON: WHITE JOHN

FEIN: 261971875

BUSINESS NAME AND ADDRESS:

INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC
708 EAST PARKWAY
STUART FL 34996

SCOPES OF BUSINESS OR TRADE:

- | | |
|-----------------------------------|---------------------------------|
| 1- CARPENTRY - DETACHED ONE OR TW | 2- ROOFING |
| 3- CARPENTRY - NOC | 4- CERTIFIED ROOFING CONTRACTOR |

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QUESTIONS? (850) 413-1609

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-11

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION
CONSTRUCTION INDUSTRY
CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA
WORKERS' COMPENSATION LAW



EFFECTIVE: 05/03/2012 EXPIRATION DATE: 05/03/2014

PERSON: JOHN WHITE

FEIN: 261971875

BUSINESS NAME AND ADDRESS:

INDEPENDENT CONSTRUCTION OF THE TREASURE COAST LLC
708 EAST PARKWAY
STUART, FL 34996

SCOPE OF BUSINESS OR TRADE:

- | | |
|-----------------------------------|---------------------------------|
| 1- CARPENTRY - DETACHED ONE OR TW | 2- ROOFING |
| 3- CARPENTRY - NOC | 4- CERTIFIED ROOFING CONTRACTOR |

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QUESTIONS? (850) 413-1609

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.



JEFF ATWATER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 1/16/2014

EXPIRATION DATE: 1/16/2016

PERSON: JOHNSON

DOUGLAS

FEIN: 261971875

BUSINESS NAME AND ADDRESS:

INDEPENDENT CONSTRUCTION

401 SE PARKWAY DRIVE

STUART

FL

34996

SCOPES OF BUSINESS OR TRADE:

LICENSED GENERAL
CONTRACTOR

LICENSED ROOFING
CONTRACTOR

CARPENTRY NOC

ROOFING - ALL KINDS
AND DRIVER

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt... apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(13), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.

DFS-F2-DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 07-12

QUESTIONS? (850) 413-1609

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

COUNTY OF MARTIN

BY John Doe D.C.
DATE 4/22/14



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

**LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'
REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT**

A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:

Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED _____ INSURED OR P.A. IMPROVED VALUE \$ 697,410.00

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

INSTALL ONE HGA 10 SIMPSON STRONG TIE ON EACH TRUSS AT WOOD FRAME AREA.

JOB SITE ADDRESS: 76 S.E. SEWALL POINT ROAD, SEWALLS PT., FL 34996

QUALIFIER NAME: TODD WHITE

LICENSE NO.: CCC1328596

COMPANY NAME: INDEPENDENT CONSTRUCTION
OF THE TREASURE COAST, LLC

PHONE NO.: 772-817-5068

X Todd White

Qualifier's Signature

Date: April 10, 2014

Sworn to and subscribed before me

this 10 day of April 2014

By Rachael Limandri

Notary Public, State of Florida

Personally known to me _____

Produced ID ☒

Type: FL DL W300814632970



Owner's Signature

Date: 4/19/14

Sworn to and subscribed before me

this 19 day of April 2014

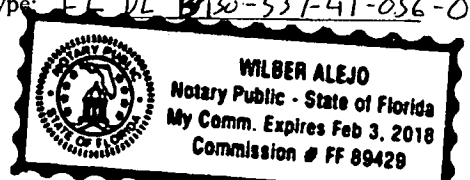
By Wilber Alejo

Notary Public, State of Florida

Personally known to me _____

Produced ID ☒

Type: FL DL B30-537-41-056-0



H Seismic & Hurricane Ties

The hurricane tie series features various configurations of wind and seismic ties for trusses and rafters.

The H16 series has a presloped seat of 5/12 for double trusses.

The presloped 1/2 seat of the H16 provides for a tight fit and reduced deflection. The strap length provides for various truss height up to a maximum of 13 1/2" (H16 series). Minimum heel height for H16 series is 4".

The HGA10 attaches to gable trusses and provides good lateral wind resistance. The HS24 attaches the bottom chord of a truss or rafter at pitches from 0/12 to 4/12 to double 2x4 top plates. Double shear nailing allows for higher lateral resistance.

MATERIAL: See table

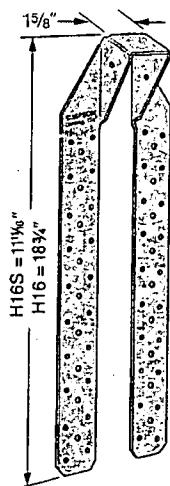
FINISH: Galvanized. See Corrosion Information, page 14-15.

INSTALLATION: • Use all specified fasteners. See General Notes.

- HGA10KT: sold as a kit with (10) HGA10 connectors. SDS screws are included.

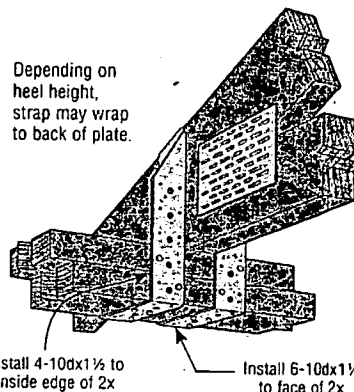
- HS24 requires slant nailing only when bottom chord of truss or rafter has no slope.

CODES: See page 13 for Code Reference Key Chart.

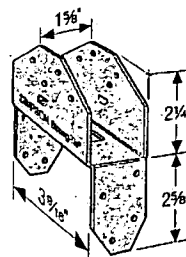


H16 and H16S

Presloped at 5/12. Truss/Rafter Pitch of 3/12 to 7/12 is acceptable

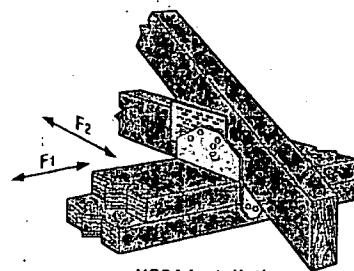


H16 Installation

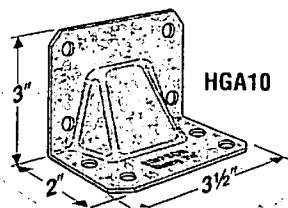


HS24

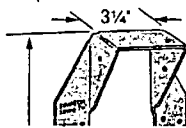
U.S. Patents
5,603,580



HS24 Installation



HGA10



SIMPSON

Strong-Tie

LTS/MTS/HTS Twist Straps

Twist straps provide a tension connection between members. They resist uplift at the heel of a truss eor. The 3" bend section eliminates interference at the trar points between wood members.

MATERIAL: LTS—18 gauge; MTS—16 gauge; HTS—
FINISH: Galvanized. Some products available in stainl steel and ZMAX® coating; see Corrosion Inform page 14-15.

INSTALLATION:

- Use all specified fasteners. See General Notes

CODES: See page 13 for Code Reference Key Chart.

- These products are available with additional corrosion p; this page may also be available with this option, check w
- These products are approved for installation with the Str Structural-Connector screw. See page 27 for more info

Model No.	L	Fasteners		DF/SP Uplift (160)
		10d	10dx1 1/2	
LTS12	12	12-10d	12-10dx1 1/2	775
LTS16	16	12-10d	12-10dx1 1/2	775
LTS18	18	12-10d	12-10dx1 1/2	775
LTS20	20	12-10d	12-10dx1 1/2	775
MTS12	12	14-10d	14-10dx1 1/2	1000
MTS16	16	14-10d	14-10dx1 1/2	1000
MTS18	18	14-10d	14-10dx1 1/2	1000
MTS20	20	14-10d	14-10dx1 1/2	1000
MTS30	30	14-10d	14-10dx1 1/2	1000
MTS24C	24	14-10d	14-10dx1 1/2	1000
MTS30C	30	14-10d	14-10dx1 1/2	1000
HTS16	16	16-10d	16-10dx1 1/2	1260
HTS20	20	20-10d	24-10dx1 1/2	1450
HTS24	24	20-10d	24-10dx1 1/2	1450
HTS28	28	20-10d	24-10dx1 1/2	1450
HTS30	30	20-10d	24-10dx1 1/2	1450
HTS30C	30	20-10d	24-10dx1 1/2	1450

1. Loads have been increased for wind or earthquake loading with no further increase allowed; reduce where other loads govern.
2. LTS12 thru LTS20, MTS16 through MTS30, HTS24 through HTS30C (except HTS30) have additional nail holes.
3. Install half of the fasteners on each end of strap to achieve full loads.

HH Header Hangers

For fast, accurate installation of door and window other cross members. HH header hangers can speed strengthen the frame, and eliminate the need for trim

MATERIAL: 16 gauge

FINISH: Galvanized

INSTALLATION: Use all specified fasteners. See General Notes



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

ROOFING MATERIAL LIST

NO	MATERIAL	QTY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	ENCLERT SERIES 1101 METAL CEILING PANELS	65	SQ	
	POLY GLASS T U PLUS PEEL + STICK	33-2/50	SQ	
	TRI-BUILT FIAT RF. UNDER LAMENT	2-2/50	SQ	
	TRI-BUILT FIAT RF. GRANULAR GIP SHEET	4-1/50	SQ	
	5 BOXES 80 GALVANIZED RINGED SHANK DRILL NAILS			
	STAINLESS STEEL PAN HEAD SCREWS	7000		
	1-LIN MODIFIED RILL	1		

CBUCK Engineering

Specialty Structural Engineering

CBUCK, Inc. Certificate of Authorization #8064

Evaluation Report "Englert® Series 1101" Metal Roof Assembly

Manufacturer:

Englert, Inc.

1200 Amboy Avenue

Perth Amboy, NJ 08862

(732) 826-8614

for

Florida Product Approval

FL 11698.6-R1

Florida Building Code 2010

Per Rule 9N-3

Method: 1 - D

Category: Roofing

Sub - Category: Metal Roofing

Product: "Series 1101" Roof Panel

Material: Steel

Panel Thickness: 24 gauge

Panel Width: 16"

Panel Seam: Snap-Lock

Support: Wood Deck

Prepared by:

James L. Buckner, P.E., SECB

Florida Professional Engineer # 31242

Florida Evaluation ANE ID: 1916

Project Manager: Diana Galloway

Report No. 11-188-S1101-S4W-ER

Date: 11 / 24 / 11

Contents:


Evaluation Report

Pages 1 - 7

CBUCK, Inc.

1399 N. Killian Drive, Suite 4, West Palm Beach, Florida 33403

Phone: (561)491-9927 Fax: (561)491-9928 Website: www.cbuckinc.net


James L. Buckner, P.E., SECB
Florida P.E. # 31242
12/13/11

Manufacturer: Englert, Inc.

Product Name: "Series 1101"

Product Category: Roofing

Product Sub-Category: Metal Roofing

Compliance Method: State Product Approval Rule 9N-3.005 (1) (d)

Product/System Description: "Series 1101" Roof Panel
24 gauge steel Nailstrip roof panel mechanically attached to Wood Deck with screws.

Product Assembly as Evaluated: Refer to Page 4 of this report for product assembly components/materials & standards:

1. Roof Panel
2. Fasteners
3. Adhesive (select systems)
4. Underlayment
5. Insulation (Optional)

Support: **Type:**
Wood Deck
(Design of support system is outside the scope of this evaluation.)
Description:

- 15/32" or greater plywood,
- or Wood plank (min. specific gravity of 0.42)

Slope: Minimum slope shall be: 3 : 12 or greater
In accordance with manufacturer's recommendations, FBC Section 1507.4.2 and applicable code sections.

Performance: Wind Uplift Resistance:

- Design Uplift Pressure:
(Refer to "Table A" attachment details herein)

METHOD 1: - 150 PSF
METHOD 2: - 165 PSF

**Performance
Standards:**

The product described herein has demonstrated compliance with:

- **UL580-06** – *Test for Uplift Resistance of Roof Assemblies*
- **UL 1897-04** – *Uplift test for roof covering systems*
- **TAS 125-03** – *Standard Requirements for Metal Roofing Systems*

Standards Equivalency:

The UL 580-94 & UL 1897-98 standard version used to test the evaluated product assembly is equivalent with the prescribed standards in UL 580-06 & UL 1897-04 adopted by the Florida Building Code 2010.

Code Compliance:

The product described herein has demonstrated compliance with Florida Building Code 2010, Section 1504.3.2.

**Evaluation Report
Scope:**

This product evaluation is limited to compliance with the structural requirements of the Florida Building Code, as related to the scope section to Florida Product Approval Rule 9N-3.001.

**Limitations and
Conditions of Use:**

- Scope of "Limitations and Conditions of Use" for this evaluation:
This evaluation report for "Optional Statewide Approval" contains technical documentation, specifications and installation method(s) which include "Limitations and Conditions of Use" throughout the report in accordance with Rule 9N-3.005. Per Rule 9N-3.004, the Florida Building Commission is the authority to approve products under "Optional Statewide Approval".
- Option for application outside "Limitations and Conditions of Use"
Rule 9N-3.005(1)(e) allows engineering analysis for "project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code". Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
- Design of support system is outside the scope of this report.
- Fire Classification is outside the scope of Rule 9N-3, and is therefore not included in this evaluation.
- This evaluation report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)

Quality Assurance:

The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9N-3.0005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through Keystone Certifications, Inc. (FBC Organization ID# QUA 1824).

**Components/Materials
(by Manufacturer):**

Roof Panel:

Material: Englert Series 1101
Steel
Thickness: 24 gauge (min.)
Panel Widths: 16" (max.) Coverage
Rib Height: 1"
Yield Strength: 40 ksi min.
Corrosion Resistance: Per FBC Section 1507.4.3

Fastener:

Type: Pancake-Head Wood Screw
Size : #10 x 1"
Corrosion Resistance: Per FBC Section 1506.6 and 1507.4.4
Standard: Per ANSI/ASME B18.6.1

Seam Adhesive/Sealant:

Product Name: Bostik Chem-Chaulk 915
Type: One component, polyurethane adhesive
Application Size: 3/8" bead
Application Location: along male flange the full length of panel
(Refer to Table "A" and drawing Pg 6-7)

Underlayment:

Per roofing manufacturer's guidelines in compliance with FBC Section 1507.4.5

**Components &
Materials:
(by Others)**

Insulation (Optional):

Type: Rigid Insulation Board
Thickness: 3" (max.)
Properties:
Density: 2.25 pcf (lbs/ft³) min.
Or Compressive Strength: 20 psi min.

Insulation Notes:

- Insulation shall comply with FBC Section 1508. When insulation is incorporated, fastener length shall conform to penetrate thru bottom of support a minimum of 3/16".

Installation:

Installation Method:

(Refer to "TABLE A" below and drawings on Pages 6-7 of this evaluation report.)

- Fastener Spacing: Refer to "TABLE A" Below
(along the length of the panel)
- Rib Interlock: Snap-Lock
(Panel ribs shall be fully engaged to form an integral snap-lock.)
- Seam Adhesive: Refer to Table "A" & Drawing Page 6.
(Apply along male flange the full length of the panel.)
- Minimum fastener penetration thru bottom of support, 3/16".
- For panel construction at the end of panels, refer to manufacturer's instructions and any site specific design.

TABLE "A"		
	METHOD 1	METHOD 2
Design Pressure:	- 150 PSF	- 165 PSF
Fastener Spacing:	6" o.c.	3" o.c.
Seam Adhesive:	Not required	3/8" bead (Refer to pg. 6-7)

Install the "Series 1101" roof panel assembly in compliance with the installation method listed in this report and applicable code sections of FBC 2010. The installation method described herein is in accordance with the scope of this evaluation report. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

Referenced Data:

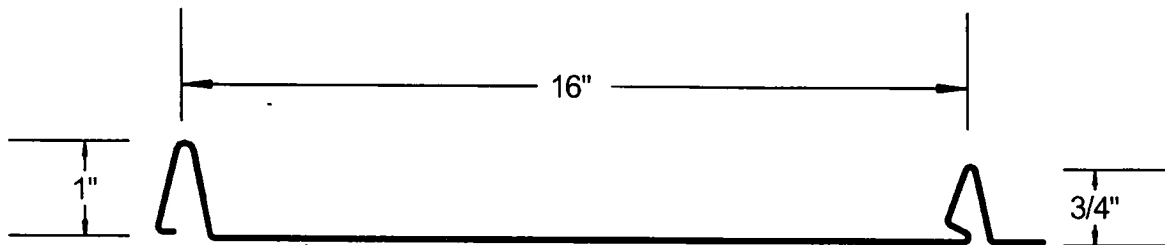
1. TAS 125 Uplift Test
By Architectural Testing, Inc. (FBC Organization ID# TST 1558)
Report No. 93745.01-109-18, Date: 11/16/09
Specimens #1-3
2. Quality Assurance
Keystone Certifications, Inc. (FBC Organization ID# QUA 1824)
Englert, Inc. Licensee #420
3. Equivalency of Test Standard Certification
By James L. Buckner, P.E. @ CBUCK Engineering
(FBC Organization # ANE 1916)
4. Certification of Independence
By James L. Buckner, P.E. @ CBUCK Engineering
(FBC Organization # ANE 1916)

Installation Method

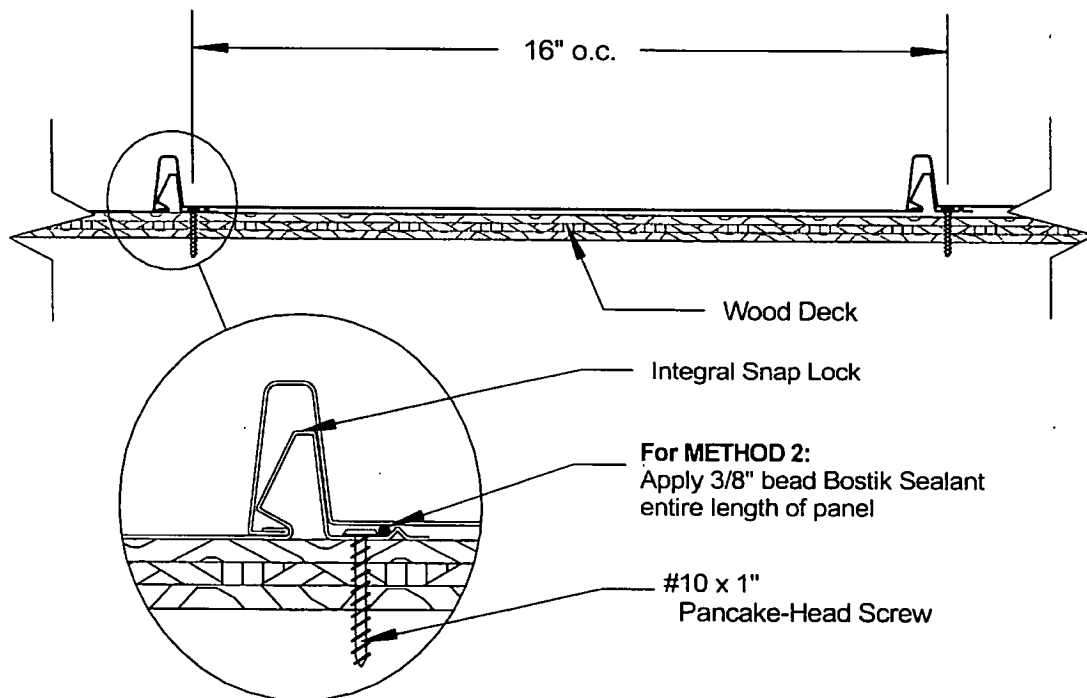
Englert, Inc.

