

123 South Sewall's Point Road

337

SFR, SCREEN

PORCH, GARAGE

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 337

Date 6/7/72

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner JOHN P. & MARY F. HUGHES Present Address 507 N. RIVER POINT Ph _____

General Contractor CALEDONIAN CONSTN CORP. Address 271 Osceola Ave Stuart Ph 287-8881

Where licensed COUNTY - (MORTON) License No. 93 & State License # 9837

Plumbing Contractor R.C. LINDSAY License No. # 9

Electrical Contractor ALPINE ELECTRIC License No. 62

Street building will front on Sewall's Point Rd

Subdivision Sewall's Point Lot No. 16 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft 1801 sq'

Other Construction (Pools, additions, etc.) Screened Porch 210' + Garage 605'

Contract Price (excluding land, rugs, appliances, landscaping) \$ 36,000⁰⁰

Total cost of permit \$ 200.00

Plans approved as submitted ✓ Plans approved as marked _____

I understand that ~~this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.~~

Signed by ~~General Contractor~~ CALEDONIAN CONSTRUCTION CORP.
271 OSCEOLA
STUART, FLA. 33494

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

John P. Hughes
Signed by Owner

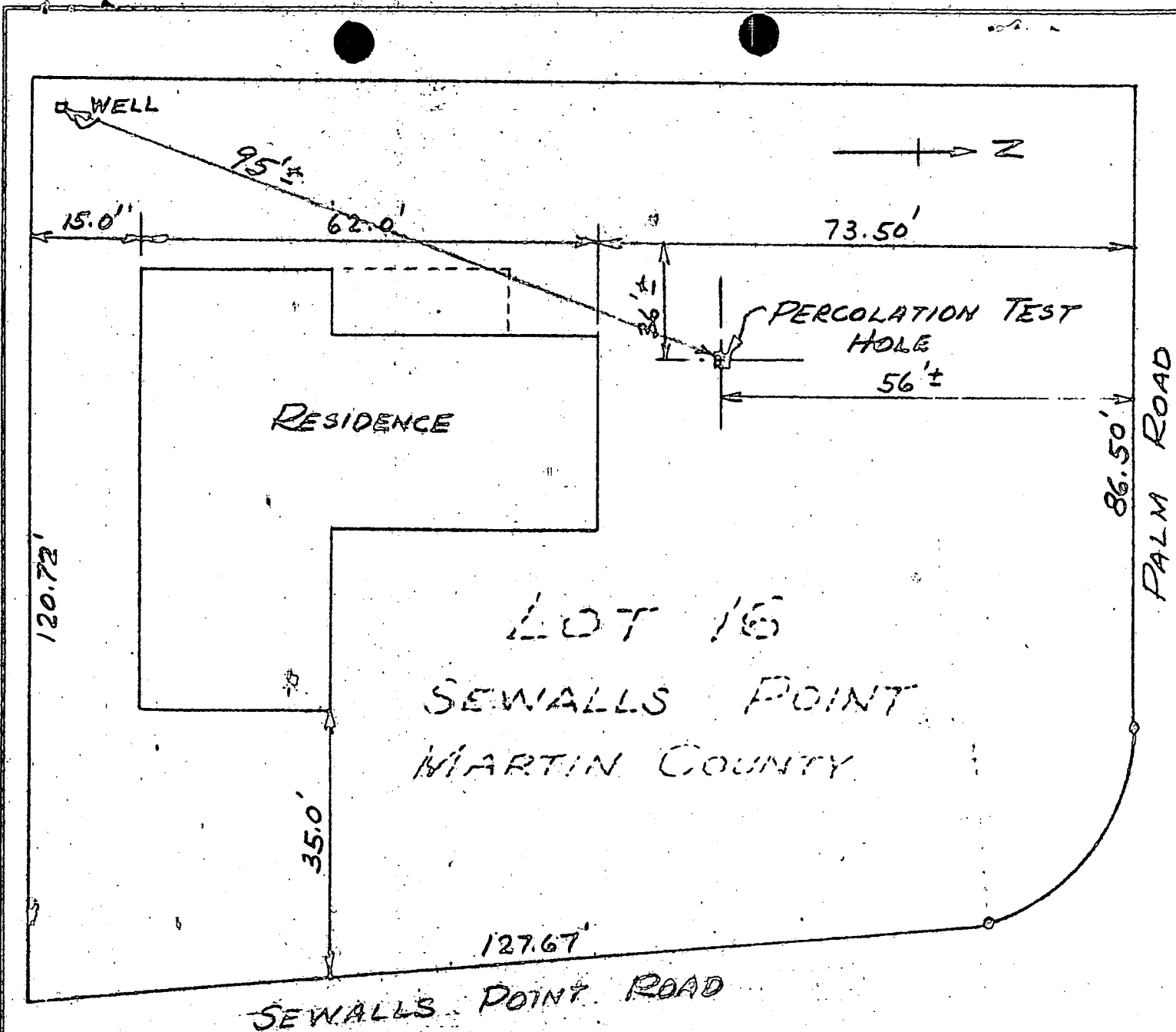
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 5/30/72

Date approved 6/7/72

Certificate of Occupancy issued _____ Date _____



RESULTS OF PERCOLATION TEST PERFORMED 5.30.72

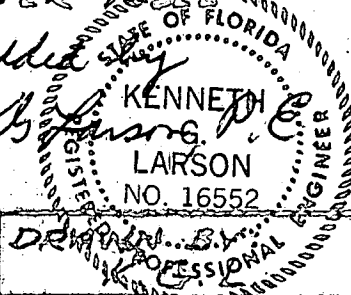
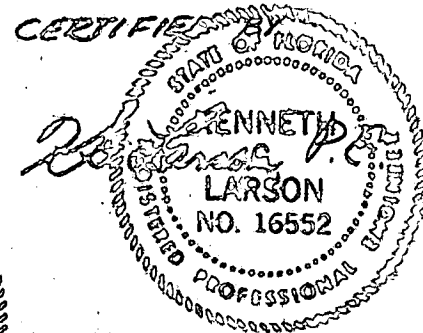
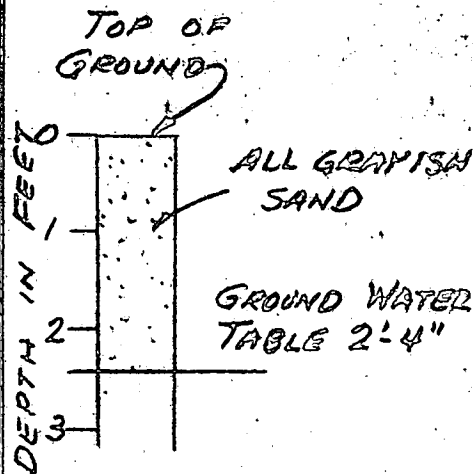
PERCOLATION RATE FOR 1" FALL = 1 MINUTE

GROUND IS FLAT

ESTIMATED GROUND WATER TABLE AT WETTEST SEASON = 2'-0"

NOTE: 1'-0" OF FILL REQUIRED TO PROVIDE 3'-0" WATER TABLE

Fill was added 6/7/72



DATE: 5.31.72	SCALE: 1"=20'	FOR: CALEDONIAN CONSTR	DRAWN BY: [Signature]	JOB No: 72-198 P
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Wm M. Clinton

2933

DECK

Permit No.

2933

Date

2-27-91

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Sarah A. Hagler Present Address 123 S. Sewalls Pt. Rd.

Phone 288-6786

Contractor Same Address Same

Phone Same

Where licensed License number

Electrical contractor N/A License number

Plumbing contractor N/A License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: 8' X 12' Deck on N.W. corner of present structure. (This would extend back porch but without roof + concrete slab floor)

State the street address at which the proposed structure will be built: 123 S. Sewalls Pt. Rd.

Subdivision Palm Row Lot number 16 Block number

Contract price \$ 500XX Cost of permit \$ 15XX

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Sarah A. Hagler

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Sarah A. Hagler

TOWN RECORD

Date submitted Approved: R L May Building Inspector 2-27-91 Date

Approved: Commissioner Date Final Approval given: Date

Certificate of Occupancy issued (if applicable) Date

SP1282

Permit No.

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

This instrument was prepared by:
C. Norris Tilton, Esq.
TILTON & WOODS, P.A.
1935 N.E. Ricou Terrace P.O. Box 1534
JENSEN BEACH, FLORIDA 33457

649054

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 16th day of March 1987, Between

JOHN P. HUGHES and MARY F. HUGHES, his wife

of the County of Martin, State of Florida, grantor*, and

SARAH A. HAGLER and AARON E. GRIFFEY, Joint Tenants with Rights of Survivorship

whose post office address is 123 South Sewall's Point Road, Stuart, Florida

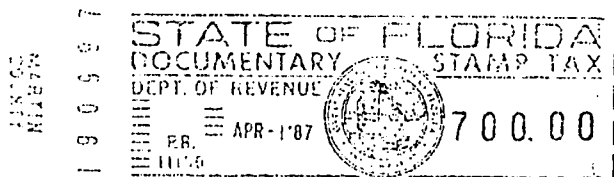
of the County of Martin, State of Florida, grantee*.

Witnesseth, That said grantor, for and in consideration of the sum of -----
-----TEN AND NO/100 (\$10.00)----- Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot 16, PALM ROW, according to the Amended and Revised Plat of Palm Row as filed in Plat Book 4, Page 68, Martin County, Florida.

SUBJECT to all easements, restrictions and zoning of record.



BY [Signature] D.C.
CLERK OF DISTRICT COURT

87 APR 1 P 1: 41

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

[Signature: Kay Cobb]
[Signature: Joyce C. Tilton]

[Signature: John P. Hughes] (Seal)
JOHN P. HUGHES
[Signature: Mary F. Hughes] (Seal)
MARY F. HUGHES
(Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

JOHN P. HUGHES and MARY F. HUGHES, his wife

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 16th day of March, 1987.

My commission expires:

[Signature: Joyce C. Tilton]
Notary Public

Notary Public, State of Florida at Large
My Commission Expires August 28, 1989
BONDED THRU AGENT'S NOTARY BROKERAGE

713 PAGE 1645

Existing porch w/roof

2x4x18"
Joist
braces

SIX Footings
12" Diameter
15" deep

Nine Joist
2x6x8'

Beams
Two 2x6x12'
Bolted together

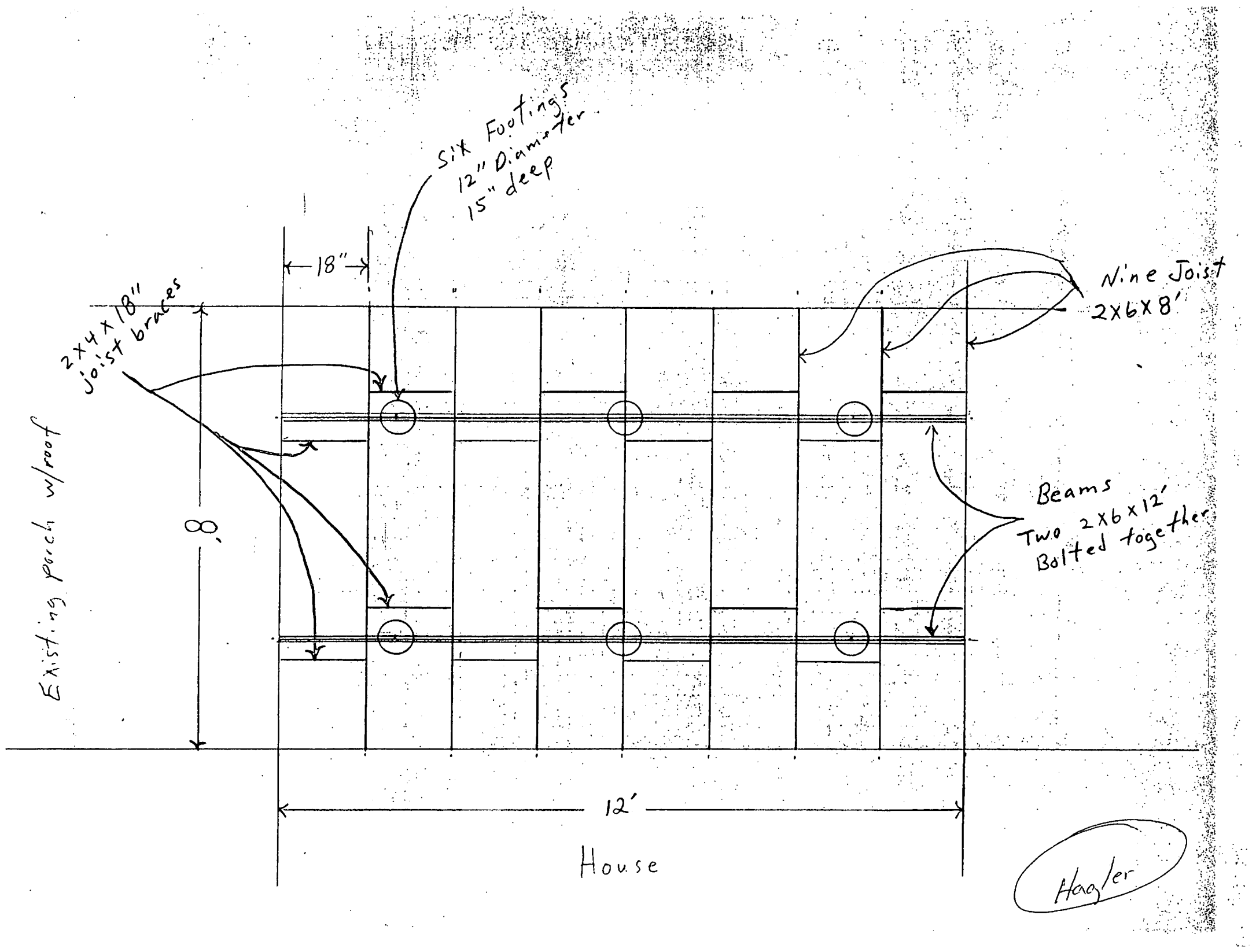
8'

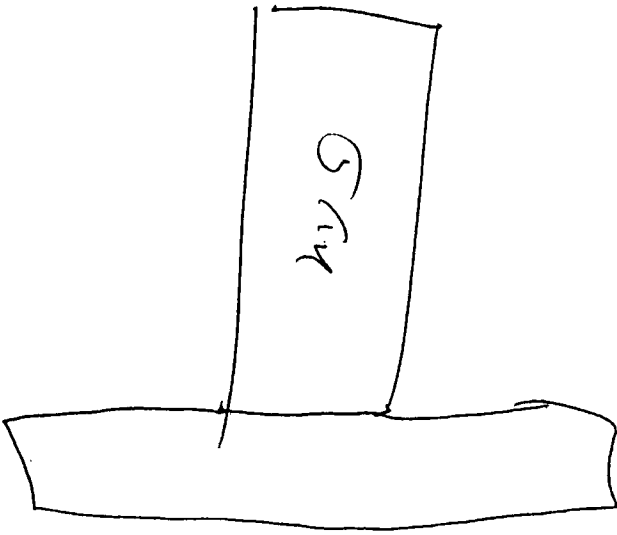
18"

12'

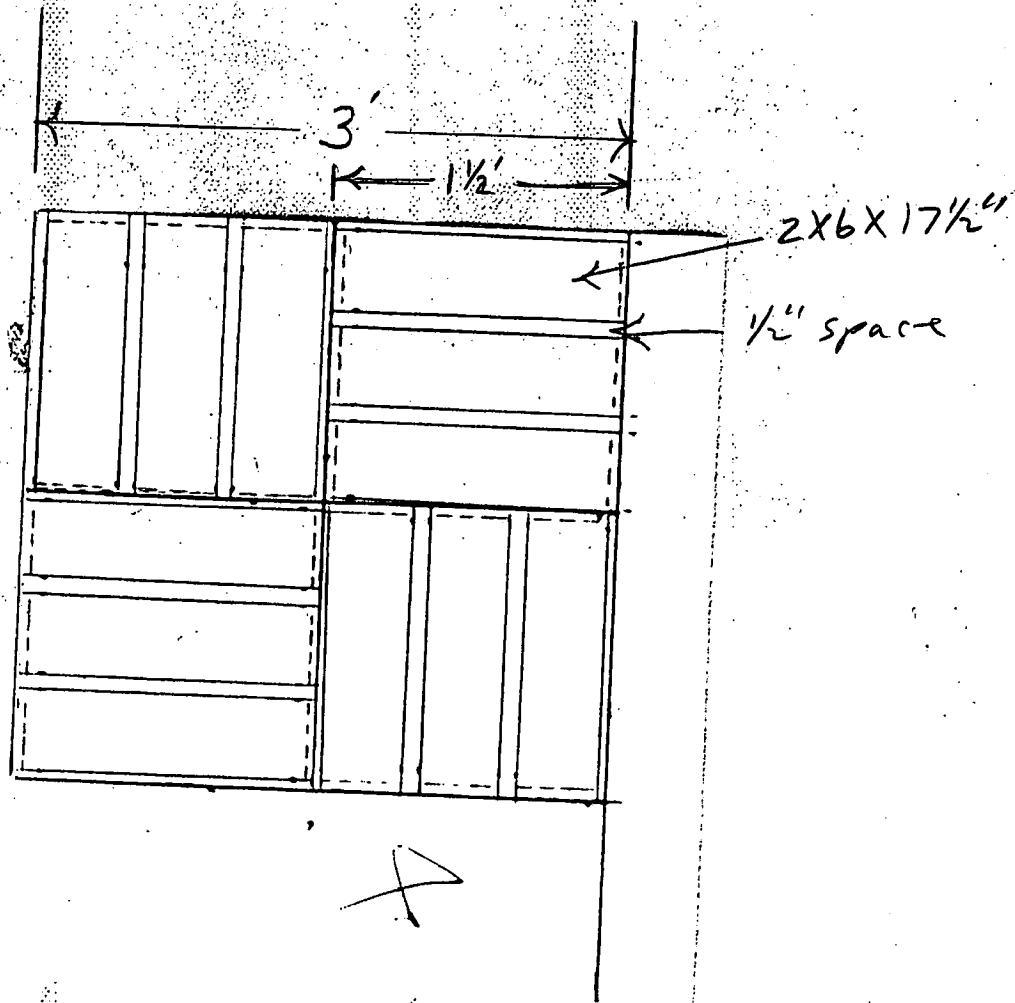
House

Hagler



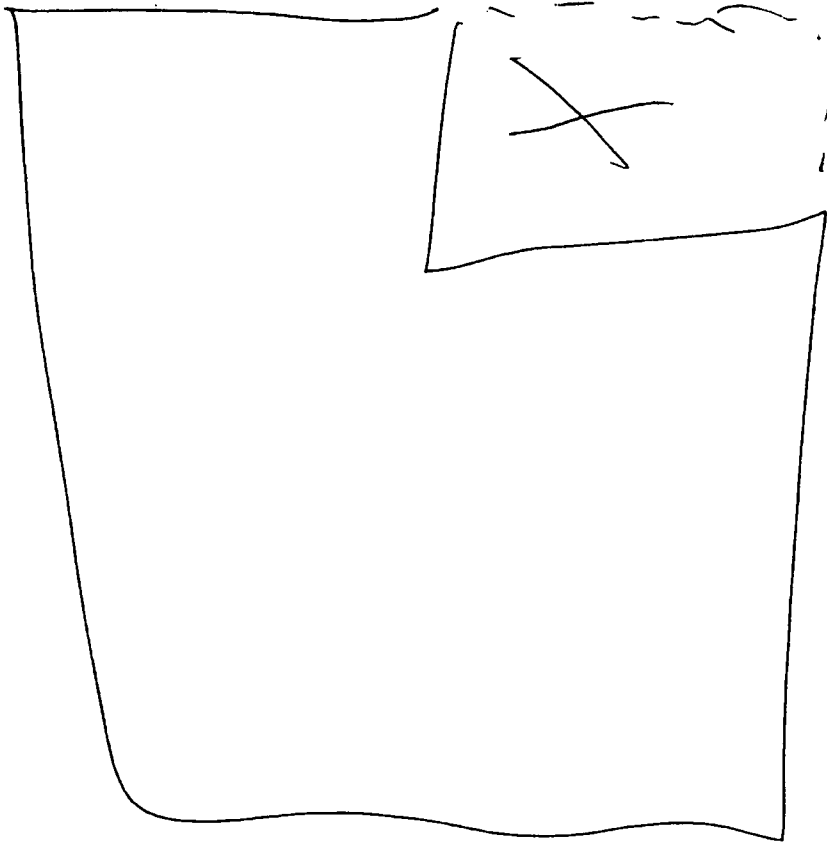


Scale
1" = 1'
Deck Flooring



Hagler

7



VARIANCE

01051467

94 MAR 16 PM 4:03

Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL

1. Owner of Property: SARAH A. HAGLER

2. Legal Description of Property:

PALM ROW REVISED & AMENDED, LOT 16

3. Date of Administrative Variance Application: 3-14-94

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 14th day of MARCH, 1994.

The Town of Sewell's Point, a
Florida municipal corporation

By: S.R. Chardavoigne
Its: Building Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 14th day of March, 1994,
by S.R. Chardavoigne, as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
n.a. as identification and who did not take an oath.



Joan H. Barrow
Name: Joan H. Barrow
I am a Notary Public of the
State of Florida and my
commission expires: 11-16-94

Notary Public, State of Florida

TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPLICATION FORM

1. Owner of Property: SARAH A. HAGLER

2. Address of Property: 123 SOUTH SEWALL'S POINT ROAD

3. Address of Applicant: 123 SOUTH SEWALL'S POINT ROAD

4. Phone No. of Applicant: 407-288-6786

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

1) THE NORTHEAST CORNER OF THE GARAGE IS 33.52 feet from SEWALL'S POINT ROAD. (FRONT)

2) THE SOUTHWEST CORNER IS 14.57 feet from THE SOUTH PROPERTY LINE. (SIDE)

3) THE SOUTH EAST CORNER IS 14.56 feet from THE SOUTH PROPERTY LINE. (SIDE)

6. Have you included the following materials with your application? YES

A. \$250.00 Filing Fee OK 3-14-94

B. \$250.00 Costs Deposit OK 3-14-94

C. Certificate of Ownership

D. Certificate of Adjacent Owners

E. Survey

F. Letters of No Objection or Proof of Mailing Notice

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? YES

I hereby certify that all of the information above and the application materials I have provided are true and correct:

Sarah A. Hagler
Applicant

Dated this 12 day of March, 1994.

FUND OWNER'S FORM

SCHEDULE A

Policy or

Guarantee No. : OPM-18278 Effective Date: April 1, 1987

Member's File Reference: 16-87

Amount of Insurance: \$ 140,000.00

1. Name of Insured:

SARAH A. HAGLER and AARON E. GRIFFEY

2. The estate or interest in the land described herein and which is covered by this policy or guarantee is a fee simple (if other, specify same) and is at the effective date hereof vested in the named insured as shown by instrument recorded in Official Records Book 713, Page 1645, of the Public Records of Martin County, Florida.

3. The land referred to in this policy or guarantee is described as follows:

Lot 16, PALM ROW, according to the Amended and Revised Plat of Palm Row as filed in Plat Book 4, Page 68, Martin County, Florida.

SUBJECT to all easements, restrictions and zoning of record.

ISSUED BY
TILTON & WOODS, P.A.

(Attorney or Firm of Attorneys)

Post Office Box 1534
1935 N.E. Ricou Terrace

(Mailing Address)

5066
MEMBER NO.

Jensen Beach

(City)

C. N. Tilton

ATTORNEY-MEMBER'S SIGNATURE
C. N. TILTON

Florida,

33457

(Zip)

FUND OWNER'S FORM

SCHEDULE B

Policy or Guarantee No.: OPM-18278

This policy or guarantee does not insure against loss or damage by reason of the following exceptions:

1. Taxes for the year of the effective date of this policy or guarantee and taxes or special assessments which are not shown as existing liens by the public records.
 2. Rights or claims of parties in possession not shown by the public records.
 3. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.
 4. Easements or claims of easements not shown by the public records.
 5. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
 6. Mortgage in favor of JOHN P. HUGHES and MARY F. HUGHES, his wife, given by SARAH A. HAGLER and AARON E. GRIFFEY dated March 31, 1987 and recorded April 1, 1987 in O.R. Book 713, Page 1646, public records of Martin County.
-

ST LUCIE

INDIAN

RIVER

RIVER

■ = Subject Property

● = Adjacent Properties

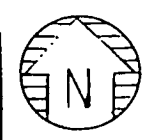
SECTION - 1
1. ARBELA PB 3, Pg 29 P.B. CO.

SECTION - 12
1. RIVERVIEW PB 6, Pg 86 M. Co.
2. RIO VISTA PB 6, Pg 93 M. Co.
3. PINEAPPLE LANE PB 11, Pg 62 M. Co.

ARCHIPELAGO PB 4, Pg 48 M. Co.
MARGUERITA S/D'S PB 3, Pg 100 M. Co.
MANDALAY PB 4, Pg 50 M. Co.
MARGUERITA S/D'S PB 4, Pg 50 M. Co.
MARGUERITA S/D'S PB 4, Pg 50 M. Co.

SCALE 1" = 200'

ASSESSMENT MAP
MARTIN COUNTY
FLORIDA



SEWALL
SECTION HANSON
TOWNSHIP
RANGE
DRAWN BY
DATE

<(S)earch, (R)evue, (M)odify, (F)ormat, or (E)nd :
Searching.....
PID:13 3841 005 000 00150 USE:0100 SN:3 PALM RD
0100-Single Family 13-3841-005 PALM ROW
GEN:ELLIS SHARON LEE
3 PALM RD
STUART FL 34996

LAND DETAILS:
ACRES : .00 LOT DIM :
PROPERTY DETAILS:
LAND USE : Single Family YEAR BUILT: EYB: ROOMS :
IMPRV TYPE : ADJ SQ FT : BATHS :.0
DESIGN TYPE : HTD AREA : FIXTURES:
CONSTR TYPE : GARAGE TYP: STORIES :.0
DEED TRANSFERS: OWNER NAMES SALE PRICE REC DATE I Q ORBK/PAGE
GRANTEE:ELLIS SHARON LEE \$159,000 07/26/91 I Q 0917/0438
GRANTOR:MC FATRIDGE GERALDINE (TR)

SALES HISTORY:
\$100 06/01/86 OR:0677/2450 IU
ASSESSMENTS: TAXES EXEMPTIONS
BLDG VALUE : \$58,700 \$1,451.37 REG HMST
LAND VALUE : \$50,000
AGRI VALUE :
TOTAL : \$108,700

LEGAL:
PALM ROW REVISED & AMENDED LOT 15
ML# : ML HIST:

LABEL:
Sharon Lee Ellis
3 Palm Rd
Stuart FL 34996

*Adjacent on West property
line*

<(S)earch, (R)evue, (M)odify, (F)ormat, or (E)nd :
Searching.....
PID:13 3841 010 000 00010 USE:0000 SN:
0000-Vacant Residential 13-3841-010 KINGSTON COURT & AMENDED
GEN:BROWN VERNON S
9475 S INDIAN RIVER DR
FT PIERCE FL 34982

LAND DETAILS:
ACRES : .00 LOT DIM :
PROPERTY DETAILS:
LAND USE : Vacant Resident YEAR BUILT: EYB: ROOMS :
IMPRV TYPE : ADJ SQ FT : BATHS :.0
DESIGN TYPE : HTD AREA : FIXTURES:
CONSTR TYPE : GARAGE TYP: STORIES :.0
DEED TRANSFERS: OWNER NAMES SALE PRICE REC DATE I Q ORBK/PAGE
GRANTEE:BROWN VERNON S \$38,000 12/01/86 V Q 0701/1772
GRANTOR:NO NAME AVAILABLE

SALES HISTORY:
\$100 05/00/84 OR:0602/1913 VU
ASSESSMENTS: TAXES EXEMPTIONS
BLDG VALUE : \$664.11 NONE
LAND VALUE : \$38,300
AGRI VALUE :
TOTAL : \$38,300

LEGAL:
KINGSTON COURT LOT 1
ML# : ML HIST:

LABEL:
Vernon S Brown
9475 S Indian River Dr
Ft Pierce FL 34982

*Adjacent on south property
line*

Searching.....
PID:13 3841 010 000 00020 USE:0100 SN:3 KINGSTON CT
0100-Single Family 13-3841-010 KINGSTON COURT & AMENDED
GEN:MCCARTHY TERENCE P & SALLY J
3 KINGSTON COURT
STUART FL 34996-6332

LAND DETAILS:
ACRES : .00 LOT DIM :
PROPERTY DETAILS:
LAND USE : Single Family YEAR BUILT: EYB: ROOMS :
IMPRV TYPE : ADJ SQ FT : BATHS :.0
DESIGN TYPE : HTD AREA : FIXTURES:
CONSTR TYPE : GARAGE TYP: STORIES :.0
DEED TRANSFERS: OWNER NAMES SALE PRICE REC DATE I Q ORBK/PAGE
GRANTEE:MCCARTHY TERENCE P & SALLY \$42,500 10/01/86 V Q 0691/1266
GRANTOR:NO NAME AVAILABLE

SALES HISTORY:
\$100 05/00/84 OR:0602/1913 VU
ASSESSMENTS: TAXES EXEMPTIONS
BLDG VALUE : \$189,600 \$3,721.16 REG HMST
LAND VALUE : \$50,000
AGRI VALUE :
TOTAL : \$239,600

LEGAL:
KINGSTON COURT LOT 2
ML# : ML HIST:

LABEL:
Terence P McCarthy & Sally J
3 Kingston Court
Stuart FL 34996-6332

*Adjacent on Southeast
corner property line*

FORM LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by SARAH A. HAGLER

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by SARAH A. HAGLER with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Sharon Lee Ellis

PALM ROW LOT 15

3/12/94

FORM LETTER OF NO OBJECTION

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by SARAH A. HAGLER

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by SARAH A. HAGLER with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



VERNON S. Brown

Kingston Ct. Lot #1

3/12/94

FORM LETTER OF NO OBJECTION


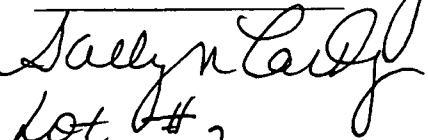
The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by SARAH A. HAGLER

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by SARAH A. HAGLER with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,



Lot #2

kathy/tosp/letter/form

3/12/94

TOWN OF SEWALL'S POINT
FLORIDA

REQUEST FOR CHECK

DATE: 4-19-94

PAY TO: Sarah A. Hagler

AMOUNT: \$250.00

FOR: refund of cost deposit
or administrative variance Ch. 6802
granted 3-14-94

PAID
4/19/94

APPROVAL: *AS* refund

DATE: 4-19-94

PURCHASE ORDER #: _____

ACCOUNT NAME

Variances - Filing Fees

ACCOUNT NUMBER

#3210

ELEVATION
CERTIFICATE

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

O.M.B. No 3067-0077
Expires May 31, 1993

ATTENTION: Use of this certificate does not provide a waiver of the flood insurance purchase requirement. This form is used only to provide elevation information necessary to ensure compliance with applicable community floodplain management ordinances, to determine the proper insurance premium rate, and/or to support a request for a Letter of Map Amendment or Revision (LOMA or LOMR). Instructions for completing this form can be found on the following pages.

SECTION A PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
BUILDING OWNER'S NAME DENNIS O'TOOLE	POLICY NUMBER
STREET ADDRESS (including Apt., unit, Suite and/or Bldg. Number, OR P.O. ROUTE AND BOX NUMBER) 123 S. SEWELL'S POINT ROAD	COMPANY NAME NUMBER
OTHER DESCRIPTION (Lot and Block Numbers, etc.) LOT 16, PALM ROW REVISED	
CITY SEWALLS POINT	STATE FLA.
	ZIP CODE

SECTION B FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM (See Instructions):

1. COMMUNITY NUMBER	2. PANEL NUMBER	3. SUFFIX	4. DATE OF FIRM INDEX	5. FIRM ZONE	6. BASE FLOOD ELEVATION (in AO Zones, use depth)
120164	0002	C	4/3/84	A-8	ELEV. 9.00

7. Indicate the elevation datum system used on the FIRM for Base Flood Elevations (BFE): NGVD '29 Other (describe on back)
8. For Zones A or V, where no BFE is provided on the FIRM, and the community has established a BFE for this building site, indicate the community's BFE: feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION C BUILDING ELEVATION INFORMATION

- Using the Elevation Certificate Instructions, indicate the diagram number from the diagrams found on Pages 5 and 6 that best describes the subject building's reference level 1.
- (a). FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
 (b). FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level from the selected diagram, is at an elevation of feet NGVD (or other FIRM datum—see Section B, Item 7).
 (c). FIRM Zone A (without BFE). The floor used as the reference level from the selected diagram is feet above or below (check one) the highest grade adjacent to the building.
 (d). FIRM Zone AO. The floor used as the reference level from the selected diagram is: feet above or below (check one) the highest grade adjacent to the building. If no flood depth number is available, is the building's lowest floor (reference level) elevated in accordance with the community's floodplain management ordinance? Yes No Unknown
- Indicate the elevation datum system used in determining the above reference level elevations: NGVD '29 Other (describe under Comments on Page 2). (NOTE: If the elevation datum used in measuring the elevations is different than that used on the FIRM [see Section B, Item 7], then convert the elevations to the datum system used on the FIRM and show the conversion equation under Comments on Page 2.)
- Elevation reference mark used appears on FIRM: Yes No (See Instructions on Page 4)
- The reference level elevation is based on: actual construction construction drawings
 (NOTE: Use of construction drawings is only valid if the building does not yet have the reference level floor in place, in which case this certificate will only be valid for the building during the course of construction. A post-construction Elevation Certificate will be required once construction is complete.)
- The elevation of the lowest grade immediately adjacent to the building is: **5.5** feet NGVD (or other FIRM datum—see Section B, Item 7).

SECTION D COMMUNITY INFORMATION

- If the community official responsible for verifying building elevations specifies that the reference level indicated in Section C, Item 1 is not the "lowest floor" as defined in the community's floodplain management ordinance, the elevation of the building's "lowest floor" as defined by the ordinance is: feet NGVD (or other FIRM datum—see Section B, Item 7).
- Date of the start of construction or substantial improvement:

SECTION E CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state or local law to certify elevation information when the elevation information for Zones A1-A30, AE, AH, A (with BFE), V1-V30, VE, and V (with BFE) is required. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. In the case of Zones AO and A' (without a FEMA or community issued BFE), a building official, a property owner, or an owner's representative may also sign the certification.

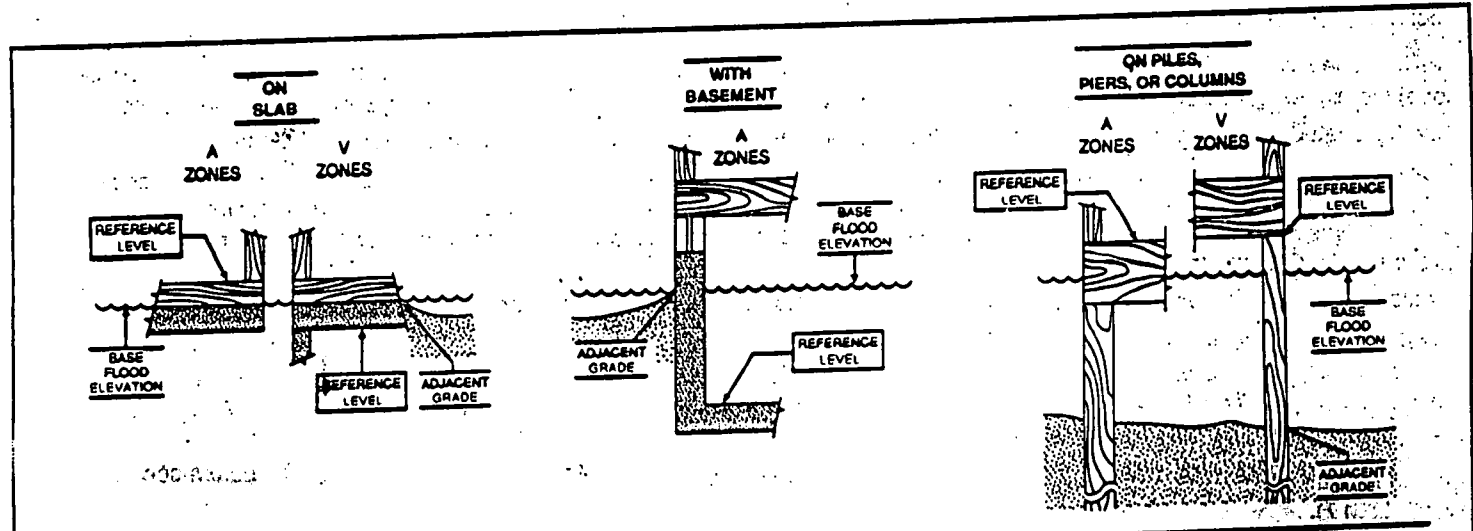
Reference level diagrams 6, 7 and 8 - Distinguishing Features - If the certifier is unable to certify to breakaway/non-breakaway wall, enclosure size, location of servicing equipment, area use, wall openings, or unfinished area Feature(s), then list the Feature(s) not included in the certification under Comments below. The diagram number, Section C, Item 1, must still be entered.

I certify that the information in Sections B and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME Stephen J. Brown		LICENSE NUMBER (or Affix Seal) 4049	
TITLE Land Surveyor		COMPANY NAME Stephen J. Brown, Inc.	
ADDRESS 290 Florida Street		CITY Stuart	STATE Florida
SIGNATURE		DATE 2/28/94	ZIP 34994
		PHONE (407) 288-7176	

Copies should be made of this Certificate for: 1) community official, 2) insurance agent/company, and 3) building owner.

COMMENTS:



The diagrams above illustrate the points at which the elevations should be measured in A Zones and V Zones. Elevations for all A Zones should be measured at the top of the reference level floor. Elevations for all V Zones should be measured at the bottom of the lowest horizontal structural member.

$$\begin{array}{r} 61 \times 26 = 1586 \\ + 26 \times 26 = 676 \\ \hline 2262 \end{array}$$

$$\begin{array}{r} 58 \times 26 = 1508 \\ 35 \times 35 = 1225 \\ \hline 2733 \\ + \end{array}$$

$$11 \times 34 = 374$$

$$\begin{array}{r} \text{Present Dr } 20 \times 30 = 600 \\ 20 \times 30 = 600 \\ 70 \times 30 = 2100 \\ \hline 3300 \end{array}$$

3601

REROOF

TAX FOLIO NO. 133841005 0000016080000

DATE 5-10-94

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3601

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dennis O'Toole Present address 123 S. Sewalls Pt. Rd.

Phone _____ Sewalls Pt. FL.

Contractor Carlton Roofing Inc. Address 1682 N. Nemoy. Co. PSL.

Phone 335-9550 FL.

Where licensed FL. State Roofing License number CCC 032513

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Single Family Residence Reroof - remove 2 layers shingles
replace bad wood install new gbr. flooring - 25 yr. Arch. Shingles

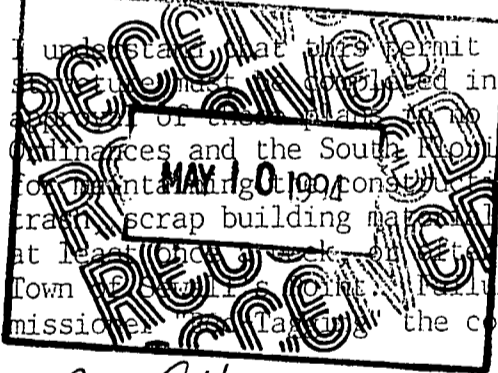
State the street address at which the proposed structure will be built:

Subdivision Palm Row Lot Number 16 Block Number _____

Contract price \$ # 5000.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that this permit in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or whenever necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner halting the construction project.



Brad Hogan

Contractor Bruce Roemer

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

X Owner: Dennis O'Toole

TOWN RECORD

Date submitted 5-10-94

Approved: Pale Brown 5/10/94
Building Inspector Date

Approved: [Signature] 5/13/94
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____

Town of Sewall's Point

P.L.N. _____

Date _____

BUILDING PERMIT APPLICATION

to construct

NEW CONSTRUCTION ADDITION ALTERATION DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: Fence CONTRACT PRICE \$ 550

Owner's Name Denis Otoole

Owner's Address 123 Sewell's Point Road

Fee Simple Titleholder's Name (If other than owner) _____

Fee Simple Titleholder's Address (If other than owner) _____

City _____ State _____ Zip _____

Contractor's Name Quality Fence

Contractor's Address 624 NW Camino 361-879-9126

City PSL State FLA Zip 34952

Job Name Otoole

Job Address 123 Sewell's Point Road

City _____ State _____ Zip _____

Legal Description _____

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name _____

Architect/Engineer's Address _____

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent _____ Date _____
James J. Kiestead 4-27-98
Contractor _____ Date _____

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this ___ day of _____, 199__ by _____ who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: STAR M. GARDNER
Star M. Gardner

Typed, printed or stamped
(NOTARY SEAL)



STAR M. GARDNER
My Comm Exp. 4/13/2001
Bonded By Service Ins
No. CC638429
I Personally Know _____

I am a Notary Public of the State of Florida having a commission number of CC638429 and my commission expires: 4/13/01

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 27 day of April 1998 by James J. Kiestead who: [] is/are personally known to me, or [] has/have produced _____ as identification, and who did not take an oath.

Name: _____

Typed, printed or stamped
(NOTARY SEAL)

I am a Notary Public of the State of Florida having a commission number of _____ and my commission expires: _____

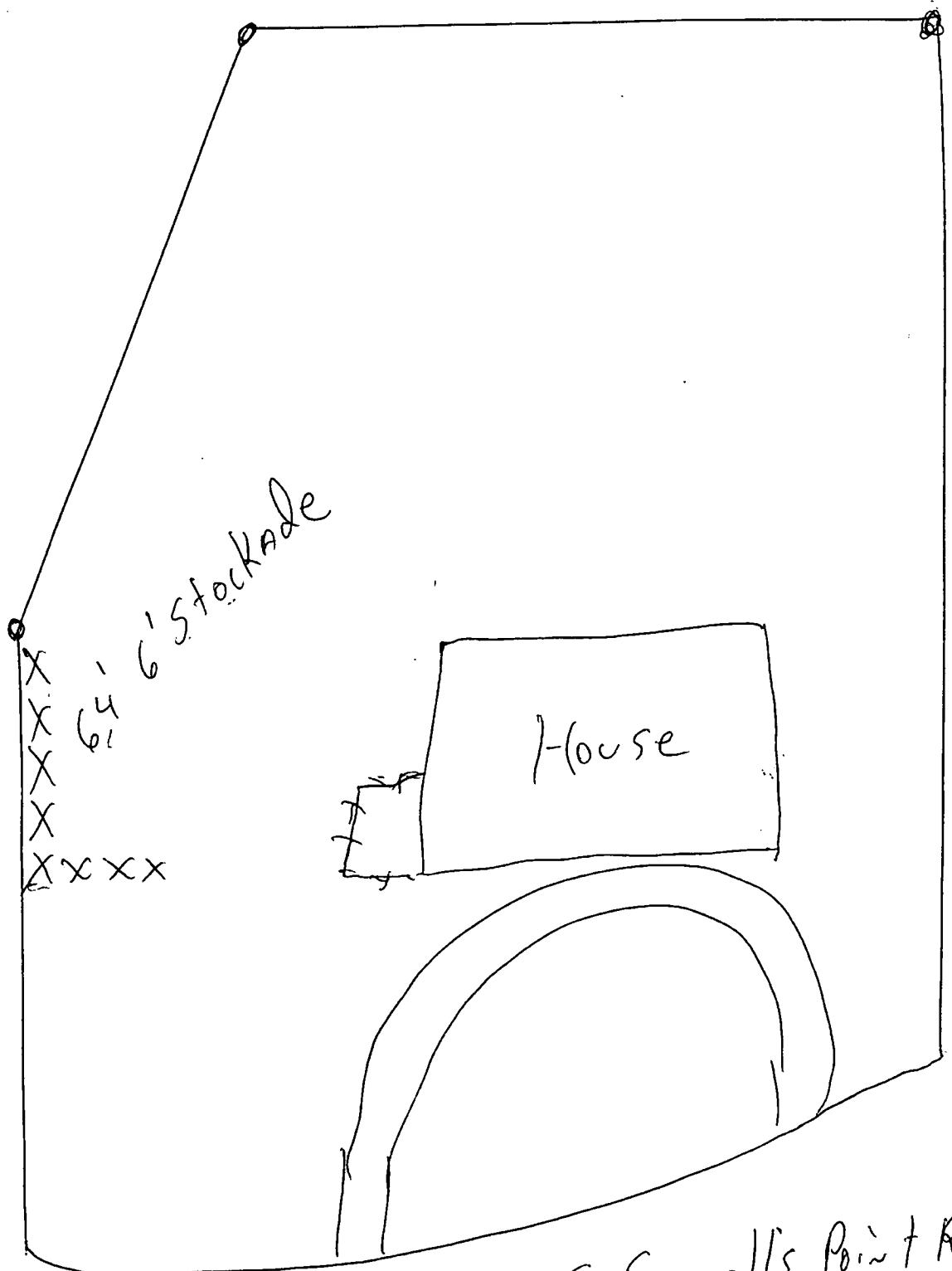
Certificate of Competency Holder

Contractor's State Certification or Registration No. _____

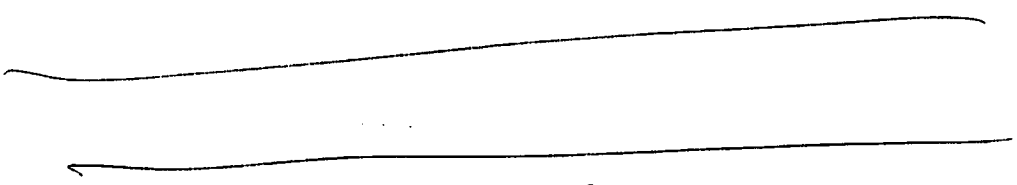
Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY [Signature] Permit Officer

Building Commissioner



123 S Sewell's Point Road



4330

SCREEN

ENCLOSURE

WINDOWS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/5/98

BUILDING PERMIT NO. 4330

Building to be erected for DENNIS O'TOOLE

Type of Permit Screen Encl.

Applied for by JENSEN BEACH ALUMINUM (Contractor)

Building Fee 100

Subdivision PALM ROW Lot 16 Block _____

Radon Fee _____

Address 123 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure SCREEN ENCLOSURE

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

Plumbing Fee _____

13-38-41.005.0000160-80000

Roofing Fee _____

Amount Paid 100 Check # 6377 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 6,209

TOTAL Fees 100

Signed X Jim Zuk
Applicant

Signed [Signature]
Town Building Inspector

SCREEN ENCLOSURE PERMIT

INSPECTIONS

SETBACKS

DATE 2/19/98

STEEL & BOND
FINAL

DATE 2/19/98
DATE _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction
- Remodel
- Addition
- Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

4330

Town of Sewall's Point

P.I.N. _____

Date _____

BUILDING PERMIT APPLICATION

NEW CONSTRUCTION ADDITION ALTERATION ^{to construct} DEMOLITION

RESIDENTIAL COMMERCIAL _____ SF _____ CF

OTHER: Screen enclosure w/ privacy windows ~~to screen enclosure~~ CONTRACT PRICE 6,209.00

Owner's Name Dennis O'Toole

Owner's Address 123 S. Sewalls Pt Rd

Fee Simple Titleholder's Name (If other than owner) N/A

Fee Simple Titleholder's Address (If other than owner) N/A

City _____ State _____ Zip _____

Contractor's Name Jensen Beach Aluminum

Contractor's Address 1720 NW Federal Hwy

City Stuart State FL Zip 34994

Job Name Same

Job Address Same

City _____ State _____ Zip _____

Legal Description Lot 16 Palm Row Plot Book 4 PAGE 68

Bonding Company _____

Bonding Company Address _____

City _____ State _____ Zip _____

Architect/Engineer's Name Lawrence E Bennett P.E.

Architect/Engineer's Address PO Box 4368 S. DAYTONA FL 32121

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

X Stephen J Mrella agent 2-3-98
Owner or Agent Date

X Stephen J Mrella 2-3-98
Contractor Date

COUNTY OF MARTIN
STATE OF FLORIDA

Sworn to and subscribed before me this 2 day of Feb, 1998 by Steve Coella who: is/are personally known to me, or has/have produced _____ as identification, and who did not take an oath.

Name: John Tinney
Typed, printed or stamped

(NOTARY SEAL)



JOHN TINNEY
COMMISSION # CC 411446
EXPIRES OCT 3, 1998
BONDED THRU
ATLANTIC BONDING CO., INC.

I am a Notary Public of the State of Florida having a commission number of CC411446 and my commission expires: 10-3-98

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 2 day of Feb, 1998 by Steve Coella who: is/are personally known to me, or has/have produced _____ as identification, and who did not take an oath.

Name: John Tinney
Typed, printed or stamped

(NOTARY SEAL)



JOHN TINNEY
COMMISSION # CC 411446
EXPIRES OCT 3, 1998
BONDED THRU
ATLANTIC BONDING CO., INC.

I am a Notary Public of the State of Florida having a commission number of CC411446 and my commission expires: 10-3-98

Certificate of Competency Holder

Contractor's State Certification or Registration No. X CRC056179

Contractor's Certificate of Competency No. _____

APPLICATION APPROVED BY _____ Permit Officer

_____ Building Commissioner

NOTICE OF COMMENCEMENT

Permit No. _____
State Of _____

Tax ID No. 13-38-41-005-000-00160-80000
County Of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of property and street address, if available Lot 16 Palm Row
Plat book 4 page 68

General description of improvements Change existing screen room to glass Rm
Owner Dennis O'Toole
Address 123 S. Sewalls Pt Rd Sewall Pt Fl.
Owner's interest in site of improvement _____

Fee Simple Title holder (if other than owner) _____

Address _____

Contractor Jensen Bch ALUMINUM Phone# 561-692-0090
Address 1720 NW Federal Hwy Stuart FL Fax# 692 9744

Surety _____ Phone# _____
Address _____ Fax# _____
Amount of Bond \$ _____

Lender _____ Phone# _____
Address _____ Fax# _____

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

Name _____ Phone# _____
Address _____ Fax# _____

In addition to himself, owner designates _____ of _____
(Phone# _____ Fax# _____) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement is one year from the date of recording unless a different date is specified. _____

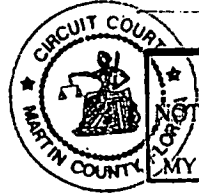
Dennis O Toole
OWNERS SIGNATURE

STATE OF FLORIDA, COUNTY OF Martin
The foregoing instrument was acknowledged before me this 3rd day of February, 1998, by D. O'Toole, who is personally known to me or who has produced _____ as identification.

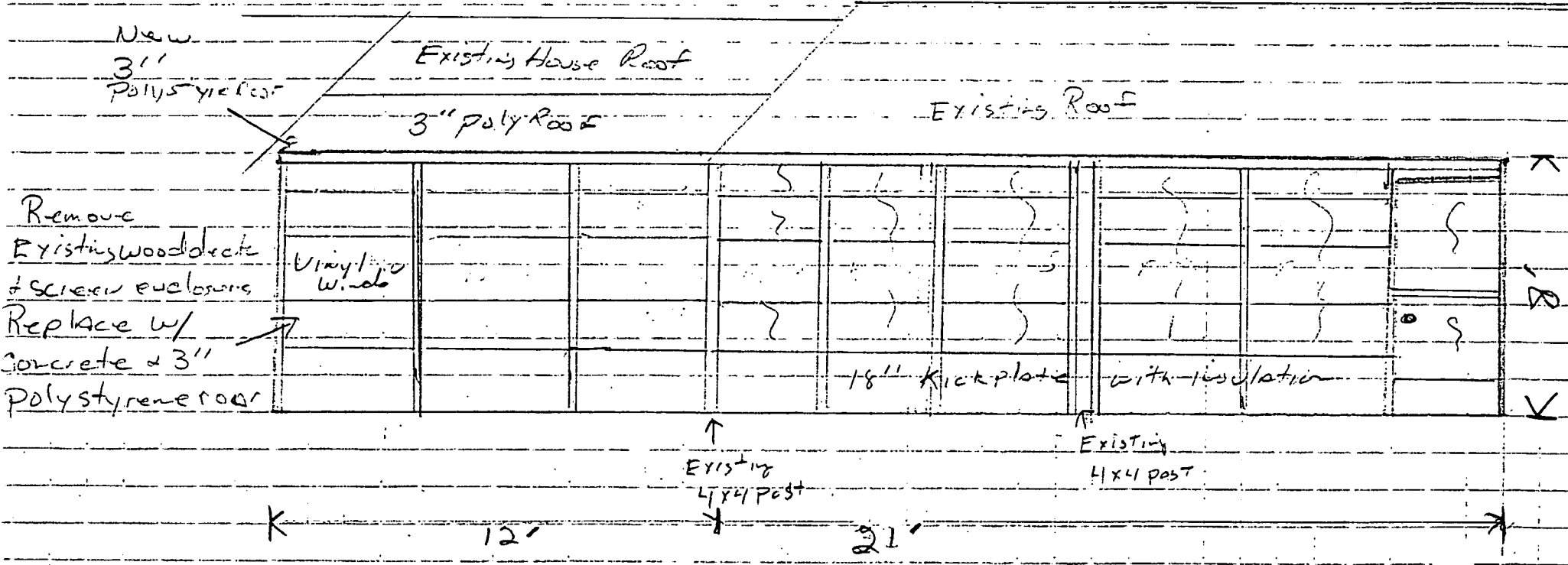
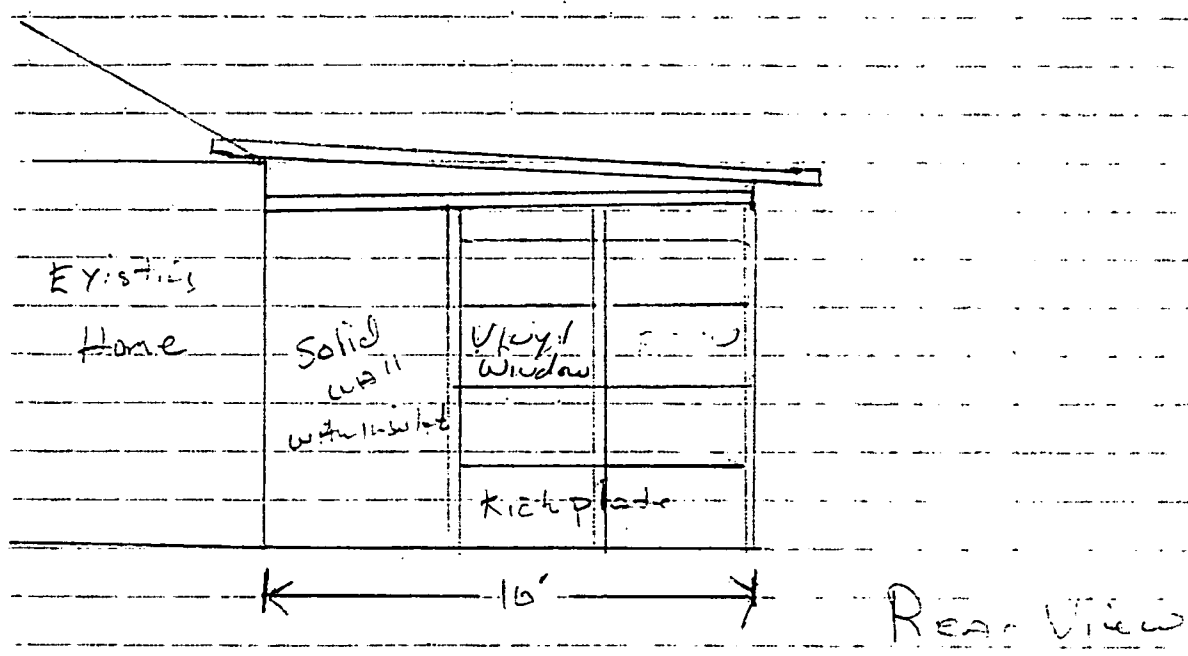
Joan H Barrow
SIGNATURE OF NOTARY

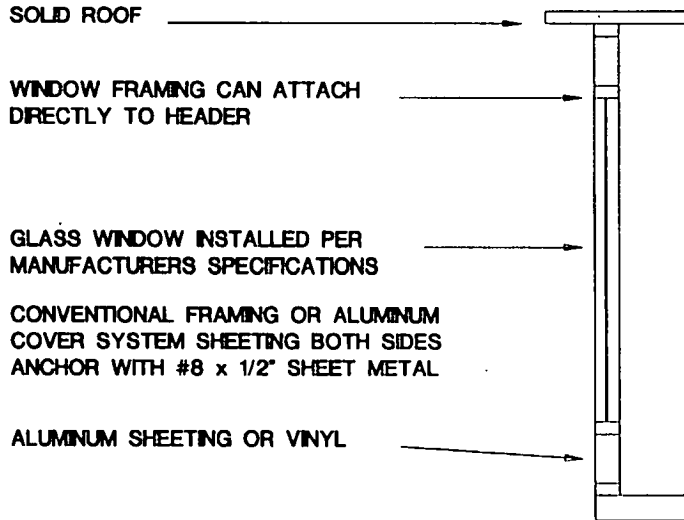
STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA STILLER, CLERK
BY Charlotte Duly D.C.
DATE 2-3-98

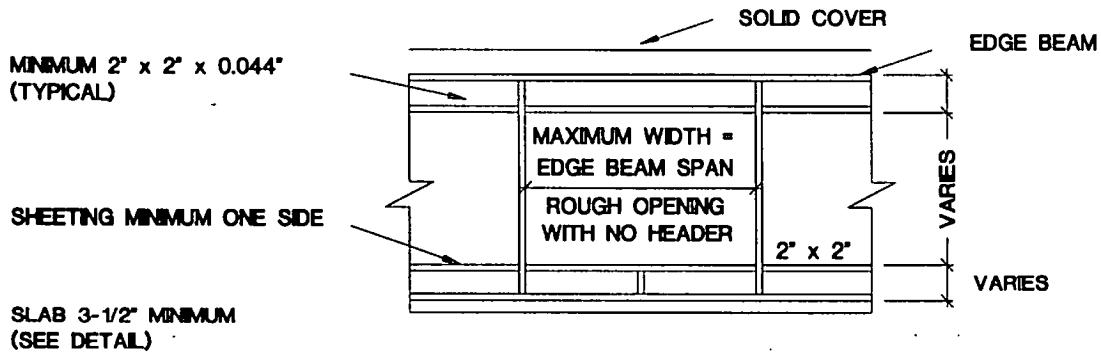


(seal) _____
OFFICIAL NOTARY SEAL TYPE OR PRINT NAME OF NOTARY
JOAN H BARROW
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC423705
MY COMMISSION EXP. NOV. 30, 1998
NOTARY PUBLIC TITLE
COMMISSION NUMBER





GLASS ROOM WALL SECTION



TYPICAL ELEVATION-GLASS ROOM WALL

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4388, SOUTH DAYTONA, FL 32121
 TELEPHONE (904) 787-4774
 FAX (904) 787-8558

SEAL

PAGE

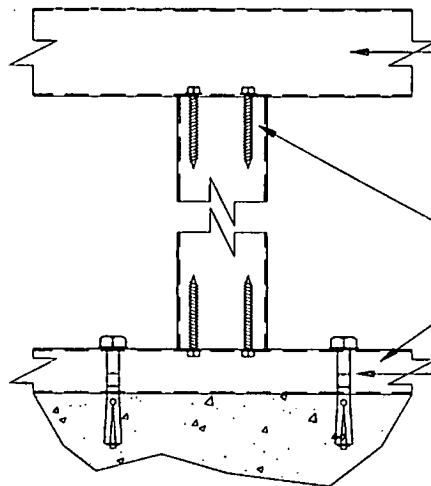
64

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ANCHOR 1" x 2" x 0.044" PLATE TO CONCRETE WITH 1/4" x 2-1/2" CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST AND 24" O.C. MAX.

MIN. 3-1/2" SLAB 2500 PSI CONC. 6x6-10x10 W.W.M. OR FIBER MESH



HEADER BEAM

(2) #10 x 1" SHEET METAL SCREW INTO SCREW SLOTS

1" x 2" EXTRUSION

1-1/8" MIN. IN CONCRETE

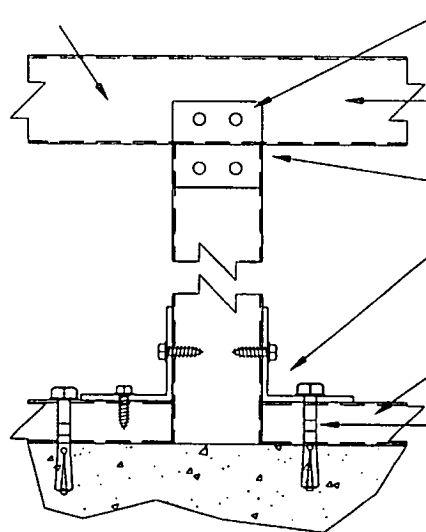
VAPOR BARRIER UNDER CONCRETE

~~HOLLOW POST TO BASE AND HOLLOW POST TO BEAM DETAIL~~

2" x 2" OR 2" x 3" OR 2" SMB POST

ANCHOR 1" x 2" x 0.044" PLATE TO CONCRETE WITH 1/4" x 2-1/2" CONCRETE ANCHORS WITHIN 6" OF EACH SIDE OF EACH POST AT 24" O.C. MAX. OR THROUGH ANGLE AT 24" O.C. MAX.

MIN. 3-1/2" SLAB 2500 PSI CONC. 6x6-10x10 W.W.M. OR FIBER MESH



(4) #10 x 1/2" S.M.S. EACH SIDE OF POST

HEADER BEAM

H-BAR OR GUSSET PLATE

2" x 2" x 1/8" ANGLE EACH SIDE ATTACH TO POST AND CONCRETE AT LOAD BEARING WALL WITH (2) #10 x 1/2" S.M.S. EACH SIDE

1" x 2" EXTRUSION

1-1/8" MIN. IN CONCRETE

VAPOR BARRIER

SELF-MATING POST TO BASE AND SELF-MATING POST TO BEAM DETAIL

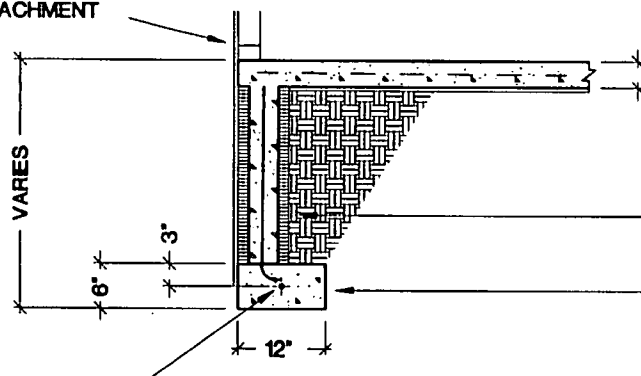
Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4388, SOUTH DAYTONA, FL 32121
 TELEPHONE (904) 767-4774
 FAX (904) 767-8558

SEAL

SECTION 3

SCREEN, VINYL & GLASS ROOMS

ALUMINUM ATTACHMENT



(1) #5 BAR CONTINUOUS

3-1/2" CONCRETE SLAB 6x6-10x10
W.W.F. OR FIBER MESH CONCRETE

VISQUENE VAPOR BARRIER UNDER
SLABS HAVING STRUCTURES ABOVE

WELL COMPACTED CLEAN FILL OVER
SACRIFICED NATURAL SOIL 90%
RELATIVE DENSITY

CONC. FILLED BLOCK STEM WALL
8" x 8" x 16" CMU

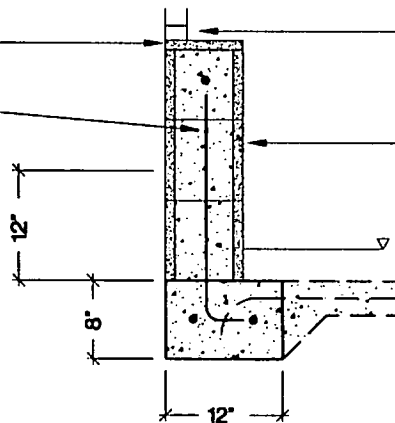
6" x 12" CONCRETE FOOTING WITH
(1) #5 CONTINUOUS LOCATE ON
UNDISTURBED NATURAL SOIL
(1) #5 VERTICAL AT CORNERS
AND AT 10'-0" ON CENTER

RAISED PATIO FOOTING

OPTIONAL CONCRETE CAP
BLOCK OR BRICK

(1) #4 BAR CONTINUOUS

MAXIMUM DIFFERENTIAL
IN SOIL HEIGHT



(1) #4 BAR AT CORNERS AND
10'-0" ON CENTER FILL CELLS
AND KNOCK OUT BLOCK TOP
COURSE WITH 3000 PSI PEA
ROCK CONCRETE

ANCHOR ALUMINUM FRAME TO
WALL OR SLAB WITH 1/4" x 2-1/2"
MASONRY ANCHORS AT 6" EACH
SIDE OF POST AND 2'-0" MAX.