"Series 1101" (24 gauge Steel) Roof Panel attached to Wood Deck

Drawings

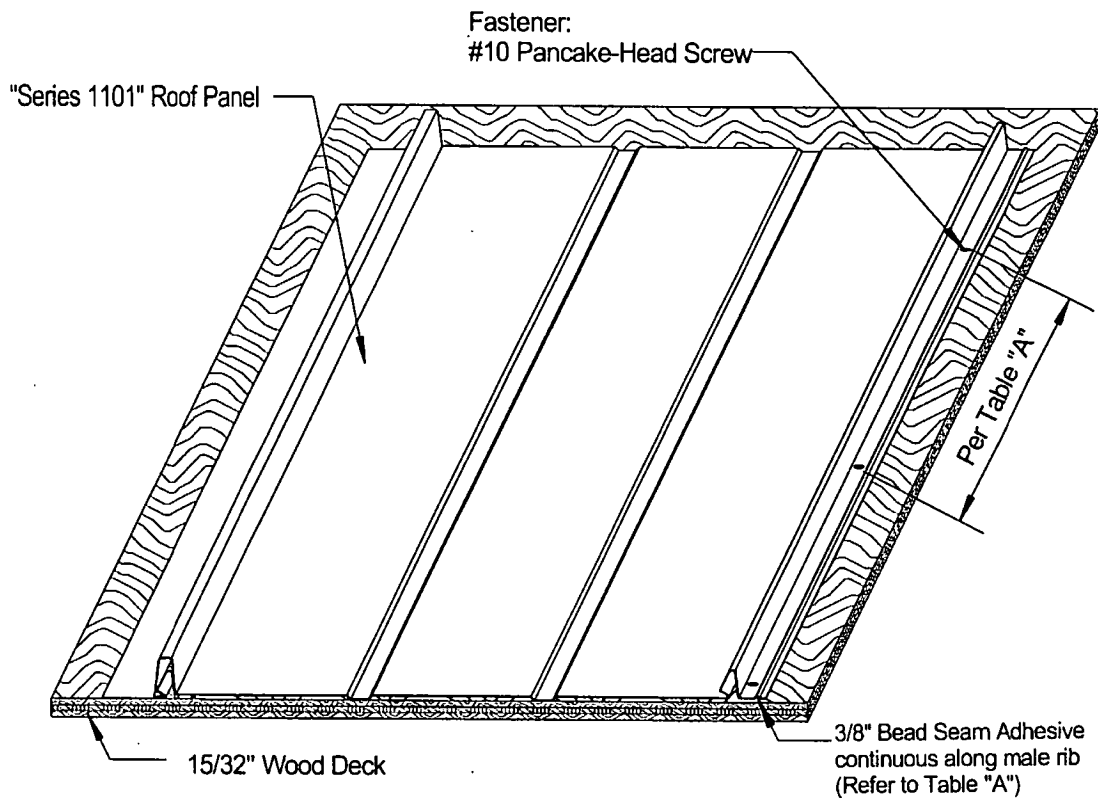


Panel Profile



Typical Assembly Profile View
(Typical Fastening Pattern Across Width)

Installation Method
Englert, Inc.
"Series 1101" (24 gauge Steel) Roof Panel attached to Wood Deck



Typical Roof Assembly
Isometric View

(Optional) Rigid Insulation Board per Page 4 of this report

TABLE "A"		
	METHOD 1	METHOD 2
Design Pressure:	- 150 PSF	- 165 PSF
Fastener Spacing:	6" o.c.	3" o.c.
Seam Adhesive:	Not required	3/8" bead (Refer to pg 6-7)



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FL #

FLS259-R18

Application Type

Revision

Code Version

2010

Application Status

Approved

Comments

Archived

☐

Product Manufacturer

POLYGLASS USA

Address/Phone/Email

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(570) 384-1230 Ext 242
jakins@polyglass.com

Authorized Signature

James Akins
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Humboldt Industrial Pkwy
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Category

Roofing

Subcategory

Underlayments

Compliance Method

Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer

☒ Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name who developed the Evaluation Report

Robert Nieminen

Florida License

PE-59166

Quality Assurance Entity

UL LLC

Quality Assurance Contract Expiration Date

08/08/2015

Validated By

John W. Knezevich, PE

☒ Validation Checklist - Hardcopy Received

Certificate of Independence

[FLS259_R18_COI_Trinity_ERD_CI_Nieminen_2013.pdf](#)

Referenced Standard and Year (of Standard)

Standard

Year

ASTM D1970

2001

ASTM D226

2006

ASTM D6164

2005

ASTM D6222

2002

ASTM G154

2005

ASTM G155

2005

FM 4474

2004

FRSA/TRI 07320

2005

TAS 103

1995

Equivalence of Product Standards

Certified by

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

04/26/2013

Date Validated

04/26/2013

Date Pending FBC Approval

05/03/2013

Date Approved

06/11/2013

Summary of Products

FL #	Model, Number or Name	Description
5259.1	Polyglass Roof Underlayments	Roofing underlayments
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-622.5 Other: 1.) The design pressure in this application relates to one particular underlayment system for use under foam-on-tile systems. Refer to ER Section 5.5.2 for other systems and maximum design pressures. 2.) Refer to ER Section 5 for other limits of use.		Installation Instructions FL5259_R18_IL_er042613FINAL POLYGLASS UNDERLAYMENTS_FL5259-R18.pdf Verified By: Robert Nieminen PE-59166 Created by Independent Third Party: Yes Evaluation Reports FL5259_R18_AE_er042613FINAL POLYGLASS UNDERLAYMENTS_FL5259-R18.pdf Created by Independent Third Party: Yes

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Product Approval Accepts:





EXTERIOR RESEARCH & DESIGN, LLC.
Certificate of Authorization #9503
353 CHRISTIAN STREET, UNIT #13
OXFORD, CT 06478
PHONE: (203) 262-9245
FAX: (203) 262-9243

EVALUATION REPORT

Polyglass USA, Inc.
150 Lyon Drive
Fernley, NV 98408

Evaluation Report P12060.02.09-R13
FL5259-R18
Date of Issuance: 02/24/2009
Revision 13: 04/26/2013

SCOPE:

This Evaluation Report is issued under Rule 9N-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code and Florida Building Code, Residential Volume. The products described herein have been designed to comply with the 2010 Florida Building Code sections noted herein.

DESCRIPTION: Polyglass Roof Underlayments

LABELING: Each unit shall bear labeling in accordance with the requirements the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

ADVERTISEMENT: The Evaluation Report number preceded by the words "Trinity|ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 10.

Prepared by:

Robert J.M. Nieminen, P.E.
Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 04/26/2013. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client.

CERTIFICATION OF INDEPENDENCE:

1. Trinity|ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Trinity|ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.

ROOFING COMPONENT EVALUATION:

1. SCOPE:

Product Category: Roofing

Sub-Category: Underlayment

Compliance Statement: Roof Underlayments, as produced by Polyglass USA, Inc., have demonstrated compliance with the following sections of the Florida Building Code through testing in accordance with the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

Section	Property	Standard	Year
1507.2.3, 1507.3.3, 1507.5.3, 1507.7.3, 1507.8.3, 1507.9.3	Physical Properties	ASTM D226	2006
1507.2.4, 1507.2.9.2, 1507.3.3, 1507.5.3	Physical Properties	ASTM D1970	2001
1507.11.2	Physical Properties	ASTM D6164	2005
1507.11.2	Physical Properties	ASTM D6222	2002
1504.6	Accelerated Weathering	ASTM G154	2005
1504.6	Accelerated Weathering	ASTM G155	2005
1504.3.1	Wind Uplift	FM 4474	2004
1507.3.3	Installation Practice	FRSA/TRI 07320	2005
1523.6.5.2.1	Physical Properties	TAS 103	1995

3. REFERENCES:

Entity	Examination	Reference	Date
FM Approvals (TST 1867)	Wind Uplift	3004091	01/12/2000
PRI (TST 5878)	Physical Properties	PRI01111	04/08/2002
PRI (TST 5878)	Physical Properties	PUSA-005-02-01	01/31/2002
PRI (TST 5878)	Physical Properties	PUSA-013-02-01	12/23/2002
PRI (TST 5878)	Physical Properties	PUSA-013-02-02	12/23/2002
PRI (TST 5878)	Physical Properties	PUSA-013-02-03	12/23/2002
PRI (TST 5878)	Physical Properties	PUSA-018-02-01	07/14/2003
PRI (TST 5878)	Physical Properties	PUSA-028-02-01	07/13/2005
PRI (TST 5878)	Physical Properties	PUSA-033-02-01	01/12/2006
PRI (TST 5878)	Physical Properties	PUSA-035-02-01	09/29/2006
PRI (TST 5878)	Physical Properties	PUSA-055-02-02	12/10/2007
PRI (TST 5878)	Physical Properties	PUSA-061-02-02	01/28/2008
PRI (TST 5878)	Physical Properties	PUSA-076-02-01	02/22/2008
PRI (TST 5878)	Physical Properties	PUSA-083-02-01	04/14/2008
PRI (TST 5878)	Physical Properties	PUSA-088-02-01	07/29/2009
MTI (TST 2508)	Physical Properties	JX20H7A	04/01/2008
MTI (TST 2508)	Physical Properties	RX14E8A	01/29/2009
ERD (TST 6049)	Physical Properties	11752.09.99-1	02/08/2000
ERD (TST 6049)	Wind Uplift	11776.06.02	01/16/2003
ERD (TST 6049)	Physical Properties	02200.07.03	07/14/2003
ERD (TST 6049)	Wind Uplift	P1740.01.07	01/04/2007
ERD (TST 6049)	Physical Properties	P5110.04.07-1	04/11/2007
ERD (TST 6049)	Wind Uplift	P9260.03.08	03/21/2008
ERD (TST 6049)	Physical Properties	P13450.08.09	08/13/2009
ERD (TST 6049)	Wind Uplift	P30540.11.09-R1	11/30/2009
ERD (TST 6049)	Physical Properties	P11030.11.09-1	11/30/2009
ERD (TST 6049)	Wind Uplift	P11030.11.09-2	11/30/2009
ERD (TST 6049)	Physical Properties	P11030.11.09-3	11/30/2009
ERD (TST 6049)	Physical Properties	P33360.06.10	06/25/2010
ERD (TST 6049)	Physical Properties	P33370.03.11	03/02/2011
ERD (TST 6049)	Physical Properties	P33370.04.11	04/26/2011
ERD (TST 6049)	Physical Properties	P37300.10.11	10/19/2011
ERD (TST 6049)	Physical Properties	P40390.08.12-1	08/06/2012
ERD (TST 6049)	Physical Properties	P40390.08.12-2	08/07/2012
ERD (TST 6049)	Physical Properties	C41420.09.12-3	09/11/2012
ERD (TST 6049)	Physical Properties	P45370.04.13	04/26/2013
ICC-ES (EVL 2396)	IBC Compliance	ESR-1697	09/01/2012
Miami-Dade (CER 1592)	HVHZ Compliance	NOA 12-0713.02	02/14/2013
Polyglass USA	Manufacturing Affidavit	Products Current	02/18/2009
Polyglass USA	P/L Affidavit	Mule-Hide Cross Ltd	03/01/2008



Entity
Polyglass USA
UL, LLC. (QUA9625)

Examination
Materials Affidavit
Quality Control

Reference
Polystick SA Compound
Service Confirmation

Date
08/18/2011
Exp. 08/08/2015

4. **PRODUCT DESCRIPTION:**

4.1 **Mechanically Fastened Underlayments:**

- 4.1.1 Elastobase is a fiberglass reinforced, SBS modified bitumen base sheet.
- 4.1.2 Elastobase P is a polyester-reinforced, SBS modified bitumen base sheet.

4.2 **Self-Adhering Underlayments:**

- 4.2.1 Polystick MTS is a nominal 60-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, surfaced with polyolefinic film surface; meets ASTM D1970 and TAS 103.
 - 4.2.2 Polystick IR-Xe is a nominal 60-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, with an aggregate surface; meets ASTM D1970.
 - 4.2.3 Polystick TU is a nominal 100-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, with a granular surface; meets ASTM D1970 and TAS 103.
 - ~~4.2.4 Polystick TU Plus is a nominal 80-mil thick rubberized asphalt waterproofing membrane, glass fiber reinforced, with a polyester fabric surface; meets ASTM D1970 and TAS 103.~~
 - 4.2.5 Polystick TU P is a nominal 130-mil thick rubberized asphalt waterproofing membrane, glass-fiber/polyester reinforced, with a granular surface; meets ASTM D1970 and TAS 103.
 - 4.2.6 Polystick TU Max is a nominal 60-mil thick rubberized asphalt waterproofing membrane with a 170 g/m² polyester fabric surface; meets TAS 103.
 - 4.2.7 Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR) are a polyester reinforced, APP modified bitumen cap sheets.
 - 4.2.8 Dual Pro™ is a nominal 60-mil thick dual-layer rubberized asphalt waterproofing membrane, fiberglass reinforced, with a polyester fabric surface.
 - 4.2.9 Tile Pro™ is a nominal 60-mil thick dual-layer rubberized asphalt waterproofing membrane, fiberglass reinforced, with a polyester fabric surface.
- ##### 4.3 **Mechanically Fastened and/or Bonded Underlayments:**
- 4.3.1 Elastoflex S6 G and Elastoflex S6 G FR are polyester reinforced, SBS modified bitumen cap sheets.
 - 4.3.2 Polyflex G and Polyflex G FR are polyester reinforced, APP modified bitumen cap sheets.

5. **LIMITATIONS:**

- 5.1 This Evaluation Report is not for use in the HVHZ.
- 5.2 Fire Classification is not part of this Evaluation Report; refer to current Approved Roofing Materials Directory for fire ratings of this product.
- 5.3 Polyglass Roof Underlayments may be used with any prepared roof cover where the product is specifically referenced within FBC approval documents. If not listed, a request may be made to the AHJ for approval based on this evaluation combined with supporting data for the prepared roof covering.
- 5.4 Allowable roof covers applied atop the underlayments are as follows:

Table 1: Roof Cover Options						
Underlayment	Asphalt Shingles	Nail-On Tile	Foam-On Tile	Metal	Wood Shakes & Shingles	Slate
Elastobase	Yes	Yes	No	Yes	Yes	Yes
Elastobase P	Yes	Yes	No	Yes	Yes	Yes
Polystick MTS	Yes	Yes	No	Yes	Yes	Yes
Polystick IR-Xe	Yes	No	No	No	Yes	Yes
Polystick TU	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Polystick TU P	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Polystick TU Plus	Yes	Yes	Yes See 5.4.1	Yes	Yes	Yes
Polystick TU Max	No	Yes	Yes See 5.4.1	No	No	No
Dual Pro	Yes	Yes	No	Yes	Yes	Yes
Tile Pro	Yes	Yes	Yes See 5.4.1	Yes	Yes	Yes
Elastoflex S6 G	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Elastoflex S6 G FR	Yes	Yes	No	No	Yes	Yes
Polyflex G	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Polyflex G FR	Yes	Yes	No	No	Yes	Yes
Polyflex SAP or SAP FR	Yes	Yes	Yes See 5.4.1	No	Yes	Yes
Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)	Yes	Yes	Yes See 5.4.1	No	Yes	Yes

- 5.4.1 "Foam-On Tile" is limited to use of the following Approved tile adhesives unless tensile adhesion / long term aging data from an accredited testing laboratory is provided.
- **Polyfoam PolyPro AH160:** Polystick TU, Polystick TU P, Polystick TU Plus, Elastoflex S6 G, Polyflex G, Polyflex SAP, Polyflex SA Cap FR, Mule-Hide SA-APP Cap Sheet or Mule-Hide SA-APP Cap Sheet (FR) or Tile Pro.
 - **3M™ 2-Component Roof Tile Adhesive AH-160:** Polystick TU Max
 - **Dow TileBond:** Polystick TU P, Polystick TU Plus, Polyflex SAP or Tile Pro
 - **Convenience Products' Touch 'n Seal StormBond Roof Tile Adhesive:** Polystick TU Plus, Polystick TU Max
- 5.4.2 For nail-on tile systems over Polystick MTS, battens are required for loading / staging of the tile.
- 5.4.3 A 2-ply underlayment system, consisting of Polystick MTS followed by Polystick MTS, TU, TU P, TU Plus or TU Max, or Polyflex SAP is allowable for use under mechanically attached prepared roof systems. This is not a requirement, but is allowable if a 2-ply underlayment system is desired.

5.5 Allowable substrates are noted below:

5.5.1 Direct Bond to Deck:

Polystick (all variations), Dual Pro, Tile Pro, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) self-adhered to:

- New untreated plywood;
- ASTM D41 primed new untreated plywood;
- Existing plywood;
- ASTM D41 primed existing plywood;
- New or existing, unprimed OSB;
- ASTM D41 primed OSB;
- Southern Yellow Pine;
- ASTM D41 primed Southern Yellow Pine;
- ASTM D41 primed structural concrete;
- Huber Engineered Woods "ZIP System" Panels (designed and installed to meet wind loads for project).

Note: Polyglass does not require priming of new or existing plywood or OSB sheathing. New or existing plywood or OSB sheathing should be cleaned of all dirt and debris prior to application of Polystick membranes.

Elastoflex S6 G or S6 G FR in hot asphalt to:

- ASTM D41 primed structural concrete.

Polyflex G or G FR torch-applied to:

- ASTM D41 primed structural concrete.

5.5.2 Wind Resistance for Underlayment Systems in Foam-On Tile Applications: FRSA/TRI 07320 does not address wind uplift resistance of all underlayment systems beneath foam-on tile systems, where the underlayment forms part of the load-path. The following wind uplift limitations apply to underlayment systems that are not addressed in FRSA/TRI 07320 and are used in foam-on tile applications. Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609.1.5 for determination of design wind pressures.

5.5.2.1 Maximum Design Pressure = -622.5 psf.

Deck: Structural concrete to meet project requirements to satisfaction of AHJ.

Primer: ASTM D41

Underlayment: Elastoflex S6 G, applied in full mopping of hot asphalt or Polyflex G, torch-applied.

5.5.2.2 Maximum Design Pressure = -315 psf.

Deck: Structural concrete to meet project requirements to satisfaction of AHJ.

Primer: ASTM D41

Underlayment: Polystick TU, Polystick TU P, Polystick TU Plus, Polystick TU Max, Tile Pro, Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR).

5.5.2.3 Maximum Design Pressure = -135 psf.

Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.

Primer: (Optional) ASTM D41

Joints: Min. 4-inch wide strips of Elastoflex SA-V over all plywood joints.

Underlayment: Polystick TU, Polystick TU P, Polystick TU Plus, Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR)

5.5.2.4 Maximum Design Pressure = -90 psf.

Deck: Min. 15/32-inch plywood to meet project requirements to satisfaction of AHJ.
 Primer: (Optional) ASTM D41
 Underlayment: Polystick TU, Polystick TU P, Polystick TU Plus, Polyflex SAP, PolyFlex SAP FR, Mule-Hide SA-APP Cap Sheet and Mule-Hide SA-APP Cap Sheet (FR)

5.5.2.5 All other direct-deck, adhered Polyglass underlayment systems beneath foam-on tile systems carry a Maximum Design Pressure of -45 psf.

5.5.3 Bond-to-Insulation:

- Polystick, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) self-adhered to: ASTM C1289, Type II, Class 1 polyisocyanurate or Type V polyisocyanurate-composite insulation; DensDeck DuraGuard; DensDeck Prime; or SECUROCK Gypsum-Fiber Roof Board.
- Elastoflex S6 G or S6 G FR in hot asphalt to: DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board.
- Polyflex G or G FR torch-applied to: ASTM D41 primed structural concrete; DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board.

For installation under mechanically attached prepared roof coverings, insulation shall be attached per minimum requirements of the prepared roof covering manufacturer's Product Approval. For installations under foam-on tile systems, insulation attachment shall be designed by a qualified design professional and installed based on testing of the insulation/underlayment system in accordance with FM 4470, Appendix K or TAS 114, Appendix J.

5.5.4 Bond to Mechanically Attached Base Layer:

- Polystick, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) Dual Pro or Tile Pro self-adhered to: ASTM D226, Type I or II felt; Elastobase; Elastobase P or Mule-Hide Nail Base.
- Elastoflex S6 G or S6 G FR in hot asphalt to: ASTM D226, Type I or II felt; Elastobase; Elastobase P or Mule-Hide Nail Base.
- Polyflex G or G FR torch-applied to: Elastobase; Elastobase P or Mule-Hide Nail Base.

For installations under mechanically attached prepared roof coverings, base layer shall be attached per minimum codified requirements. For installations under foam-on tile systems, base layer shall be attached per minimum requirements of FRSA/TRI 07320/8-05 or RAS 120.

5.6 Exposure Limitations:

- 5.6.1 Elastobase, Elastobase P, shall not be left exposed for longer than 30-days after installation.
- 5.6.2 Polystick IR-Xe, Polystick TU Max, Dual Pro or Tile Pro shall not be left exposed for longer than 90-days after installation.
- 5.6.3 Polystick MTS, TU, TU P or TU Plus shall not be left exposed for longer than 180-days after installation.
- 5.6.4 Polyflex SAP or SAP FR, or Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) does not have an exposure limitation, unless the prepared roof covering is to be adhesive-set tile, in which case the maximum exposure is 30 days.
- 5.6.5 Elastoflex S6 G or S6 G FR or Polyflex G or G FR does not have an exposure limitation, unless the prepared roof covering is to be adhesive-set tile (Elastoflex S6 G or Polyflex G), in which case the maximum exposure is 180 days.

- 5.7 For tile roof installations governed by the FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, use is limited to the following. Reference is made to the FRSA/TRI Technical Brief titled "Florida High Wind Roof Tile Self-Adhered Underlayment Requirements as of 02/14/2011" for limitations for self-adhering underlayments used beneath tile roof systems.

Table 2: Tile System Options per FRSA/TRI 07320/8-05				
System	Underlay Option	Section	Reference	Product(s)
System One: Mechanically Fastened Tile, Unsealed or Sealed Underlayment System	1	3.02A Batten only	Modified Cap Sheet	Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	2	3.02B	No. 30 / Modified Cap Sheet	Base Layer: Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	4	3.02D	No. 30	Elastobase; Elastobase P
	5	3.02E	Self-Adhered Underlayment	Polystick MTS; TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
	6	3.02F	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick MTS; TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
System Two: Mechanically Fastened Tile, Sealed Underlayment System	1	3.02A Batten only	Modified Cap Sheet	Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	2	3.02B	No. 30 / Modified Cap Sheet	Base Layer: Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Elastoflex S6 G FR; Polyflex G or G FR
	4	3.02D	Self-Adhered Underlayment	Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR); Dual Pro; Tile Pro
System Four "A": Adhesive-Set Tile, Unsealed or Sealed Underlayment System	1	3.02A	Modified Cap Sheet	Elastoflex S6 G or Polyflex G
	2	3.02B	No. 30 / Modified Cap Sheet	Base Layer: Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Polyflex G
	4	3.02D	Self-Adhered Underlayment	Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)
	5	3.02E	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)
System Four "B": Adhesive-Set Tile, Sealed Underlayment System	1	3.02A	No. 30 / Modified Cap Sheet	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P Top Layer: Elastoflex S6 G or Polyflex G
	3	3.02C	Self-Adhered Underlayment	Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)
	4	3.02D	No. 30 / Self-Adhered Underlayment	Base Layer: ASTM D226, Type II; Elastobase; Elastobase P; Mule-Hide Nail Base Top Layer: Polystick TU; TU P; TU Plus; TU Max; Polyflex SAP or SAP FR; Tile Pro; Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR)

6. INSTALLATION:

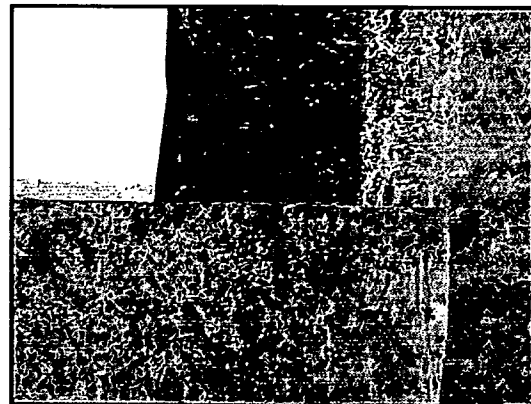
- 6.1 Polyglass Roof Underlayments shall be installed in accordance with Polyglass published installation requirements subject to the Limitations set forth in Section 5 herein and the specifics noted below.
- 6.2 Re-fasten any loose decking panels, and check for protruding nail heads. Sweep the substrate thoroughly to remove any dust and debris prior to application, and prime the substrate (if applicable).

6.3 Elastobase, Elastobase P or Mule-Hide Nail Base:

- 6.3.1 Shall be installed in compliance with the codified requirements for ASTM D226, Type II underlayment in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.3.2 For use in non-tile applications:
- 6.3.2.1 Reference is made to the current edition of the NRCA Steep-slope Roofing Manual and ARMA recommendations for installing shingle underlayments and flashings
- 6.3.2.2 Elastobase, Elastobase P or Mule-Hide Nail Base may be covered with a layer of Polystick, Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR), Dual Pro or Tile Pro, self-adhered, Elastoflex S6 G or S6 G FR in hot asphalt or Polyflex G or G FR, torch applied.
- 6.3.3 For use in tile applications, reference is made to Polyglass published installation instructions in conjunction with FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein.

6.4 Polystick MTS, IR-Xe, TU, TU P, TU Plus, TU Max Polyflex SAP or SAP FR, Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR), Dual Pro or Tile Pro:

- 6.4.1 Shall be installed in compliance with the codified requirements for ASTM D1970 underlayment in FBC Sections 1507 for the type of prepared roof covering to be installed.
- 6.4.2 For non-tile applications:
- 6.4.2.1 All self-adhering materials, with the exception of Polystick TU Plus, Polyflex SAP or SAP FR and Mule-Hide SA-APP Cap Sheet or SA-APP Cap Sheet (FR) should be back-nailed in selvage edge seam in accordance with Polyglass / Mule-Hide Back Nailing Guide. Nails shall be corrosion resistant, 11 gauge ring-shank type with a minimum 1-inch diameter metal disk or Simplex-type metal cap nail, at a minimum rate of 12" o.c. Polystick TU Plus should be back-nailed using the above noted fasteners and spacing, in area marked "nail area, area para clavar" on the face of membrane. The head lap membrane is to cover the area being back-nailed
- 6.4.2.2 All seal-lap seams (selvage laps) must be firmly rolled with a minimum 28 lb. hand roller to ensure full contact and adhesion. For Dual Pro and Tile Pro, align the edge of the top sheet to the end of the glue pattern (the sheet will overlap the fabric).



View of Overlap Seam of Dual Pro and Tile Pro

- 6.4.2.3 All over-fabric and over-granule end-laps shall have a 6-inch wide, uniform layer of Polyglass Polyplus 55 Premium Modified Flashing Cement, Polyglass Polyplus 50 Premium MB Flashing Cement, Polyglass PG500 MB Flashing Cement, Polystick TU Plus Tile Underlayment Flashing Cement, Mule-Hide 241 Premium Modified Flashing Cement, Mule-Hide 251 Premium Wet/Dry Electrometric Flashing Cement, or Mule-Hide 421 Mod Bit Flashing Adhesive Trowel Grade mastic, applied in between the application of the lap.
- 6.4.2.4 Polystick TU Plus, Dual Pro and Tile Pro may not be used in any exposed application such as crickets, exposed valleys, or exposed roof to wall details
- 6.4.2.5 Repair of Polystick membranes is to be accomplished by applying Polyglass Polyplus 55 Premium Modified Flashing Cement, Polyglass Polyplus 50 Premium MB Flashing Cement, Polyglass PG500 MB Flashing Cement, Polystick TU Plus Tile Underlayment Flashing Cement, Mule-Hide 241 Premium Modified Flashing Cement, Mule-Hide 251 Premium Wet/Dry Elastomeric Flashing Cement, or Mule-Hide 421 Mod Bit Flashing Adhesive Trowel Grade mastic to the area in need of repair, followed by a minimum 6 x 6 inch patch of the Polystick material of like kind, set and hand rolled in place over the repair area. Patch laps, if needed, shall be installed in a water shedding manner.
- 6.4.2.6 All Polystick membranes shall be installed to ensure full contact with approved substrates. Polyglass requires a minimum of 40-lb weighted-roller or, on steep slopes, use of a stiff broom with approximately 40-lbs of load applied for the field membrane. Hand rollers are acceptable for rolling of patches, laps (min. 28 lb roller) or small areas of the roof that are not accessible to a large roller or broom.
- 6.4.3 For tile applications (*not allowed for Polystick IR-Xe*):
 - 6.4.3.1 Reference is made to Section 6.4.2 herein in conjunction with FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein, using the instructions noted above as a guideline.
 - 6.4.3.2 For nail-on tile systems over Polystick MTS, battens are required for loading / staging of the tile.
- 6.5 Elastoflex S6 G or S6 G FR:**
 - 6.5.1 Elastoflex S6 G or S6 G FR shall be installed in compliance with current Polyglass published installation requirements. For use in tile applications, reference is made to FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein.
 - 6.5.2 Elastoflex S6 G or S6 G FR shall be fully asphalt-applied to the substrates noted in Section 5.5. Side laps shall be minimum 3-inch and end-laps minimum 6-inch wide, and off set end-laps minimum 3 feet from course to course. Side and end laps shall be fully adhered in a complete mopping of hot asphalt with asphalt extending approximately 3/8-inch beyond the lap edge.
- 6.6 Polyflex G or G FR:**
 - 6.6.1 Polyflex G or G FR shall be installed in compliance with current Polyglass published installation requirements. For use in tile applications, reference is made FRSA/TRI 07320/8-05 Installation Manual, Fourth Edition, and Table 2 herein.
 - 6.6.2 Polyflex G or G FR shall be fully torch-applied to the substrates noted in Section 5.5. Side laps shall be minimum 3-inch and end-laps minimum 6-inch wide, and off set end-laps minimum 3 feet from course to course. Side and end laps shall be fully heat-welded and inspected to ensure minimum 3/8-inch flow of modified compound beyond the lap edge.

6.7 Tile Staging:

- 6.7.1 Tile shall be loaded and staged in a manner that prevents tile slippage and/or damage to the underlayment. Refer to Polyglass published requirements for tile staging.
- 6.7.2 Battens and/or Counter-battens, as required by the tile manufacturer and FRSA/TRI 07320/8-05 must be used on all roof slopes greater than 7:12. Precautions should be taken as needed, such as the use of battens or nail-boards, to prevent tile sliding and/or damage to the underlayment during the loading process.
- 6.7.3 For nail-on tile systems over Polystick MTS, battens are required for loading / staging of the tile.
- 6.7.4 The minimum cure time after installation of self-adhering membranes and before loading of roofing tiles is forty-eight (48) hours.

7. LABELING:

Each unit shall bear a permanent label with the manufacturer's name, logo, city, state and logo of the Accredited Quality Assurance Agency noted herein.

8. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

9. MANUFACTURING PLANTS:

Contact the noted QA agency for information on product locations covered for F.A.C. Rule 9N-3 QA requirements.

10. QUALITY ASSURANCE ENTITY:

UL, LLC – QUA9625; (314) 578-3406; k.chancellor@us.ul.com

- END OF EVALUATION REPORT -



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Product Approval
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FL #	FL16027												
Application Type	New												
Code Version	2010												
Application Status	Approved												
Comments													
Archived	<input type="checkbox"/>												
Product Manufacturer	TRI-BUILT Roofing Products												
Address/Phone/Email	9050 Louisiana Street Merrillville, IN 46410 (201) 842-2449 david.ruiz@tribuiltmaterialsgroup.com												
Authorized Signature	David Ruiz david.ruiz@tribuiltmaterialsgroup.com												
Technical Representative	C Richard Schurman												
Address/Phone/Email	9050 Louisiana Street Merrillville, IN 46410 rich.schurman@alliedbuilding.com												
Quality Assurance Representative	C Richard Schurman												
Address/Phone/Email	9050 Louisiana Street Merrillville, IN 46410 rich.schurman@alliedbuilding.com												
Category	Roofing												
Subcategory	Modified Bitumen Roof System												
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received												
Florida Engineer or Architect Name who developed the Evaluation Report	Robert Nieminen												
Florida License	PE-59166												
Quality Assurance Entity	UL LLC												
Quality Assurance Contract Expiration Date	08/08/2015												
Validated By	John W. Knezevich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received												
Certificate of Independence	FL16027_R0_COI_Trinity_ERD_CI - Nieminen.pdf												
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM D6163</td> <td>2000</td> </tr> <tr> <td>ASTM D6164</td> <td>2005</td> </tr> <tr> <td>ASTM D6222</td> <td>2002</td> </tr> <tr> <td>FM 4470</td> <td>1992</td> </tr> <tr> <td>FM 4474</td> <td>2004</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	ASTM D6163	2000	ASTM D6164	2005	ASTM D6222	2002	FM 4470	1992	FM 4474	2004
<u>Standard</u>	<u>Year</u>												
ASTM D6163	2000												
ASTM D6164	2005												
ASTM D6222	2002												
FM 4470	1992												
FM 4474	2004												
Equivalence of Product Standards Certified By													
Sections from the Code													

Product Approval Method

Method 1 Option D

Date Submitted	10/23/2012
Date Validated	10/26/2012
Date Pending FBC Approval	11/01/2012
Date Approved	12/04/2012

Summary of Products

FL #	Model, Number or Name	Description
16027.1	TRI-BUILT Modified Bitumen Roof Systems	SBS and APP modified bitumen roof systems
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/- 622.5 Other: 1.) The DP noted in this application refers to one system. Refer to ER Appendix for all systems and max. design pressures. 2.) Refer to ER Section 5 for Limits of Use.		Installation Instructions FL16027 R0 II A1 ER102312FINAL TRI-BUILT MODBIT FL16027.pdf Verified By: Robert Nieminen PE-59166 Created by Independent Third Party: Yes Evaluation Reports FL16027 R0 AE ER102312FINAL TRI-BUILT MODBIT FL16027.pdf Created by Independent Third Party: Yes

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Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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Product Approval Accepts:

APPENDIX 1: ATTACHMENT REQUIREMENTS FOR WIND UPLIFT RESISTANCE

Table	Deck	Application	Type	Description	Page
1A-1	Wood	New or Reroof (Tear-Off)	A-2	Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover	4-5
1A-2	Wood	New, Reroof (Tear-Off) or Recover	A-2	Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover	6
1B	Wood	New, Reroof (Tear-Off) or Recover	B	Mech. Attached Base Insulation, Bonded Top Insulation, Bonded Roof Cover	7
1C	Wood	New, Reroof (Tear-Off) or Recover	C	Mech. Attached Insulation, Bonded Roof Cover	7
1D	Wood	New, Reroof (Tear-Off) or Recover	D	Prelim. Attached Insulation, Mech. Attached Base Sheet, Bonded Roof Cover	8
1E	Wood	New or Reroof (Tear-Off)	E	Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover	9-10
1F	Wood	New or Reroof (Tear-Off)	F	Non-Insulated, Bonded Roof Cover	10
2A	Steel or Conc.	New, Reroof (Tear-Off) or Recover	B	Mech. Attached Base Insulation, Bonded Top Insulation, Bonded Roof Cover	11
2B	Steel or Conc.	New, Reroof (Tear-Off) or Recover	C	Mech. Attached Insulation, Bonded Roof Cover	11
2C	Steel or Conc.	New, Reroof (Tear-Off) or Recover	D	Prelim. Attached Insulation, Mech. Attached Base Sheet, Bonded Roof Cover	12
3A-1	Concrete	New or Reroof (Tear-Off)	A-1	Bonded Insulation, Bonded Roof Cover	13-16
3A-2	Concrete	New or Reroof (Tear-Off)	A-1	Bonded Temporary Roof, Bonded Insulation, Bonded Roof Cover	17
3B	Concrete	New or Reroof (Tear-Off)	F	Non-Insulated, Bonded Roof Cover	17
4A	LWIC	New or Reroof (Tear-Off)	A-1	Bonded Insulation, Bonded Roof Cover	18-19
4B	LWIC	New or Reroof (Tear-Off)	A-2	Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover	19
4C	LWIC	New or Reroof (Tear-Off)	E	Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover	20-22
5A	CWF	New or Reroof (Tear-Off)	A-1	Bonded Insulation, Bonded Roof Cover	23
5B	CWF	New, Reroof (Tear-Off) or Recover	A-2	Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover	24
5C	CWF	New, Reroof (Tear-Off) or Recover	B	Mech. Attached Base Insulation, Bonded Top Insulation, Bonded Roof Cover	24
5D	CWF	New, Reroof (Tear-Off) or Recover	C	Mech. Attached Insulation, Bonded Roof Cover	25
5E	CWF	New, Reroof (Tear-Off) or Recover	E	Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover	25
6A	Gypsum	New or Reroof (Tear-Off)	A-1	Bonded Insulation, Bonded Roof Cover	26
6B	Gypsum	New, Reroof (Tear-Off) or Recover	A-2	Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover	26
6C	Gypsum	New, Reroof (Tear-Off) or Recover	C	Mech. Attached Insulation, Bonded Roof Cover	27
6D	Gypsum	New, Reroof (Tear-Off) or Recover	E	Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover	27
7A	Various	Recover	A-1	Bonded Insulation, Bonded Roof Cover	28-29
7B	Various	Recover	F	Non-Insulated, Bonded Base Sheet, Bonded Roof Cover	29

The following notes apply to the systems outlined herein:

- Roof decks shall be in accordance with FBC requirements to the satisfaction of the AHJ. Wind load resistance of the roof deck shall be documented through proper codified and/or FBC Approval documentation.
- Insulation / base sheet fasteners shall be of sufficient length for the following deck engagement:
 - Wood: Minimum 0.75-inch penetration.
 - Steel: Minimum 0.75-inch penetration and engage the top flute of the steel deck.
 - Concrete: Minimum 1-inch embedment into pilot hole in accordance with fastener manufacturer's published installation instructions.
- Unless otherwise noted, insulation may be any one layer or combination of polyisocyanurate, polystyrene, wood fiberboard, perlite, DensDeck, DensDeck Prime, DensDeck DuraGuard, SECUROCK Gypsum-Fiber Roof Board or SECUROCK Glass-Mat Roof Board that meets the QA requirements of F.A.C. Rule 9N-3 and is documented as meeting FBC 1505.1 and, for foam plastic, FBC 2603.4.1 or 2603.6, when installed with the roof cover.

4. Minimum 200 psi, minimum 2-inch thick lightweight insulating concrete may be substituted for rigid insulation board for System Type D (mechanically attached base sheet, bonded roof cover), whereby the base sheet fasteners are installed through the LWIC to engage the structural steel or concrete deck. The structural deck shall be of equal or greater configuration to the steel and concrete deck listings.
5. Unless otherwise noted, insulation adhesive application rates are as follows. Ribbon or bead width is at the time of application; the ribbons/beads shall expand as noted in the manufacturer's published instructions.