8" x 8" x 16" BLOCK WALL

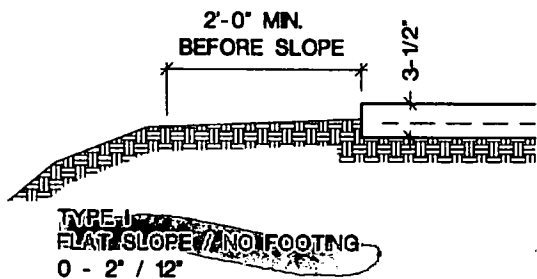
DECK OR GROUND LEVEL

RIBBON FOOTING OR MONOLITHIC

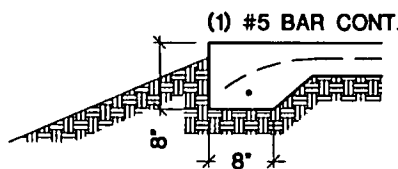
IF MONOLITHIC SLAB IS USED SEE
NOTES OF DETAILS BELOW

(2) #4 BARS MIN. 2-1/2" OFF
GROUND

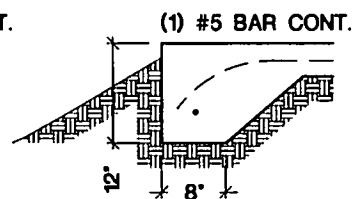
KNEE WALL FOOTING FOR SCREENED ENCLOSURES



TYPE I
FLAT SLOPE / NO FOOTING
0 - 2' / 12'



TYPE II
MODERATE SLOPE FOOTING
2-1/2' / 12' - 1'-10'



TYPE III
STEEP SLOPE FOOTING
> 1'-10'

- NOTES: 1. NO FOOTING REQUIRED EXCEPT WHEN ADDRESSING EROSION UNTIL THE ROOM EXCEEDS 16'-0". ROOMS GREATER THAN 16'-0" USE TYPE II FOOTING.
2. FOOTINGS SHALL BE MIN. 2,500 PSI CONCRETE WITH 6x6-10x10 WELDED WIRE MESH OR FIBER MESH MAY BE USED IN LEU OF MESH.
3. IF LOCAL BUILDING CODES REQUIRES A MINIMUM FOOTING USE TYPE II FOOTING OR FOOTING SECTION REQUIRED BY LOCAL CODE. LOCAL CODE GOVERNS.

SLAB DETAILS ADDRESSING EROSION

Lawrence E. Bennett, P.E.
CIVIL ENGINEER - DEVELOPMENT CONSULTANT
P.O. BOX 4388, SOUTH DAYTONA, FL 32121
TELEPHONE (904) 787-4774
FAX (904) 787-8558

SEAL

PAGE

68

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SECTION 3

SCREEN, VINYL & GLASS ROOMS

**Table 3.1.1: Allowable Beam Spans - Hollow Extrusions for Screen and/or Vinyl [Open] Rooms with Solid Roofs
Aluminum Alloy 6063 T-6**

Wind Zone =	102 MPH	110 MPH	120 MPH	125 MPH	140 MPH
Applied Load =	17 # / Sq. Ft.	20 # / Sq. Ft.	23 # / Sq. Ft.	26 # / Sq. Ft.	32 # / Sq. Ft.
Load Width	2" x 2" x 0.044"				
5'	5'-10"	5'-4"	5'-0"	4'-8"	4'-3"
6'	5'-5"	4'-11"	4'-8"	4'-4"	3'-11"
7'	5'-0"	4'-8"	4'-4"	4'-1"	3'-8"
8'	4'-9"	4'-5"	4'-1"	3'-10"	3'-6"
9'	4'-6"	4'-2"	3'-10"	3'-8"	3'-3"
10'	4'-4"	3'-11"	3'-8"	3'-6"	3'-2"
11'	4'-1"	3'-9"	3'-6"	3'-4"	2'-11"
12'					
Load Width	2" x 3" x 0.050" Tilt Beam or 2" x 3" x 0.050"				
5'	8'-9"	8'-0"	7'-6"	7'-1"	6'-4"
6'	7'-11"	7'-4"	6'-10"	6'-5"	5'-10"
7'	7'-4"	6'-9"	6'-4"	5'-11"	5'-4"
8'	6'-11"	6'-4"	5'-11"	5'-7"	5'-0"
9'	6'-6"	5'-11"	5'-7"	5'-3"	4'-9"
10'	6'-2"	5'-8"	5'-4"	4'-11"	4'-6"
11'	5'-10"	5'-5"	5'-1"	4'-9"	4'-3"
12'	5'-7"	5'-2"	4'-10"	4'-7"	4'-1"
12'					
Load Width	2" x 3" x 0.070"				
5'	10'-5"	9'-7"	8'-11"	8'-5"	7'-7"
6'	9'-6"	8'-9"	8'-2"	7'-8"	6'-11"
7'	8'-9"	8'-1"	7'-6"	7'-1"	6'-5"
8'	8'-2"	7'-7"	7'-1"	6'-8"	5'-11"
9'	7'-9"	7'-2"	6'-8"	6'-3"	5'-8"
10'	7'-4"	6'-9"	6'-4"	5'-11"	5'-4"
11'	6'-11"	6'-5"	6'-0"	5'-8"	5'-1"
12'	6'-8"	6'-2"	5'-9"	5'-5"	4'-11"
12'					
Load Width	2" x 4" x 0.050" Tilt Beam or 2" x 4" x 0.050"				
5'	10'-8"	9'-10"	9'-2"	8'-7"	7'-9"
6'	9'-8"	8'-11"	8'-4"	7'-10"	7'-1"
7'	8'-11"	8'-3"	7'-9"	7'-3"	6'-7"
8'	8'-5"	7'-9"	7'-3"	6'-10"	6'-1"
9'	7'-11"	7'-4"	6'-10"	6'-5"	5'-9"
10'	7'-6"	6'-11"	6'-6"	6'-1"	5'-6"
11'	7'-2"	6'-7"	6'-2"	5'-10"	5'-3"
12'	6'-10"	6'-4"	5'-11"	5'-7"	5'-0"

Example:

For 2" x 2" x 0.044" Extrusion beam span is distance between uprights; to enter table roof panel projection of 14'-0" find load width;

L.W. = 14'/2 + 2' O.H. = 9' Enter table on left under load width.

Load Width = 9'-0" and read span under appropriate load;

Live Load @ 17 # / Sq.Ft. / 102 M.P.H. Load Beam Span =

4' - 9"

Note: Tables assume extrusion oriented with longer extrusion dimension parallel to applied load.

Lawrence E. Bennett, P.E.
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PAGE

70

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**Table 3.2: Allowable Post/Upright Heights for Screen, Vinyl and Glass Rooms, Hollow, Snap and Self-Mating Extrusions
Aluminum Alloy 6063 T-6**

Hollow Sections	Extrusions									
	Load Width = Post/Upright Spacing									
	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"
	Allowable Height "H" [Span]									
2" x 2" x 0.044"	7'-10"	7'-3"	6'-10"	6'-5"	6'-1"	5'-10"	5'-7"	5'-4"	5'-2"	4'-11"
3" x 2" x 0.050" **	10'-5"	9'-8"	9'-0"	8'-6"	8'-1"	7'-9"	7'-5"	7'-1"	6'-10"	6'-7"
2" x 3" x 0.050"	11'-3"	10'-5"	9'-9"	9'-2"	8'-9"	8'-4"	7'-11"	7'-8"	7'-4"	7'-1"
3" x 2" x 0.070" **	11'-9"	10'-11"	10'-2"	9'-7"	9'-1"	8'-8"	8'-4"	7'-11"	7'-8"	7'-5"
2" x 4" x 0.050"	14'-1"	13'-0"	12'-2"	11'-6"	10'-11"	10'-4"	9'-11"	9'-7"	9'-2"	8'-11"

** Note: Screen splines on 3" side - extrusion turned w/ 3" side parallel to sole plate.

Snap Sections	Load Width = Post/Upright Spacing									
	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"
	Allowable Height "H" [Span]									
2" x 2" x 0.044"	9'-3"	8'-7"	8'-0"	7'-7"	7'-2"	6'-10"	6'-6"	6'-3"	6'-1"	5'-10"
2" x 3" x 0.045"	12'-2"	11'-3"	10'-6"	9'-11"	9'-5"	8'-11"	8'-7"	8'-3"	7'-11"	7'-8"
2" x 4" x 0.045"	15'-3"	14'-1"	13'-3"	12'-5"	11'-10"	11'-3"	10'-9"	10'-4"	9'-11"	9'-8"

Self-Mating Sections	Load Width = Post/Upright Spacing									
	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"
	Allowable Height "H" [Span]									
2" x 4" x 0.055" x 0.12"	17'-11"	16'-8"	15'-7"	14'-8"	13'-11"	13'-4"	12'-9"	12'-3"	11'-9"	11'-5"
2" x 6" x 0.055" x 0.12"	24'-11"	23'-2"	21'-8"	20'-5"	19'-4"	18'-5"	17'-8"	16'-11"	16'-4"	15'-10"
2" x 7" x 0.062" x 0.12"	27'-4"	25'-4"	23'-8"	22'-4"	21'-2"	20'-2"	19'-4"	18'-7"	17'-11"	17'-4"
2" x 8" x 0.072" x 0.224"	36'-2"	33'-6"	31'-4"	29'-6"	28'-0"	26'-8"	25'-7"	24'-7"	23'-8"	22'-10"
2" x 9" x 0.070" x 0.224"	40'-2"	37'-2"	34'-9"	32'-9"	31'-1"	29'-8"	28'-5"	27'-3"	26'-3"	25'-5"
2" x 9" x 0.070" x 0.310"	44'-8"	41'-4"	38'-8"	36'-5"	34'-7"	32'-11"	31'-7"	30'-4"	29'-3"	28'-3"

* Maximum chair rail spacing is 6'-8" o.c. Thus with chair rail @ 2'-6" the maximum wall height without additional chair rail is 9'-2".

Notes:

Glass Rooms; The addition of aluminum frame windows with glass panes that are designed to 110 M.P.H. wind load requirements to the above upright sizes increases the strength so that additional framing is not required.

Using screen panel width "W" (See typical glass room drawing.), select upright required from the maximum height allowed for each extrusion.

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SECTION 7

SOLID ROOF PANEL PRODUCTS

Table 7.2.1: Allowable Spans for Industry Standard Composite Roof Panels
 Aluminum Alloy 3105 H-14 or H-25 1.0 EPS Core Density Foam

3" x 48" x 0.019" Panels													
Open Buildings							Enclosed Buildings						
Wind Region	Applied Load	Overhang Condition					Wind Region	Applied Load	Overhang Condition				
		NONE	1'-0"	2'-0"	3'-0"	4'-0"			NONE	1'-0"	2'-0"	3'-0"	4'-0"
102 M.P.H.	17	13'-4"	13'-5"	13'-11"	14'-7"	15'-6"	102 M.P.H.	29	10'-2"	10'-5"	10'-11"	11'-10"	12'-11"
110 M.P.H.	20	12'-3"	12'-5"	12'-11"	13'-8"	14'-8"	110 M.P.H.	35	9'-3"	9'-6"	10'-1"	11'-1"	12'-3"
120 M.P.H.	23	11'-5"	11'-7"	12'-1"	12'-11"	13'-11"	120 M.P.H.	41	8'-7"	8'-10"	9'-5"	10'-6"	11'-9"
125 M.P.H.	26	10'-9"	10'-11"	11'-6"	12'-4"	13'-5"	125 M.P.H.	45	8'-2"	8'-5"	9'-1"	10'-2"	11'-5"
140 M.P.H.	32	9'-8"	9'-11"	10'-6"	11'-5"	12'-7"	140 M.P.H.	56	7'-4"	7'-7"	8'-4"	9'-6"	10'-10"

3" x 48" x 0.024" Panels													
Open Buildings							Enclosed Buildings						
Wind Region	Applied Load	Overhang Condition					Wind Region	Applied Load	Overhang Condition				
		NONE	1'-0"	2'-0"	3'-0"	4'-0"			NONE	1'-0"	2'-0"	3'-0"	4'-0"
102 M.P.H.	17	14'-11"	15'-1"	15'-6"	16'-1"	16'-11"	102 M.P.H.	29	11'-5"	11'-7"	12'-2"	12'-11"	13'-11"
110 M.P.H.	20	13'-9"	13'-11"	14'-4"	15'-0"	15'-11"	110 M.P.H.	35	10'-5"	10'-7"	11'-2"	12'-0"	13'-2"
120 M.P.H.	23	12'-10"	13'-0"	13'-6"	14'-2"	15'-2"	120 M.P.H.	41	9'-8"	9'-10"	10'-5"	11'-4"	12'-6"
125 M.P.H.	26	12'-1"	12'-3"	12'-9"	13'-6"	14'-6"	125 M.P.H.	45	9'-2"	9'-5"	10'-0"	10'-11"	12'-2"
140 M.P.H.	32	10'-11"	11'-1"	11'-7"	12'-5"	13'-6"	140 M.P.H.	56	8'-9"	8'-6"	9'-2"	10'-2"	11'-6"

3" x 48" x 0.030" Panels													
Open Buildings							Enclosed Buildings						
Wind Region	Applied Load	Overhang Condition					Wind Region	Applied Load	Overhang Condition				
		NONE	1'-0"	2'-0"	3'-0"	4'-0"			NONE	1'-0"	2'-0"	3'-0"	4'-0"
102 M.P.H.	17	16'-2"	16'-4"	16'-8"	17'-3"	18'-1"	102 M.P.H.	29	12'-5"	12'-7"	13'-0"	13'-9"	14'-9"
110 M.P.H.	20	14'-11"	15'-1"	15'-5"	16'-1"	16'-11"	110 M.P.H.	35	11'-3"	11'-5"	11'-11"	12'-9"	13'-10"
120 M.P.H.	23	13'-11"	14'-1"	14'-6"	15'-2"	16'-1"	120 M.P.H.	41	10'-5"	10'-7"	11'-2"	12'-0"	13'-2"
125 M.P.H.	26	13'-1"	13'-3"	13'-8"	14'-5"	15'-4"	125 M.P.H.	45	9'-11"	10'-2"	10'-9"	11'-7"	12'-9"
140 M.P.H.	32	11'-10"	11'-11"	12'-5"	13'-3"	14'-3"	140 M.P.H.	56	8'-11"	9'-2"	9'-9"	10'-9"	11'-11"

Note: Total roof panel width = room width plus wall width plus overhang.

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118

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4910

FENCE

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 5/2/00

BUILDING PERMIT NO. 4910

Building to be erected for ROBT. SCHAFENBERG.

Type of Permit FENCE (CHAIN)

Applied for by TREASURE COAST FENCE

(Contractor) Building Fee \$30.00

Subdivision "PALM ROW" Lot 16 Block _____

Radon Fee _____

Address 123 S. SEWALL'S POINT RD.

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

Electrical Fee _____

Parcel Control Number:

13-38-41-005000-00160-8000

Plumbing Fee _____

Amount Paid \$30.00

Check # 788

Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 1,800.00

TOTAL Fees \$30.00

Signed Gary Kaymond.
Applicant

Signed [Signature]
Town Building Inspector OFFICAR

FENCE PERMIT

WSP LOG ATTACHED

INSPECTIONS

SETBACKS
FOOTINGS

DATE _____
DATE _____

HEIGHT
FINAL

DATE _____
DATE 5/5/00

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- New Construction**
- Remodel**
- Addition**
- Demolition**

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

Bldg. Pmt# _____

Town of Sewall's Point

Date 4/27/00

BUILDING PERMIT APPLICATION

RECEIVED
APR 27 2000
BY: <u>7129</u>

Owner's Name: Robert Schafenberg Phone No. 286-7129
 Owner's Present Address: 123 S. Sewalls Pt Road
 Fee Simple Titleholder's Name & Address if other than owner: _____

Location of Job Site: 123 S Sewalls Pt Rd.
 TYPE OF WORK TO BE DONE: 233' of 3' green c.l. fence
 CONTRACTOR INFORMATION
 Contractor/Company Name: T.C. Fence Phone No. 286-6694
 COMPLETE MAILING ADDRESS: 2340 SW Deepwood Pass, Palm City, FL
 State Registration _____ State License SP01861
 Legal Description of Property: Lot 16, "PALM ROW"
 Parcel Number: 13 38 41 005 000 00160 8000

ARCHITECT/ENGINEER INFORMATION
 Architect _____ Phone No. _____
 Address _____
 Engineer _____ Phone No. _____
 Address _____
 Area Square Footage: Living Area _____ Garage Area _____ Carport _____
 Accessory Bldg. _____ Covered Patio _____ Scr. Porch _____ Wood Deck _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 NEW electrical SERVICE SIZE _____ AMPS

FLOOD HAZARD INFORMATION
 flood zone _____ minimum Base Flood Elevation (BFE) _____ NGVD
 proposed finish floor elevation _____ #NGVD (minimum 1 foot above BFE)
 Cost of construction or Improvement: \$1800.00
 Fair Market Value (FMV) prior to improvement: _____
 Substantial Improvement 50% of FMV yes _____ No _____
 Method of determining FMV: _____

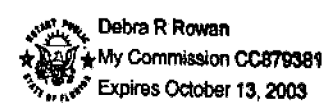
SUBCONTRACTOR INFORMATION: (Notify this office if subcontractor's change.)
 Electrical _____ State License _____
 Mechanical _____ State License# _____
 Plumbing _____ State License# _____
 Roofing _____ State License# _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIRCONDITIONERS, DOCKS, SEAWALLS, ACCESSORY BLDGS, SAND REMOVAL, TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER/ CONTRACTOR MUST SIGN APPLICATION

OWNER or AGENT SIGNATURE: Cary A. Kaspernick
 Sworn to and subscribed before me this 26 day of April, 2000, ~~1998~~ by
 _____ who is personally known to me, or has produced or has
 produced _____ and who did (did not) take an oath.
 CONTRACTOR SIGNATURE: Cary A. Kaspernick
 Sworn to and subscribed before me this 26 day of April, 2000, ~~1998~~
 by _____ who is personally known to me, or has produced
 _____ and who did (did not) take an oath.



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
03/03/2000

PRODUCER (561)546-5600 FAX (561)546-1008
Campbell-Wilson Ins. Agency
8882 SE Bridge Road
Hobe Sound, FL 33455

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

FILE

Attn: *PERMIT* Ext:
INSURED: Recreational Svcs, Inc. *Pressure Coast Fence*
2340 SW Deepwood Pass
Palm City, FL 34990
Decision **FILE**
#65 0175607

COMPANIES AFFORDING COVERAGE
COMPANY A Auto Owners Insurance Company
COMPANY B ZC Insurance Company
COMPANY C
COMPANY D

RECEIVED
APR 27 2000
BY: *[Signature]*

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT <input checked="" type="checkbox"/> Liability plus	902312 20411544 00	03/02/2000	03/02/2001	GENERAL AGGREGATE \$ 300,000 PRODUCTS & COM/OP AGG \$ 300,000 PERSONAL & ADV INJURY \$ 300,000 EACH OCCURRENCE \$ 300,000 FIRE DAMAGE (Any one fire) \$ 100,000 MED EXP (Any one person) \$ 10,000
	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	95 423 065 00	03/02/2000	03/02/2001	COMBINED SINGLE LIMIT \$ 300,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	GARAGE LIABILITY ANY AUTO	NONE			AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EACH ACCIDENT \$ AGGREGATE \$
	EXCESS LIABILITY UMBRELLA FORM OTHER THAN UMBRELLA FORM	NONE			EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/ PARTNERS/EXECUTIVE OFFICERS ARE: <input type="checkbox"/> INCL <input type="checkbox"/> EXCL OTHER	19736580100	03/01/2000	03/01/2001	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER EL EACH ACCIDENT \$ 100,000 EL DISEASE - POLICY LIMIT \$ 500,000 EL DISEASE - EA EMPLOYEE \$ 100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE/SPECIAL ITEMS
State of Florida - Tennis court construction/fence. I/S/R

CERTIFICATE HOLDER

Town of Sewall's Point
Fax (561) 220 4765
1 S Sewall's Point Road
Sewall's Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Joanne Wilson/JO

[Signature]

*1/1
see/ not file*

MARKIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY

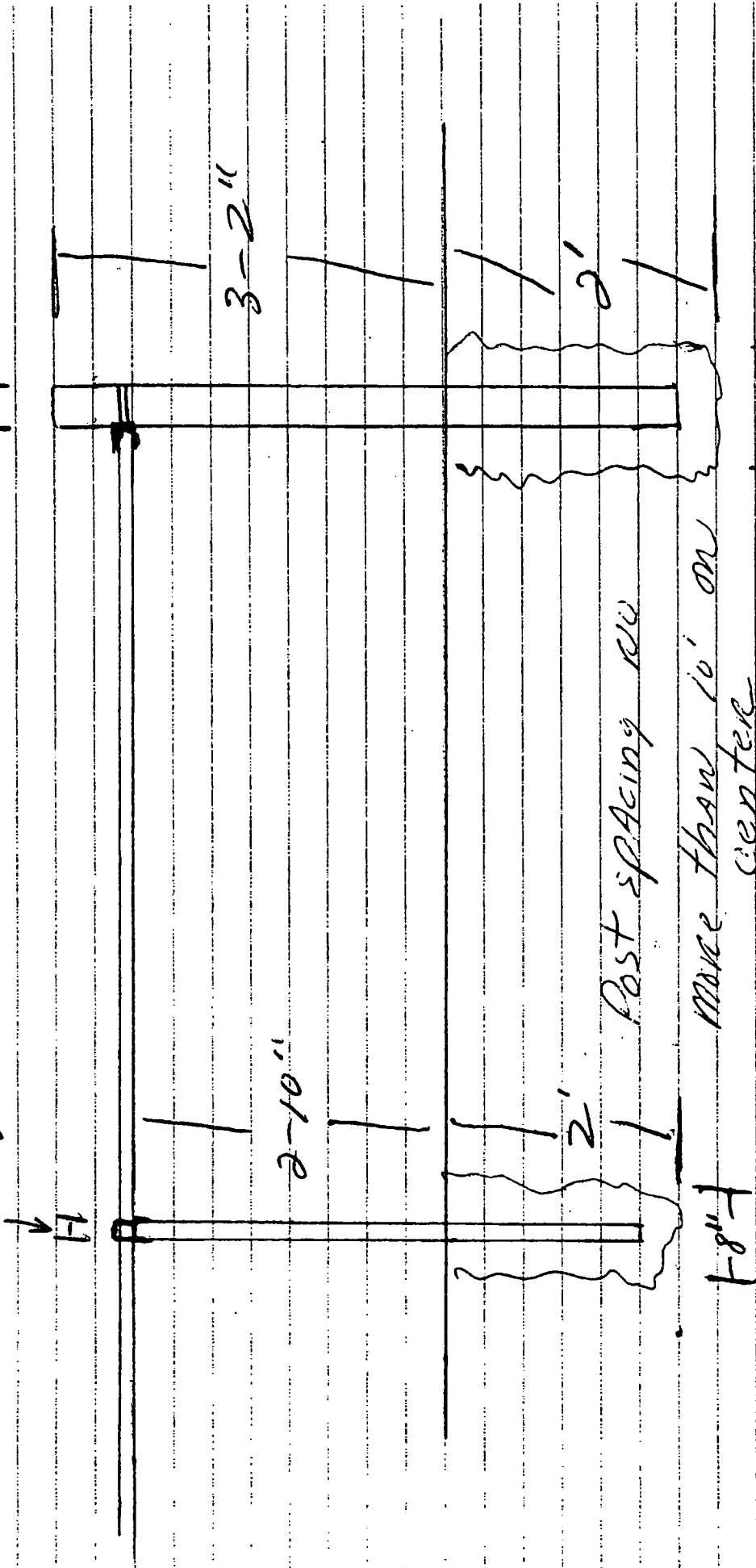
KASPEROWSKI, GARY A
TREASURE COAST FENCE
2340 SW DEEPWOOD PASS
PALM CITY FL 34990

EXPIRES SEPTEMBER 30, 88 00

AUDIT CONTROL NUMBER	36518	CERTIFICATE NUMBER	SP01861
----------------------	-------	--------------------	---------

1/2" O.D. post

1 5/8" O.D. post



1-8"

Post spacing run more than 10' on center

4/22/00 TOWN OF SEABOARD POINT

REVIEWED: [Signature] BLDG. OFFICIAL

TOWN COPY 123 S. SEABOARD POINT RD.

We Manufacture Fence Solutions

Simply Your Best Choice

Since our beginning in 1947, quality and service have been the cornerstone of our reputation. We are a U.S. owned and operated company consisting of over 400 quality concerned people at three manufacturing facilities and 26 service centers located throughout the eastern half of the United States. We ship products throughout North America and export a variety of products.

Chain link fencing is still the best solution for providing long-term economical security in industrial, commercial recreational, institutional and transportation applications. Southeastern Wire has five decades of experience and is the chosen supplier in thousands of fence projects per year, including many federally funded highway and prison projects.

Just to name a few... organizations that have purchased Southeastern Wire's Galaxy and Spectra products through our network of dealers:

I.B.M.	Delta Airlines	Walmart
B. F. Goodrich	Ford Motor Co.	Bacardi Rum
Mobil Oil	Reynolds Aluminum	Toyota Motors
Avis	Texas Instruments	Bristol Meyers
Martin Marietta	Browns-Fery Nuclear Facility	

Walt Disney World	Busch Gardens
Louisville Zoo	Bristol International Raceway
Daytona Speedway	Jimmy Connors Tennis Center

AL, CT, FL, GA, IL, IN, KY, LA, MA, MD, MI, MO, MS, NC, NH, NJ, NY, OH, PA, RI, SC, TN, TX, VA, VT, WV.

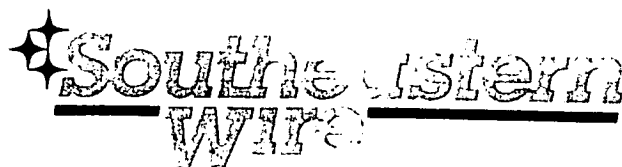
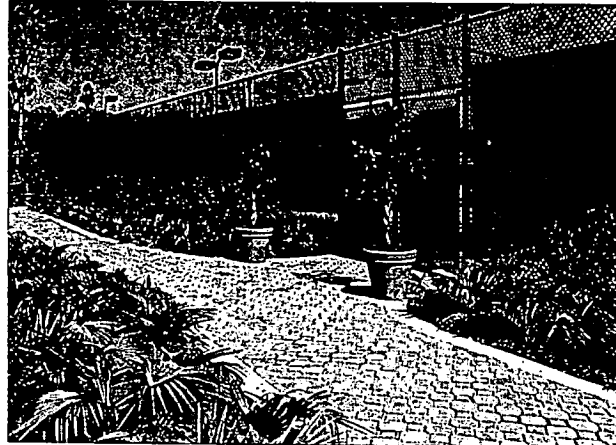
Fort Knox- Gold Bullion Depository	Cape Kennedy Space Center
Tampa International Airport	University of Kentucky
University of Alabama	McDill Air Force Base
Ft. Benning Army Base	Duke University
N. C. State Prison	Fort Bragg
Camp Lejeune	Seymour Johnson Air Force Base
City of Ft. Worth, Texas	Tulane University

Manufacturers Warranty

When you buy a fence manufactured by Southeastern Wire, you're buying a quality product that is backed up with a long term warranty, and we put it in writing.

Fence Products

Spectra	15 years
Galaxy 1200	15 years
Galaxy 1200 Plus	15 years
Galaxy 2000	25 years



A division of Reeves Southeastern Corporation
 P.O. Box 1968, Tampa, FL 33601; 9800 Reeves Road
 Telephone: (813) 626-3191 • Toll Free: 1-(800) 669-9473



SPECTRA Color Fence Systems:

ASTM F 668 Polyvinyl Chloride (PVC) Coated Steel Chain Link Fence Fabric

Gate and Gate Operator Specifications

Type of Gate Equipment	Specification
Swing Gates, single or double swing	ASTM F 900 Includes requirements for gate frames, gate posts, filler fabric and gate accessories.
Slide Gates, horizontal	ASTM F 1184, Type I, Overhead slide gate and Type II, Cantilever slide gate.
Gate operators, swing gates	Stanley Model 460 (commercial-industrial)
Gate operators, slide gates	Stanley Model 590 (high security-prisons-airports)

Fittings & Accessories Specifications

Material	Specification
Tension Wire	ASTM A 824, Type II, Class 2 coating, 0.177" (4.5 mm) o.d.
Barbed Wire	ASTM A 116 Class 3-12-1/2 ga x 4 pt x 5" (127 mm) spacing
Barbed Tape	Consult Manufacturer's literature—Various sizes and styles available.
Miscellaneous fittings	ASTM F 626, Various materials, styles and sizes available. (Tension and brace bands, tension rods, post caps, rail ends, rail sleeves, hog rings, tie wires, etc.)

Contemporary, color fence systems from Southeastern Wire can be artistically blended into the natural environment to dramatically enhance any chain link fence installation. For commercial, parks and recreation, even industrial and high security installations, an attractive color coated chain link fence adds that creative flair and esthetic touch that reflects a well-designed and well-planned fencing project.

In manufacturing Southeastern Wire's SPECTRA system, a tough, durable poly-coating of Black, Woodland Green, Forest Green or Brown is thermally bonded or electrostatically applied to all galvanized steel components of the fence system- the fence fabric, the framework and the fittings. This smooth, rich, glossy coating resists the most severe weather conditions to maintain the attractive appearance of the entire fence installation year after year.

The inherent characteristics of galvanized chain link fence systems have made it the standard for chain link fence systems. Now, with SPECTRA, those traits have been raised to a higher level of durability, maintainability, and environmental sensitivity -duplex protection- and maintenance free.

With Southeastern Wire, the quality is built in. Poly(vinyl) chloride is extruded, or extruded and bonded over a core of high quality, smooth pre-galvanized wire. After coating, the wire is woven into chain link fence fabric, which conforms to ASTM F 668.

Spectra framework is available in Type I and Type II framework and is color coated in accordance with ASTM F 1234.

Fittings are color-coated to match the fabric. Fittings are galvanized, treated to ensure a uniform coating is applied, then PVC coated to conform to ASTM F 626.

SPECTRA Recommended Fence Fabric Solutions

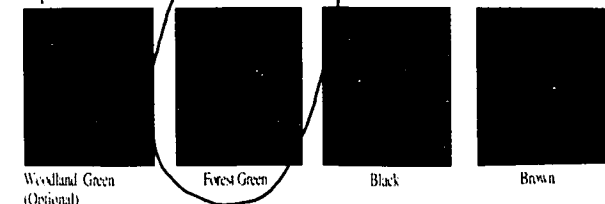
	Coated Wire Size- o.d.
Heavy Industrial/ Commercial	6 ga.
Prison and High Security	6 ga.
Highway and Transportation	6 ga. or 8 ga.
Marine Environments	6 ga., 8 ga. or 9 ga.
Parks, Recreation & Schools	6 ga., 8 ga. or 9 ga.
Light Commercial	8 ga. or 9 ga.



Product Description	Diameter (±0.005 in.)		Diameter (±0.13 mm)	
	Core Wire	Coated Wire	Core Wire	Coated Wire
SPECTRA Class I Extruded	12.5 ga (0.099 in.)	9 ga (0.148 in.)	12.5 ga (2.51 mm)	9 ga (3.76 mm)
	12 ga (0.106 in.)	9 ga (0.148 in.)	12 ga (2.69 mm)	9 ga (3.76 mm)
	11 ga (0.120 in.)	8 ga (0.162 in.)	11 ga (3.05 mm)	8 ga (4.11 mm)
SPECTRA Class 2a Extruded and bonded	9 ga (0.148 in.)	6 ga (0.192 in.)	9 ga (3.76 mm)	6 ga (4.88 mm)
	6 ga (0.192 in.)	3 ga (0.244 in.)	6 ga (4.88 mm)	3 ga (6.20 mm)

Mesh sizes are available from 1 in. (25.4 mm) to 2 in. (50.8 mm). Custom fabric heights up to 240 in. (6096 mm) are also available.

Spectra Color Chart:



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri ~~5-5~~, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N ✓ 4904	Miranda 34 Castle Hill O/B	temp. power	Passed BG.	Water - Dumpster Port. Toilets & meter.
S ✓ 4910	SCHAFENBERG 123 S. S. PRD.	fence (FINAL)	Passed BG.	
	TREASURE COAST FENCE			
S ✓ 4909	VILLA 9:15 AM. 24 S. SEWALL'S PT. RD. STEIN & CO.	SHEATHING (REINSPECTION) dry-in 12:	Passed BG.	\$ 30.00 RELSP. FEE REQUIRED - PRIOR TO INSP.
S ✓ 4662	Foglia 106 H. Sewall Way Foglia	shutters (FINAL)	Passed BG.	
S ✓ 4672	Foglia 110 H. Sewall Way Foglia	shutters (FINAL)	Passed BG.	
S ✓ 4882	Woods 116 SO. River Pk.	electrical Did NOT call in	Cancelled inspection	
N ✓ * 4771	Van Wagner 3 Pelama Way	trimming oil trades EXTERIOR STRAPPING	Passed BG.	No windows insta EXTERIOR STRAPPING ON

OTHER: * #4771. SAID there will be no venting in soffits. Said Bart Stewart in Martin county is doing this. Will check with Ed Arnold. A/C Air Handlers hanging FROM INSPECTOR (Name/Signature): GARAGE Ceiling?

7117

WINDOWS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/8/04

BUILDING PERMIT NO. 7.117

Building to be erected for McGRATH

Type of Permit REPLACE WINDOWS

Applied for by O/B (Contractor)

Building Fee 53.76

Subdivision Palm Row Lot 16 Block _____

Radon Fee _____

Address 123 S. SEWALL'S PT RD

Impact Fee _____

Type of structure SR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

133841005 0000016080000

Plumbing Fee _____

Amount Paid 67.20 Check # 1201 Cash _____

Roofing Fee 25% O/B 13.44

Total Construction Cost \$ 500.00

Other Fees (~~FEES~~) 13.44
TOTAL Fees 67.20

Signed [Signature]

Signed [Signature]

Applicant

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- REPLACE WINDOWS

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 11/10/04

Permit Number: _____

OWNER/TITLEHOLDER NAME: Matthew I. McGrath Phone (Day) 223-0462 (Fax) _____

Job Site Address: 123 S. Sewalls Point Road City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: replace windows

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5600.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 450,000.00

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: Comparables

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 1810 Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____

CONTRACTOR SIGNATURE (required) _____

State of Florida, County of: MARTIN

On State of Florida, County of: _____

This the 23rd day of NOVEMBER, 2004

This the _____ day of _____, 2004

by VICTORIA TEVERA McGRATH who is personally

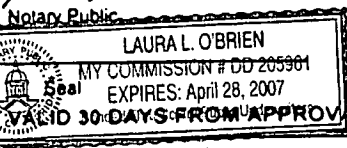
by _____ who is personally

known to me or produced FDL #267878-65-517-0

known to me or produced _____

as identification. [Signature] K.11710

As identification. _____



Notary Public

My Commission Expires: _____

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name:  Date: 11/23/04

Signature: Victoria McBrate

Address: 123 S. Sewalls Point Rd

City & State: Stuart, FL

Permit No. _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # PARCEL ID # 1338410050000016080000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

23 S. Seawall Point Rd Palm Row Lot 16

GENERAL DESCRIPTION OF IMPROVEMENT: Window replacement

OWNER: Matthew I. McGrath & Victoria T. McGrath

ADDRESS: 123 S. Seawall Point Rd, Stuart FL 34994

PHONE #: 781-1318 FAX #: _____

CONTRACTOR: Owner/Builder

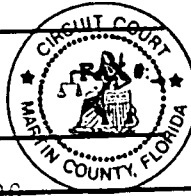
ADDRESS: _____

PHONE #: _____ FAX #: _____

SURETY COMPANY (IF ANY) OF FLORIDA
MARTIN COUNTY

1 1001 01 110 11 100 10 103 01 021 01 101 11 010 1 1001

ADDRESS: _____
PHONE # _____ THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



INSTR # 1795854
OR BK 01959 PG 2191
RECORDED 12/01/2004 02:44:56 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T Copus (asst mgr)

BOND AMOUNT: _____ MARSHA EWING, CLERK

LENDER: BY: T Copus D.C.

ADDRESS: DATE: 12-1-04

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

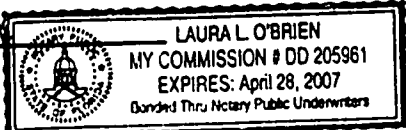
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

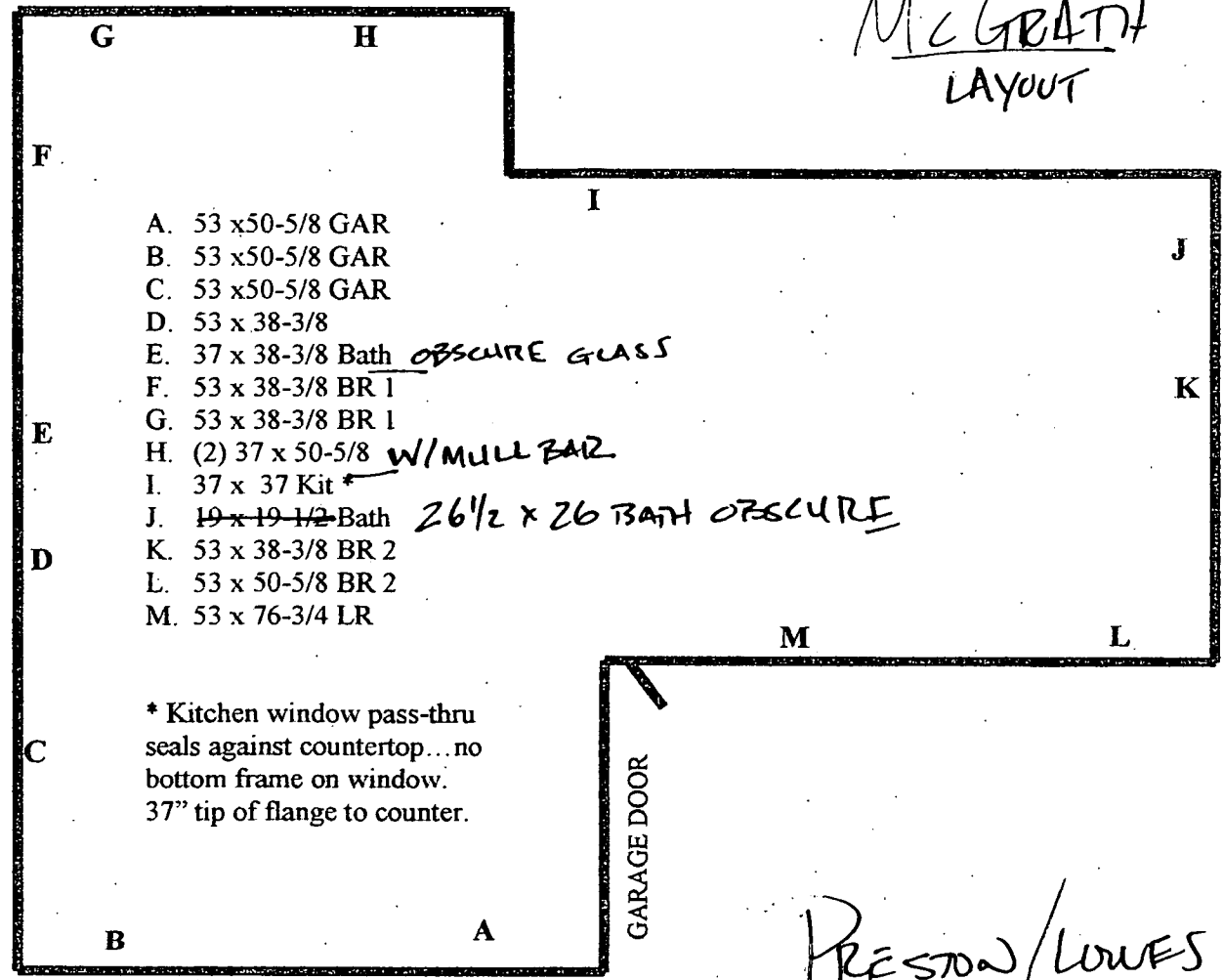
SWORN TO AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF November
19 2004 BY VICTORIA TEUFEL MCGRATH

[Signature]
NOTARY SIGNATURE



PERSONALLY KNOWN
PRODUCED ID K ELDLY 263-878-65-517-0
TYPE OF ID x 11/7/10

McGRATH
LAYOUT



PRESTON/LOWES
528-4714

FIXED IMPACT



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Yale Ogron Manufacturing Co., Inc.
671 West 18 Street
Hialeah, FL 33010

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:
Exterior Glazed Aluminum Fixed Window - Non-Impact & Large Missile Impact Resistant
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0102.05
EXPIRES: 12/13/2006

Raul Rodriguez
Chief, Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 11/24/04

BUILDING OFFICIAL
Gene Simmons

APPROVED: 12/13/2001

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office



MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Yale Ogron Manufacturing Co., Inc.
671 West 18 Street
Hialeah, FL 33010

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series 1600 Impact View Aluminum Horizontal Sliding Window

APPROVAL DOCUMENT: Drawing No. W03-104, titled "Series -1600 Impact View Alum. Horiz. Sliding WDW.", sheets 1 through 5 of 5, prepared by Al Farooq Corp., dated 11/18/03 with revision "A" dated 01/23/04, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Theodore Berman, P.E.

MB
 2/12/2004 

NOA No 03-1203.02
 Expiration Date: March 04, 2009
 Approval Date: March 04, 2004
 Page 1

MULLION
IMPACT

MIAMI-DADE
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Yale Ogron Manufacturing Co., Inc.
671 West 18 Street
Hialeah, FL 33010

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Aluminum Tube Mullion - Impact

APPROVAL DOCUMENT: Drawing No. M95-06A, dated 11/20/95, with revision A dated 06/24/02, titled "Aluminum Tube Mullions", sheets 1 through 4, prepared by Al-Farooq Corporation, signed and sealed by Humayoun Farooq, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA # 01-1204.02 and consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 02-0227.01
Expiration Date: December 28, 2006
Approval Date: August 8, 2002
Page 1

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/18, 20015 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS
7540	LIZANO	DRY-IN	PASS	
3	16 CRANE'S NEST A+ BUILDERS+ CONTR.			INSPECTOR:
7489	HARRIGAN	See ENCL FINAL	PASS	CXL
	2 PAINTETTO Dr ADAM PAZZAGUA			INSPECTOR:
7380	BONIFACE	SHOWER PAN	PASS	
4	63 RIVER RD WILSON BUILDERS			INSPECTOR:
7177	MCGEEHAN	WINDOW BOX	PASS	PARTIAL
2	123 S. SEWAUST Pt O/B	PARTIAL		INSPECTOR:
7468	DUNN	FENCE FINAL	PASS	CLOSE
5	48 RIO VISTA STUART FENCE			INSPECTOR:
7328	SCHMADER	TIE BEAM	PASS	
1	102 HENRY SEWALL O/B			INSPECTOR:
6753	MADER	LATH	FAIL	
6	5 HERITAGE WAY A+ P CONSTR			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/13, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
13	Viola	Tree	PASS	
	105 N. Sewall's Pt			INSPECTOR: <i>[Signature]</i>
7054 1	TAPPER	PATIO	PASS	
	22 ISLAND WINDHIP CONST			INSPECTOR: <i>[Signature]</i>
707 5	McGrath	FINAL WINDOWS	PASS	CLOSE
	123 S. Sewall's Pt O/B			INSPECTOR: <i>[Signature]</i>
7 Tree	McMahon	Tree	PASS	
	57 S. Sewall's Pt			INSPECTOR: <i>[Signature]</i>
7563 6	Alunan	BATH ELEC	PASS	CLOSE
	106 S RIVER RD O/B			INSPECTOR: <i>[Signature]</i>
7542 11	Clifford	PRE-DRYWALL	PASS	
	20 N. RIVER RD WOODWARD CONST			INSPECTOR: <i>[Signature]</i>
6544 2	LANCASTER	FINAL STR	PASS	CLOSE
	8 PINEAPPLE LA MASTERPIECE			READY FOR INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4-7, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
717	McGrath	Reinspect	PASS	
	123 SSPR OB	Final on windows		INSPECTOR: <i>[Signature]</i>
884	Libitsky	Final	PASS	CLOSE
	3 Rio Vista OB	(Front door)		INSPECTOR: <i>[Signature]</i>
		APRASH ON SITE FAIL		
	C.W. HIGH PT.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER:

7491

GARAGE DOOR

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/19/05

BUILDING PERMIT NO. 7.491

Building to be erected for McGRATH

Type of Permit GARAGE DOOR

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision Palm Row Lot 16 Block _____

Radon Fee _____

Address 123 S. Sewall's Point Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410050000016080000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 35.00 Check # 1303 Cash _____

Other Fees (_____) _____

Roofing Fee _____

Total Construction Cost \$ 2215.00

TOTAL Fees 35.00

Signed [Signature]

Applicant

Signed Gene Simmons (P.O.S)

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION
- GARAGE DOOR

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: 4/15/05

OWNER/TITLEHOLDER NAME: Matthew & Victoria McOrath Phone (Day) 781-1318 (Fax) _____

Job Site Address: 123 S. Sewalls Point Rd City: Sewall State: FL Zip: 34994

Legal Desc. Property (Subd/Lot/Block) Palm Row lot 16 Parcel Number: 13-38-41-005-000-001 - 8

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Just install garage door

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2215.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 1810 Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 2843 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

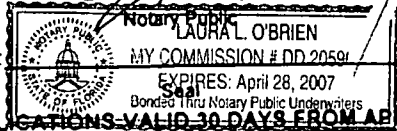
OWNER OR AGENT SIGNATURE (required)

[Signature]
State of Florida, County of: MARTIN
This the 15th day of APRIL, 2005
by VICTORIA TERESA McORATH who is personally known to me or produced CDL M263-878-65-517-0 as identification. [Signature] 4/11/05

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____
This the _____ day of _____, 2005
by _____ who is personally known to me or produced _____ as identification. _____

My Commission Expires: _____



Notary Public
My Commission Expires: _____
Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

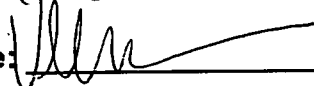
TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Victoria McGrath **Date:** 4/15/05

Signature: 

Address: 123 S. Sewalls Pt. Road

City & State: Stuart, FL 34996

Permit No. _____



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 4/18/05

[Signature]
BUILDING OFFICIAL
Gene Simmons

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Amarr Garage Doors.
165 Carriage Court
Winston Salem NC 27105

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Sectional Garage Door 16'- 0" Wide.

APPROVAL DOCUMENT: Drawing No. IRC-9516-169-26, titled "Model 950 Heritage w/DuraSafe Short Panel, Long Panel and Flush Panel", drawn on 03/12/03 and checked on 03/14/03 with no revisions, sheets 1 and 2, prepared by Amarr Garage Doors, signed and sealed by T.L. Shelmerdine, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

LIMITATION: This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimen were selected from coils at the manufacturer production facilities. And a notarized statement from the manufacturer that only coils with yield strength of 32000 psi or more shall be used to make door panels for Dade County under this Notice of Acceptance

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 as well as the approval document mentioned above.

The submitted documentation was reviewed by Candido F. Font PE

[Signature]
09/04/03



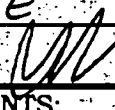
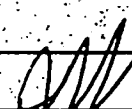

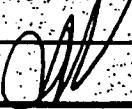


NOA No 03-0502.04
Expiration Date: September 04, 2008
Approval Date: September 04, 2003
Page 1

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/27, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
 	JOYNER	COURT. INSP.		
	85 S. SEWALL'S Pt	WINDOW BUCK		207-646-8704 Frank Buzz
	O/B (FRANK BUZZ)	(FIRST PLEASE)	POOR BELL DOESN'T WORK	INSPECTOR: 8:25
7441	TOMPECK	DRY IN	PASS	
9	20 EMALITA			
	O/B 323-4663			INSPECTOR: 
7491	Mc SPAIN	Garage De Final	PASS	Close
7	123 S. Sewall's			
	O/B			INSPECTOR: 
7481	Millard	A/C Breaker	—	NO ACCESS - OWNER
10	5 India Lucie Pkwy	Re-inspection		NOT HOME
	O/B			INSPECTOR: 
7355	Ribb	Re-Roof		
6	4 Baku	QTY - IN	FAIL	
	All American			INSPECTOR: 
6632	SCHERLENG	SFR FINAL	FAIL	
3	110 ABBIE COURT			
	O/B			INSPECTOR: 
7075	SCHERLENG	REINAINALAM	PASS	Close
3	110 ABBIE COURT			
	O/B			INSPECTOR: 
OTHER:	COVER FINAL FILE COURTESY			

8862

DOORS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

Form with fields: PERMIT NUMBER: 8862, DATE ISSUED: APRIL 9, 2008, SCOPE OF WORK: REPLACE 4 DOORS, CONTRACTOR: J&G CARPENTRY, PARCEL CONTROL NUMBER: 133841005000001608, SUBDIVISION: PALM ROW - LOT 16, CONSTRUCTION ADDRESS: 123 S SEWALLS POINT RD, OWNER NAME: MC GRATH, QUALIFIER: JAMES DAVIS, CONTACT PHONE NUMBER: 561-333-7704

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY

REQUIRED INSPECTIONS

Table with 2 columns of inspection items and lines for marking completion. Items include: UNDERGROUND PLUMBING, UNDERGROUND MECHANICAL, STEM-WALL FOOTING, SLAB, ROOF SHEATHING, TIE DOWN /TRUSS ENG, WINDOW/DOOR BUCKS, ROOF DRY-IN/METAL, PLUMBING ROUGH-IN, MECHANICAL ROUGH-IN, FRAMING, FINAL PLUMBING, FINAL MECHANICAL, FINAL ROOF, UNDERGROUND GAS, UNDERGROUND ELECTRICAL, FOOTING, TIE BEAM/COLUMNS, WALL SHEATHING, INSULATION, LATH, ROOF TILE IN-PROGRESS, ELECTRICAL ROUGH-IN, GAS ROUGH-IN, METER FINAL, FINAL ELECTRICAL, FINAL GAS, BUILDING FINAL.

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

134

RECEIVED
DATE: 3-20-08
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: _____ BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: MCGORATH, MATTHEW Phone (Day) 781-1318 (Fax) _____

Job Site Address: 123 S SEWALLS POINT RD City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Palm Row Revised + Amendment Lot 10 Parcel Number: 13.38.41.005.000.00160.8

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: CHANGE 4 DOORS

WILL OWNER BE THE CONTRACTOR?
If yes, Owner Builder questionnaire must accompany application
YES _____ NO

Has a Zoning Variance ever been granted on this property?
Yes _____ (Year) _____ No
(Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 9,034.89
Notice of Commencement required when over \$2500 - prior to first inspection
Is subject property located in flood hazard area? V _____ A9 _____ A8 _____ X _____
FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY:
Estimated Fair Market Value prior to improvement: _____
(Fair Market Value of the Primary Structure only, Minus the land value)
*** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION ***

CONTRACTOR/Company: J & G CARPENTRY INC Phone: 333-7704 Fax: 561-333-7747

Street: 13461 79th CT N City: West Palm Beach State: FL Zip: 33412

State Registration Number: CGC-022831 State Certification Number: _____ Municipal License Number: _____

PROJECT SUPERINTENDANT: _____ CONTACT NUMBER: _____

ARCHITECT N/A Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER N/A Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE: Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Decks/walkways: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.)
National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS:
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required) _____

State of Florida, County of: Martin

This the 10th day of March, 2008

by Victoria McGorath who is personally

known to me or produced 1.22.2012

as identification. Lynda V. Kerns

Notary Public

CONTRACTOR SIGNATURE (required) _____

On State of Florida, County of: PBC

This the 14 day of March, 2008

by James D. Duda who is personally

known to me or produced _____

as identification. Martha P. Padron

My Commission Expires: _____
SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 30 DAYS PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!

LYNDA V. KERNS
Commission Expires: 3/10/19
Expires 1/22/2012
Florida Notary Assn., Inc

STATE OF FLORIDA
Martha P. Padron
Commission # DD405616
THRU ATLANTIC BONDING CO., INC.
10, 2009

1302
INSTR # 2073573 OR BK 02316 PG 2352 RECD 03/20/2008 11:08:13 AM
Pg 2352 (109)
MARSHA EWING MARTIN COUNTY CLERK

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13.38.41.005.000.00160.8

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
PALM ROW REVISED & AMENDED LOT 16 - 123 S. SEWALLS Point Rd.

GENERAL DESCRIPTION OF IMPROVEMENT: Changeout Doors no size change

OWNER NAME: MCGRATH, MATTHEW
ADDRESS: 123 S. SEWALLS POINT RD, STUART, FL 34996
PHONE NUMBER: 772-781-1318 FAX NUMBER: _____

INTEREST IN PROPERTY: _____
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): _____

CONTRACTOR: JRG Carpenters Inc.
ADDRESS: 13461 79th Ave N WOODBURY FL 33412
PHONE NUMBER: 561-333-5242 FAX NUMBER: 561-793-5242

PROPERTY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

UNDERMORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BY: Kathryn Winter D.C.
DATE: March 20, 2008

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),
FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

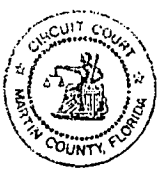
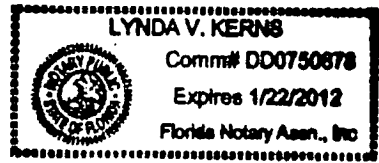
[Signature]
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER
SIGNATORY'S TITLE/OFFICE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10th DAY OF March, 2008
BY Victoria McGrath AS owner FOR Victoria McGrath + Matthew McGrath
Lynda V. Kerns NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF
notary WHOM INSTRUMENT WAS EXECUTED
PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____
Lynda V. Kerns
NOTARY SIGNATURE/ SEAL

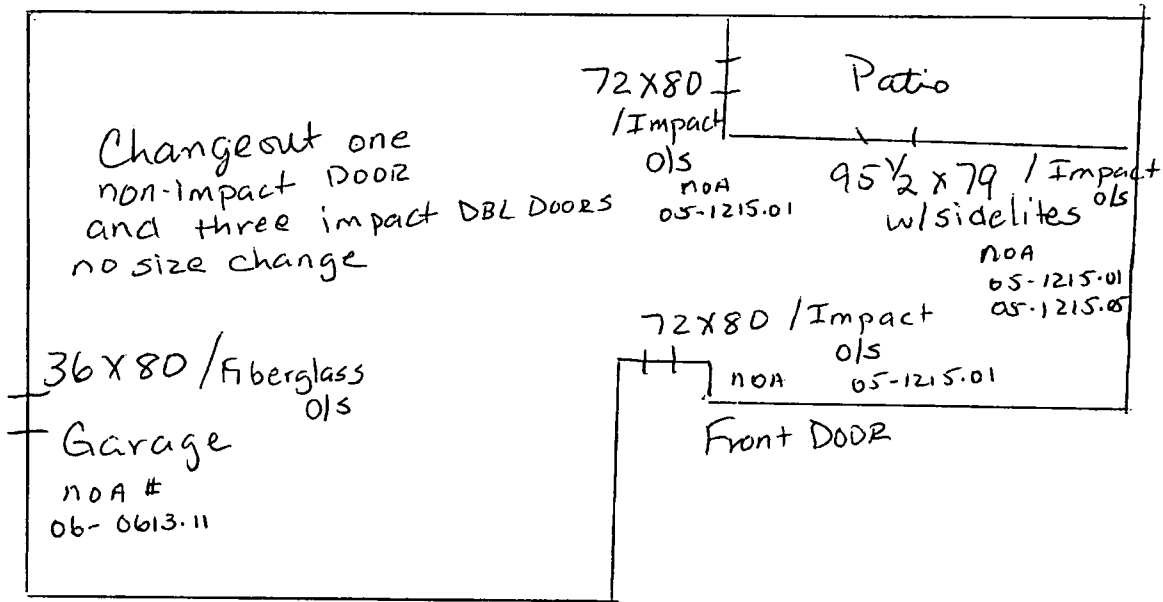
UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
(Signature of Natural Person Signing Above)



McGrath
123 S Sewalls Point Rd
Stuart, Fl. 34996
772-781-1318

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 3-28-08
[Signature]
BUILDING OFFICIAL



WINDOW/DOOR SCHEDULE

I.D. NO	APPOX OPENING SIZE (WXH)	DESIGNATION	* TYPE	IMPACT PROTECTION		REMARKS
				IMPACT GLASS	SHUTTER	
	37"X63"	25	SH		X	EXAMPLE
1	36x80				Y	
2	72x80			✓	N	
3	95 1/2 x 79			✓	N	
4	72x80			✓	N	
5						
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TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

*** TYPE WINDOWS:**

- SH -SINGLE HUNG
- DH -DOUBLE HUNG
- AWN -AWNING
- CAS -CASEMENT
- SL -SLIDING
- FIX -FIXED



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908
www.buildingcodeonline.com

NOTICE OF ACCEPTANCE (NOA)

Jeld - Wen
3250 Lakeport Blvd.
Klamath Falls, OR 97601

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "6-8" Outswing Glazed Steel Door - L.M.I.

APPROVAL DOCUMENT: Drawing No. JW0509-03-01, titled "Impact Glazed Steel Door Outswing 6'-8" Lip Lite", sheets 1 through 6, of 6 prepared by Jeld-Wen, Inc., dated 09/06/05 with revision "B" 04/08/06, signed and sealed by James J. Dobrowski, P. E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidences page E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P.E.**



J. Gascon
5/5/06

NOA No. 05-121501
Expiration Date: May 25, 2011
Approval Date: May 25, 2006



MIAMI-DADE COUNTY
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908
 www.buildingcodeonline.com

NOTICE OF ACCEPTANCE (NOA)

Jeld - Wen
 3250 Lakepoint Blvd.
 Klamath Falls, OR 97601

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series ~~"6-8 or 8-0"~~ Glazed Insulated Steel Fixed Side Lite - L.M.I.

APPROVAL DOCUMENT: Drawing No "JW0509-05-01", titled "Impact Glazed Steel Door 6-8 or 8-0 Fixed Side Lite", sheets 1 through 5, of 5 prepared by Jeld-Wen, Inc., dated 09/06/05 with revision "B" on 04/08/06,, signed and sealed by James J. Dobrowski , P. E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: ~~Larger and Small Missile Impact~~

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page 1 and evidences page E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P.E.**



J. Gascon
 5/5/06

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

~~NOA No 05-1215-05~~

Expiration Date: May 25, 2011
 Approval Date: May 25, 2006



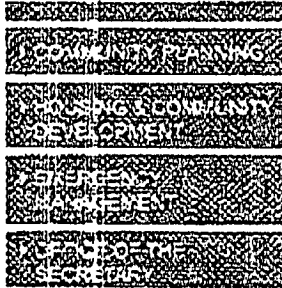
[BCIS Home](#) | [Log In](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [B...](#)



Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



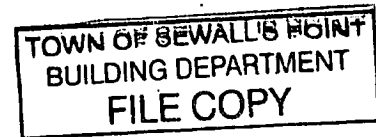
FL #	FL1321
Application Type	New
Code Version	2001
Application Status	Approved
Comments	
Archived	<input type="checkbox"/>

Product Manufacturer	Plastpro Inc. / Nanya Plastics Co
Address/Phone/Email	9 Peach Tree Hill Road Livingston, NJ 07039 (440) 969-9773 Ext 16 RonOConnell@plastproinc.com

Authorized Signature	Ron O'Connell RonOConnell@plastproinc.com
----------------------	--

Technical Representative	
Address/Phone/Email	

Quality Assurance Representative	
Address/Phone/Email	



Category	Exterior Doors
Subcategory	Swinging Exterior Door Assembl

Compliance Method	Test Report
-------------------	-------------

Testing Lab	Certified Testing Laboratories
Quality Assurance Entity	National Accreditation and Mana
Quality Assurance Contract Expiration Date	

Validated By National Accreditation & Manage

Certificate of Independence

Referenced Standard and Year (of Standard) **Standard**
 PA 201
 PA 202
 PA 203

Equivalence of Product Standards
 Certified By

Sections from the Code
 1606.1.4
 1606.1.4
 1606.1.4

Product Approval Method: Method 1 Option B

Date Submitted 12/15/2003
 Date Validated 12/15/2003
 Date Pending FBC Approval 12/18/2003
 Date Approved 01/14/2004

Summary of Products		
FL #	Model, Number or Name	Description
1321.1	Distinction	Fiber Glass Entry Door
Limits of Use (See Other) Approved for use in HVHZ: Approved for use outside HVHZ: Impact Resistant: Design Pressure: +/- Other: Evaluated for use in locations adhering to the Florida Building Code and where pressure requirements as determined by ASCE 7 Minimum Design Loads for Buildings and Other Structures does not exceed the design pressure ratings listed on related test report.		Installation Instruction <u>PTID_1321_I_BrowardPr</u> <u>PTID_1321_I_D8DI-228.</u> <u>PTID_1321_I_D8DO-227</u> <u>PTID_1321_I_D8SI-226.</u> <u>PTID_1321_I_D8SO-225</u> <u>PTID_1321_I_DDI-224.p</u> <u>PTID_1321_I_DDO-223.f</u> <u>PTID_1321_I_DSI-222.p</u> <u>PTID_1321_I_DSO-221.f</u> Verified By: Test Reports <u>PTID_1321_T_BrowardPr</u> <u>PTID_1321_T_CTLA-900</u> <u>PTID_1321_T_CTLA-900</u>



Broward County
 PRODUCT APPROVAL SUBMITTAL FORM
 EXTERIOR DOOR

Submitted Date: _____
 For Bldg. Dept. Use Only
 Control/Permit #: _____

1.0 Detailed Product Description

- 1.1 Manufacturer: NAN YA PLASTIC / PLASTPRO
 a. Model Name: DISTINCTION
 b. Model Number: OUTSWING / INSWING
 c. Unit Size: 3'-0" x 6'-8"
 d. Panels (Number & Size): 2'-11 3/4 x 6'-7 1/4"
 e. Rated Uniform Air Pressure Capacity (Based on Test Data)
 i. Negative (psf): -50.0 PSF
 ii. Positive (psf): +50.0 PSF
 f. Impact Resistibility: Yes No
 g. Egress: Yes No

2.0 Material Characteristics

- 2.1 Door (Type & Thickness): FIBERGLASS - 1 3/4"
 a. Jamb: (Type & Thickness): WOOD - 1 1/4" - 4 8/16"
 b. Still: (Type & Thickness): BUMP ALUM. MIN 1/2" x 4"
 2.2 Glazing
 a. Glazing Material: 1" LAMINATED TAIWAN GLASS
 b. Glazing Method: FLUSH FIBERGLASS FRAME
 2.3 Hardware
 a. Description of & Location: PASSAGE + DEADBOLTS
 b. Locking Device: KWIKSET
 2.4 Weepholes: NONE
 2.5 Type of Weather-stripping: COMPRESSION
 2.6 Additional Reinforcement: _____
 2.7 Location & Type of Required Field Applied Sealants: LATEX CAULK - JOINTS JAMB

4.0 Specific Installation Requirements

- 4.1 Type of Openings: Masonry Wood Framed, Other
 Jamba
 a. Fastener (Type & Size): SEE DIAGRAM
 b. Fastener Spacing: SEE DIAGRAM
 c. Min. Fastener Embedment: SEE DIAGRAM
 d. Max. Shim Spacing: 1/4"
 Sill
 a. Fastener (Type & Size): SEE DIAGRAM
 b. Fastener Spacing: SEE DIAGRAM
 c. Min. Fastener Embedment: SEE DIAGRAM
 d. Max. Shim Spacing: 1/4"
 Head
 a. Fastener (Type & Size): SEE DIAGRAM
 b. Fastener Spacing: SEE DIAGRAM
 c. Min. Fastener Embedment: SEE DIAGRAM
 d. Max. Shim Spacing: 1/4"
 4.2 Buck
 a. Type/Material: WOOD
 b. Size: 2 BY AS REQUIRED
 c. Configuration: BEHIND VERT. JAMB
 d. Structural: Yes No
 4.3 Optional Graphic Illustration Yes No
 * If yes, please attach drawings. If illustration is added, said attachment must accompany this form.