<ul style="list-style-type: none"> > HA (HA): > Dow Insta-Stik Roofing Adhesive (D-IS): > Millennium One Step Foamable Adhesive (M-OSFA): > OMG OlyBond 500 (OB500): > OlyBond Classic (OB Classic): > 3M CR-20: 	<ul style="list-style-type: none"> Full coverage at 25-30 lbs/square. Continuous 0.75 to 1-inch wide ribbons, 12-inch o.c. Continuous 0.25 to 0.5-inch wide ribbons, 12-inch o.c. Continuous 0.75 to 1-inch wide ribbons, 12-inch o.c. (PaceCart or SpotShot). <i>Note: OlyBond Green may be used where OlyBond 500 is referenced.</i> Full coverage at 1 gal/square. Continuous 2.5-3.5-inch wide ribbons, 12-inch o.c. <i>Note: TITSESET may be used where CR-20 is referenced.</i>
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Note: When multiple layers(s) of insulation and/or coverboard are installed in ribbon-applied adhesive, adhesive ribbons shall be staggered from layer-to-layer a distance of one-half the ribbon spacing.
Note: The maximum edge distance from the adhesive ribbon to the edge of the insulation board shall be not less than one-half the specified ribbons spacing.
6. Unless otherwise noted, all insulations are flat stock or taper board of the minimum thickness noted. Tapered polyisocyanurate at the following thickness limitations may be substituted with the following Maximum Design Pressure (MDP) limitations. In no case shall these values be used to 'increase' the MDP listings in the tables; rather if MDP listing below meets or exceeds that listed for a particular system in the tables, then the thinner board listed below may be used as a drop-in for the equivalent thicker material listed in the table:

<ul style="list-style-type: none"> > Millennium One Step Foamable Adhesive (M-OSFA): > OMG OlyBond 500 (OB500): > OMG OlyBond 500 (OB500): > OMG OlyBond 500 (OB500): > OMG OlyBond 500 (OB500): > 3M CR-20: 	<ul style="list-style-type: none"> MDP -157.5 psf (Min. 0.5-inch thick) MDP -45.0 psf (Min. 0.5-inch thick Multi-Max FA-3) MDP -187.5 psf (Min. 0.5-inch thick ISO 95+ GL) MDP -315.0 psf (Min. 0.5-inch thick ENRGY 3) MDP -487.5 psf (Min. 0.5-inch thick ACFoam II) MDP -117.5 psf (Min. 1.0-inch thick)
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7. Bonded polyisocyanurate insulation boards shall be maximum 4 x 4 ft.
8. For mechanically attached components or partially bonded insulation, the maximum design pressure for the selected assembly shall meet or exceed the Zone 1 design pressure determined in accordance with FBC Chapter 16, and Zones 2 and 3 shall employ an attachment density designed by a qualified design professional to resist the elevated pressure criteria. Commonly used methods are RAS 117 and FM LPDS 1-29. Assemblies marked with an asterisk* carry the limitations set forth in Section 2.2.1.5.1(a) of FM LPDS 1-29 for Zone 2/3 enhancements.
9. For fully bonded assemblies, the maximum design pressure for the selected assembly shall meet or exceed critical design pressure determined in accordance with FBC Chapter 16, and no rational analysis is permitted.
10. For mechanically attached components over existing decks, fasteners shall be tested in the existing deck for withdrawal resistance. A qualified design professional shall review the data for comparison to the minimum requirements for the system. Testing and analysis shall be in accordance with TAS 105 or ANSI/SPRI FX-1.
11. For existing substrates in a bonded recover installation, the existing roof system shall be examined for compatibility and bond performance with the selected adhesive, and the existing roof system shall be capable of resisting project design pressures on its own merit to the satisfaction of the AHJ, as documented through field uplift testing in accordance with ASTM E907, FM LPDS 1-52, ANSI/SPRI IA-1 or TAS 124.
12. For Recover Applications using System Type D, the insulation is optional; however, the existing roof system shall be suitable for a recover application.

13. Unless otherwise noted, refer to the following references for bonded base, ply or cap sheet applications.

Table 1: TRI-BUILT Roof Covers			
Reference	Layer	Material	Application
BP-AA (Base and Ply sheets, Asphalt-Applied)	Base	FBC Approved ASTM D4601, Type II	HA at 20-40 lbs/square
	Ply	FBC Approved ASTM D2178, Type IV or VI or ASTM D4601, Type II	
SBS-AA (SBS, Asphalt-Applied)	Cap	TriBuilt SBS Granular	HA at 20-40 lbs/square
SBS-TA (SBS, Torch-Applied)	Cap	TriBuilt SBS Granular	Torch-Applied
SBS-SA (SBS, Self-Adhering)	Base	TriBuilt SA SBS Base	Self-Adhering
	Cap	TriBuilt SA SBS Cap	
APP-TA (APP, Torch-Applied)	Base or Ply	TriBuilt APP Smooth	Torch-Applied
	Cap	TriBuilt APP Smooth, TriBuilt APP Granular	
APP-SA (APP, Self-Adhering)	Cap	TriBuilt SA APP Cap	Self-Adhering

14. The following represent priming requirements for gypsum-based coverboards:

- DensDeck and DensDeck Prime shall be field-primed with ASTM D41 primer prior to self-adhering or torch-applied membrane application. No priming is required for hot-asphalt membrane applications.
- SECUROCK Gypsum-Fiber Roof Board or DensDeck DuraGuard do not require field priming for any membrane application.

15. **"MDP" = Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609.1.5 for determination of design wind loads.**

TABLE 1A-1: WOOD DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-2: MECHANICALLY ATTACHED ANCHOR SHEET, BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Anchor Sheet			Base Insulation		Top Insulation		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Type	Attach	Base	Ply	Cap	
W-1	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFGLAS #75	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyisocyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) BP-AA	SBS-AA, SBS-TA, APP-TA	-52.5
W-2	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFGLAS #75	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyisocyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
W-3	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFGLAS #75	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyisocyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) BP-AA	SBS-AA, SBS-TA, APP-TA	-60.0
W-4	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFGLAS #75	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyisocyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
W-5	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly	32 ga., 1-5/8-inch diameter tin caps with 12 ga. annular ring shank nails	6-inch o.c. in 4-inch lap and 6-inch o.c. in four, equally spaced, staggered center rows	Min. 2-inch ACFoam II, III, H-Shield, H-Shield CG, Multi-Max FA3 or ENRGY-3	D-IS, OB500, CR-20 or M-OSFA, atop fastener rows, 7-inch oc	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	D-IS, OB500, CR-20 or M-OSFA	BP-AA	(Optional) BP-AA	SBS-AA, SBS-TA, APP-TA	-60.0

TABLE 1A-1: WOOD DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-2: MECHANICALLY ATTACHED ANCHOR SHEET, BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Anchor Sheet			Base Insulation		Top Insulation		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Type	Attach	Base	Ply	Cap	
W-6	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly	32 ga., 1-5/8-inch diameter tin caps with 12 ga. annular ring shank nails	6-inch o.c. in 4-inch lap and 6-inch o.c. in four, equally spaced, staggered center rows	Min. 2-inch ACFoam II, III, H-Shield, H-Shield CG, Multi-Max FA3 or ENRGY-3	D-IS, OBS00, CR-20 or M-OSFA, atop fastener rows, 7-inch oc	(Optional) Additional layers of base insulation	D-IS, OBS00, CR-20 or M-OSFA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0

TABLE 1A-2: WOOD DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE A-2: MECHANICALLY ATTACHED ANCHOR SHEET, BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Anchor Sheet			Base Insulation		Top Insulation		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Type	Attach	Base	Ply	Cap	
W-7	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyiso-cyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) BP-AA	SBS-AA, SBS-TA, APP-TA	-52.5
W-8	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyiso-cyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
W-9	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly	OMG Flat Bottom Plates (square) with Roofgrip #12	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyiso-cyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) BP-AA	SBS-AA, SBS-TA, APP-TA	-60.0
W-10	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly	OMG Flat Bottom Plates (square) with Roofgrip #12	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) FBC Approved, ASTM C1289, type II polyiso-cyanurate	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0

TABLE 1B: WOOD DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE B: MECHANICALLY ATTACHED BASE INSULATION, BONDED TOP INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer			Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Base	Ply	Cap	
W-11	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Min. 1.5-inch ENRGY 3, H-Shield or Polytherm	Dekfast Hex with Dekfast #12 or TruFast MP-3 with TruFast DP	1 per 1.33 ft ²	Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
W-12	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Min. 1.5-inch ENRGY 3, H-Shield or Polytherm	Dekfast Hex with Dekfast #12 or TruFast MP-3 with TruFast DP	1 per 1.33 ft ²	Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-60.0

TABLE 1C: WOOD DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE C: MECHANICALLY ATTACHED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer	Top Insulation Layer			Roof Cover			MDP (psf)
			Type	Fasteners	Attach	Base	Ply	Cap	
W-13	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	(Optional) One or more layers, any combination, loose laid	Min. 0.5-inch Structodek HD Fiberboard or min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	Dekfast Galvalume Steel Hex with Dekfast #12 DP	1 per 1.33 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
W-14	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails	(Optional) One or more layers, any combination, loose laid	Min. 0.5-inch Structodek HD Fiberboard or min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	Dekfast Galvalume Steel Hex with Dekfast #12 DP	1 per 1.33 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-67.5
W-15	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with #8 screws	(Optional) One or more layers, any combination, loose laid	Min. 0.5-inch Structodek HD Fiberboard or min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	Dekfast Galvalume Steel Hex with Dekfast #12 DP	1 per 1.33 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-82.5
W-16	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with #8 screws	(Optional) One or more layers, any combination, loose laid	Min. 1.5-inch ENRGY 3, H-Shield or Polytherm	Dekfast Galvalume Steel Hex with Dekfast #12 DP or TruFast MP-3 with TruFast DP	1 per 1.33 ft ²	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-82.5

TABLE 1D: WOOD DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE D: PRELIMINARILY ATTACHED INSULATION, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER

System No.	Roof Deck	Insulation Layer(s)		Base Sheet			Roof Cover		MDP (psf)
		Type	Attach	Base	Fasteners	Attach	Ply	Cap	
W-17	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
W-18	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
W-19	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase or Polyglass Elastobase Poly	OMG Flat Bottom Plates (square) with Roofgrip #12	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-60.0
W-20	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	OMG Flat Bottom Plates (square) with Roofgrip #12	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0

TABLE 1E: WOOD DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE E: NON-INSULATED, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER

System No.	Roof Deck	Base Sheet			Roof Cover		MDP (psf)
		Base	Fasteners	Attach	Ply	Cap	
W-21	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
W-22	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
W-23	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
W-24	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d common nails	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
W-25	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-60.0
W-26	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
W-27	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly	OMG Flat Bottom Plates (square) with Roofgrip #12	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-60.0
W-28	Min. 19/32-inch plywood at max. 24-inch spans attached 4-inch o.c. with 8d common nails or 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	OMG Flat Bottom Plates (square) with Roofgrip #12	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
W-29	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails.	4-inch o.c. in 4-inch lap and 4-inch o.c. in four, equally spaced, staggered center rows	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-97.5

TABLE 1E: WOOD DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE E: NON-INSULATED, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER

System No.	Roof Deck	Base Sheet			Roof Cover		MDP (psf)
		Base	Fasteners	Attach	Ply	Cap	
W-30	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails	6-inch o.c. in 4-inch lap and 6-inch o.c. in four, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-112.5
W-31	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with #8 screws	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails. Note: Tin caps are to be primed with ASTM D41 primer.	6-inch o.c. in 4-inch lap and 6-inch o.c. in four, equally spaced, staggered center rows	(Optional) One or more APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-112.5

TABLE 1F: WOOD DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE F: NON-INSULATED, BONDED ROOF COVER

System No.	Deck	Primer	Roof Cover				MDP (psf)
			Joint Treatment	Base	Ply	Cap	
W-32	Min. 19/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with 8d ring shank nails	(Optional) ASTM D41	None	SBS-SA	(Optional) SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-90.0
W-33	Min. 15/32-inch plywood at max. 24-inch spans attached 6-inch o.c. with #12 screws	(Optional) ASTM D41	Plywood joints are covered with 4-inch wide strips of TriBuilt SA SBS Base, rolled into place to create continuous bond.	TriBuilt SA SBS Base	(Optional) SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-97.5

TABLE 2A: STEEL OR CONCRETE DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE B: MECHANICALLY ATTACHED BASE INSULATION, BONDED TOP INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer			Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Base	Ply	Cap	
SC-1.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	Min. 1.5-inch ACFoam II, ENRGY 3, H-Shield or Polytherm	Dekfast Hex with Dekfast #14, Trufast MP-3 with Trufast HD or OMG 3-inch Galv Plate with OMD HD	1 per 2 ft ²	Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*
SC-2.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	Min. 2-inch ACFoam II, ENRGY 3, H-Shield or Polytherm	Dekfast Hex with Dekfast #14, Trufast MP-3 with Trufast HD or OMG 3-inch Galv Plate with OMD HD	1 per 4 ft ²	Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*
SC-3.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	Min. 1.5-inch ENRGY 3, H-Shield or Polytherm	Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	1 per 1.33 ft ²	Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-90.0
SC-4.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	Min. 1.5-inch ENRGY 3, H-Shield or Polytherm	Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	1 per 1.33 ft ²	Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA (Top surface primed with ASTM D41 primer)	One or more layers, SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-90.0

TABLE 2B: STEEL OR CONCRETE DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE C: MECHANICALLY ATTACHED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer	Top Insulation Layer			Roof Cover			MDP (psf)
			Type	Fasteners	Attach	Base	Ply	Cap	
SC-5.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	(Optional) One or more layers, any combination, loose laid	Min. 0.5-inch SECURROCK Gypsum-Fiber Roof Board	OMG 3-inch Galvalume Steel Plate with OMG #14 HD	1 per 1.78 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-75.0
SC-6.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination, loose laid	Min. 0.5-inch Structodek HD Fiberboard or min. 0.25-inch DensDeck, DensDeck Prime or SECURROCK Gypsum-Fiber Roof Board	Dekfast Galvalume Steel Hex with Dekfast #12 (steel only) or #14 or TruFast MP-3 with TruFast DP (steel only) or HD	1 per 1.33 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-82.5
SC-7.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	(Optional) One or more layers, any combination, loose laid	Min. 1.5-inch ENRGY 3, H-Shield or Polytherm	Dekfast Galvalume Steel Hex with Dekfast #12 (steel only) or #14 or TruFast MP-3 with TruFast DP (steel only) or HD	1 per 1.33 ft ²	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-AA, SBS-TA, SBS-SA, APP-TA, APP-SA	-82.5

TABLE 2C: STEEL OR CONCRETE DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE D: PRELIMINARILY ATTACHED INSULATION, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER
NOTE: INSULATION IS OPTIONAL FOR RECOVER APPLICATIONS

System No.	Roof Deck	Insulation Layer(s)		Base Sheet			Roof Cover		MDP (psf)
		Type	Attach	Base	Fasteners	Attach	Ply	Cap	
SC-8.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase, Polyglass Elastobase Poly or JM Perma-Ply 28	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-Inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*
SC-9.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFLAS #75	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
SC-10.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	OMG Flat Bottom Plates (square) with Roofgrip #14, Dekfast Hex with Dekfast #14 or TruFast MP-3 with TruFast HD	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
SC-11.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase or Polyglass Elastobase Poly	OMG Flat Bottom Plates (square) with Roofgrip #12 (steel only) or #14	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-60.0
SC-12.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface	OMG Flat Bottom Plates (square) with Roofgrip #12 (steel only) or #14	12-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
SC-13.	Min. 22 ga., type B, Grade 80 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	TriBuilt APP Smooth	Dekfast Isofast IF-2.375-AT Plates with Dekfast #15 HS	12-inch o.c. in the 5-inch wide, heat-welded side lap	(Optional) APP-TA	SBS-TA, APP-TA	-82.5
SC-14.	Min. 22 ga., type B, Grade 80 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	TriBuilt APP Smooth	Trufast 2.4 in. Barbed Seam Plates with Trufast EHD Fasteners	12-inch o.c. in the 6-inch wide, heat-welded side lap	(Optional) APP-TA	SBS-TA, APP-TA	-82.5
SC-15.	Min. 22 ga., type B, Grade 33 steel or min. 2,500 psi structural concrete	One or more layers, any combination	Prelim. Attached	TriBuilt APP Smooth	Dekfast Hex with Dekfast #14 or OMG Flat Bottom Plates with OMG Roofgrip #14	12-inch o.c. in the 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	(Optional) BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-112.5

**TABLE 3A-1: CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER**

System No.	Deck	Primer	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
			Type	Attach	Type	Attach	Base	Ply	Cap	
SELF-ADHERING SYSTEMS WITH BASE INSULATION AND OPTIONAL TOP INSULATION OF THE SAME TYPE:										
C-1	Concrete	(Optional) ASTM D41	Min. 1.5-inch H-Shield or Multi-Max FA3	D-IS	(Optional) additional layers(s) of base insulation	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-67.5
C-2	Concrete	(Optional) ASTM D41	Min. 1.5-inch ACFoam II or ENRGY 3	D-IS	(Optional) additional layers(s) of base insulation	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-135.0
C-3	Concrete	None	Min. 1.5-inch, min. 1.5 pcf EPS insulation board	D-IS	(Optional) additional layers of base insulation	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-157.5
C-4	Concrete	None	Min. 1.5-inch, min. 2.0 pcf EPS insulation board	OB500	(Optional) additional layers of base insulation	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-120.0
C-5	Concrete	None	Min. 1.5-inch ENRGY 3	OB500	(Optional) additional layers(s) of base insulation	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-127.5
C-6	Concrete	None	Min. 1.5-inch ACFoam II or H-Shield	OB500	(Optional) additional layers(s) of base insulation	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-150.0
C-7	Concrete	None	Min. 1.5-inch ACFoam II, ENRGY 3, H-Shield or Multi-Max FA3	M-OSFA	(Optional) additional layers(s) of base insulation	M-OSFA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-232.5
C-8	Concrete	None	Min. 1.5-inch, min. 2.0 pcf EPS insulation board	CR-20	(Optional) additional layers of base insulation	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-240.0
C-9	Concrete	None	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG , Multi-Max FA3 or ISO 95+ GL	CR-20	(Optional) additional layers(s) of base insulation	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-270.0
C-10	Concrete	None	Min. 2-inch ACFoam II or H-Shield	OB Classic	(Optional) additional layers(s) of base insulation	OB Classic	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-270.0
C-11	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	(Optional) additional layers(s) of base insulation	HA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-480.0
SELF-ADHERING SYSTEMS WITH BASE INSULATION AND COVERBOARD:										
C-12	Concrete	None	Min. 1.5-inch Multi-Max FA3	D-IS	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-67.5
C-13	Concrete	None	Min. 1.5-inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene	D-IS	Min. 0.25-inch DensDeck, DensDeck Prime	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-120.0