3.0 Limitations SINGLE GLAZED DOOR +50.0, -50.0 PSF

- 2'-0" TO 3'-0" WIDE x 6'-8" HIGH
 3'-0" WIDE x 6'-8" HIGH DOUBLE OR SINGLE GLAZED SIDELIGHT

5.0 Mandatory Tests

TEST	DESCRIPTION	TEST LOCATION	TEST DATE	TEST REPORT #	CERTIFYING ENGINEER & LICENSE NO.
ASTM E330-90	Uniform Static Air Pressure	CERTIFIED TEST LABORATORIES	OCT 4th TO 27th 2002	CTLA-932W	RAMESH PATEL P.E. NO. 20224
AAMA 1302.5	Forced Entry	ORLANDO, FL	2002	SAME	SAME
ASTM E331-91 OR ASTM 547-93	Water Penetration	SAME	OCT 4th TO 27th 2002	SAME	SAME
ASTM E263-91	Air Infiltration Leakage	SAME	SAME	CTLA-932W	SAME

If comparative analysis was used please indicate Yes No

6.0 Supplemental Tests (Optional Tests)

TEST	DESCRIPTION	TEST LOCATION	TEST DATE	TEST REPORT #	CERTIFYING ENGINEER & LICENSE NO.
FBC 1626.2 *	Large Missile	CTL	10/4 > 10/27	CTLA-932W	RAMESH PATEL
FBC 1626.3 *	Small Missile				

7.0 General Notes

- 7.1 Test reports are not required to be submitted.
 7.2 Application for building permit shall include (2) originals of this report, signed and sealed by a Professional Engineer, reviewed and approved by the design professional of record.
 7.3 Labels and identification shall be in accordance with the Code.
 7.4 All other provisions of the Florida Building Code; shall apply.
 7.5 (*) Tests are required if 1.1.f is checked "yes"
 7.6 See Section 2411.3.2 for exception to water infiltration

8.0 Certification

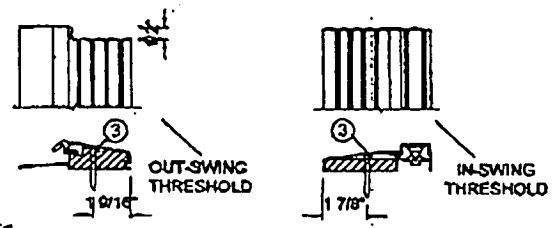
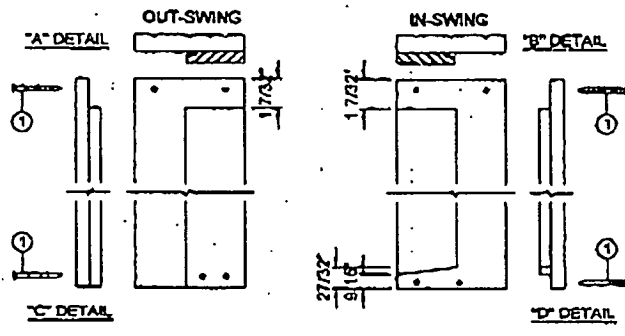
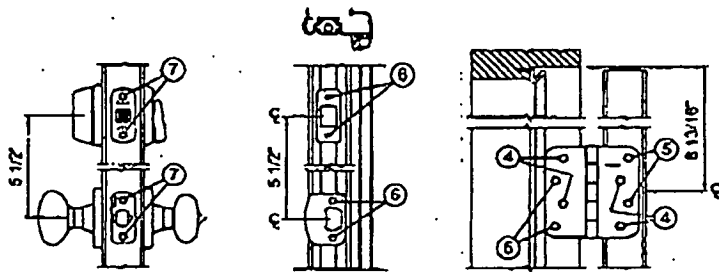
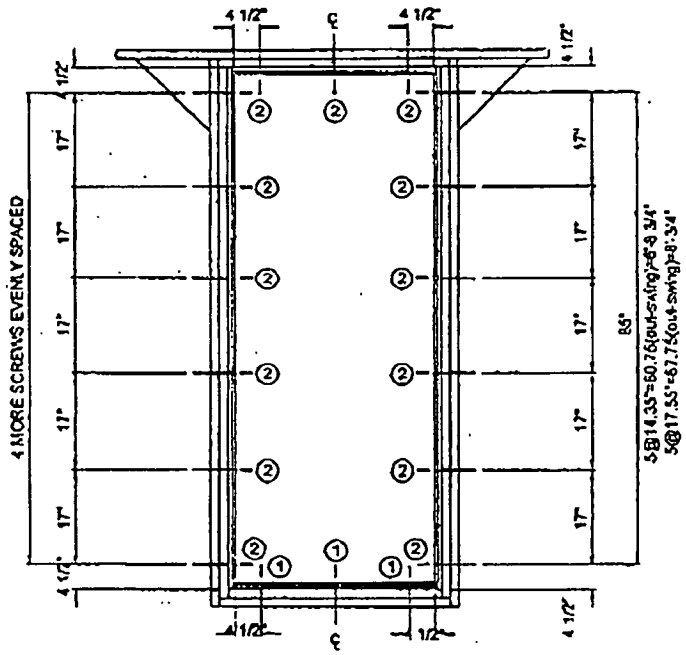
8.1 To the best of my knowledge and ability the above exterior door product conforms to the requirements of the Florida Building Code:

Randy P. ... 6/19/07
 State of Florida, Professional Engineer

9.0 Acknowledgment by Design Professional of Record

State of Florida, Professional Engineer or Registered Architect

Job/Site Location



SCREW SCHEDULE					
ITEM	MATERIALS	QTY	ITEM	MATERIALS	QTY
①	#8 X 3" DECK SCREWS	3	⑤	3 1/2" PRIMEGUARD PHILLIPS EXTERIOR	32
②	#10 X 2 1/2" PHILLIPS FLAT HEAD SCREWS	15	⑥	#8 X 3" PHILLIPS FLAT HEAD	4
			⑦	#8 X 1 1/2" PHILLIPS FLAT HEAD	4
④	#9 X 3/4" PHILLIPS FLAT HEAD	32			



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 123 S.S.P.R.

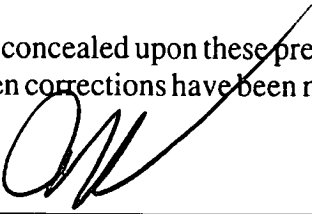
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DOOR FINAL

NEED DOOR MANUFACTURER
ENGR. FOR ATTACHMENT
OF DOOR JAMBS & SIDELITE
@ DINING ROOM DOOR.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/2



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

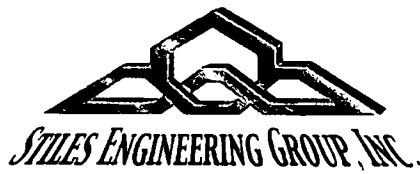
Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-2, 2008

Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8862	McGroth	Final	FAIL	
2	123 Sewalls H&B Carp.	doors		INSPECTOR: <i>[Signature]</i>
8535	Stark	Framing	PASS	
5	875 River Rd Enil Lav	A/C ROUGH. SMOKE/ELEC.	PASS PASS	INSPECTOR: <i>[Signature]</i>
8915	Mufson	electric	FAIL	
7	175 River Rd Dee Conroy Mike	gas Final	PASS FAIL	INSPECTOR: <i>[Signature]</i>
7901	Allman	Final	FAIL	
3	45 Riv Vista OB			INSPECTOR: <i>[Signature]</i>
8816	Wood	Final	PASS	CLOSE
4	15 Lantana La Folding Shutters			INSPECTOR: <i>[Signature]</i>
8589	Hardin	partial insulation	PASS	
6	275 River Rd Stratton	Garage + Guest House	PASS PASS	INSPECTOR: <i>[Signature]</i>
8848	Nateif	sheathing	PASS	
1	26 W High Pt Vincent Montalto	door buck	OK	3/4" BUCK. INSPECTOR: <i>[Signature]</i>

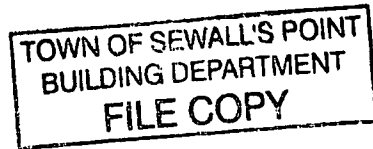
OTHER: _____



PROFESSIONAL STRUCTURAL CONSULTANTS
404 SW Camden Ave., Stuart, FL 34994
Voice: (772)223-9883 Fax: (772)223-9502



July 3, 2008



P/N 8862

Mr. John Salico
c/o J&G Carpentry
13461 79th Ct. N
West Palm Beach, Florida 33412

Re: McGrath Door w/ Sidelite Installation. Permit No. 8862, 123 S. Sewall's Point Road, Stuart, FL.

Dear Mr. Salico;

Pursuant to our agreement, I have reviewed the door and sidelite installation at the above referenced project. I have prepared the following report for your use. The objective of this review is to determine the adequacy of the installation.

My analysis of the butted door jamb to sidelite jamb screwed connection has revealed the installation is adequate as installed. The minimum connection allowed for the exposure encountered at this site is one #8 x 2" screw located six inches from each corner, then 13 7/8" (max.) on center for the remainder.

My inspection of this work reflects a successfully completed installation which meets or exceeds the requirements of the **FBC 2004 Edition, 2006 Revision**. Please direct any questions of this inspection to this office.

If you have any questions or concerns, or if I can be of any future service, please do not hesitate to contact me.

Respectfully,

T. Stiles Peet, P. E.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ~~Fri~~ ^{THURS} 7/17, 2008 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
CE.	24 E. HIGH PT MATEWSKI	INVESTIGATE ROCK WALLS LANDSCAPING		EXCAVATING INTO ROAD ROW? INSPECTOR: JAW
8802	M. G. SMITH 123 S.S.P.R. J&G	DOOR FINISH	PASS	RECOMMENDATION 7/14/08 (C. LOST) INSPECTOR: JW
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

10252

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10252	DATE ISSUED:	10/24/2012
SCOPE OF WORK:	AC CHANGEOUT		
CONTRACTOR:	BREATHE HEALTHIER AIR		
PARCEL CONTROL NUMBER:	133841005000-001608	SUBDIVISION	PALM ROW REVD - L16
CONSTRUCTION ADDRESS:	123 S SEWALLS PT RD		
OWNER NAME:	MC GRATH		
QUALIFIER:	KENNETH GEARY	CONTACT PHONE NUMBER:	221-8698

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

10252

Date: 8/22/12

OWNER/LESSEE NAME: MATTHEW Mc GRATH

Phone (Day) 772-781-1318 (Fax)

Job Site Address: 123 S. SEWALL'S POINT Rd

City: STUART

State: FL

Zip: 34996

Legal Description

Parcel Control Number:

Fee Simple Holder Name:

Address:

City:

State:

Zip:

Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC):

AC Changeout

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)

YES NO [checked]

Has a Zoning Variance ever been granted on this property?

YES (YEAR) NO

(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 4550.00

(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X

FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvement: \$

(Fair Market Value of the Primary Structure only, Minus the land value)

PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: BREATHE HEALTHIER AIR INC.

Phone: 772-221-8898

Fax: 772-781-4634

Qualifiers name: Kenneth H. Geary

Street: 2801 SE MARCOE STREET

City: STUART

State: FL

Zip: 34997

State License Number: CAC035593

OR: Municipality:

License Number:

LOCAL CONTACT: Ken Geary

Phone Number:

214-9711

DESIGN PROFESSIONAL:

Street:

City:

State:

Zip:

Phone Number:

AREAS SQUARE FOOTAGE: Living: 1978

Garage:

Covered Patios/Porches:

Enclosed Storage:

Carport: Total under Roof:

Elevated Deck:

Enclosed area below BFE:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq ft require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT. THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Electrical, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE:

X [Signature]

State of Florida, County of:

On This the [22] day of [August], 2012

by [Signature] who is personally

known to me or produced

As identification:

Notary Public

My Commission Expires:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE:

X [Signature]

State of Florida, County of: Martin

On This the [23] day of [August], 2012

by Kenneth H. Geary who is personally

known to me or produced [Signature]

As identification: [Signature]

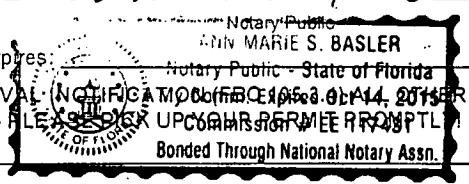
Notary Public

MARIE S. BASLER

Notary Public - State of Florida

My Commission Expires:

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL (NOTIFICATION OF DECISION BY 14, 2011) APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

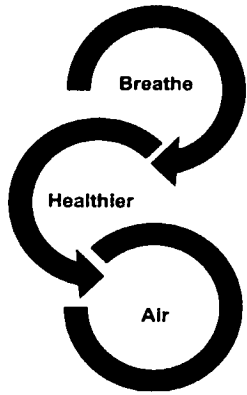
BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10252
ADDRESS	123 S SEWALLS PT RD - MC GRATH
DATE	SCOPE OF WORK AC CHANGEOUT

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	4550
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	5
TOTAL ACCESSORY PERMIT FEE:		\$	84

pd
cx#1259



Air Conditioning & Heating Air Duct Cleaning & Purification

Sales, Service, & Replacements

2801 SE Monroe Street Stuart, Florida 34997

Phone: 772-221-8698 Fax: 772-781-4634

www.breathehealthierair.com

State License: CACO35593

Name: Matthew & Victoria McGrath

Phone: 772-781-1318

Date: August 14, 2012

Address: 123 S. Sewall's Point Road Stuart, Florida 34996

Email: _____

We propose to replace the existing air conditioning equipment with new more efficient equipment, included is the following:

We will remove the existing stair case in garage in order to get to the air handler unit

We will remove and haul away the existing equipment

We will install new more efficient equipment, hooked up to the existing duct system, electrical, refrigerant, & condensate lines

We will build a new return air plenum box and attach it to the new air handler unit.

We will install the new stair case (customer supplied) to the garage ceiling

All permits and Manual J's as required by the building department are included

The equipment will be by **Lennox 16seer cooling and 10kw heating**

1-4.0ton condensing unit Model#14ACX-047 1-4.0ton air handler unit Model#CBX27UH-048

Warranty: Ten years on all parts, including compressor and coils, One year on the labor

Total investment: Five Thousand Six Hundred Fifty-Three Dollars \$5,653.00

We will credit back your invoice a \$780.00FPL rebate and a \$300.00 BHA/Lennox rebate

Total net cost after rebates: Four Thousand Five Hundred Seventy-Three Dollars \$4,573.00

Terms: 25% upon acceptance of proposal, & 75% day of completion

Offered by:

Kenneth H. Geary

Accepted by:

“On-Time, Quality, Reliable Service”



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Air Conditioning Change out Affidavit

Residential Commercial _____
 Package Unit ___ Yes No (Use Condenser side of form below for equipment listing)
 Duct Replacement ___ Yes No - Refrigerant line replacement ___ Yes No
 Flushing Existing Refrigerant lines Yes ___ No - Adding Refrigerant Drier Yes ___ No
 Rooftop A/C Stand Installation ___ Yes No - Curb Installation ___ Yes No
 Smoke Detector in Supply (over 2000 CFM) ___ Yes No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CBX27UH048
 Volts 240 CFM's 1260 Heat Strip 10 Kw
 Min. Circuit Amps 57 Wire gauge #6
 Max. Breaker size 60 Min. Breaker size 60
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 Attic/Garage/Closet (specify) ATTIC
 Access: GARAGE

Condenser: Mfg: LENNOX Model# 14ACX-047
 Volts 240 SEER/EER 16 BTU's 46500
 Min. Circuit Amps 26 Wire gauge #10
 Max. Breaker size 45 Min. Breaker size 40
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type 410A
 Location: Existing New _____
 Left/Right/Rear/Front/Roof LEFT
 Condensate Location LEFT

NOTE: CONTRACTOR MUST SUPPLY A PROPER LADDER IF REQUIRED FOR INSPECTION

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: TRANE Model# TW2048C
 Volts 240 CFM's N/A Heat Strip 10 Kw
 Min. Circuit Amps N/A Wire gauge #6
 Max. Breaker size N/A Min. Breaker size _____
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R-22
 Location: Ext. New _____
 Attic/Garage/Closet (specify) ATTIC
 Access: GARAGE

Condenser: Mfg: TRANE Model# TTY048BB
 Volts 240 SEER/EER 14 BTU's 48000
 Min. Circuit Amps N/A Wire gauge #10
 Max. Breaker size _____ Min. Breaker size _____
 Ref. line size: Liquid 3/8 Suction 7/8
 Refrigerant type R-22
 Location: Ext. New _____
 Left/Right/Rear/Front/Roof LEFT
 Condensate Location LEFT

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N) 1107 & 1108

Kenn H. Dean
 Signature

8/22/12
 Date

Heat Loss / Heat Gain Summary Report
New Load 8/22/2012

8/22/2012

Homeowner
McGrath Residence
123 S. Sewall's Point Road
Stuart, Fl 34996

Prepared by
A Breathe Healthier Air Company
5588 SE Lamay Drive
Stuart, Florida 34997
Comfort Advisor

<u>Design Conditions In: Fort Pierce</u>		<u>House Style 1 Story faces E</u>		<u>Conditioned Square Feet 1978</u>	
<u>Winter Indoor Temp (F)</u>	74	<u>Summer Indoor Temp (F)</u>	70	<u>Daily Range</u>	M
<u>Winter Outdoor Temp (F)</u>	42	<u>Summer Outdoor Temp (F)</u>	90	<u>Elevation</u>	25
				<u>A.C.F.</u>	0.99
				<u>Grains</u>	64
				<u>Latitude N</u>	27
				<u>Occupants</u>	8

	SQFT	HEAT LOSS (BTUs)	HEAT GAIN (BTUs)
CEILING/ROOF	1978	3,228	3,127
WALLS	1661	6,219	3,945
GLASS	171	6,957	8,229
DOORS	42	806	781
FLOORS	186	5,883	0
INFILTRATION		9,267	3,041
Effective Air Changes - Heat: 0.800 Cooling: 0.420			0
A.E.D. EXCURSION			0
SUBTOTAL			19,124
INTERNAL SENSIBLE GAIN			3,320
INTERNAL LATENT GAIN			800
INFILTRATION LATENT GAIN			6,015
NET LOSS AND GAIN		32,361	29,259
LATENT GAIN FROM DUCTS			3,527
Duct Loss: 0.43 Duct Gain: 0.32		14,067	5,923
VENTILATION LOSS AND GAIN		0	0
0 CFM			0
LATENT GAIN FROM VENTILATION			1,707
OUTPUT		46,428	40,416
80.0% INPUT		58,035	
HEAT CFM	1,640		TOTAL LATENT GAIN 10,342
COOL CFM	1,315		TOTAL SENSIBLE GAIN 30,074
			SENSIBLE RATIO 0.74

Roof/Ceiling	area	uval	htm	btuloss	btugain
Ceiling Below Roof Joists Dark / bold color asphalt shingle - dark metal - dark membrane - dark tar / gravel R-19 Blanket / loose fill	1,978	0.051	31.00	3,228	3,127
	1,978			3,228	3,127

Walls	area	uval	htm	btuloss	btugain
WALL Block Construction - Any Exterior Finish Zero Cavity Insulation Stucco / Siding R-4 - External insulative board:	1,661	0.117	20.30	6,219	3,945
	1,661			6,219	3,945

Windows	area	uval	c-uval	htm	btuloss	btugain
Qty: 1 - Standard Window Assembly Operable E - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Green Grass	6	1.270	1.00	64.56	252	401
Qty: 1 - Standard Window Assembly Operable S - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Green Grass	11	1.270	1.00	27.70	428	292

**Heat Loss / Heat Gain Summary Report
New Load 8/22/2012**

8/22/2012

Homeowner
McGrath Residence
123 S. Sewall's Point Road
Stuart, Fl 34996

Prepared by
A Breathe Healthier Air Company
5588 SE Lamay Drive
Stuart, Florida 34997
Comfort Advisor

<u>Design Conditions In: Fort Pierce</u>	<u>House Style</u> 1 Story faces E	<u>Conditioned Square Feet</u> 1978
<u>Winter Indoor Temp (F)</u> 74	<u>Summer Indoor Temp (F)</u> 70	<u>Daily Range</u> M <u>Elevation</u> 25 <u>A.C.F.</u> 0.99
<u>Winter Outdoor Temp (F)</u> 42	<u>Summer Outdoor Temp (F)</u> 90	<u>Grains</u> 64 <u>Latitude N</u> 27 <u>Occupants</u> 8

Windows	area	uval	c-uval	htn	btuloss	btugain
Qty: 1 - Standard Window Assembly Operable W - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Green Grass	6	1.270	1.00	64.56	241	383
Qty: 2 - Standard Window Assembly Operable N - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Crushed Rock	27	1.270	1.00	59.40	1,097	802
Qty: 3 - Standard Window Assembly Operable E - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Green Grass	41	1.270	1.00	193.67	1,646	2,615
Qty: 3 - Standard Window Assembly Operable S - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Green Grass	41	1.270	1.00	83.10	1,646	1,122
Qty: 3 - Standard Window Assembly Operable W - Clear Glass - Single Pane - Metal No Break frame - 1/2 External Vertical Screen - Drape Half Drawn - Sunscreen: None - Green Grass	41	1.270	1.00	193.67	1,646	2,615
171					6,957	8,229

Doors	area	uval	htn	btuloss	btugain
Metal Fiberglass Core - Storm: None	42	0.600	31.00	806	781
42				806	781

Floors	area	uval	htn	btuloss	btugain
Passive Concrete Slab on Grade R-0 Light dry soil Zero edge insulation - zero insulation below floor cover	186	0.989	0.00	5,883	0
186				5,883	0

Calculations are based upon ACCA Manual J Version 8.20 - Including Addendums B, C, &D (C) 1995-2007 Nitek Software



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel: 772-287-2455 Fax 772-220-4765

FLORIDA ENERGY CONSERVATION CODE

Mandatory Duct Inspection Certification for HVAC change-out

For use when part of the duct and/or HVAC system has been replaced (Section 101.4.7.1.1 & FS 553.912)

Owner: MATTHEW Mc GRATH Contractor name: BREATHE HEALTHIER AIR Inc.

Street address: 123 S. SEWALL'S POINT RD Jurisdiction: _____

City: STUART Permit No.: _____

Zip: 34996 Final inspection date: _____

I certify that I have inspected the duct work associated with the HVAC unit referenced by the permit listed above and found it complies with the requirements of Section 101.4.7.1.1 as indicated below:

- Where needed, the existing ducts have been sealed using reinforced mastic or code-approved equivalent.
- Ducts are located within conditioned space. (Section 101.4.7.1.1 exception 1)
- The joints or seams are already sealed with fabric and mastic (Section 101.4.7.1.1 exception 2)
- System was tested (see below) and repairs were made as necessary – (Section 101.4.7.1.1 exception 3)

Signature: Kenneth A. Gear Date: 8/22/12

Printed Name: Kenneth A. Gear

Contractor License #: CACo 35593

I certified I have tested the replaced air distribution system(s) referenced by the permit listed above at a pressure differential of 25 Pascals (0.10 in. w.c.).

Signature: _____ Date: _____

Printed Name: _____

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection: Mon Tue Wed **Thur** Fri **10-25-12** Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10251	Mc GINTY			
1 st AM	123 S. S. P. RD. BREATH HEALTHY AIR	AC/FIN/IN	PASS	CLOSE INSPECTOR <i>gt</i>
930 AM	3 Margarita	meet w/ owner	all	INSPECTOR
10241	Benson	Final gas		
LATE PM	2 Copains Ferrell Gas		CANCEL	RESET INSPECTOR <i>gt</i>
10021	Quedis	1st fl tie beam		
Late PM	25 Silver Rd beam Panks		CANCEL	NO RESET INSPECTOR <i>gt</i>
10126	Perch	Counterfoot wall footer & 2 walls	PASS	INSPECTOR <i>gt</i>
2 nd	8 Morgan Cir Scott Holmes			
9969	Frisoli			
	50 S. Spr Rd Driftwood	INSULATION	PASS	INSPECTOR <i>gt</i>
9911	Brekny	Final		
	6 Riverview Freedom Home		PASS	CLOSE INSPECTOR <i>gt</i>

10419

REROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10419	DATE ISSUED:	APRIL 12, 2013
SCOPE OF WORK:	REROOF		
CONTRACTOR:	STUART ROOFING		
PARCEL CONTROL NUMBER:	133841005-000-001608	SUBDIVISION	PALM ROW REV - L16
CONSTRUCTION ADDRESS:	123 SEWALLS PT RD		
OWNER NAME:	BROWN		
QUALIFIER:	JOHN TURNER	CONTACT PHONE NUMBER:	692-9854

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

Date: 4-4-13

BUILDING PERMIT APPLICATION

Permit Number: 10419

OWNER/LESSEE NAME: Laurie A. Brown Phone (Day) 203-218-1844 (Fax)

Job Site Address: 123 S. Sewall's Point Rd, City: Stuart State: FL Zip: 34996

Legal Description: Palm Row Revised & Amended Lot 1B Parcel Control Number: 13-38-41-005-000-00160-8

Fee Simple Holder Name: Address:

City: State: Zip: Telephone:

*SCOPE OF WORK (PLEASE BE SPECIFIC): re-roof

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO X

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 18,985.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ 120,560 (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Stuart Roofing Phone: 692-9854 Fax: 692-9856

Qualifiers name: John Turner Street: 140 NE Dixie Hwy City: Stuart State: FL Zip: 34994

State License Number: CCC024411 OR: Municipality: License Number:

LOCAL CONTACT: Phone Number:

DESIGN PROFESSIONAL: Fla. License# APR 10 2013 Phone Number:

Street: City: State: Zip:

AREAS SQUARE FOOTAGE: Living: Garage: Covered Patios/ Porches: Enclosed Storage:

Carport: Total under Roof: Elevated Deck: * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER /AGENT/LESSEE - NOTARIZED SIGNATURE: X Laurie A. Brown State of Florida, County of: MARTIN On This the 4th day of APRIL 2013 by Laurie A. Brown who is personally known to me or produced As identification: Notary Public My Commission Expires:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: X John W. Turner State of Florida, County of: On This the 4th day of April 2013 by John W. Turner who is personally known to me or produced As identification: Notary Public My Commission Expires:

Stamp area containing notary seals for Laurie A. Brown and John W. Turner, both commissioning for EE 133479 and expiring September 26, 2015. Includes text: SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (SECTION 55.1335) PICK UP YOUR PERMIT PROMPTLY!



NOTICE OF COMMENCEMENT

INSTR # 2386929
OR BK 2641 PG 2281

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (SP. Mechanical)

RECORDED 04/05/2013 02:32:02 PM
CAROLYN TIMMANN

PERMIT #: _____ TAX FOLIO #: 13-38-41-005-000

STATE OF FLORIDA COUNTY OF MARTIN

MARTIN COUNTY CLERK

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
Palm Row Revised & Amended Lot 16, 123 S. Sewalls Pt. Road, Stuart 34996

GENERAL DESCRIPTION OF IMPROVEMENT: re-roof

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: Laurie A. Brown
ADDRESS: 123 S Sewalls Point Rd, Stuart FL 34996
PHONE NUMBER: 203-218-1844 FAX NUMBER: _____
INTEREST IN PROPERTY: owner

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

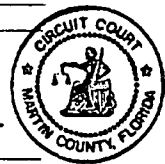
CONTRACTOR: John Turner / Stuart Roofing
ADDRESS: 140 NE Dixie Hwy, Stuart, FL 34994
PHONE NUMBER: 692-9854 FAX NUMBER: 692-9456

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____ STATE OF FLORIDA
PHONE NUMBER: _____ FAX NUMBER: _____ MARTIN COUNTY

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:
NAME: _____
ADDRESS: _____
PHONE NUMBER: _____

THIS IS TO CERTIFY THAT THE FOREGOING PAGE(S) IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENT AS FILED IN THIS OFFICE.



CAROLYN TIMMANN, CLERK
BY: _____ D.C.

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ DATE: OF 04/05/13 TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

Laurie A. Brown

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY-IN-FACT

SIGNATORY'S TITLE/OFFICE owner

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4TH DAY OF APRIL, 2013

BY: Laurie A. Brown AS owner FOR _____
NAME OF PERSON TYPE OF AUTHORITY PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION PRODUCED _____

NOTARY SIGNATURE/ SEAL





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

ALL RE-ROOFS REGARDLESS OF VALUE SHALL COMPLY WITH THE FOLLOWING:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

X Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

WAA Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: Stuart Roofing/John Turner PHONE #: 692-9854 FAX: 692-9856

OWNER'S NAME: Laurie Brown

CONSTRUCTION ADDRESS: 123 S. Sewalls Pt. Rd CITY Sewalls Point STATE FL

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)
 COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. YES NO - INSURED VALUE OF RESIDENCE: \$ _____

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 5 /12 SLOPE

ROOF DECK:* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED
 RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".
 SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".
 EXISTING DECK TO REMAIN/REPAIRED& RENAILED

EXISTING ROOF COVERING: Shingle EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: 5V-26 gauge metal roof

MANUFACTURER Jm Metals PRODUCT NAME 5-V PRODUCT APPR # FL 12966.6-R3

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK: reroof sloped + flat roofs. sloped roof to be 5V-26 gauge metal + flat roof to be new peel+stick base + cap sheet. Galvalume metals.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Signature] DATE: 4-4-13
 SIGNATURE OF CONTRACTOR

CBUCK Engineering

Specialty Structural Engineering

CBUCK, Inc. Certificate of Authorization #8064

Evaluation Report "JM 5V Crimp" Metal Roof Assembly

Manufacturer:
Innovative Distribution, LLC d/b/a JM Metals
1505 Cox Road
Cocoa, Florida 32926
321.639.1537

for

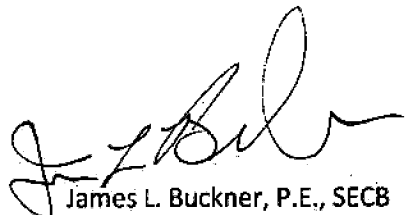
Florida Product Approval
FL 12966.6 R3
Florida Building Code 2010
Per Rule 9N-3

Method: 1 - D
Category: Roofing
Sub - Category: Metal Roofing

Product: JM 5V Crimp Roof Panel
Material: Steel
Panel Thickness: 26 gauge
Panel Width: 24"
Support: Wood Deck

Prepared by:
James L. Buckner, P.E., S.E.C.B.
Florida Professional Engineer # 31242
Florida Evaluation ANE ID: 1916
Project Manager: Diana Galloway
Report No. 12-132-5V-S9W-ER
Date: 4 / 6 / 12

Contents:
Evaluation Report Pages 1 - 9


James L. Buckner, P.E., SECB
Florida P.E. # 31242

A/24/12

Manufacturer: JM Metals

Product Name: JM 5V Crimp

Product Category: Roofing

Product Sub-Category: Metal Roofing

Compliance Method: State Product Approval Rule 9N-3.005 (1) (d)

Product/System Description: "JM 5V Crimp"
26 gauge Steel roof panel mechanically attached to Plywood Deck with screws.

Product Assembly as Evaluated: Refer to Page 4 of this report for product assembly components/materials & standards:

1. Roof Panel
2. Fasteners
3. Underlayment
4. Insulation (Optional)

Support: **Type:**
Wood Deck
(Design of support and its attachment to support framing is outside the scope of this evaluation.)

- Description:**
- 15/32 (min.) or greater plywood,
 - or Wood plank (min. specific gravity of 0.42)

Slope: Minimum slope shall be in accordance with manufacturer's recommendations, FBC Section 1507.4.2 and applicable code sections.

Performance: Wind Uplift Resistance:
• Design Uplift Pressure:
(Refer to "Table A" attachment details herein)

METHOD 1: - 85 PSF
METHOD 2: - 114.25 PSF
METHOD 3: - 114.25 PSF

- Performance Standards:** The product described herein has demonstrated compliance with:
- UL580-06 – *Test for Uplift Resistance of Roof Assemblies*
 - UL 1897-04 – *Uplift test for roof covering systems*
 - TAS 125-03 – *Standard Requirements for Metal Roofing Systems*
- Standards Equivalency:** The UL 580-94 & UL 1897-98 standard version used to test the evaluated product assembly is equivalent with the prescribed standards in UL 580-06 & UL 1897-04 adopted by the Florida Building Code 2010.
- Code Compliance:** The product described herein has demonstrated compliance with Florida Building Code 2010, Section 1504.3.2.
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural requirements of the Florida Building Code, as related to the scope section to Florida Product Approval Rule 9N-3.001.
- Limitations and Conditions of Use:**
- Scope of "Limitations and Conditions of Use" for this evaluation:
This evaluation report for "Optional Statewide Approval" contains technical documentation, specifications and installation method(s) which include "Limitations and Conditions of Use" throughout the report in accordance with Rule 9N-3.005. Per Rule 9N-3.004, the Florida Building Commission is the authority to approve products under "Optional Statewide Approval".
 - Option for application outside "Limitations and Conditions of Use"
Rule 9N-3.005(1)(e) allows engineering analysis for "project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code". Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
 - Design of support system is outside the scope of this report.
 - Fire Classification is outside the scope of Rule 9N-3, and is therefore not included in this evaluation.
 - This evaluation report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)
 - This metal roof system was tested to transmit the roof loads directly to the building structural support deck.
- Quality Assurance:** The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 9N-3.0005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through **Keystone Certifications, Inc.** (FBC Organization #: QUA 1824).

**Components/Materials
(by Manufacturer):**

Roof Panel: "JM 5V Crimp"
Material: Steel
Thickness: 26 gauge (min.)
Panel Width: 24" (max.) Coverage
Rib Height: 3/8"
Yield Strength: 40 ksi min.
Corrosion Resistance: In compliance with FBC Section 1507.4.3:

- ASTM A792 coated, or
- ASTM A653 G90 galvanized steel

Fastener:

Type: Hex-Head Wood Screw with WSW
Size : #9 - 15 x 1"
Corrosion Resistance: Per FBC Section 1506.6 and 1507.4.4
Standard: Per ANSI/ASME B18.6.4

Adhesive/Seam Sealant:

Product Name: Bostik Chem-Calk 915
Type: One component, polyurethane adhesive
Application Size: 3/16" bead
Application Location: along male flange the full length of panel underlaps
(Refer to Table "A" and drawings Page 8)

**Components/Materials
(by Others):**

Underlayment:
Per roofing manufacturer's guidelines in compliance with FBC Section 1507.4.5

Insulation (Optional):

Type: Rigid Insulation Board
Thickness: 3" (max.)
Properties:
Density: 2.25 pcf (lbs/ft³) min.
Or Compressive Strength: 20 psi min.

Insulation shall comply with FBC Section 1508. When insulation is incorporated, fastener length shall conform to penetrate thru bottom of support a minimum of 3/16".

Installation:**Installation Method:**

(Refer to drawings on Pages 6-7 of this report.)

- Fastener spacing: Refer to Table "A" Below (along the length of the panel)
- Row Spacing: Refer to Table "A" Below (along the row, across the panel profile)
- Rib Interlock: Lapped
- Minimum fastener penetration thru bottom of support, 3/16".
- For panel construction at the end of panels, refer to manufacturer's instructions and any site specific design.

TABLE "A"			
	METHOD 1:	METHOD 2:	METHOD 3:
Design Pressure:	- 85 PSF	- 114.25 PSF	- 114.25 PSF
Fastener Spacing:	12"	12"	12"
Row Spacing:	12"	12"	12"
Fastener Location:	Corrugation Peaks	Corrugation Peaks	Corrugation Valleys
Adhesive:	Not required	Refer to Drawing Details 2A & 2B	Not required

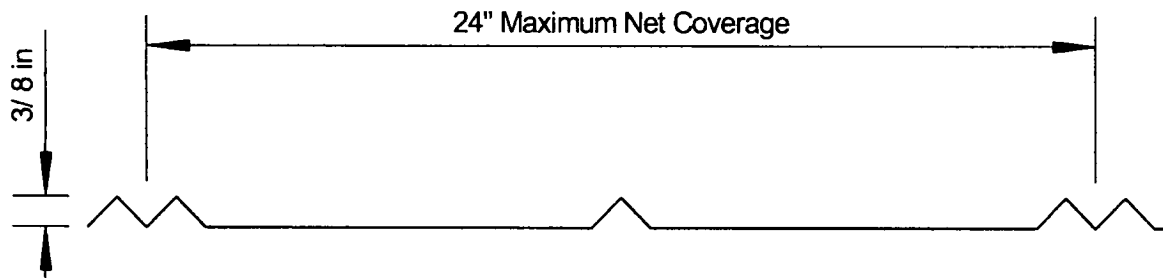
Install the "JM 5V Crimp" roof panel assembly in compliance with the installation method listed in this report and applicable code sections of FBC 2010. The installation method described herein is in accordance with the scope of this evaluation report. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

Referenced Data:

1. TAS 125-03 Uplift Test
By Hurricane Test Laboratory, LLC (FBC Organization #TST ID: 1527)
Method 1: Report 0223-0307-01; Test Date: 03 / 05 / 01 - 03 / 08 / 01
Method 2: Report 0223-0913-07; Report Date: 09 / 08 / 08
Method 3: Report 0223-0517-06; Test Date: 05 / 19 / 06 - 05 / 22 / 06
2. Quality Assurance
By Keystone Certifications, Inc. (QUA ID: 1824)
JM Metals, Licensee #: 344
3. Equivalency of Test Standard Certification
By James L. Buckner, P.E. @ CBUG Engineering
(FBC Organization # ANE 1916)
4. Certification of Independence
By James L. Buckner, P.E. @ CBUG Engineering
(FBC Organization # ANE 1916)

Installation Method
JM Metals
"JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck

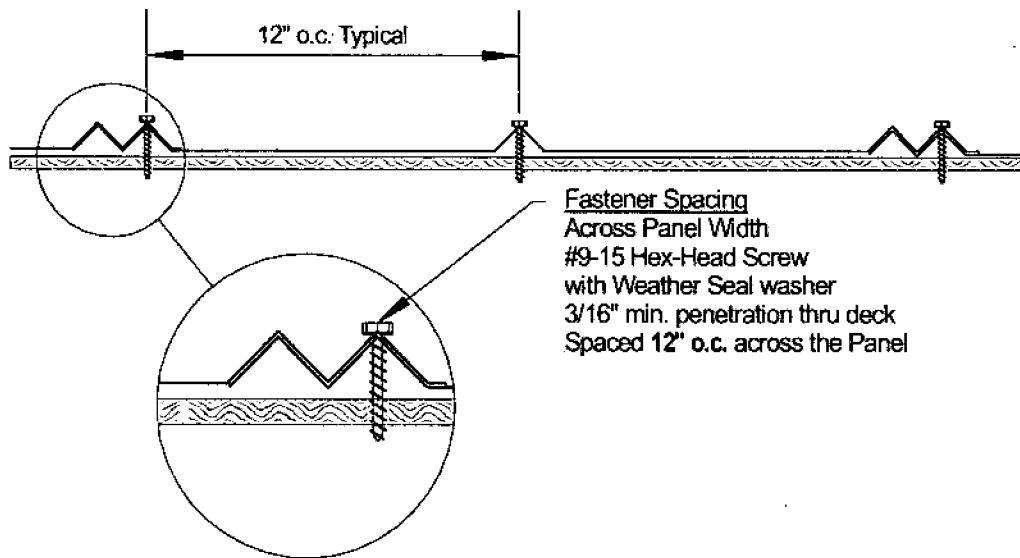
Profile Drawings



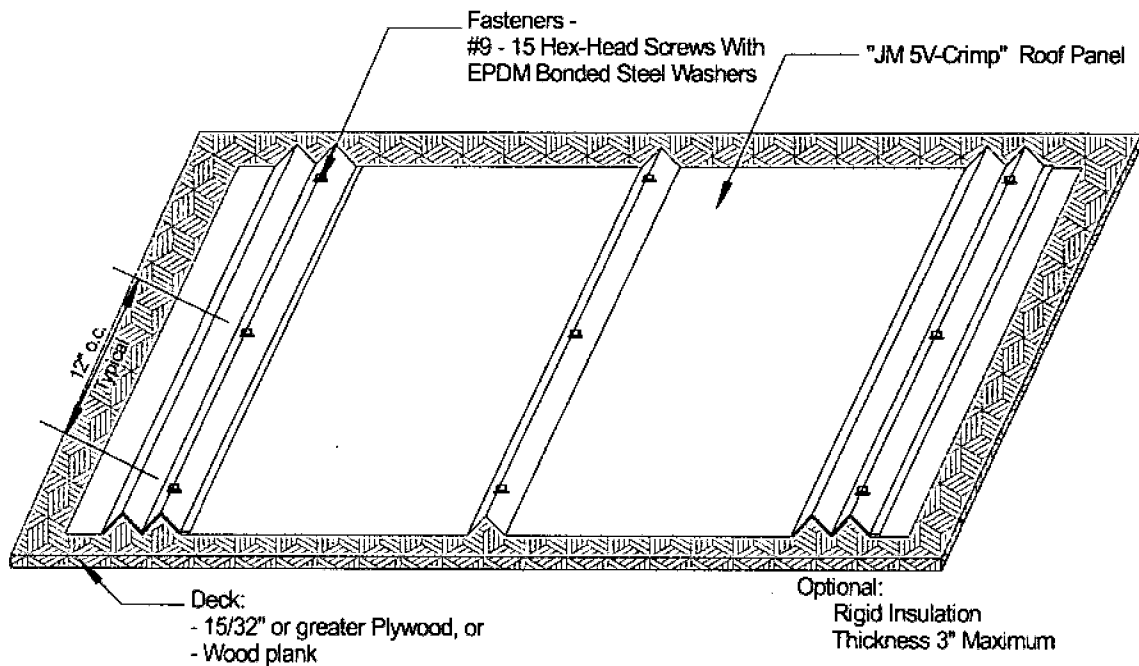
"JM 5V Crimp" Panel
Typical Panel Profile View

TABLE "A"			
	METHOD 1:	METHOD 2:	METHOD 3:
Design Pressure:	- 85 PSF	- 114.25 PSF	- 114.25 PSF
Fastener Spacing:	12"	12"	12"
Row Spacing:	12"	12"	12"
Fastener Location:	Corrugation Peaks	Corrugation Peaks	Corrugation Valleys
Adhesive:	Not required	Refer to Drawing Details 2A & 2B	Not required

Installation Method JM Metals "JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck

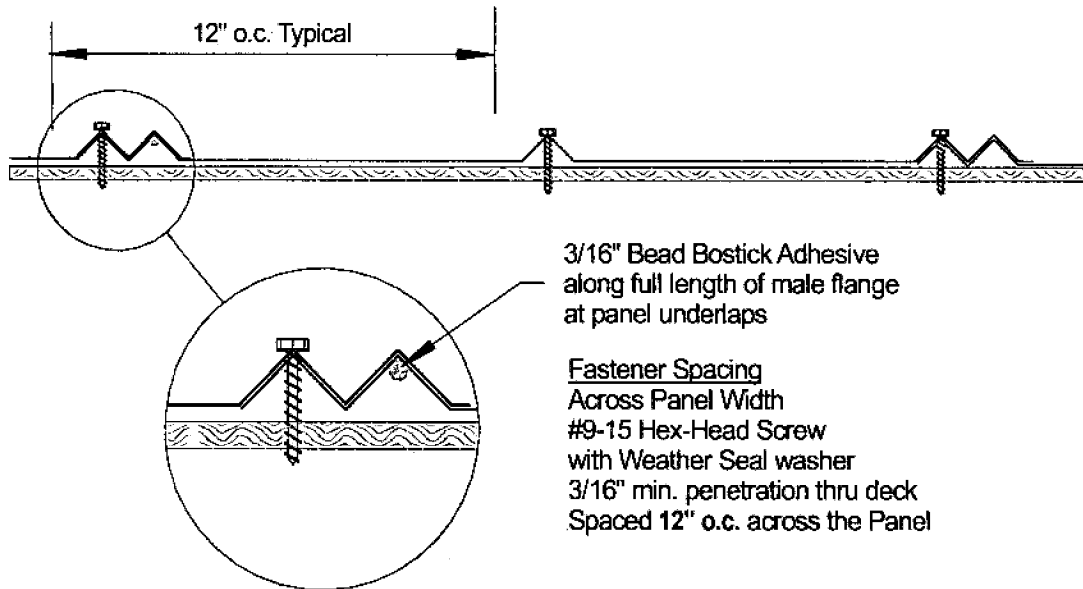


Detail 1A - Typical Assembly Profile View (METHOD 1)

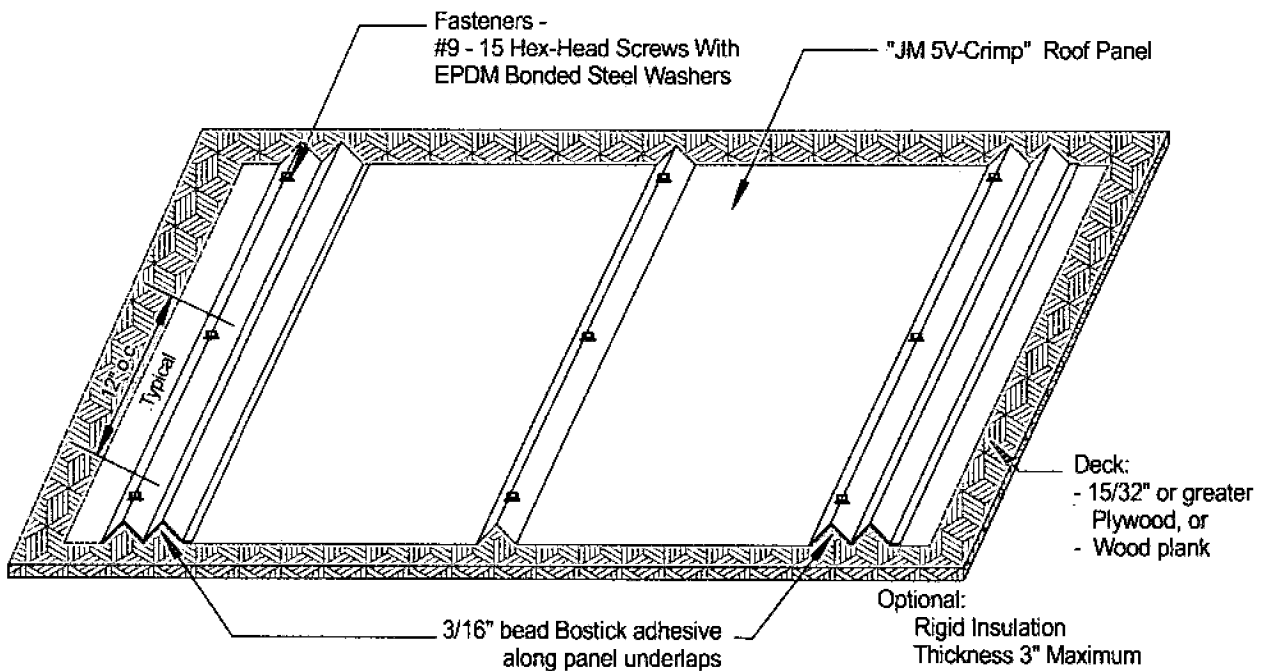


Detail 1B - Typical Assembly Isometric View (METHOD 1)

Installation Method JM Metals "JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck

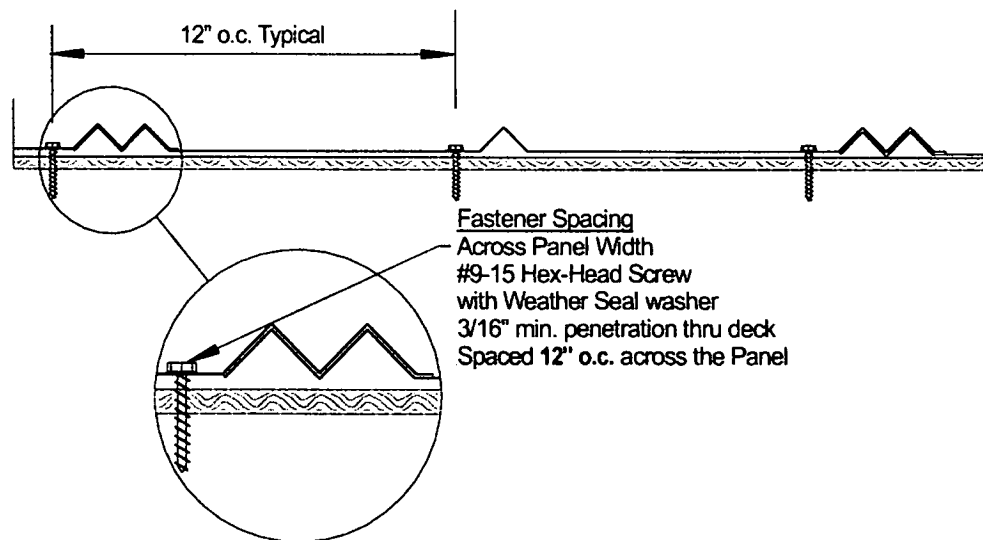


Detail 2A - Typical Assembly Profile View (METHOD 2)

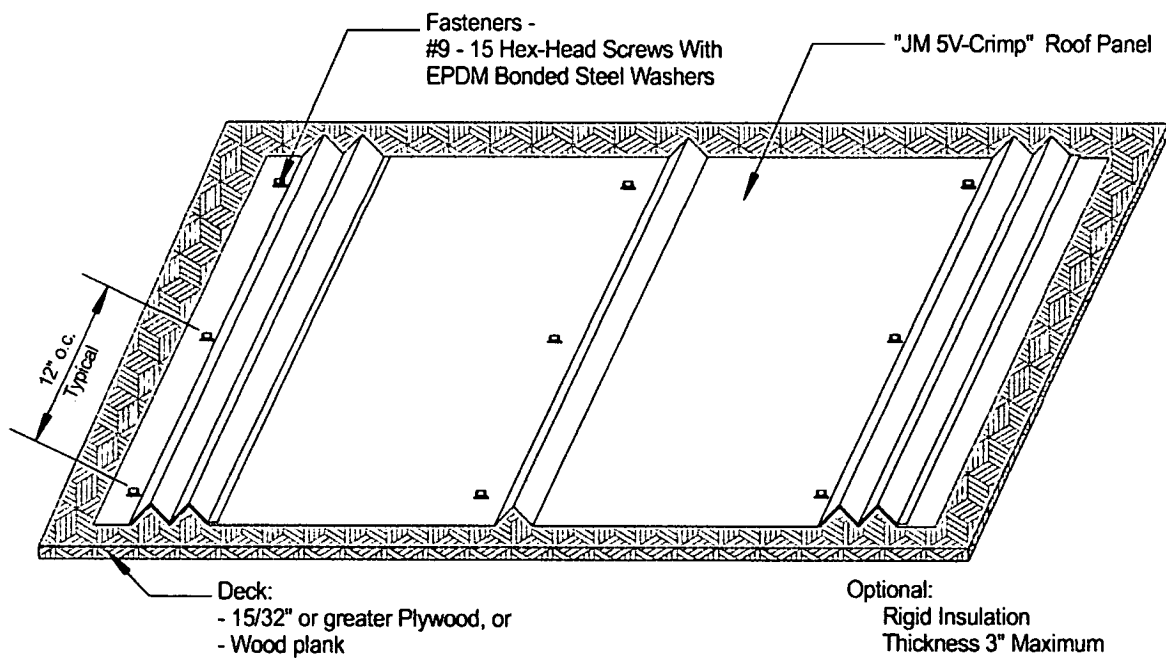


Detail 2B - Typical Assembly Isometric View (METHOD 2)

Installation Method JM Metals "JM 5V Crimp" (26 Gauge) Roof Panel Attached to Wood Deck



Detail 3A - Typical Assembly Profile View (METHOD 3)



Detail 3B - Typical Assembly Isometric View (METHOD 3)



EXTERIOR RESEARCH & DESIGN, LLC.
 Certificate of Authorization #9503
 353 Christian Street
 Oxford, CT 06478
 PHONE: (203) 262-9245
 FAX: (203) 262-9243

EVALUATION REPORT

Mule-Hide Products Co., Inc.
1195 Prince Hall Drive, Suite A
Beloit, WI 53511-5481

Evaluation Report M10000.03.08-R1
FL10497-R1
Date of Issuance: 03/28/2008
Revision 1: 12/06/2011

SCOPE:

This Evaluation Report is issued under Rule 9N-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code. The product described herein has been designed to comply with the 2010 Florida Building Code sections noted herein.

DESCRIPTION: Mule-Hide SBS and APP Modified Bitumen Roof Systems

LABELING: Each unit shall bear labeling in accordance with the requirements the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

ADVERTISEMENT: The Evaluation Report number preceded by the words "Trinity | ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 4, plus a 16-page Appendix.

Prepared by:

Robert J.M. Nieminen, P.E.
 Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 12/06/2011. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client.

CERTIFICATION OF INDEPENDENCE:

1. Exterior Research & Design, LLC. d/b/a Trinity | ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Exterior Research & Design, LLC. d/b/a Trinity | ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.

ROOFING SYSTEMS EVALUATION:

1. SCOPE:

Product Category: Roofing
Sub-Category: Modified Bitumen Roof Systems
Compliance Statement: Mule-Hide SBS and APP Modified Bitumen Roof Systems, as produced by Mule-Hide Products Co., Inc., have demonstrated compliance with the following sections of the Florida Building Code through testing in accordance with the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1504.3.1	Wind	FM 4474	2004
1504.7	Impact	FM 4470	1992
1507.11.2	Physical Properties	ASTM D6163	2000
1507.11.2	Physical Properties	ASTM D6164	2005
1507.11.2	Physical Properties	ASTM D6222	2002

3. REFERENCES:

<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
ERD (TST6049)	Physical Properties	P10490.10.08-2	10/30/2008
ERD (TST6049)	FM 4470/4474	P13760.09.09	09/10/2009
ERD (TST6049)	FM 4470/4474	P13770.09.09	09/10/2009
ERD (TST6049)	FM 4470/4474	P30540.11.09-R1	11/30/2009
ERD (TST6049)	FM 4470/4474	P30550.12.09	12/02/2009
ERD (TST6049)	Physical Properties	P33960.12.10	12/30/2010
ERD (TST6049)	FM 4470/4474	P33970	12/02/2009
FM Approvals (TST1867)	FM 4470	2W7A7.AM	08/04/1994
FM Approvals (TST1867)	FM 4470	0D3A3.AM	04/04/1997
FM Approvals (TST1867)	FM 4470	2D0A0.AM	12/23/1998
FM Approvals (TST1867)	FM 4470	2D5A9.AM	06/22/1999
FM Approvals (TST1867)	FM 4470	3006646	01/04/2000
FM Approvals (TST1867)	FM 4470	3001334	01/25/2000
FM Approvals (TST1867)	FM 4470	3001334	02/15/2000
FM Approvals (TST1867)	FM 4470	3000857	01/12/2000
FM Approvals (TST1867)	FM 4470	3004091	01/12/2000
FM Approvals (TST1867)	FM 4470	3006115	05/02/2001
FM Approvals (TST1867)	FM 4470	3012321	07/29/2002
FM Approvals (TST1867)	FM 4470	3014692	08/05/2003
FM Approvals (TST1867)	FM 4470	3014751	08/27/2003
FM Approvals (TST1867)	FM 4470	3007170	01/13/2004
FM Approvals (TST1867)	FM 4470	3019317	06/30/2004
FM Approvals (TST1867)	FM 4470	3020703	07/30/2004
FM Approvals (TST1867)	FM 4470/4474	3018332	01/31/2006
FM Approvals (TST1867)	FM 4470/4474	3023368	03/20/2006
FM Approvals (TST1867)	FM 4470/4474	3024594	05/23/2006
FM Approvals (TST1867)	FM 4470/4474	3023458	07/18/2006
FM Approvals (TST1867)	FM 4470/4474	3030668	09/12/2007
FM Approvals (TST1867)	FM 4470/4474	3032172	06/12/2009
PRI (TST5878)	Physical Properties	PUSA-062-02-01	12/04/2007
PRI (TST5878)	Physical Properties	PUSA-061-02-02	01/28/2008
PRI (TST5878)	Physical Properties	PUSA-064-02-02	02/27/2008
PRI (TST5878)	Physical Properties	PUSA-062-02-02	12/04/2008
UL (QUA1734)	Quality Control	UL File R14571	Exp. 12/15/2014
Miami-Dade (CER1592)	HVHZ Compliance	Various NOAs	Various
Miami-Dade (CER1592)	Proposal for Review	10-0823	10/12/2010

4. PRODUCT DESCRIPTION:

This Evaluation Report covers Mule-Hide Modified Bitumen Roof Systems installed in accordance with Mule-Hide. published installation instructions and the Limitations / Conditions of Use herein. The following Mule-Hide membranes make up the subject systems.

Table 1: Roll-Goods for Mule-Hide Modified Bitumen Roof Systems				
Type	Product	Specification		
		Reference	Grade	Type
SBS Membranes	Mule-Hide Nail Base	ASTM D6163	S	I
	Mule-Hide SA-SBS Base Sheet	ASTM D6163	S	I
	Mule-Hide SA-SBS Base Sheet (FR)	ASTM D6163	S	I
	Mule-Hide SA-Vented Base Sheet	ASTM D6163	S	I
	Mule-Hide SA-Vented Base Sheet (FR)	ASTM D6163	S	I
	Mule-Hide SA-SBS Cap Sheet	ASTM D6164	G	I
	Mule-Hide SA-SBS Cap Sheet (FR)	ASTM D6164	G	I
	Mule-Hide SA-SBS KoolCap	ASTM D6164	S	I
	Mule-Hide SA-SBS KoolCap (FR)	ASTM D6164	S	I
APP Membranes	Mule-Hide SA-APP Cap Sheet	ASTM D6222	G	I
	Mule-Hide SA-APP Cap Sheet (FR)	ASTM D6222	G	I
	Mule-Hide SA-APP KoolCap	ASTM D6222	S	I
	Mule-Hide SA-APP KoolCap (FR)	ASTM D6222	S	I
	Mule-Hide SA-APP PF30 KoolCap	ASTM D6222	S	I
	Mule-Hide SA-APP PF KoolCap	ASTM D6222	S	I

5. LIMITATIONS:

- 5.1 This Evaluation Report is not for use in HVHZ.
- 5.2 Refer to a current Roofing Materials Directory for fire ratings of this product.
- 5.3 For steel deck installations, foam plastic insulation shall be separated from the building interior in accordance with FBC 2603.4 unless the exceptions stated in FBC 2603.4.1 and 2603.6 apply.
- 5.4 Unless otherwise noted in Appendix 1, roof decking and its attachment shall be specified and installed to meet project design criteria to the satisfaction of the AHJ.
- 5.5 For recover installations, the existing roof shall be examined in accordance with FBC 1510.
- 5.6 For mechanically attached insulation or membrane or strip-bonded insulation, the maximum design pressure for the selected assembly shall meet or exceed the Zone 1 design pressure determined in accordance with FBC Chapter 16. Zones 2 and 3 shall employ an attachment density designed by a qualified design professional to resist the elevated pressure criteria. Commonly used methods are RAS 117 and FM LPDS 1-29. Assemblies marked with an asterisk* carry the limitations set forth in Section 2.2.1.5.1(a) of FM LPDS 1-29 for Zone 2/3 enhancements.
- 5.7 For fully-adhered insulation, the maximum design pressure for the selected assembly shall meet or exceed critical design pressure determined in accordance with FBC Chapter 16. No rational analysis is permitted for these systems
- 5.8 For mechanically attached insulation or membrane over existing roof decks, fasteners shall be tested in the existing deck for withdrawal resistance. A qualified design professional shall review the data for comparison to the minimum requirements for the system. Testing and analysis shall be in accordance with TAS 105 or ANSI/SPRI FX-1.



- 5.9 For bonded insulation or membrane over existing substrates in a re-roof (tear off) or recover installation, the existing deck or existing roof surface shall be examined for compatibility with the adhesive to be installed. If any surface conditions exist that bring system performance into question, field uplift testing in accordance with ASTM E907, FM LPDS 1-52, ANSI/SPRI IA-1 or TAS 124 shall be conducted on mock-ups of the proposed new roof assembly.
- 5.10 For bonded insulation or membrane over existing substrates in a recover installation, the existing roof system shall be capable of resisting project design pressures on its own merit to the satisfaction of the AHJ, as documented through field uplift testing in accordance with ASTM E907, FM LPDS 1-52 or TAS 124.
- 5.11 Metal edge attachment (except gutters), shall be designed and installed for wind loads in accordance with FBC Chapter 16 and tested for resistance in accordance with ANSI/SPRI ES-1 or RAS 111, except the basic wind speed shall be determined from FBC Figure 1609.
- 5.12 All products in the roof assembly shall have quality assurance audit in accordance with the FBC and F.A.C. Rule 9N-3.

6. INSTALLATION:

- 6.1 Mule-Hide Modified Bitumen roof systems shall be installed in accordance with Mule-Hide published installation instructions, subject to the Limitations / Conditions of Use noted below.
- 6.2 System attachment requirements for wind load resistance are set forth in Appendix 1.
- 6.3 Any of the following FBC Approved coatings may be applied to the top roof membrane without adverse effect on the system wind load performance. Refer to current Roofing Materials Directory for fire ratings associated with coating usage.
 - > Mule-Hide 102 Fibrated Roof Coating;
 - > Mule-Hide 111 Non-Fibrated Roof Coating;
 - > Mule-Hide 301 Emulsion Fibrated;
 - > Mule-Hide 311 Emulsion Non-Fibrated;
 - > Mule-Hide 401 Premium Fibrated Aluminum Roof Coating;
 - > Mule-Hide 406 Standard Fibrated Aluminum Roof Coating;
 - > Mule-Hide 410 Premium Non-Fibrated Aluminum Roof Coating;
 - > Mule-Hide 416 Standard Non-Fibrated Aluminum Roof Coating.

7. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

8. MANUFACTURING PLANTS:

Contact the noted QA agency for information on product locations covered for F.A.C. Rule 9N-3 QA requirements

9. QUALITY ASSURANCE ENTITY:

Underwriters Laboratories – QUA1743; (314) 578-3406, k.chancellor@us.ul.com

- THE 16-PAGES THAT FOLLOW FORM PART OF THIS EVALUATION REPORT -

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

4-19-13

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10003	Lawless	Final Pool	Pass	CLOSE
IPM	12 Mandalay Scheller			INSPECTOR <i>[Signature]</i>
10402	Bunkard	Final Fence	FAIL	NOT TO CODE
	106 S Sewalls A Great Fence			INSPECTOR <i>[Signature]</i>
10406	Gordis	retaining wall	Pass	
930	25 S River Team Parks	Footin		INSPECTOR <i>[Signature]</i>
Tree	Folsky	Tree	N.G.	
	110 Hillcrest Ter			INSPECTOR
10385	Baule	Final front door	Pass	CLOSE
	17 Feldway Gulfstream Alum			INSPECTOR <i>[Signature]</i>
10419	Barson	Sheet piling	Pass	3
fm	123 S Sewalls Stuart Roofing			INSPECTOR <i>[Signature]</i>
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-8-13 Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10419	Brown	Final		
	123 Sewalls	Roof	Pass	
	Street Roofing			INSPECTOR [Signature]
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	ALLMAN	INVESTIGATE		4856339
9:00		DRAINAGE	on	Bres
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10314	Peltch	Steel-entry columns	Pass	
	3 Turner	Pro Bow		INSPECTOR [Signature]
	Seagate			
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10366	Dennis	equipotential bonding	CANCEL & RESET	Roy Kramer
	16 Ridgeland	and		260 4241
	Florida First			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	Roy			
				INSPECTOR

10420

SPA



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10420	DATE ISSUED:	APRIL 16, 2013
SCOPE OF WORK:	ELECTRIC TO PORTABLE SPA		
CONTRACTOR:	ARLINGTON ELECTRIC		
PARCEL CONTROL NUMBER:	133841005-000-001608	SUBDIVISION	PALM ROW REV - L 16
CONSTRUCTION ADDRESS:	123 S SEWALLS PT RD		
OWNER NAME:	BROWN		
QUALIFIER:	JP WILLIAMS	CONTACT PHONE NUMBER:	287-1353

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

- | | | | |
|------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEM-WALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TIE DOWN /TRUSS ENG | _____ | INSULATION | _____ |
| WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF DRY-IN/METAL | _____ | ROOF TILE IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | METER FINAL | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number:

10420

Date:

OWNER/LESSEE NAME: Laurie Brown Phone (Day) 203-218-1844 (Fax)

Job Site Address: 123 S Sewalls Point Road City: Stuart State: FL Zip: 34996

Legal Description: Palm Row Revised Lot 16 Parcel Control Number: 13-38-41-005-00-00160

Fee Simple Holder Name: Laurie Brown Address: 123 S Sewalls Pt Rd

City: Stuart State: FL Zip: 34996 Telephone: 203-218-1844

*SCOPE OF WORK (PLEASE BE SPECIFIC): Electric to portable SPA

WILL OWNER BE THE CONTRACTOR? (If yes, Owner Builder questionnaire must accompany application) YES NO

Has a Zoning Variance ever been granted on this property? YES (YEAR) NO (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 1,500.00 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out) Is subject property located in flood hazard area? VE10 AE9 AE8 X FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY: Estimated Fair Market Value prior to improvement: \$ (Fair Market Value of the Primary Structure only, Minus the land value) PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Arlington Electric Phone: 772-287-1353 Fax: 772-287-2380

Qualifiers name: James P. Williams Street: 3251 SE O'Reilly City: Stuart State: FL Zip: 34997

State License Number: EC0000127 OR: Municipality: License Number:

LOCAL CONTACT:

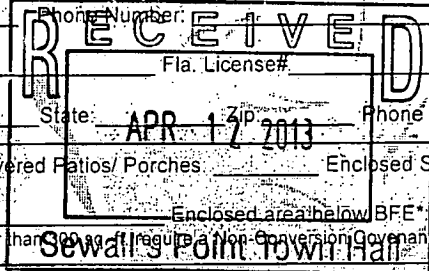
DESIGN PROFESSIONAL:

Street: City: State: Zip: Phone Number:

AREAS SQUARE FOOTAGE Living: 1810 Garage: Covered Patios/Porches Enclosed Storage:

Carport: Total under Roof: Elevated Deck: Enclosed area below BFE:

* Enclosed non-habitable areas below the Base Flood Elevation greater than 24 inches require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010 National Electrical Code: 2008 Florida Energy Code: 2010 Florida Accessibility Code: 2010 Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF: FBC 2007, SECT. 105.4.1, 105.4.1.1 - .5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: Laurie A. Brown State of Florida, County of: Martin On This the 15 day of April 2013 by Laurie A. Brown who is personally known to me or produced CT DL # 188482226 As identification: Valerie Carver Notary Public My Commission Expires:

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: James P. Williams State of Florida, County of: MARTIN On This the 11 day of APRIL 2013 by JP Williams who is personally known to me or produced As identification: Notary Public Commission # DD910962 My Commission Expires: AUG. 02, 2013

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

Electrical Load Calculations

Electrical Contractor: Arlington Electric License No. EC0000129
 Phone #: 772-287-1353 Fax #: 287-9350
 Project: Brown Location: 193 S Sewall's Pt Rd
 Existing Service Feeder Size: 210 cu Existing Panel Size: 200 A
 Main Breaker Size: 200 A Number of Breakers: 30

Existing Loads

<u>1810</u> Sq. Ft. X 3 watts per sq. ft.....	<u>5430</u> watts
<u>1</u> Appliance cir. @1500 watts each.....	<u>1500</u> watts
<u>1</u> Laundry cir. @ 1500 watts each.....	<u>1500</u> watts
<u>1</u> Range @ 8 kw.....	<u>8000</u> watts
<u>1</u> Dishwasher and disposal @ 1500 watts each.....	<u>3000</u> watts
<u>1</u> Microwave @ 2000 watts.....	<u>2000</u> watts
<u>1</u> Water heater @ 4.5 kw.....	<u>4500</u> watts
Tank less water heater.....	_____ watts
<u>1</u> Dryer @ 5 kw.....	<u>5000</u> watts
<u>1</u> Refrigerator @ 1500 watts.....	<u>1500</u> watts
<u>2</u> Bathroom 1 @ 1500 watts.....	<u>3000</u> watts
Sprinkler Pump.....	_____ watts
Other.....	_____ watts
Other.....	_____ watts
Other.....	_____ watts
	<u>36930</u> Subtotal Watts

New Loads

Pool pump.....	_____ watts
Pool light.....	_____ watts
Heat pump.....	_____ watts
Chlorine generator.....	_____ watts
Blower.....	_____ watts
Boatlift.....	_____ watts
<u>1</u> Other <u>SP14</u>	<u>3600</u> watts
Other.....	_____ watts
Other.....	_____ watts

40530 Total Watts

First 10 kw @ 100%.....	<u>10000</u> watts
Remainder @ 40%.....	<u>12212</u> watts
A/C heat @ 100%.....	<u>10000</u> watts

Total watts 32212 Divided by 240 volts = 135 Amps 200 Amp service provided

Prepared by: _____ Date: _____

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-14-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10425	Partels 3 St Lucie Ct JA Taylor	Final Roof	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10137	Connolly 10 Ridgeland Home Depot	Final Siding	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10420	Brown 125 Sewalls Quintero	Final Electric	Pass	CLOSE INSPECTOR <i>[Signature]</i>
10437	Ngo 146 N Sewalls Stuart Fence	Final Fence	FAIL	2 GATES DO NOT SELF CLOSE INSPECTOR <i>[Signature]</i>
10426	Cooper 1st 6 Wendy Ln Tene Homes by Rick 201-2220	Window door bucks	Pass	REPAIRS REQUIRED INSPECTOR <i>[Signature]</i>
10445	Sharfi 73 N Sewalls Warred	shed partial - UNDERGROUND -	Pass	INSPECTOR <i>[Signature]</i>
10421	Dunker 19 Pennwells Stuart Roofing	Final Flat Roof	Pass	CLOSE INSPECTOR <i>[Signature]</i>

10435

FENCE



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

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PERMIT NUMBER:	10435	DATE ISSUED:	APRIL 30, 2013
SCOPE OF WORK:	FENCE		
CONTRACTOR:	DANIELS FENCE		
PARCEL CONTROL NUMBER:	133841005-000-001608	SUBDIVISION	PALM ROW REV-L 16
CONSTRUCTION ADDRESS:	123 S SEWALLS PT RD		
OWNER NAME:	BROWN		
QUALIFIER:	DANIEL LAWRENCE	CONTACT PHONE NUMBER:	283-2383

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INSPECTIONS

UNDERGROUND PLUMBING _____	UNDERGROUND GAS _____
UNDERGROUND MECHANICAL _____	UNDERGROUND ELECTRICAL _____
STEM-WALL FOOTING _____	FOOTING _____
SLAB _____	TIE BEAM/COLUMNS _____
ROOF SHEATHING _____	WALL SHEATHING _____
TIE DOWN /TRUSS ENG _____	INSULATION _____
WINDOW/DOOR BUCKS _____	LATH _____
ROOF DRY-IN/METAL _____	ROOF TILE IN-PROGRESS _____
PLUMBING ROUGH-IN _____	ELECTRICAL ROUGH-IN _____
MECHANICAL ROUGH-IN _____	GAS ROUGH-IN _____
FRAMING _____	METER FINAL _____
FINAL PLUMBING _____	FINAL ELECTRICAL _____
FINAL MECHANICAL _____	FINAL GAS _____
FINAL ROOF _____	BUILDING FINAL _____

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**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 4-15-13 Permit Number: 10435

OWNER/LESSEE NAME: Brown, Laurie A. Phone (Day) _____ (Fax) _____

Job Site Address: 123 S. Sewalls Point Rd City: Sewalls Pt State: FL Zip: 34996

Legal Description: 13-38-41-005-00-0000 Parcel Control Number: Palm Row Rd - ann. lot 16

Fee Simple Holder Name: _____ Address: 10
City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Fence

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 1900.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 _____ AE9 _____ AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Daniels Fence Corp. Phone: 283-2383 Fax: 283-2565

Qualifiers name: D. Lawrence Street: 2885 Jefferson St City: Stuart State: FL Zip: 34997

State License Number: None OR: Municipality: MCFE 6070 License Number: Martin

LOCAL CONTACT: Shannon Reynolds Phone Number: 283-2383

DESIGN PROFESSIONAL: _____ Fla. License# _____
Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

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AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

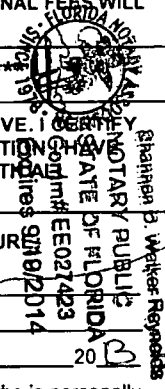
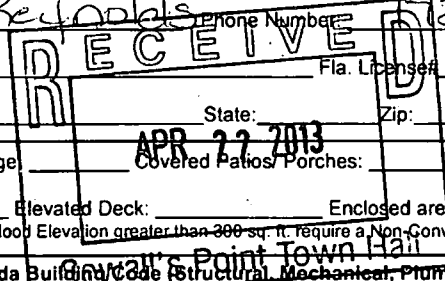
OWNER / AGENT / LESSEE - NOTARIZED SIGNATURE:
Laurie A. Brown
State of Florida, County of: Martin
On This the 15 day of April, 2013
by Laurie Brown who is personally
known to me or produced Drivers Lic
As identification. CE 187482226 exp. 12/14
Notary Public
My Commission Expires: 9/10/2014

CONTRACTOR / LICENSEE NOTARIZED SIGNATURE:
D. Lawrence
State of Florida, County of: Martin
On This the 15 day of April, 2013
by D. Lawrence who is personally
known to me or produced e i
As identification. _____
Notary Public
My Commission Expires: 9/10/2014

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER PERMITS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Comm# EE027423
Expires 9/10/2014



AFTER RECORDING - RETURN TO:

PERMIT NUMBER: _____

NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

13-38-41-005-000-00100.8

1. DESCRIPTION OF PROPERTY (Legal description of the property & street address, if available) TAX FOLIO NO.: _____

SUBDIVISION Sewalls Point BLOCK _____ TRACT _____ LOT 14 BLDG _____ UNIT _____
Palm Row - lot 16 123 S. Sewalls Pt. Rd.

2. GENERAL DESCRIPTION OF IMPROVEMENT:
307' of 6'H, 6'OC w/ 1-5' gate

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

a. Name and address: Laurie Brown 123 Sewalls Point Rd.

b. Interest in property: owner

c. Name and address of fee simple titleholder (if different from Owner listed above): _____

4. a. CONTRACTOR'S NAME: Daniels Fence Corp.

Contractor's address: 2985 S. Jefferson St. Stuart 34997 b. Phone number: 772-283-2383

5. SURETY (if applicable, a copy of the payment bond is attached):

a. Name and address: _____

b. Phone number: _____ c. Amount of bond: \$ _____

6. a. LENDER'S NAME: _____

Lender's address: _____

7. Persons within the State of Florida designated by Owner upon whom notices shall be served as provided in Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: _____

b. Phone numbers of designated persons: _____

8. a. In addition to himself or herself, Owner designates _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Laurie Brown
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

Laurie Brown / owner
(Print Name and Provide Signatory's Title/Office)

State of FL

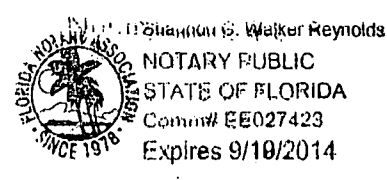
County of Martin

The foregoing instrument was acknowledged before me this 15 day of April, 20 13

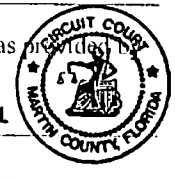
by Laurie Brown, as owner
(name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)

for self
(name of party on behalf of whom instrument was executed)

Personally Known _____ or Produced Identification Type of Identification Produced CI 1984252226
6-12-14



Shannon S. Walker Reynolds
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)



STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGE(S) IS A TRUE
AND CORRECT COPY OF THE ORIGINAL
DOCUMENT AS FILED IN THIS OFFICE.
CAROLYN TIMMANN, CLERK
BY: _____ D.C.
DATE: 04/22/13

EASEMENT AGREEMENT

Date: 4-15 4/17

Gentlemen:
I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 123 S. Sewalls Point Rd.
Palm Row Rev/amm Lot 16

LEGAL DESCRIPTION: LOT 16, BLOCK _____, SUBDIVISION Palm Row

(Give a brief description of dimensions and location from property lines)

307' of 6' PVC -

In the event you have no objection to this project, please complete this form and return to me at:

Address: Daniels Fence Corp. fax 772-283-2565
City: Stuart State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of
This fence and that any removal or replacement of such, necessary for your use of this
easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage)
easement by the construction or maintenance of this structure.

Signed: X [Signature] Phone: See contractor

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: AT&T
By: JAMES P. VIRGA
Title: MGR OSPED

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

AT&T has buried facilities in this easement and facilities must be located prior to digging by calling
1-800-432-4770. Hand digging must be done within 2 feet of facilities. Should AT&T need access
to our facilities in the future, it will be at the customer's expense

MARTIN COUNTY UTILITIES: JIM CHRIST 772-288-3034 - FAX: 221-1447

FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4215 - FAX: 223-4221

COMCAST: TIM KORNDOR 772-692-9010 EXT. 29 - FAX: 692-0759

AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

EASEMENT AGREEMENT

Date: 4-15

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 123 S. Sewalls Point Rd.
Palm Row Zellmann Lot 16

LEGAL DESCRIPTION: LOT 16, BLOCK _____, SUBDIVISION Palm Row

(Give a brief description of dimensions and location from property lines)

307' of 6' PVC -

In the event you have no objection to this project, please complete this form and return to me at:

Address: Daniels Fence Corp. fax 772-283-2565
City: Stuart State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: X [Signature] Phone: See contractor

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: COMCAST
By: TIM KORNDORFER
Title: S. FIELD COORDINATOR

Company records indicate that a potential conflict **DOES DOES NOT** exist.

The conflict consists of: _____

UTILITY CONTACT LIST

- ~~MARTIN COUNTY UTILITIES/JIM CHRIST 772-288-3054 FAX: 221-1447~~
- ~~FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4215 - FAX: 223-4221~~
- COMCAST: TIM KORNDORFER 772-692-9010 EXT. 29 - FAX: 692-0759
- AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

EASEMENT AGREEMENT

Date: 4-15

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 123 S. Sewalls Point Rd. Palm Row Reclamation Lot 16

LEGAL DESCRIPTION: LOT 16, BLOCK, SUBDIVISION Palm Row

(Give a brief description of dimensions and location from property lines)

307' of 6' PVC -

In the event you have no objection to this project, please complete this form and return to me at:

Address: Daniels Fence Corp. fax 772-283-2565
City: Stuart State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: X [Signature] Phone: See contractor

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: South Martin Regional Utility
By: [Signature] for Stuart R. Trent P.E.
Title: Assistant Director

Company records indicate that a potential conflict DOES NOT exist.

The conflict consists of:

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: JIM CHRIST 772-288-5054 FAX: 221-1447

FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4251 FAX: 225-4221

COMCAST: TIM KORNDORF 772-692-9010 EXT. 29 - FAX: 692-0759

AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

SRMC U

EASEMENT AGREEMENT

Date: 4-15

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 123 S. Sewalls Point Rd.
Palm Row Re/amm Lot 16

LEGAL DESCRIPTION: LOT 16, BLOCK _____, SUBDIVISION Palm Row

(Give a brief description of dimensions and location from property lines)

307' of 6' PVC -

In the event you have no objection to this project, please complete this form and return to me at:

Address: Daniels Fence Corp. fax 772-283-2565
City: Stuart State: _____ Zip: _____

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: [Signature] Phone: See contractor

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: Florida Power & Light Co
By: Shan Allone
Title: Project manager

Company records indicate that a potential conflict DOES DOES NOT exist.

The conflict consists of: _____

UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: JIM CHRIST 772-288-3034 - FAX: 221-1447

~~FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4215 - FAX: 223-4221~~

COMCAST: TIM KORNDORF 772-692-9010 EXT. 29 - FAX: 692-0759

AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651



EASEMENT AGREEMENT

Date: 4-15

Gentlemen:

I propose to apply for a Town of Sewall's Point permit to erect a fence

In the (utility/drainage) easement on my property located at 123 S. Sewalls Point Rd.
Palm Row Re/amm Lot 16

LEGAL DESCRIPTION: LOT 16, BLOCK , SUBDIVISION Palm Row

(Give a brief description of dimensions and location from property lines)

307' of 6' PVC -

In the event you have no objection to this project, please complete this form and return to me at:

Address: Daniels Fence Corp. fax 772-283-2565
City: Stuart State: Zip:

I understand your company will not be responsible in any way for repair or replacement of any portion of This fence and that any removal or replacement of such, necessary for your use of this easement will be done at my expense.

I acknowledge that I will be responsible for any damage caused to your facilities in this (utility/drainage) easement by the construction or maintenance of this structure.

Signed: X [Signature] Phone: See contractor

THE FOLLOWING IS TO BE COMPLETED BY UTILITY COMPANY***

We agree to the proposed construction under the circumstances described above.

Company: Martin County Utilities

By: Jim Christ [Signature]

Title: Associate Glanna

Company records indicate that a potential conflict (DOES) DOES NOT exist.

The conflict consists of: Possible conflict with 6" w/m on Palm Row North side of Property.

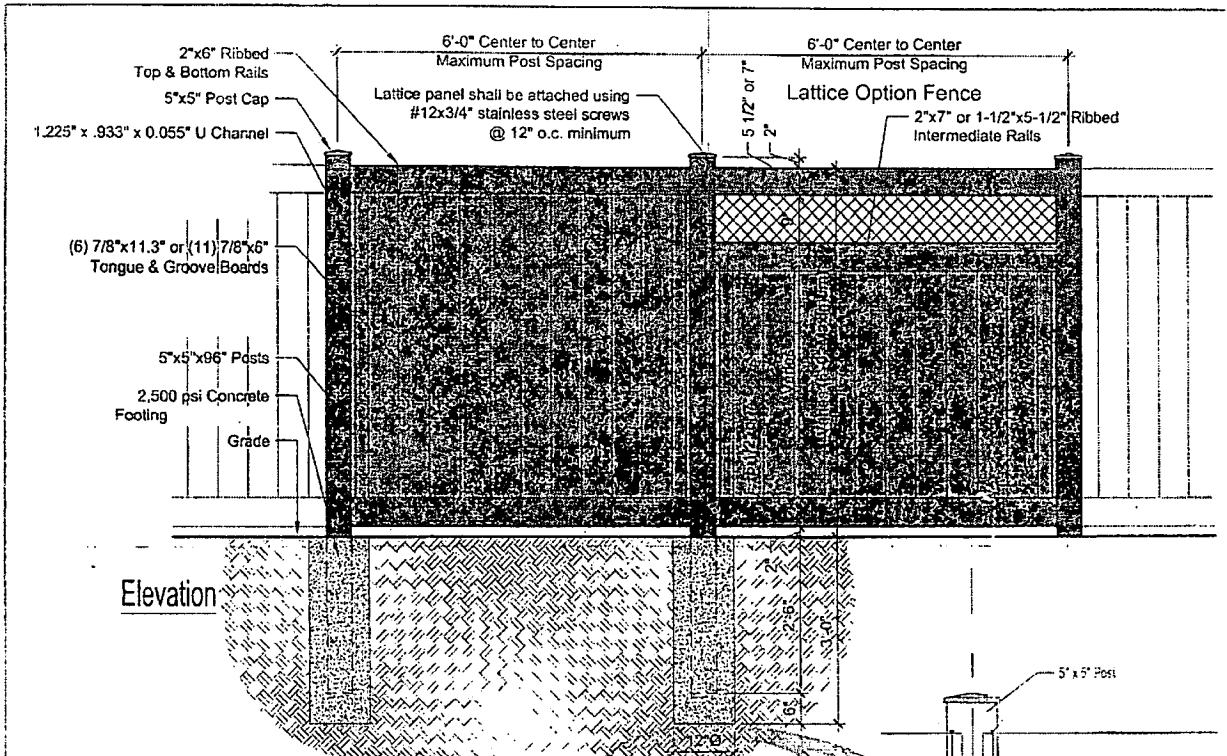
UTILITY CONTACT LIST

MARTIN COUNTY UTILITIES: JIM CHRIST 772-288-3034 - FAX: 221-1447

FLORIDA POWER AND LIGHT: ROB MORRIS 772-223-4215 - FAX: 223-4221

COMCAST: TIM KORNDORF 772-692-9010 EXT. 29 - FAX: 692-0759

AT&T: JAMES VINGA 772-460-4452 FAX: 772-466-5651

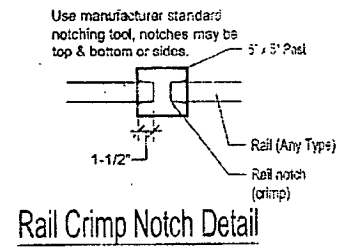
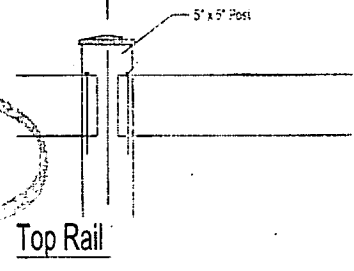
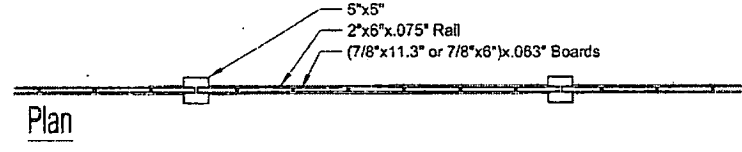


GENERAL NOTES (Design and Installation):

1. Design complies with the requirements of the Florida Building Code 2010 & ASCE 7-10, wind speed 170 MPH (Category I, 3 second gust), Exposure C. Flexural Strength = 9,700 psi.
2. Footing / post shall be fully consolidated with 2,500 psi concrete for entire depth of footing.
3. The design of this fence is to be used for perimeter enclosure of spaces at grade only and shall not be used for applications that require safety rails or barriers.
4. All pickets, U channels, and lattice shall be mechanically screw attached to the adjacent components as noted in the associated drawings.
5. No changes are allowed without written authorization from the Architect.
6. All exposed visible ends shall be provided with caps or covers.

GENERAL NOTES (Materials):

1. All PVC extrusions shall be made of PVC Resin ASTM 1784 unless noted otherwise.



5 Typical Plan, Section, & Elevation Details
 Scale: 1/2" = 1'-0" (Typical)

Revision

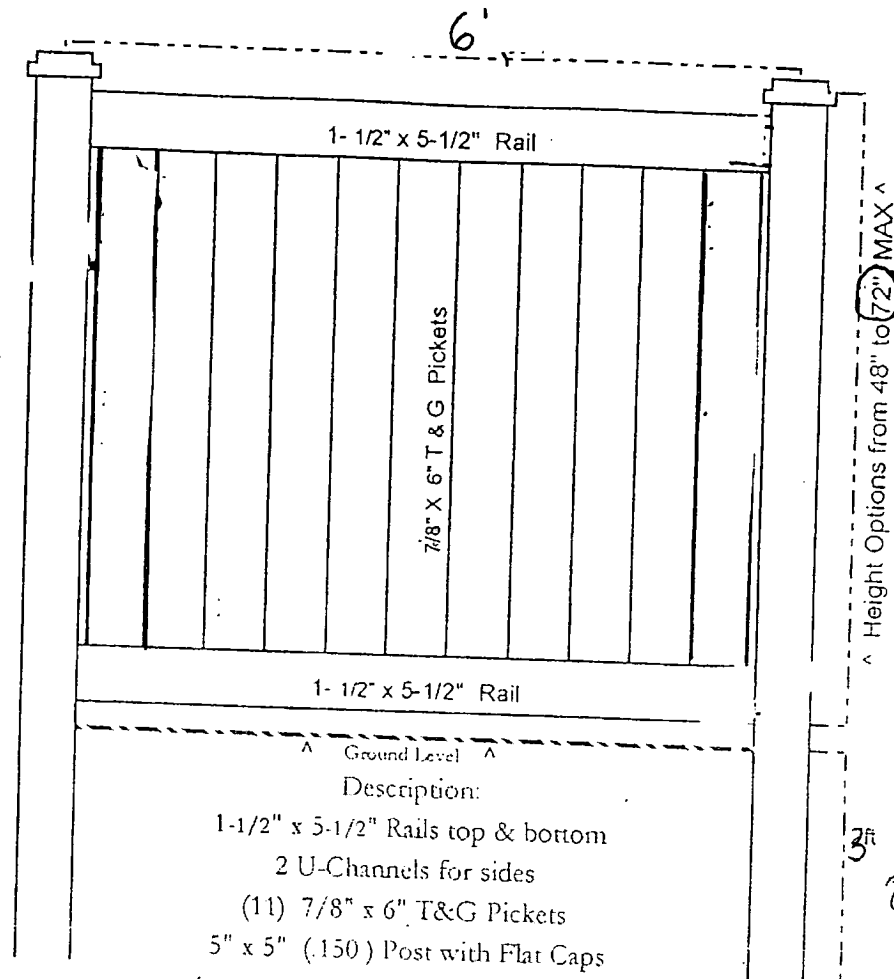
Brown - 193 S. Sewall's Point Rd.

**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

*Design ©
 Daniels Fence Corp.
 6-772-293-2383*

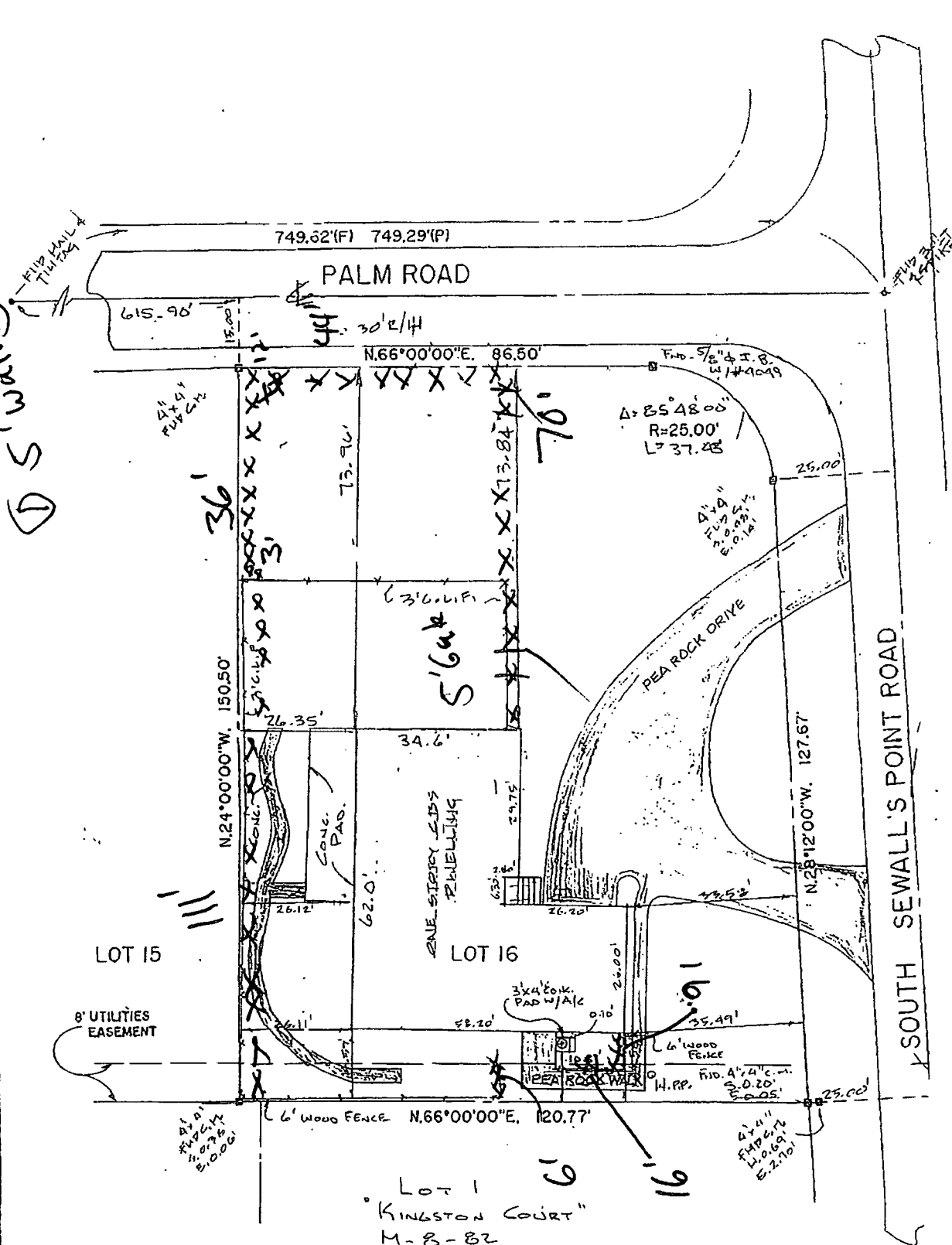
STANDARD TONGUE AND GROOVE

6-01-04



80lbs
of
concrete
per

Install
 furnish and
 307' of 6' white
 T&G PVC Fencel
 All 150' of



IMG SUPPLY CO. OF FL ULP4M2

1. PROPERTY LOCATED WITHIN FLOOD ZONE "A-8"
2. PROPERTY ADDRESS: 123 S. SEWALLS POINT ROAD
3. CERTIFIED TO: MATTHEW MCGRATH
 OHIO SAVINGS BANK, ITS SUCCESSORS
 AND/OR ASSIGNS
 ATTORNEYS' TITLE INSURANCE FUND, INC.
 MCCARTHY, SUMMERS, BOBKO, WOOD,
 SAWYER & PERRY, P.A.

- NOTES:**
1. Survey of description as furnished
 2. Lands shown hereon were not and/or rights-of-way of record
 - (P) Denotes distance or bearing b
 - (F) Denotes measured distance or
 - (C) Denotes calculated distance or l
 3. All bearings are referenced to as shown hereon, unless otherwise
 4. Elevations shown hereon are re Vertical Datum of 1929, and a
 5. There are no above ground encroach
- SET I.B. - SET 5/8 IRON BAR & CAP
 FND. - FOUND OBJECT
 I.P. - IRON PIPE
 C.M. - CONCRETE MONUMENT
 I.B. - IRON BAR
 P.K. - P.K. NATL

ORDINANCE NO. 356

Fence

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AMENDING CHAPTER 82, ARTICLE IV, SECTION 82-276 OF THE TOWN CODE ENTITLED "FENCES, HEIGHT, TYPE, AND CONSTRUCTION STANDARDS"; PROVIDING FOR SEVERABILITY; PROVIDING FOR THE REPEAL OF LAWS IN CONFLICT; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Sewall's Point, Florida is a duly constituted municipality having such power and authority conferred upon it by the Florida Constitution and Chapter 166, Florida Statutes; and

WHEREAS, the Town Commission has adopted code provisions pertaining to property maintenance in the Town, which have been codified in Article IV of Chapter 82 of the Code of Ordinances; and

WHEREAS, the Town staff has recommended to the Town Commission that Section 82-276 be amended to further the public's health, safety and general welfare.

WHEREAS, the Town Commission has reviewed these recommendations and determined that amending Section 82-276 is necessary to further the public's health, safety and general welfare.

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA:

Section 1. The whereas clauses are incorporated herein as true and correct and as the legislative findings of the Town Commission.

Section 2. Chapter 82, Article IV, Section 82-276, entitled "Property maintenance standards; general" is hereby amended to read as follows:

Sec. 82-276. Fences, height, type, and construction standards.

Definitions:

Fence means any freestanding lightweight structure, usually constructed of posts and wire, wood, plastic or aluminum and designed to restrict or prevent movement across a boundary.

Hedge means a lineal barrier or boundary of plants grown and maintained in such a way that their limbs intertwine and designed to restrict or prevent movement across a boundary.

Wall means a freestanding barrier made from solid brick, stone, concrete or concrete block and designed to restrict or prevent movement across a boundary.

(a) [Fences and walls.] The following height, type and construction standards shall apply to fences and walls:

(1) All fences and walls constructed street-ward of the front building setback lines shall be designed so that no more than five feet of its height is a complete solid barrier and not more than seven feet in height overall measured on both sides of the fence, wall or other enclosure from the finished grade of the lot.

(2) Fences, walls and other enclosures adjacent to business zoned property may be ten feet in height.