**TABLE 3A-1: CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER**

System No.	Deck	Primer	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
			Type	Attach	Type	Attach	Base	Ply	Cap	
C-14	Concrete	None	Min. 2-inch ACFoam II, ENRGY-3 or H-Shield	D-IS	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-247.5
C-15	Concrete	None	Min. 1.5-inch ENRGY 3	OB500	Min. 0.25-inch DensDeck, DensDeck Prime	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-127.5
C-16	Concrete	None	Min. 1.5-inch ACFoam II, H-Shield or ISO 95+GL	OB500	Min. 0.25-inch DensDeck, DensDeck Prime	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-150.0
C-17	Concrete	None	Min. 2-inch ACFoam II, ENRGY-3 or H-Shield	OB500	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-247.5
C-18	Concrete	None	Min. 1.5-inch ACFoam II, ENRGY 3, H-Shield or Multi-Max FA3	M-OSFA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-232.5
C-19	Concrete	None	Min. 2-inch ACFoam II, ENRGY-3 or H-Shield	M-OSFA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-247.5
C-20	Concrete	None	Min. 1.5-inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene	CR-20	Min. 0.25-inch DensDeck, DensDeck Prime	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-240.0
C-21	Concrete	None	Min. 2-inch ACFoam IV, min. 1.5-inch Ultra-Max or Multi-Max FA-3, min. 1.3-inch ACFoam III or min. 1.0-inch ISO 95+GL, H-Shield, H-Shield CG or ENRGY 3	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-240.0
C-22	Concrete	None	Min. 2-inch ACFoam II, ENRGY-3 or H-Shield	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-247.5
C-23	Concrete	None	Min. 2-inch ACFoam II or H-Shield	OB Classic	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB Classic	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-350.0
C-24	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-350.0
ASPHALT AND/OR TORCH APPLIED SYSTEMS:										
C-25	Concrete	None	Min. 2-inch ACFoam II or H-Shield	D-IS	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	D-IS	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0
C-26	Concrete	None	Min. 2-inch ACFoam II or H-Shield	D-IS	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	D-IS	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5
C-27	Concrete	None	Min. 2-inch ACFoam II or H-Shield	OB500	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0

**TABLE 3A-1: CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER**

System No.	Deck	Primer	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
			Type	Attach	Type	Attach	Base	Ply	Cap	
C-28	Concrete	None	Min. 2-inch ACFoam II or H-Shield	OB500	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5
C-29	Concrete	None	Min. 2-inch ACFoam II or H-Shield	M-OSFA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0
C-30	Concrete	None	Min. 2-inch ACFoam II or H-Shield	M-OSFA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5
C-31	Concrete	None	Min. 2-inch ACFoam IV, min. 1.5-inch Ultra-Max or Multi-Max FA-3, min. 1.3-inch ACFoam III or min. 1.0-inch ISO 95+GL, H-Shield, H-Shield CG or ENRGY 3	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0
C-32	Concrete	None	Min. 2-inch ACFoam IV, min. 1.5-inch Ultra-Max or Multi-Max FA-3, min. 1.3-inch ACFoam III or min. 1.0-inch ISO 95+GL, H-Shield, H-Shield CG or ENRGY 3	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5
C-33	Concrete	None	(Optional) Min. 2-inch ACFoam II or H-Shield	OB Classic	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB Classic	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0
C-34	Concrete	None	(Optional) Min. 2-inch ACFoam II or H-Shield	OB Classic	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB Classic	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5
C-35	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	HA	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0
C-36	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	HA	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5
C-37	Concrete	ASTM D41	Min. 0.75-inch FescoBoard	HA	None	N/A	(Optional if using AA Ply) One or more BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-277.5
C-38	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	Min. 0.75-inch Fesco Board	HA	(Optional if using AA Ply) One or more BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-290.0
C-39	Concrete	ASTM D41	Min. 0.5-inch Structodek HD Fiberboard	HA	None	N/A	(Optional if using AA Ply) One or more BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-285.0
C-40	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	Min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) One or more BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-480.0

**TABLE 3A-1: CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER**

System No.	Deck	Primer	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
			Type	Attach	Type	Attach	Base	Ply	Cap	
C-41	Concrete	ASTM D41	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	HA	Min. 0.25-inch DensDeck Prime	HA	(Optional if using AA Ply) One or more BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-480.0
C-42	Concrete	ASTM D41	Min. 0.25-inch DensDeck Prime	HA	None	N/A	(Optional if using AA Ply) One or more BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-510.0

TABLE 3A-2: CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED TEMP ROOF, BONDED INSULATION, BONDED ROOF COVER

System No.	Deck	Prime	Temp Roof	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
				Type	Attach	Type	Attach	Base	Ply	Cap	
C-43	Conc	ASTM D41	TriBuilt SA SBS Base	Min. 1.5-Inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene or Min. 1.5-inch ACFoam II, ENRGY-3, H-Shield or Multi-Max FA3	D-IS	(Optional if using polyisocyanurate base insulation) Min. 0.25-inch DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
C-44	Conc	ASTM D41	TriBuilt SA SBS Cap or Polyglass Base (torched)	Min. 1.5-inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene or Min. 1.5-inch ACFoam II or ENRGY 3	D-IS	(Optional if using polyisocyanurate base insulation) Min. 0.25-inch DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-75.0
C-45	Conc	ASTM D41	TriBuilt SA SBS Base	Min. 1.5-inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene or Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG, Multi-Max FA3 or ISO 95+GL	CR-20	(Optional if using polyisocyanurate base insulation) Min. 0.25-inch DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
C-46	Conc	ASTM D41	Polyglass Base, (torched)	Min. 1.5-inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene or Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG, Multi-Max FA3 or ISO 95+GL	CR-20	(Optional if using polyisocyanurate base insulation) Min. 0.25-inch DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-75.0
C-47	Conc	ASTM D41	TriBuilt SA SBS Cap	Min. 1.5-inch, min. 2.0 pcf ASTM C578 Expanded Polystyrene	CR-20	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-240.0
C-48	Conc	ASTM D41	TriBuilt SA SBS Cap	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG, Multi-Max FA3 or ISO 95+GL	CR-20	(Optional) Additional layers of base insulation	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-250.0
C-49	Conc	ASTM D41	TriBuilt SA SBS Cap	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, H-Shield, H-Shield CG, Multi-Max FA3 or ISO 95+GL	CR-20	Min. 0.5-inch Temple HD6 or Structodek HD Fiberboard or min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-270.0

TABLE 3B: CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE F: NON-INSULATED, BONDED BASE SHEET, BONDED ROOF COVER

System No.	Deck	Primer	Roof Cover			MDP (psf)
			Base	Ply	Cap	
C-50	Concrete	ASTM D41	SBS-SA	(Optional) SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-315.0
C-51	Concrete	ASTM D41	BP-AA (Optional if using asphalt applied Ply)	(Optional if using asphalt applied Base) BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-622.5

**TABLE 4A: LIGHTWEIGHT CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER**

System No.	Roof Deck (See Note 1, Page 1)		Base Insulation Layer		Coverboard		Roof Cover			MDP (psf)
	Struct. Deck	LWC	Type	Attach	Type	Attach	Base	Ply	Cap	
SELF-ADHERING SYSTEMS WITH BASE INSULATION AND OPTIONAL TOP INSULATION OF THE SAME TYPE:										
LWC-1	Concrete	Min. 200 psi, min 2-inch Elastizell	Min. 1.5-inch, min. 2.0 pcf ASTM C578 expanded polystyrene	OB500	(Optional) Additional layers of base insulation	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-120.0
LWC-2	Concrete	Min. 200 psi, min 2-inch Elastizell	Min. 1.5-inch ACFoam II, ENRGY 3, ISO 95+ GL or H-Shield	OB500	(Optional) Additional layers of base insulation	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-225.0
LWC-3	Concrete	Min. 200 psi, min. 2-inch Elastizell	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, ISO 95+ GL, H-Shield, H-Shield CG, Multi-Max FA3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	(Optional) Additional layers of base insulation	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-180.0
LWC-4	Concrete	Min. 200 psi, min. 2-inch Celcore or Mearlcrete	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, ISO 95+ GL, H-Shield, H-Shield CG, Multi-Max FA3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	(Optional) Additional layers of base insulation	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-222.5
SELF-ADHERING SYSTEMS WITH BASE INSULATION AND COVERBOARD:										
LWC-5	Concrete	Min. 200 psi, min 2-inch Elastizell	Min. 1.5-inch, min. 2.0 pcf ASTM C578 expanded polystyrene	OB500	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-120.0
LWC-6	Concrete	Min. 200 psi, min 2-inch Elastizell	Min. 1.5-inch ACFoam II, ENRGY 3, ISO 95+ GL or H-Shield	OB500	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-225.0
LWC-7	Concrete	Min. 200 psi, min. 2-inch Elastizell	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, ISO 95+ GL, H-Shield, H-Shield CG, Multi-Max FA3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-180.0
LWC-8	Concrete	Min. 200 psi, min. 2-inch Celcore or Mearlcrete	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, ISO 95+ GL, H-Shield, H-Shield CG, Multi-Max FA3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-222.5
ASPHALT AND/OR TORCH APPLIED SYSTEMS:										
LWC-9	Concrete	Min. 200 psi, min 2-inch Elastizell	Min. 1.5-inch ACFoam II, ENRGY 3, ISO 95+ GL or H-Shield	OB500	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	BP-AA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-225.0
LWC-10	Concrete	Min. 200 psi, min. 2-inch Elastizell	Min. 1.5-inch ACFoam II, ACFoam III, ENRGY 3, ISO 95+ GL, H-Shield, H-Shield CG, Multi-Max FA3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	BP-AA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-180.0

TABLE 4A: LIGHTWEIGHT CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck (See Note 1, Page 1)		Base Insulation Layer		Coverboard		Roof Cover			MDP (psf)
	Struct. Deck	LWC	Type	Attach	Type	Attach	Base	Ply	Cap	
LWC-11	Concrete	Min. 200 psi, min. 2-inch Celcore or Mearlcrete	Min. 1.5-inch ACfoam II, ACfoam III, ENRGY 3, ISO 95+ GL, H-Shield, H-Shield CG, Multi-Max FA3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	BP-AA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-222.5

TABLE 4B: LIGHTWEIGHT CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-2: MECHANICALLY ATTACHED ANCHOR SHEET, BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck (See Note 1)		Anchor Sheet			Base Insulation		Top Insulation		Roof Cover			MDP (psf)
	Struct	LWC	Type	Fasteners	Attach	Type	Attach	Type	Attach	Base	Ply	Cap	
LWC-12	Min. 22 ga., Type B, vented steel at max. 5 ft spans	Min. 300 psi Approved cellular LWC	GAFGLAS #75	OMG CR BSF	7-inch o.c. at 4-inch lap and 7-inch o.c. in two, equally spaced center rows	(Optional) Min. 1.5-inch ACfoam II, H-Shield, Multi-Max FA3 or Polytherm	HA	Min. 1.5-inch Thermarook Composite, Polytherm Composite or min. 0.5-inch Structodek HD Fiberboard or min. 0.75-inch FescoBoard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0
LWC-13	Min. 22 ga., Type B, vented steel at max. 5 ft spans	Min. 300 psi Approved cellular LWC	GAFGLAS #75	OMG CR BSF	7-inch o.c. at 4-inch lap and 7-inch o.c. in two, equally spaced center rows	Min. 1.5-Inch ACfoam II, H-Shield, Multi-Max FA3 or Polytherm	HA	None	N/A	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-45.0

**TABLE 4C: LIGHTWEIGHT CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE E: MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER**

System No.	Roof Deck (See Note 1, Page 1)		Base Sheet (See Note A below)			Roof Cover		MDP (psf)
	Structural Deck	Lightweight Concrete	Type (See Note A)	Fasteners	Attach	Ply	Cap	
'GENERIC' CELLULAR LIGHTWEIGHT INSULATING CONCRETE:								
LWC-14	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick cellular LWC. Note: To qualify the LWIC under this assembly, an OMG CR BPF shall achieve an average withdrawal of 53 lbf when tested per TAS 105 or ANSI/SPRI FX-1	B3	OMG CR BPF	7-inch o.c. in a 3-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	.(Optional) One or more BP-AA	SBS-AA, APP-TA	-45.0
CELCORE CELLULAR LIGHTWEIGHT INSULATING CONCRETE:								
LWC-15	Min. 0.0179-inch Tensiform S-75 or min. 0.0205-inch Tensiform 75 at max. 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Celcore	B1, B2, B3 or B7	ES FM-90 or OMG CR BPF	8-inch o.c. in a 3-inch lap and 16-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-37.5
LWC-16	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Celcore	B1 through B12	ES FM-90 or OMG CR BPF	7-inch o.c. in a 3-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-45.0
LWC-17	Min. 26 ga., type HF steel at max 5 ft spans or structural concrete	Min. 225 psi, min. 2-inch thick Celcore MF	B1, B2, B3, B4, B7, B8, B10, B11 or B12	OMG CR BPF	9-inch o.c. in a 3-inch lap and 9-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-45.0
LWC-18	Min. 22 ga., type B steel at max 6 ft spans or structural concrete	Min. 225 psi, min. 2-inch thick Celcore MF	B1, B2, B3, B4, B7, B8, B10, B11 or B12	OMG CR BPF	7-inch o.c. in a 3-inch lap and 14-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-45.0
LWC-19	Min. 22 ga., type B steel at max 6 ft spans or structural concrete	Min. 225 psi, min. 2-inch thick Celcore MF	B1, B2, B3, B4, B7, B8, B10, B11 or B12	OMG CR BPF	9-inch o.c. in a 3-inch lap and 9-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-45.0
LWC-20	Min. 26 ga., type HF steel at max 5 ft spans or min. 22 ga., type B steel at max 6 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Celcore or min. 225 psi, min. 2-inch thick Celcore MF	B2 or B11	Simplex Turbo Tube-Lok	9-inch o.c. in a 4-inch lap and 12-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-45.0
LWC-21	Min. 26 ga., type HF steel at max 5 ft spans or min. 22 ga., type B steel at max 6 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Celcore or min. 225 psi, min. 2-inch thick Celcore MF	B2 (with poly-film top surface)	Simplex Turbo Tube-Lok	9-inch o.c. in a 4-inch lap and 12-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-45.0
LWC-22	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 225 psi, min. 2-inch thick Celcore MF	B1 or B2	ES Twin Loc-Nail	9-inch o.c. in a 4-inch lap and 18-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-45.0

**TABLE 4C: LIGHTWEIGHT CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE E: MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER**

System No.	Roof Deck (See Note 1, Page 1)		Base Sheet (See Note A below)			Roof Cover		MDP (psf)
	Structural Deck	Lightweight Concrete	Type (See Note A)	Fasteners	Attach	Ply	Cap	
LWC-23	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 225 psi, min. 2-inch thick Celcore MF	B2 (with poly-film top surface)	ES Twin Loc-Nail	9-inch o.c. in a 4-inch lap and 18-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-45.0
LWC-24	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Celcore MF	B2	ES FM-90	8-inch o.c. in a 4-inch lap and 8-inch o.c. in three equally spaced, staggered center rows	BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-60.0
LWC-25	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Celcore MF	B2 (with poly-film top surface)	ES FM-90	8-inch o.c. in a 4-inch lap and 8-inch o.c. in three equally spaced, staggered center rows	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
LWC-26	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Celcore	B1 through B12	ES FM-90 or OMG CR BPF	7-inch o.c. in a 3-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-75.0
LWC-27	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Celcore MF	Polyglass Elastobase Poly	ES FM-260	10-inch o.c. in a 4-inch lap and 10-inch o.c. in three equally spaced, staggered center rows	(Optional) BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-90.0
ELASTIZELL CELLULAR LIGHTWEIGHT INSULATING CONCRETE:								
LWC-28	Min. 0.0179-inch Tensiform S-75 or min. 0.0205-inch Tensiform 75 at max. 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Elastizell Range II	B1 through B12	ES FM-90 or OMG CR BPF	7.5-inch o.c. in a 3-inch lap and 7.5-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-30.0
LWC-29	Min. 0.0179-inch Tensiform S-75 or min. 0.0205-inch Tensiform 75 at max. 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Elastizell Range II	B2 (with poly-film top surface)	ES FM-90 or OMG CR BPF	7.5-inch o.c. in a 3-inch lap and 7.5-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-30.0
LWC-30	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Elastizell Range II	B1 through B12	ES FM-90 or OMG CR BPF	7-inch o.c. in a 3-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-45.0
LWC-31	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Elastizell Range II	B2 (with poly-film top surface)	ES FM-90 or OMG CR BPF	7-inch o.c. in a 3-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-45.0
LWC-32	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Elastizell Range II	B2 or B11	Simplex Turbo Tube-Lok	9-inch o.c. in a 4-inch lap and 12-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA, SBS-SA or APP-TA	SBS-AA, SBS-TA, SBS-SA, APP-TA or APP-SA	-45.0*
LWC-33	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 350 psi, min. 2-inch thick Elastizell with Zell-Crete Fibers, supplementally attached with Roofgrip #21 and 3-inch plates at 1 per 8 ft ²	B2	ES Twin Loc-Nails (min. 1.8-inch)	6-inch o.c. in a 4-inch lap and 6-inch o.c. in three, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA, SBS-TA, SBS-SA, APP-TA or APP-SA	-60.0

**TABLE 4C: LIGHTWEIGHT CONCRETE DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE E: MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER**

System No.	Roof Deck (See Note 1, Page 1)		Base Sheet (See Note A below)			Roof Cover		MDP (psf)
	Structural Deck	Lightweight Concrete	Type (See Note A)	Fasteners	Attach	Ply	Cap	
LWC-34	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 350 psi, min. 2-inch thick Elastizell with Zell-Crete Fibers, supplementally attached with Roofgrip #21 and 3-inch plates at 1 per 8 ft ²	B2 (with poly-film top surface)	ES Twin Loc-Nails (min. 1.8-inch)	6-inch o.c. in a 4-inch lap and 6-inch o.c. in three, equally spaced, staggered rows in the field of the sheet	SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-60.0
MEARLCRETE CELLULAR LIGHTWEIGHT INSULATING CONCRETE:								
LWC-35	Min. 24 ga., type B steel at max 5 ft spans or structural concrete	Min. 200 psi, min. 2-inch thick Mearlcrete	B1 through B12	ES FM-90 or OMG CR BPF	7.5-inch o.c. in a 3-inch lap and 10-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA	SBS-AA	-30.0
LWC-36	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B1, B2 or B12	ES FM-90 or OMG CR BPF	7-inch o.c. in a 4-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-45.0
LWC-37	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B2 (with poly-film top surface)	ES FM-90 or OMG CR BPF	7-inch o.c. in a 4-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-45.0
LWC-38	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B1, B2, B3, B4, B7, B8 or B11	Simplex Base-Lok	9-inch o.c. in a 4-inch lap and 9-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-45.0
LWC-39	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B2 (with poly-film top surface)	Simplex Base-Lok	9-inch o.c. in a 4-inch lap and 9-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-45.0
LWC-40	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B2 or B11	Simplex Turbo Tube-Lok	9-inch o.c. in a 4-inch lap and 12-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA, SBS-SA or APP-TA	SBS-AA, SBS-TA, SBS-SA, APP-TA or APP-SA	-45.0
LWC-41	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B1, B2, B3, B7 or B11	ES FM-90 or OMG CR BPF	7-inch o.c. in a 4-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-52.5
LWC-42	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B2 (with poly-film top surface)	ES FM-90 or OMG CR BPF	7-inch o.c. in a 4-inch lap and 7-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5
LWC-43	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B1, B2, B3 or B4	Simplex Base-Lok	9-inch o.c. in a 4-inch lap and 12-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-52.5
LWC-44	Min. 22 ga., type B steel at max 5 ft spans or structural concrete	Min. 300 psi, min. 2-inch thick Mearlcrete	B2 (with poly-film top surface)	Simplex Base-Lok	9-inch o.c. in a 4-inch lap and 12-inch o.c. in two, equally spaced, staggered rows in the field of the sheet	One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-52.5

A. Base Sheets options are coded as follows:

- B1: Polyglass G2 Base; B2: Polyglass Elastobase or Polyglass Elastobase Poly; B3: GAFLAS #75; B4: Stratavent Eliminator Venting Base Sheet (Nailable); B5: GAFLAS Ply 4; B6: GAFLAS FlexPly 6; B7: JM Perma Ply No. 28; B8: JM Vensulation; B9: JM GlasPly IV; B10: JM GlasPly Premier; B11: Tamko Glass-Base; B12: Tamko Vapor-Chan