(3) Where a property line borders on a bay, river, strait or canal the following shall apply: Fence, hedge or other enclosure heights shall be not more than three feet above the finished grade of the lot or bulkhead, to the nearest setback line; with the exception of fences that are required in order to comply with the Florida Building Code and or for insurance purposes when in conjunction with a newly constructed or existing swimming pool/spa.

(4) Fences for swimming pools/spas shall be of a type that does not create an obstruction to any view above three feet in height.

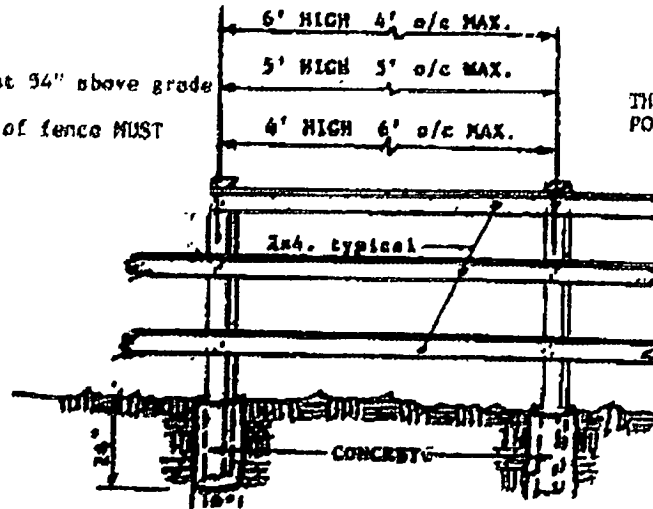
(5) All fences street-ward of the front building setback line or along any side or rear lot line adjacent to the public right-of-way shall be designed and constructed to comply with ASCE 7-02 and withstand wind speeds of 140 m.p.h., three second gust. Unless designed by rational analysis, wood fences not exceeding 6' in height may be constructed to meet the following minimum requirements:

a. Vertical post of pressure treated 4"x4" spaced as indicated below. Post shall be embedded a minimum of 24" into a concrete footing 12" in diameter. Horizontal framing shall consist of a minimum of 3 (three) horizontal rails of pressure treated 2" x 4" boards for 6 ft. an 5 ft. high fences and 2 (two) horizontal rails of pressure treated 2" x 4" boards for 4 ft. high fencing. Rails shall be fastened with 2 - 16D nails or 2 - 3" deck screws at each post. 3/4" thick boards (pickets) a maximum of 8" in width shall be fastened to each rail with 2 - 6D nails or 2 - 2" deck screws. All lumber shall be a minimum of #2 grade or better. All fasteners shall be corrosion resistant.

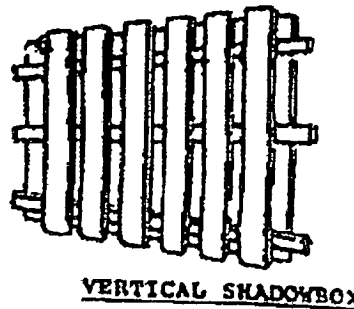
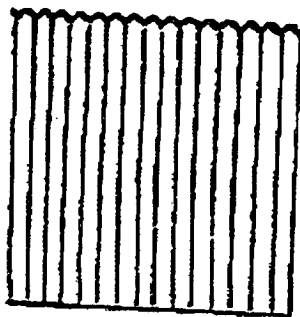
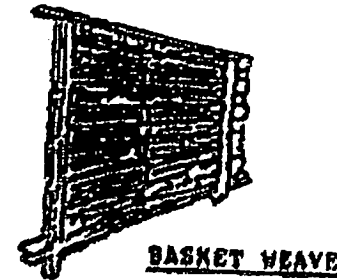
NOTE:

Gate latch at 34" above grade

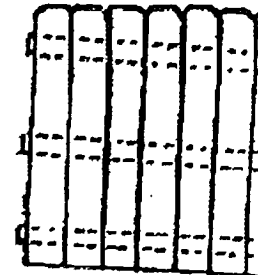
Finish side of fence MUST FACE OUT.



THIS IS THE DETAIL FOR POST SPACING FOR WOOD FENCES.



BOARD ON BOARD



b. WARNING: Pre-manufactured sections may not comply with this code. Product Approval may be required.

- (6) Chain link fences are not permitted street ward of the of the front building setback line.
- (7) Hog wire, chicken wire or barbed wire fences in all zoning districts are not permitted.
- (8) Fences, walls or other enclosures constructed on side and rear lot lines of non-waterfront properties shall not exceed seven feet in height.
- (9) Fences or walls located in utility and drainage easements on single-family residential zoned property shall require a written waiver issued by the appropriate authority having jurisdiction over the easement.
- (10) Fences with one finished side shall be constructed with the finished side facing out and the support posts and structural members facing inward.
- (11) All fences shall be constructed to withstand tropical storm force winds or greater.
- (12) Support posts for all fences shall be set in concrete footers.

(13) Any fence over seven feet in height shall be designed and constructed to comply with the American Society of Civil Engineers (ASCE) 7-02 or the most current version and withstand wind speeds of 140 m.p.h., three second gust.

(b) *Hedges.* Hedges located street-ward of the front building line shall not exceed ten feet in height, hedges located along a side lot line behind the front building line or along a rear lot line may exceed the ten-foot height limitation (and the three-foot limitation for lots bordering bays, rivers, straits or canals), so long as the owners of property adjacent to any such hedge do not file an objection with the town building official. Hedges shall not be composed of exotic or invasive species as defined by the Florida Department of Environmental Protection (FDEP). Nonconforming hedges of exotic or invasive species in place at the time of the codification of this section shall be allowed to remain, however any replacement, additions or modification made to any existing hedge for any reason, shall be of a plant not listed by FDEP as an exotic or invasive species.

(c) *Corner lots.* On a corner lot, no fence, hedge or other enclosure shall be permitted within 40 feet of the intersection of the adjacent right-of-way lines of the two streets, unless such fence, hedge or other enclosure does not exceed three feet in height and is set back no less than ten feet from the edge of the paved surface of the street. In areas on corner lots facing roads where fences, hedges, or other enclosures are allowed higher than three feet, fence, hedge or other enclosure is limited to four feet from the property line abutting a road right-of-way back to the front building line.

(d) *[Ornamental entrance gates and gate posts.]* Ornamental entrance gates and gate posts shall not exceed eight feet in height overall and shall be designed to comply with ASCE 7-02 or the most current version and withstand wind speeds of 140 m.p.h., three second gust.

[e] *All fences, walls and hedges shall be maintained in a suitable manner.* Fences and walls shall be kept clean and free from stains, mold or mildew and in a sound structural condition. Hedges shall be kept trimmed and free any exotic, dead or diseased plants. Hedges shall be maintained by the owner so that they do not extend onto or over any adjacent public or private property or any road right-of-way.

Section 3. Severability. If any section, subsection, sentence, clause, phrase or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions thereof.

Section 4. Repeal of Laws in Conflict. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 5. Codification. The sections of the ordinance may be made a part of the Town Code of Laws and ordinances and may be re-numbered or re-lettered to accomplish such, and the word "ordinance" may be changed to "section," "division," or any other appropriate word.

Section 6. Effective Date. This ordinance shall take effect in accordance with law.

_____ offered the Ordinance for its second reading and moved its adoption. The motion was seconded by _____, and upon being put to a vote, the vote was:

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 6-4-13 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10459	Rowe	Final		
11AM	5 Skiver N/S Qtr	AC	Pass	Close INSPECTOR <i>[Signature]</i>
10435	1235 Sewalls Daniels Fence	Final Fence	Pass	Close INSPECTOR <i>[Signature]</i>
10456	Novins 1115 Sewalls Flamingo Pool	Pool steel Door Sill Bond MAIN DRAIN	Pass	PENDING TIE-IN SOLVE Acid 6-14-13 INSPECTOR <i>[Signature]</i>
10379	Bills 3 Via Judinda Chitwood	Final Lower driveway	Pass	Close INSPECTOR <i>[Signature]</i>
10429	Vont Bosch 8 Laegon Dr. Fla Window Door	Final windows + doors	Pass	Close INSPECTOR <i>[Signature]</i>
Tree	115 Ridgview Rd Kramer	Tree	OK	INSPECTOR
10464	Boniface 63 Skiver Winchip	Footer	Pass	INSPECTOR <i>[Signature]</i>

CORRESPONDENCE

TOWN OF SEWALL'S POINT

ROBERT M. WIENKE
Mayor

THOMAS P. BAUSCH
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

E. DANIEL MORRIS
Commissioner

MARC S. TEPLITZ
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

FILE

Robert Schafenberg
123 S. Sewall's Point Road
Sewall's Point, Fl. 34996

November 13, 2001

Ref: Drainage Issues Regarding 1 Kingston Court

Dear Sir,

I am in receipt of your letter dated November 12, 2001 (attached). In response to your questions, I hereby submit the following:

1. The manhole structure located on the northwest corner of 1 Kingston Court is a dry sewer line manhole. This structure is in place for a future lift station if the sewer is ever developed.
2. The contractor of the residence to be located at 1 Kingston Court, has graded up to within acceptable limits to achieve drainage around the above mentioned structure. The small amount of drainage from this elevated structure will be diverted to the swale area which will be in place at final grading.
3. Rain gutters are not a requirement of the Building Department. If the contractor so desires to install gutters, then I will ensure that the drainage from these rain leaders are diverted to the portion of the house which contains the driveway.

If I can be of any further assistance please do not hesitate to contact me at 287-2455.

Respectfully,

A handwritten signature in black ink, appearing to read "Gene Simmons".

Gene Simmons, CBO
Building Official



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

NOVEMBER 12, 2001

TO: ROBERT WIENKE
JOSEPH DORSKY
GENE SIMMONS ✓
JOSEPH CAPRA

FROM: ROBERT SCHAFENBERG *RS*

This inquiry is in reference to the adjoining property to Lot #16 known as 123 So. Sewalls Pt. Rd.

I would deeply appreciate the answers to the questions listed below:

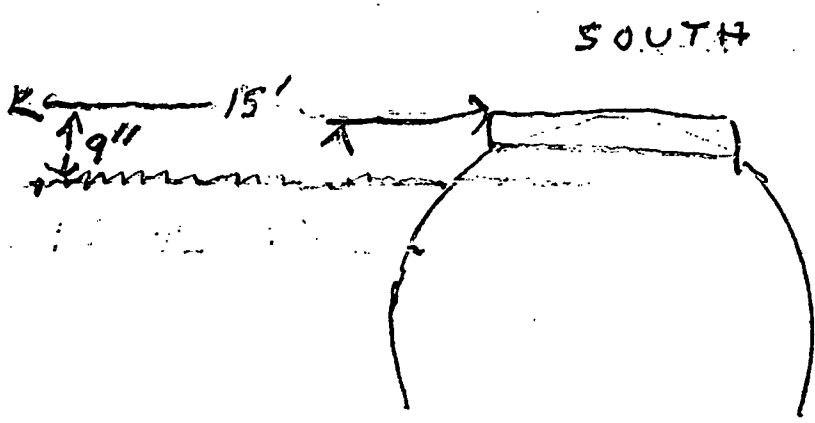
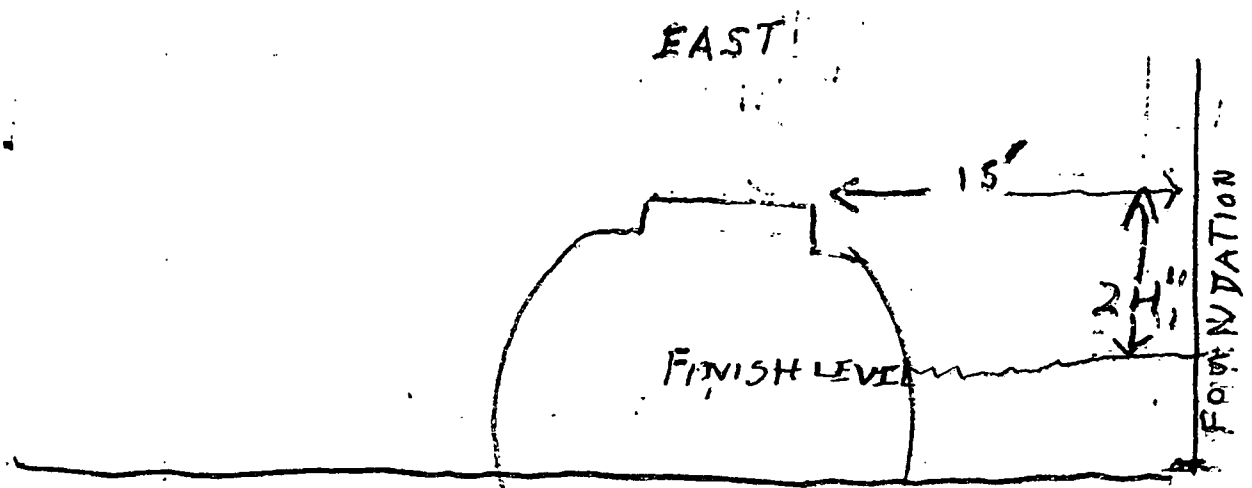
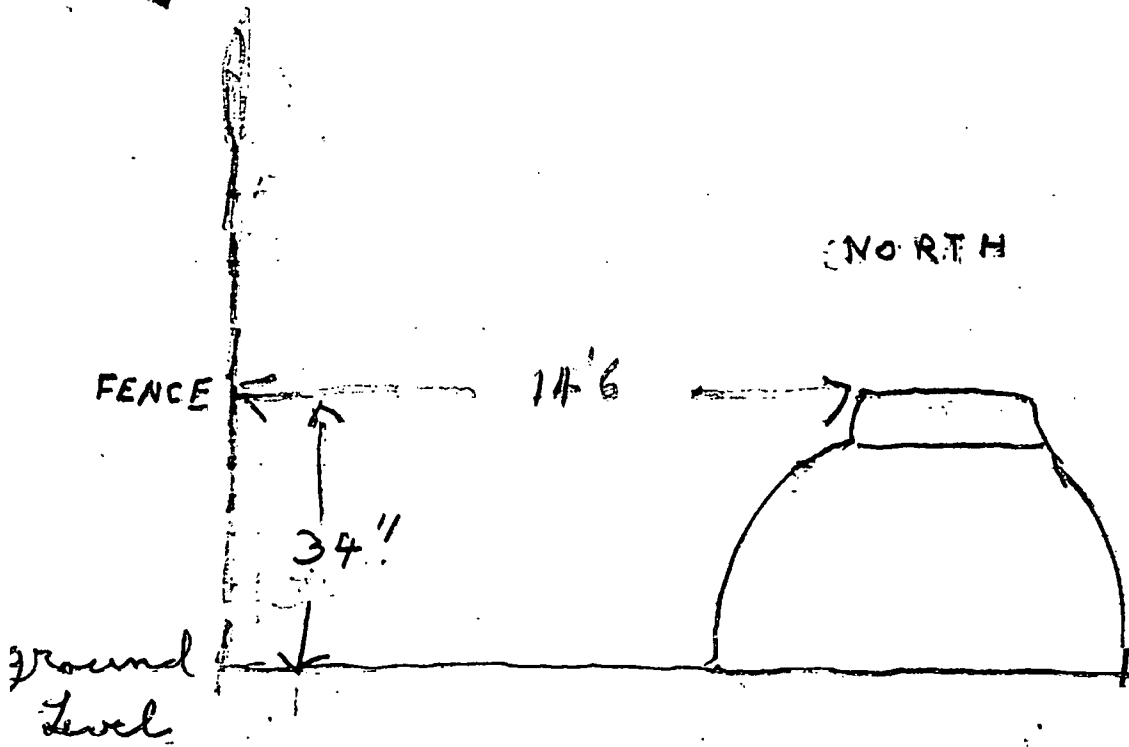
How can grade plans be established if one does not know if the basin located in the middle of the property-east side is just a catch basin or is a drainage basin with an outlet? As of Friday 11-09-01 town officials were not certain.

Raising of finished grade for cosmetic purposes only to cause severe pitches to adjoining properties? (Rough sketches attached)

Will new dwelling have gutters and if so, how will they be pitched and what will the location of the leaders be?

Please consider these question and reply prior to final approval.

Thank you for your prompt attention to this matter.



WEST

AT LEAST EQUAL TO NORTH
TO OVER GROWN TO TAKE MEASUREMENTS

TOWN OF SEWALL'S POINT FILE

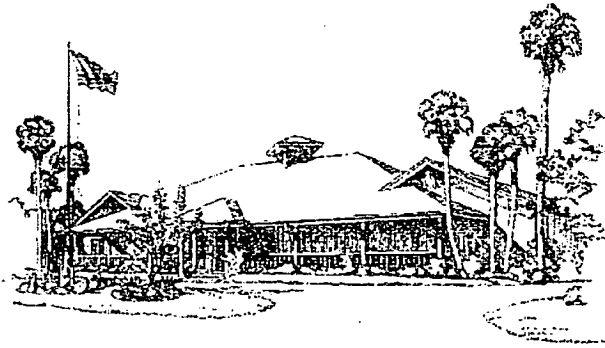
THOMAS P. BAUSCH
Mayor

MARC S. TEPLITZ
Vice Mayor

E. DANIEL MORRIS
Commissioner

JAMES D. BERCAW
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

July 29, 2002

Ms. Beverly Klemzak
3727 SE Ocean Blvd. Suite 100
Sewalls Point, Florida 34996

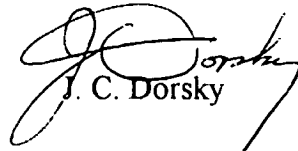
Re: 123 S. Sewall's Point Road

Dear Ms. Klemzak;

I have your letter of July 23, 2002 relative to water accumulating in the garage of referenced property when there are heavy rains. The Town's engineer has looked at the conditions in the area of the property and advises that there are some steps that can be taken which might help relieve the situation. However, the garage floor appears low and there are no assurances that the steps to be taken will eliminate flooding of the garage floor in times of heavy rains. The house is located in a flood plain. Our engineer has also advised that the property owner should consider on-site improvements to protect his garage through drainage toward the inlet at the southwest corner of Palm Road and S. Sewall's Point Road.

We are planning on an effort to direct the flow of water away from referenced property to an existing drainage inlet. The work will probably not start for several weeks when the contractor will be able to get to it. Hopefully, this will relieve the problem most of the time.

Sincerely



J. C. Dorsky

cc. Mr. Schafenberg



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

Sheila Quinn

Illustrated Properties
2401 PGA Blvd. Suite 196
Palm Beach Gardens, FL 33410

Phone 561-776-4436
Fax 561-624-4418
Home Phone 772-781-7377
Email SheilaQ101@aol.com

**ADDENDUM TO PURCHASE CONTRACT FOR PROPERTY LOCATED
123 Sewalls Point Road
Sewalls Point, FL**

It is our understanding that there is a drainage problem on the South side of the property next to the garage from water run off. This began about 18 to 24 months ago after the house on the South side was built. This problem needs to be corrected.

Sellers agree to hire and pay for a professional specializing in drainage problems to correct this matter. Prior to work being started, seller will provide buyer in writing how this problem will be corrected and by what company, for buyer's verification. Buyer must agree that this process sounds reasonable to correct this problem.

If the Town of Sewalls Point is responsible and cannot correct this matter prior to closing, then something in writing from the Town of Sewalls Point stating that they will correct this problem will be acceptable.

Effective date for this contract will be extended to August 27, 2002.

AL OTHER TERMS AND CONDITIONS OF THIS CONTRACT WILL REMAIN THE SAME.

Seller Date



Buyer Date

Seller Date

Buyer Date

TOWN OF SEWALL'S POINT

578

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner O. TOOLE Address 123 S-SEWALLS PT RD Phone 220 3571

Contractor Treasure Coast Tree Service Address _____ Phone _____

Number of trees to be removed (list kinds of trees) 2 Norfolk Pines
None

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):
None

Number of trees to be replaced _____ (list kinds of trees):

Permit Fee \$ 35.00 (\$25.00 - first tree plus \$10.00 - each additional tree - not to exceed \$100.00.

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant Dennis O Toole Date submitted 5/4/94

Approved by Building Inspector Dale Brown Date _____

Approved by Building Commissioner W. Man Date 5/13/94

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner MATT McGRATH Address 123 S. SEWALLS Phone 772 223-0462

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 2 HEDGES Type: 8

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

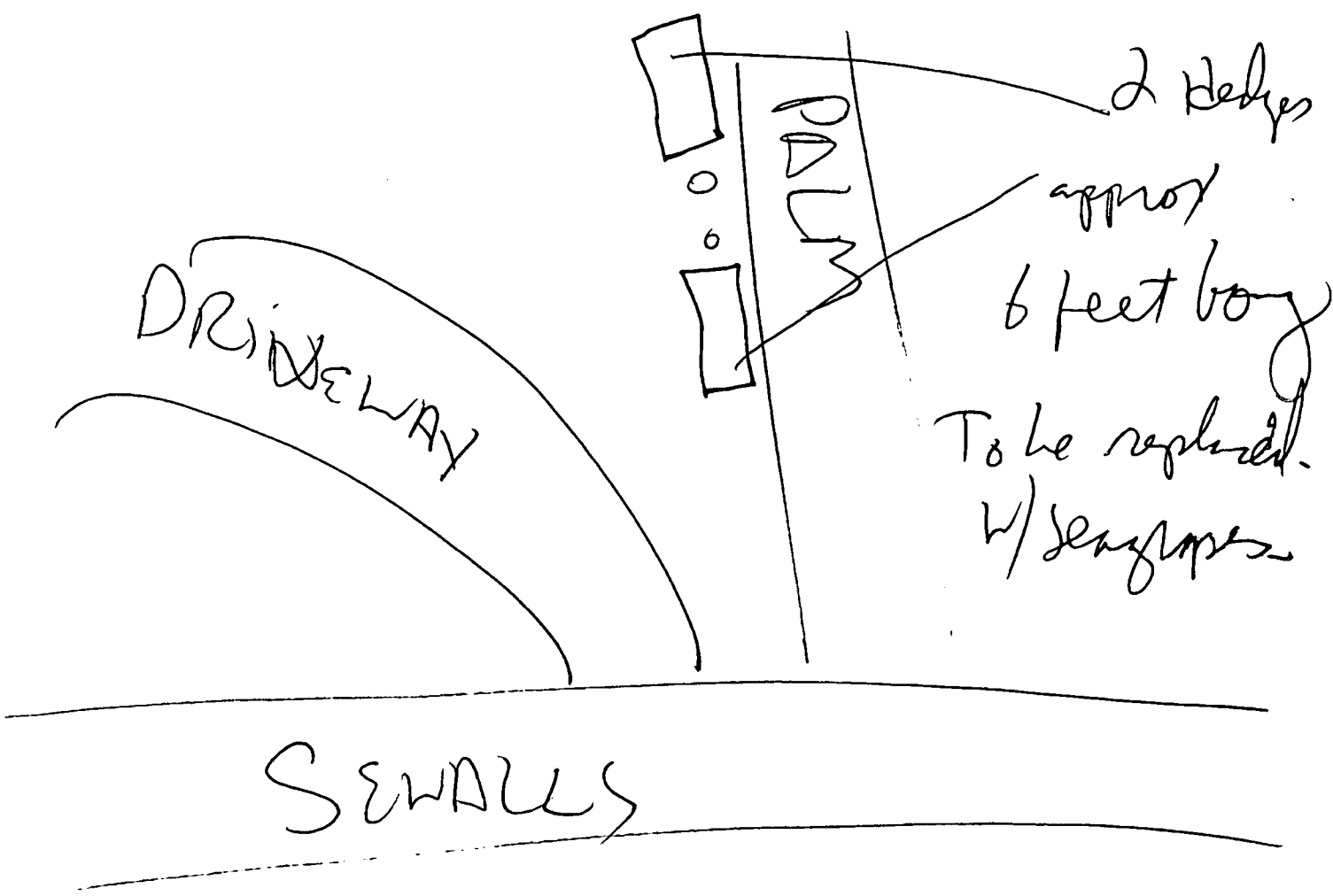
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: To REPLACE w/ SEAGRAPES. 2 short hedges on N. side of property (PALM RD) OK

Signature of Applicant: [Signature] Date _____

Approved by Building Inspector: [Signature] Date 5/7/3 Fee: 15.-

Plans approved as submitted _____ Plans approved as revised/marked: _____



2 Hedges
approx
6 feet long
To be replaced
w/ seagrass

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/7, 2003 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5319	Mc CARTNEY	POOL - FINAL	Passed	close
(12)	45 W. H.P. ADVANTAGE POOLS		→ need	affidavit INSPECTOR:
6248	MOTLEY	REPAIR FRONT LANDING FINAL	Passed	close
(5)	34 N. SEWALL'S Pt FRIZZELL			INSPECTOR:
5185	JONES	ROOF IN PROG.	await	specs
(9)	14 HERON'S NEST O/B			INSPECTOR:
6212	WATSON	FINAL -	Passed	close
(6)	30 N. RIVER RD TC CARPENTRY	FASCIA REPAIR		INSPECTOR:
7225	MCGEECH	TREE	Passed	
(10)	123 S. Sewall's Pt			INSPECTOR:
6146	CONROY	ROOF DEN IN	Passed	
(11)	12 PALMETTO O/B			INSPECTOR:
5875	Maxon	T Tag / Aerial	Passed	
(14)	9 S. River Another Roof Co.			INSPECTOR:
OTHER: _____				

TOWN OF SEWALL'S POINT, FLORIDA

Date MAY 26 2004 TREE REMOVAL PERMIT No 2267

APPLIED FOR BY MCGRATH (Contractor or Owner)

Owner 123 S. SEWALL'S POINT ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 ARECA PALM

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____ Applicant

Signed Gene Simmons (TOS) Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspectic
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box with horizontal lines, likely for site plan or drawing.

PROJECT DESCRIPTION _____

Five horizontal lines for project description details.

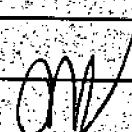
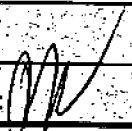
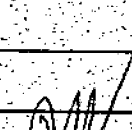

REMARKS _____

Five horizontal lines for remarks.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/26, 2004 Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6757	FENSTERER	POOL SCREEN DE	PASS	
7	71 S. SEWALL'S Pt TWIN POOLS			INSPECTOR: 
Tree	MCGRATH	TREE	PASS	
5	123 S. Sewall's Pt			INSPECTOR: 
Tree	ESCUE	TREE	PASS	
9	2 BANYAN RD			INSPECTOR: 
6741	OSTEEN	Temp Pole	PASS	NOTIFY F.D.L.
6	1 S. RIDGEVIEW ANGUS			INSPECTOR: 
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 30 2006 TREE REMOVAL PERMIT N^o 2629

APPLIED FOR BY MCGRATH (Contractor or Owner)

Owner 123 S. SEWALL'S

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 2 Stumps

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant

Signed, Gene Summers (Signature)
Town Clerk
BUILDING OFFICIAL

FEE \$ 0

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or additional notes.

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/30, 2006

Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7100	McGraw	Tree	PASS	
3	123 S. Sewalls			INSPECTOR: <i>[Signature]</i>
7755	BACILE	FINAL ROOF	FAIL	
8	17 FIELDWAY DR SUPERIOR ROOFING	(See att)		\$40 FEE INSPECTOR: <i>[Signature]</i>
7503	LADD	FINAL RENOV.	FAIL	
4	21 SIMARA HARTLEY CAULFIELD			INSPECTOR: <i>[Signature]</i>
7990 7117	PISTOLE	WATER FOUNTAIN	PASS	
	21 PERRIWINKLE CR. ROUGH IN			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

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No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

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 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Nath McGrath **Address** 123 S. Sewalls Pt. Rd **Phone** 781-1318

Contractor _____ **Address** _____ **Phone** _____

No. of Trees: REMOVE 1 **Type:** Areca Palm

No. of Trees: RELOCATE _____ **WITHIN 30 DAYS** **Type:** _____

No. of Trees: REPLACE _____ **WITHIN 30 DAYS** **Type:** _____

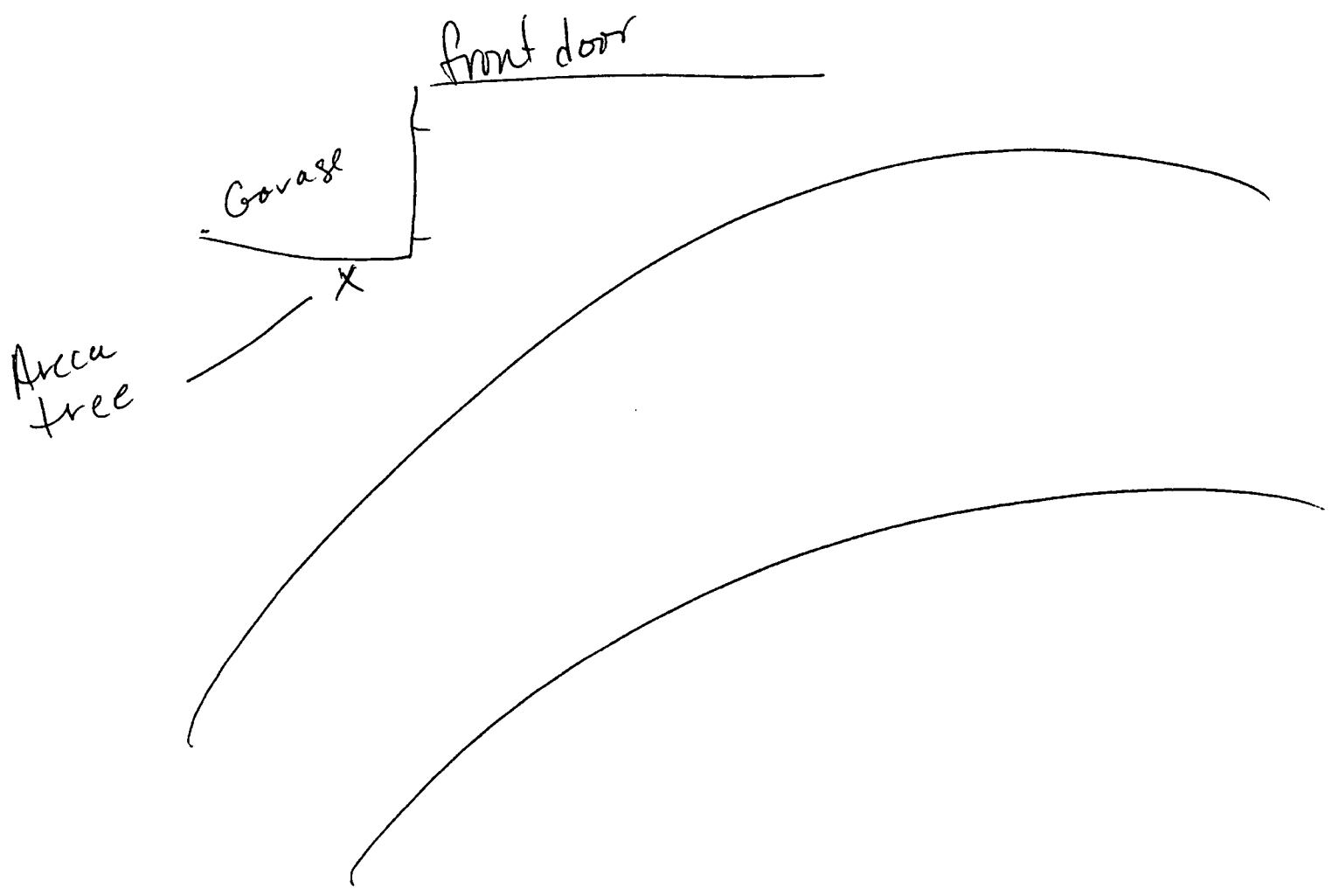
Written statement giving reasons: trees planted too close to house & touching roof above garage. We now have a rat problem - per Howlitt ->

Signature of Applicant [Signature] **Date** _____

Approved by Building Inspector: [Signature] **Date** 5/26 **Fee:** -0-

Plans approved as submitted [Signature] **Plans approved as revised/marked:** _____

Pest control - advised this could contribute to problem.



Permit Fee:

1. Tree permits are \$15.00, payable in advance.
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Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner VICTORIA McGRATH Address 123 S. SEWALL ST Phone 781-1318

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 2 Type: Stumps

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: dead - stumps

Signature of Property Owner [Signature] Date 1/27/06

Approved by Building Inspector: [Signature] Date 1/30 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