**TABLE 5A: CEMENTITIOUS WOOD FIBER DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER**

System No.	Deck	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Attach	Type	Attach	Base	Ply	Cap	
CWF-1	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Min. 1.5-inch ACFoam II, ISO 95+GL, H-Shield, Polytherm, ENRGY-3	D-IS or OB500	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board or min. 0.5-inch Structodek HD Fiberboard	D-IS or OB500	BP-AA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0
CWF-2	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Min. 1.5-inch ACFoam II, ISO 95+GL, H-Shield, Polytherm, ENRGY-3	D-IS or OB500	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	D-IS or OB500	SBS-SA or APP-TA	(Optional) One or more SBS-SA or APP-TA	SBS-TA, SBS-SA, APP-TA, APP-SA	-45.0
CWF-3	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Min. 1.5-inch ACFoam II, ISO 95+GL, H-Shield, Polytherm, ENRGY-3	CR-20	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board or min. 0.5-inch Structodek HD Fiberboard	CR-20	BP-AA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-52.5
CWF-4	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Min. 1.5-inch ACFoam II, ISO 95+GL, H-Shield, Polytherm, ENRGY-3	CR-20	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA or APP-TA	(Optional) One or more SBS-SA or APP-TA	SBS-TA, SBS-SA, APP-TA, APP-SA	-52.5

TABLE 5B: CEMENTITIOUS WOOD FIBER DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE A-2: MECHANICALLY ATTACHED ANCHOR SHEET, BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Anchor Sheet			Base Insulation		Top Insulation		Roof Cover			MDP (psf)
		Type	Fastener	Attach	Type	Attach	Type	Attach	Base	Ply	Cap	
CWF-5	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES Inuldek Loc-Nail	9-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	Min. 1.5-inch AC Foam II, AC Foam III, ISO95+GL, H-Shield, ENRGY 3, Polytherm or Multi-Max FA3,	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-30.0*
CWF-6	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES Inuldek Loc-Nail	9-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	Min. 1.5-inch AC Foam II, AC Foam III, ISO95+GL, H-Shield, ENRGY 3, Polytherm or Multi-Max FA3,	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA or APP-TA	(Optional) One or more SBS-SA or APP-TA	SBS-TA, SBS-SA, APP-TA, APP-SA	-30.0*
CWF-7	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	Simplex Base-Lok or ES Twin Loc-Nail	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	Min. 1.5-inch AC Foam II, AC Foam III, ISO95+GL, H-Shield, ENRGY 3, Polytherm or Multi-Max FA3,	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*
CWF-8	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	Simplex Base-Lok or ES Twin Loc-Nail	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	Min. 1.5-inch AC Foam II, AC Foam III, ISO95+GL, H-Shield, ENRGY 3, Polytherm or Multi-Max FA3,	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board	HA	SBS-SA or APP-TA	(Optional) One or more SBS-SA or APP-TA	SBS-TA, SBS-SA, APP-TA, APP-SA	-45.0*

TABLE 5C: CEMENTITIOUS WOOD FIBER DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE B: MECHANICALLY ATTACHED BASE INSULATION, BONDED TOP INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer			Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Base	Ply	Cap	
CWF-9	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Min. 2-inch H-Shield or Polytherm	OMG Polymer GypTec Plate with Polymer GypTec or TruFast TL 3 in. Plate with TL Fastener	1 per 4 ft ²	Min. 0.5-inch Structodek HD Fiberboard	HA	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*

TABLE 5D: CEMENTITIOUS WOOD FIBER DECKS – NEW CONSTRUCTION, REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE C: MECHANICALLY ATTACHED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer	Top Insulation Layer			Roof Cover			MDP (psf)
			Type	Fasteners	Attach	Base	Ply	Cap	
CWF-10	Min. 2.5-inch Tectum Plank or Tectum LS Plank	(Optional) One or more layers, any combination, loose laid	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board or min. 0.5-inch Structodek HD Fiberboard	ES Twin Loc-Nails (min. 1-inch embedment)	1 per 2 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*

TABLE 5E: CEMENTITIOUS WOOD FIBER DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)
SYSTEM TYPE E: NON-INSULATED, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER

System No.	Roof Deck	Base Sheet			Roof Cover		MDP (psf)
		Base	Fasteners	Attach	Ply	Cap	
CWF-11	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES Inuldek Loc-Nail	9-inch o.c. in 4-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-30.0*
CWF-12	Min. 2.5-inch Tectum Plank or Tectum LS Plank	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	Simplex Base-Lok or ES Twin Loc-Nails	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*

TABLE 6A: GYPSUM DECKS – REROOF (TEAR-OFF)
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER

System No.	Deck	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Attach	Type	Attach	Base	Ply	Cap	
G-1	Existing, sound poured gypsum or gypsum plank deck	Min. 1.5-inch AC Foam II, ENRGY 3 or H-Shield or min. 2.0 pcf, ASTM C578 expanded polystyrene	OB500	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-112.5
G-2	Existing, sound poured gypsum or gypsum plank deck	Min. 1.5-inch AC Foam II, ENRGY 3, H-Shield or Multi-Max FA3	M-OSFA	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-202.5
G-3	Existing, sound poured gypsum or gypsum plank deck	Min. 1.5-inch, min. 2.0 pcf EPS insulation board	CR-20	(Optional) additional layers of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-240.0
G-4	Existing, sound poured gypsum or gypsum plank deck	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	CR-20	None	N/A	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-245.0
G-5	Existing, sound poured gypsum or gypsum plank deck	Min. 1.5-inch AC Foam II, AC Foam III, ENRGY 3, H-Shield, H-Shield CG or Multi-Max FA3	CR-20	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-257.5

TABLE 6B: GYPSUM DECKS – REROOF (TEAR-OFF)
SYSTEM TYPE A-2: MECHANICALLY ATTACHED ANCHOR SHEET, BONDED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Anchor Sheet			Base Insulation		Top Insulation		Roof Cover			MDP (psf)
		Type	Fasteners	Attach	Type	Attach	Type	Attach	Base	Ply	Cap	
G-6	Existing, sound poured gypsum or gypsum plank deck	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES FM-45 or FM-60	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	Min. 1.5-inch AC Foam II, AC Foam III, ISO95+GL, H-Shield, ENRGY 3, Polytherm or Multi-Max FA3,	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-30.0*
G-7	Existing, sound poured gypsum or gypsum plank deck	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES FM-75 or FM-90 or Twin Loc-Nails	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	Min. 1.5-inch AC Foam II, AC Foam III, ISO95+GL, H-Shield, ENRGY 3, Polytherm or Multi-Max FA3,	HA	Min. 0.25-inch DensDeck, DensDeck Prime, SECUROCK Gypsum-Fiber Roof Board, Min. 0.75-inch FescoBoard or min. 0.5-inch Structodek HD Fiberboard	HA	BP-AA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*

TABLE 6C: GYPSUM DECKS – REROOF (TEAR-OFF) OR RECOVER
SYSTEM TYPE C: MECHANICALLY ATTACHED INSULATION, BONDED ROOF COVER

System No.	Roof Deck	Base Insulation Layer	Top Insulation Layer			Roof Cover			MDP (psf)
			Type	Fasteners	Attach	Base	Ply	Cap	
G-8	Existing sound poured gypsum or gypsum plank deck	(Optional) One or more layers, any combination, loose laid	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board or min. 0.5-inch Structodek HD Fiberboard	ES Twin Loc-Nails (min. 1-inch embedment)	1 per 2 ft ²	(Optional if using AA Ply) BP-AA	(Optional if using AA Base) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*

TABLE 6D: GYPSUM DECKS – REROOF (TEAR-OFF)
SYSTEM TYPE E: NON-INSULATED, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER

System No.	Roof Deck	Base Sheet			Roof Cover		MDP (psf)
		Base	Fasteners	Attach	Ply	Cap	
G-9	Existing sound poured gypsum or gypsum plank deck	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES FM-45 or FM-60	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-30.0*
G-10	Existing sound poured gypsum or gypsum plank deck	Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base	ES FM-75 or FM-90 or Twin Loc-Nails	9-inch o.c. in 4-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0*

TABLE 7A: RECOVER APPLICATIONS
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER

System No.	Substrate	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Attach	Type	Attach	Base	Ply	Cap	
R-1	Existing asphaltic roof	Min. 1.5-inch Multi-Max FA3	D-IS	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-67.5
R-2	Existing asphaltic roof	Min. 1.5-inch ACFoam II or ENRGY 3 or min. 2.0 pcf EPS insulation board	D-IS	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	D-IS	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-90.0
R-3	Existing asphaltic roof	Min. 1.5-inch, min. 2.0 pcf EPS insulation board	OB500	(Optional) additional layers of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-120.0
R-4	Existing asphaltic roof	Min. 1.5-inch ACFoam II, ENRGY 3 or H-Shield	OB500	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	OB500	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-127.5
R-5	Existing asphaltic roof	Min. 1.5-inch ACFoam II, ENRGY 3, H-Shield or Multi-Max FA3	M-OSFA	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-157.5
R-6	Existing asphaltic roof	Min. 2-inch ACFoam IV, min. 1.5-inch Ultra-Max or Multi-Max FA-3, min. 1.3-inch ACFoam III or min. 1.0-inch ISO 95+GL, H-Shield, H-Shield CG or ENRGY 3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-240.0
R-7	Existing asphaltic roof	Min. 2-inch ACFoam II, ENRGY-3 or H-Shield or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	(Optional) additional layers(s) of base insulation and/or min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	SBS-SA	(Optional) One or more SBS-SA or APP-TA	SBS-SA, APP-SA, SBS-TA or APP-TA	-247.5
R-8	Existing asphaltic roof	Min. 1.5-inch Multi-Max FA3	D-IS	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	D-IS	BP-AA SBS-SA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-67.5
R-9	Existing asphaltic roof	Min. 1.5-inch ACFoam II or ENRGY 3 or min. 2.0 pcf EPS insulation board	D-IS	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	D-IS	BP-AA SBS-SA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-90.0
R-10	Existing asphaltic roof	Min. 1.5-inch ACFoam II, ENRGY 3, H-Shield or ISO 95+GL	OB500	Min. 0.25-inch DensDeck, DensDeck Prime or SECUROCK Gypsum-Fiber Roof Board	OB500	BP-AA SBS-SA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-127.5
R-11	Existing asphaltic roof	Min. 1.5-inch ACFoam II, ENRGY 3, H-Shield or Multi-Max FA3	M-OSFA	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	M-OSFA	BP-AA SBS-SA, APP-TA	(Optional) One or more BP-AA or APP-TA	SBS-AA, SBS-TA or APP-TA	-157.5
R-12	Existing asphaltic roof	Min. 2-inch ACFoam IV, min. 1.5-inch Ultra-Max or Multi-Max FA-3, min. 1.3-inch ACFoam III or min. 1.0-inch ISO 95+GL, H-Shield, H-Shield CG or ENRGY 3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	BP-AA	(Optional) One or more BP-AA	SBS-AA	-225.0

TABLE 7A: RECOVER APPLICATIONS
SYSTEM TYPE A-1: BONDED INSULATION, BONDED ROOF COVER

System No.	Substrate	Base Insulation Layer		Top Insulation Layer		Roof Cover			MDP (psf)
		Type	Attach	Type	Attach	Base	Ply	Cap	
R-13	Existing asphaltic roof	Min. 2-inch ACFoam IV, min. 1.5-inch Ultra-Max or Multi-Max FA-3, min. 1.3-inch ACFoam III or min. 1.0-inch ISO 95+GL, H-Shield, H-Shield CG or ENRGY 3 or min. 2.0 pcf ASTM C578 expanded polystyrene	CR-20	Min. 0.25-inch SECUROCK Gypsum-Fiber Roof Board	CR-20	APP-TA	(Optional) One or more APP-TA	APP-TA	-232.5

TABLE 7B: RECOVER APPLICATIONS
SYSTEM TYPE F: NON-INSULATED, BONDED BASE SHEET, BONDED ROOF COVER

System No.	Deck	Primer	Roof Cover			MDP (psf)
			Base	Ply	Cap	
R-14	Existing asphaltic roof	ASTM D41	BP-AA (Optional if using asphalt applied Ply)	(Optional if using asphalt applied Base) BP-AA or APP-TA	SBS-AA, SBS-TA, APP-TA	-45.0



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel. 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: TODD WHITE PHONE #: 215-3981 FAX: _____

OWNER'S NAME: LARRY BABBITT

CONSTRUCTION ADDRESS: 76 SE SEWALL'S PT RD CITY S. POINT STATE FL

RE-ROOF: ☒ RESIDENTIAL (SINGLE FAMILY)

_____ COMMERCIAL ** - REMOVE/REINSTALL ROOF TOP HVAC EQUIP _____ YES ☒ NO

** DISCONNECT/RECONNECT HVAC ELECTRIC _____ YES ☒ NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. _____ YES _____ NO - INSURED VALUE OF RESIDENCE: \$ _____

ROOF TYPE: ☒ HIP _____ BOSTON-HIP _____ GABLE _____ FLAT ☒ OTHER _____

ROOF PITCH: 5 /12 SLOPE

ROOF DECK: * _____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

_____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

_____ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

☒ EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: CEMENT TILE EXISTING COVERING TO BE REMOVED? YES ☒ NO _____

PROPOSED NEW ROOF COVERING: 1" STANDING SEAM METAL

MANUFACTURER ENGLETT, INC PRODUCT NAME SERIES 1101 PRODUCT APPR # FL11678.6-R1

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: ☒ GALV/STEEL _____ ALUMINUM _____ COPPER _____ OTHER _____

RIDGEVENT TO BE INSTALLED: _____ YES ☒ NO

DESCRIPTION OF WORK: RE-ROOF TILE TO METAL

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

Todd White
SIGNATURE OF CONTRACTOR

DATE: 4/21/14

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☒ Tue ☐ Wed ☐ Thur ☐ Fri **4-29-14** Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10658	EKSTROM	DRIVEWAY		
	23 N. RIDGEVIEW	PRE POUR	PASS	
	WILSON BYLONS			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10837	EBANDITT	SIGNATURE		
	716 S. ST. RD	WIND	PASS	
	INDEPENDENT CONST	MITIGATION		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10762		RE-INSPECT		
	16 E. HIGH PT		CANCEL	
	DREAMWORKS			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

☐ Mon

☐ Tue

☒ Wed

☐ Thur

☐ Fri

5/7

-14

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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10847	6 Delano Ln Konglu Mary Thaxo	Final Roof	Pass	871-2489 CLOSE INSPECTOR <i>A</i>
10822	MARRONE 53 N. SEWALLS Pt Rd ON SHORE	Roof FINAL	Pass	CLOSE INSPECTOR <i>A</i>
10831	BLOSSOM 158 S. RIVER RD AMERICAN GARAGE DOOR	GARAGE DOOR FINAL	Pass	CLOSE INSPECTOR <i>A</i>
10710	DANAROW 7 OAKHILL WAY JMC CONT.	U.G PLUMB U.G. ELECT	Pass Pass	INSPECTOR <i>A</i>
10837	B. B. B. B. B. 116 S. SEWALLS Pt Rd INDEPENDANT CONST.	DRAIN METAL	Pass	A 0911 INSPECTOR <i>A</i>
10843	CASH 7 MIDDLE RD R A CONST	DOOR FINAL	Pass	CLOSE INSPECTOR <i>A</i>
	97. S. SPRING	TREE - NO PERMIT	—	INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection ☐ Mon ☐ Tue ☐ Wed ☐ Thur ☒ Fri 9/14-14 Page of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10549	CANTAS	PRE-FINAL	NEED AS BUILT PLMS	
	83 S. Sewalls Pt Rd	WALK THROUGH		
	Modern Movement			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10740	Bruce Lurie	Final		954-379-1570
	3 S. Sewall Pt	on windows	PASS	CLOSE
	Home Depot			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10762		Window		
	16 E. High Point	INSUL	PASS	
	DREAMWORKS	FRAMING		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10693	DAILY	FRAMING		
	117 N. Sewalls Pt Rd	FRUSS ENG	PASS	
	DRIFTWOOD			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10837	BRADLEY	ROOF		
	76 S. Sewalls Pt Rd	IN PROGRESS	PASS	
	INDEP			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection ☐ Mon ☐ Tue ☒ Wed ☐ Thur ☐ Fri 10/29/14 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
110837	Babbitt	Final		
AM Requested	16 S SPR	Roof	PASS	OK
	Independent Const. of TC			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11026	Morris	Rough-in		
Afternoon Requested	120 Hillcrest Drive	Plumbing	PASS	
	O/B			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
11007	Pryceman	Plumbing, electrical	PASS	
Afternoon Requested	30 Simara St.	Mechanical -	FAIL	
	Winchip Construction	Rough-in		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSEPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA

RESOLUTION NO. 90-2

829090

RE: APPLICATION FOR VARIANCE TO
TOWN OF SEWALL'S POINT
ZONING ORDINANCESLegal Description

Lot 2, Block A, Subdivision Homewood, according to the map of Plat Book 3, Page 35, of the public records of Martin County, Florida.

WHEREAS, David T. and Carol Jackson Miller, the owners of the above described real property, applied to the TOWN OF SEWALL'S POINT requesting a variance to the existing zoning requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.2; and

WHEREAS, notice of the public hearing on the variance application was duly published and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 17th day of May, 1990, at 7:30 p.m. at the Town Hall of Sewall's Point; and

WHEREAS, on May 17th, 1990, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application; and

WHEREAS, at said public hearing the applicant was present in person and all interested parties had an opportunity to be heard for or against such application; and

WHEREAS, based on the information presented this Board does hereby make the following findings of fact:

1. That the house was built in 1979.
2. As constructed, it was noted that the southeast corner of the deck of the house encroaches by approximately 7/10 of a foot on a 15 foot required side setback (south). Additionally, the northerly wall of the separate garage nearest the house encroaches by approximately 9/10 of a foot on a 15 foot side setback (north).
3. The applicant purchased the property in 1985.
4. The applicant now desires to sell the property, and the prospective purchaser obtained a survey which showed the above

encroachments. Applicant desires an after-the-fact grant of variance.

5. That ONE objection(s) to the proposed grant of variance as to the deck have been made.

6. That NO objection(s) to the proposed grant of variance as to the garage have been made.

7. That special conditions and circumstances exist which are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district.

8. That the special conditions and circumstances do not result from the actions of the applicant.

9. That granting the variance will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district.

10. That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant.

11. That the granting of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

12. That the reasons set forth in the application and as expressed during the hearing by the applicants justify the granting of Variances and satisfy the requirements of Section XV.B.2. of the Code of Ordinance of the Town of Sewall's Point, Florida.


NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the application by David T. and Carol Jackson Miller for variances after-the-fact of the side setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.2, as to the existing deck structure on the south side of the subject property, and as to the existing garage structure on the north.

side of the subject property are GRANTED.

The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town.

Duly passed and adopted at Public Meeting on

May 17, 1990.


ATTEST: [Signature]
Secretary

BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA

By: [Signature]
Chairman

APPROVED AS TO FORM AND LEGALITY

[Signature]
Douglas K. Sands, Attorney for
Board of Zoning Adjustment

cc: Town Clerk
Applicant

FILED FOR RECORD
MARTIN CO. FLA.
90 MAY 22 PM 2:07
MARSHA S. MILLER
CLERK OF CIRCUIT COURT
BY [Signature] D.C.

APPLICATION TO
THE TOWN OF SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OF PRINT

We, David T. & Carol Jackson Miller of 76 S. Sewall's Pt. Rd.
name of applicant address
Stuart, Florida 34996
city state zip

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property legally described as:

Lot 2, Block A, Subdivision Homewood according to map
of Plat Book 3, Page 35, Section _____, Township _____ South,
Range _____ East, of the public records of Martin County, Florida, or prop-
erty otherwise described as metes and bounds. (Please include current street address)
(long legal description may be attached separately.)

76 S. Sewall's Pt. Rd., Stuart, Florida 34996

for the purpose of Variance of Side Setbacks VI G
(indicate the specific section of Zoning Regulations, Zoning Res-
olution, Zoning Ordinance)

Variances

To authorize upon appeal such variance from the terms of zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted which demonstrates:

1. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
2. That the special conditions and circumstances do not result from the actions of the applicant.
3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district.
4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.
5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.
6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

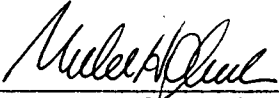
In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The Board of Adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Notice of Public Hearing shall be posted on the property for which the variance is sought and upon the Town Hall bulletin board. Notice shall be published at least eighteen (18) days prior to the public hearing in the Jensen Beach Mirror or other newspaper of general circulation printed in Martin County, and notice shall be sent by certified mail, return receipt requested, by applicant and at applicant's expense, to owners of record of real property involved in said request, with the mailing of said notices being at least eighteen (18) days prior to the date of the hearing.

This certifies that the above statement is correct and accurate. It is also certified that existing deed restrictions or covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all order, codes, conditions, rules, regulations and ordinances pertaining to the use of the above-described property will be complied with. It is further certified that I have read the instructions on the attached sheet and fully understand the conditions set forth and will comply fully with them knowing that failure to comply or omission thereof may result in no action being taken by the Board.



Signature of Applicant or Attorney

Michael H. Olenick, Esquire

11 April 90

date

DO NOT WRITE BELOW THIS LINE

date application filed 4-12-90

checked for completeness by _____ date _____

date copies to Board and Commissioners _____

date sign posted _____ checked by _____

legal notice published/date _____ paper _____

letters to nearby owners checked/date _____ by _____

date of public hearing _____

disposition of case - approved _____ not approved _____

resolution signed _____ date _____

follow-up date if approval was conditional _____

follow-up date entered on Town calendar/date _____ by _____

copies of Board Chairman's report to Commission/date _____

closed file _____

STATEMENT OF BENEFITS

Applicants: David and Carol Miller

The applicants purchased the subject home and lot in 1985. All improvements were present on the lot at the time of purchase. The house was built in 1979 and the Miller's are the third owners. Applicants have entered into a contract to sell their home and a closing is scheduled for May 31, 1990.

Upon review of a survey by the Buyers, it was noted that the southeast corner of the deck encroaches by approximately 7/10 of a foot on a 15 foot required side setback (south). Additionally, the northerly wall of the garage encroaches by approximately 9/10 of a foot on a 15 foot side setback (north).

Purchasers have required a contingency as to these setback issues thereby necessitating a request for this hearing board to issue a variance.

561434

THIS INSTRUMENT WAS PREPARED BY:
GEORGE W. SOMMER, P.A.Attorney at Law
738 Colorado Avenue
P. O. Box 2210
STUART, FLORIDA 33495
(305) 287-2233**Warranty Deed** (STATUTORY FORM — SECTION 689.02 F.S.)

This Indenture, Made this 25th day of June 19 85. Between
 GLEN KALIL and PATRICIA KALIL, his wife
 of the County of Martin, State of Florida, grantor°, and
 DAVID T. MILLER and CAROL JACKSON MILLER, his wife
 whose post office address is 16 Smyth Jwail's Pt. Rd., Stuart
 of the County of MARTIN, State of FLORIDA, grantee°.

Witnesseth, That said grantor, for and in consideration of the sum of Ten and 00/100 (\$10.00)
 ----- Dollars,
 and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
 acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the fol-
 lowing described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 2, Block A, HOMEWOOD SUBDIVISION, according to the Plat
 thereof recorded in Plat Book 3, Page 35, Martin County,
 Florida, public records.

Subject to restrictions, reservations, easements and zoning
 of record and taxes for the year 1985 and subsequent years.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims
 of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
 Signed, sealed and delivered in our presence:

Christine L. Watts
Laura J. Eger

GLEN KALIL (Seal)
Patricia Kalil (Seal)
 PATRICIA KALIL

____ (Seal)
 ____ (Seal)

STATE OF FLORIDA
 COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally
 appeared GLEN KALIL and PATRICIA KALIL, his wife

to me known to be the persons described in and who executed the foregoing instrument and acknowledged before
 me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 25th day of June
 19 85.

My commission expires: 7/5/87

Christine L. Watts
 Notary Public

TOWN of SEWALL'S POINT

COMMISSIONERS:

DOLORES deC. CLARKE, MAYOR
WILLIAM H. BEDELL, VICE MAYOR
ERIC B. HOLLY, COMMISSIONER
SEWARD R. CHARDVOYNE, COMMISSIONER
B.J. ESCUE, COMMISSIONER



TELEPHONE: (407) 287-2455

TOWN CLERK
JOAN H. BARRON

CHIEF OF POLICE
LOUIS J. SAVINI

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34996

M E E T I N G

O F

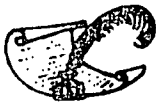
TOWN OF SEWALL'S POINT

BOARD OF ZONING ADJUSTMENT

In the Meeting Room of the Town Hall

on Thursday, May 17, 1990, 7:30 P.M.

For the purpose of discussing the variance of
David T. and Carol Jackson Miller on Lot 2,
Block A, Homewood Subdivision.



DOUGLAS K. SANDS, P.A.

Attorney at Law

300 COLORADO AVE.
P.O. BOX 287
STUART, FLORIDA 34995
TELEPHONE (407) 287-3930

April 18, 1990

The Stuart News
111 E. Ocean Blvd.
Stuart, Florida 34994

RE: Sewall's Point Board of Zoning and Adjustment:
Notice of Hearing

Dear Sir/Madam:

Enclosed please find the original Notice of Public Hearing and one copy. Please publish the enclosed Notice in the legal advertisements of the Stuart News and return the copy to this office with the date of publication on it. I have enclosed a self-addressed, stamped envelope for this purpose.

The statement should be sent to Joan Barrow, Town Clerk, Sewall's Point Town Hall, One S. Sewall's Point Road, Sewall's Point, Stuart, Florida.

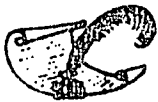
Thank you for your cooperation.

Sincerely,

Dianne Denmon
Legal Assistant to
Douglas K. Sands, Attorney for the
Sewall's Point Board of Zoning
and Adjustment

/dmd
enclosure

cc: Clerk, Town Hall



DOUGLAS K. SANDS, P.A.

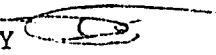
Attorney at Law

300 COLORADO AVE.
P.O. BOX 287
STUART, FLORIDA 34995
TELEPHONE (407) 287-3930

April 18, 1990

MEMORANDUM

TO: SEWALL'S POINT BOARD OF ZONING ADJUSTMENT MEMBERS AND
ALTERNATES

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY 

RE: Application of David T. and Carol Miller - 76 S. Sewall's
Point Road, after-the-fact side setback variance.

Enclosed please find the application of Mr. and Mrs. David T. Miller for an after-the-fact side setback variance. As you will note from the Statement of Benefits, Mr. and Mrs. Miller have the property under contract for sale, and the buyers' survey indicated a small encroachment by the deck and the garage and they seek to have a variance prior to their closing date of May 31, 1990.

We have established Thursday, May 17, at 7:30 p.m. as the date for the BZA hearing on this matter. If anyone has a conflict with that date, please let me know as soon as possible.

DKS/dmd
enclosure
Copy to: Town Clerk

NOTICE OF PUBLIC HEARING

Town of Sewall's Point
Board of Zoning Adjustment

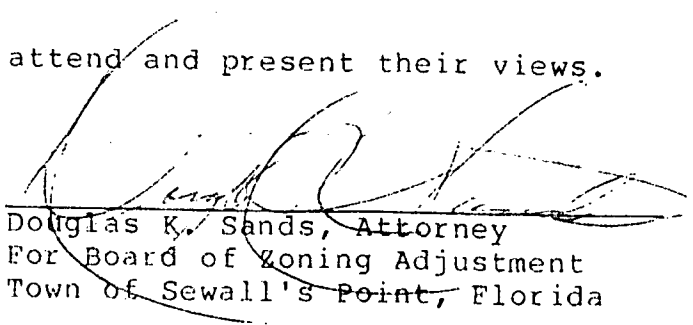
TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN: You are notified that on THURSDAY, MAY 17, 1990, at 7:30 P.M., at the TOWN HALL, SEWALL'S POINT, FLORIDA a Public Meeting and Hearing will be held for the following purposes:

1. Public Hearing on the application of David T. & Carol Jackson Miller seeking a variance from the side setback requirements at 76 South Sewall's Point Road; the property is also described as Lot 2, Block A, HOMEWARD Subdivision, as recorded in Plat Book 3, Page 35, Martin County, Florida public records.

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34994.

The Public is invited to attend and present their views.

Publish:



Douglas K. Sands, Attorney
For Board of Zoning Adjustment
Town of Sewall's Point, Florida

ATTORNEYS' TITLE SERVICES, INC.

Martin Branch
10 Central Parkway
Stuart, Florida 34994

Miller
Search

SPECIAL CERTIFICATE NO.: 42-40936

FOR: Fry & Olenick, P.A.

We hereby certify that a search has been made of the 1989 Tax Roll of Martin County, Florida, regarding a three hundred foot area surrounding a parcel of land being described as follows:

Lot 2, Block A of HOMEWOOD SUBDIVISION, according to the Plat thereof recorded in Plat Book 3, Page 29, Public Records of Martin County, Florida.

And we find that the APPARENT Titleholders of land within a 300 foot perimeter of the subject property to be as listed below:

- | | |
|--|--|
| 1. Martin County
2401 SE Monterey Road
Stuart, Florida 34996 | 8. Neuner, David A & N L
1233 SW 2nd Terrace
Pompano Beach, Fl 33060-8729 |
| 2. State of Florida
Dept of Natural Resources
Douglas Blvd
Tallahassee, Florida 32303 | 9. Marino, Jerry A
OK 82 S Sewalls Pt Rd
Stuart, Fl 34996-6434 |
| 3. Destephan, Joseph V & Carol S.
1117 Bradford Dr
Point Pleasant, NJ 08742-2317 | 10. Reilly, Edward F & P A
73 S Sewalls Pt Rd
Stuart, Florida 34996-6434 |
| 4. Mendinhall, Charles & Vicki
70 S Sewalls Point Rd
Stuart, Florida 34996 | 11. McCarthy, Jerome & B
OK 78 Barkers Pt Rd
Sands Point
Pt Washington, NY 11050-1327 |
| North 5. Drury, Ronald C. & Constance B
808 Almeria Ave
Coral Gables, Florida 33134-4839 | 12. McCarthy, Jerome F. & Babette L
OK 78 Barkers Pt Road
Sands Point
Long Island, NY 11050-1327 |
| 6. Miller, David T. & Carol J.
76 S Sewalls Point Road
Stuart, Florida 34996-6434 | 13. McCampbell, J. Horton (JTWRS)
McCampbell, Malcolm G (JTWRS)
328 Hunter Street
West Palm Beach, Florida 33405-4436 |
| 7. Lenick, Marlene J
78 S Sewalls Pt Rd
Stuart, Florida 34996-6434 | |

PLEASE SEE PAGE TWO

The foregoing information is given in accordance with the requirements set forth in Item No. 14, Paragraph Three, of the application for an amendment, modification, addition or change to the Martin County Comprehensive Plan, revised 8-17-89, and no responsibility is assumed for any changes subsequent to the date of issuance of the aforementioned tax roll.

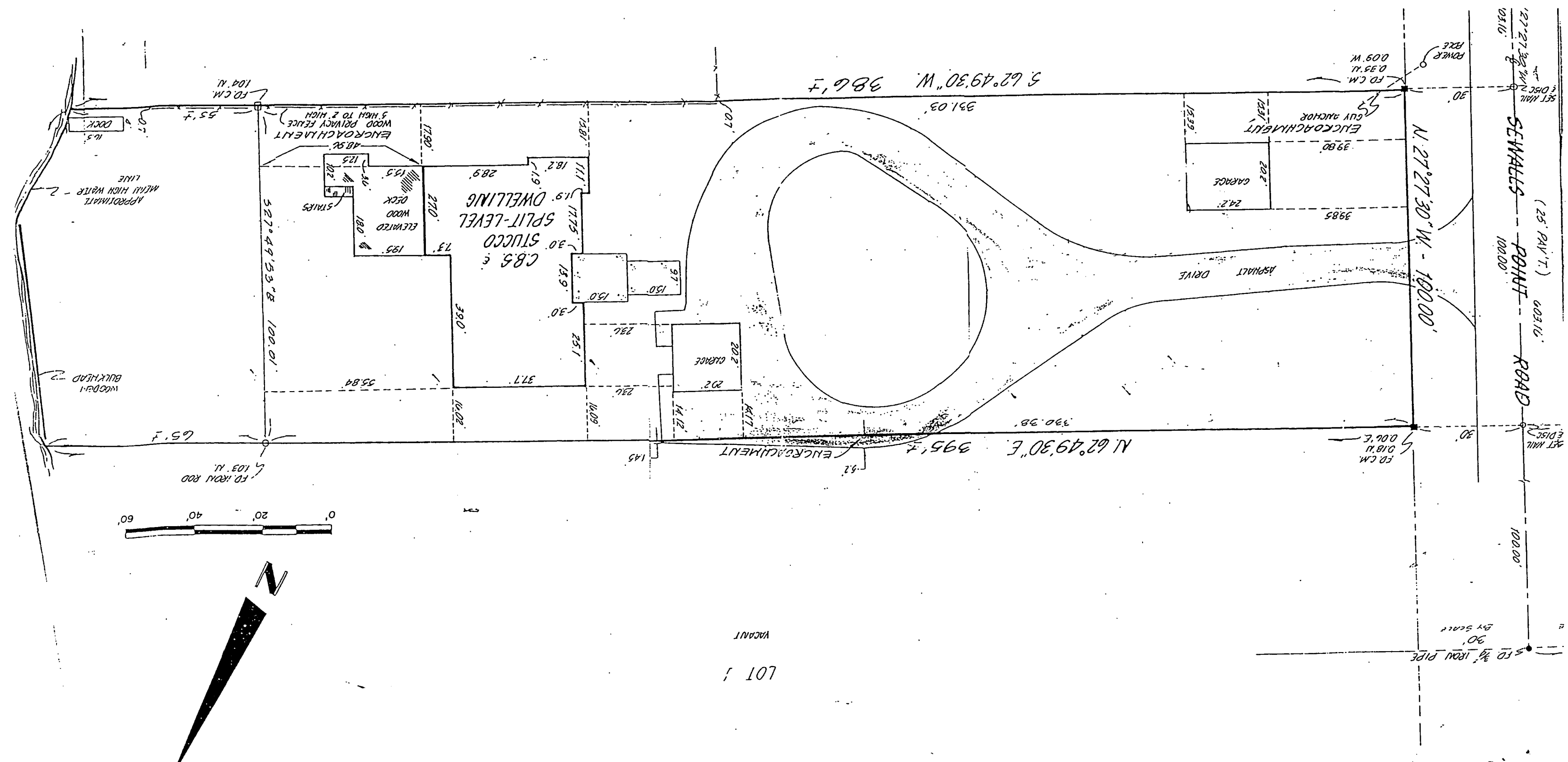
THE FOREGOING INFORMATION IS CERTIFIED AS THE 1989 TAX ROLL

IN WITNESS WHEREOF, Attorneys' Title Services, Inc. has caused these presents to be signed in its name, by its duly authorized representative and its corporate seal to be affixed hereto, this 11th day of April, 1989.

BY:

Michael Debish

14. Hart, Leonard J & Beverly L
83 S Sewalls Pt Road
Stuart, Florida 34996-6447
15. Kennedy, John T & Alison K
3 South Ridgeview Rd
Stuart, Florida 34996-6450
16. Lino, Louis Sr & Filomena
54 Meadow Glen Road
Northport, NY 11768
17. Haynes, Charles H. &
Haynes, Kathryn H
71 S Sewalls Pt Rd
Stuart, Florida 34996-6436
18. Lancaster, W F & Helen J
5 S Lucindia S Pt
Stuart, Florida 34994



CORRESPONDENCE

TOWN OF SEWALL'S POINT

BUILDING DEPARTMENT

One South Sewall's Point Road

Sewall's Point, Florida 34996

Tel: (561) 287-2455

Fax: (561) 220-4765

September 7, 1999

Jim Clark
Clark & Company Construction
1147 S.W. 33rd Street,
Palm City, FL 34990

Re: 76 S. Sewall's Point Road
Temporary Electric Hook-Up Request

Dear Mr. Clark:


In response to your letter request received September 2, 1999, for temporary electric at the captioned premises, please be advised as follows:

Based upon review of the service requested and field inspection of the project on September 3, 1999, the department is prepared to authorize a 30 day temporary power hook-up of the air conditioning system to facilitate the installation of wood flooring, in accordance with industry standards and requirements for temperature and humidity control, for a period of thirty (30) days prior to issuance of a Certificate of Occupancy. No extension of this temporary hook-up will be granted, and the temporary service will be discontinued in the event a Certificate of Occupancy is not issued within this time period.

Enclosed please find a copy of the "Temporary Electric Hook-Up Agreement". This form is to be completed, including execution by the general contractor, owner and electric contractor, and submitted for review prior to the intended date for activation of service.

Please feel free to contact me if you have any questions.

Sincerely,



Edwin B. Arnold, Building Official

cc: Building Commissioner
Town Attorney

THOMAS P. BAUSCH
Mayor

PAMELA M. BUSHA
Vice Mayor

VINCENT N. BARILE
Commissioner

PAUL LUGER
Commissioner

JACQUI THURLOW-LIPPISCH
Commissioner

TOWN OF SEWALL'S POINT

ROBERT L. KELLOGG
Town Manager

ANN-MARIE S. BASLER
Town Clerk

JOHN DONADIO
Chief of Police

JOHN ADAMS
Building Official

JOSE TORRES
Maintenance



March 18, 2013

Larry & Katherine Babbitt
76 S Sewall's Point Rd
Sewall's Point, Florida 34996

Dear Mr. & Mrs. Babbitt,

In reviewing our records back to 2000, we hereby advise you that no Air Conditioning permits have been applied for or issued.

If you have any further questions, please feel free to contact me.

Very truly yours,

TOWN OF SEWALL'S POINT

Valerie Camlet
Building Department Clerk



One South Sewall's Point Road, Sewall's Point, Florida 34996

Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us

Police Department (772) 781-3378 • Fax (772) 286-7669 • E-Mail: sppd@sewallspoint.martin.fl.us

Babbit
No SSR

never pulled
permit

919-796-4552

back-to 2000

NO ~~of~~ A/C permits

Blair School St. north side of road.

THOMAS P. BAUSCH
Mayor

PAMELA M. BUSH
Vice Mayor

VINCENT N. BARILE
Commissioner

PAUL LUGER
Commissioner

JACQUI THURLOW-LIPPISCH
Commissioner

TOWN OF SEWALL'S POINT



ROBERT L. KELLOGG
Town Manager

ANN-MARIE S. BASLER
Town Clerk

JOHN "JACK" DONADIO
Chief of Police

JOHN ADAMS
Building Official

JOSE TORRES
Maintenance

TO: All Commissioners, Town Attorney, the Public

FROM: Thomas P. Bausch, Mayor

SUBJECT: There will be a Workshop of the Town Commission on Tuesday, March 12, 2013 at 7:00 P.M. at the Town Hall

PUBLIC COMMENT IS ENCOURAGED: Please fill in a comment form and return it to the Town Clerk before discussion on an agenda item has begun. Please limit comments to three (3) minutes. As a courtesy to those in attendance it would be appreciated if questions for an individual Commissioner were addressed by telephone, in writing, or in person, outside of the meeting.

AGENDA

1. Call to Order:

**Martin County, Florida
Laurel Kelly, C.F.A***generated on 3/18/2013 11:43:03 AM EDT***Summary**

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
01-38-41-006-001-00020-0	17643	76 S SEWALL'S POINT RD, SEWALL'S POINT	\$827,180	3/16/2013

Owner Information

Owner(Current)	BABBITT LARRY S & KATHERINE A
Owner/Mail Address	56 E WILLIAMS ST ANGIER NC 27501
Sale Date	1/20/1999
Document Book/Page	1365 1207
Document No.	
Sale Price	650000

Location/Description

Account #	17643	Map Page No.	SP-04
Tax District	2200	Legal Description	HOMEWOOD, LOT 2 BLK A
Parcel Address	76 S SEWALL'S POINT RD, SEWALL'S POINT		
Acres	.9030		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$513,000
Market Improvement Value	\$314,180
Market Total Value	\$827,180

**Elliott
Museum**

SEWALL'S POINT

SEE MAP NO. 110

LETTER OF NO OBJECTION

I, ~~Michael J. Lenick~~

Marlene J. Lenick

and

being the owner of certain property adjacent to and abutting the property of Mr. Peter Hubbard 76 S. Sewalls Point Road who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

~~Michael~~ J. Lenick
78 S. Sewalls Point Road

Marlene J. Lenick

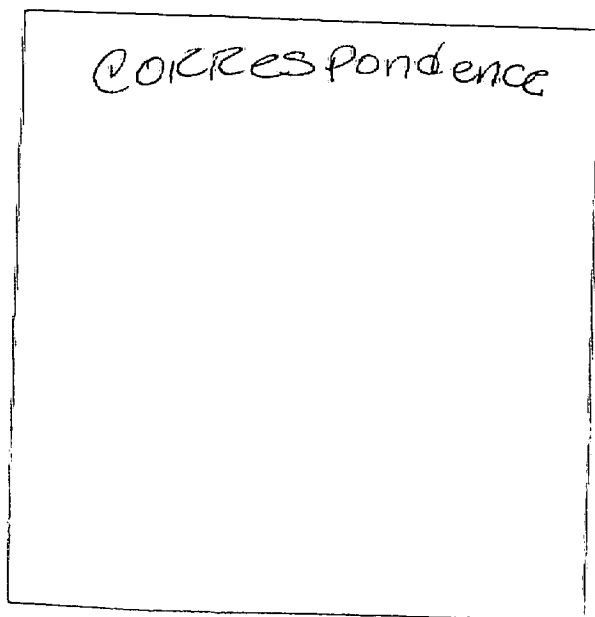
STATE OF FLORIDA

COUNTY OF MARTIN

SWORN TO AND SUBSCRIBED before me this -----day of-----, 19--

Notary Public

My Commission Expires:



Seward R. Chardavoyne
Building Commissioner
Town Of Sewall's Point
1 S. Sewall's Point Road
Stuart, Fl. 33496

June 4, 1991

Re: The request by Mr. Peter Hubbard to build a dock at 76 S. Sewall's Point Rd.

Dear Mr. Chardavoyne, and members of the town Commission, please be advised that with regard to the above question, **I do object to the building of the proposed dock.**

My reason is primarily one of esthetics. I believe that no man made structure could enhance the beauty and appearance of what nature has provided at that location. Therefore, any dock, no matter how small, would be a detraction.

If anyone doubts that, all you have to do is drive onto the causeway and look back at the property along the eastern shore of our peninsula. While some obviously prefer the effect that is generated by the docks which obscure the water's edge in front of the properties across the road from Town Hall, those of us who do not consider that situation desirable, should be allowed to be free from it.

Obviously, the government of the Town of Sewall's Point recognized the potential negative effect situations such as this have on surrounding neighbors and properties. Therefore, it provided for the protection of the rights of those neighbors by adopting an ordinance requiring that adjoining property owners not object before Town council approval is given to proceed with construction.

A dock protruding 308 feet into the heart of that particular gift of nature would permanently and totally alter, not only the property to which it is attached, but also all properties within several hundred feet of its point of origin.

For perspective, consider the following: If the proposed dock were pivoted to the north, parallel to the shore line, its end would reach all the way past my frontage of 100', completely past my other neighbor's frontage (which is 150') and still have enough left over to reach 8 feet in front of the lot **three properties away** from its point of attachment to land. Pivoted to the South, it would cover two properties completely and more than half of the frontage of the lot which is three properties away from Mr. Hubbard's.

That's big. And in this case I can't help but believe that it is obtrusive and of negative effect to all of the properties around it. **It would be impossible for me to look out towards the water and not have the proposed dock looming prominently in my field of vision.**

I would like to mention that I also appeared before the commission one year ago. That issue concerned the same property. The situation involved a request for a setback variance since the garage was built more than a foot too close to my property line. In that case I made the trip to Sewall's Point to say that I **didn't** object to granting the variance. I mention that only

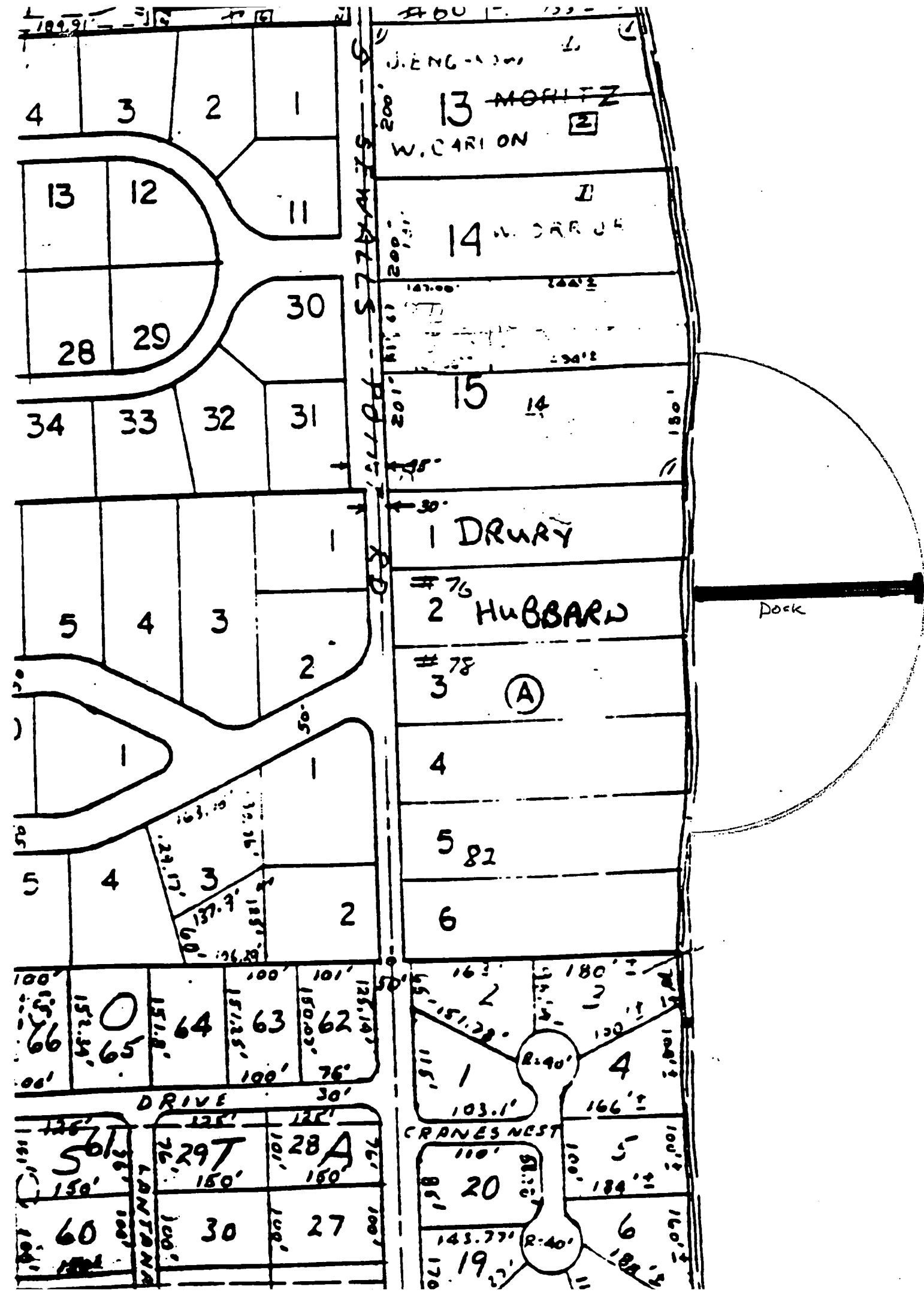
to point out that I am a reasonable person, more than willing to cooperate in the best interest of all. Again, the subject proposal cannot possibly be in the best interest of all affected.

Finally, there are so many places to dock a boat in the Stuart area, and so few places to view that which is a major cause of all of us wanting to be here. The properties in my area are, so far, unspoiled in that manner. I ask that you let them remain so. Please deny approval.

Sincerely,

A handwritten signature in black ink, appearing to read 'R Drury', with a stylized, cursive script.

Ron Drury





Mr. & Mrs. Peter S. Hubbard
76 S. Sewall's Point Road
Stuart, Florida 34996

June 1, 1991

The Town of Sewall's Point
Town Commissioners

Dear Commissioners,

I am writing in regard to our application to build a 300 foot boat dock into the Indian River at 76 S. Sewall's Point Road. We would have attended the Working Committee meeting to present our application in person but we have been called to New York on business.

My wife and I have owned for three years a 17 foot Mako outboard boat which we would like very much to dock off our property. When we purchased this house in May of 1990, part of the appeal was the fact that the former owners, Mr. & Mrs. David Miller, already had the permit and approval from the U.S. Army Corps. of Engineers, the Department of Natural Resources and the Department of Environmental Regulations. We have since transferred this permit into our name. Now that we have made some significant improvements to our house and to the grounds, we would like to complete our "dream house" by including our boat.

Hi-Tide Marine Construction, Inc. has been hired to build the dock and we are assured they will comply with all the requirements of the permit. They recently completed a 500 foot dock at 34 S. Sewall's Point Rd. where a new house is being built.

We hope you will look favorably on our request.

Sincerely,

Peter S. Hubbard

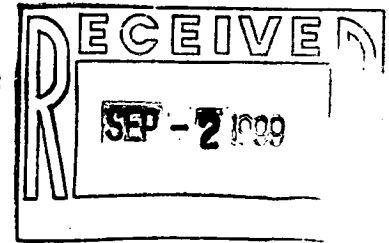
cc: Hi-Tide Marine Construction, Inc.

CLARK & COMPANY CONSTRUCTION

STATE CERTIFIED CONTRACTOR

CBC 014631

1147 S. W. 33RD. STREET
PALM CITY, FLORIDA 34990
(561) 287-7066



Ed Arnold
Town of Sewall's Point
Building Department

Re: Power At Babbitt Residence

Ed;

As per our conversation on Tuesday I am writting this letter to submit to your office, a request for a walk thru inspection of the electrical at 76 S. Sewall's Point Road. The purpose of which to obtain permission to turn on the electric service at the Babbitt residence.

The reasons for this request are:

- 1.) Air conditioning must be turned on to facilitate installation of wood floor, wall paper and mirrors. A.C. would also help reduce warping to interior cabinets and cabinet doors.
- 2.) With power on to building we would also be able to direct Cook Electric to hot check entire system. It is our fear that without a check of the electrical system at this time, that a problem occuring in the interior of a wall may require cutting into a wall and damaging expensive wall coverings.

It is our understanding that if power is approved it is only for 30 days. So power going on Tuesday, September 7th will expire on Wednesday Oct 6th.

It is our contention that 30 days will complete the house. However, because shutters must be installed for a C.O., and that is not likely to happen within the 30 day period, we will be just that one item short of a C.O. Our request would follow that after the 30 day period of full power we be allowed to continue to run:

- 1.) 4 AC units, to safeguard the interior of dwelling.
- 2.) Pool pump, to maintain clean pool.
- 3.) Sprinkler pump, to maintain existing landscaping.

It is understood that the three electric panels be locked in order to assure your office that no other electric be turned on.

In closing I would like to address your concern over the Babbitts moving into the residence before C.O. I fully understand the spirit of the C.O. agreement. We build most of our houses in Martin County and in the city of Stuart. Both of these Building Departments routinely allow, after proper inspection, temporary power to a residence before C.O., and never have we allowed anyone to move in until a full certificate of occupancy is obtained. Mr. & Mrs. Babbitt will wait for that C.O.

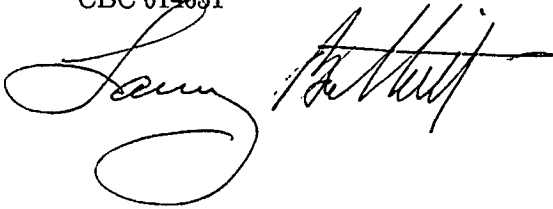
Thank you for your consideration in this matter.

Respectfully,

Jim Clark



Clark & Company Construction
CBC 014631



TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Larry Babbitt Address 76 S. Sewall Pt. Rd. Phone 781-9349
Contractor _____ Address _____ Phone _____

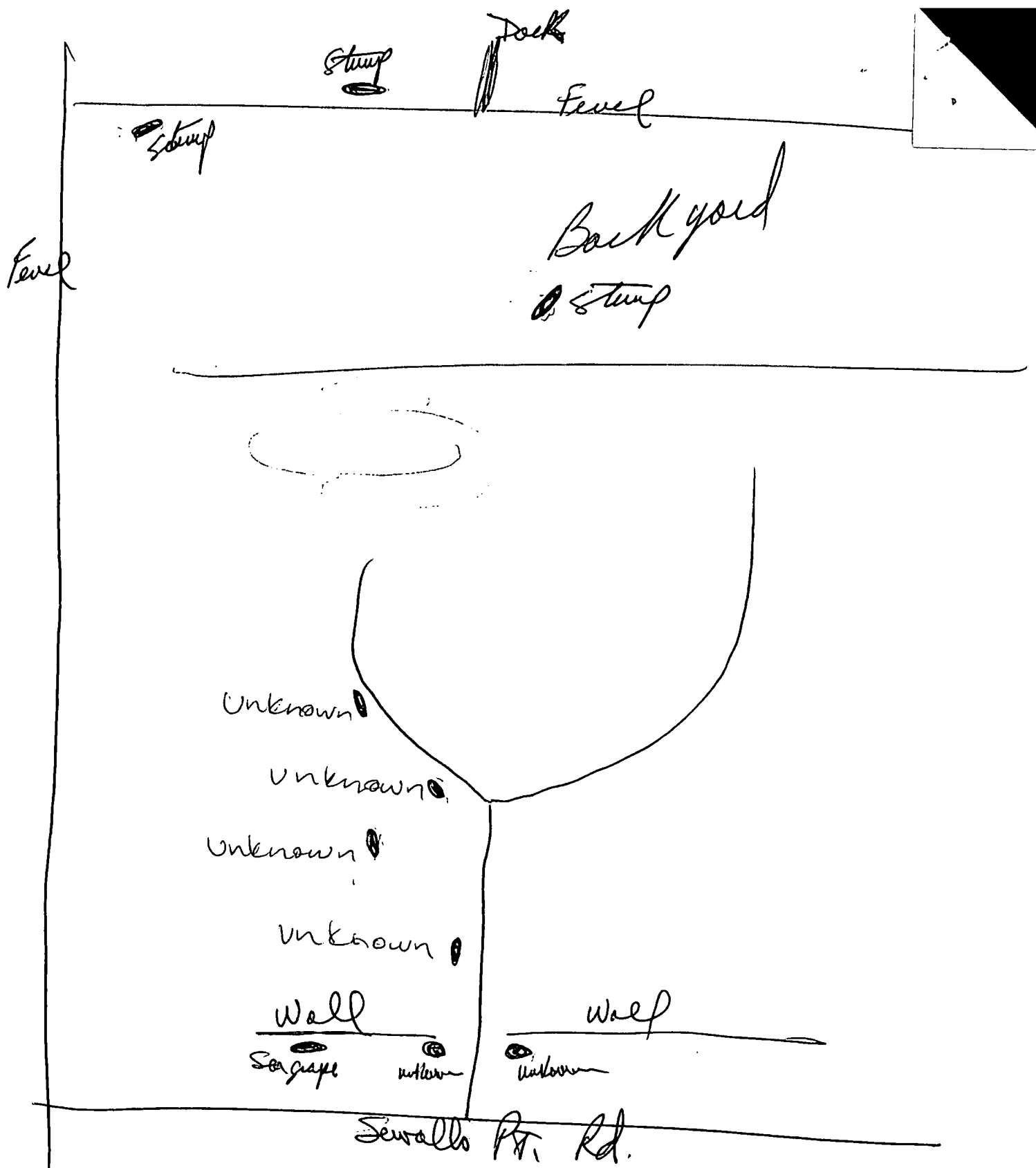
No. of Trees: REMOVE 7 + 3 stumps Type: Various
No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: _____

Signature of Property Owner [Signature] Date 1/17/05

Approved by Building Inspector: [Signature] Date 1/17 Fee: 15

Plans approved as submitted ✓ Plans approved as revised/marked: _____



TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 17 & 2005 TREE REMOVAL PERMIT No 2392

APPLIED FOR BY BABBIT (Contractor or Owner)

Owner _____

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 7 + 3 STUMPS (VARIOUS)

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 15.00

Signed, _____ Applicant Signed, [Signature] Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

WORK HOURS 8:00 A.M. - 5:00 P.M. — NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

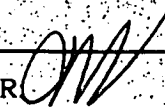

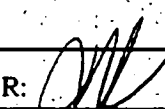


PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: ☒ Mon ☐ Wed ☐ Fri ~~THU~~ 1-17-05, 2005 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7184	LAPIKAS	GARAGE DOOR	PASS	CLOSE
2	31 INDIA LUCIE Pkwy			
	O/B			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6513	DUNN	PLUMBING	FAIL	
		ALC	PASS	
1	31 N. RIVER RD	ELECTRICAL	FAIL	
	FIRST FLORIDA	FRAMING	FAIL	RENEWAL
		1st THING		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7151	HARRIGAN	FRAMING	PASS	
	2 PALMETTO DR	ELECTRICAL	PASS	
6	Worrell	MECHANICAL	PASS	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7151	BABBITT	TREE	PASS	
	76 S. SEWALL'S PT			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	JOINER	TREE	PASS	
	85 S.S.P.R.			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	O'STEEN	TREE	PASS	12 PILES TO
	1 RIDGEVIEW			BE REMOVED
	ANBUS			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

Picked up

TREE REMOVAL RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner LARRY BABBITT Address 76 S. Sewall's Pt Rd Phone 919-7964552

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 2 Species: PIKE

No. of Trees: RELOCATE _____ Species: _____

No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

Reason for tree removal/relocation (See notice above) _____

1 Dead Tree 1 Dying
Signature of Property Owner Larry Babbitt Date 11/16/09

Approved by Building Inspector: [Signature] Date 11-16-09 Fee: N/C

NOTES: 2- DEAD / DYING SLASH PINE TREES

SKETCH:

