

163 South Sewall's Point Road

6719

SFR

TOWN OF SEWALL'S POINT

Date 4/28/04 BUILDING PERMIT NO. 6719
 Building to be erected for DONOHUE Type of Permit SFR
 Applied for by HALL-SAMMONS (Contractor) Building Fee 5,049.76
 Subdivision MARGUERITA Lot 6 Block _____ Radon Fee 77.37
 Address 163 S. SEWALL'S POINT RD Impact Fee 4598.20
 Type of structure SFR A/C Fee 120.00
 Parcel Control Number: _____ Electrical Fee 120.00
1338410110000006010000 Plumbing Fee 120.00
 Amount Paid _____ Check # 1671 Cash _____ Other Fees (10% PLAN REVIEW) 632.98
 Total Construction Cost \$ 609,350. TOTAL Fees 11,638.31

Signed [Signature] Applicant
 Signed Gene Sammons (PWS) Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> BUILDING <u>SFR</u> | <input checked="" type="checkbox"/> ELECTRICAL | <input checked="" type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input checked="" type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Permit Number: 6719

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: Patricia A. Donohue 163 Phone (Day) 772-398-9007 (Fax) 772-398-9007
Job Site Address: 160 South Sewall's Point Road City: Stuart State: FL Zip: 34996
Legal Description of Property: Lot 6, Marguerita Subdivision Parcel Number: 13-38-41-011-000-00060-1
Owner Address (if different): 2617 SE Gowin Drive City: Pt. St. Lucie State: FL Zip: 34952
Description of Work To Be Done: Single-Family Residence

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Hall - Sammons, Inc. Phone: 772-263-3400 Fax: 772-225-3500
Street: 1101 NE Martin Avenue City: Jensen Beach State: FL Zip: 34957
State Registration Number: _____ State Certification Number: CRC1326546 Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 609,350 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:
Electrical: PHOENIX ELECTRICAL INC State: FL License Number: EC0001472
Mechanical: ADVANTAGE AIR CONDITIONING State: FL License Number: CAL039664
Plumbing: ART STOVER PLUMBING INC State: FL License Number: CFC056644
Roofing: PACIFIC ROOFING State: FL License Number: CCC056793

ARCHITECT Joseph McCarty Phone Number: 772-287-6735
Street: 900 E. Osceola Avenue City: Stuart State: FL Zip: 34994

ENGINEER _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 4,450 Garage: 2,834 Covered Patios: 453 Screened Porch: _____
Carport: _____ Total Under Roof: 7,737 Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Patricia A. Donohue
State of Florida, County of: Martin
This the 3 day of March, 2004
by Patricia A. Donohue who is personally
known to me or produced
as identification.

CONTRACTOR SIGNATURE (required)
Douglas Sammons
On State of Florida, County of: Martin
This the _____ day of March, 2004
by Douglas Sammons of Hall-Sammons, Inc. who is personally
known to me or produced
As identification Melanie J. Wilson
Notary Public

My Commission Expires: _____
Notary Public Eric B. Holly
MY COMMISSION # CC984527 EXPIRES
December 16, 2004
BONDED THRU TROY FAIR INSURANCE, INC.
Seal

My Commission Expires: _____
Notary Public Melanie J. Wilson
Commission # CC 929067
Expires April 17, 2004
Atlantic Bonding Co., Inc.

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

RENEWAL: \$696.27/mo x 3 mo. = \$2,088.81 good thru 7/28/04 CL# 582 on 5/1/04

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 4/28/04

BUILDING PERMIT NO. 6719

Building to be erected for DONOHUE

Type of Permit SFR

Applied for by HALL-SAMMONS

(Contractor) Building Fee $\frac{\$609,350 \times 9.60}{1000} =$ 5,849.76

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee 77.37

Address 163 S. SEWALL'S POINT RD

Impact Fee 4598.20

Type of structure SFR

A/C Fee 120.00

Parcel Control Number:

13384101100000006010000

Electrical Fee 120.00

Plumbing Fee 120.00

Roofing Fee 120.00

Amount Paid _____ Check # 1671 Cash _____

Other Fees (10% PLAN REVIEW) 632.98

Total Construction Cost \$ 609,350.

TOTAL Fees 11,638.31

Signed 

Applicant

Signed Gene Sammons (GSS)

Town Building Official

RENEWAL: \$696.27/mo x 3 mo. = \$2,088.81 good thru 7/28/05 CK# 582 on 8/1/05
 RENEWAL: \$696.27/mo x 1 mo. = \$696.27 good thru 8/28/05 CK# 1243 on 8/1/05
 MASTER PERMIT NO.

TOWN OF SEWALL'S POINT

Date 4/28/04 BUILDING PERMIT NO. 6719
 Building to be erected for DONOHUE Type of Permit SFR
 Applied for by HALL-SAMMONS (Contractor) Building Fee 5,849.76
 Subdivision MARGUERITA Lot 6 Block _____ Radon Fee 77.37
 Address 163 S. SEWALL'S POINT RD Impact Fee 4598.20
 Type of structure SFR AC Fee 120.00
 FINAL BLDG FEES: 638,700 Electrical Fee 120.00
-609,350 Plumbing Fee 120.00
29,350 x $\$9.60/1000 = \281.76 CK# 1274 on 9/6/05 Roofing Fee 120.00
 Parcel Control Number: 13384101100000006010000 Other Fees (10% PLAN REVIEW) 632.98
 Amount Paid _____ Check # 1671 Cash _____ TOTAL Fees 11,638.31
 Total Construction Cost \$ 609,350.

Signed [Signature] Applicant
 Signed Gene Sammons (PSS) Town Building Official

SOUTH BEACH COTTAGES AND LOTS, INC.
 2617 SE GOWIN DRIVE
 PORT ST LUCIE, FL 34952

COLONIAL CLASSICS

PAY to the order of Sewall's Point Date Sept 6, 2005 1274
two hundred eighty one \$ 281.76
76 Dollars 100

First Peoples Bank
 715 Colorado Avenue
 Stuart, FL 34994

For Final Permit Fees

© Clarke American DECC

MASTER PERMIT NO. 6719

TOWN OF SEWALL'S POINT

Date 4/27/04

BUILDING PERMIT NO. 6720

Building to be erected for DONOHUE

Type of Permit SUB-ELECTRICAL

Applied for by HALL SIMMONS/PHOENIX ELECTRIC (Contractor)

Building Fee _____

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT QUAL. NAME: Frank Andrade

Electrical Fee PN 6719

Parcel Control Number: LIC#: EC 000 1399

Plumbing Fee _____

1338410110000006010000

Roofing Fee _____

Amount Paid Check # Cash _____ Other Fees (_____) _____

TOTAL Fees _____

Total Construction Cost \$ _____

Signed Frank Andrade
Applicant

Signed Gene Simmons (AOS)
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

CERTIFICATE OF INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

FLORIDA FARM BUREAU INSURANCE COMPANIES P.O. BOX 147030 GAINESVILLE, FLORIDA 32614-7030	COMPANIES AFFORDING COVERAGES: Company Letter A: <div style="border: 1px solid black; padding: 5px; display: inline-block; text-align: center;"> RECEIVED DEC 27 2003 BY: _____ </div> Florida Farm Bureau General Ins. Co Company Letter B: Florida Farm Bureau Casualty Ins. Co.
NAME AND ADDRESS OF INSURED: HALL-SAMMONS, INC 1001 NE MARTIN AVENUE JENSEN BEACH, FL 34957-6219	

The policies of insurance listed below have been issued to the insured named above and are in force at this time. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

CO. LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	ALL LIMITS IN THOUSANDS	
A	General Liability: <input checked="" type="checkbox"/> Commercial General Liability (Occurrence Form) <input type="checkbox"/> Owner's & Contractor's Protective <input type="checkbox"/> Farmer's Personal Liability	SGL 9515722	05/01/2003	05/01/2004	General Aggregate	\$ 600
					Products-completed operations aggregate	\$ 600
					Personal & Advertising Injury	\$ 300
					Each Occurrence	\$ 300
					Fire Damage (Any one fire)	\$ 50
					Medical Expense (Any one person)	\$ 5
	Automobile Liability: <input type="checkbox"/> Any auto <input type="checkbox"/> All owned autos <input type="checkbox"/> Scheduled autos <input type="checkbox"/> Hired autos <input type="checkbox"/> Non-owned autos				Combined Single Unit	\$
	Excess Liability: <input type="checkbox"/> Umbrella Form <input type="checkbox"/> Other than Umbrella form				Each Occurrence	\$
	Employers Liability: <input type="checkbox"/> Farm Employer's Liability <input type="checkbox"/> Farm Employee's Medical				Aggregate	\$
	Other:				(Each Occurrence)	\$
					(Each Employee)	\$
					\$	\$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES:

CANCELLATION: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:
 TOWN OF SEWALLS POINT
 1 SOUTH SEWALLS POINT ROAD
 SEWALLS POINT, FL 34996

COUNTY CODE 43 DATE ISSUED 12/23/03
 Served by MARTIN County Farm Bureau
WANDA C GREGORY, LUTCF, CLU, ChFC
 AUTHORIZED REPRESENTATIVE

FAX 220-4765

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION



** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION

This certificate exempts the Officer of the Corporation listed below from the provision of Florida Workers' Compensation Law for the period indicated below.

EFFECTIVE DATE: 01/01/2004
EXPIRATION DATE: 02/24/2005
CORPORATE OFFICER/
LLC MEMBER NAME: SAMMONS DOUGLAS
FEIN: 660788431
BUSINESS NAME AND ADDRESS: HALL - SAMMONS INC
1101 NE MARTIN AVENUE
JENSEN BEACH FL 34957
SCOPE OF BUSINESS OR TRADE: CARPENTRY

RE-ISSUANCE

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

RECEIVED
DEC 23 2003
BY: _____

EFFECTIVE 02/25/2003 EXPIRATION DATE 02/24/2005
PERSON SAMMONS DOUGLAS J
SSN 173-38-6743
FEIN 650788431
BUSINESS HALL-SAMMONS, INC.
1101 NE MARTIN AVENUE
JENSEN BEACH FL 34957

NOTE: Pursuant to Chapter 440.10(1),(g),2,F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

AC#0683187

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#L02103000078

DATE	BATCH NUMBER	LICENSE NBR
10/30/2002	011081722	CRC1326546

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004



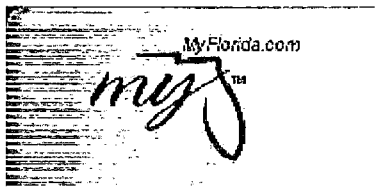
SAMMONS, DOUGLAS J
HALL-SAMMONS INC
1101 NE MARTIN AVE
JENSEN BEACH

FL 34957

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY



Log On

[DBPR Home](#) | [Online Services Home](#) | [Help](#) | [Site Map](#)

03:07:59 PM

Public Services

- Search for a Licensee
- Apply for a License
- View Application Status
- Apply to Retake Exam
- Find Exam Information
- Find a CE Course
- File a Complaint
- AB&T Delinquent Invoice & Activity List Search

User Services

- Renew a License
- Change License Status
- Maintain Account
- Change My Address
- View Messages
- Change My PIN
- View Continuing Ed

Licensee Details

Licensee Information

Name: **SAMMONS, DOUGLAS J (Primary Name)**
HALL-SAMMONS INC (Alternate Name)

Main Address: **1101 NE MARTIN AVE**
JENSEN BEACH, Florida 34957

License Information

License Type: **Certified Residential Contractor**

Rank: **Cert Residential**

License Number: **CRC1326546**

Status: **Current, Active**

Licensure Date: **10/30/2002**

Expires: **08/31/2004**

[View Related License Information](#)

[View License Complaint](#)

Term Glossary

Online Help

[New Search](#)

[Terms of Use](#) | [Privacy Statement](#) |

CERTIFIED CONTRACTOR IN COMPLIANCE WITH MARTIN COUNTY, FLORIDA'S LICENSING REQUIREMENTS; ELIGIBLE TO PERFORM WORK WITHIN THE CLASSIFICATION.

**2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**

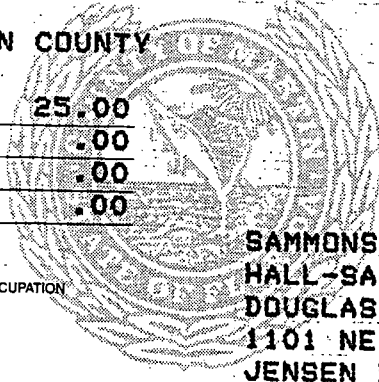
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1998-513-015 CERT
PHONE (561) 225-0350 SIC NO 001521

LOCATION:
1101 NE MARTIN AVE MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>



**SAMMONS, DOUGLAS J
HALL-SAMMONS, INC.
DOUGLAS J SAMMONS
1101 NE MARTIN AVE.
JENSEN BEACH FL 34957**

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **RESIDENTIAL CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

20 DAY OF AUGUST 20 03
AND ENDING SEPTEMBER 30, 2004

12 03081901 000660

ACORD, CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
04/23/2004

PRODUCER (772)334-3181 FAX (772)334-7742
Rick Carroll Insurance Agency
2160 N.E. Dixie Highway
P.O. Box 877
Jensen Beach, FL 34958-0877

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED Phoenix Electric Enterprises, Inc.
2461 SW Maple Drive
Palm City, FL 34990

INSURER A: Western World Insurance Group
INSURER B: Florida United Business Association
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	BINDER/LIAB	01/19/2004	01/19/2005	EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	BINDER/WORK COMP	01/30/2004	01/30/2005	WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 100,000
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

THIS CERTIFICATE IS FOR PROOF OF INSURANCE ONLY.

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

TOWN OF SEWALL'S POINT
1 SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FL 33496

AUTHORIZED REPRESENTATIVE
Keith Carroll/LAG



©ACORD CORPORATION 1988



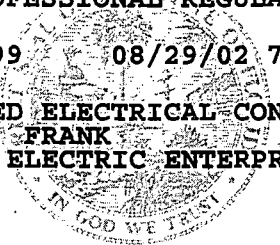
STATE OF FLORIDA

AC# 0559478

DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

EC0001399 08/29/02 783083038

CERTIFIED ELECTRICAL CONTRACTOR
ANDRADE, FRANK
PHOENIX ELECTRIC ENTERPRISES, INC



IS CERTIFIED under the provisions of Ch.489 FS.

Expiration date: AUG 31, 2004 SEQ # L02082902275

**2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE**
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>2.50</u>
\$	<u>.00</u>	COL. FEE \$	<u>5.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL		<u>32.50</u>	

IS HEREBY ISSUED TO AS A PROFESSIONAL OR OCCUPATION
ELECTRICAL CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE
22 DAY OF **OCTOBER** **03**
2004

LICENSE **1995-508-004** CERT **EC0001399**
PHONE **(772)288-5202** SIC NO **235210-1**
LOCATION: **2461 SW MAPLEWOOD DR**

ANDRADE, FRANK
PHOENIX ELECTRIC ENTERPRISES
2461 SW MAPLEWOOD DRIVE
PALM CITY FL 34990

RECEIPT OF PAYMENT

LARRY C. O'STEEN
99 10/22/2003 08:11 NORMAL
199556866004000
02:00:31022000/42CK

\$32.50

MASTER PERMIT NO. 6719

TOWN OF SEWALL'S POINT

Date 4/27/04

BUILDING PERMIT NO. 6721

Building to be erected for DONOHUE

Type of Permit SUB-A/C

Applied for by HALL-SIMMONS/ADVANTAGE AIR (Contractor)

Building Fee /

Subdivision MARGHERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT QUAL. NAME: SAMUEL T. DURHAM

Electrical Fee DN 6719

Parcel Control Number: LIC#: CAL039664

Plumbing Fee _____

1338410110000006010000

Roofing Fee _____

Amount Paid X Check # X Cash _____ Other Fees (_____) _____

Total Construction Cost \$ _____

TOTAL Fees /

Signed Samuel Durham

Signed Gene Simmons

Applicant

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LP
ADVA-11

DATE (MM/DD/YYYY)
03/09/04

PRODUCER
R.V. Johnson Agency, Inc. (JK)
2041 S.E. Ocean Blvd.
Stuart FL 34996
Phone: 772-287-3366 Fax: 772-287-4439

INSURED
Advantage A/C & Heating Inc.
Advantage A/C of the Treasure
601 S Market Av
Ft. Pierce FL 33482

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	Southern Owners Insurance	10190
INSURER B:	Auto-Owners Insurance Co	18988
INSURER C:	Everst National Insurance Co	
INSURER D:		
INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY	2061370204	03/15/04 03/15/03	03/15/05 03/15/04	EACH OCCURRENCE \$ 500,000
		<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 500,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COM/POP AGG \$ 500,000
B		AUTOMOBILE LIABILITY	4234360001	03/15/04 03/15/03	03/15/05 03/15/04	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
		<input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
		GARAGE LIABILITY	NOT COVERED W/THIS AGENCY			AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
B		EXCESS/UMBRELLA LIABILITY	9543501202	03/15/04	03/15/05	EACH OCCURRENCE \$ 1,000,000
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ 10,000				AGGREGATE \$ 1,000,000 \$ \$ \$
C		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	2700007473041	03/04/04 03/04/03	03/04/05 03/04/04	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$ 100000
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				E.L. EACH ACCIDENT \$ 100000 E.L. DISEASE - EA EMPLOYEE \$ 100000 E.L. DISEASE - POLICY LIMIT \$ 500000
A		OTHER Equipment Floater	2061370204	03/15/04 03/15/03	03/15/05 03/15/04	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
30 days notice of cancellation for workers compensation coverage.
Companies have the option to cancel 10 days for non-payment.

CERTIFICATE HOLDER

TOWN024

Town of Sewalls Point
1 S. Sewalls Point Road
Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10* DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
[Signature]

2002-2003

ST. LUCIE COUNTY OCCUPATIONAL LICENSE
STATE OF FLORIDA

ACCOUNT 1711-00001820
EXPIRES SEP 30, 2003

FACILITIES OR MACHINES
TYPE OF BUSINESS
BUSINESS LOCATION

ROOMS SEATS EMPLOYEES 21+
1711 AIR CONDITIONING CONTRACTOR
601 S MARKET AVE
C - ST LUCIE COUNTY

X RENEWAL
NEW LICENSE
TRANSFER- ORIGINAL TAX 25.00

NAME MAILING ADDRESS

DURHAM SAMUEL
ADVANTAGE AIR COND & HEATING I
DURHAM, SAMUEL T
601 SOUTH MARKET AVENUE
FORT PIERCE FLORIDA 34982
CAC039664

AMOUNT PENALTY COLLECTION COST TOTAL 25.00

THIS LICENSE BECOMES NULL AND VOID IF BUSINESS NAME, CLASSIFICATION, OWNERSHIP OR ADDRESS IS CHANGED, UNLESS LICENSEE APPLIES TO TAX COLLECTOR FOR CORRECTION.

SUBJECT TO SUSPENSION OR REVOCATION BY BOB DAVIS, TAX COLLECTOR PAID
ACCORDANCE WITH ORDINANCES OF ST. LUCIE COUNTY
MARCH 21 8/30/2002 11:13AM 00003596
BOB DAVIS, CPA, CGFO, CFC, ST. LUCIE COUNTY TAX COLLECTOR
P.O. BOX 308 FORT PIERCE, FL 34982-0308

0600 \$25.00
CK \$25.00
CHANGE \$0.00

AC# 0474997

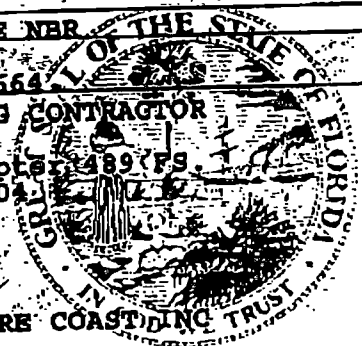
STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L02070500403

DATE	BATCH NUMBER	LICENSE NBR
07/05/2002	200002123	CAC039664

The CLASS A AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, F.S.
Expiration date: AUG 31, 2004



DURHAM, SAMUEL T
ADVANTAGE A/C OF THE TREASURE COAST
601 S MARKET AVE
FORT PIERCE
FL 34982

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

02/24/03 10:01 P.M. 40000040



ADVANTAGE AIR CONDITIONING OF THE TREASURE COAST, INC.

601 S. MARKET AVENUE - FT. PIERCE, FL 34982
465-1606 • STATE CERTIFICATION #CAC039664 • 335-3339
FAX No. (561) 465-4945

September 4, 2002

Town of Sewall's Point
South Sewall's Point Rd.
Sewall's Point, FL

RE: Permit

To Whom It May Concern:

Advantage Air Conditioning of the Treasure Coast, Inc. gives C.J. Simmons authorization to sign for permit or any other form that needs to be signed.

Thank you.

Samuel T. Durham, President
Advantage Air Conditioning

MASTER PERMIT NO. 6719

TOWN OF SEWALL'S POINT

Date 4/28/04

BUILDING PERMIT NO. 6722

Building to be erected for DONOHUE

Type of Permit SUB-PLUMBING

Applied for by HALL SAMMONS/ART STOVER (Contractor)

Building Fee _____

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. SEWALL'S PT ROAD

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT QUAL. NAME: ART STOVER

Electrical Fee PN 6719

Parcel Control Number: Lot #: CFC056644

Plumbing Fee _____

1338410110000006010000

Roofing Fee _____

Amount Paid _____ Check # X Cash _____ Other Fees (_____)

Total Construction Cost \$ _____ TOTAL Fees _____

Signed [Signature]

Signed [Signature]

Applicant

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/27/2004

PRODUCER (772)335-8804 FAX (772)335-8847
S.M. FINES INSURANCE AGENCY
 1250 S.E. PORT ST. LUCIE BLVD.
 PORT ST LUCIE, FL 34952-5392
 Sherry Sherrard

INSURED **Art Stover Plumbing, Inc**
 1029 SW South Macedo Blvd.
 Port St. Lucie, FL 34983

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Maryland Casualty Ins. Co.	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	ADD'L INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	SCP42327834	05/14/2003	05/14/2004	EACH OCCURRENCE \$ 500,000
		DAMAGE TO RENTED PREMISES (EA occurrence) \$ 300,000 SP				
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				BODILY INJURY (Per accident) \$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				PROPERTY DAMAGE (Per accident) \$
		OTHER				AUTO ONLY - EA ACCIDENT \$
						OTHER THAN AUTO ONLY EA ACC \$
						AGG \$
						EACH OCCURRENCE \$
						AGGREGATE \$
						\$
						\$
						WC STATU-TORY LIMITS OTH-ER
						E.L. EACH ACCIDENT \$
						E.L. DISEASE - EA EMPLOYEE \$
						E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

State of Florida

CERTIFICATE HOLDER

Town of Sewalls Point
 1 South Sewalls Point Rd.
 Stuart, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 Susan Fines/SAS *Susan M. Fines*

ACORD <small>TM</small> CERTIFICATE OF LIABILITY INSURANCE		Date 4/27/2004
Producer: Lion Insurance Company 905 E. Martin Luther King Jr. Dr. Tarpon Springs, FL 34689 Phone: 727-938-5562 Fax: 727-937-2138		This Certificate is issued as a matter of information only and confers no rights upon the Certificate Holder. This Certificate does not amend, extend or alter the coverage afforded by the policies below.
		Insurers Affording Coverage
		NAIC #
Insured: South East Personnel Leasing 905 East MLK Jr. Drive Suite # 110 Tarpon Springs, FL 34689 Phone : (727)938-5562		Insurer A: Lion Insurance Company Insurer B: Insurer C: Insurer D: Insurer E:

Coverages
 The policies of insurance listed below have been issued to the insured named above for the policy period indicated. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions, and conditions of such policies. Aggregate limits shown may have been reduced by paid claims.

NSR LTR	ADDL INSRD	Type of Insurance	Policy Number	Policy Effective Date (MM/DD/YY)	Policy Expiration Date (MM/DD/YY)	Limits																
		GENERAL LIABILITY <input type="checkbox"/> Commercial General Liability <input type="checkbox"/> Claims Made <input type="checkbox"/> Occur <hr/> General aggregate limit applies per: <input type="checkbox"/> Policy <input type="checkbox"/> Project <input type="checkbox"/> LOC				Each Occurrence \$ Damage to rented premises (EA occurrence) \$ Med Exp \$ Personal Adv Injury \$ General Aggregate \$ Products - Comp/Op Agg \$																
		AUTOMOBILE LIABILITY <input type="checkbox"/> Any Auto <input type="checkbox"/> All Owned Autos <input type="checkbox"/> Scheduled Autos <input type="checkbox"/> Hired Autos <input type="checkbox"/> Non-Owned Autos				Combined Single Limit (EA Accident) \$ Bodily Injury (Per Person) \$ Bodily Injury (Per Accident) \$ Property Damage (Per Accident) \$																
		GARAGE LIABILITY <input type="checkbox"/> Any Auto				Auto Only - Ea Accident \$ Other Than EA Acc. \$ Autos Only: AGG. \$																
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> Occur <input type="checkbox"/> Claims Made <input type="checkbox"/> Deductible <input type="checkbox"/> Retention				Each Occurrence Aggregate																
A		Workers Compensation and Employers' Liability Any proprietor/partner/executive officer/member excluded? If Yes, describe under special provisions below.	WC 71949	12/31/2003	12/31/2004	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">X</td> <td style="text-align: center;">WC Statutory Limits</td> <td style="text-align: center;">OTH-ER</td> <td></td> </tr> <tr> <td colspan="2">E.L. Each Accident</td> <td></td> <td style="text-align: right;">\$1000000</td> </tr> <tr> <td colspan="2">E.L. Disease - Ea Employee</td> <td></td> <td style="text-align: right;">\$1000000</td> </tr> <tr> <td colspan="2">E.L. Disease - Policy Limits</td> <td></td> <td style="text-align: right;">\$1000000</td> </tr> </table>	X	WC Statutory Limits	OTH-ER		E.L. Each Accident			\$1000000	E.L. Disease - Ea Employee			\$1000000	E.L. Disease - Policy Limits			\$1000000
X	WC Statutory Limits	OTH-ER																				
E.L. Each Accident			\$1000000																			
E.L. Disease - Ea Employee			\$1000000																			
E.L. Disease - Policy Limits			\$1000000																			

Other 1764001 Art Stover Plumbing
 COVERAGE APPLIES ONLY TO THOSE EMPLOYEES LEASED, NOT TO SUBCONTRACTORS.

Descriptions of Operations/Locations/Vehicles/Exclusions added by Endorsement/Special Provisions: ADD ON DATE: 2/20/2003
 COVERAGE APPLIES ONLY IN THE STATE OF FLORIDA TO THOSE EMPLOYEES LEASED TO BUT NOT SUBCONTRACTORS OF Art Stover Plumbing * FAX: 772-220-4765 & 772-878-2717 / ISSUE 4-27-04 (TB)

CERTIFICATE HOLDER TOWN OF SEWALLS POINT 1 S. SEWALLS POINT RD. SEWALLS POINT FL 34996	CANCELLATION Should any of the above described policies be cancelled before the expiration date thereof, the issuing insurer will endeavor to mail 30 days written notice to the certificate holder named to the left, but failure to do so shall impose no obligation or liability of any kind upon the insurer, its agents or representatives.
--	--

AC# 0465714

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/23/2002	973690047	CFC056644



The PLUMBING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 2004

STOVER, ARTHUR T.
ART STOVER PLUMBING INC
1496 VILLAGE GREEN DR
PT ST LUCIE FL 34952

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY
SECRETARY

AC# 0936295

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SECRETARY 103061000872

DATE	BATCH NUMBER	LICENSE NBR
06/10/2003	200464530	QB0015122



The BUSINESS ORGANIZATION
Named below IS QUALIFIED
Under the provisions of Chapter 489, FS.
Expiration date: AUG 31, 2005
(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS
COMPANY TO DO BUSINESS ONLY IF THE WORK IS DONE BY A LICENSED CONTRACTOR.)

ART STOVER PLUMBING INC
1029 SW MECADO BLVD
PT ST LUCIE FL 34983

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY

OCCUPATIONAL TAX RECEIPT CITY OF PORT ST. LUCIE

121 SW PORT ST. LUCIE BOULEVARD
PORT ST. LUCIE, FLORIDA 34984-5099

THIS LICENSE VALID WHEN ALL STATE AND LOCAL
REGULATED TRADE LICENSES / COMPETENCY
CARDS ARE VALID FOR THE CURRENT FISCAL YEAR.

TERM: October 1, 2003 to September 30, 2004

THIS IS A RECEIPT FOR TAX PAID AND IS NOT REGULATORY IN NATURE

This license does not warrant or hold that the licensee is competent to perform in the business(es) as licensed, but that the licensee has paid the required fee(s) and provided the necessary documentation (if required) to be licensed in this business.
LICENSE MUST BE EXHIBITED CONSPICUOUSLY AT YOUR PLACE OF BUSINESS.

VALID AT THIS BUSINESS ADDRESS ONLY

Business/Lic. 100593/04-1015575

Business Address: 1029 SW S MACEDO BLVD
Classification: CONT CONTRACTOR
Issued to: ART STOVER PLUMBING INC.
1029 SW S MACEDO BLVD

Fee: 110.25
Discount: 0.00

Mary B. Mastio
BUSINESS LICENSE COORDINATOR

PORT ST LUCIE FL 34983

929/071 KA BUSINESS COPY

Fees: 110.25 Late Fees: 0.00 Total this payment : 110.25

MASTER PERMIT NO. 6719

TOWN OF SEWALL'S POINT

Date 4/23/04

BUILDING PERMIT NO. 6723

Building to be erected for DONOLUE

Type of Permit SUB-ROOFING

Applied for by HALL SAMMONS/PACIFIC ROOF (Contractor)

Building Fee _____

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. SEWALL'S POINT RD

Impact Fee _____

Type of structure SFR

A/C Fee SEE

PRINT QUAL. NAME: Richard J. Gomez

Electrical Fee PN 6719

LIC#: CCC056793

Parcel Control Number:

Plumbing Fee _____

1338410110000006010000

Roofing Fee _____

Amount Paid _____ Check # X Cash _____ Other Fees (_____) _____

Total Construction Cost \$ X TOTAL Fees _____

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

AGORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
10/28/2003

PRODUCER: (361) 746-4546 FAX (561) 746-9599
Tequesta Agency, Inc.
 218 S. US Highway One, Ste 300
 Tequesta, FL 33469
 Debra Hicks

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED **Pacific Roofing Corp., Inc.**
 PO Box 2697
 Stuart, FL 34994

INSURER A: **American Casualty Company**
 INSURER B: **Transportation Insurance Co.**
 INSURER C:
 INSURER D:
 INSURER E:

RECEIVED
 OCT 30 2003
 By _____

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	C2020206931	10/28/2003	10/28/2004	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 5,000
					PERSONAL & ADV INJURY \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				GENERAL AGGREGATE \$ 2,000,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC				PRODUCTS - COMP/OP AGG \$ 2,000,000
B	AUTOMOBILE LIABILITY	C2020206945	10/28/2003	10/28/2004	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input checked="" type="checkbox"/> NON-OWNED AUTOS				
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS \$
					OTHER \$
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

TOWN OF SEWALLS POINT
 ATTN: ED ARNOLD
 1 SOUTH SEWALLS POINT ROAD
 STUART, FL 34996

AUTHORIZED REPRESENTATIVE
 Mark Kasten/DEBBIE

Debra Hicks

ACORD CERTIFICATE OF LIABILITY INSURANCE		CERTIFICATE NO. / DATE AC03-7900013-87038 12/4/2003 1:34:22 PM
PRODUCER Eisenmann Risk Placements, Inc. 14160 Dallas Parkway, Suite 500 Dallas, TX 75254 (972) 404-0295 Fax: (972) 404-4450	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED PACIFIC ROOFING CORPORATION 808 SE DIXIE HWY STUART, FL 34994 (772) 283-7663 Fax: (772) 283-9505	INSURERS AFFORDING COVERAGE	
	INSURER A: PROVIDENCE PROPERTY & CASUALTY INSURANCE COMPA INSURER B: INSURER C: INSURER D: INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO <input type="checkbox"/> LOC				EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$				\$ \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	WC0100062	12/1/2003	12/1/2004	<input checked="" type="checkbox"/> WC STATIL-TOPLIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000 LIMITS \$ LIMITS \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLE/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS:
 1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to PACIFIC ROOFING CORPORATION, effective 12/01/2003.

CERTIFICATE HOLDER TOWN OF SEWALL'S POINT 1 S SEWALL'S POINT RD STUART, FL 34996	ADDITIONAL INSURED; INSURER LETTER: CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
--	---

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ#20206100081

LICENSEE NAME		LICENSE NBR
06/10/2002	011129085	CCC056793

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

RECEIVED
NOV 05 2002
BY:

GOMES, RICHARD JOHN
PACIFIC ROOFING CORP
PO BOX 2697
STUART FL 34995

JES BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-BEYER
SECRETARY

2003-2004 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34993
(772) 283-5604

LICENSE 1993-520-076 CERT _____
PHONE (561)283-7663 SIC NO 001761

LOCATION:
808 DIXIE HWY CTY

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **ROOFING CONTRACTOR**

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 DAY OF SEPTEMBER 03
AND ENDING SEPTEMBER 2004

GOMES, RICHARD J
PACIFIC ROOFING CORP
RICHARD J GOMES
808 SE DIXIE HWY
STUART FL 34994

RECEIPT OF PAYMENT

6810 1
LARRY C. O'STEEN
99 09/19/2003 UCCI NORMAL
19935200076663
KX0904000416090320
\$25.00

RECEIVED
NOV 19 2003
BY: _____

01347837

99 FEB -4 PM 4:16

Return to:
Thomas H. Thurlow, Jr.
Thurlow & Smith, P.A.
Courthouse Box 2
Martin County Courthouse
Stuart, Florida

TO-DEED \$ 175.00 MARSHA STILLER
TO-MTG \$ _____ MARTIN COUNTY
TO-ADM \$ _____ CLERK OF CIRCUIT COURT
TO-TAX \$ _____ BY [Signature] D.C.

Property Appraiser's Parcel
Identification No.:
13-38-41-000-000-00083.70000

-----[Space above line for recording data]-----

WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture, made this 29th day of January, 1999, between

**DENNIS S. HUDSON, JR., a married man, and DALE M. HUDSON,
a married man,**

of the County of Martin, State of Florida, Grantor*, and

PATRICIA A. DONOHUE,

whose post office address is 2617 S.E. Gowan
Port St. Lucie, Florida 34952

of the County of St. Lucie, State of Florida, Grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN (\$10.00) DOLLARS, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

The North 6.31 acres, more or less, being the North 236.94 feet of Lot 7, in Plat 1 of Sewall's Division of Sewall's Point, as shown in unrecorded plat prepared by William H. Roat, County Surveyor, December 24, 1926, and on plat of Port Sewall filed November 13, 1913, recorded in Plat Book 3, page 8, Public Records of Palm Beach (now Martin) County, Florida.

SAID PROPERTY ALSO BEING DESCRIBED AS:

That part of the following described real property

situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

Commencing at a point on the West shore line of the Indian River twenty-seven chains and five links (27.5) from the North line of the Hanson Grant, in Plat 1 of Sewall's Division and within the boundaries of said Grant, running thence South sixty-six degrees West, eighteen chains and ten links (18.10) to the St. Lucie River, thence Southeasterly along the margin of said river to a point three chains and fifty-seven links (3.57) South of the line last run; thence north sixty-six degrees East, seventeen chains and thirty links (17.30) more or less, to the Indian River; thence Northwesterly along the waters of said river to the place of beginning.

Together with all and singular the riparian rights thereunto belonging or in anywise appertaining.

SUBJECT TO easements, restrictions and limitations of record;

DENNIS S. HUDSON, JR., one of the Grantors herein, represents and covenants that the above described real property is vacant and unimproved and is not his homestead; and that his residence and homestead is 157 South River Road, Sewall's Point, Florida 34996;

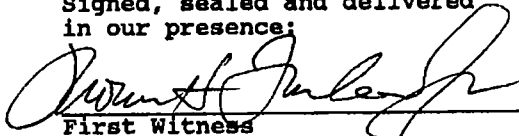
DALE M. HUDSON, one of the Grantors herein, represents and covenants that the above described real property is vacant and unimproved and is not his homestead; and that his residence and homestead is 192 S.E. Harbor Point Drive, Stuart, Florida 34996;

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

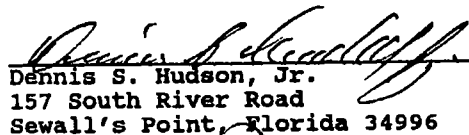
**Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

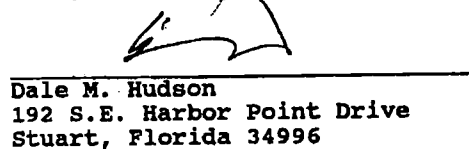

First Witness

Printed Name:
Thomas H. Thurlow, Jr.


Dennis S. Hudson, Jr.
157 South River Road
Sewall's Point, Florida 34996



Second Witness

Printed Name:
Thomas H. Thurlow III



Dale M. Hudson
192 S.E. Harbor Point Drive
Stuart, Florida 34996

STATE OF FLORIDA)
) ss.:
COUNTY OF MARTIN)

The foregoing instrument was acknowledged before me this 29th_
day of January, 1999, by DENNIS S. HUDSON, JR. and DALE M. HUDSON,
 who are personally known to me.



Notary Public

 Thomas H. Thurlow, Jr.
MY COMMISSION # CC718746 EXPIRES
June 21, 2002
BONDED THRU TROY FAIR INSURANCE, INC.

Prepared By and Return To:
Gail Logan, AVP
Fidelity National Title Insurance Company of New York
118 North Second Street
Fort Pierce, FL 34950

File No. 03-020-702621

Property Appraiser's Parcel I.D. (folio) Number (s)
13-38-41-011-000-0060-1000

INSTR # 1683948
OR BK 01803 PG 0524
RECORDED 08/15/2003 03:44:09 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
DEED DOC TAX 980.00
RECORDED BY L Wood

TRUSTEE'S DEED

THIS TRUSTEE'S DEED made and executed August 6, 2003, by John G. Sauers (1/2) and John G. Sauers, Trustee of the John G. Sauers Revocable Intervivos Trust (1/2) hereinafter called the grantor, to Patricia A. Donohoe whose post office address is 2617 SE Gowin Drive, Port St. Lucie, FL 34952, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in Martin County, Florida, viz:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3 of the Public Records of Martin County, Florida

subject to easements, restrictions, reservations, and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining. **TO HAVE AND TO HOLD** the same in fee simple forever.

The above described property is vacant land and not the homestead of the grantor.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2002.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written. Signed, sealed and delivered in our presence:

John G. Sauers Revocable Intervivos Trust

By: [Signature]
John G. Sauers, Trustee and Ind.

Catherine A. Palmer
Witness Signature

Catherine A. Palmer
Witness Printed Name

Michelle Davis
Witness Signature

Michelle Davis
Witness Printed Name

2 witness's needed

STATE OF Minnesota

COUNTY OF Hennepin

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and the County aforesaid to take acknowledgements, personally appeared John G. Sauers, Trustee and Ind.

to me known to be the person(s) described in or who has/have produced _____ as identification and who executed the foregoing instrument and he/she/they acknowledged before me that he/she/they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 6 day of Aug. 2008.

[Signature]
Notary Public

Catherine A. Palmer
Print Name of Notary
My Commission Expires:



SEAL

M. Paul Boone has my permission
to sign for any necessary permits, permit
applications & pick up.

Patricia A. Donohue
1/18/05

COUNTY OF MARTIN, STATE OF FLORIDA
PERSONALLY KNOWN TO ME, ON THE 18th OF JANUARY, 2005

PATRICIA A. DONOHUE

[Handwritten signature]



CRITIQUE

Owner: Patricia A. Donohue

Date: March 18, 2004

Contractor: Hall-Sammons Inc.

Contractor's Phone Number: 263-3400

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR SINGLE FAMILY RESIDENCE LOCATED AT 163 SOUTH SEWALL'S POINT ROAD

Submittals (2 copies)

- 1. Current survey (**within one year**) containing the following information:
 - ✓ a. This property is part of a unity of title therefore the survey must show both properties, legal descriptions and structures thereon
 - ✓ b. Need proposed distances of corners of all structures to property lines, including stairs, pads, etc.
 - c. Front entry steps may encroach front setback 5 feet but not the pad at the bottom of the stairs - pad must be removed *replace w/ sidewalk*
 - ✓ d. What is the concrete pad at NW corner of property?
 - ✓ e. Location of entry of driveway on South Sewall's Point Road adjacent to corner of Marguerita Road is too close to Marguerite Road
 - f. Note: location of irrigation well motor and electric's cannot be within setback
 - ✓ g. Flood Zone line or lines in relationship to structures proposed or existing
 - ✓ h. Flood Zone with base floor elevation with current adoption date
 - i. Certified to the Town of Sewall's Point
 - ✓ j. Address on survey is incorrect - the correct address assigned is 163 S. Sewall's Point Road
 - ✓ k. Proposed first finish floor elevation
2. Product approvals (**current**) from Miami/Dade or other testing institutes approved by the Florida Building Code for the following items: **2 COPIES EACH AS STATED ABOVE**
 - a. Windows - A, B,
 - b. Mullions
 - c. Circle top fixed glass
 - d. Transom Window
 - e. Exterior Doors - 4, 5, 11, 12, 13, 14, 16, 17, 31, no callout for the four bi-fold French doors at rear and need product approval
 - ✓ f. Garage Door - 1
 - g. Hurricane Shutters
 - h. You submitted a sliding glass door but none on plan
 - i. Cut sheets for the fireplace
3. Proof of Ownership
4. Notice of Commencement
5. Copy of unity of title

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. Floor Plan containing the following information:
 - a. Square footage calculations, a/c and non a/c, porches, entryways, etc. together
 - b. Window callouts do not call for impact. The product approvals do. Which will it be? Tempered glass locations
 - c. Attic access and what sizes
 - d. Stair tread widths and riser heights
 - e. Location of handrails and guardrails, heights of handrails and spacing of balusters both interior and exterior stairs

2. Electrical Plan containing the following information:
 - a. Show all receptacles with switches if applicable
 - b. Only lighting shown on plans
 - c. Show all WPGFI's and GFI's locations
 - d. Attic or roof top receptacles and fixtures
 - e. Service entrance
 - f. Panel layout with circuits, loads, wire, breaker and conduit sizes
 - g. Riser diagram must show size of conduit and wire sizes between meter – disconnect - panel
 - h. Any specialty lighting requirements
 - i. Disconnect locations for residence, pool pump, irrigation pumps, etc.
 - j. Panel and sub-panel locations
 - k. Meter can location

5. First Floor Framing Plan calls out for a precast system – need shop drawings on precast system

6. Section/Detail Drawings and Schedules showing the following information:
 - a. Section numbers on A4.2 show wrong pages – check all sections numbers and pages
 - b. Stair details showing riser height and tread width also handrail with baluster and newel post design showing distance between balusters and height of handrail from leading edge of tread
 - c. Garage door buck detail showing type, size, length and spacing of connectors to be used
 - d. Window buck detail showing type, size, length and spacing of connectors to be used

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): 166 and 163 South Sewalls Point Rd Parcel Numbers: 13-38-4-000-000-0083, 13-38-4-011-000-02060

GENERAL DESCRIPTION OF IMPROVEMENT: CONSTRUCTION OF HOME

OWNER: Victoria D. Douchine

ADDRESS: _____

PHONE #: 772 375 9007 FAX #: 772 375 9007

CONTRACTOR: Hall-Sammons Inc.

ADDRESS: 1101 NE Martin Ave Jensen Beach FL 34957

PHONE #: 772-263-3400 FAX #: _____

SURETY COMPANY (IF ANY) _____

ADDRESS: _____

PHONE # _____ FAX #: _____

BOND AMOUNT: _____

LENDER: Republic

ADDRESS: _____

PHONE # _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 12TH DAY OF APRIL 2004 BY Eric Holly

[Signature]
NOTARY SIGNATURE

OR
PERSONALLY KNOWN X
PRODUCED ID _____
TYPE OF ID _____
Eric B. Holly
MY COMMISSION # CC984527 EXPIRES
December 16, 2004
BONDED THRU TROY PAINE INSURANCE, INC.



INSTR # 1742982 OR BK 01896 PG 1309 RECD 04/14/2004 08:29:44 AM
MARSHA EMMING MARTIN COUNTY DEPUTY CLERK L Wood

TOWN OF SEWALL' S POINT BUILDING DEPARTMENT

**Design Certification for Windload Compliance By Architect or Engineer of Record
(To be submitted with application and construction drawing for permit)**

PROJECT NAME AND ADDRESS

BUILDING DEPARTMENT USE ONLY

PATRICIA DONOHUE
LOT 6 MARGUERITA S/D

BLDG. PERMIT # _____
OCCUPANCY TYPE _____
CONSTRUCTION TYPE _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specification have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced the Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

BUILDING PARAMETERS AND ANALYSIS

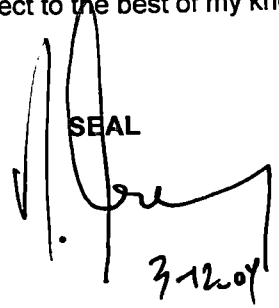
**CODE EDITIONS: 2001 FLORIDA BUILDING CODE
CHAPTER 6 OF ASCE 7- 98**

Building Design as: Partially Enclosed _____ Enclosed Open _____ Wind Tunnel Test _____
 Basic Wind Speed: 140 MPH 3 Second Gusts Importance/Use Factor 110
 Velocity Pressure: 33 psf Garage Door Design Pressure _____ +(psf) (End Zone) _____ +psf _____ +psf
 Door Design Pressure (Int. Zone) 40 +psf 41 -psf (End Zone 40 +psf 47 -psf
 Window Design Pressure (Int. Zone) 42 +psf 46 -psf (End Zone 42 +psf 55 -psf
 Minimum Soil Bearing Pressure 2500 psf Exposure B Mean Building Height 32.2'
 Floor Loads 40 LL Roof Dead Load 10 Shear Wall Considered Yes _____ No _____
 Continuous Load Path Provided Yes _____ No _____
 Components and Cladding Details Provided Yes _____ No _____
 Impact Protection (Exterior Openings): Approved Shutters _____ Impact Resistance Glass
(Must be indicated on permit documents for all residential/commerical buildings, alterations and renovations)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME: V. J. BERLEY
 CERTIFICATION# 21422
 DATE: 3-12-04
 DESIGN FIRM: V. J. BERLEY & ASSOC.

SEAL


STATE OF FLORIDA
DEPARTMENT OF HEALTH
MARTIN COUNTY HEALTH DEPARTMENT
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CENTRAX #: 43-SS-06280
OSTDSNBR: 04-0081-N

CONSTRUCTION PERMIT FOR:

New System [] Existing System [] Holding Tank [] Innovative Other []
Repair [] Abandonment [] Temporary []

APPLICANT: DONOHUE, PATRICIA AGENT: N/A, N/A

PROPERTY STREET ADDRESS: 160 S SEWALLS POINT Rd STUART FL 34996

LOT: 6 BLOCK: _____ SUBDIVISION: MARGUERITA
[Section/Township/Range/Parcel No.]
PROPERTY ID #: 13-38-41-011-000-000 [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 64E-6, FAC DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC TIME PERIOD. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE OR LOCAL PERMITTING REQUIRED FOR PROPERTY DEVELOPMENT.

SYSTEM DESIGN AND SPECIFICATIONS

(EXISTING TANK)
T [1350] Gallons SEPTIC TANK MULTI-CHAMBERED/IN SERIES: [Y]
A [0] Gallons MULTI-CHAMBERED/IN SERIES: []
N [0] GALLONS GREASE INTERCEPTOR CAPACITY
K [0] GALLONS DOSING TANK CAPACITY [0] GALLONS @ [0] DOSES PER 24 HRS # PUMPS [0]
D [750] SQUARE FEET PRIMARY DRAINFIELD SYSTEM *front or*
R [923] SQUARE FEET SYSTEM *bed*
A TYPE SYSTEM: [N] STANDARD [N] FILLED [Y] MOUND [N] _____
I CONFIGURATION: [Y] TRENCH [N] BED [N] _____
N
F LOCATION TO BENCHMARK: Nail In Road 3.37 NGVD
I ELEVATION OF PROPOSED SYSTEM SITE [1.0] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [13.0] [INCHES] [ABOVE] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [32.0] INCHES NATURAL/ EXISTING SOIL EXCAVATION REQUIRED: [0.0] INCHES
OTHER REMARKS:

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), F.A.C. System installation must meet all requirements of Chapter 64E-6 FAC. Fill Required noted above must be of slightly limited quality in the installation area with a minimum 4' shoulder beyond the drainfield sidewall (any unsuitable pad fill in the shoulder & under the drainfield must be removed & replaced with suitable soil). The drainfield must be at least 16 feet from the front & 9 feet from the side property lines. A minimum of 6" & a maximum of 18" of moderately/slightly limited soil allowed over drainfield. Potable water lines within 10' of system must be sleeved, sealed & cannot be within 2'. The drainfield must be properly graded & stabilized prior to final approval. All attached general & special conditions must be completed prior to Final Inspection & Approval.

SPECIFICATIONS BY: McCoy, Doug *03-089002* TITLE: EH Specialist II
APPROVED BY: Washam, Bob TITLE: Env. Manager Martin CHD

DATE ISSUED: 2/9/2004 EXPIRATION DATE: 8/9/2005
DH 4016, 03/97 (Obsoletes previous editions which may not be used)
(Stock Number: 5744-001-4016-0) [ostds_cons_4016-1] Page 1

** NOTE: See attached Applicant's notice of permitting rights. **

NOTICE OF RIGHTS

A party whose substantial interest is affected by this order may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Such proceedings are governed by Rule 28-106, Florida Administrative Code. A petition for administrative hearing must be in writing and must be received by the Agency Clerk for the Department, within twenty-one (21) days from the receipt of this order. The address of the Agency Clerk is 4052 Bald Cypress Way, BIN # A02, Tallahassee, Florida 32399-1703. The Agency Clerk's facsimile number is 850-410-1448.

Mediation is not available as an alternative remedy.

Your failure to submit a petition for hearing within 21 days from receipt of this order will constitute a waiver of your right to an administrative hearing, and this order shall become a 'final order'.

Should this order become a final order, a party who is adversely affected by it is entitled to judicial review pursuant to Section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of rendition of the final order.

SEPTIC SYSTEM GENERAL CONDITIONS LIST

PERMIT 43-SS-0 6280

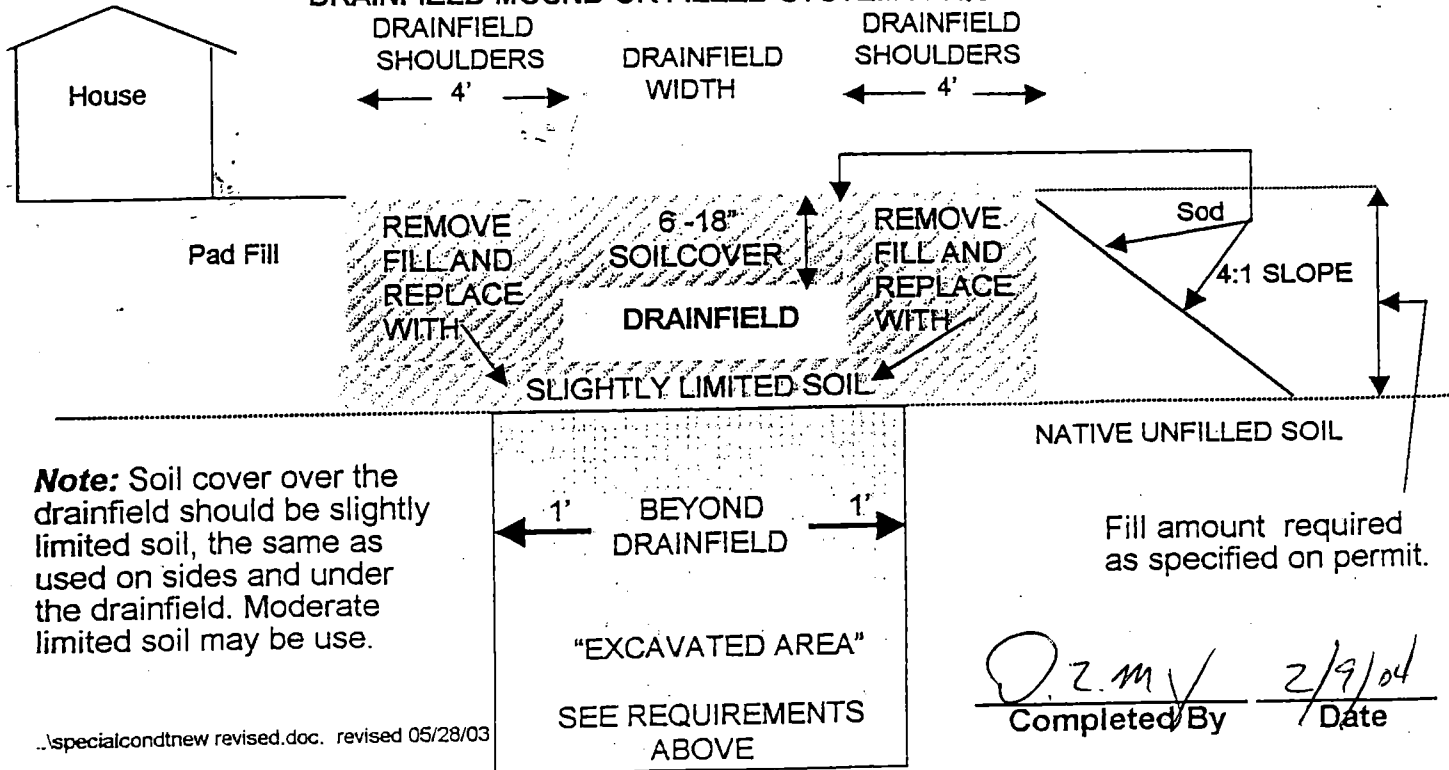
Special conditions marked "X" are in effect

- 2 1. If the minimum finished floor foundation elevation (F.F.F.E.) is below the drainfield filled elevation of 32 inches (above original grade 3.3), please contact this office to determine possible setback changes from the drainfield (setback is calculated by adding 4:1 slope, 4-foot shoulder and possible berm). Additionally, if the driveway or sidewalk is proposed to be lower than the drainfield filled elevation, please contact the department to determine possible setback changes. **Note: Local building authority determines minimum F.F.F.E. and stub out requirements. Health Department recommendations are used for drainfield fill and setback requirements only.**
- 2 2. Driveway and sidewalk elevation must be at least 6" higher than the top of the drainfield elevation. The driveway cannot be constructed within 4 feet of the system's available area.
- _____ 3. Drainfield must be protected from vehicular traffic with permanent barriers.
- _____ 4. A certified well driller, prior to the initial building construction or system inspection, must abandon existing well.
- _____ 5. Prior to final construction approval, the property owner must apply for an operating permit and pay the \$_____ Annual Permit Fee (For ___Indust./Manuf. ___ Aerobic System ___ Commercial System ___ Performance-Based).

Excavation requirements: (Note: Excavation refers to removal of natural or existing soils, not pad fill)

- _____ 1. Excavate one foot beyond drainfield area to a depth of _____ inches below natural/ existing grade elevation of _____ feet N.G.V.D. / Assumed.
- _____ 2. In addition to item #1, 33% of unsuitable soils at depths greater than _____ inches below #1 elevation above must be removed to a depth of slightly limited soils.
- _____ 3. If the proposed drainfield is to be installed within 10 feet of a building foundation or swimming pool structure, the four-foot drainfield shoulder must be filled with suitable soils prior to building construction.
- 2 4. If a mound or filled drainfield is proposed, see following sketch. An engineer's design is required if a retaining wall is proposed within the drainfield slope areas of a mound system. No boulders or trees are allowed within the drainfield or drainfield shoulder area. Applicant is responsible for replacing excavated soils with a good grade of soil suitable for drainfield installation.

DRAINFIELD MOUND OR FILLED SYSTEM REQUIREMENTS



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
SITE EVALUATION AND SYSTEM SPECIFICATIONS

02944864
2/3/04

CENTRAX #: 43-SS-06280
OSTDSNBR : 04-0081-N

DONOHUE, PATRICIA

AGENT: N/A N/A, N/A
LOT: 6 BLOCK: SUBDIVISION: MARGUERITA ID#: 13-38-41-011-000-000

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEER'S MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN: [] YES [] NO NET USABLE AREA AVAILABLE: 0.5 ACRES
TOTAL ESTIMATED SEWAGE FLOW: 600 GALLONS PER DAY [64E-6, TABLE 1]
AUTHORIZED SEWAGE FLOW: 1250 GALLONS PER DAY [1500GPD/ACRE OR 2500GPD/ACRE]
UNOBSTRUCTED AREA AVAILABLE: 1854 SQFT UNOBSTRUCTED AREA REQUIRED: 1500/1846 SQFT

BENCHMARK/REFERENCE POINT LOCATION: Iron Rod in CRD at Intersection of Sew Pt + Marg @ 3.37 NGVD
ELEVATION OF PROPOSED SYSTEM SITE IS 1 [Inches] [Below] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES:
SURFACE WATER: N/A FT DITCHES/SWALES: N/A FT NORMALLY WET? [] YES [] NO
WELLS: PUBLIC: N/A FT LIMITED USE: N/A FT PRIVATE: N/A FT NON-POTABLE: 60 FT
BUILDING FOUNDATIONS: 5 FT PROPERTY LINES: 5 FT POTABLE WATER LINES: 45 FT

SITE SUBJECT TO FREQUENT FLOODING: [] YES [] NO 10 YEAR FLOODING? [] YES [] NO
10 YEAR FLOOD ELEVATION FOR SITE: N/A FT NGVD SITE ELEVATION: 3.3 FT NGVD

SOIL PROFILE INFORMATION SITE 1		
Munsell #/Color	Texture	Depth
10YR 3/2-3/3 DK Br	mf. - disturbed	0 to 4
10YR 6/1	gray sand	4 to 16
10YR 6/3	pale brown sand *	18 to 20
10YR 6/2	lt Br gray sand	20 to 40
10YR 5/3	Brown l sand	40 to 50
Stopped @ 50" - collapsing too much due to H ₂ O		to
USDA SOIL SERIES: #35 Salento / #41 Jonathan		to
sat @ 24 Transition like		

SOIL PROFILE INFORMATION SITE 2		
Munsell #/Color	Texture	Depth
	disturbed	0 to 2
10YR 6/1	gray s	2 to 14
10YR 6/3	pale Brown s	14 to 42
some streaking @ 16"		to
call going too much due to H ₂ O		to
stopped @ 42"		to
USDA SOIL SERIES: #35 Salento / #41 Jonathan		to
sat @ 22" Transition like		

OBSERVED WATER TABLE: 22 INCHES [BELOW] EXISTING GRADE TYPE: [APPARENT]
ESTIMATED WET SEASON WATER TABLE ELEVATION: 10 INCHES [Below] EXISTING GRADE.
HIGH WATER TABLE VEGETATION: [] YES [] NO MOTTLING: [] YES [] NO DEPTH: N/A INCHES

SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: 0.8T / 0.65 B DEPTH OF EXCAVATION: N/A INCHES
DRAINFIELD CONFIGURATION: [] TRENCH [] BED [] OTHER (SPECIFY)
REMARKS/ADDITIONAL CRITERIA: Lot partially cleared - soil disturbed.

Prop line is clearly built up - almost to Rear of lot & along most if not all SA 12-18" higher by eye/est
N's lot slopes down past this prop line to go.
SITE EVALUATED BY: Dewald 03-015 DATE: 02/03/04

BTM may be dip to shoot due to traffic
House under const across Marg. St. - Very high ≈ 4'-5' ↑ CRD,

RECEIVED

JAN 29 2004



STATE OF FLORIDA
DEPARTMENT OF HEALTH MARTIN COUNTY
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 43-SS-6280
DATE PAID: 1/29/04
FEE PAID: 225
RECEIPT #: 63213

04-0081-14

APPLICATION FOR:

New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary

APPLICANT: Patricia A. Donohue

AGENT: Aslan, Inc. - Eric Holly, President

TELEPHONE: 772-288-4880

MAILING ADDRESS: P.O. Box 1500, Stuart, FL 34995-1500

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105 (3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 6 BLOCK: _____ SUBDIVISION: Marguerita Subdivision PLATTED: 9/24/85

PROPERTY ID #: 13-38-41-011-000-00060-1 ZONING: Res. I/M OR EQUIVALENT: Y / N]

PROPERTY SIZE: 0.5 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? Y / N] DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 160 South Sewall's Point Road, Stuart, FL 34996

DIRECTIONS TO PROPERTY: East on East Ocean Blvd. to South Sewall's Point Road. South on South Sewall's Point Road

approximately one mile. Property located on west side of road.

BUILDING INFORMATION

RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Single-Family Residence	3	4,450	+96 SQ FT FOR WINE CELLAR
2				
3				
4				

Floor/Equipment Drains Other (Specify) _____

SIGNATURE: Patricia A. Donohue

DATE: January 19, 2004

APPLICANT'S NAME: Patricia A. Donohue

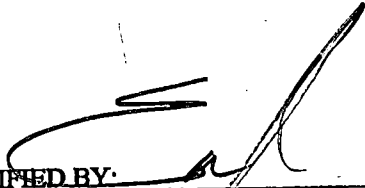
LEGAL DESCRIPTION: Lot 6, Marguerita Subdivision

PROPOSED SEPTIC SYSTEM SITE INFORMATION

I certify that there are no potable private wells within 75 feet of the available area for the proposed septic system, that there are no non-potable wells within 50 feet of the available area for the proposed septic system, that there are no wells within 25 feet of a pesticide-treated building foundation, that there are no public wells that serve less than 25 people or less than 15 homes or businesses within 100 feet of the proposed septic system, that there are no public wells that serve more than 25 people or more than 15 homes or businesses within 200 feet of the proposed septic system, that the water line from the water meter or well to the structure is at least 10 feet from the available area for the proposed septic system unless the plans show the line to be double sleeved, that there is not a gravity sewer line, low pressure sewer line or vacuum sewage line in a public easement or right-of-way that abuts the property, that there are no lakes, streams, wetlands, or surface water within 75 feet of the available area for the proposed septic system unless the property was created prior to 1972, that the septic system is proposed on the side of the lot farthest from surface water, that all private wells, septic systems and surface water on adjacent or contiguous land within 75 feet of the applicant's lot are shown on the site plan, that all public wells within 200 feet of the applicant's lot are shown on the site plan, and that the location of building or residences, swimming pools, recorded easements, paved areas or driveways, sidewalks, the general slope of the property, filled areas, drainage features, and surface waters such as lakes, ponds, streams, canals, or wetlands are shown on the applicants lot.

The natural grade elevation in the area of the proposed septic system and the benchmark must be shown on the site plan. Please locate the benchmark within 200 feet of the proposed septic system.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OR ENGINEER.

CERTIFIED BY: 
FLORIDA PROFESSIONAL NO.: P.S.M. 3336
DATE: January 19, 2004 **JOB NO.:** 1047.29.01

Joseph P. McCarty, Architect
900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

July 12, 2004

Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

RE: Broome Residence, Lot 6, Margueritta

Dear Gene,

It was observed by your field inspector that the beams on the ground floor did not have the proper hoops provided for correct placement of the steel. The beams over solid walls and openings of four feet or less are approved as the steel is placed. All other beams are to have the beam cage lowered so the bottom two bars are in the correct position (1 1/2" cover). (2) number 5 top bars are to be added with "U" shaped #3 stirrups are added 12" x 9" x 12". These stirrups are to be at 12" on center and tied to the existing (2) #7 top bars (now lowered).

In addition, the slab outside the eat-in kitchen is approved with #5 bars @ 12" on center top and bottom each way. Since this is a slab of exterior exposure, 1 1/2" cover is required at this steel.


Sincerely,


Joseph P. McCarty

REVISION
FOR FIRST FLOOR
PLAN W/ STRUCTURAL
DO NOT
163 S. SPR
DOUG
263-3400

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE

DATE: 7/16/04


BUILDING OFFICIAL
Gene Simmons

Joseph P. McCarty, Architect

900 East Osceola Street

Stuart, Florida, 34994

772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

June 4, 2004

Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

#6719 P.N.

RE: Broome Residence, Lot 6, Margueritta

Dear Gene,

Please be advised that I approve of the addition of (3) #5 top bars to footing F2.

Sincerely,

Joseph P. McCarty



ASLAN, inc.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

PROJECT MANAGEMENT: CIVIL · SURVEY · PLANNING · CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING · PLATTING · REZONINGS · CODE ENFORCEMENT · VARIANCES
LAND PLANNING: COMMERCIAL · RESIDENTIAL · P.U.D.'S · SUBDIVISIONS · MARINAS · SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS · DOCKS · DREDGE & FILL · DEP-CORPS-WMD - ERP · WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER · WETLAND · SUBMERGED LAND LEASES · BOUNDARY · TOPOGRAPHIC · AS-BUILT

HEIGHT CERTIFICATION

**RE: Building Height Certification for Patricia Donohue
163 South Sewall's Point Road
Town of Sewall's Point Building Permit No. 6719**

The building elevations are in feet and decimal parts thereof and are relative to the benchmark Q236, elevation 4.104 feet NGVD. The field work was performed 10/13/2004.

<i>Description</i>	<i>x' x"</i>	<i>xx.xx Feet</i>
Top of Roof Sheathing	35' 9 ³ / ₄ "	35.81 Feet
Lowest Habitable Reference Floor	9' 3 ⁴ / ₄ "	9.06 Feet
Height Difference	26' 9"	26.75 Feet

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, inc.
2440 S.E. Federal Highway, Suite 700
Stuart, Florida 34994
(561) 288-4880

Signed: _____

Date: October 14, 2004



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

ELEVATION CERTIFICATE MEMO OF REVIEW FOR CORRECTNESS AND COMPLETION

In accordance with participation in the NFIP/CRS program, all elevation certificates are required to be reviewed for correctness and completion prior to acceptance by the community. This completed form shall be attached to all elevation certificates maintained on file and provided with requested copies of elevation certificates.

- The attached elevation certificate requires corrections by the surveyor of section(s) B1, C3 D & E prior to acceptance by the community.
The attached elevation certificated is complete and correct.
Minor corrections have been made in the below marked sections by the authorized Community Official.

SECTION A - PROPERTY INFORMATION
A1. Building Owner's Name
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)
A5. Latitude/Longitude: Lat. Long. Horizontal Datum: NAD 1927 NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.
A7. Building Diagram Number
A8. For a building with a crawl space or enclosure(s), provide:
A9. For a building with an attached garage, provide:

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION
B1. NFIP Community Name & Community Number
B2. County Name
B3. State
B4. Map/Panel Number
B5. Suffix
B6. FIRM Index Date
B7. FIRM Panel Effective/Revised Date
B8. Flood Zone(s)
B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
B11. Indicate elevation datum used for BFE in Item B9:
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)
C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.
Benchmark Utilized Vertical Datum
Conversion/Comments
Check the measurement used:
a) Top of bottom floor (including basement, crawl space, or enclosure floor)
b) Top of the next higher floor
c) Bottom of the lowest horizontal structural member (V Zones only)
d) Attached garage (top of slab)
e) Lowest elevation of machinery or equipment servicing the building
f) Lowest adjacent (finished) grade (LAG)
g) Highest adjacent (finished) grade (HAG)

COMMENTS: NEW ELEVATION CERTIFICATE TO REPLACE PREVIOUS EC PRODUCED ON EXPIRED FORM. CORRECTIONS MADE 6-3-09

Date of Review: 6-4-09 Building Official: [Signature]

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION				For Insurance Company Use:	
A1. Building Owner's Name M. Paul Broome & Patricia A. Donohue				Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 163 S. Sewall's Point Road				Company NAIC Number	
City Stuart	State Florida	ZIP Code 34996			
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 6, Marquerita Subdivision, Plat Book 10, Page 3, Public Records of Martin County, Florida - Property ID #13-38-41-000-000-00083-7.					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>27 deg 10' 55.7" N.</u> Long. <u>80 deg 11'20.2" W.</u>		Horizontal Datum: <input checked="" type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983			
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>3</u>					
A8. For a building with a crawlspace or enclosure(s):			A9. For a building with an attached garage:		
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft			a) Square footage of attached garage <u>600</u> sq ft		
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>			b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>5</u>		
c) Total net area of flood openings in A8.b <u>N/A</u> sq in			c) Total net area of flood openings in A9.b <u>10,800</u> sq in		
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No			d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Town of Sewall's Point - 120164		B2. County Name Martin		B3. State Florida	
B4. Map/Panel Number 12085C - 0162	B5. Suffix F	B6. FIRM Index Date October 4, 2002	B7. FIRM Panel Effective/Revised Date October 4, 2002	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 9
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date <u>n/a</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.
Benchmark Utilized Q236, elevation = 4.104 Vertical Datum NGVD 1929

Conversion/Comments _____

	Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>9.06</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>12.06</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>n/a</u> <input type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>3.02</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>9.6</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG)	<u>3.0</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG)	<u>7.2</u> <input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>n/a</u> <input type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Certifier's Name: STEPHEN J. BROWN License Number: #4049

Title: SURVEYOR & MAPPER Company Name: STEPHEN J. BROWN INC.

Address: 619 E 5TH STREET City: STUART State: FLA ZIP Code: 34994

Signature: [Signature] Date: 6/3/09 Telephone: 772-288-7176

PSM #4049
6/3/09

3PK PN 6719

A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET
FORT PIERCE, FLORIDA 34946
(772) 461-7508 OFFICE - (772) 461-8880 FAX

May 17, 2004

Hall-Sammons, Inc.
Attn: Mr. Doug Sammons
1101 N.E. Martin Avenue
Jensen Beach, Florida 34957

**Re: Geotechnical Exploration for Proposed Residence
163 South Sewall's Point Road, Sewall's Point, Martin County, Florida
Project No. D-04368**

Ladies and Gentlemen:

A. M. Engineering and Testing, Inc. is pleased to submit this geotechnical exploration report for the referenced project. After a brief executive summary, this letter describes the project, explains our services and findings, and presents our conclusions and recommendations for the foundations of the proposed residence. This report was prepared in general accordance with Chapter 18 of the 2001 Florida Building Code.

EXECUTIVE SUMMARY

The project site is underlain by approximately eight feet of firm soils overlying very loose soils.

The project site requires standard site preparation including clearing, proof-rolling and surface compaction prior to constructing the foundations. An area with loose surface soils should be excavated and backfilled with well compacted soil. The soil density should be tested before placing steel for the foundation. Some dewatering may be required.

The proposed structure can be supported on shallow foundations proportioned using a maximum bearing capacity of 2,500 psf. We recommend reducing the size of the large interior column pads from five feet square to four feet square. Top and bottom steel should be used in the continuous footings. Total settlements on the order of one inch and differential settlements less than ¼ inch are anticipated.

PROJECT DESCRIPTION

The proposed construction consists of a three story CBS residential structure with a thickened-edge monolithic foundation. The ground floor will provide garage and storage areas. The finished floor elevation of the ground floor will be 3.5 feet NGVD. Because the current elevation of the site is approximately 3 feet NGVD, minimal additional fill will be required.

We have reviewed the plans prepared by Joseph P. McCarty, Architect and dated April 7, 2004. The structural engineer has advised us that the load on each of the two large interior columns will be 37 kips. We did not receive any information regarding the wall loads; for the foundation recommendations presented in this report we assumed that the maximum wall loads will be four kips per linear foot.

If any of the above information is incorrect, A. M. Engineering should be advised immediately so that we can review our recommendations and revise them if necessary.

FIELD EXPLORATIONS

The subsurface conditions at the project site were originally explored on May 10, 2004, with four (4) Cone Penetrometer (CPT) soundings and two (2) Auger (AB) borings. Because a very loose pocket of soil was detected at CPT-2 within the zone of influence of the footings, three additional CPT soundings and one additional auger boring were completed on May 13 and 14, 2004. The CPT soundings were performed in general compliance with ASTM D 3441, "Deep Quasi-Static, Cone and Friction-Cone Penetration Tests of Soils", and the auger borings with ASTM D 1452, "Practice for Soil Investigation and Sampling by Auger Borings". The approximate locations of the explorations are noted on the Boring Location Plan. The boring logs indicate depths below the existing grade at the time that the borings were completed.

FINDINGS

The project site was flat and had been cleared. The grade at the site was estimated to be even with to one foot below the adjacent road at the time of exploration. The Indian River is across the street from the site.

The subsurface soils encountered in auger borings AB1 and AB-2 consisted of sands from the existing surface to the bottom of the borings at depths of six feet. This is consistent with our previous experience in this geographic area. Fine sands with roots were encountered in the upper four feet of boring AB-3 (located adjacent to CPT-6 where loose soils were detected in the upper five feet).

The CPT soundings generally indicated firm soils to depths of eight feet, underlain by very loose soils to 18 feet, very dense soils from 18 to 20 feet, and very loose soils from 20 to 26 feet, the termination of the deepest sounding. Sounding CPT-6, in the center of one of the large interior footings, detected very loose soils in the upper five feet; this appears to have been a burn pit. In CPT-2, the upper firm soils terminated abruptly above a very loose stratum between eight and nine feet. In CPT-5, performed in the center of the other large interior footing, the surficial firm layer grades quickly into very loose soils between the depths of eight and nine feet.

Ground water was encountered two feet below existing grade at the completion of the borings. The water table will fluctuate somewhat with the tides in the Indian River.

SITE PREPARATION RECOMMENDATIONS

The project site should be cleared, proof-rolled and compacted in accordance with the general site preparation procedures in Attachment A. The proof-roll should be observed carefully to locate any additional burial pits or unstable areas. The loose areas including the area around CPT-6 should be excavated and backfilled with compacted soil. If the high water table complicates the backfilling, No. 57 stone can be used below the water table. The stone should be tamped firmly into place with the bucket of the backhoe or loader.

Any fill for the foundation pad should comply with the indications in Section IV of Attachment A.

After the footings have been excavated, a representative of A. M. Engineering and Testing, Inc. should evaluate the bottom of the footings with respect to the boring data and assess if a suitable bearing layer is present. Our representative should perform density tests to confirm that the density of the upper two feet of soil in the bottom of the footings is at least 95 percent of the modified Proctor maximum dry density (ASTM D 1557). If the soil in the bottom of the footings was loosened during excavation or if the footings were over-excavated and then backfilled to design grade, the footing subgrade should be compacted with a vibratory plate compactor until the required density is attained. Dewatering may be necessary to prepare the footings.

FOUNDATION RECOMMENDATIONS

The foundation recommendations presented in this section are contingent on the proper preparation of the site and on the maximum foundation loads stated in the Project Description section of this report.

After the project site has been prepared as outlined above, the proposed residence can be supported on shallow foundations. The footings can be proportioned using a maximum net soil bearing pressure of 2,500 pounds per square foot (psf). The sizes and depths of the continuous footings that are shown on the plans appear to be adequate. Top and bottom steel should be used in the continuous footings to minimize potential differential settlements. **We recommend that the column footings for the large interior columns be reduced from five feet square to four feet square** in order to minimize the depth of the zone of influence below the footing.

For the loads indicated in the Project Information section, we anticipate that the total settlement will be on the order of one inch, and the differential settlement between adjacent similarly loaded footings will be less than $\frac{3}{4}$ inch. Because of the granular nature of the subsurface soils, the majority of the settlement due to the dead loads should occur during construction.

CLOSURE

This report is for the exclusive use of our client in the design and construction of the previously described project. The right to rely on this report may not be assigned without written permission of A. M. Engineering and Testing, Inc.

This report has been prepared in accordance with generally accepted geotechnical engineering practices in the State of Florida. No other warranty, expressed or implied, is made. We do not guarantee performance in any respect, only that our work meets normal standards of professional care. Our recommendations are based on the project information furnished to us, the results of our field explorations and our past experience. They do not reflect variations in subsurface conditions that may exist between our borings and in unexplored areas of the site. The nature and extent of such variations may not become evident until further explorations are made or construction is underway. Should such variations be observed, we recommend that A. M. Engineering and Testing, Inc. be requested to observe the actual site conditions and re-evaluate our recommendations.


Environmental concerns, including (but not limited to) the possibility that hazardous materials or petroleum contaminated soils or groundwater may be present on the project site, were not included in the scope of work. Furthermore, our explorations did not include identification or delineation of "wetland" areas and endangered or threatened species.

A. M. Engineering and Testing, Inc. has appreciated the opportunity to assist you with this phase of your project. If you have any questions regarding this report or need any further information, please call us.

Respectfully submitted,

A. M. ENGINEERING AND TESTING, INC.


David Alker
Project Manager

 5/19/04
Rebecca Grant Ascoli, P.E.
Senior Geotechnical Engineer
Florida Registration No. 51863

RG/DA

Attachments: Key to Soil Classification
Boring Location Plan
Attachment A
CPT Sounding Logs (7)
Boring Logs (3)

Copies: Client - 3

ATTACHMENT A

SITE PREPARATION and FILL PLACEMENT RECOMMENDATIONS

I. General Site Preparation

The construction area should be stripped of all surface vegetation, trees, roots, debris and other deleterious matter within and five feet beyond the perimeter of the proposed building and in all paved areas. Areas to receive fill should be likewise stripped. Any holes or voids from tree roots, abandoned septic tanks, etc. should be filled as indicated in Section IV.

The cleared areas should then be proof-rolled and compacted with a 10-ton (minimum) vibratory roller operating at a "slow walk" speed. The vibratory compactor should cover the entire cleared area with a series of overlapping passes. The compactor should make at least three series of passes with the compactor moving in one direction and at least three series of passes with the compactor moving at a right angle to the direction of the first series of passes. (When proof-rolling areas with adjacent or nearby structures, refer to Section II.) Proof-rolling helps to detect any soft or loose zones and buried debris. If unstable areas are encountered, the project engineer or the geotechnical consultant should be advised, the matter investigated and the problem resolved. **Because the initial proof-rolling is very critical, we recommend that a representative of A. M. Engineering and Testing, Inc. monitor the operation.**

After proof-rolling, the cleared areas should be compacted until the upper two feet of soil achieve a density of at least 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The compaction should be checked with field density tests.

II. Where Vibratory Equipment May Affect Adjacent Structures

Where the project site is located adjacent to existing structures that may be damaged by the operation of heavy vibratory rollers, the required densification should be achieved with alternative equipment. Loaders with a raised bucket filled with soil, heavy plate compactors, and "jumping jack" type compactors have been used successfully. The densification procedure may need to be modified because of reduced capacity of the acceptable equipment. For example, since small plate compactors are generally effective only to a maximum depth of six to eight inches, thinner lifts will be required.

III. Excavation and Backfilling

Where excavation and backfilling are required, the soils should be removed to the specified depth. Soils that are suitable for use as fill should be stockpiled separately. The excavated surface should be compacted (as described in Section I) so that the upper two feet of the subgrade soil achieve a density of at least 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The compaction should be checked with field density tests. The site should then be filled to grade in compacted lifts as indicated in Section IV.

ATTACHMENT A *continued*

IV. Fill Placement

Fill should be “clean” sand with less than five percent fines (percent of dry weight passing a U.S. No. 200 sieve). Higher fine contents can be used but more construction control is necessary. Fill behind walls should be very pervious, with no more than three percent fines. If the proposed fill soil does not meet the requirements, the project engineer or the geotechnical consultant should be advised in order to evaluate the situation.

Where fill is to be placed on the existing ground, the surface must be prepared as indicated in Section I. The outer edges of the fill should extend sufficiently beyond the building to provide slopes with a minimum horizontal to vertical ratio of 4(H):1(V) from approximately five feet outside the building perimeter to the existing grade. The fill should be placed in 12-inch thick compacted lifts with each lift compacted to at least 95 percent of the modified Proctor maximum dry density (ASTM D 1557). The compaction should be checked with field density tests.

Fill that is placed in confined areas such as utility trenches or holes should be compacted in six to eight inch thick lifts to at least 95 percent of the modified Proctor maximum dry density (ASTM D 1557).

V. Footing Excavation

After the footings have been excavated, a representative of A. M. Engineering and Testing, Inc. should evaluate the bottom of the footings with respect to the boring data and assess if a suitable bearing layer is present. Our representative should perform density tests to confirm that the density of the upper two feet of soil in the bottom of the footings is at least 95 percent of the modified Proctor maximum dry density (ASTM D 1557). If the soil in the bottom of the footing was loosened during excavation or if the footings were overexcavated and then backfilled to design grade, the footing subgrade should be compacted with a vibratory plate or “jumping jack” type compactor until the required density is attained.

VI. Groundwater

If a high water table is encountered while the foundations are being constructed and there are difficulties with the site preparation, the project engineer or the geotechnical consultant should be advised so that appropriate construction techniques are used to overcome the problems.

VII. Monitoring and Testing

We recommend that the site preparation and the subsequent earthwork be monitored by an engineering technician from A. M. Engineering and Testing, Inc. The technician will observe the stripping, proof-rolling and compaction of the existing soils; determine the suitability of fill and backfill soils; observe the subgrade in the footings; and evaluate the degree of compaction attained by performing field density tests.

KEY TO SOIL CLASSIFICATION

I. CLASSIFICATION OF SOIL CONSTITUENTS BY PARTICLE SIZE*

Category	Particle Diameter
Silt and Clay	Less than 0.0029 inch (0.074 mm) [not visible to human eye]
Sand	Fine – 0.0029 inch to 0.017 inch (0.074 mm to 0.42 mm) Medium – 0.017 inch to 0.079 inch (0.42 to 2.0 mm) Coarse – 0.079 inch to 0.19 inch (2.0 to 4.75 mm)
Gravel	Fine – 0.19 inch to 0.75 inch Coarse – 0.75 inch to 3 inches
Cobbles	3 to 12 inches
Boulders	Greater than 12 inches

* Unified Soil Classification System (ASTM D 2487-93)

II. AMOUNT OF MINOR CONSTITUENTS IN SOIL

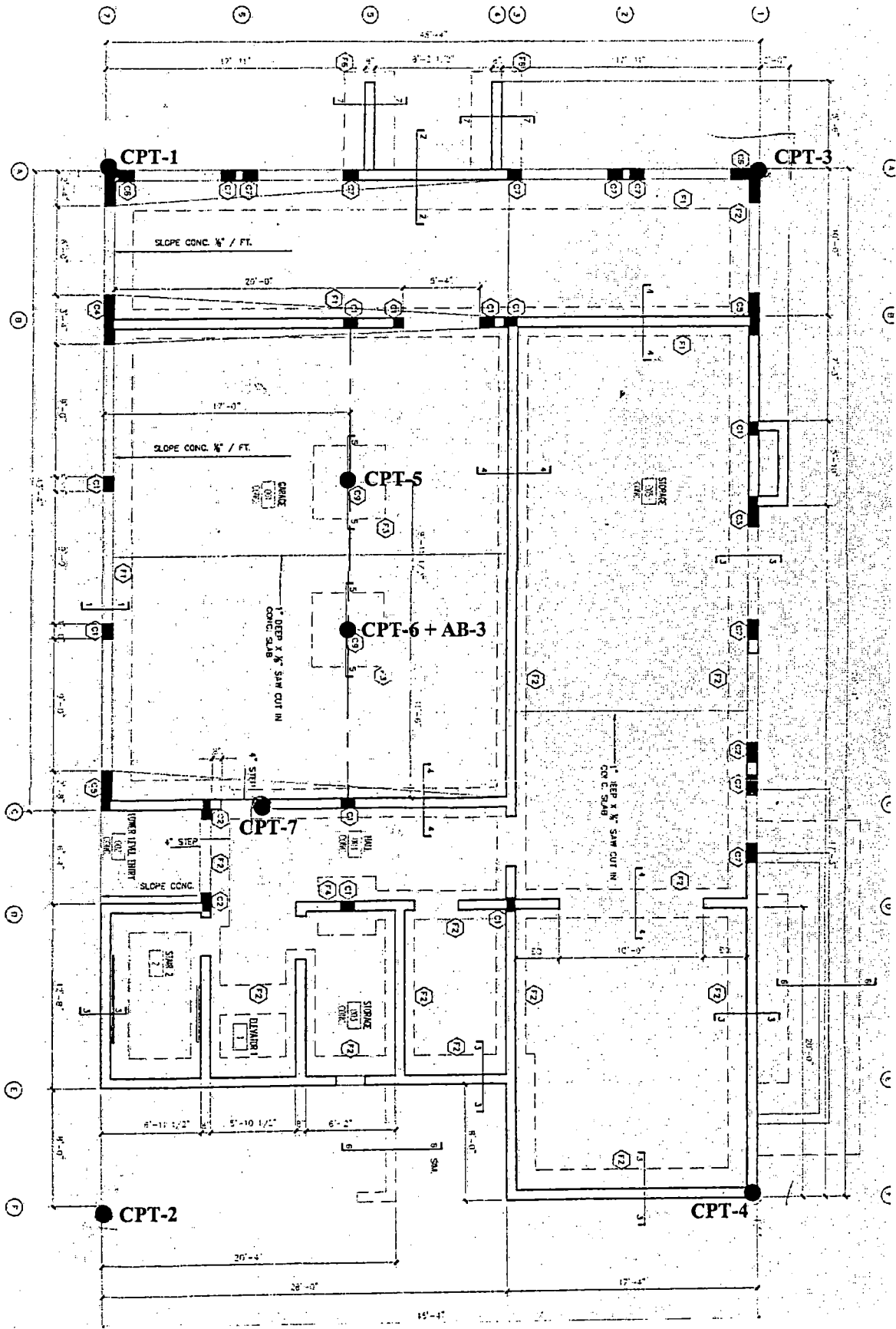
Content of Minor SOIL Constituents (Shell, Silt, etc.)*	Modifier	Content of ORGANIC Components*
0% to 5%	Trace	1% to 2%
5% to 12%	Little	2% to 4%
12% to 30%	Some	4% to 8%
30% to 50%	And	Greater than 8%

* Approximations based on visual examination of samples and results of laboratory analyses, if available.

III. CORRELATION OF RELATIVE DENSITY AND CONSISTENCY WITH STANDARD PENETRATION RESISTANCE, N, AND CONE PENETROMETER RESISTANCE, q_c

SANDS and GRAVEL		
Blows / foot N	Relative Density	Cone Resistance q_c (tsf)
0 – 4	Very loose	0 – 15
5 – 10	Loose	20 – 40
11 – 20	Firm	40 – 80
21 – 30	Medium dense	85 – 120
31 – 50	Dense	125 – 200
Over 50	Very dense	Over 200

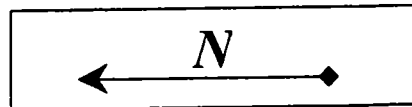
SILTS and CLAYS		
Blows / foot N	Consistency	Cone Resistance q_c (tsf)
0 – 2	Very soft	0 – 3
3 – 4	Soft	4 – 6
5 – 8	Firm	7 – 12
9 – 15	Stiff	13 – 25
16 – 30	Very stiff	25 – 50
Over 30	Hard	Over 50



Hall-Sammons, Inc.

D-04368

163 South Sewall's Point Road
 Sewall's Point, Martin County, Florida



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

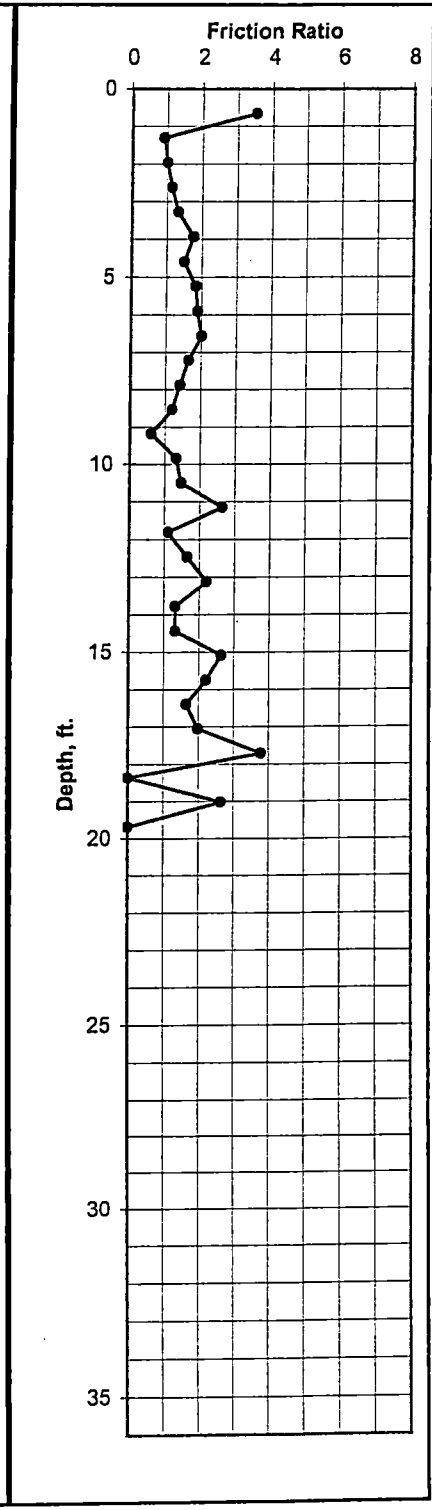
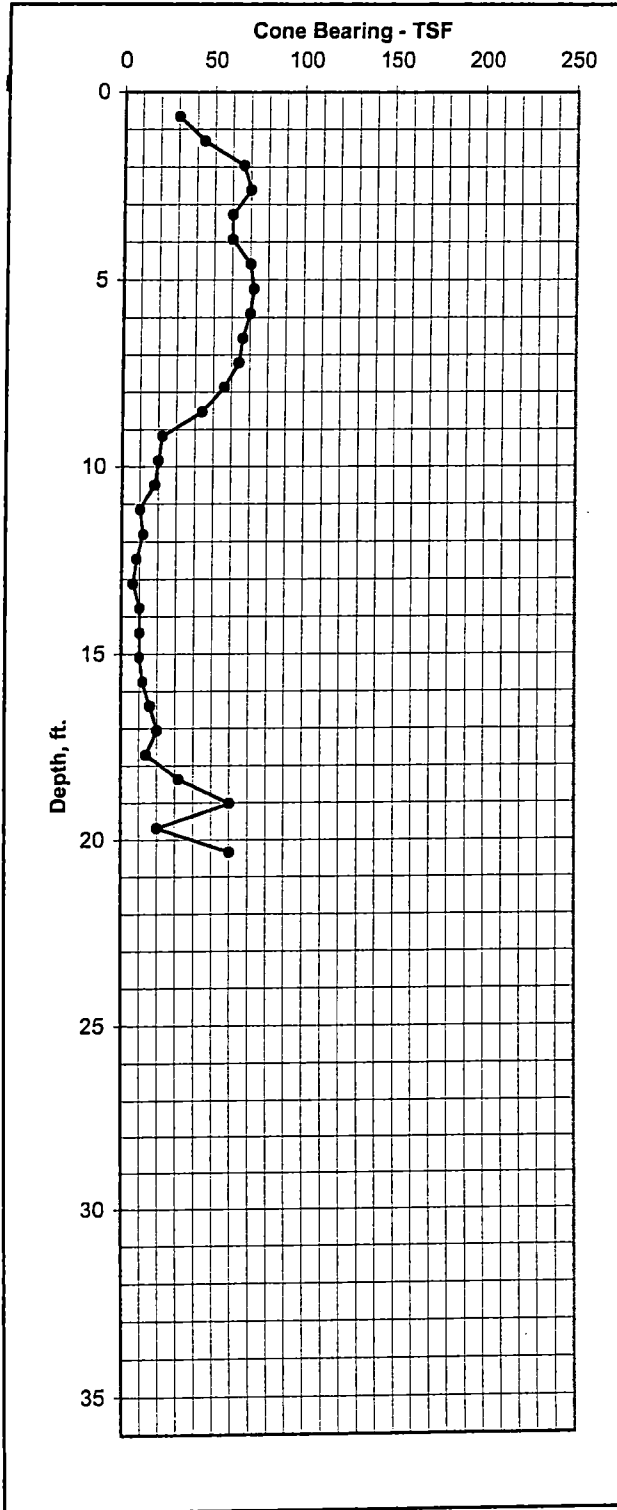
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 1
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
15		30	3.52	0.2
22	30	44	0.9	0.4
33	36	66	1.0	0.6
35	40	70	1.1	0.8
30	36	60	1.3	1
30	36	60	1.8	1.2
35	43	70	1.5	1.4
36	44	72	1.8	1.6
35	45	70	1.9	1.8
33	43	66	2.0	2
32	42	64	1.7	2.2
28	36	56	1.4	2.4
22	28	44	1.2	2.6
11	15	22	0.6	2.8
10	11	20	1.3	3
9	11	18	1.5	3.2
5	7	10	2.6	3.4
6	8	12	1.1	3.6
4	5	8	1.7	3.8
3	4	6	2.2	4
5	6	10	1.3	4.2
5	6	10	1.3	4.4
5	6	10	2.6	4.6
6	8	12	2.2	4.8
8	10	16	1.7	5
10	12	20	2.0	5.2
7	10	14	3.8	5.4
16	20	32	####	5.6
30	E	60	2.6	5.8
10	22	20	####	6
30	E	60		6.2



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

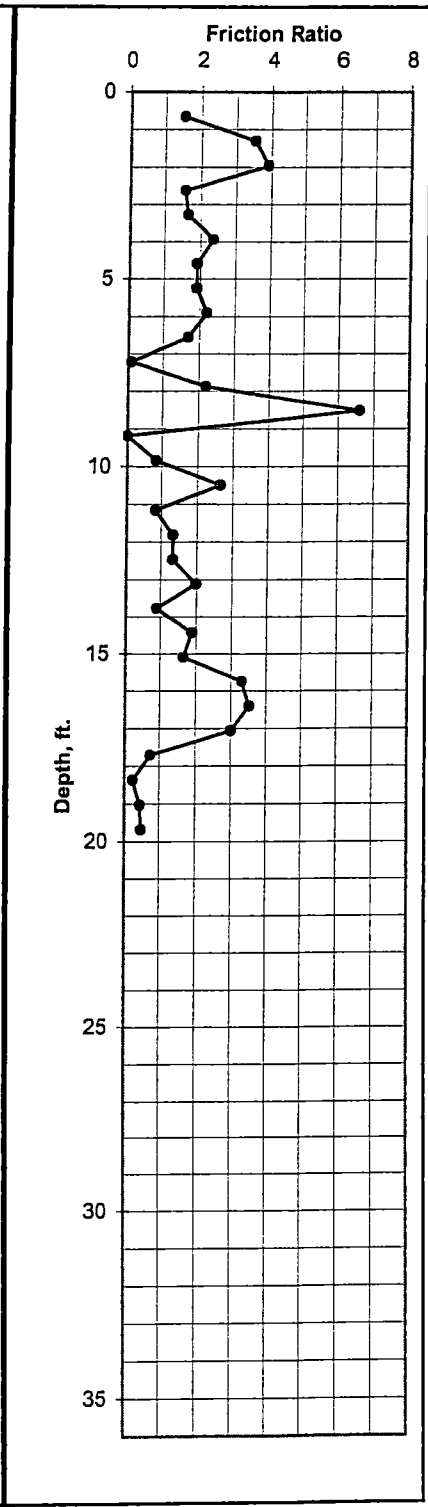
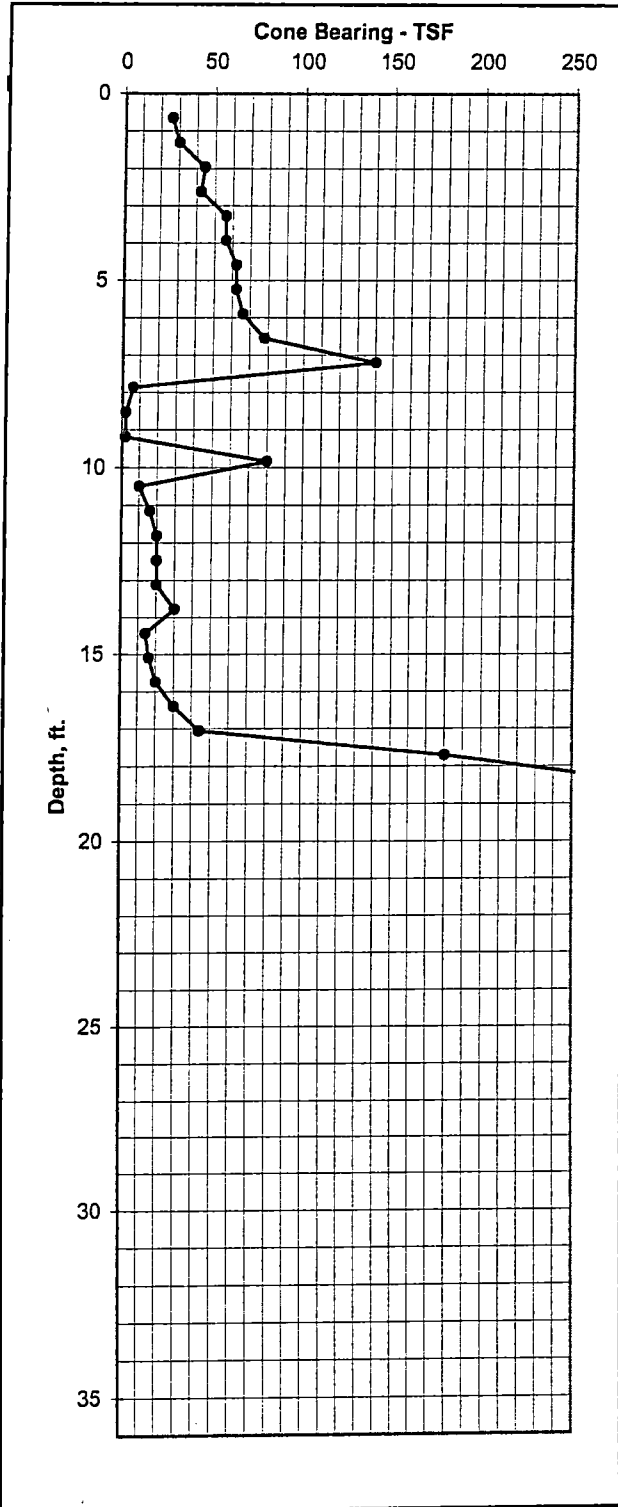
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 2
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
13		26	1.523	0.2
15	18	30	3.5	0.4
22	30	44	3.9	0.6
21	34	42	1.6	0.8
28	33	56	1.7	1
28	35	56	2.4	1.2
31	41	62	1.9	1.4
31	40	62	1.9	1.6
33	42	66	2.2	1.8
39	50	78	1.7	2
70	80	140	0.1	2.2
3	4	6	2.2	2.4
1	2	2	6.6	2.6
1	2	2	#####	2.8
40	E	80	0.8	3
5	10	10	2.6	3.2
8	10	16	0.8	3.4
10	11	20	1.3	3.6
10	12	20	1.3	3.8
10	12	20	2.0	4
15	18	30	0.9	4.2
7	9	14	1.9	4.4
8	10	16	1.7	4.6
10	12	20	3.3	4.8
15	20	30	3.5	5
22	30	44	3.0	5.2
90	100	180	0.7	5.4
140	150	280	0.2	5.6
150	155	300	0.4	5.8
140	150	280	0.5	6
140	150	280		6.2



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

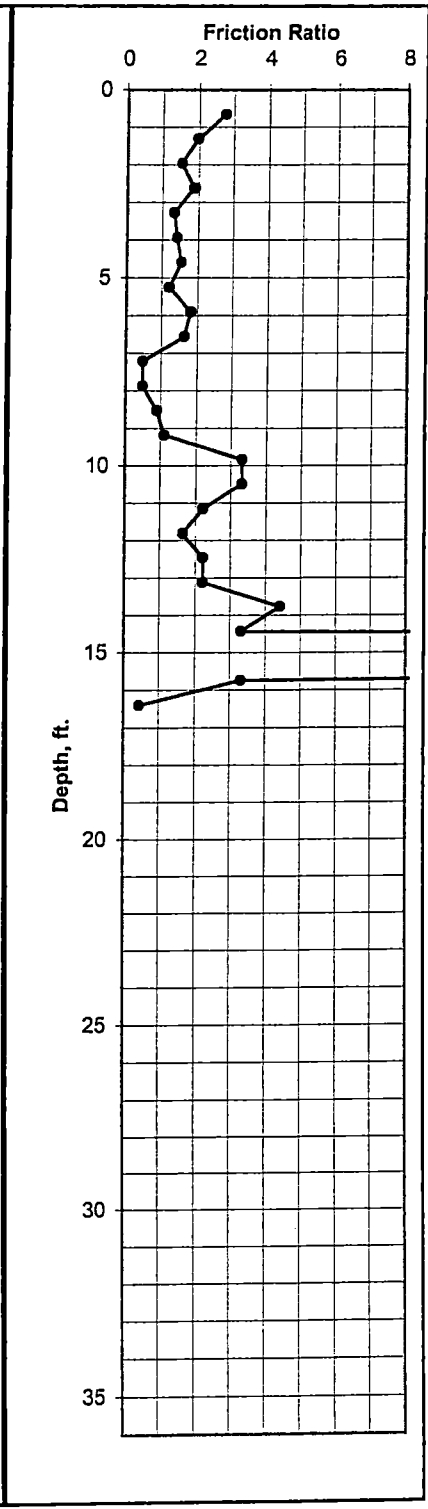
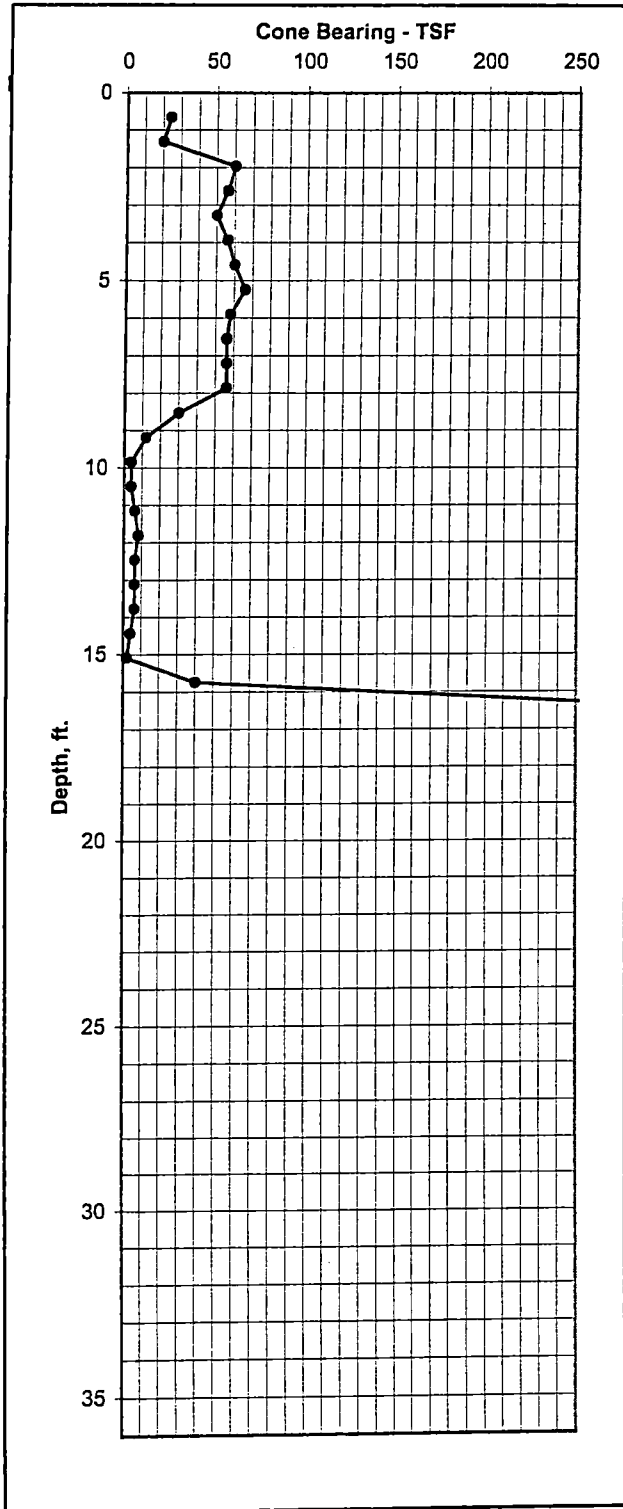
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 3
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
12		24	2.75	0.2
10	15	20	2.0	0.4
30	33	60	1.5	0.6
28	35	56	1.9	0.8
25	33	50	1.3	1
28	33	56	1.4	1.2
30	36	60	1.5	1.4
33	40	66	1.2	1.6
29	35	58	1.8	1.8
28	36	56	1.7	2
28	35	56	0.5	2.2
28	30	56	0.5	2.4
15	17	30	0.9	2.6
6	8	12	1.1	2.8
2	3	4	3.3	3
2	3	4	3.3	3.2
3	4	6	2.2	3.4
4	5	8	1.7	3.6
3	4	6	2.2	3.8
3	4	6	2.2	4
3	4	6	4.4	4.2
2	4	4	3.3	4.4
1	2	2	4.6	4.6
20	35	40	3.3	4.8
150	160	300	0.4	5
150	160	300		5.2
250	R	500		5.4



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

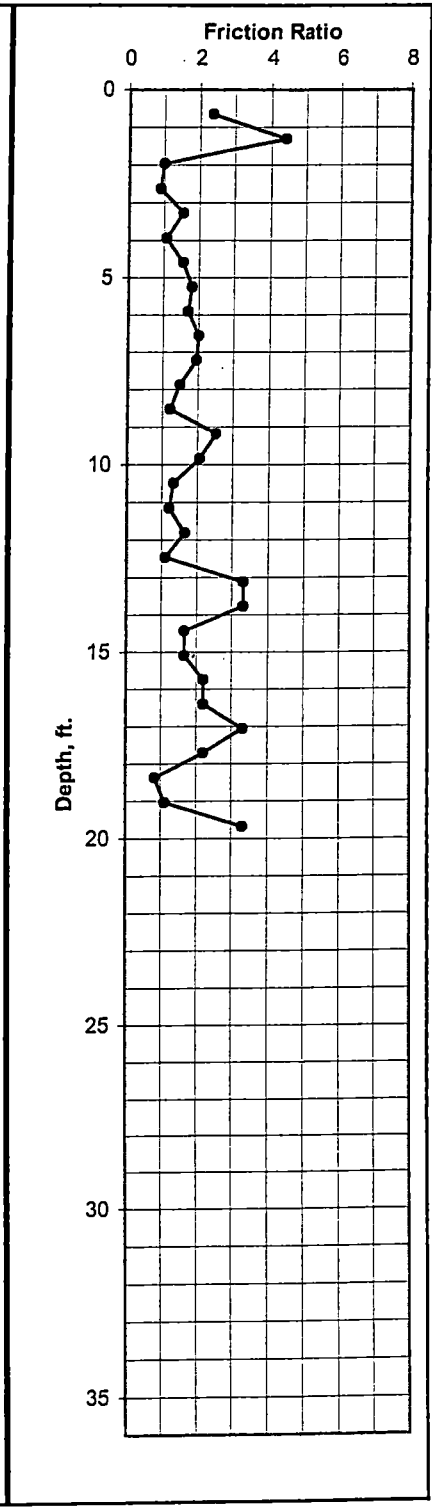
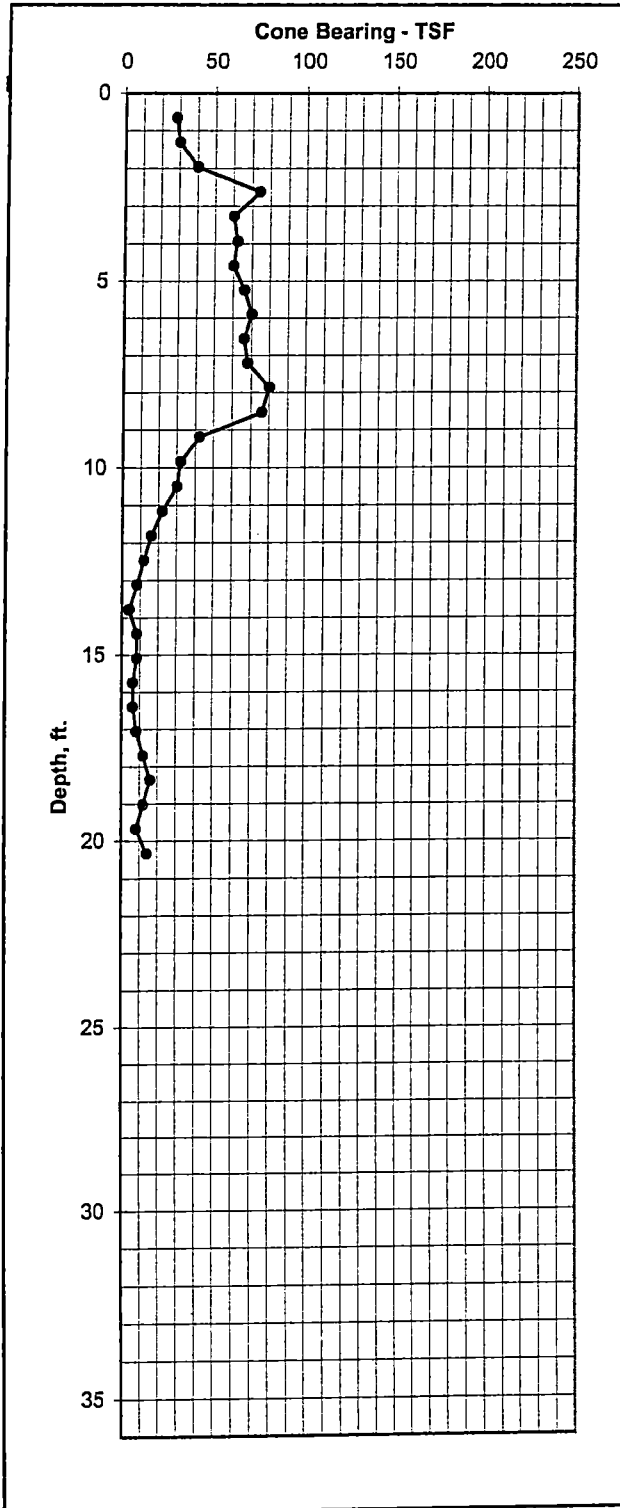
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 4
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
14		28	2.357	0.2
15	20	30	4.4	0.4
20	30	40	1.0	0.6
37	40	74	0.9	0.8
30	35	60	1.5	1
31	38	62	1.1	1.2
30	35	60	1.5	1.4
33	40	66	1.8	1.6
35	44	70	1.7	1.8
33	42	66	2.0	2
34	44	68	1.9	2.2
40	50	80	1.5	2.4
38	47	76	1.2	2.6
21	28	42	2.5	2.8
16	24	32	2.1	3
15	20	30	1.3	3.2
11	14	22	1.2	3.4
8	10	16	1.7	3.6
6	8	12	1.1	3.8
4	5	8	3.3	4
2	4	4	3.3	4.2
4	5	8	1.7	4.4
4	5	8	1.7	4.6
3	4	6	2.2	4.8
3	4	6	2.2	5
4	5	8	3.3	5.2
6	8	12	2.2	5.4
8	10	16	0.8	5.6
6	7	12	1.1	5.8
4	5	8	3.3	6
7	9	14		6.2



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

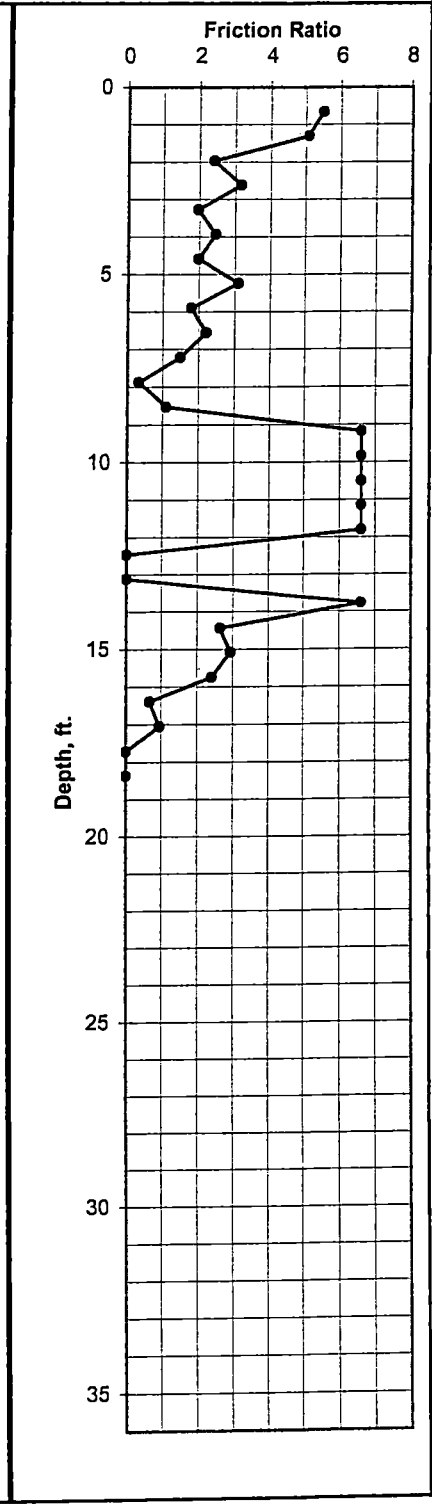
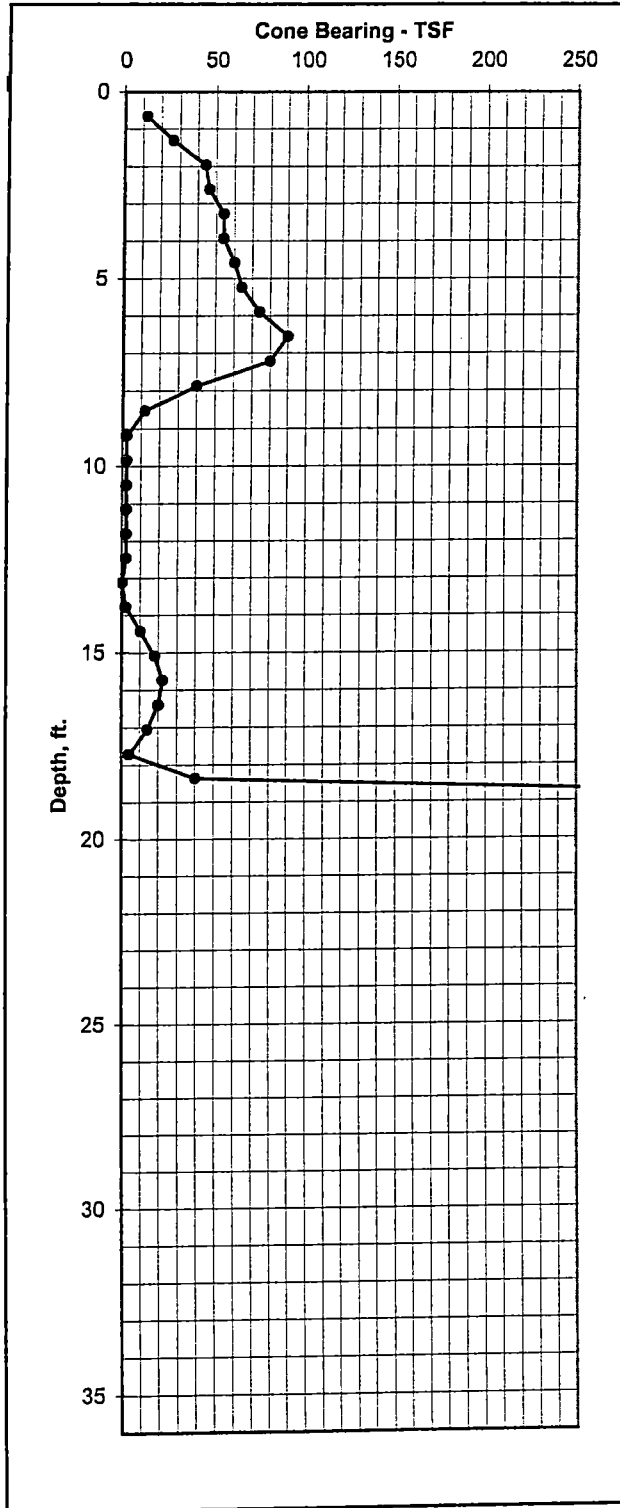
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 5
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
6		12	5.5	0.2
13	18	26	5.1	0.4
22	32	44	2.4	0.6
23	31	46	3.2	0.8
27	38	54	2.0	1
27	35	54	2.4	1.2
30	40	60	2.0	1.4
32	41	64	3.1	1.6
37	52	74	1.8	1.8
45	55	90	2.2	2
40	55	80	1.5	2.2
20	29	40	0.3	2.4
6	7	12	1.1	2.6
1	2	2	6.6	2.8
1	2	2	6.6	3
1	2	2	6.6	3.2
1	2	2	6.6	3.4
1	2	2	6.6	3.6
1	2	2	#####	3.8
NP	NS	####	#####	4
1	2	2	6.6	4.2
5	6	10	2.6	4.4
9	11	18	2.9	4.6
11	15	22	2.4	4.8
10	14	20	0.7	5
7	8	14	0.9	5.2
2	3	4	#####	5.4
20 R		40	#####	5.6
250	R	500		5.8



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

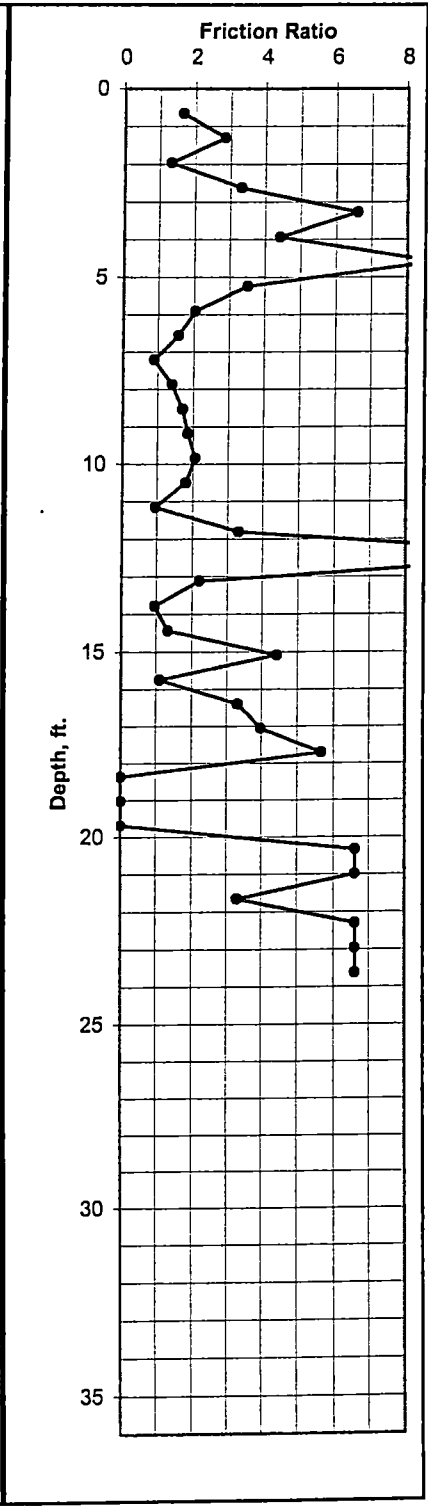
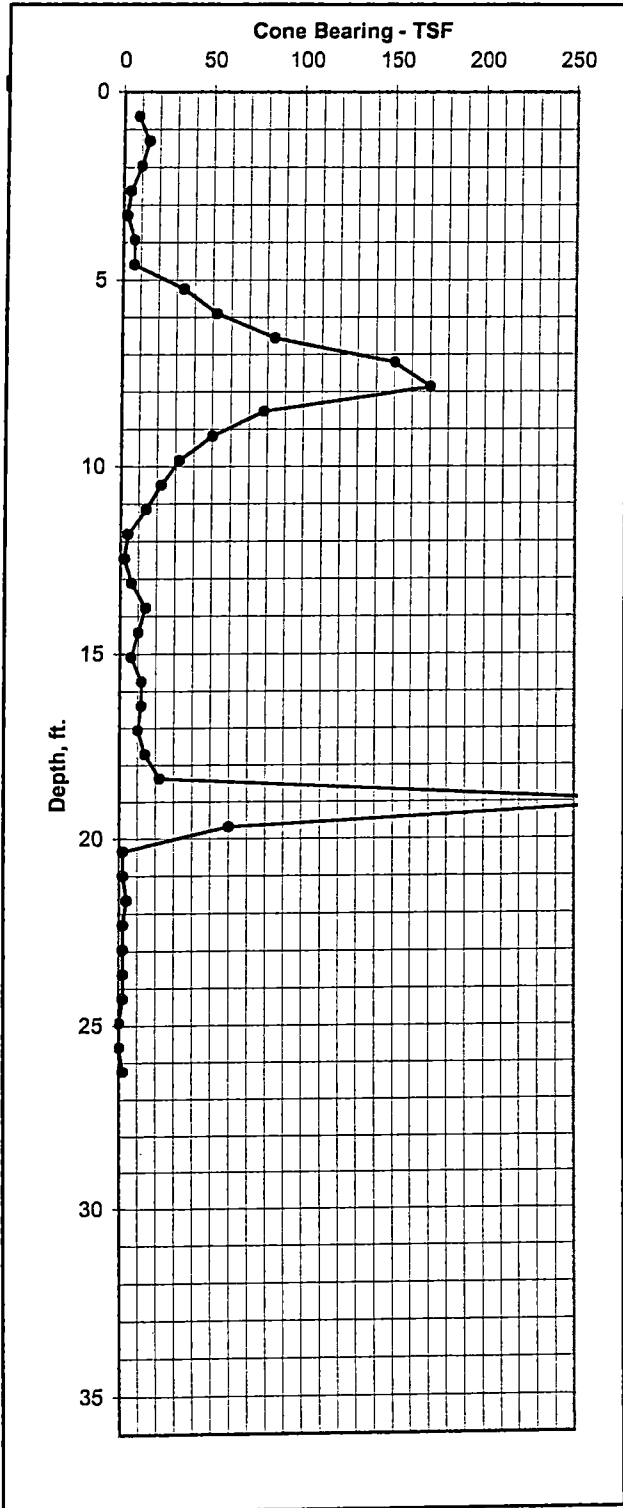
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 6
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
4		8	1.65	0.2
7	8	14	2.8	0.4
5	8	10	1.3	0.6
2	3	4	3.3	0.8
1	2	2	6.6	1
3	4	6	4.4	1.2
3	5	6	8.8	1.4
17	21	34	3.5	1.6
26	35	52	2.0	1.8
42	50	84	1.6	2
75	85	150	0.9	2.2
85	95	170	1.4	2.4
39	57	78	1.7	2.6
25	35	50	1.8	2.8
16	23	32	2.1	3
11	16	22	1.8	3.2
7	10	14	0.9	3.4
2	3	4	3.3	3.6
1	2	2	13.2	3.8
3	5	6	2.2	4
7	8	14	0.9	4.2
5	6	10	1.3	4.4
3	4	6	4.4	4.6
6	8	12	1.1	4.8
6	7	12	3.3	5
5	8	10	4.0	5.2
7	10	14	5.7	5.4
11	17	22	#####	5.6
150	E	300	#####	5.8
30	E	60	#####	6
1	R	2	6.6	6.2
1	2	2	6.6	6.4
2	3	4	3.3	6.6
1	2	2	6.6	6.8
1	2	2	6.6	7
1	2	2	6.6	7.2
1	2	2		7.4
NP	NS	###		7.6
NP	NS	###		7.8
1	2	2		8
250	R			8.2



A. M. ENGINEERING AND TESTING, INC.

3504 INDUSTRIAL 33RD STREET FORT PIERCE, FLORIDA 34946

FORT PIERCE (772) 461-7508

800-233-9011

FAX (772) 461-8880

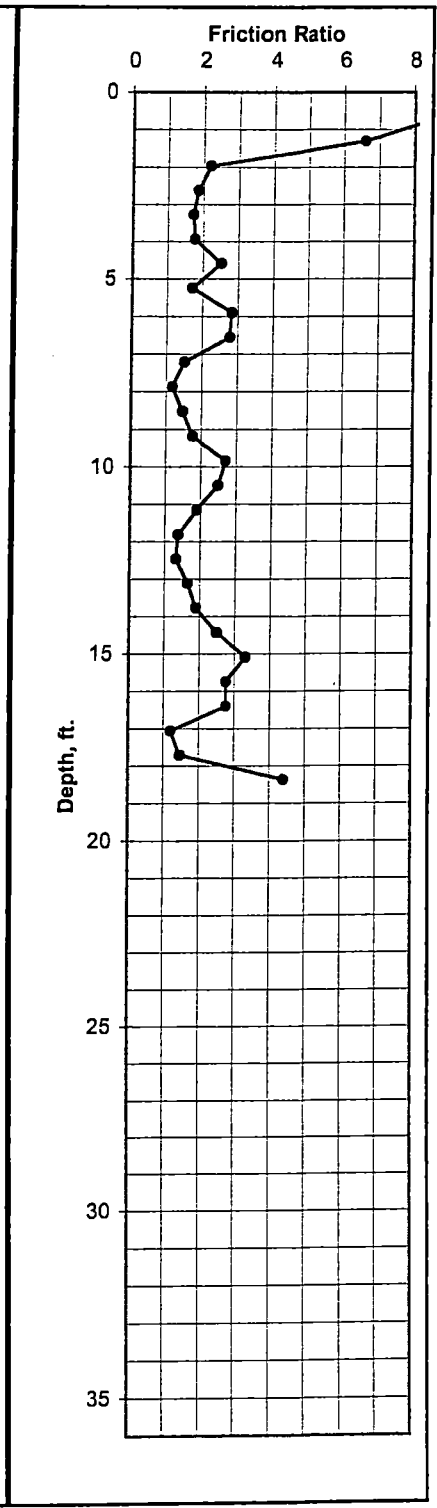
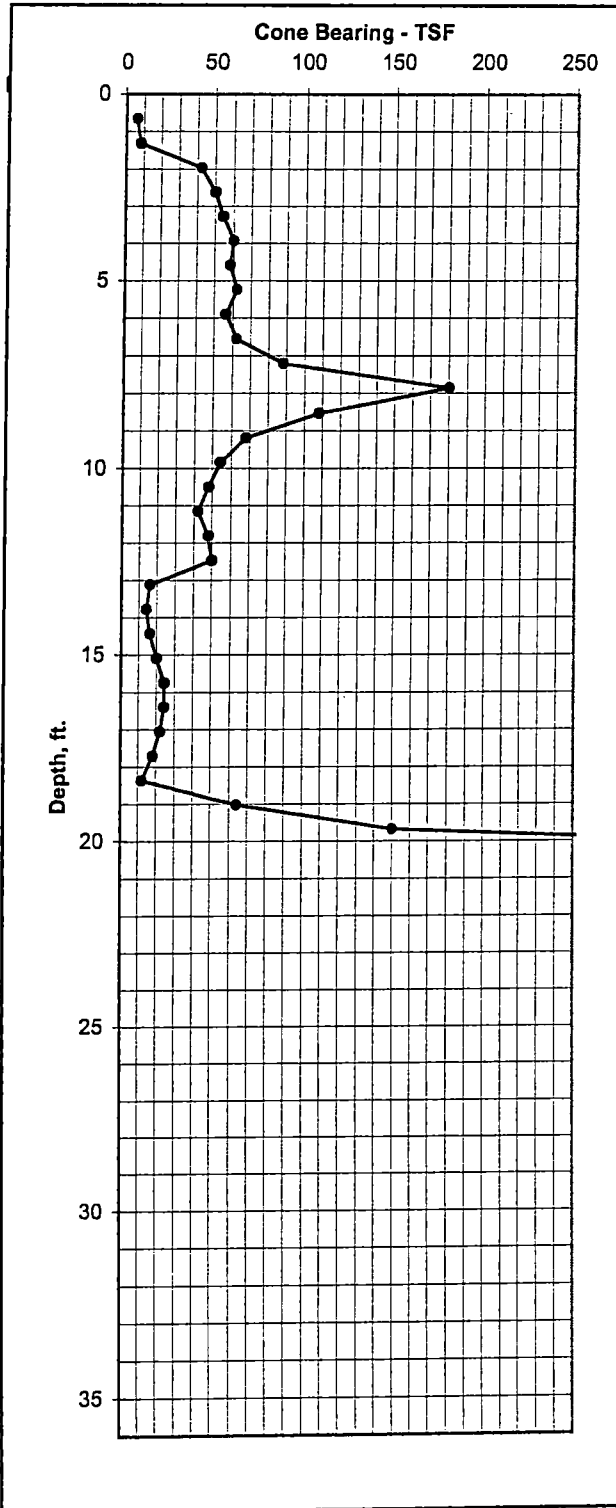
VERO (772) 567-6167

STUART (772) 283-7711

Client Hall-Sammons, Inc.
 Project 163 South Sewall's Point Road, Sewall's Point
 Location CPT 7
 Elevation Existing
 Field Crew SC & JC
 Rig # 2

Date 10-May-04
 Job No D-04368

P	P+S	qc	FR	Depth Meters
3		6	8.8	0.2
4	8	8	6.6	0.4
21	25	42	2.2	0.6
25	32	50	1.8	0.8
27	34	54	1.7	1
30	37	60	1.8	1.2
29	37	58	2.5	1.4
31	42	62	1.7	1.6
28	36	56	2.8	1.8
31	43	62	2.8	2
44	57	88	1.5	2.2
90	100	180	1.2	2.4
54	70	108	1.5	2.6
34	46	68	1.7	2.8
27	36	54	2.7	3
24	35	48	2.5	3.2
21	30	42	1.9	3.4
24	30	48	1.4	3.6
25	30	50	1.3	3.8
8	13	16	1.7	4
7	9	14	1.9	4.2
8	10	16	2.5	4.4
10	13	20	3.3	4.6
12	17	24	2.8	4.8
12	17	24	2.8	5
11	16	22	1.2	5.2
9	11	18	1.5	5.4
6	8	12	4.4	5.6
32	36	64	5.8	5.8
75	E	150	6	6
250	R	500	6.2	6.2



A. M. ENGINEERING AND TESTING, INC.
 3504 INDUSTRIAL 33RD STREET, FORT PIERCE, FLORIDA 34946
 PHONE (772) 461-7508 FAX (772) 461-8880

AUGER BORINGS (ASTM D-1452)

Client: **Hall-Sammons, Inc.**
 Project: **163 South Sewall's Point Road, Sewall's Point**
 Elevation: Existing

Project No: **D-04368**
 Lab No:
 Test Date: **5/10/04 & 5/14/04**
 Technician: **S. C.**

TEST LOCATION: AB-1 @ CPT 2 5/10/04	
Depth (feet)	Description (color, texture, consistency, remarks)
0 - 1	Light gray fine sand
1 - 6	Light brown fine sand
	Water table at 2 feet below ground surface

TEST LOCATION: AB-2 @ CPT 3 5/10/04	
Depth (feet)	Description (color, texture, consistency, remarks)
0 - 2	Medium to light gray fine sand
2 - 6	Light brown fine sand
	Water table at 2 feet below ground surface

TEST LOCATION: AB-3 @ CPT 6 5/14/04	
Depth (feet)	Description (color, texture, consistency, remarks)
0 - 4	Medium gray fine sand, some roots
4 - 6	Medium brown fine sand
	Water table at 2 feet below ground surface



ASLAN, INC.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

REPORT OF TOPOGRAPHIC SURVEY For Patricia A. Donohue

Map of Topographic Survey:

See Map of Topographic Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.

Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.



General:

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- Drawing File Name: Broome-L6-Marg-Topo-SP23.dwg

Limitations:

- This Survey was last surveyed in the field on August 11, 2005 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated herein.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The National Flood Insurance Program Designation as indicated on the F.E.M.A. Map Panel No. 12085C0162F, dated 10/4/2002, locates the parcel in Zone AE, base flood elevation 9'; subject to any scaling and interpolation factors associated with mapping of this accuracy.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the

PROJECT MANAGEMENT: CIVIL • SURVEY • PLANNING • CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING • PLATTING • REZONINGS • CODE ENFORCEMENT • VARIANCES
LAND PLANNING: COMMERCIAL • RESIDENTIAL • P.U.D.'S • SUBDIVISIONS • MARINAS • SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS • DOCKS • DREDGE & FILL • DEP-CORPS-WMD - ERP • WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER • WETLAND • SUBMERGED LAND LEASES • BOUNDARY • TOPOGRAPHIC • AS-BUILT

**Report of Topographic Survey
Patricia A. Donohue**

end user to determine the scale indicated hereon as reliable for the intended uses.
Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

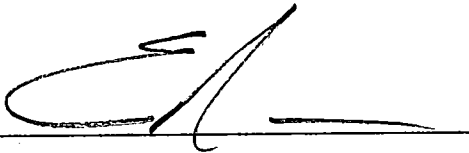
Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, INC.

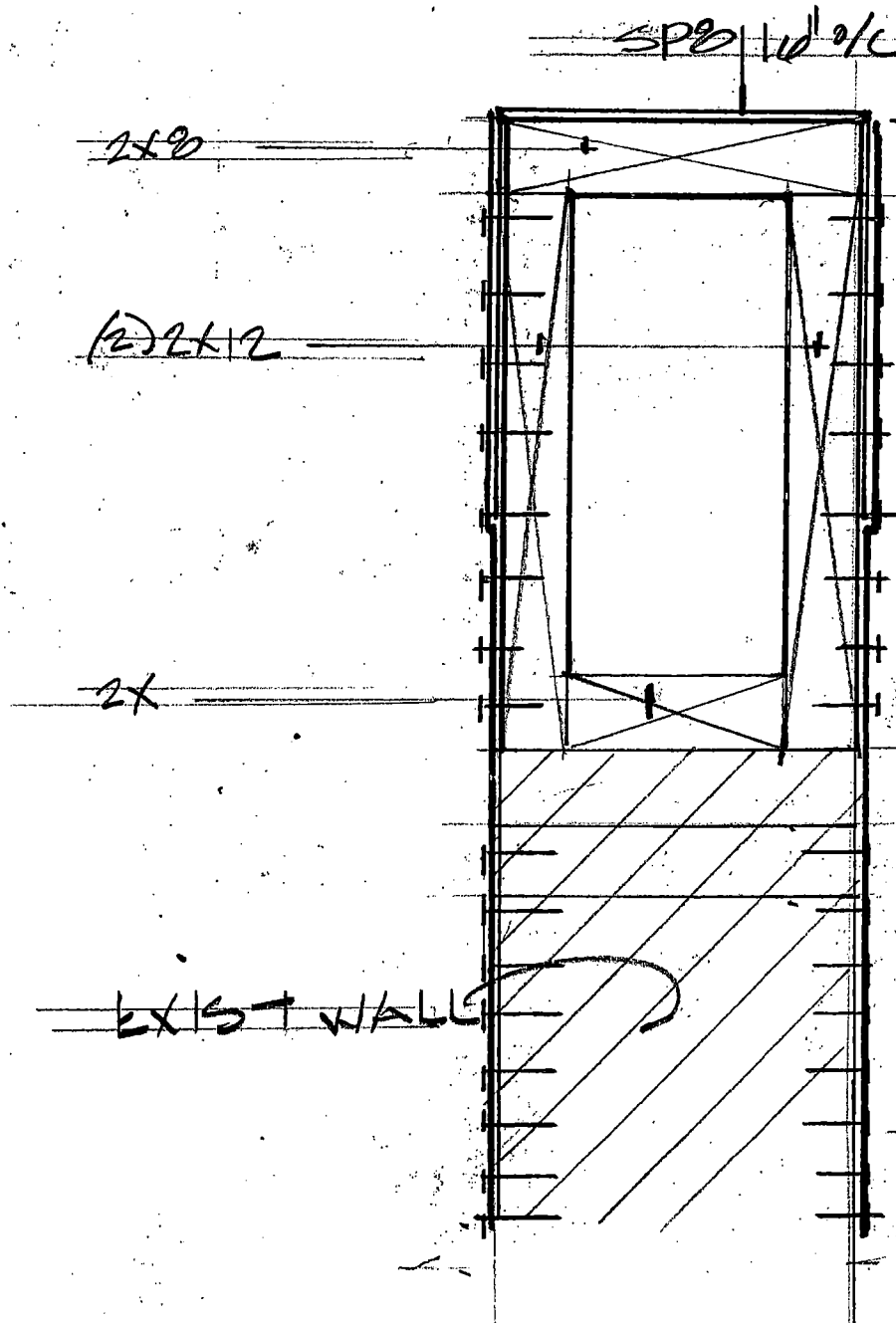
P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715

Signed: _____



Issuance Date: Friday, August 12, 2005

USE H10 TRUSS ANCHORS
AS PREVIOUSLY SPECIFIED



6719
FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 11/15/04
BUILDING OFFICIAL
Gene Simmons

ONLY STRAP
10\"/>

DONKHILL RESIDENCE LOT 10 MARQUERITA
REVISED SUN ROOM - WALL EXTENSION

JOSEPH P. McCARTY, ARCHITECT, Inc.
900 EAST OSCEOLA STREET 287-6735
STUART FLORIDA

3-2-0
11/20/04
11/1/04

Joseph P. McCarty, Architect
900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

June 15, 2004

Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

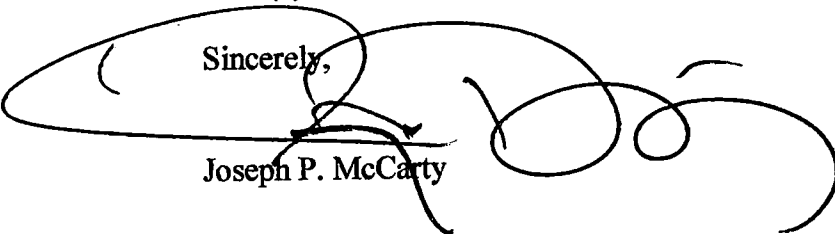
RE: Broome Residence, Lot 6, Margueritta


Dear Gene,

We have changed the step up from the garage to the hallway from 4" to 2". This will give us an elevation of 3'-4" NGVD in the hallway. Please also note that detail 3-3 Sht S6 will be modified such that cast concrete wall will be 48" high, with #5 vertical bars 12" on center, and (4) #5 bars 12" on center.

Based on soils analysis the F3 footings will be changed from 5'x5' to 4' x 4' x 2' deep with (5) #5 bars bottom each way.

Sincerely,


Joseph P. McCarty

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: <u>6/14/04</u>

BUILDING OFFICIAL
Gene Simmons

Joseph P. McCarty, Architect

900 East Osceola Street

Stuart, Florida, 34994

772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

August 25, 2004

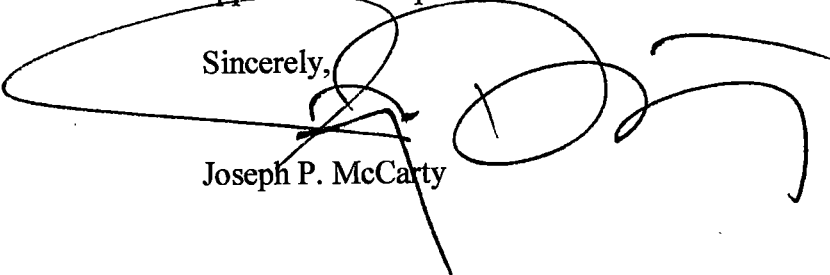
Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

RE: Broome Residence,

Dear Gene,

I have talked with Phil Wintercorn about the steel placement on the front porch poured slab on the Donahue Residence, Lot 6 Marguerita. The steel is placed with bottom bars 3" above slab at each bearing end and 2 ½" clear at the center of the span. The electrical conduit is placed under the steel, but above a 1 ½" clearance. The steel is approved at this placement.

Sincerely,


Joseph P. McCarty

E | **ENGINEERING DESIGN**
D | **& CONSTRUCTION, INC.**
C | 101 N. 4th Street, Suite 120
Ft. Pierce, FL 34950
phone: 772-462-2455
fax: 772-462-2454

September 2, 2005

04-219

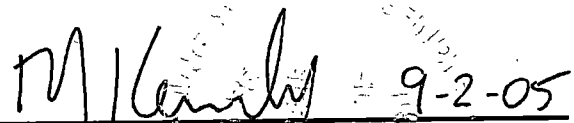
Building Department Official
Town of Sewalls Point
1 Sewalls Point Road
Sewalls Point, FL 34996

Re: Marguerita Certification Letter for Paul Broome Residence

To Whom It May Concern,

Please note that this letter is to provide certification that the drainage related improvements at the referenced project have been installed in reasonable accordance with the approved construction plans.

Should you have any questions or require additional information, please feel free to contact me at (772) 462-2455 at your convenience.

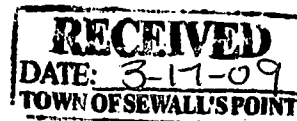


R. J. Kennedy, P.E. #56218 Date
101 N 4th Street, Suite 118
Ft. Pierce, FL 34950

cc: Paul Broome

M. Paul Broome
163 S. Sewall's Point Road
Sewall's Point, Florida 34996
772.528.4137
Fax 772.287.0272
mpbroome@hotmail.com

March 16, 2009



John Adams, C.B.O.
Building Official
Town of Sewall's Point
One South Sewall's Point Road
Sewalls Point, Florida 34996

Re: 160 S. Sewall's Point Road

Mr. Adams,

I have attached a site plan showing the proposed residence to be constructed at 160 S. Sewall's Point Road. I am requesting a letter of sufficiency that confirms that it meets the set backs and ordinances of the Town of Sewalls Point.

Thank you for your time. I am at your disposal if you have any questions regarding this project.

Sincerely



M. Paul Broome

Joseph P. McCarty, Architect
900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

May 28, 2004

Gene Simmons, CBO
Town of Sewall's Point
One South Sewall's Point Road
Sewalls Point, Florida
34996

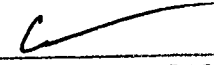
RE: Patricia A. Donohue 163 South Sewall's Point Road

Dear Gene,

Please be advised that we have added a shower to the ground floor bathroom on the above project.

Sincerely,


Joseph P. McCarty

<p>FILE COPY TOWN OF SEWALL'S POINT THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE DATE: <u>6/1/04</u>  BUILDING OFFICIAL Gene Simmons</p>

Joseph P. McCarty, Architect

900 East Osceola Street

Stuart, Florida, 34994

772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

July 8, 2004

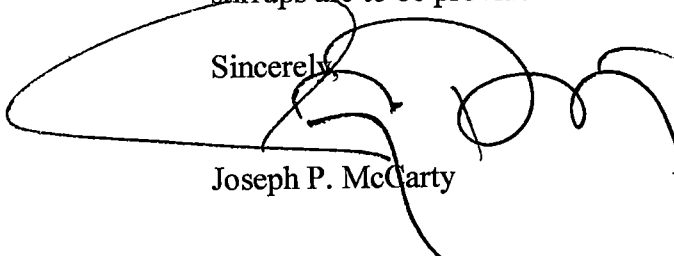
Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

RE: Broome Residence, Lot 6, Margueritta

Dear Gene,


The C9 columns in the garage have changed to 8" x 12" with (4) #5 each with #3 stirrups 8" on center. In addition, the plumber may put a 4" PVC sleeve through beam B1, (2) #3 stirrups are to be provided each side of beam sleeve.

Sincerely,



Joseph P. McCarty

10719

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 7/9/04

BUILDING OFFICIAL
Gene Simmons

Scope of Work

Sun Room is to be frame construction above existing 8" concrete beam appx. 3' above finished floor. All construction to be typical to remaining house with the exception of the following:

Typical Truss Tie Down

Simpson H10 truss clips to double 2x8 top plate

Typical Frame Wall

Stucco finish to match remainder of house, on 3.4 lbs/SF diamond self-furring paper backed lath, on 1/2" CDX plywood gaped 1/8" at seams, nailed with 8d, 6" on center, into 2x8 wood studs 16" on center

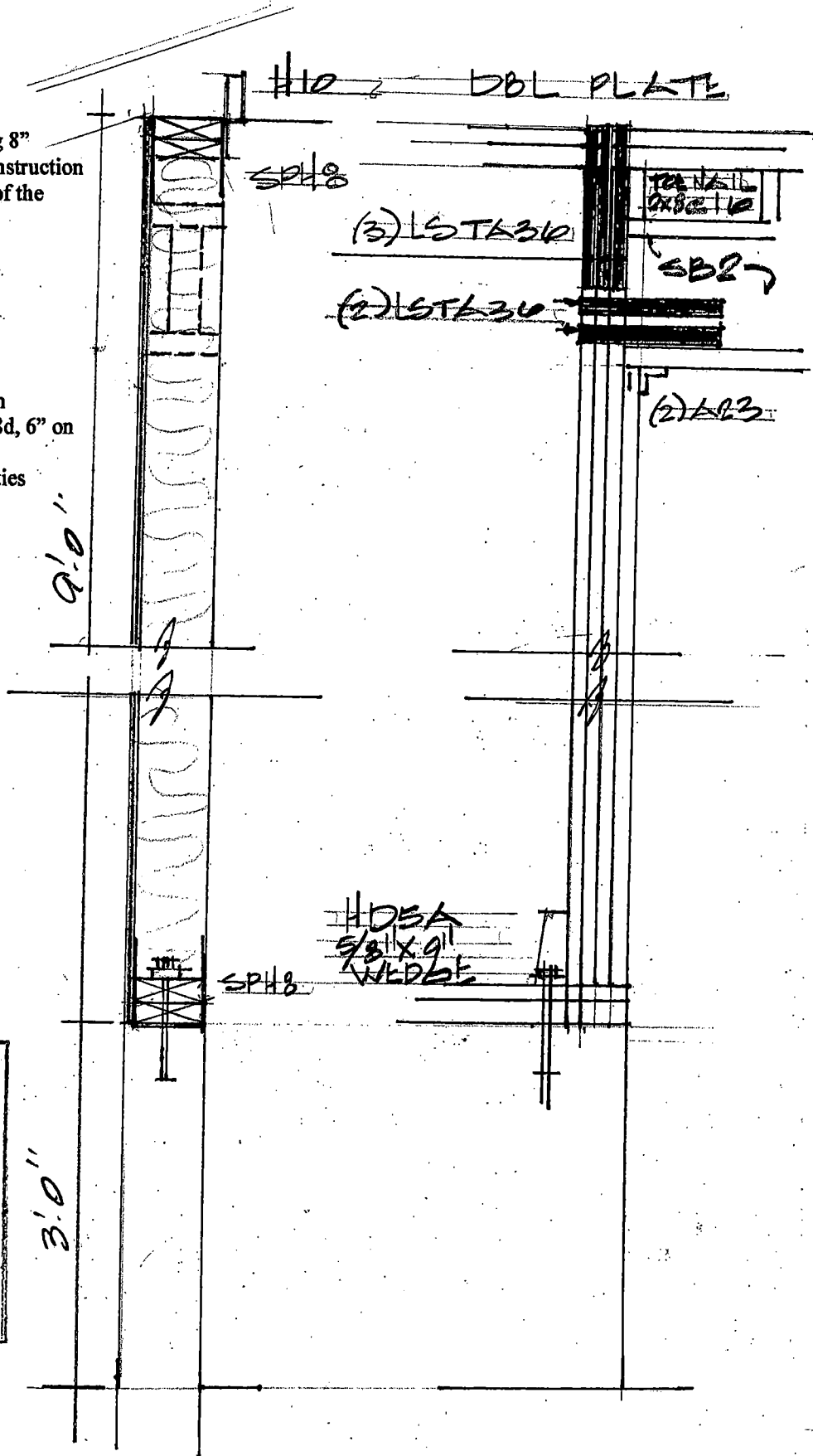
Dbl top and bottom plates with Simpson SPH8 stud ties

Top and bottom

5/8" wedge anchors with Palm Beach washers

18" on center, into

Concrete beam



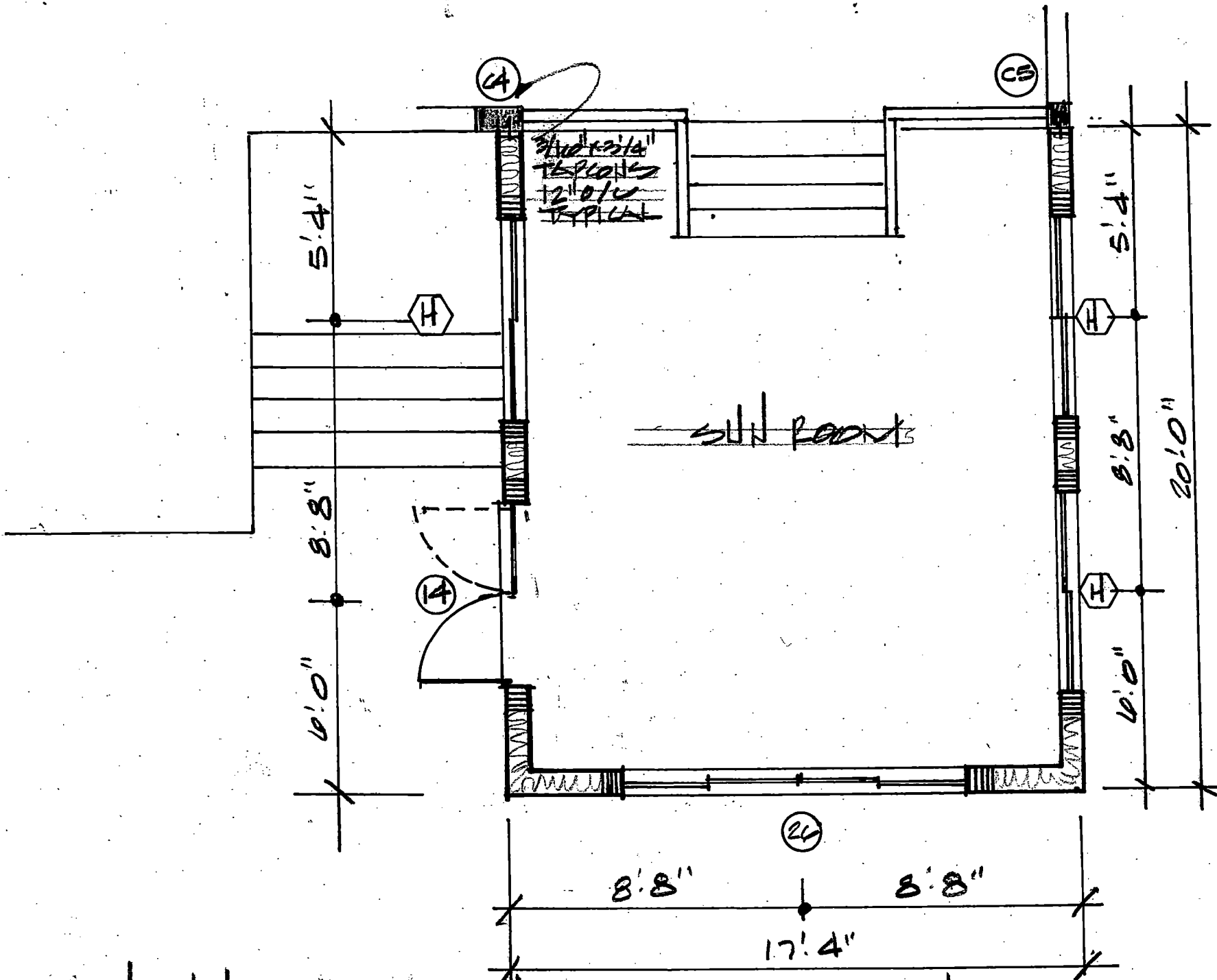
REVISION 6719

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 9/14/04

 BUILDING OFFICIAL
 Gene Simmons

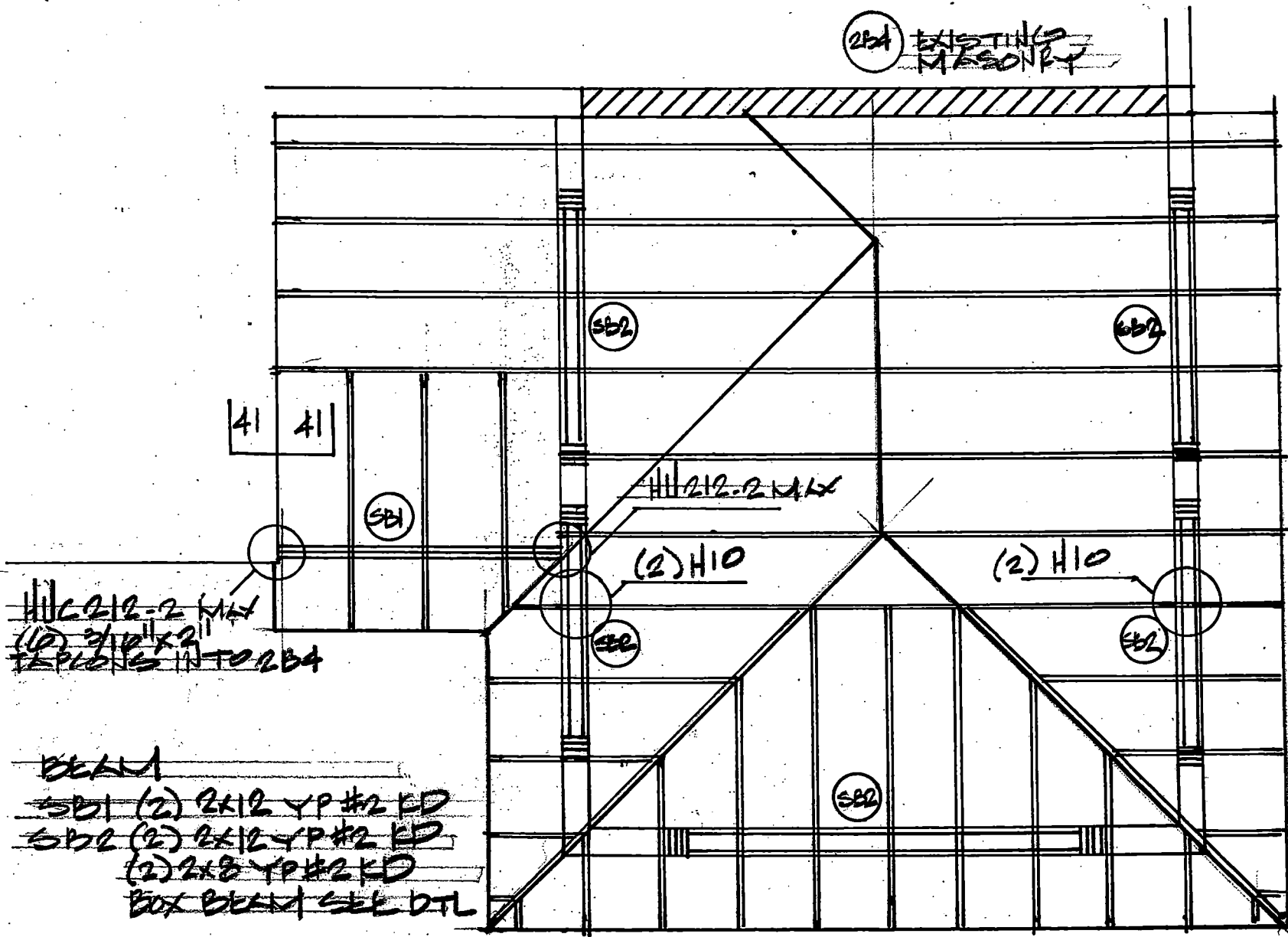
JOSEPH P. McCARTY, ARCHITECT, Inc.
 900 EAST OSCEOLA STREET 287-6735
 STUART FLORIDA
 D.P.R. Registration Number 9639

DOHAHUE RESIDENCE
 LOT 40 MARGUERITE
 REVISED SUN ROOM
 WALL SECTION 3/4 11'0"
 8/25/04



DONAHUE RESIDENCE LOT 6 MARQUETTE
 REVISED SUN ROOM FLOOR PLAN
 2/25/02

JOSEPH P. MCCARTY, ARCHITECT, Inc.
 900 EAST OSCEOLA STREET 287-6735
 STUART FLORIDA
 8/25/02



NOTE ALL
TRUSS ANCHORS
HOLDERS
NOTED
OTHERWISE

C 2x12-2 MAX
(10) 3/4" x 2"
TRUSS TO 2b4

BEAM
SB1 (2) 2x12 YP #2 ED
SB2 (2) 2x12 YP #2 ED
(2) 2x12 YP #2 ED
BOX BEAM SEE DTL

DONAHUE RESIDENCE LOT 10 MARQUETTA
REVISED SUN ROOM FLOOR FRAMING
1/4" = 1' 0"
8/25/02

JOSEPH P. McCARTY, ARCHITECT, Inc.
900 EAST OSCEOLA STREET 287-6735
STUART FLORIDA 34950
8/25/02

Joseph P. McCarty, Architect

900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

September 19, 2004

Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

#6719 SFR

RE: Broome Residence, Lot 6 Marquerita

Dear Gene,

I have inspected the steel placement on the second floor tie beam on this date and approve of steel placement as follows:

Column C10 is revised and detail is provided on attached sheet. The column will have (5) #5 bars with the outside (4) bars tied with #6 wire 8" on center. The center bar is not tied.

Column C1 has had (2) #5 bars added a photo will be provided to show steel placement.

Column C2 has had (4) #6 bars placed. The existing (4) #5 bars projecting from beam below are approved for splice.

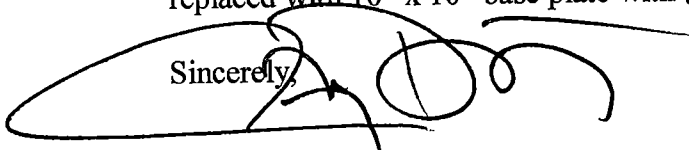
Column C5 has had (1) #5 bar added. C5 is approved with (2) #5 bars, no stirrups.

Column C4 is approved with (1) #5 in each of three adjacent cells.

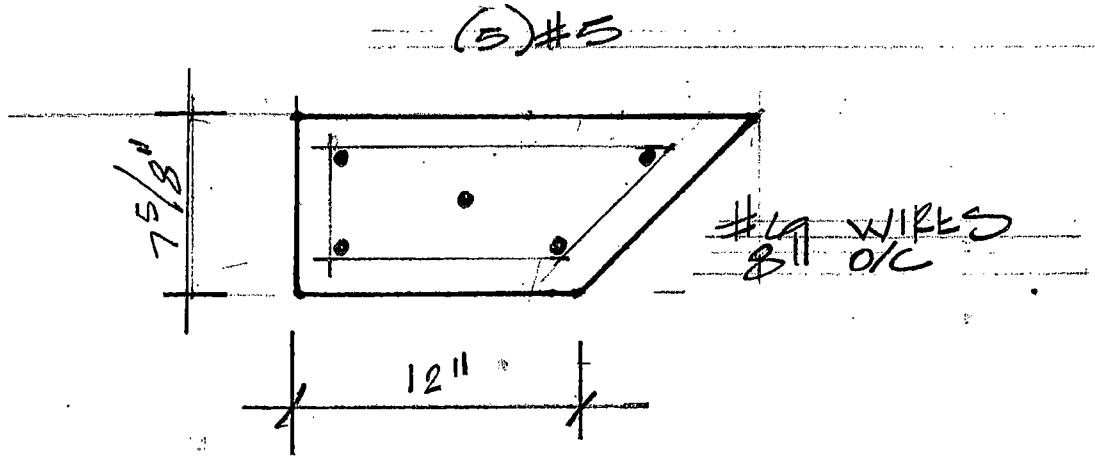
Column C7 has had (1) #5 added to meet original design

The C11 columns on front porch that had base plates damaged with have base plates replaced with 10" x 10" base plate with (4) 1/2" wedge anchors with 4" embedment.

Sincerely,



Joseph P. McCarty



LOT 6 MARGUERITA
COLUMN C10



1/16/04

JOSEPH P. McCARTY, ARCHITECT, Inc.
900 EAST OSCEOLA STREET 287-6735
STUART FLORIDA

D.P.R. Registration Number 9639

Scope of Work

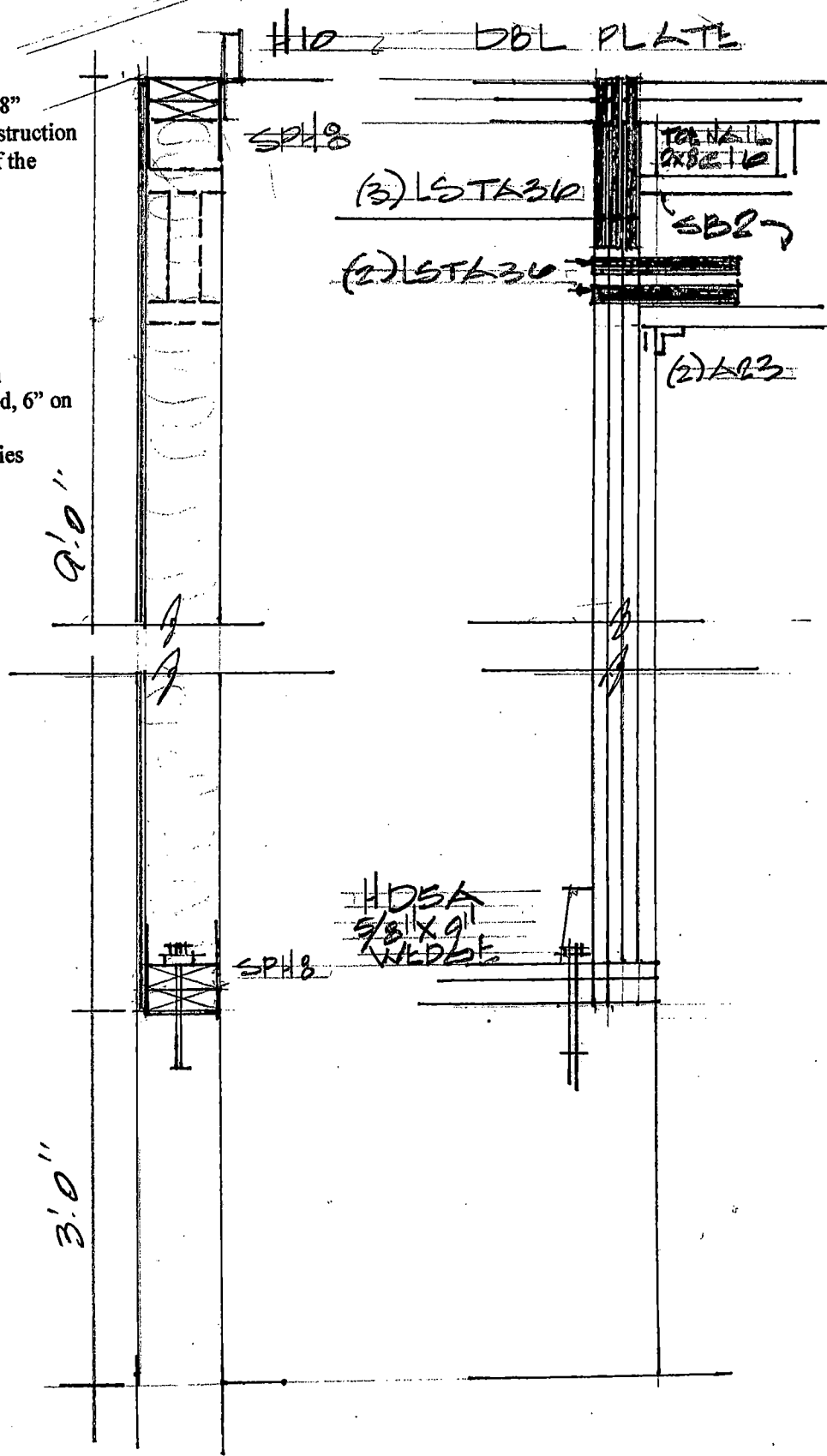
Sun Room is to be frame construction above existing 8" concrete beam appx. 3' above finished floor. All construction to be typical to remaining house with the exception of the following:

Typical Truss Tie Down

Simpson H10 truss clips to double 2x8 top plate

Typical Frame Wall

Stucco finish to match remainder of house, on 3.4 lbs/SF diamond self-furring paper backed lath, on 1/2" CDX plywood gaped 1/8" at seams, nailed with 8d, 6" on center, into 2x8 wood studs 16" on center
Dbl top and bottom plates with Simpson SPH8 stud ties
Top and bottom
5/8" wedge anchors with Palm Beach washers
18" on center, into
Concrete beam



JOSEPH P. McCARTY, ARCHITECT, Inc.
 900 EAST OSCEOLA STREET | 287-6735
 STUART | 12/27/04 | FLORIDA
 D.P.R. Registration Number 9639

DOHAHUE RESIDENCE
 LOT 6 MARGUERITE
 REVISED SUN ROOM
 WALL SECTION 3/4" @ 10"
 8/25/04

Joseph P. McCarty, Architect

900 East Osceola Street

Stuart, Florida, 34994

772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

FILE DONAHUE

January 31, 2005

Gene Simmons, CBO
Town of Sewalls Point
One South Sewalls Point Road
Sewalls Point, Florida
34996

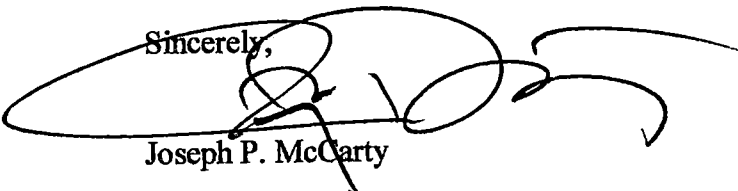
RE: Broome Residence, Lot 6 Marquerita

Dear Gene,

I have field inspected the above referenced job and would like to report the following.

- 1) Some C9 tube steel columns have been adjusted to 4" x 8" size. I have inspected and approve of C9 columns as installed.
- 2) I have inspected welds on interior steel column buckets, I have inspected all bearing conditions and welds and approve of all beam to column connections as installed.
- 3) Nuts and bolts at front porch have been tightened and can be reinspected.
- 4) A bearing wall was added at the dining room, eliminating the need for the C9 column indicated. I approve of the framing with the C9 column eliminated.
- 5) I have inspected modified floor framing at entry/stair and approve of floor framing as installed.

Sincerely,


Joseph P. McCarty

Top chord 2x4 SP #2
 Bot chord 2x6 SP #2 :82 2x6 SP 2400F-2.3E:
 Webs 2x4 SP #3 :V1, V14 2x8 SP 2400F-2.0E:
 #42 2x4 SP #2-

SPECIAL LOADS
 -----CLUMBER OVR.FAC.=1.00 / PLATE OVR.FAC.=1.00
 TC - From 120 PLF at 0.00 to 120 PLF at 16.15
 BC - From 10 PLF at 0.00 to 10 PLF at 16.15
 SC - 1546 LB Conc. Load at 5.77

2 Complete Trusses Required

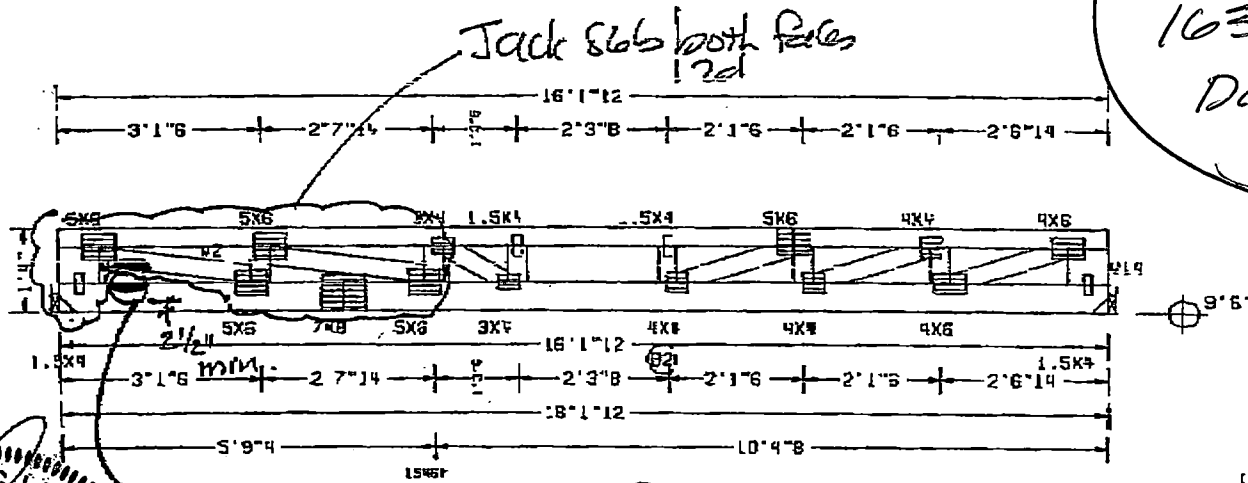
NAILING SCHEDULE: 10.131x3.0 g.nails
 TOP CHORD: 1 ROW @ 12" o.c.
 BOT CHORD: 1 ROW @ 12" o.c.
 WEBS : 1 ROW @ 4" o.c.
 USE EQUAL SPACING BETWEEN ROWS AND STAGGER NAILS
 IN EACH ROW TO AVOID SPLITTING.

Deflection meets L/580 live and L/360 total load.

Truss must be installed as shown with top chord up.

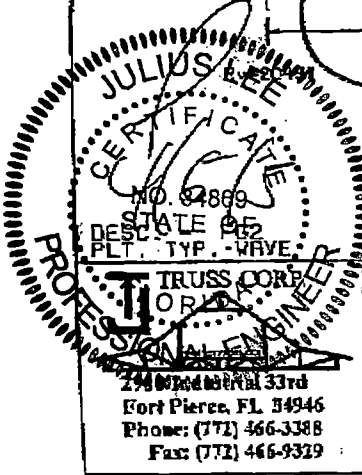
The TC of this truss shall be braced with attached spans at 24" OC in lieu of structural sheathing.

FILE #6719
 163 S. SPR.
 DONAHUE



1/2" x 3 1/2" NOTCH

- ① move pipe down to bottom chord to clear web.
- ② ADD Jack 5x6 both faces 12d 240c



F8C/TPI.99S (STD)

GTY= 1 PLIES= 2 TOTAL= 2

REV. 7.00.0130.16

SEQ = 44287
 SCALE = 0.3750

WARRANTY: TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HOURLING, SHIPPING, INSTALLING AND BRACING. REFER TO HIB-91 (BRACING INSTALLING AND SPACING) PUBLISHED BY THE TRUSS PLATE INSTITUTE, 565 O'LEARY DR., SUITE 200, MADISON, WI. 53718 FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. **IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN AND FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, HOURLING, SHIPPING, INSTALLING AND SPACING OF TRUSSES. DESIGN CONFORMS WITH APPL (CABLE PROVISIONS OF IBC, NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION) AND TPI. ALPINE CONNECTORS ARE MADE OF 2025 ALUMINUM 6061 GRADE (ALV. STEEL) EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TEES AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS (SD 4-). THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER ANALYSIS 1.199S SECTION 2.

John C. Weber P.E. Certificate # 17455 2900 Industrial 33rd Fort Pierce, FL 34946	TC LL 40.0psf TC CL 20.0psf BC BL 5.0psf BC LL 0.0psf TGT.LD. 65.0psf OVR.FAC. 1.00 SPACING 24.0"	REF DATE 01-19-2005 DRWG NW G/A LEN. 150112 TYPE Flat
---	---	--

APR-06-2005 WED 09:31 AM

ob: (40357F) DOUG SAMMONS CONST / LOT 6 / FT26 AP

THIS DWG. PREPARED BY THE ALPINE JOB DESIGNER PROGRAM FROM TRUSS MFR'S LAYOUT

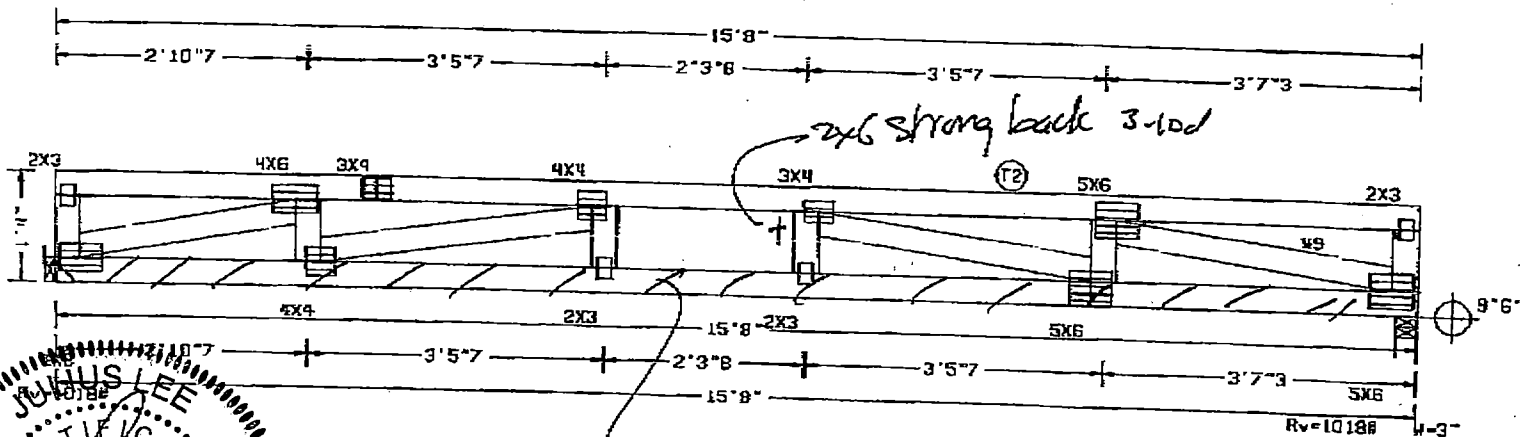
Top chord 2x4 EP #2 :T2 2x4 SP SS Dense:
 Bot chord 2x4 EP #2
 Webs 2x4 SP #3 :49 2x4 SP #2:

*** WARNING! CSI EXCEEDS 1.00 (1.04)

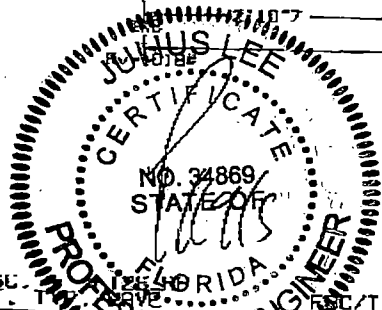
Deflection meets L/480 live and L/360 total load.

Truss must be installed as shown with top chord up.

ID	PITCH	MEMBER	AXL	END	CSI	LOC-Ft	FORCE
11	0.0	2x4 SP #2	0.06	0.16	0.27	4.40	-2363
12	0.0	2x4 SP SS Dense	0.06	0.17	0.23	10.97	-3661
B1	0.0	2x4 SP #2	0.85	0.19	1.04	9.58	3682
B2	0.0	2x4 SP #2	0.62	0.08	0.71	13.65	2685



ADD 2x4 # 2 so pine ok fac
 volquac



JESU...
 LT. T...



2900 Industrial 33rd
 Fort Pierce, FL 34946
 Phone: (772) 466-3388
 Fax: (772) 466-9329

QUANTITY = 3 TOTAL = 3

ALPINE TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO (M.D.-9) BRACING INSTRUCTIONS AND DRAWINGS PUBLISHED BY THE TRUSS MANUFACTURING INSTITUTE, 883 O'DONOHUE DR., SUITE 200, WATSON, MI. 48090 FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL BE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED ALPINE CEILING. ***IMPORTANT*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH THE: OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AISC NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION AND THE ALPINE CONNECTIONS ARE MADE OF 2008 ALUMINUM GRADE 6061 T6. UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS TO EACH SIDE OF TRUSS AND UNLESS OTHERWISE LOCATED ON RECEIPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOCIETY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER AISI/TPI 1-1995 SECTION 2.

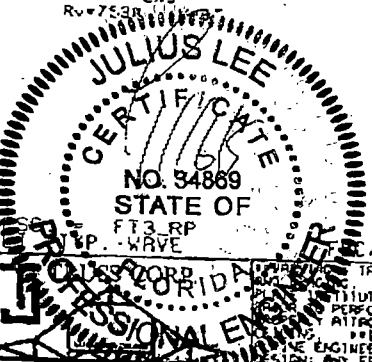
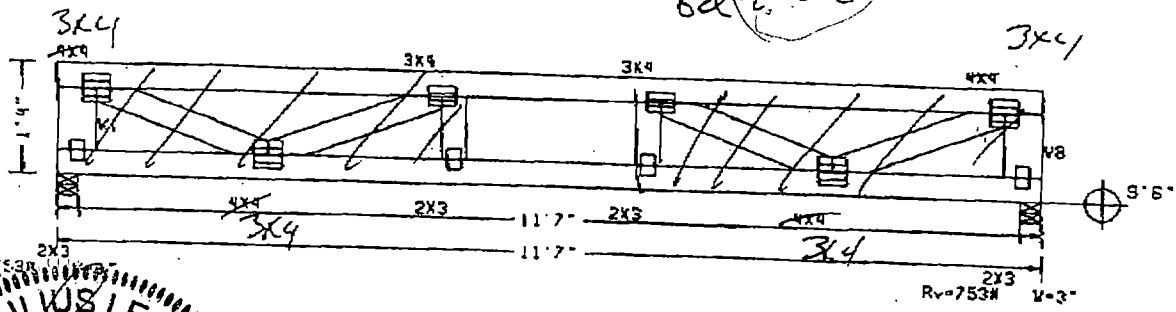
John C. Weber P.E. Certificate # 17455 2900 Industrial 33rd Fort Pierce, FL 34946	REV. 7.02.0527.09	SEQ - 29081 SCALE = 0.5000
TC LL 40.0psf	REF	
TC DL 20.0psf	DATE 01-19-2005	
BC DL 5.0psf	DRWG	
BC LL 0.0psf	JRH	
TOT.LD. 65.0psf	D/A LEN. 150800	
EUR.FAC. 1.00		
SPACING 24.0"	TYPE Flat	

S: (40357F) DOUG SAMMONS CONST / LDT 6 / FT3_RP

THIS D/G. PREPARED BY THE ALPINE JOB DESIGNER PROGRAM FROM TRUSS MFA'S LAYOUT
 Deflection meets L/480 live and L/360 total load.
 Truss must be installed as shown with top chord up.

Sp chord 2x4 SP #2
 St chord 2x4 SP #2
 Webs 2x4 SP #3 : W1, V8 2x6 SP #2:

1/2" Plywood both face
 6d 2.10-c



2900 Industrial 33rd
 Fort Pierce, FL 34946
 Phone: (772) 466-3188
 Fax: (772) 466-9329

TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND MAINTENANCE. REFER TO NDS-51 DIRMOLING INSTALLING AND BRACING, PUBLISHED BY IPT TRUSS INSTITUTE, 543 O'DONOVAN DR., SUITE 203, MADISON, WI. 53719 FOR SAFETY PRACTICES WHEN PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORDS SHALL HAVE ATTACHED STRUCTURAL PANELS AND BOTTOM CHORDS SHALL HAVE A PROPERLY ATTACHED RIGID BRACING. FABRICATOR MUST FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN COMPLIANCE WITH IPT OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION AND IPT. ALPINE CONNECTORS ARE MADE OF 3069 ASTM A553 GRADE S45C STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS ISD #2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER AS/ATP 1-1995 SECTION 2.

John E. Weber P.E.
 Certificate # 17455
 2900 Industrial 33rd
 Fort Pierce, FL
 34946

REV. 7.02.0527.09	SEQ = 28938	SCALE = 0.5000
TC LL 40.0psf	REF	
TC DL 20.0psf	DATE 01-14-2005	
BC DL 5.0psf	CRVG	
BC LL 0.0psf	JRH	
TOT.LD. 65.0psf	O/A LEN. 110700	
DUR.FAC. 1.00		
SPACING 24.0"	TYPE Plot	

QTY = 2 TOTAL = 2

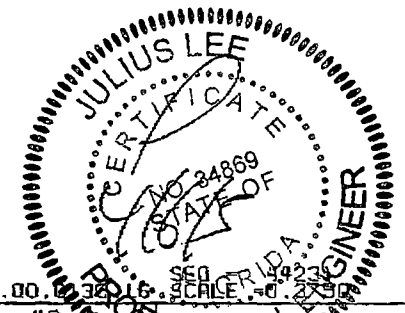
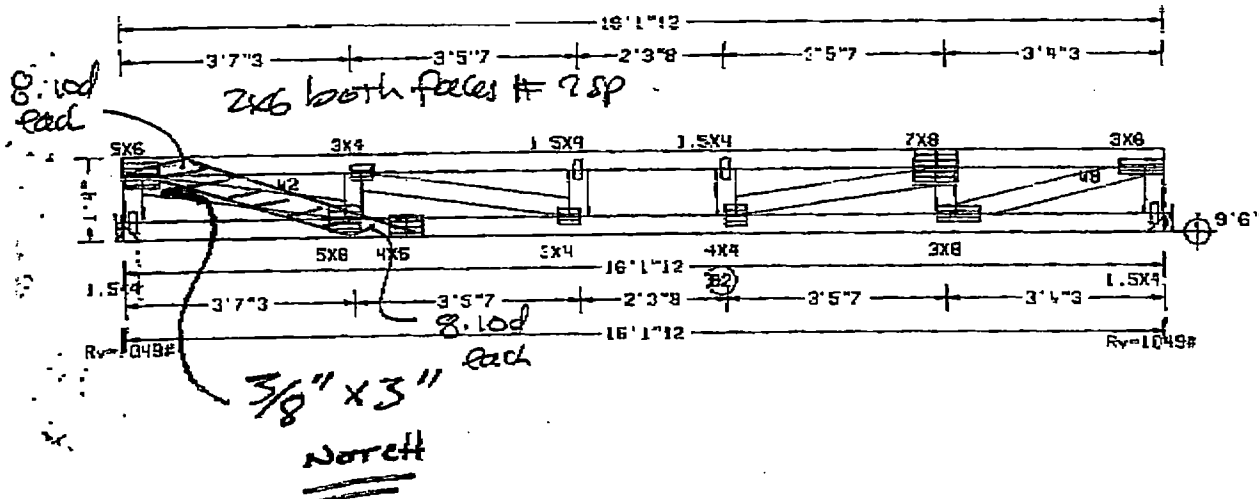
FT3_RP / TP11995 (STD)

Top chord 2x4 SP #2
 Bot chord 2x4 SP #2
 Webs 2x4 SP #3

#B2 2x4 SP SS Denee:
 #V2, #V9 2x4 SP #2:

Deflection meets L/480 live and L/360 total load.

Truss must be installed as shown with top chord up.



DESC. - FT2
 P.L.T. TYP. - WAVE

FBC/TP 1995 (STG)

QTY = 21 TOTAL = 21

REV. 7.00.16.30.16 SCALE = 1/8\"/>

TRUSS CORP.
 2948 Industrial Blvd
 Fort Pierce, FL 34946
 Phone: (772) 466-3388
 Fax: (772) 466-9329

WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATING, LIFTING, SHIPING, INSTALLING AND BRACING. REFER TO H10-91 (FABRICATING, INSTALLING AND BRACING) PUBLISHED BY TPI TRUSS PLATE INSTITUTE, SEE D'AMICO DR. SITE 200, PROVISION, WI, 53750 FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SPALLS HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SPALLS HAVE A PROPERLY ATTACHED RISER CEILING. **OWNER MUST FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY OBSERVATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH TPI OR FABRICATING, LIFTING, SHIPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AIA NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION AND TPI. ALPINE CONNECTORS ARE MADE OF 2008 A317 235 BRND GRAY STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 150 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER AIA/TP1 CLASS SECTION 2.

John C. Heber P.E.
 Certificate # 17455
 2900 Industrial Blvd
 Fort Pierce, FL
 34946

TC LL	40.0psf
TC CL	20.0psf
BC DL	5.0psf
BC L	0.0psf
TOT. D.	65.0psf
JUR. FAC.	1.00
SPACING	24.0"

PROFESSIONAL ENGINEER
 JULIUS LEE
 No. 284869
 STATE OF FLORIDA
 19-2005
 NW
 O/A LEN. 160112
 TYPE Plot

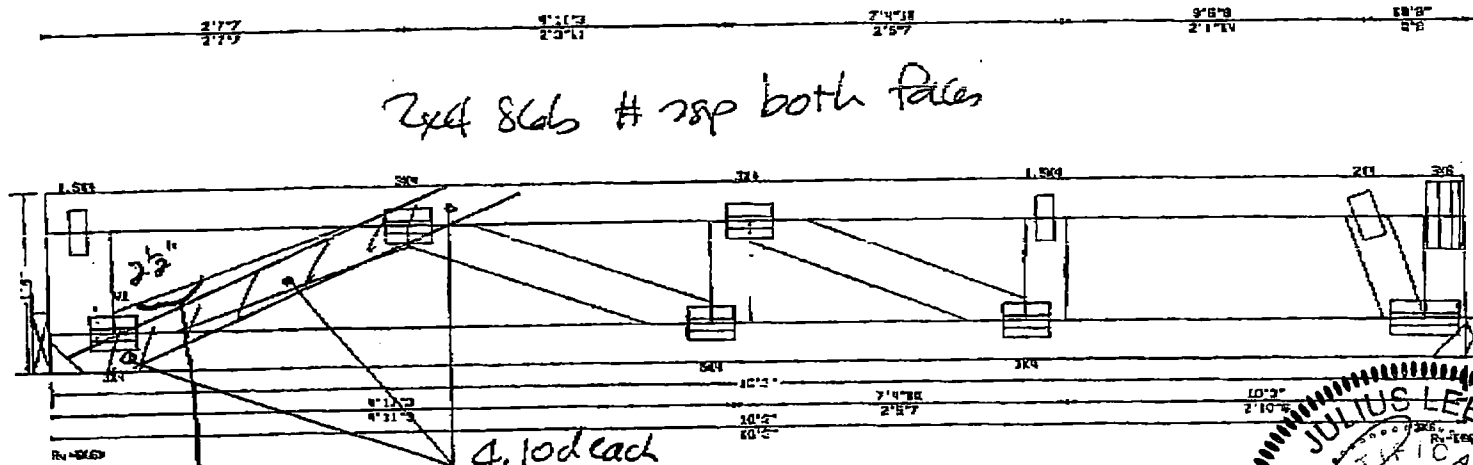
P. 03/07

Job: 140357F1 DOUG SPYMONS CONST / LOT 6 / FTS

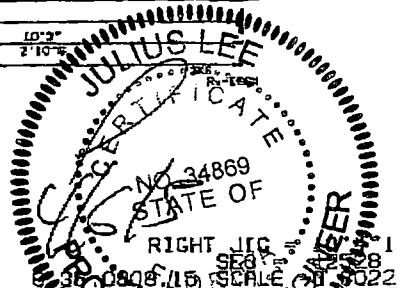
Top chord 2x4 SP #2 Oarsp
Bot chord 2x4 SP #5 Oarsp
webs 2x4 SP #3 :W 2x6 SP #2:

THIS DWG. PREPARED BY THE ALPINE JOB DESIGNER PROGRAM FROM TRUSS MFR'S LAYOUT

Deflection meets L/460 Live and L/360 total load.
Truss must be installed as shown with top chord up.



notch
3/4" Deepest Point



REF JIG = 10'-4"1
ESC = TIS
TYP. WAVE

FBC/TPI 1995 (STD)

QTY = 2 TOTAL = 2

REV. 03-08-05 (15) SCALE 1/8" = 1'-0" DATE 04-06-2005

J TRUSS CORP.

2940 Industrial 33rd
Ft. Pierce, FL 34946
Phone: (772) 466-3388
Fax: (772) 466-9329

WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO IBC-01 CHORDING (INSTALLING AND BRACING), PUBLISHED BY THE TRUSS MANUFACTURERS ASSOCIATION (TMA) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORDS SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORDS SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. IMPORTANTS: FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. TRUSS ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSSES IN CONFORMANCE WITH IPTI OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF MOST NATIONAL DESIGN SPECIFICATION PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION AND IPTI. ALPINE CONNECTORS ARE MADE OF 2024 T3 ALUMINUM AND GALV. STEEL EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 160 A-2. THE SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY PARTICULAR BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER AISI/TPI 1-1995 SECTION 2.

John C. Weber P.E.
Cert. No. 17455
2800 Industrial 33rd
Ft. Pierce, FL
34946

TC LL	5.0psf
TC DL	0.0psf
BC DL	5.0psf
BC LL	0.0psf
TOT. LD.	65.0psf
OUR. FAC.	1.00
SPACING	24.0"

REF. ENG. NO.	1
DATE	04-06-2005
NAME	JC
OR/A LEN.	160904
TYPE	Flat

APR-06-2005 WED 09:08 AM

04/06/2005 WED 09:54 FAX 772 400 9028 FT LAUDERDALE CO FL 34601

KSM

KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.

MARTIN (772) 337-7755
 PALM BEACH (561) 845-7445
 FAX (561) 845-8876

P.O. BOX 78-1377, SEBASTIAN, FL 32978-1377

C.A.: 5693 P.E.: 37293 S.I.: 860

SEBASTIAN (772) 589-0712
 MELBOURNE (321) 768-8488
 ST. LUCIE (772) 229-9093
 FAX (772) 589-8469

SOIL COMPACTION REPORT ASTM D 1557 and ASTM D 2922

DATE TESTED : June 3, 2005

JOB # : 505133-1pd/JL/clm

PERMIT # : 7510

CONTRACTOR : South Florida Custom Pools

JOB LOCATION : 163 S. Sewalls Point Road
 Lot 6, Margarita S/D
 Sewalls Point, Florida

PLEASE FILE

ITEM TESTED : Pool Deck Backfill

	TEST LOCATION OF SAMPLE	DEPTH	* PEN READ	DRY DENSITY	MAX. DRY PROCTOR VALUE	PERCENT COMPACTION
1	South	0' - 1'	170	102.6	105.5	97.3
2		1' - 2'	200+			95.0+
3		2' - 3'	180			95.0+
4						
5	North	0' - 1'	175	103.0	105.5	97.6
6		1' - 2'	200+			95.0+
7		2' - 3'	185			95.0+
8						
9	West	0' - 1'	170	102.4	105.5	97.1
10		1' - 2'	200+			95.0+
11		2' - 3'	180			95.0+
12						

Soil Description:
 Brown Fine Sand

In Place Moisture:
 11.2 Percent

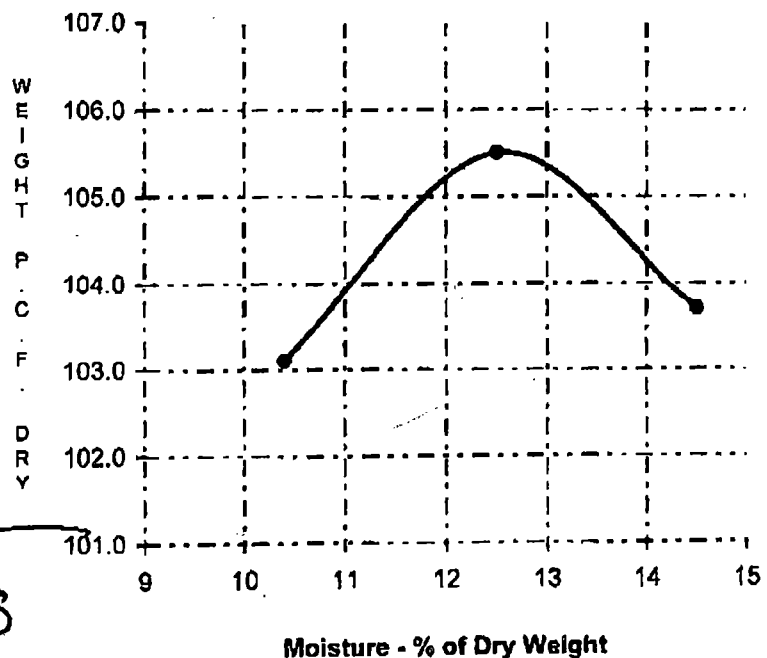
Optimum Moisture:
 12.5 Percent

Max. Dry Density:
 105.5 P.C.F.

@ Test Locations the Density & Penetrometer Readings Indicate the Degree of Compaction Meets Minimum Required.

* Pen. Readings Taken to Natural Grade.

Respectfully Submitted



Ronald G. Keller, P.E.

6-6-05

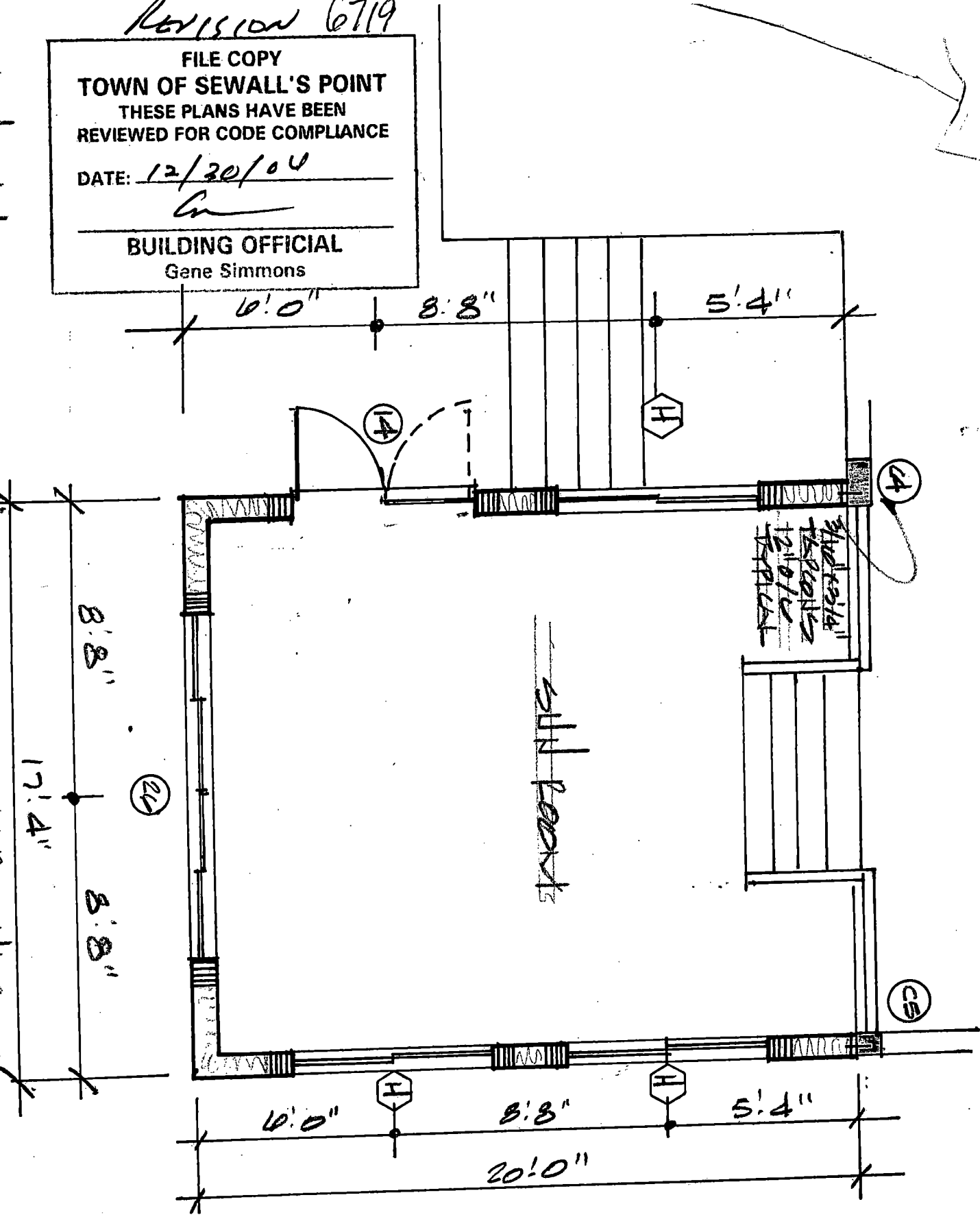
Fax To: 772-286-2690

Sewalls Point Bldg Dept 772-220-4765

Revision 6719

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 12/30/04
[Signature]
BUILDING OFFICIAL
Gene Simmons

DOUBLE SIDED CEILING JOIST BRACKET
1/2" x 2" x 8" x 10'
8/25/04



JOSEPH P. McCARTY, ARCHITECT, Inc.
900 EAST OSCEOLA STREET 287-6735
STUART 12/27/04 FLORIDA
Professional Number 9639

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: LOT 6 MARGUERITA S-D Address: City, State: Owner: ADVANTAGE AIR CONDITIONING Climate Zone: South	Builder: Permitting Office: Permit Number: Jurisdiction Number:
---	--

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 3 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 4450 ft² <input type="checkbox"/></p> <p>7. Glass area & type Single Pane <input type="checkbox"/> Double Pane <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear glass, default U-factor 0.0 ft² <input type="checkbox"/> 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Default tint 896.7 ft² <input type="checkbox"/> 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Labeled U or SHGC 0.0 ft² <input type="checkbox"/> 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Raised Wood, Adjacent ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Frame, Wood, Exterior R=19.0, 1424.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Concrete, Int Insul, Exterior R=4.1, 1849.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=19.0, 2440.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Garage Sup. R=6.0, 250.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Sup: Unc. Ret: Unc. AH: Attic Sup. R=6.0, 200.0 ft <input type="checkbox"/></p>	<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 60.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Central Unit Cap: 48.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 34.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Electric Strip Cap: 34.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/> EF: 0.92 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/> (HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits MZ-C, PT, CF, <input type="checkbox"/> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
--	--

Glass/Floor Area: 0.20	Total as-built points: 59809 Total base points: 60456	PASS
------------------------	--	------

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*


DATE: 1/15/2004

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: *[Signature]*

DATE: 1/15/04

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
----------------	-----------

BASE				AS-BUILT								
GLASS TYPES												
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points					
.18	4450.0	32.50	26032.5	Single, Tint	W	0.0	0.0	72.0	58.39	1.00	4204.4	
				Single, Tint	W	0.0	0.0	4.0	58.39	1.00	233.6	
				Single, Tint	W	0.0	0.0	24.0	58.39	1.00	1401.5	
				Single, Tint	E	16.0	4.0	12.0	65.40	0.36	283.9	
				Single, Tint	N	0.0	0.0	72.0	29.33	1.00	2111.7	
				Single, Tint	E	16.0	10.0	40.0	65.40	0.43	1128.1	
				Single, Tint	E	16.0	3.0	12.0	65.40	0.36	283.9	
				Single, Tint	N	20.0	10.0	42.0	29.33	0.64	782.6	
				Single, Tint	N	0.0	0.0	5.0	29.33	1.00	146.6	
				Single, Tint	E	0.0	0.0	16.0	65.40	1.00	1046.4	
				Single, Tint	NE	0.0	0.0	10.0	45.70	1.00	457.0	
				Single, Tint	SE	0.0	0.0	10.0	66.34	1.00	663.4	
				Single, Tint	E	0.0	0.0	20.0	65.40	1.00	1308.0	
				Single, Tint	S	10.0	7.0	36.0	55.34	0.48	947.6	
				Single, Tint	S	10.0	10.0	21.0	55.34	0.52	606.1	
				Single, Tint	S	10.0	2.0	16.0	55.34	0.43	379.0	
				Single, Tint	S	10.0	10.0	224.0	55.34	0.52	6465.4	
				Single, Tint	S	10.0	2.0	6.7	55.34	0.43	157.9	
				Single, Tint	N	1.0	6.0	25.0	29.33	0.98	715.6	
				Single, Tint	N	1.0	3.0	10.0	29.33	0.90	264.9	
				Single, Tint	N	1.0	3.6	20.0	29.33	0.93	544.4	
				Single, Tint	W	1.0	6.0	25.0	58.39	0.97	1417.9	
				Single, Tint	E	1.0	6.0	50.0	65.40	0.97	3173.5	
				Single, Tint	E	1.0	3.6	10.0	65.40	0.90	587.5	
				Single, Tint	S	10.0	7.0	72.0	55.34	0.48	1895.2	
				Single, Tint	S	10.0	9.0	42.0	55.34	0.50	1172.3	
				As-Built Total:					896.7			32378.4
WALL TYPES				Area X BSPM = Points		Type		R-Value		Area X SPM = Points		
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior		19.0	1424.0	1.60		2278.4		
Exterior	3273.0	2.70	8837.1	Concrete, Int Insul, Exterior		4.1	1849.0	2.32		4280.4		
Base Total:	3273.0		8837.1	As-Built Total:		3273.0				6558.8		
DOOR TYPES				Area X BSPM = Points		Type		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	Exterior Insulated		21.0		6.40		134.4		
Exterior	42.0	6.40	268.8	Exterior Insulated		21.0		6.40		134.4		
Base Total:	42.0		268.8	As-Built Total:		42.0				268.8		

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
----------------	-----------

BASE	AS-BUILT
CEILING TYPES Area X BSPM = Points	Type R-Value Area X SPM X SCM = Points
Under Attic 2440.0 2.80 6832.0	Under Attic 19.0 2440.0 3.72 X 1.00 9076.8
Base Total: 2440.0 6832.0	As-Built Total: 2440.0 9076.8
FLOOR TYPES Area X BSPM = Points	Type R-Value Area X SPM = Points
Slab 0.0(p) 0.0 0.0	Raised Wood, Adjacent 19.0 2440.0 0.60 1464.0
Raised 2440.0 -2.16 -5270.4	
Base Total: -5270.4	As-Built Total: 2440.0 1464.0
INFILTRATION Area X BSPM = Points	Area X SPM = Points
4450.0 18.79 83615.5	4450.0 18.79 83615.5
Summer Base Points: 120315.5	Summer As-Built Points: 133362.3
Total Summer X System = Cooling Points Multiplier Points	Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points <small>(DM x DSM x AHU)</small>
120315.5 0.4266 51326.6	133362.3 0.556 (1.073 x 1.165 x 1.00) 0.284 0.857 23367.0 133362.3 0.444 (1.073 x 1.165 x 1.08) 0.284 0.857 18693.6 133362.3 1.00 1.294 0.284 0.857 42060.7

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
----------------	-----------

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	4450.0	2.36	1890.4	Single, Tint	W	0.0	0.0	72.0	5.65	1.00	406.5
				Single, Tint	W	0.0	0.0	4.0	5.65	1.00	22.6
				Single, Tint	W	0.0	0.0	24.0	5.65	1.00	135.5
				Single, Tint	E	16.0	4.0	12.0	5.05	1.29	78.3
				Single, Tint	N	0.0	0.0	72.0	6.11	1.00	440.1
				Single, Tint	E	16.0	10.0	40.0	5.05	1.19	239.9
				Single, Tint	E	16.0	3.0	12.0	5.05	1.29	78.3
				Single, Tint	N	20.0	10.0	42.0	6.11	0.95	244.8
				Single, Tint	N	0.0	0.0	5.0	6.11	1.00	30.6
				Single, Tint	E	0.0	0.0	16.0	5.05	1.00	80.9
				Single, Tint	NE	0.0	0.0	10.0	5.96	1.00	59.6
				Single, Tint	SE	0.0	0.0	10.0	4.57	1.00	45.7
				Single, Tint	E	0.0	0.0	20.0	5.05	1.00	101.1
				Single, Tint	S	10.0	7.0	36.0	4.79	1.40	241.3
				Single, Tint	S	10.0	10.0	21.0	4.79	1.33	133.8
				Single, Tint	S	10.0	2.0	16.0	4.79	1.44	110.7
				Single, Tint	S	10.0	10.0	224.0	4.79	1.33	1427.5
				Single, Tint	S	10.0	2.0	6.7	4.79	1.44	46.1
				Single, Tint	N	1.0	6.0	25.0	6.11	1.00	152.2
				Single, Tint	N	1.0	3.0	10.0	6.11	0.99	60.4
				Single, Tint	N	1.0	3.6	20.0	6.11	0.99	121.1
				Single, Tint	W	1.0	6.0	25.0	5.65	1.00	140.9
				Single, Tint	E	1.0	6.0	50.0	5.05	1.01	256.1
				Single, Tint	E	1.0	3.6	10.0	5.05	1.02	51.7
				Single, Tint	S	10.0	7.0	72.0	4.79	1.40	482.6
				Single, Tint	S	10.0	9.0	42.0	4.79	1.36	273.2
				As-Built Total:				896.7			5461.1
WALL TYPES				Type		R-Value		Area X WPM		= Points	
Area X BWPM = Points											
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior		19.0		1424.0		0.30 427.2	
Exterior	3273.0	0.60	1963.8	Concrete, Int Insul, Exterior		4.1		1849.0		1.03 1913.7	
Base Total:	3273.0		1963.8	As-Built Total:				3273.0		2340.9	
DOOR TYPES				Type		Area X WPM		= Points			
Area X BWPM = Points											
Adjacent	0.0	0.00	0.0	Exterior Insulated		21.0		1.80		37.8	
Exterior	42.0	1.80	75.6	Exterior Insulated		21.0		1.80		37.8	
Base Total:	42.0		75.6	As-Built Total:		42.0				75.6	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
----------------	-----------

BASE	AS-BUILT
CEILING TYPES Area X BWPM = Points	Type R-Value Area X WPM X WCM = Points
Under Attic 2440.0 0.10 244.0	Under Attic 19.0 2440.0 0.14 X 1.00 341.6
Base Total: 2440.0 244.0	As-Built Total: 2440.0 341.6
FLOOR TYPES Area X BWPM = Points	Type R-Value Area X WPM = Points
Slab 0.0(p) 0.0 0.0	Raised Wood, Adjacent 19.0 2440.0 0.30 732.0
Raised 2440.0 -0.28 -683.2	
Base Total: -683.2	As-Built Total: 2440.0 732.0
INFILTRATION Area X BWPM = Points	Area X WPM = Points
4450.0 -0.06 -267.0	4450.0 -0.06 -267.0
Winter Base Points: 3223.6	Winter As-Built Points: 8684.2
Total Winter X System = Heating Points Multiplier Points	Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points (DM x DSM x AHU)
	8684.2 0.500 (1.099 x 1.137 x 1.00) 1.000 0.950 5475.2
	8684.2 0.500 (1.099 x 1.137 x 1.14) 1.000 0.950 5475.2
3223.6 0.6274 2022.5	8684.2 1.00 1.327 1.000 0.950 10950.3

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,	PERMIT #:
----------------	-----------

BASE	AS-BUILT
WATER HEATING	
Number of Bedrooms X Multiplier = Total	Tank Volume EF Number of Bedrooms X Tank Ratio X Multiplier X Credit = Total Multiplier
3 2369.00 7107.0	50.0 0.92 3 1.00 2266.00 1.00 6798.0
	As-Built Total: 6798.0

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
51327		2022		7107		60456	42061 10950 6798 59809

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 84.4

The higher the score, the more efficient the home.

ADVANTAGE AIR CONDITIONING, . . .

<p>1. New construction or existing New <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 3 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 4450 ft² <input type="checkbox"/></p> <p>7. Glass area & type Single Pane <input type="checkbox"/> Double Pane <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Clear - single pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Clear - double pane 896.7 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Tint/other SHGC - single pane 0.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">d. Tint/other SHGC - double pane 0.0 ft² <input type="checkbox"/></p> <p>8. Floor types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Raised Wood, Adjacent R=19.0, 2440.0ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Frame, Wood, Exterior R=19.0, 1424.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Concrete, Int Insul, Exterior R=4.1, 1849.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Under Attic R=19.0, 2440.0 ft² <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Garage Sup. R=6.0, 250.0 ft <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Sup: Unc. Ret: Unc. AH: Attic Sup. R=6.0, 200.0 ft <input type="checkbox"/></p>	<p>12. Cooling systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Central Unit Cap: 60.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Central Unit Cap: 48.0 kBtu/hr <input type="checkbox"/> SEER: 12.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Strip Cap: 34.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Electric Strip Cap: 34.0 kBtu/hr <input type="checkbox"/> COP: 1.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems <input type="checkbox"/></p> <p style="margin-left: 20px;">a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/> EF: 0.92 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/> (HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits MZ-C, PT, CF, <input type="checkbox"/> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>
---	--

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

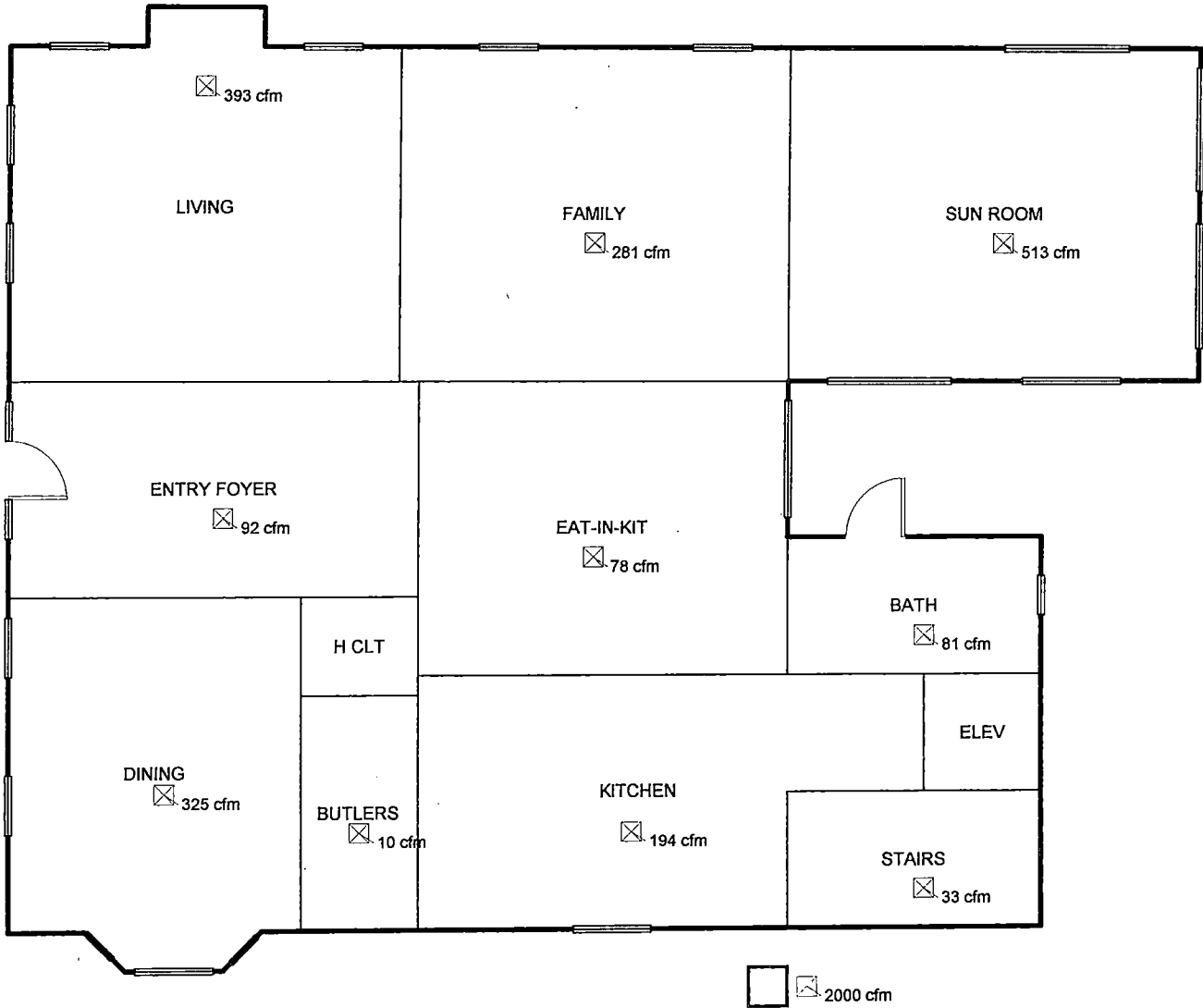
Address of New Home: _____

City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

Sheet 1

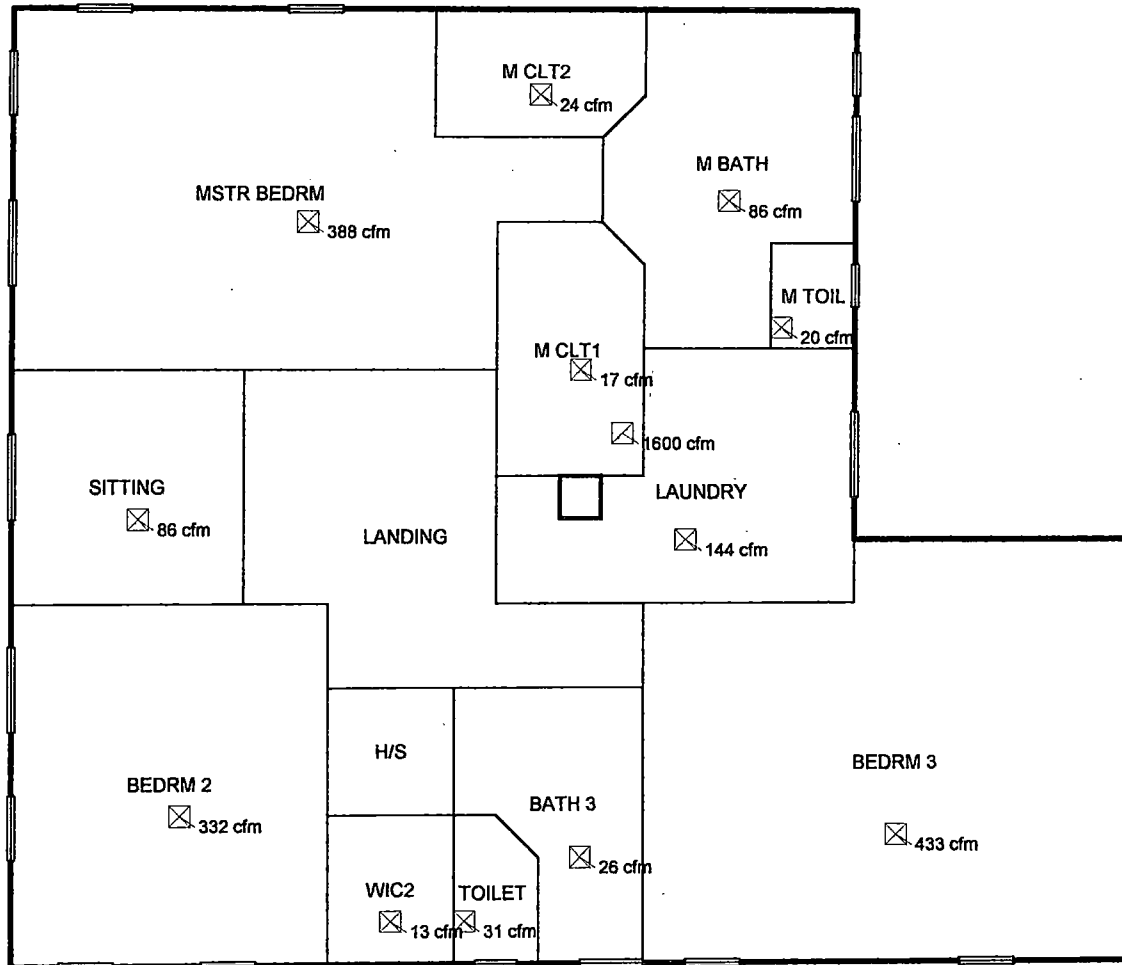


Job #: **ADVANTAGE**
Performed by **WG** for:
LOT 6 MARGUERITA S/D
STUART, FL

LOT 6 MAGRUERITA S/D
WWW ENTERPRISES & SON INC
FT. PIERCE, FL 34945
Phone: 772-465-9373 Fax: 772-465-7732

Scale: 1 : 109
Page 1
Right-Suite Residential J8
5.8.20 RSR27995
2004-Jan-14 14:09:43
C:\My Documents\LOT6 MARGUE...

SECOND FLOOR



Job #: ADVANTAGE
Performed by WG for:
 LOT 6 MARGUERITA S/D
 STUART, FL

LOT 6 MAGRUERITA S/D
 WWW ENTERPRISES & SON INC
 FT. PIERCE, FL 34945
 Phone: 772-465-9373 Fax: 772-465-7732

Scale: 1 : 109
 Page 2
 Right-Suite Residential J8
 5.8.20 RSR27995
 2004-Jan-14 14:09:43
 C:\My Documents\LOT6 MARGUE...



Project Summary
UNIT ONE
LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
 Date: 1/9/2004
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

Project Information

For: LOT 6 MARGUERITA S/D
 STUART, FL

Notes:

Design Information

Weather: West Palm Beach, FL , US

Winter Design Conditions

Outside db 45 °F
 Inside db 70 °F
 Design TD 25 °F

Summer Design Conditions

Outside db 90 °F
 Inside db 75 °F
 Design TD 15 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 59 gr/lb

Heating Summary

Building heat loss 29790 Btuh
 Ventilation air 57 cfm
 Ventilation air loss 1568 Btuh
 Design heat load 31358 Btuh

Sensible Cooling Equipment Load Sizing

Structure 39950 Btuh
 Ventilation 941 Btuh
 Design temperature swing 3.0 °F
 Use mfg. data y
 Rate/swing multiplier 1.00
 Total sens. equip. load 40891 Btuh

Infiltration

Method Simplified
 Construction quality Average
 Fireplaces 0

	Heating	Cooling
Area (ft²)	2443	2443
Volume (ft³)	23453	23453
Air changes/hour	0.46	0.20
Equiv. AVF (cfm)	179	80

Latent Cooling Equipment Load Sizing

Internal gains 0 Btuh
 Ventilation 2281 Btuh
 Infiltration 3189 Btuh
 Total latent equip. load 6305 Btuh
 Total equipment load 47196 Btuh
 Req. total capacity at 0.70 SHR 4.9 ton

Heating Equipment Summary

Make n/a
 Trade n/a
 Efficiency 100 EFF
 Heating input 0 Btuh
 Heating output 31358 Btuh
 Heating temp rise 0 °F
 Actual heating fan 0 cfm
 Heating air flow factor 0.000 cfm/Btuh
 Space thermostat

Cooling Equipment Summary

Make
 Trade
 Efficiency 0 EER
 Sensible cooling 0 Btuh
 Latent cooling 0 Btuh
 Total cooling 0 Btuh
 Actual cooling fan 2000 cfm
 Cooling air flow factor 0.050 cfm/Btuh
 Load sensible heat ratio 87 %

Bold/italic values have been manually overridden

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT ONE LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		UNIT ONE 243.6 ft						LIVING 41.0 ft						
2 Exposed wall		9.6 ft						9.6 ft						
3 Ceiling height		p						heat/cool						
4 Room dimensions		2443.0 ft ²						1.0 x 352.0 ft						
5 Room area		2443.0 ft ²						352.0 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² -F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4occs	0.143	n	3.58	2.14	451	324	1159	693	19	19	69	41
	G	10A-b	0.970	n	24.25	23.80	42	0	1019	999	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	36.03	85	0	2401	3062	0	0	0	0
	W	13A-4occs	0.143	ne	3.58	1.21	27	18	63	21	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	10	0	271	598	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4occs	0.143	e	3.58	1.41	672	583	2085	822	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	36	0	1017	3308	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	40	40	1130	1441	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	13	13	358	456	0	0	0	0
	W	13A-4occs	0.143	se	3.58	2.04	27	18	63	36	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	10	0	271	783	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4occs	0.143	s	3.58	1.49	451	322	1153	482	182	143	509	213
	G	1B-h1fm	1.130	s	28.25	52.30	28	28	791	1009	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	42	42	1019	999	21	21	509	500
	G	1B-h1fm	1.130	s	28.25	52.30	38	0	1068	1977	19	0	534	989
	D	11N0	0.350	s	8.75	11.46	21	21	184	241	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4occs	0.143	w	3.58	3.65	710	601	2149	2196	192	154	551	563
	G	1B-h1fm	1.130	w	28.25	101.11	88	0	2494	8924	38	0	1068	3822
	D	11N0	0.350	w	8.75	20.28	21	21	184	426	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	383	383	469	1003	12	12	15	31
	F	20P-19c	0.050	-	1.25	0.67	2443	244	3054	1643	352	41	440	237
Envelope loss/gain									22399	31121			3695	6396
12	a) Infiltration								4931	1315			630	221
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0					0	0			0
			Appliances @	1200	1					1200	0			0
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								0	0			0	0
14	Subtotal								27330	33636			4525	6617
15	Duct loads				9%	19%			2460	6314	9%	19%	407	1242
Total room load									29790	39950			4932	7859
Air required (cfm)									0	2000			0	393

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet
UNIT ONE
LOT 6 MAGRUERITA S/D

Job: **ADVANTAGE**
 Date: **1/9/2004**
 By: **WG**

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				BATH		ELEV								
2 Exposed wall				20.0 ft		6.0 ft								
3 Ceiling height				9.6 ft		9.6 ft								
4 Room dimensions				13.0 x 7.0 ft		13.0 x 7.0 ft								
5 Room area				91.0 ft ²		36.0 ft ²								
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	67	62	222	133	58	58	206	123
	-G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	-G	1B-h1fm	1.130	n	28.25	36.03	5	0	147	187	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	-G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	-G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	-D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	-G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	125	104	371	379	0	0	0	0
	-G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	-D	11N0	0.350	w	8.75	20.28	21	21	184	426	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	0	0	0	0	0	0	0	0
	F	20P-19c	0.050	-	1.25	0.67	91	20	114	61	36	6	45	24
Envelope loss/gain									1037	1186			251	147
12	a) Infiltration								405	108			121	32
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0				0	0	0		0	0
			Appliances @	1200	0				0	0	0		0	0
	Less external load				0				0	0			0	0
	Less transfer				0				0	0			0	0
	Redistribution				124				60				-372	-180
14	Subtotal				1566				1354				0	0
15	Duct loads				9%	19%			141	254			9%	19%
Total room load									1707	1608			0	0
Air required (cfm)									0	81			0	0

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT ONE LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				STAIRS				KITCHEN						
2 Exposed wall				20.0 ft				19.0 ft						
3 Ceiling height				9.6 ft heat/cool				9.6 ft heat/cool						
4 Room dimensions				13.0 x 7.0 ft				1.0 x 289.0 ft						
5 Room area				91.0 ft ²				289.0 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² -°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	67	67	240	144	0	0	0	0
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	125	125	446	176	182	166	595	234
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	16	0	452	1470
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	0	0	0	0	0	0	0	0
	F	20P-19c	0.050	-	1.25	0.67	91	20	114	61	289	19	361	194
Envelope loss/gain									800	381			1408	1899
12	a) Infiltration								405	108			385	103
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0	0	0	0	0	0	0	0	0	0
			Appliances @	1200	0	0	0	0	0	0	1	0	0	1200
	Less external load				0	0	0	0	0	0			0	0
	Less transfer				0	0	0	0	0	0			0	0
	Redistribution				124	60							126	61
14	Subtotal				1329	548							1918	3263
15	Duct loads				9%	19%			120	103	9%	19%	173	612
Total room load									1449	651			2091	3875
Air required (cfm)									0	33			0	194

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT ONE LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				EAT-IN-KIT				BUTLERS						
2 Exposed wall				8.0 ft				6.0 ft						
3 Ceiling height				9.6 ft				9.6 ft						
4 Room dimensions				19.0 x 15.0 ft				6.0 x 12.0 ft						
5 Room area				285.0 ft ²				72.0 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² -°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	77	35	124	74	0	0	0	0
	W	10A-b	0.970	n	24.25	23.80	42	0	1019	999	0	0	0	0
11	W	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	58	58	206	81
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	W	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-18ad	0.049	-	1.23	2.62	0	0	0	0	0	0	0	0
	F	20P-19c	0.050	-	1.25	0.67	285	8	356	192	72	6	90	48
Envelope loss/gain									1499	1266			296	130
12	a) Infiltration								162	43			121	32
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0	0	0	0	0	0	0	0	0	0
			Appliances @	1200	0	0	0	0	0	0	0	0	0	0
	Less external load				0	0			0	0			0	0
	Less transfer				0	0			0	0			0	0
	Redistribution				7	4			7	4			10	6
14	Subtotal				1668	1312			1668	1312			428	167
15	Duct loads				150	246	9%	19%	150	246	9%	19%	38	31
Total room load									1818	1559			466	199
Air required (cfm)									0	78			0	10

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT ONE LOT 6 MAGRUITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				DINING				H CLT						
2 Exposed wall				33.6 ft				0.0 ft						
3 Ceiling height				9.6 ft 1.0 x 269.0 ft				9.6 ft 6.0 x 5.0 ft						
4 Room dimensions				269.0 ft ²				30.0 ft ²						
5 Room area														
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	27	18	63	21	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	10	0	271	598	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	106	86	306	121	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	20	0	565	1838	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	27	18	63	36	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	10	0	271	783	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	163	123	441	184	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	21	21	509	500	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	19	0	534	989	0	0	0	0
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	14	14	17	37	0	0	0	0
	F	20P-19c	0.050	-	1.25	0.67	269	34	336	181	30	0	38	20
Envelope loss/gain									3375	5287			38	20
12	a) Infiltration								681	182			0	0
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0				0	0	0		0	0
			Appliances @	1200	0				0	0	0		0	0
	Less external load				0				0	0			0	0
	Less transfer				0				0	0			0	0
	Redistribution				9				5				-38	-20
14	Subtotal				4065				5473				0	0
15	Duct loads				9%	19%			366	1027	9%	19%	0	0
Total room load									4431	6500			0	0
Air required (cfm)									0	325			0	0

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT ONE LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		ENTRY FOYER												
2 Exposed wall		11.0 ft												
3 Ceiling height		9.6 ft heat/cool												
4 Room dimensions		21.0 x 11.0 ft												
5 Room area		231.0 ft ²												
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area or perimeter		Load	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0				
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0				
	W	13A-4occs	0.143	n	3.58	2.14	0	0	0	0				
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0				
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0				
	W	13A-4occs	0.143	ne	3.58	1.21	0	0	0	0				
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0				
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	W	13A-4occs	0.143	e	3.58	1.41	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	W	13A-4occs	0.143	se	3.58	2.04	0	0	0	0				
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0				
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0				
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0				
	W	13A-4occs	0.143	s	3.58	1.49	106	57	202	85				
	G	1B-h1fm	1.130	s	28.25	52.30	28	28	791	1009				
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0				
	D	11N0	0.350	s	8.75	11.46	21	21	184	241				
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0				
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0				
	W	13A-4occs	0.143	w	3.58	3.65	0	0	0	0				
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0				
	D	11N0	0.350	w	8.75	20.28	0	0	0	0				
	C	16B-19ad	0.049	-	1.23	2.62	0	0	0	0				
	F	20P-19c	0.050	-	1.25	0.67	231	11	289	155				
Envelope loss/gain									1466	1489				
12	a) Infiltration								223	59				
	b) Ventilation								0	0				
13	Internal gains:		Occupants @	230					0	0				
			Appliances @	1200					0	0				
	Less external load								0	0				
	Less transfer								0	0				
	Redistribution								10	6				
14	Subtotal								1699	1554				
15	Duct loads								9%	19%	153	292		
Total room load									1852	1846				
Air required (cfm)									0	92				

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Project Summary
UNIT TWO
LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
 Date: 1/9/2004
 By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

Project Information

For: LOT 6 MARGUERITA S/D
 STUART, FL

Notes:

Design Information

Weather: West Palm Beach, FL , US

Winter Design Conditions

Outside db 45 °F
 Inside db 70 °F
 Design TD 25 °F

Summer Design Conditions

Outside db 90 °F
 Inside db 75 °F
 Design TD 15 °F
 Daily range L
 Relative humidity 50 %
 Moisture difference 59 gr/lb

Heating Summary

Building heat loss 16592 Btuh
 Ventilation air 83 cfm
 Ventilation air loss 2268 Btuh
 Design heat load 18860 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft ²)	2060	2060
Volume (ft ³)	17716	17716
Air changes/hour	0.44	0.19
Equiv. AVF (cfm)	129	57

Sensible Cooling Equipment Load Sizing

Structure 29002 Btuh
 Ventilation 1361 Btuh
 Design temperature swing 3.0 °F
 Use mfg. data y
 Rate/swing multiplier 1.00
 Total sens. equip. load 30362 Btuh

Latent Cooling Equipment Load Sizing

Internal gains 1400 Btuh
 Ventilation 3299 Btuh
 Infiltration 2298 Btuh
 Total latent equip. load 7712 Btuh
 Total equipment load 38075 Btuh
 Req. total capacity at 0.70 SHR 3.6 ton

Heating Equipment Summary

Make n/a
 Trade n/a

Efficiency	100 EFF
Heating input	0 Btuh
Heating output	18860 Btuh
Heating temp rise	0 °F
Actual heating fan	0 cfm
Heating air flow factor	0.000 cfm/Btuh

Space thermostat

Cooling Equipment Summary

Make
 Trade

Efficiency	0 EER
Sensible cooling	0 Btuh
Latent cooling	0 Btuh
Total cooling	0 Btuh
Actual cooling fan	1600 cfm
Cooling air flow factor	0.055 cfm/Btuh

Load sensible heat ratio 80 %

Bold/italic values have been manually overridden

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT TWO LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name		UNIT TWO						MSTR BEDRM						
2 Exposed wall		196.0 ft						37.0 ft						
3 Ceiling height		8.6 ft						8.6 ft						
4 Room dimensions		p						1.0 x 393.0 ft						
5 Room area		2060.0 ft ²						393.0 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² -°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	387	329	560	368	0	0	0	0
	W	1B-h1fm	1.130	n	28.25	36.03	58	0	1630	2079	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	W	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	W	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	456	388	680	281	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	68	0	1914	6228	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	387	297	505	249	146	109	186	92
	W	10A-b	0.970	s	24.25	35.41	42	42	1019	999	21	21	509	500
	W	1B-h1fm	1.130	s	28.25	52.30	48	48	1356	1729	16	16	452	576
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	456	428	728	881	172	145	246	297
	W	1B-h1fm	1.130	w	28.25	101.11	27	0	774	2769	27	0	774	2769
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	2060	2060	2524	5395	393	393	481	1029
	F	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0
Envelope loss/gain									11669	20979			2648	5263
12	a) Infiltration								3554	948			671	179
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230		7				1610	2			460
			Appliances @	1200		1				1200	0			0
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								-0	-0			46	97
14	Subtotal								15222	24737			3364	6000
15	Duct loads					9%	17%		1370	4265	9%	17%	303	1034
Total room load									16592	29002			3667	7034
Air required (cfm)									0	1600			0	388

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT TWO LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				LANDING				SITTING						
2 Exposed wall				0.0 ft				11.0 ft						
3 Ceiling height				8.6 ft				8.6 ft						
4 Room dimensions				1.0 x 192.0 ft				11.0 x 11.0 ft						
5 Room area				192.0 ft ²				121.0 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² -°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	W	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	W	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	95	79	134	66
	W	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	16	16	452	576
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	192	192	235	503	121	121	148	317
	F	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0
Envelope loss/gain									235	503			734	959
12	a)	Infiltration							0	0			199	53
	b)	Ventilation							0	0			0	0
13	Internal gains:		Occupants @	230	0	0	0	0	0	0	1	0	230	0
			Appliances @	1200	0	0	0	0	0	0	0	0	0	0
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								-235	-503			42	89
14	Subtotal								0	0	9%	17%	975	1332
15	Duct loads								0	0	9%	17%	88	230
Total room load									0	0			1063	1561
Air required (cfm)									0	0			0	86

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT TWO LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				BEDRM 2 32.0 ft				WIC2 6.0 ft						
2 Exposed wall				8.6 ft heat/cool				8.6 ft heat/cool						
3 Ceiling height				15.0 x 17.0 ft				6.0 x 7.0 ft						
4 Room dimensions														
5 Room area				255.0 ft ²				42.0 ft ²						
6	Ty	Construction number	U-value (Btuh/R ² ·°F)	Or	HTM (Btuh/R ²)		Area (R ²) or perimeter (ft)		Load (Btuh)		Area (R ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6 11	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
	W	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	129	102	173	74	52	52	88	37
	G	1B-h1fm	1.130	e	28.25	91.90	27	0	774	2517	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	146	109	186	92	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	21	21	509	500	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	16	16	452	576	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0	
G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0	
D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0	
W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0	
G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0	
W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0	
G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0	
D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0	
C	16B-19ad	0.049	-	1.23	2.62	255	255	312	668	42	42	51	110	
F	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0	
Envelope loss/gain								2406	4426			139	147	
12	a) Infiltration							580	155			109	29	
	b) Ventilation							0	0			0	0	
13	Internal gains:	Occupants @	230			2				460	0			
		Appliances @	1200			0				0	0			
	Less external load							0	0			0	0	
	Less transfer							0	0			0	0	
	Redistribution							45	96			15	31	
14	Subtotal							3031	5137			263	208	
15	Duct loads					9%	17%	273	886	9%	17%	24	36	
Total room load								3304	6023			286	244	
Air required (cfm)								0	332			0	13	

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet
UNIT TWO
LOT 6 MAGRUERITA S/D

Job: **ADVANTAGE**
 Date: **1/9/2004**
 By: **WG**

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name						TOILET				BATH 3					
2 Exposed wall						4.0 ft heat/cool				5.0 ft heat/cool					
3 Ceiling height						8.6 ft 1.0 x 26.0 ft				8.6 ft 1.0 x 91.0 ft					
4 Room dimensions						26.0 ft ²				91.0 ft ²					
5 Room area															
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)		
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool	
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0	
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0	
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0	
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0	
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0	
	W	12E-0sw	0.068	e	1.70	0.72	34	30	52	22	43	43	73	31	
	G	1B-h1fm	1.130	e	28.25	91.90	4	0	113	368	0	0	0	0	
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0	
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0	
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0	
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0	
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0	
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0	
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0	
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0	
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0	
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0	
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0	
	C	16B-19ad	0.049	-	1.23	2.62	26	26	32	68	91	91	111	238	
	F	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0	
Envelope loss/gain										197	458	185	269		
12	a) Infiltration								73	19			91	24	
	b) Ventilation								0	0			0	0	
13	Internal gains:		Occupants @	230			0		0	0	0		0	0	
			Appliances @	1200			0		0	0	0		0	0	
	Less external load								0	0			0	0	
	Less transfer								0	0			0	0	
	Redistribution								0	0			49	104	
14	Subtotal								269	477			324	398	
15	Duct loads						9%	17%	24	82	9%	17%	29	69	
Total room load										293	559			353	467
Air required (cfm)										0	31			0	26

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT TWO LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 2 3 4 5	Room name				H/S				BEDRM 3					
	Exposed wall				0.0 ft				56.0 ft					
	Ceiling height				8.6 ft				8.6 ft					
Room dimensions				6.0 x 6.0 ft				1.0 x 430.0 ft						
Room area				36.0 ft ²				430.0 ft ²						
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	0	0	0	0	172	146	247	163
	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	27	0	749	955
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	198	161	274	117
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	36	0	1028	3344
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	112	112	190	230
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	36	36	44	94	430	430	527	1126
	F	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0
Envelope loss/gain										44	94	3015	5934	
12	a) Infiltration												1015	271
	b) Ventilation												0	0
13	Internal gains:		Occupants @	230	0	0	0	0	0	0	2	0	0	460
	Less external load		Appliances @	1200	0	0	0	0	0	0	0	0	0	0
	Less transfer				0	0	0	0	0	0	0	0	0	0
	Redistribution				0	0	0	0	0	0	0	0	15	32
14	Subtotal				0	0	0	0	0	0	0	0	4046	6697
15	Duct loads				9%	17%	0	0	0	0	9%	17%	364	1155
Total room load										0	0	4410	7852	
Air required (cfm)										0	0	0	433	

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT TWO LOT 6 MAGUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				LAUNDRY				M CLT1						
2 Exposed wall				9.0 ft				0.0 ft						
3 Ceiling height				8.6 ft heat/cool				8.6 ft 1.0 x 82.0 ft heat/cool						
4 Room dimensions				162.0 ft ²				82.0 ft ²						
5 Room area														
	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	77	67	114	75	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	36.03	10	0	294	375	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	C	16B-19ad	0.049	-	1.23	2.62	162	162	198	424	82	82	100	215
	F	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0
Envelope loss/gain									606	874			100	215
12	a) Infiltration								163	44			0	0
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230			0				0		0	0
			Appliances @	1200			1				1200		0	0
	Less external load								0	0			0	0
	Less transfer								0	0			0	0
	Redistribution								49	105			19	41
14	Subtotal								819	2223			119	255
15	Duct loads						9%	17%	74	383	9%	17%	11	44
Total room load									892	2806			130	299
Air required (cfm)									0	144			0	17

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet UNIT TWO LOT 6 MAGRUERITA S/D

Job: ADVANTAGE
Date: 1/9/2004
By: WG

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 2 3 4 5	Room name				M BATH				M CLT2					
	Exposed wall				21.0 ft				10.0 ft					
	Ceiling height				8.6 ft				8.6 ft					
Room dimensions				1.0 x 152.0 ft				1.0 x 58.0 ft						
Room area				152.0 ft ²				58.0 ft ²						
6	Ty	Construction number	U-value (Btuh/ft ² ·°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area (ft ²) or perimeter (ft)		Load (Btuh)	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	95	79	134	88	0	0	0	0
	G	1B-h1fm	1.130	n	28.25	36.03	16	0	441	562	0	0	0	0
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0	0	0	0	0
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0	0	0	0	0
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0	0	0	0	0
	D	11N0	0.350	s	8.75	11.46	0	0	0	0	0	0	0	0
	W	12E-0sw	0.068	w	1.70	2.06	86	86	146	177	86	86	146	177
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0	0	0	0	0
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0	0	0	0	0
	D	11N0	0.350	w	8.75	20.28	0	0	0	0	0	0	0	0
	FC	16B-19ad	0.049	-	1.23	2.62	152	152	186	398	58	58	71	152
	FC	20P-19c	0.050	-	1.25	0.67	0	0	0	0	0	0	0	0
Envelope loss/gain									907	1225			217	329
12	a) Infiltration								381	102			181	48
	b) Ventilation								0	0			0	0
13	Internal gains:		Occupants @	230	0				0	0	0		0	0
			Appliances @	1200	0				0	0	0		0	0
	Less external load				0				0	0			0	0
	Less transfer				0				0	0			0	0
	Redistribution				0				0	0			0	0
14	Subtotal				1288				1327				399	377
15	Duct loads				9%	17%			116	229			36	65
Total room load									1404	1556			434	442
Air required (cfm)									0	86			0	24

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



Right-J8 Worksheet
UNIT TWO
LOT 6 MAGRUERITA S/D

Job: **ADVANTAGE**
 Date: **1/9/2004**
 By: **WG**

WWW ENTERPRISES & SON INC, FT. PIERCE, FL 34945 Phone: 772-465-9373 Fax: 772-465-7732

1 Room name				M TOIL										
2 Exposed wall				5.0 ft										
3 Ceiling height				8.6 ft				heat/cool						
4 Room dimensions				20.0 ft ²		4.0 x 5.0 ft								
5 Room area														
	Ty	Construction number	U-value (Btuh/ft ² .°F)	Or	HTM (Btuh/ft ²)		Area (ft ²) or perimeter (ft)		Load (Btuh)		Area or perimeter		Load	
					Heat	Cool	Gross	N/P/S	Heat	Cool	Gross	N/P/S	Heat	Cool
6	W	12E-0sw	0.068	n	1.70	1.12	43	38	64	42				
	G	1B-h1fm	1.130	n	28.25	36.03	5	0	147	187				
	W	13A-4ocs	0.143	n	3.58	2.14	0	0	0	0				
	G	10A-b	0.970	n	24.25	23.80	0	0	0	0				
11	G	1B-h1fm	1.130	n	28.25	36.03	0	0	0	0				
	W	13A-4ocs	0.143	ne	3.58	1.21	0	0	0	0				
	G	1B-h1fm	1.130	ne	28.25	62.37	0	0	0	0				
	W	12E-0sw	0.068	e	1.70	0.72	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	W	13A-4ocs	0.143	e	3.58	1.41	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	G	1B-h1fm	1.130	e	28.25	91.90	0	0	0	0				
	W	13A-4ocs	0.143	se	3.58	2.04	0	0	0	0				
	G	1B-h1fm	1.130	se	28.25	81.72	0	0	0	0				
	W	12E-0sw	0.068	s	1.70	0.84	0	0	0	0				
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0				
	W	13A-4ocs	0.143	s	3.58	1.49	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0				
	G	10A-b	0.970	s	24.25	35.41	0	0	0	0				
	G	1B-h1fm	1.130	s	28.25	52.30	0	0	0	0				
	D	11NO	0.350	s	8.75	11.46	0	0	0	0				
	W	12E-0sw	0.068	w	1.70	2.06	0	0	0	0				
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0				
	W	13A-4ocs	0.143	w	3.58	3.65	0	0	0	0				
	G	1B-h1fm	1.130	w	28.25	101.11	0	0	0	0				
	D	11NO	0.350	w	8.75	20.28	0	0	0	0				
	C	16B-19ad	0.049	-	1.23	2.62	20	20	25	52				
	F	20P-19c	0.050	-	1.25	0.67	0	0	0	0				
Envelope loss/gain									236	282				
12	a) Infiltration								91	24				
	b) Ventilation								0	0				
13	Internal gains:		Occupants @	230			0				0			
			Appliances @	1200			0				0			
	Less external load								0		0			
	Less transfer								0		0			
	Redistribution								0		0			
14	Subtotal								326		306			
15	Duct loads						9%		17%		29		53	
Total room load									356	359				
Air required (cfm)									0	20				

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

PGT Industries
1070 Technology Drive
Nokomis, FL 34275

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:

Series SWD-101 Outswing Aluminum French Door-Impact

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0417.04
EXPIRES: 11/22/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 09/06/2001



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**PGT Industries
P.O. Box 1529
Nokomis, FL 34274**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "PW-701" Aluminum Fixed Window-Impact

APPROVAL DOCUMENT: Drawing No. 4214, titled "Aluminum Fixed Impact Window", sheets 1 through 4 of 4, prepared by manufacturer dated 02-16-98 and last revised on 09-09-02, signed and sealed by Robert L.Clark, P.E., bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA # 99-0218.01 and, consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



**NOA No 02-0716.03
Expiration Date: October 03, 2007
Approval Date: October 03, 2002
Page 1**



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

PRODUCT CONTROL NOTICE OF ACCEPTANCE

PGT Industries
1070 Technology Drive
Nokomis, FL 34275

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

Your application for Notice of Acceptance (NOA) of:
SH-701 Aluminum Single Hung Window Impact Resistant
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0629.08
EXPIRES: 11/01/2006

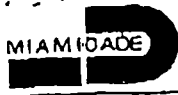
Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 11/01/2001



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Entegra Roof Tile Corporation
1201 N.W. 18 Street
Pompano Beach, FL 33069

Your application for Notice of Acceptance (NOA) of:
Skandia Roof Tile

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-1106.03
EXPIRES: 12/07/2005

PACIFIC ROOFING CORPORATION 

808 SE DIXIE HIGHWAY

Raul Rodriguez
Chief Product Control Division

STUART, FLORIDA 34994-3803

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.



Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 12/07/2000





**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**PGT Industries
1070 Technology Drive
Nokomis, FL 34275**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "HIR 710" Aluminum Horizontal Sliding Window-Non-Impact & Impact Resistant

APPROVAL DOCUMENT: Drawing No. 4111, titled "Aluminum Horizontal Sliding Window", sheets 1 through 5, prepared, signed and sealed by Robert L. Clark, P.E., dated 4/17/02, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact and Non-Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-0518.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Raul Rodriguez.



**NOA No 02-0419.12
Expiration Date: July 30, 2006
Approval Date: May 23, 2002
Page 1**



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**PGT Industries
P.O. Box 1529
Nokomis, FL 34274**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series PW-701 Aluminum Fixed Window

APPROVAL DOCUMENT: Drawing No. 4231, titled "Aluminum Fixed Window", sheets 1 through 8 of 8, prepared, signed and sealed by Robert L. Clark, P.E., dated 8/22/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Non-Impact & Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-0102.01 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.



**NOA No 02-0701.07
Expiration Date: September 13, 2006
Approval Date: July 12, 2002
Page 1**



**BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION**

**MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908**

NOTICE OF ACCEPTANCE (NOA)

**PGT Industries
P.O. Box 1529
Nokomis, FL 34274**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "SH-701" Aluminum Single Hung Window

APPROVAL DOCUMENT: Drawing No.4040, titled "Aluminum Single Hung Window", sheets 1 through 5 of 5, prepared by manufacturer, dated 2/9/98 with revision on 6/3/03, signed and sealed by Robert L. Clark, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 02-0702.04 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.

Handwritten signature and date: 01/16/2003



**NOA No 03-0514.01
Expiration Date: November 01, 2006
Approval Date: November 06, 2003
Page 1**

F window 1x2x.125 2 anchors 129 psf
Q window 1x2x.125 2 anchors 70 psf
all transoms 1x2x.125 2 anchors 103 psf



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

PGT Industries
P.O. Box 1529
Nokomis, FL 34274

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: 1" Std. Wall-Aluminum Tube Clipped Mullions

APPROVAL DOCUMENT: Drawing No. 6620, titled "1" STD. Wall Mullion", sheets 1 through 5 of 5, prepared, signed and sealed by Robert L. Clark, P.E., dated 5/24/01, bearing the Miami-Dade County Product Control Revision Stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official. This NOA revises NOA # 00-0912.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Theodore Berman, P.E.



NOA No 02-0701.05
Expiration Date: June 28, 2006
Approval Date: July 10, 2002
Page 1



MIAMI-DADE
BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

6/8 OUT SWING

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Jeld-Wen, Inc.
 317525 Highway 97 N.
 Chiloquin, OR 97624

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "Jeld-Wen@" 6'8" W/E Outswing Opaque Insulated Steel Door w/wo Sidelites-Impact Resistant

APPROVAL DOCUMENT: Drawing No. S-2104, titled "Outswing Opaque Wood Edge Steel Door Up to 107" x 6-8 Unit", sheets 1 through 7 of 7, prepared by R.W Building Consultants, Inc., dated 9/11/01 with revision 3 dated 10/22/02, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 01-1218.05 and, consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Jaime Eisen, P.E.



NOA No 02-1211.18
 Expiration Date: August 15, 2007
 Approval Date: January 30, 2003



BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

DAB Door Company, Inc.
12195 NW 98 Avenue
Hialeah Gardens, FL 33018

Your application for Notice of Acceptance (NOA) of:

Sectional Residential Garage Door

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0516.03

EXPIRES: 08/09/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 08/09/2001

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/12, 2008 Page 4 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6520	HINES	INSULATION	PASS	
2	113 HENRY SEWALL WINCHIP			INSPECTOR: <i>[Signature]</i>
6677	GOVEL	TRUSSENG.	FAIL	
3	5 RIVERVIEW O/B	TIN TAG		INSPECTOR: <i>[Signature]</i>
6688	REILLY	IN PREG WINDOWS	PASS	
4	78 S. SEWALL'S PT TC Home Improv			INSPECTOR: <i>[Signature]</i>
6335	TWOHEY	FINAL SFR	FAIL	
7	119 HILLCREST SEAGATE BUILDERS			INSPECTOR: <i>[Signature]</i>
6720	DONAHUE	TEMP ELECTRIC	PASS	CALL IN TO FPL FOR METER INSTL
1	163 S. SEWALL'S PT			INSPECTOR: <i>[Signature]</i>
6671	WALKER	PRE POLE DRIVEWAY	PASS	
5	9 LANTANA O/B			INSPECTOR: <i>[Signature]</i>
6605	TWOHEY	POOL + DECK	PASS	CLOSE
7	119 HILLCREST FLAMINGO POOLS			INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 S. SEWALLS

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

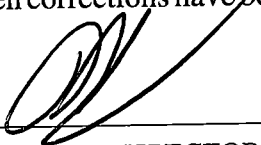
SLAB / FT6.

INTERIOR FT6 DESIGNATED F-2
ARE USING F-1 STEEL
PLACEMENT - NEED ARCHITECT
LTR APPROVING CHANGE

FT6 F-3 IS MISSING 1-#5
EA. WAY AT BOTTOM.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: JUNE 4




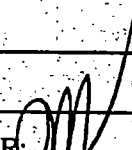
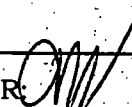
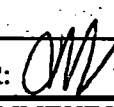
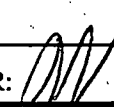
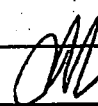
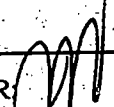
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/4, 2004 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6470	JAMES	FINAL KITCHEN REMODEL	PASS	AFTER 9:30
3	5 S. RIDGEVIEW MEL-RY CONST			CLOSE INSPECTOR: 
6500	COBIELLA	FRAMING	PASS	
7	8 N. SEWALL'S PT PIZZERI	(MID MORNING?)		INSPECTOR: 
6774	CIFELLI	A/C CHG OUT	PASS	CLOSE
1	8 HERITAGE WAY ADVANTAGE AC			INSPECTOR: 
TREE	ANDERSON	TREE	PASS	
2	9 PALMETTO DR			INSPECTOR: 
TREE	BEEELITZ/MALONE	TREE	PASS	
3	10/14 S. VIALUCINDIA			INSPECTOR: 
6719	DONALDUE	SLAB	FAIL	
8	163 S. SEWALL'S PT SAMMONS	?late morning please?		INSPECTOR: 
6413	POWERS	SLAB	PASS	
4	70 S. SEWALL'S PT FLORIDA'S FINEST	not first?		INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/17, 2004 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6544	LANCASTER	FOOTER	PASS	
2	8 PINEAPPLE MASTERPIECE	SLAB		INSPECTOR:
6513	DUNN	TIE BEAM	PASS	
3	31 N. RIVER FIRST FLORIDA			INSPECTOR:
6719	DONATHI	SLAB	PASS	
1	1163 S SEWALL'S Pt SAMMONS			INSPECTOR:
6715	RAPPAPORT	FRAMING	PASS	
	9 RIVERCREST GONCALVES & McCABEY	MECHANICAL	FAIL	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: CHECK ON FTG ON S. SEWALL'S -



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 163 S. SEWALL'S

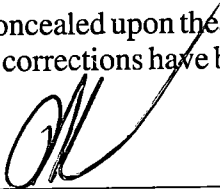
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

RETAINING WALL

NEED ENGR LTR APPROVING
HORIZONTAL & VERTICAL
STEEL CHANGES (SIZE &
QUANTITY).

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/14



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/14, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6632	SCHERLENGA	SLAB	PASS	
4	110 ABBIE COURT O/B	(after 10:30 please)		INSPECTOR:
6513	DUNN	SLAB	PASS	
3	31 N. RIVER RD FIRST FLORIDA	FOOTING (after 9am)	PASS	INSPECTOR:
6719	DONAHUE	STREET	FAIL	
2	1635 SEWALL'S Pt SAMMONS	4 FT WALL		INSPECTOR:
6726	PARADISE	DECK	FAIL	
1	11 RIDGELAND TODD CUSTOM		PASS	INSPECTOR:
TREE	MORRIS	TREE	PASS	
5	24 RIDGELAND			INSPECTOR:
6700	NEWMAN	FINAL DRIVEWAY	PASS	
	15 PEERWINKLE Ce CHITWOOD + Co			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 1103 S SEWALL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM

#5 STEEL IN LIEU OF #4
SEPARATION OF STEEL (T & B)
& CONCRETE COVERAGE IS NOT
PER ~~THE~~ PLANS -

ALL BEAMS REQUIRING TIES
HAVE WRONG SIZE TIES -
WHICH RESTRICTS SEPARATION
OF TOP & BOTTOM STEEL.

NEED REVISED / STAMPED STRUCTURAL
DRAWINGS -

SW CORNER FR. WALL - NEED #5 IN CELL

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/14

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JULY 12, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	TIE BEAM	FAIL	V' ZONE ON SURVEY.
1	1163 S. SEWALLS Pt HALL SAMMONS			INSPECTOR:
6514	LANCASTER	STRAPPING	FAIL	WILL NEED BACK
2	5 PINEAPPLE MASTERPIECE	FLOOR+ROOF TRUSS		INSP. FOR DOORS & WINDOWS INSPECTOR:
6513	DUNN	SHEDDING ROOF	PASS	
4	31 N. RIVER RD FIRST FLORIDA			INSPECTOR: <i>[Signature]</i>
TREE	BRUNER	TREE	PASS	
3	19 RIVERVIEW			INSPECTOR: <i>[Signature]</i>
		NOTIFY	DONE	WORKERS ARE TRASHING LOT TO
	5 OAK HILL	BUILDER-		INSPECTOR: RIGHT
6792	RAPPAPORT	FOOTER	PASS	
	9 RIVER CREEK GOLICK+MCCAULEY			INSPECTOR: <i>[Signature]</i>
TREE	FIELDS	TREE	PASS	
	32 E. HIGH POINT			INSPECTOR: <i>[Signature]</i>

OTHER:

7/12 10 A.M. DISCUSSED W/ G. MILORD NEED TO INSTALL SILT SCREEN & CLEAN UP DEBRIS IN ROAD RIGHT OFFWAY



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 1603 S. SEWALL'S RD.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM

BOTTOM STEEL HAS BEEN
ADDED TO BEAMS AS
REQUIRED, HOWEVER, TIES
DO NOT CONNECT TO
BOTTOM STEEL & DO NOT
EXTEND THRU DEPTH OF
BEAM, NEED ENGR LTR
APPROVING THOSE CONDITIONS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 7/19

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 7/19, 2004 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6829	KEARNEY	IN PROGRESS	PASS	
2	12 N. RIVER RD	TIN TAG + MEAL		
	JA TAYLOR	SHEATHING		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	TIE BEAM	FAIL	
6	163 S. Sewall's Pt			
	SAMMONS HALL	(last please)		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6771	ALLMAN	PLUMBING	FAIL	
4	106 S. RIVER ROAD			
	OLB			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	PFEIFFER	TREES	PASS	
5	104 HENRY SEWALL			
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6396	HUFSON	WINDOW - PARTIAL	PASS	
3	17 S. RIVER RD			
	BUFORD			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
2449	ANSPACH	SHEATHING, DAY IN	FAIL	
1	146 N. SEWALL PT RD.	TIN TAG.		#40
	ALL AMERICAN	463 OS		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <u> </u>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: MARGUERITA 1163 S. SPR

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

SIGN ORDINANCE #74 MUST
BE POSTED IN CONSPICUOUS
LOCATION FOR DURATION OF
PROJECT

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/2

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 S. SEWALL'S PT.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DECK STEEL @ EAST END.

BOTTOM STEEL IS NOT
POSITIONED CORRECTLY -
SHOULD BE PLACED ON
1 1/2" CHAIRS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 8/25

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/25, 20014 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6860	RAPPAPORT	SWEATHING	PASS	MAIN HOUSE
6792	9 RIVER CREST			
10	CIRCLE L			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	Pre Pour Footing	FAIL	APPROVED REVISED
2	163 S. Sewall's Pt HAN Sammons	(Samples)		SEE LOCATION PER DISCUSSION WITH JOE INSPECTOR: MICHAEL
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6714	LULOH	FINAL Dock+LIFT	PASS	CLOSE IN FILE
1	20 E. HIGH Pt RD TROPIC MARINE			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6855	UTRATA	FENCE FINAL	PASS	CLOSE
8	117 N. Sewall's Pt STUART FENCE			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DOTTEL	TREE	PASS	
11	4 PERIWINKLE CR			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6850	HB ASSOC	PARTIAL FASCIA SIDING REPAIR	PASS	
6	3700 SE OCEAN JANDREAU			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	SCHRADER	TREE	PASS	
5	4 EMARITA WAY			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/11, 2004 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682	MILORD	FRAMING	FAIL	
6	10 N. SEWALL'S PT MILORD	TRUSS ENBR.		INSPECTOR: <i>[Signature]</i>
6719	DONAHUE	TIE BEAM	 	DID NOT INSPECT
12	163 S. SEWALL'S PT HALL-SAMMONS	LAST PLEASE		INSPECTOR: <i>[Signature]</i>
6861	MARCONI	REEROOF	FAIL	
9	6 MICHAEL (OFF KNUDLES) SWART ROOFING			\$40 INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 S. SEWALL'S PT. RD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

TIE BEAM

MISSING CID COL. @ EACH SIDE
OF NORTH BAY WINDOW

C1 COL. @ EAST MISSING 2-#5

C2 COL NEEDS 4#6 NOT 4#5.

C5 COL STEEL ~~BEING~~ NOT
CORRECT.

C4 COL NOT CORRECT.

C7 COL NOT CORRECT.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 9/15/04

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/15, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6551	LANGEL	WINDOWBUCK	PASS	
3	3 LOFANA WAY	ENG/TRUSS	FAIL	INSPECTOR: <i>[Signature]</i>
	FLORIDA'S FINEST	SHEATHING	PASS	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682	MILORD	TRUSS	PASS	
2	10 N. Sewall's Pt			INSPECTOR: <i>[Signature]</i>
	MILORD			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6792	RAPPAPORT	INSULATION	PASS	
5	9 RIVER CREST	STRAPPING		INSPECTOR: <i>[Signature]</i>
	GULICK & MCLAWRY	(EAST WALL)		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	TIE BEAM	FAIL	
1	163 S. SEWALL'S PT			INSPECTOR: <i>[Signature]</i>
	HALL SAMMONS	* (FIRST PLEASE) *		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	TEANTER	TREE	PASS	
	9 MIDDLE ROAD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6346	MOORE	BONDING	PASS	
4	5 OAK HILL WAY	HAND RAIL		INSPECTOR: <i>[Signature]</i>
	CRYSTAL LAGOON			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DAVIS-KING	TREE	PASS	
	35 W HIGH Pt RD			INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

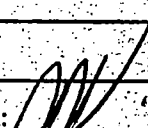



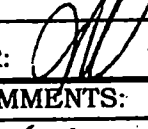
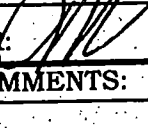
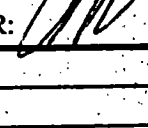
Date of Inspection: Mon Wed Fri 9/17, 2004 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6551	LANGER	STRAP	PASS	
5	3 LOFTING WAY FLORIDA'S FINEST			INSPECTOR:
6792	RAPPAPORT	WIDE LATHE	PASS	
6	9 RIVER CREST GULLICK & MCCAULEY	BATH EXHAUST DUCT	FAIL	INSPECTOR:
TEEE	ROY	TREE	FAIL	
4	2 PALM COURT			INSPECTOR:
6413	POWERS	MECH ROUGH	FAIL	
2	70 S. SEWALL'S PT RD. FLORIDA'S FINEST			INSPECTOR:
6821	POWERS	GAS ROUGH	FAIL	
2	70 S. SEWALL'S PT			INSPECTOR:
TREE	SUBIN	TREE	PASS	
3	8 PALM COURT			INSPECTOR:
6710	DONALD	TIE BEAM	PASS	
1	163 S. SEWALL'S PT HALL SAMMONS	FIRST PLEASE		INSPECTOR:
OTHER: _____				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/25, 2004 Page 1 of




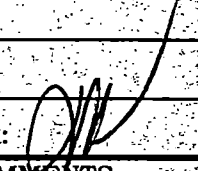
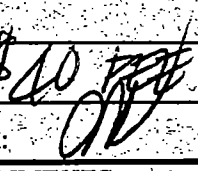


PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6682	MILORD	INSULATION	PASS	
4	10 N. SEWALLS PT MILORD CORP.			INSPECTOR: 
6897	SEAMAN	FINAL SCREEN	FAIL	PASS
2	104 S. RIVER COASTAL ALUM			INSPECTOR: 
6663	BANDI	INSULATION	FAIL	
1	20 N. VIA LUCINDA WHITE ALUMINUM			INSPECTOR: 
6719	DONOVUE	PARTIAL ROOF NAILING	PASS	
3	163 S. SEWALLS PT HALL-SAMMONS			INSPECTOR: 
6885	BARON	DEMOL	PASS	
	25 FIELDWAY O/B			INSPECTOR: 
6970	SUBIN	FINAL RETAINING WALL	PASS	LOOKS
	8 PALM COURT O/B			INSPECTOR: 
6918	SLATEL	FINAL LATH	PASS	
	31 LOFTING CONWAY			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 10/29, 2004 Page 2 of

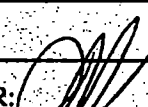

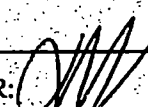
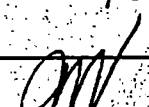
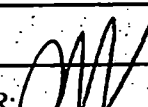
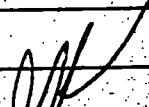
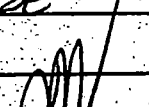
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6663	GANDI	INSULATION	PASS	
7	23 N. VALEXANDA WHITE ALUMINUM			INSPECTOR: 
6719	DONAHUE	STAIR STAIRWAY	PASS	
9	163 S. SEWALLS PT HALL - SAMMONS	PREP WORK (LAST TURN)		INSPECTOR: 
6551	LANGER	MECHANICAL	FAIL	
1	3 LOFTING FLORIDA'S FINEST	FLOOR		INSPECTOR: 
6396	MUFSON	EXT EQUIP PADS	PASS	
10	17 S. RIVER BUFORD			INSPECTOR: 
6857	PREISSMAN	ELEC ROUGH	FAIL	
2	28 RD VISTA WINCHIP	ALC ROUGH PUMPING ROOM	PASS PASS	\$40 fee INSPECTOR: 
6919	KIPLINGER	FINAL ROOF	FAIL	
8	143 S. RIVER RD STUART ROOFING			INSPECTOR: 
				INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Dec 6, 2008 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6921	BEN	FINAL REPAIR	PASS	CLOSE
8	86 N. SEWALL'S Pt WALTER WHITE	DRYWALL		INSPECTOR: 
6741	OSTEEN	GARAGE SLAB	FAIL	
5	1 RIDGEVIEW ANGUS ENTERPRISES			INSPECTOR: 
6812	MADER	SEPTIC	PASS	
2	106 ABBIE COURT PARADIGM PUMBING			INSPECTOR: 
6719	DONAHUE	FOOTING	FAIL	WILL RESCHEDULE
1	163 S. SEWALL'S Pt SAMMENS/HALL	Beam 2 (Early please)		INSPECTOR: 
6820	AMOS	FINAL DECK/BAU	FAIL	
4	114 S. SEWALL'S Pt MASTERPIECE	*7662 (IF WORKING) MANUALLY IF GATE NOT WORKING OPEN		INSPECTOR: 
7070	WINSLOW	FRAMING ^{MISC.} BEDRM		
7	10 S. SEWALL'S Pt OIB	PL/ELEC/AC	FAIL	INSPECTOR: 
6847	MCLAN	FINAL POOL INST.	PASS	CLOSE
3	SPINEAPPLE LA GHOTO			INSPECTOR: 

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 S SEWALL'S PT RD

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

EXT. WALL SHEATHING.

- NAILING @ CORNERS IS NOT SUFFICIENT. CORNERS TO BE NAILED AT 4" O.C.
- S.W. CORNER WAS MISSED ENTIRELY.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 12/20

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/20, 2002

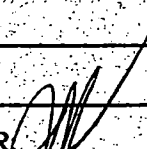
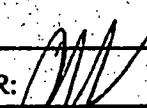
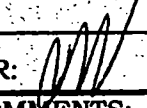
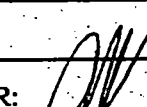
Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6480	WADE	ROOF FINAL	PASS	
2	9 E HIGH PT. PACIFIC			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	FABINSKY	TREE	PASS	
4	10 MANDALAY RD			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6551	LANGER	PUMPROUGH	PASS	
10	3 LOFTING WAY FLORIDA'S FINEST	FRAMING	PASS	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6771	AUMAN	? FINAL PUMPROUGH	PASS	
8	106 S. RIVER RD O/B	? ELECT. ROUGH	PASS	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	BLEATHING	FAIL	
3	163. S. SEWALL SP HAL SAMMONS	SIDENAIL		INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7101	MULLIGAN	INSULATION	PASS	
9	20 FIELDWAY SIXWOODS			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7128	BEUNER	IN GR. TANK +	PASS	
5A	19 RIVERVIEW PR FERRELL GAS	LINES		INSPECTOR:
OTHER:	7052 KINARD	TIN TAG/METAL	PASS	
	STIMOR			
	ALL-AMEX.			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/22, 2004 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONOHUE	SIDEWALK	PASS	
4	163 S. Sewall's Pt Sammons Hall	(later if possible)		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree	Olson	TREE	PASS	
17	19 N. River Rd			INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7085	Whiting	Structures	PASS	CLOSE
5	5 Margarita Rd CUSTOM CRAFTSMAN	285-6490		INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
18	RAPPOPORT 9 RIVER CREST CT. BULICK	FINAL ADDITION 260-5123 KEVIN.	PASS	INSPECTOR: 
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 S.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

- FLOOR ROOF TRUSSES TIED DOWN / & ENGINEERING
NEED ENGR. LETTER ADDRESSING
LOCATION OF LATERAL BRACING
@ 1/3 POINTS IN LIEU OF MIDPOINT
AS INDICATED FOR ROOF TRUSSES.
- FT 4 FLOOR TRUSSES WERE CHANGED AT
STADWELL LEE ARCHITECT LTR
ADDRESSING CHANGE.
- MISSING NAILING ON F633 / F64 / F65
- FT2S IS UPSIDE DOWN
- FT3A IS UPSIDE DOWN

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1-5-05

INSPECTOR

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 SSPL

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FLOOR ROOF TRUSS ENGINEERING & TIEDOWN

- CG
~~CG~~ TUBULAR STEEL COLS ARE NOT SIZED PER DRAWINGS -
- WELD @ CG BUCKET HAS CRACKED
- MISSING CG @ STAIRWELL Foyer -
- BOLTS / NUTS LOOSE AT FRONT PORCH COLUMN & BUCKETS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1-5-05

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/5, 20025 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	TIE DOWN	FAIL	
4	163 S. Sewall's Hall - SAMMONS			INSPECTOR:
Tree	LAGANA	TREE	—	RESCHEDULE w/ OWNER
3	19 E. High Pk Rd			INSPECTOR:
7093	LANGER	GAS ROUGH	—	RESCHEDULE FOR 1-5-05
12	3 LOFTING FERRELL GAS			INSPECTOR:
7047	D'ALESSANDRO	LATT STRUCTURE	PASS	CLOSE
10	4 EMAKITA WAY GULFSTREAM	FINAL		INSPECTOR:
7139	BOOYSEN	GARAGE DOOR	PASS	CLOSE
6	48 RIO VISTA DR AMER PALL BEACH	FINAL		INSPECTOR:
6876	PETERSEN	ROOF SHEATHING	PASS	
7	49 RIO VISTA DRIFTWOOD HOMES			INSPECTOR:
		SHEATHING		
	4 RIVERDALE	FULL SHEATHING		INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

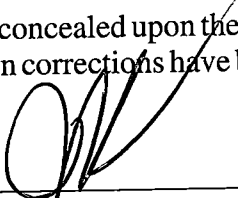
ADDRESS: 163 S.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

TIN TAG & METAL
NAILING @ BASE SHEET HEADLAYS
TO BE 6" O.C. @ 12" O.C.
IN FIELD-
ALL METAL DRIP EDGES @
4" O.C NAILING

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/9



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri FEB 9, 2002⁵ Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7259	SIPRELL	FINAL ROOF	PASS	CLOSE
9	59 S. SEWALL'S PKWY			INSPECTOR:
	AMERICAN REMODELING			
6719	DONOHUE	TIN TACK METAL	FAIL	
5	163 S. SEWALL'S			INSPECTOR:
	HALL-SAMMONS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	BUSHA	TREE	—	NO PERMIT IS NEEDED.
17	10 PALM COURT			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 SS PR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DPV-IN

AGAIN, NOT NAILED CORRECTLY-

\$40 FEE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/11


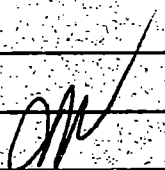

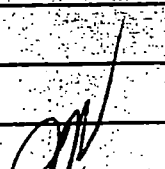
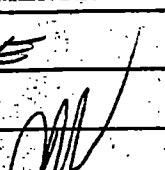
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri FEB 16, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7206	FRIBOURG	FINAL-REINSTALL	—	RESCHEDULE FOR
11	9 COPAIRE RD O/B	SOLAR (FIRST PLEASE)		FRIDAY 2/18 INSPECTOR:
7293	H BASSOC-SABOYEN	FRAMING	FAIL	
13	3760 SE OCEAN JANDEAU			INSPECTOR: 
7205	SHARFI	DOCK DEMO.	PASS	CLOSE
18	73 N SEWALL'S PT SB MARINE			INSPECTOR: 
6719	DONOHUE	PARTIAL ELEC	PASS	HEIGHT OF LAIR
5	163 S. SEWALL'S PT HALL SAMMONS	TRUSS ENG	PASS	ON 2 STORY PEAK INSPECTOR: 
7305	H BASSOC (PATCHING)	ROOF SHEATHING	PASS	
12	3766 SE OCEAN ROOFMAN, INC.			INSPECTOR: 
7173	JOYNER	DRIVEWAY	PASS	CLOSE
10	85 S. SEWALL'S PT O/B	RESURFACE FINAL		INSPECTOR: 
6952	WELAND	FINAL ROOF	PASS	CLOSE
4	118 S. SEWALL'S PT PACIFIC ROOFING	260-5803		INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/11, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6741	OSTEEN	INSULATION	PASS	
2	1 RIDGEVIEW ANAUS ENT			INSPECTOR: <i>[Signature]</i>
7266	DAINS	TREE	PASS	
3	625 SEWALLS			INSPECTOR: <i>[Signature]</i>
7283	TEPLITZ	FINAL FINISH	PASS	
8	25 N. RIVER TAYLOR ROOFING			INSPECTOR: <i>[Signature]</i>
7241	LARSEN	FENCE FINAL	PASS	CLOSE
1	11 LANTANA O/B			INSPECTOR: <i>[Signature]</i>
6719	Denothus	DRY IN	FAIL	\$40
	103 SSPC PACIFIC			INSPECTOR: <i>[Signature]</i>
	DUNK	LATH	PASS	PARTIAL SOUTH SIDE
	31 N. RIVER FFD			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 103 SSPR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.


PLUMBING POUCH

SECURE WATER PIPING STUBS @
PONDEN RUN & MASTER LAV.

HOSE BIB MISSING ON NORTH
END OF FRONT PORCH

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/2



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/2, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7233	CLEMENTS	POOL REMOVAL	PASS	
1	6 MIDDLE RD O/B	PRE POOL FOOTER		INSPECTOR: <i>OW</i>
7345	BAKER	DRY-IN	FAIL	
6	18 RIO VISTA DR FLORIDA REEROOFING			INSPECTOR: <i>OW</i>
TREE	STEWART	TREE	PASS	
13	2 KNOWLES RD			INSPECTOR: <i>OW</i>
7378	SCHMADER	FOOTER STEEL	FAIL	REINSPECTED CORRECTIONS
5	102 HENRY SEWALL CONWAY	PRE POOL	PASS	INSPECTOR: <i>OW</i>
6719	DONOHUE	ROUGH DUMPING	FAIL	
4	163 S. SEWALL ST HALL-SAMMONS	DOB - 203-3400		INSPECTOR: <i>OW</i>
TREE	TOPPING	TREE	PASS	
2	7 MIDDLE ROAD			INSPECTOR: <i>OW</i>
7314	MUIR	DRY-IN	FAIL	
14	14 PERRIN WINKLE LA AFTERMATH CONST.			INSPECTOR: <i>OW</i>
OTHER: _____				



6719

TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(561) 287-2455

CORRECTION NOTICE

ADDRESS: 103 S.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

LATH - PASSED

ELECTRIC - NEED REVISED

FLOOR PLAN CAYOUT W/

ALL CHANGES TO LIGHTING

A/C. BATH EXHAUST DUCT MUST

TERMINATE AT OUTSIDE,

HOOK UP DRAIN TO DEHUMIDIFIER

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/4

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/4, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7349	MAUD	FINAL ELEC SW	 	CANCEL
14	21 N RIVER RD	CHANGE	 	
	KRAUSS + CRANE	(LAST PLEASE)	 	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	JOHNSON	TREE	PASS	
13	2 Oak Hill Way	 	 	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6663	GANDI	FINAL ADDITION	FAIL	
7	23 N. VIA LUCINDIA	+NEW ROOF	 	
	WHITE ALUMINUM	 	 	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONOLUE	FOOTING	FAIL	ELEVATION OF REBAR/PILES
15	163 S. Sewall's Pt	ELEC A/C	263-3400	MUG. IN FLOOD PLAN -
	HAN-SAMMONS	(MID-LATE PLEASE)	 	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7174	GOVEL	DRY-IN	 	RESCHEDULE FOR
102	5 RIVERVIEW RD	 	 	FIRST THING MONDAY -
	GOLD COAST ROOFING	 	 	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	SEYMOUR	TREE	PASS	
4	73 S. Sewall's Pt	 	 	INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7110	BIRD.	TM-TAG	FAIL	
12	29 LOFTING WAY	 	 	INSPECTOR:
	PACIFIC	 	 	
OTHER: <u> </u>				

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/16, 20015 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONOHUE	ROOF ELEC	PASS	
1	163 S. SEWALL'S HALL-SAMMONS	ROOF PUMPS FRAMING →	PASS SCHEDULE	FOR FRI. 3/18 INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7063	BOTWINICK	FENCE FINAL	PASS	CLOSE
11	27 EMALITA O/B			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7308	DONOHUE	RETAINING WALL	PASS	
7347	163 S. SEWALL'S PT HALL-SAMMONS	(STEEL)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7353	CHONTOS	POOL STEEL DE	PASS	
9	83 S. SEWALL'S PT ADV. POOL BLDGS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7349	MAUD	FINAL ELEC. PANEL	CANCEL	OPEN BATH REPAIR
14	21 N. RIVER RD. KRAUSS/CRANE			\$ REPAIR DOCK INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7325	BARRON	GAS FINAL	PASS	CLOSE
14	25 FIELDWAY MARTIN COUNTY GAS			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	KIPLINGER	FURN DECOR	PASS	
LAST	STUART ROOF	DRY-IN		INSPECTOR: <i>[Signature]</i>
3	OTHER: 7120 3 PALM RD. PACIFIC ROOF	DRY IN	PASS	<i>[Signature]</i>



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 103 SS PR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING

SEAL OPENINGS AROUND ELEC.
CONDUITS PENETRATING RETURN
AIR PLENUM AT AHU, 1ST FL.
NEED NAILING STRIPS FOR WALL DRYWALL
EITHER SIDE FIREPLACE, & AT
CORNERS OF L.I.R. ON SOUTH WALL,
N.E. CORNER,
NEED FURRED WALL @ 2" PVC PIPES
IN SH. BATH.

NEED ENGR LTR-NOTCHED FG-4 WEB
IN FAMILY ROOM
& FLOOR TRUSSES FT2

DATE: 3/18

ON
INSPECTOR

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 163 SS PR.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING

NEED ENGR. LTR REGARDING
FL. TRUSS REPAIR/MODIFICATION
OVER POWDER ROOM ON SOUTH
END.

NEED NAILERS FOR DM WALL @
FRONT ENTRY DOOR.

TIGHTEN NUTS @ EXT. WALL
CONNECTOR BEHIND W.C. NORTH

WALL, (TIGHTEN ALL NUTS)
MISSING NOT 2ND FL. WEST WALL

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/18 @ JOB SITE MISSING

INSPECTOR 

DO NOT REMOVE THIS TAG



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 1103 SS PR

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FRAMING

JOB SITE NEEDS TO BE
MADE PRESENTABLE -

DUMPSTAL IS FULL -

MAINTAIN SILT SCREEN DURING
OFF HOURS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/18

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/18, 2005 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7100	WINSLOW	FINAL ROOF	PASS	CLOSE
6	105. SEWALL ST PACIFIC ROOFING			INSPECTOR: <i>[Signature]</i>
6719	DONOHUE	FRAMING	FAIL	
2	1635. SEWALL ST HAN-SAMMONS			INSPECTOR: <i>[Signature]</i>
8727	H BASSOC (MAI ET P) 3766 SE OCEAN	ABOVE CEILING MECHANICAL	FAIL	
11	KIECHMAN			INSPECTOR: <i>[Signature]</i>
6705	ANDERSON	Mech ROUGH	FAIL	
5	9 PALMETTO ALL FLORIDA H&A	ELEC ROUGH	FAIL	INSPECTOR: <i>[Signature]</i>
7191	HECKENBERG	FINAL DOOR	PASS	CLOSE
9	5 LAGOON ISLAND O/B	WATER LINES		INSPECTOR: <i>[Signature]</i>
7363	POTSDAM	DRY-IN	—	RESCHEDULE FOR MONDAY 3/21
12	50 RIO VISTA WESTERN ROOFING	(LATE PLEASE)		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 4/6, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
Tree 4A	CASTLE HILL POA VARIOUS	TREE	PASS	
				INSPECTOR:
7429	Lamm 1107 S. Sewall's Pt Rd	Dry-in		
	Turtle Redding			INSPECTOR:
6551	LANGER 3 LOFTING WAY	ELEC-POWER	FAIL	
5	FLORIDA'S FINEST	RELEASE		INSPECTOR:
7363	POTSDAM 50 RIO VISTA	FINAL ROOF	PASS	CLOSE
7	WESTERN ROOF			INSPECTOR:
6719	DONOHUE	INSULATION	PASS	
8	163 S. Sewall's Pt Hau Sammons	d Coor		INSPECTOR:
6863	JOHNSTON 34 W. HIGH POINT	ROOFING FINAL	PASS	CLOSE
9				INSPECTOR:
6592	MILORD 10 N. SEWALL'S	FINAL DOOR	PASS	CLOSE
6	MILORD	RET WALL + R/RAP		INSPECTOR:
OTHER:	HOLLY 41 RIVER SHEATHING		TALKED W/ OWNER ABOUT ROTTER WOOD @ PASCIA & POSSIBLE TERMITE DAMAGE.	

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/17/05 2002 Page 3 of



PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
(none) 18	22 Palm Road	Illegal Pelings	—	(Gene wants to accompany you INSPECTOR:
7313 4	McAlpin 5 Pineapple Lane Street Fence	Final Fence	PASS	Re inspection fee paid. INSPECTOR:
6396 11	MURSON 17 S. RIVER RD BUTFORD	METER RELEASE	PASS	INSPECTOR:
7414 7A	WHITING 7 S. RIDGEVIEW TURTLE ROOFING	ROOF FINAL	PASS	CLOSE INSPECTOR:
7510 3	DONOHUE 163 S. SEWALLS FLORIDA COAST POOLS	POOL STEEL	PASS	INSPECTOR:
6772 5A	ELDER 4 MARGUERITA O/B	STAIRING	FAIL	INSPECTOR:
7310 5	VALLI 101 S. SEWALLS DR O/B	SIDING & CHIMNEY SHEATHING FINAL	PASS	CLOSE INSPECTOR:
OTHER:				
11 N. VIA LUCINDA ROOF FINAL - ROOF METERS CONE REQUIREMENTS.				

STOP WORK OWNER 7 MANUAL AY - NO PERMIT

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/27, 20015 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONOHUE	DRIVEWAY	PASS	
2A	1635 Sewall's Pt HAW-SAMMONS	DRIVEWAY		INSPECTOR: 
7439	DIMITRIOU	IN Prog FLAT ROOF	FAIL	MUST RESCHEDULE
10	6 BANYAN FEAZEL ROOFING			INSPECTOR: 
	2F			INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 163 S.S.P.R.

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

POWER RELEASE
NEED WATER HEATER
INSTALLED.

COVER EXPOSED JUNCTION
BOX IN 1ST FL. STORAGE
COVER CLG JUNCTION BOXES
1ST FL. (BASEMENT)

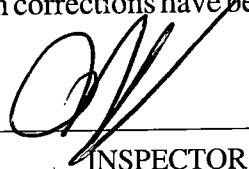
ROUGH IN FOR POOL EQUIP. ELECTRIC
NEEDS TO BE CAPPED IN
BOX.

LABEL PANEL

~~WE COVER FLOOR RECEPTALS~~

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/15


INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log


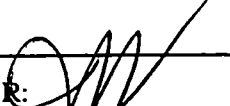
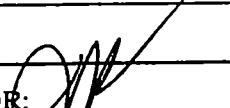
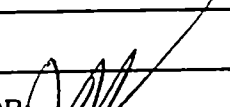
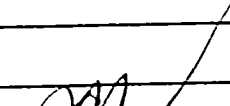
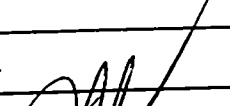
Date of Inspection: Mon Wed Fri 6/15, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7540	LIZANO	FINAL ROOF	PASS	
11	16 CRANE'S NEST A+ BUILDERS			INSPECTOR: <i>[Signature]</i>
6719	DONOHUE	POWER REC.	FAIL	
2	163 S. SEWALL SP HALL-SAMMONS			INSPECTOR: <i>[Signature]</i>
7426	HBA SOC - PATCHING	FINAL SPRINK	PASS	
* 17	3722 OCEAN BUD POLHEMUS	HEAD REP		INSPECTOR: <i>[Signature]</i>
7262	HBA SOC - SABOURIN	ABOVE CEILING	PASS	
* 17	3760 OCEAN BUD KIRCHMAN	ALL TRADES		INSPECTOR: <i>[Signature]</i>
7334	WEST	FENCE FINAL	PASS	CLOSE
1	5 MIDDLE RD JIM CAMPBELL			INSPECTOR: <i>[Signature]</i>
7609	GORDON	DRY IN	FAIL	REINSPECTED
8	11 S. VIA LUCINDIA COOPER ROOFING	(SWALE PROBLEM?) RON 871-9405	PASS	LATE MORN. INSPECTOR: <i>[Signature]</i>
16038	SMITH	INGR TANK + LINES	PASS	
7	7 SUMARA ST FERRELL GAS			INSPECTOR: <i>[Signature]</i>
OTHER:	8 GORDON SWALE ADVISED UNDER MATHIAS TO CORRECT PROBLEM <i>[Signature]</i>			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/22, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7391	CONRAD	FINAL ROOF	PASS	CLOSE
10	9 S. VIA LUCINDIA STUART ROOFING			INSPECTOR: 
7499	MARNEY	A/C CHECKOUT	FAIL	
12	121 HILLCREST ASSOC. AIR			INSPECTOR: 
7621	BECKER	TANK + LINES	PASS	
3	16 E. HIGH POINT FERRELL GAS			INSPECTOR: 
TREE	MULLIGAN	TREE	PASS	
15	20 FIELDWAY			INSPECTOR: 
TREE	JOHNSON	TREE		
16	2 OAK HILL WY			INSPECTOR:
TREE	CUMMINGS	TREE	PASS	
7	BEW 81#83 S. RIVER			INSPECTOR: 
6719	DONOVIE	RETAINING WALL	PASS	
4	163 S. SEWALLS HAN SAMMONS	FOOTING		INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

RICHARD L. BARON
Mayor

JON E. CHICKY
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSHA
Commissioner



JAMES K. McMAHON
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

CONDITIONAL CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER: PATRICIA DONOHUE, PROPERTY ADDRESS: 162 S. SEWALL'S PT. RD.

LEGAL DESCRIPTION: LOT 6 BLOCK _____ SUBDIVISION MARGUERITA

GENERAL CONTRACTOR: HALL-SIMMONS INC LIC/CERT NO: GM 1326546

ARCHITECT OR ENGINEER: JOSEPH McCARTY LIC/CERT NO: 9639


PERMIT NO: 6719; DATE OF ISSUE: 4/28/04, RENEWAL PERMIT NO: —; DATE OF ISSUE: —

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Conditional Certificate of Occupancy is hereby issued for the foregoing described property for a period not to exceed 30 days. The following conditions must be completed within this time period at which time a permanent Certification of Occupancy will be issued:

1. HURRICANE SHUTTERS
- 2.
- 3.

Entered at Sewall's Point, Florida, this 4 day of September, 2005.


Gene Simmons, CBO
Building Official, Town of Sewall's Point



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org



Martin County Health Department
(772) 221-4090 Fax. (772) 221-4967

TO BUILDING DEPARTMENT:

___ MARTIN COUNTY (772) 288-5916 FAX: (772) 288-5911 ___ CITY OF STUART (772) 288-5328 FAX: (772) 288-5388
___ JUPITER ISLAND (772) 546-5578 FAX: (772) 546-6228 ___ SEWALLS POINT (772) 287-2455 FAX: (772) 220-4765

FROM: Ray Cross DATE: 8/4/05

SUBJECT: FINAL CONSTRUCTION APPROVAL FOR SEPTIC SYSTEMS

<u>HEALTH DEPT. PERMIT</u>	<u>BUILDING DEPT. PERMIT OWNER'S NAME</u>	<u>LOCATION</u>
• 43-SS-0 <u>6280</u>	6719	1605 SEWALLS PT RD
• 43-SS-0 _____	DONOHUE	
• 43-SS-0 _____		
• 43-SS-0 _____		
• 43-SS-0 _____		

Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 163 S. Sewall's Point Road			For Insurance Company Use: Policy Number
City Stuart	State Florida	ZIP Code 34996	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.

Front View - Taken May, 2009



Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 163 S. Sewall's Point Road			For Insurance Company Use: Policy Number
City Stuart	State Florida	ZIP Code 34996	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."

Right Side View - Taken May, 2009







ASLAN, inc.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

PROJECT MANAGEMENT: CIVIL • SURVEY • PLANNING • CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING • PLATTING • REZONINGS • CODE ENFORCEMENT • VARIANCES
LAND PLANNING: COMMERCIAL • RESIDENTIAL • P.U.D.'S • SUBDIVISIONS • MARINAS • SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS • DOCKS • DREDGE & FILL DEP-CORPS-WMD - ERP • WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER • WETLAND • SUBMERGED LAND LEASES • BOUNDARY • TOPOGRAPHIC • AS-BUILT

HEIGHT CERTIFICATION

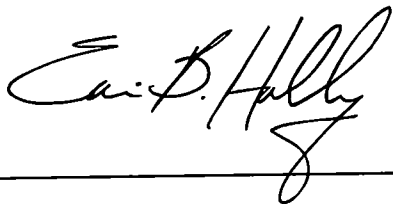
**RE: Building Height Certification for Patricia Donohue
163 South Sewall's Point Road
Town of Sewall's Point Building Permit No. 6719**

The building elevations are in feet and decimal parts thereof and are relative to the benchmark Q236, elevation 4.104 feet NGVD. The field work was performed 10/13/2004.

<i>Description</i>	<i>x' x"</i>	<i>xx.xx Feet</i>
Top of Roof Sheathing	35' 9¾"	35.81 Feet
Lowest Habitable Reference Floor	9' ¾"	9.06 Feet
Height Difference	26' 9"	26.75 Feet

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, inc.
2440 S.E. Federal Highway, Suite 700
Stuart, Florida 34994
(561) 288-4880

Signed: 

Date: October 14, 2004



ASLAN, INC.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

REPORT OF AS-BUILT SURVEY For Patricia A. Donohue

Map of As-Built Survey:

See Map of As-Built Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

See attached Exhibit "A".

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.

Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.



General:

- Bearings shown hereon are relative to the centerline of Sewall's Point Road as shown on the Plat of Port Sewall as recorded in Plat Book 3, Page 8, of the public records of Martin County, Florida, bearing basis South 28°07'09" East.
- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- This As-built Survey was prepared for the specific purpose of locating formboards under construction.
- Address: 163 South Sewall's Point Road, Stuart, Florida
- Drawing File Name: Broome-L6-Marg-FB1.dwg

Limitations:

- This As-Built Survey was last surveyed in the field on June 2, 2004 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated hereon.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- This map may have been photographically or digitally reduced or enlarged with

PROJECT MANAGEMENT: CIVIL • SURVEY • PLANNING • CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING • REZONINGS • CODE ENFORCEMENT • VARIANCES
LAND PLANNING: COMMERCIAL • RESIDENTIAL • P.U.D.'S • SUBDIVISIONS • MARINAS • SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS • DOCKS • DREDGE & FILL • DEP-CORPS-WMD - ERP • WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER • WETLAND • SUBMERGED LAND LEASES • BOUNDARY • TOPOGRAPHIC • AS-BUILT

Report of As-Built Survey
Patricia A. Donohue

or without the knowledge of the issuing agent. It is incumbent upon the end user to determine the scale indicated hereon as reliable for the intended uses. Certification is made only to the original scale so indicated.

- The map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the end user to determine the scale indicated hereon as reliable for the intended uses. Certification is made only to the original scale so indicated.
- This Mean High Water Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and The Town of Sewall's Point Building Department and shall not be relied upon by any other entity or individual whomsoever.

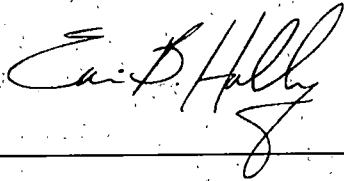
Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, INC.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715

Signed: _____



Date: June 3, 2004

Exhibit "A"

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida lying easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

The North 6.31 acres, more or less, being the North 236.94 feet of Lot 7, in Plat 1 of Sewall's Division of Sewall's Point, as shown in unrecorded plat prepared by William H. Roat, County Surveyor, December 24, 1926, and on Plat of Port Sewall filed November 13, 1913, recorded in Plat Book 3, Page 8, Public Records of Palm Beach (now Martin) County, Florida.

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

Commencing at a point on the West shore line of the Indian River twenty-seven chains and five links (27.5) from the North line of the Hanson Grant, in Plat 1 of Sewall's Division and within the boundaries of said Grant, running thence South sixty-six degrees West, eighteen chains and ten links (18.10) to the St. Lucie River; thence Southeasterly along the margin of said River to a point three chains and fifty-seven links (3.57) South of the line last run; thence north sixty-six degrees East, seventeen chains and thirty links (17.30) more or less, to the Indian River; thence Northwesterly along the waters of said River to the Place of Beginning.

PH: 1-866-PRE-TREAT
FAX: 561-394-3760

TERMITE PRETREATING



Time _____
Date 6-1-04
Tech EOS

Field Receipt

Customer Martin 4
Job Name Residential
Job Address 20176
Job Phone/Contact _____
Customer Signature _____

Minimum Trip Charge \$100

Time Started _____ Finished _____

Square Feet 200

All work on the above treated area of structure / perimeter was performed to manufacturers label specifications and the Florida Building Code.

Diligent Environmental Services, Inc.
Post Office Box 812214 • Boca Raton, FL 33481
State License JB94495



PEST PREVENTION'S BEST



Contract Terms and Conditions

PEST CONTROL COMPANY AND CUSTOMER AGREE TO THE FOLLOWING TERMS:

1. SPECIFIC EXCLUSIONS

Customer agrees that this Warranty does not cover and Diligent Environmental Services Inc. shall not be responsible for the following:

- Damage resulting from any form of insect, pest, or wood-destroying organism other than Subterranean Termites.
- Damage resulting from construction defects, structural defects, design defects, masonry failures or grade alterations that disrupt or reduce the effectiveness of the termiticide treatment or that provide Subterranean Termites with hidden or protected access to the Structure(s), whether visible or not.
- Living expenses of any kind, to include, lodging, meals, transportation, medical, gas, utilities, etc, or reimbursement for loss of quiet enjoyment, loss of use or diminution in value of the Structure(s), or any indirect, special, consequential, or punitive damages, including loss of anticipated or actual profits, income or business opportunities.

These specific exclusions are in addition to any and all other exclusions, disclaimers, limitations, or conditions contained within this Warranty.

2. DUTY TO AVOID CONDITIONS CONDUCTIVE TO TERMITES

Customer agrees to cooperate with Diligent Environmental Services Inc. during the term of this Warranty by avoiding and eliminating those conditions or factors that might contribute to a termite infestation or disrupt the termiticide barrier surrounding and beneath the perimeter of the Structure(s), if applied. These conditions include, but are not to be limited to, construction defects, wood, trash, direct wood to soil contact, tree stumps, standing water or above ground moisture accumulations caused by any natural or man-made source. Such moisture accumulations include, but are not to be limited to, condensation, leaks from exterior walls, windows, doors, roofs, skylights, chimneys, gutters, down spouts, plumbing, plumbing fixtures, sprinkler systems, air conditioning and heating systems (including condensate drains and duct work) or inadequate ventilation. Customer agrees to notify Diligent Environmental Services Inc. of and to eliminate the aforementioned conditions under and within an eighteen (18) inch area around the perimeter of the foundation of the Structure(s). Diligent Environmental Services Inc. reserves the right to terminate this Warranty if Customer fails to correct any condition, including, but not limited to, the conducive conditions listed above, which contribute to an infestation of Subterranean Termites. Diligent Environmental Services Inc. is not responsible for any damage to the Structure(s), or its contents, resulting from any conditions conducive to a termite infestation that caused or contributed to such infestation or damage. Customer further agrees that it will eliminate any conducive conditions identified by Diligent Environmental Services Inc. within thirty (30) days of either written or verbal notification that a termite conducive condition exists below or adjacent to the Structure(s). Customer's failure to eliminate the conducive conditions within thirty (30) days following notification will render this Warranty voided by Diligent Environmental Services Inc.

3. MODIFICATIONS OR ALTERATIONS TO STRUCTURE(S)

This Warranty only covers the Structure(s) identified above as of the date of this Warranty. The Customer shall provide notification to Diligent Environmental Services Inc., in writing, prior to any alteration, addition, modification or change to the Structure(s) or any disruption of the termiticide barrier surrounding or beneath the perimeter of the Structure(s), to include, but not limited to, a disruption, removal or addition to the soil surrounding the foundation of the Structure(s). The Diligent Environmental Services Inc. shall have the right to terminate this Warranty if Customer fails to provide written notice of any alteration, addition, modification or change to the Structure(s) or the termiticide barrier surrounding or beneath the perimeter of the Structure(s). Any additional treatment required because of any alteration, addition, modification or change to the Structure(s) or any disruption of the termiticide barrier surrounding or beneath the perimeter of the Structure(s) will be provided by Diligent Environmental Services Inc. at Customer's expense. Customer agrees that Diligent Environmental Services Inc. shall have the right to charge an additional fee or increase the renewal fee stated on the front page of this Warranty, or both, as a result of such alteration, addition, modification or change to the Structure(s) that occurs during the first year or during any subsequent renewal period of this Warranty.

4. CHANGE IN LAW

This Warranty shall be interpreted, regulated and adjudicated in accordance with applicable federal, state and local laws and regulations, as they existed at the time this Warranty is executed. Should any federal, state or local law or regulation change regarding the Diligent Environmental Services Inc. services or treatment, the Diligent Environmental Services Inc. is authorized to take whatever steps are necessary to be in compliance with said laws. If Diligent Environmental Services Inc. cannot modify its services or treatment to comply with such a change in the law, then Diligent Environmental Services Inc. reserves the right to immediately terminate this Warranty.

5. NEW DAMAGE

Diligent Environmental Services Inc. agrees to repair any new damage to Structure(s) caused by Subterranean Termites that occurs following Diligent Environmental Services Inc. initial treatment of the Structure(s). For the purposes of this Warranty, the area of new damage must be caused by and contain a live infestation of Subterranean Termites. Under no circumstances will the Diligent Environmental Services Inc. repair damage, hidden or otherwise, unless a live infestation of Subterranean Termites is found in the area claimed as new damage.

6. NOTICE/RIGHT TO INVESTIGATE AND VERIFY CLAIMS

Any claim made by Customer under the terms of this Warranty shall be submitted in writing to the Diligent Environmental Services Inc.. Diligent Environmental Services Inc. must have a reasonable opportunity to investigate and verify any new damage claim submitted by Customer. Any damage claim that is repaired before Diligent Environmental Services Inc. can investigate and verify a new damage claim operates as a waiver of Customer's right to raise such claim under this Warranty.

7. LIABILITY LIMITS/APPROVAL OF REPAIR CONTRACTORS

Diligent Environmental Services Inc. repair and retreatment obligation under this Warranty is limited to \$1,000,000.00. Only contractors mutually approved by Diligent Environmental Services Inc. and Customer will be allowed to repair new damage to the Structure(s).

8. BINDING ARBITRATION

Customer and Diligent Environmental Services Inc. agree that any and all controversies or claims between them, their principals, agents, representatives, successors, or assigns, arising in any way out of, or relating to, this Warranty, and/or the subject property, and/or subject structure(s), and/or the termite treatment, shall be settled solely and exclusively by arbitration. Such arbitration shall be conducted in the Florida County where Diligent Environmental Services Inc. servicing office for this Warranty is located, using the substantive law of Florida, and in accordance with the Commercial Arbitration Rules then in force of the American Arbitration Association. The arbitrator shall be independent, mutually agreed upon, and to the greatest extent possible, be qualified in termite control and building construction matters by education, experience, licensing and training to deal with the issues. The decision of the arbitrator shall be a final and binding resolution of the disagreement, which may be entered as a judgment by any court of Competent jurisdiction. Neither party shall sue the other where the basis of the suit is or arises out of this Warranty, other than for (1) enforcement of the arbitrator's decision, or (2) appointment of an arbitrator if one cannot be mutually agreed upon. The parties specifically agree that the sole and exclusive venue of any suit shall be Palm Beach County, Florida. All costs, expenses, and fees of arbitration and settling a controversy shall be borne equally by the parties. This arbitration provision shall survive cancellation, expiration, or termination of this Warranty.

9. TRANSFERABILITY

This Warranty is transferable to a new owner of Structure(s) upon written notice to Diligent Environmental Services Inc.

10. TERMINATION

Diligent Environmental Services Inc. responsibilities, duties, obligations, and any liabilities under this Warranty shall be terminated if Diligent Environmental Services Inc. is prevented or delayed from fulfilling any of its duties, obligations or responsibilities under the terms of this Warranty by reasons or circumstances beyond its control or by the Customer's interference or refusal to provide Diligent Environmental Services Inc. with access to Structure(s) or fails to pay any amount due and owed under this Warranty.

11. SEVERABILITY

Customer agrees that if any part of this Warranty is held to be invalid or unenforceable for any reason, the remaining terms and conditions of this Warranty shall remain in full force and effect.



DILIGENT ENVIRONMENTAL SERVICES, INC.

CORPORATE: 3100 N.W. BOCA RATON BLVD., SUITE 106, BOCA RATON, FL 33431

866-PRE-TREAT

WWW.DILIGENTFL.COM

PEST PREVENTION'S BEST



Pre-Construction Subterranean Termite Repair and Retreatment Warranty

Residential Treatment Information

Diligent Environmental Services Inc. is a full service company offering termite control, lawn & ornamental spraying and fertilization and all types of pest prevention services. Diligent Environmental Services Inc. performed a pre-construction soil treatment to the structure(s) identified below to prevent an infestation of subterranean termites, including Formosan Subterranean Termites (*Coptotermes Formosanus*). This treatment was requested and paid for by the builder or the builder's agent noted below and this Warranty was transferred to you ("Customer") at the time Customer closed on the Structure(s). Pre-construction subterranean termite treatments are performed in accordance with the EPA labels for the termiticide applied and applicable Florida law.

Repair and Retreatment Warranty

Diligent Environmental Services Inc. warrants the pre-construction treatment applied to the Structure(s) for a period of eighteen (18) months from the initial date of treatment listed below. During the period of this Warranty, Diligent Environmental Services Inc. will repair new damage caused by subterranean termites and retreat the Structure(s) with a liquid termiticide as necessary to control an active infestation of subterranean termites. Retreatments will be performed at no additional cost to Customer. **This Warranty is subject to certain terms, conditions, limitations and exclusions (See Reverse Side) and Customer is advised to read this Warranty in its entirety and contact Diligent Environmental Services Inc. with any questions you may have regarding its content.**

Customer may renew this Warranty annually for a minimum of five (5) years by paying an annual renewal fee listed below, on or before each anniversary date of this Agreement. For purposes of this Agreement, the parties agree that "anniversary date" is defined as that day that falls exactly one year from the date of treatment set forth below. Customer's failure to pay the renewal fee in accordance with this Agreement will render this Contract void, but shall not relieve Customer from the obligation and requirement to provide payment for all amounts due and owing pursuant to this Agreement. Diligent Environmental Services reserves the right to adjust the renewal fee upon written notice given to Customer within thirty (30) days prior to the anniversary date of this Agreement. Customer has the right to terminate this Agreement upon receipt of Pest Control Company's written notice of an increase in the annual renewal fee. Such notice of termination must be made in writing and provided to Pest Control Company no later than ten (10) days before the anniversary date of this Agreement.

Initial Date: 06/01/2004

Final Date: 12/06/2004

Property Address: Current Homeowner

163 S Sewalls Point Rd
Stuart, FL 34996

Renewal Fee: \$ 175.00

Treatment Area: 2800 sf

Products: DURSBAN

Concent %: .5%

Renewal Date: 12/01/2005


Builder: Mark 4

686 SW Todd Ave Port Saint Lucie, FL 34983

Subdivision:

Lot/Block: 006

This contract not valid without company seal and certificate issuance date. The Contract is initiated through verbal request by Florida administrative code section 105.2K. These treatments are applied as a result of building code or financial institution requirements as required by Florida Building Code (FBG) 816.17.

Authorized Agent for Company  license #JB94495

1-866-PRE-TREAT

WWW.DILIGENTFL.COM

TOWN OF SEWALL'S POINT
Building Department
One South Sewall's Point Road
Sewall's Point, Florida 34996

FILE #6719

POWER RELEASE AGREEMENT: PN: _____
(To be submitted at final electrical inspection in order to turn on electric service)

Owner: P. Donohue Address: _____
Project Address: 163 S Sewall Pt Rd Legal: Lot: 6 Block: _____ Subdivision: Marguerita
General Contractor: Hall-Simmons Inc Lic/Cert. No.: _____
Address: _____ Tel: _____ Fax: _____
Electrical Contractor: Phoenix Electric Lic/Cert. No.: _____
Address: _____ Tel: _____ Fax: _____

WHEREAS, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested an electrical hook-up of _____ for the purpose of _____ at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

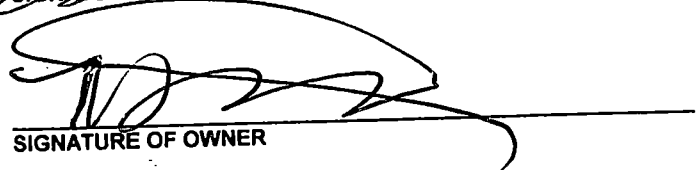
NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this _____ day of _____, 200_____.


SIGNATURE OF GENERAL CONTRACTOR


SIGNATURE OF ELECTRICAL CONTRACTOR


SIGNATURE OF OWNER

GENE SIMMONS, BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

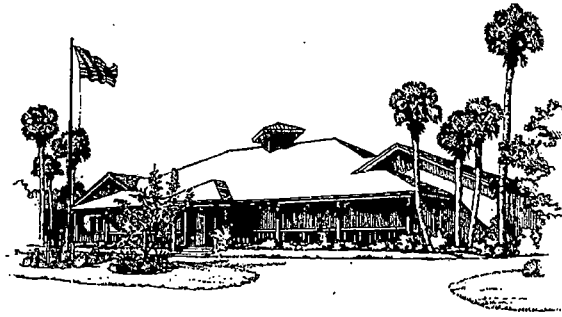
RICHARD L. BARON
Mayor

JON E. CHICKY
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

PAMELA M. BUSHA
Commissioner



JIM VARDALIS
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

CERTIFICATE OF OCCUPANCY

Single Family Residence Other _____

OWNER: PATRICIA DONOHUE PROPERTY ADDRESS: 163 S. SEWALL'S POINT RD.

LEGAL DESCRIPTION: LOT 4 BLOCK _____ SUBDIVISION MARGUERITA

GENERAL CONTRACTOR: HALL-SAMMONS INC. LIC/CERT NO: CRC 1326546

ARCHITECT OR ENGINEER: LARRY McCARTY LIC/CERT NO: _____

PERMIT NO: 6719 ; DATE OF ISSUE: 4/28/04 ; RENEWAL PERMIT NO: _____ ; DATE OF ISSUE: _____


CODE ADDITION: 2001 TYPE: FML USE: N/A OCCUPANCY: RESIDENCE

OCCUPANT LOAD: N/A SPRINKLERS REQUIRED: N/A SPRINKLERS USED: N/A

The described portion of the structure has been inspected for compliance with the requirements of this Code for occupancy and division of occupancy and the use for which the proposed occupancy is classified.

In accordance with the requirements of the Florida Building Code and the Codes and Ordinances of the Town of Sewall's Point, Florida, this Certificate of Occupancy is hereby issued for the foregoing described property.

Entered at Sewall's Point, Florida, this 6 day of FEBRUARY, 2006.


Gene Simmons, CBO
Building Official, Town of Sewall's Point



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

6833

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONAHUE	FINAL SFR	PASS	CLOSE
11	163 S. SEWALL HALL SAMMONS	LAST PLEASE		W/ EL. CERTIFICATE INSPECTOR: <i>[Signature]</i>
7494	VAN'T BOSCH	FINAL GAS TANK	FAIL	
7	36 S. RIVER ROAD PROPANE DISCOUNTERS	+ LINES		INSPECTOR: <i>[Signature]</i>
7116	JENKINS	FINAL CHIMNEY	PASS	CLOSE
6	4 SABAL COURT O/B (OFF RIDGELAND)	SDING & REPAIR		INSPECTOR: <i>[Signature]</i>
7643	MERRILL	LATH	PASS	
10	24 FIELDWAY O/B			INSPECTOR: <i>[Signature]</i>
7750	COOPER	INGR TANK	PASS	
2	33 W. Heath Pt DELTA PETROLEUM			INSPECTOR: <i>[Signature]</i>
7734	CRANE	DRY-IN	FAIL	CANCEL \$40
3	2 TIMOR ST. PACIFIC ROOFING			INSPECTOR: <i>[Signature]</i>
Tree	MORALES	TREE	PASS	
5	10 N RIDGEVIEW			INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 2/3, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7483	SCHMADER	Pool Plumbing	FAIL	
1	102 HENRY SEWALL OLYMPIC POOLS			INSPECTOR: <i>QW</i>
7809	D'ALESSANDRO	RAFTER STRAPS	PASS	LATER
6	4 EMARITA WAY O/B.			INSPECTOR: <i>QW</i>
16719	DONAHUE	FINAL SKUTTERS	PASS	
2	163 S. SEWALL P.R.O. NPH SAMPSONS			INSPECTOR: <i>QW</i>
	WEISENBERG	SEWER	FAIL	
	8 CASTLE HILL	STUB OUT & CLEAN OUTS		INSPECTOR: <i>QW</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i> </i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i> </i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i> </i>

OTHER: _____

7122

RETAINING WALL

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 12/9/04

BUILDING PERMIT NO. 7.122

Building to be erected for DONOHUE

Type of Permit RETAINING WALL

Applied for by O/B

(Contractor) Building Fee *2.40 x 20 FT = 48.00

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. Sewall's Pt Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:
1330410110000006010000

Plumbing Fee _____


Amount Paid 52.80 Check # _____ Cash _____

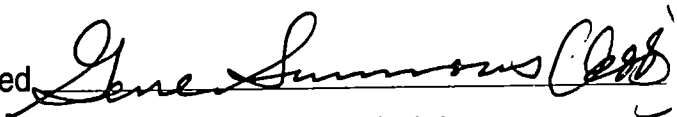
Roofing Fee _____

Other Fees 10% PLAN REVIEW 4.80

Total Construction Cost \$ 700.00

TOTAL Fees 52.80

Signed 
Applicant

Signed 
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED

DEC 08 2004

Date: 12/7/04
BY: [Signature]

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: 6719

OWNER/TITLEHOLDER NAME: P. Donohue Phone (Day) 772 528 4237 (Fax)

Job Site Address: 163 S Sewalls Pt Rd City: State: Zip:

Legal Desc. Property (Subd/Lot/Block) Lot 6 Marguerita Parcel Number:

Owner Address (if different): 2617 SE Bowlin DR. City: PSC State: FL Zip: 34952

Description of Work To Be Done: Retaining Wall

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 700.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value:

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Hall-Summons Inc Phone: 263-3400 Fax:

Street: 1101 NE Martin Ave City: Jon Beck State: FLA Zip: 34957

State Registration Number: State Certification Number CRC 1326546 Martin County License Number:

SUBCONTRACTOR INFORMATION:

Electrical: State: License Number:

Mechanical: State: License Number:

Plumbing: State: License Number:

Roofing: State: License Number:

ARCHITECT Joe Mcarty Lic.#: Phone Number:

Street: City: State: Zip:

ENGINEER ASLAN inc Lic# Phone Number:

Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: Screened Porch:

Carport: Total Under Roof Wood Deck: Accessory Building:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

State of Florida, County of: MARTIN

This the 9th day of December, 2004

by PATRICIA DONOHUE who is personally known to me or produced as identification

My Commission Expires: Notary Public LAURA L. O'BRIEN MY COMMISSION # DD 205961 EXPIRES: April 28, 2007

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: MARTIN

This the 8th day of December 2004

by Dave Sammons who is personally known to me or produced

As identification: Notary Public

My Commission Expires: LAURA L. O'BRIEN MY COMMISSION # DD 205961 EXPIRES: April 28, 2007

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Paul R. Broom Date: Dec 9, 2007

Signature: [Handwritten Signature]

Address: 163 South Sewalls Rd

City & State: Sewalls Point, FL

Permit No. _____



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 12/10, 2004 Page _____ of _____

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6409	H BASSOC 3700 SE OCEAN KF BUILDERS	BUCCO CABLES	PASS	WOSE INSPECTOR: <i>[Signature]</i>
7				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7	HART 61 S. RIVER	TREE	PASS	INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6705	ANDERSON 9 PALMETTO DR PB DEVELOPMENT	WINDOW BUCK TRUSS	PASS PASS	INSPECTOR: <i>[Signature]</i>
6				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6480	WADE 9 E. HIGH POINT PINE ORCHARD BLDGS	ELEC POWER REL	RESCHEDULE	12/13 INSPECTOR:
1				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7122	DONOVAN 163 S. SEWALLS Pt O/B	RETAINING WALL FOOTINGS	PASS	INSPECTOR: <i>[Signature]</i>
2				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7109	DONOVAN 6 QUAIL RUN PACIFIC	TIN TAG METAL SHEATHING	→ PASS	WILL SCHEDULE MON DEC. 13, FIRST THING INSPECTOR: <i>[Signature]</i>
9				
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
	85 S.S.P.R. & RICUISTA		DONE	TALKED W/ OWNER ABOUT FILL INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7511	HART	FINAL RENOV	FAIL	
9	113 N. SEWALL'S Pt			INSPECTOR:
	BLACK DIAMOND			
Tree	OSTEEN	Tree	PASS	
4	1 RIDGEVIEW Dr			INSPECTOR:
7536	BUONO	Roof FINAL	PASS	CLOSE
8	106 N. SEWALL'S			INSPECTOR:
	TITLE ROOFING			
7412	DONAHUE	FINAL GAS	PASS	CLOSE
11	163 S. SEWALL'S			INSPECTOR:
	PROPANE DISCOUNTERS			
7122	DONAHUE	FINAL RETAINING WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			
7208	DONAHUE	FINAL RETAINING WALL + FENCE COL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	HALL-SAMMONS			
7347	DONAHUE	FINAL RET'G WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			

OTHER: _____

7208

RETAINING WALL

FENCE COLUMNS

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1/18/05

BUILDING PERMIT NO. 7208
RETAINING WALL +
Type of Permit FENCE COLUMNS

Building to be erected for DONOHUE

Applied for by HALL-SAMMONS (Contractor)

Building Fee 72.00

Subdivision MARGHERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

13384101100000006010000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 79.20 Check # 445 Cash _____

Roofing Fee _____
^{10% PLAN}
Other Fees (REVIEW) 7.20

Total Construction Cost \$ 2000.00

TOTAL Fees 79.20

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>Retaining WALLS</u> |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

BY: _____

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: 6719

Date: 1/13/05

OWNER/TITLEHOLDER NAME: P Donohue Phone (Day) _____ (Fax) _____

Job Site Address: 163 S Sewalls Pt Rd City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) Marguerita Lot 6 Parcel Number: 13384101100000601000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Retaining Wall / Fence w/ Columns

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Hall Sammons Inc Phone: 263-3400 Fax: 925-3500

Street: 1101 NE Martin Ave City: Jensen Bch State: FL Zip: 34957

State Registration Number: _____ State Certification Number CRC1326546 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT Joe McCarty Lic.# _____ Phone Number: 287-6735
Street: _____ City: STUART State: FL Zip: _____

ENGINEER ASLAN INC Lic# _____ Phone Number: 288-0128
Street: _____ City: STUART State: FL Zip: 34994

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
[Signature]

State of Florida, County of: MARTIN
This the 13th day of JANUARY, 2005
by Marion Paul Broom who is personally known to me or produced as identification [Signature]

CONTRACTOR SIGNATURE (required)
[Signature]

On State of Florida, County of: MARTIN
This the 13th day of JANUARY, 2005
by [Signature] who is personally known to me or produced as identification [Signature]

My Commission Expires _____
Notary Public
LAURA L. O'BRIEN
MY COMMISSION # DD 205961
EXPIRES April 28, 2007
Bonded Thru Notary Public Underwriters

My Commission Expires _____
Notary Public
LAURA L. O'BRIEN
MY COMMISSION # DD 205961
EXPIRES April 28, 2007

M. Paul Boone has my permission
to sign for any necessary permits, permit
applications & pick up.

Patricia A. Donohue
1/18/05

COUNTY OF MARTIN, STATE OF FLORIDA
PERSONALLY KNOWN TO ME, ON THE 18th OF JANUARY, 2005

PATRICIA A. DONOHUE

[Handwritten signature]



CERTIFICATE OF INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES LISTED BELOW.

<p>FLORIDA FARM BUREAU INSURANCE COMPANIES P.O. BOX 147030 GAINESVILLE, FLORIDA 32614-7030</p>	<p>COMPANIES AFFORDING COVERAGES:</p> <p>Company Letter A: Florida Farm Bureau General Ins. Co.</p> <p>Company Letter B: Florida Farm Bureau Casualty Ins. Co.</p>
<p>NAME AND ADDRESS OF INSURED: HALL-SAMMONS, INC 1001 NE MARTIN AVENUE JENSEN BEACH, FL 34957-6219</p>	

The policies of insurance listed below have been issued to the insured named above and are in force at this time. Notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies.

CO. LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	ALL LIMITS IN THOUSANDS	
					Each Occurrence	Aggregate
A	<p>General Liability:</p> <p><input checked="" type="checkbox"/> Commercial General Liability (Occurrence Form)</p> <p><input type="checkbox"/> Owner's & Contractor's Protective</p> <p><input type="checkbox"/> Farmer's Personal Liability</p>	SGL 9515722	05/01/2004	05/01/2005	General Aggregate	\$ 600
					Products-completed operations aggregate	\$ 600
					Personal & Advertising Injury	\$ 300
					Each Occurrence	\$ 300
					Fire Damage (Any one fire)	\$ 50
					Medical Expense (Any one person)	\$ 5
	<p>Automobile Liability:</p> <p><input type="checkbox"/> Any auto</p> <p><input type="checkbox"/> All owned autos</p> <p><input type="checkbox"/> Scheduled autos</p> <p><input type="checkbox"/> Mixed autos</p> <p><input type="checkbox"/> Non-owned autos</p>				Combined Single Unit	\$
	<p>Excess Liability:</p> <p><input type="checkbox"/> Umbrella Form</p> <p><input type="checkbox"/> Other than Umbrella form</p>					\$
	<p>Employers Liability:</p> <p><input type="checkbox"/> Farm Employer's Liability</p> <p><input type="checkbox"/> Farm Employee's Medical</p>					\$ (Each Occurrence)
	<p>Other:</p>					\$ (Each Employee)
						\$

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES:

CANCELLATION: Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 10 days written notice to the below named certificate holder, but failure to mail such notice shall impose no obligation or liability of any kind upon the company.

NAME AND ADDRESS OF CERTIFICATE HOLDER:

SEWALLS POINT BUILDING DEPT
 ATTN LAURA
 1 SOUTH SEWALLS POINT ROAD
 STUART, FL 34006

COUNTY CODE 43 DATE ISSUED 01/18/05

Serviced by MARTIN County Farm Bureau

WANDA C GREGORY, LUTCF, CLU, ChPC, RHU
 AUTHORIZED REPRESENTATIVE

FAX 220-4765

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04060401460

DATE	BATCH NUMBER	LICENSE NBR
06/04/2004	030703111	CRC1326546

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

SAMMONS, DOUGLAS J
HALL-SAMMONS INC
1101 NE MARTIN AVE
JENSEN BEACH FL 34957

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY

18 OCTOBER 2005

RESIDENTIAL CONTRACTOR

NO FEES	0.00
REGISTRATION	0.00
EXAMINATION	0.00
ISSUANCE	0.00
TOTAL	0.00

\$25.00

CHARLETTA B. DONNELLY, COUNTY CLERK

Larry C. O'Steen, Tax Collector, P.O. Box 2013, Stuart, FL 34995 (772) 288-5604

2004-2005 MARTIN COUNTY COUNTY OCCUPATIONAL LICENSE

6818

RECEIPT OF PAYMENT

LARRY C. O'STEEN
99 10/18/2004 OCCI NORMAL
199831366815668
822884181082181310K

\$25.00

SAMMONS, DOUGLAS J
HALL-SAMMONS, INC.
DOUGLAS J SAMMONS
1101 NE MARTIN AVE.
JENSEN BEACH FL 34957

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

** RE-ISSUANCE OF CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION

This certificate exempts the Officer of the Corporation listed below from the provision of Florida Workers' Compensation Law for the period indicated below.

EFFECTIVE DATE: 01/01/2004

EXPIRATION DATE: 02/24/2005

CORPORATE OFFICER/
LLC MEMBER NAME: SAMMONS

DOUGLAS

FEIN: 609788431

BUSINESS NAME AND ADDRESS: HALL - SAMMONS INC
1101 NE MARTIN AVENUE
JENSEN BEACH

FL 34957

SCOPE OF BUSINESS OR TRADE: CARPENTRY

RE-ISSUANCE



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

AC# 1436376

CRC1326546

06/04/04 030703111

CERTIFIED RESIDENTIAL CONTRACTOR
SAMMONS, DOUGLAS J
HALL-SAMMONS INC

IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date: AUG 31, 2006 L04060401460



ASLAN, INC.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

REPORT OF TOPOGRAPHIC SURVEY For Patricia A. Donohue

Map of Topographic Survey:

See Map of Topographic Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.



Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.

General:

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- Drawing File Name: L6-Marg-topo-sp15.dwg

Limitations:

- This Survey was last surveyed in the field on January 7, 2004 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated herein.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The National Flood Insurance Program Designation as indicated on the F.E.M.A. Map Panel No. 12085C0162F, dated 10/4/2002, locates the parcel in Zone AE, base flood elevation 9'; subject to any scaling and interpolation factors associated with mapping of this accuracy.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the

PROJECT MANAGEMENT; CIVIL; SURVEY; PLANNING; CONSTRUCTION
GOVERNMENTAL LIAISON; PERMITTING; PLATTING; REZONINGS; CODE ENFORCEMENT; VARIANCES
LAND PLANNING; COMMERCIAL; RESIDENTIAL; P.U.D.'S; SUBDIVISIONS; MARINAS; SITE PLANS
MARINE ENVIRONMENTAL PERMITTING; MARINAS; DOCKS; DREDGE & FILL; DEP-CORPS-WMD - ERP; WETLAND MITIGATION
SURVEY AND MAPPING; MEAN HIGH WATER; WETLAND; SUBMERGED LAND LEASES; BOUNDARY; TOPOGRAPHIC; AS-BUILT

**Report of Topographic Survey
Patricia A. Donohue**

end user to determine the scale indicated hereon as reliable for the intended uses. Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

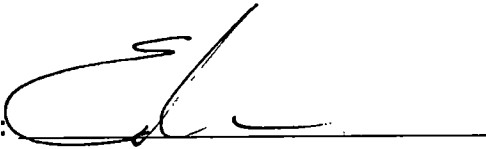
Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, inc.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715

Signed: _____



Issuance Date: January 12, 2005

Shade Tree, Inc.**P.O. Box 516****Palm City, FL 34995****772-223-7307 Fax: 772-223-7324****Proposal Number** 1105557617**Proposal Date** 1/12/2005

GENE SIMMONS
TOWN OF SEWALL'S POINT
1 SOUTH SEWALLS POINT RD.
STUART, FL 34996

Note PROPOSED PRUNING OF BANYAN TREE ON RIVER RD

Quantity	Species	Description	Cost	LineTotal
1	BANYAN TREE	REDUCE AND SHAPE BY LATERAL REDUCTION, SELECTIVE INTERIOR THINNING AND ELEVATION, REMOVE STORM DAMAGED BRANCHES	\$2,800.00	\$2,800.00
			Proposal Total	\$2,800.00

TERMS: Shade Tree is not responsible for any underground damage done during work, including gas lines, septic tanks, sprinkler systems, or wiring of any type. Customer is responsible to inform Shade Tree of the location of any underground utilities prior to commencement of work. Signature denotes acceptance of terms and proposal, payment is due upon completion of work unless otherwise noted.

SIGNATURE: _____ **DATE:** ____/____/____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JAN 19 2005 Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6857	PREISSMAN	LATH	PASS	
2	28 RIO VIO WINCHIP			INSPECTOR:
7151	HARRIGAN	FRAMING	PASS	
5	2 PALMETTO DE WORREN			INSPECTOR:
7071	TAN	FILL	PASS	CLOSE
6	7 COPAIRE RD O/B			INSPECTOR:
6959	MILORD	IN GR TANK	PASS	
7	10 N. SEWALL'S FERRELL GAS			INSPECTOR:
7185	SCHOPPE	SHEATHING	PASS	
4	B PALM ROAD A & P CONSTR.	DECK IN TIN TACK METAL		INSPECTOR:
7208	DONOHUE	FOOTER PREPOUR	PASS	
1	163 S. SEWALL'S Pt HAUL SAMMONS	EARLY PLEASE		INSPECTOR:
TREE	HOLLAND	TREE	PASS	
3	16 N. EDGEVIEW RD			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7511	HART	FINAL RENOV	FAIL	
9	113 N. SEWALL'S Pt			INSPECTOR:
	BLACK DIAMOND			
7536	OSTEEN	TREE	PASS	
4	1 RIDGEVIEW Dr			INSPECTOR:
7536	BUONO	ROOF FINAL	PASS	CLOSE
8	106 N. SEWALL'S			INSPECTOR:
	TREE ROOFING			
7412	DONAHUE	FINAL GAS	PASS	CLOSE
11	163 S. SEWALL'S			INSPECTOR:
	PROPANE DISCOUNTERS			
7122	DONAHUE	FINAL RETAINING WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			
7208	DONAHUE	FINAL RETAINING WALL + FENCE COL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	HALL-SAMMONS			
7347	DONAHUE	FINAL RET'G WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			

OTHER: _____

7347

RETAINING WALL

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/28/05

BUILDING PERMIT NO. 7347

Building to be erected for DONOHUE

Type of Permit RETAINING WALL

Applied for by O/B

(Contractor) ^{MINIMUM} Building Fee 35.00

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. Sewall's Point Rd

Impact Fee _____

Type of structure RET. WALL

A/C Fee _____

Parcel Control Number:

133841011 0000006 010000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # _____ Cash _____ Other Fees (_____)

Total Construction Cost \$ 600.00

TOTAL Fees 35.00

Signed 

Applicant

Signed 

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION MASONRY WALL

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

FEB 25 2005

BY: _____

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: Patricia J. Broom Phone (Day) 528 4137 (Fax) _____

Job Site Address: 163 S. Sewall's Point City: Sewall's Point State: FL Zip: _____

Legal Desc. Property (Subd/Lot/Block) Lot 6, Margaret Parcel Number: _____

Owner Address (if different) 2617 SE Coquina Dr City: PSL State: FL Zip: 34513

Description of Work To Be Done: Build 4 Retain, wall 5' off South Side of Home

AND WALL ACROSS STREET

WILL OWNER BE THE CONTRACTOR?

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 600.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 0

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)

(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER/AGENT SIGNATURE (required) _____

State of Florida, County of: MARTIN

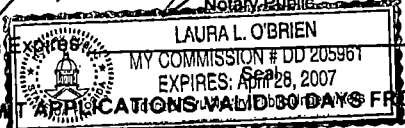
This the 25th day of February, 2005

by PAUL BROOM who is personally

known to me or produced _____

as identification. _____

My Commission Expires: _____



CONTRACTOR SIGNATURE (required) _____

On State of Florida, County of: _____

This the _____ day of _____, 2005

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

CRITIQUE

Owner: Patricia Donahue

Date: February 28, 2005

Contractor: Owner/Builder

Contractor's Phone Number: 528-4137

Plan Reviewer: Gene Simmons

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RETAINING WALL AND COLUMNS LOCATED AT 163 SOUTH SEWALL'S POINT ROAD

Submittals (2 copies)

1. The retaining wall has to be on it's own permit since the fee schedule is different for that type permit. Fills out another permit application for the columns. You will need two additional surveys showing the whole unity of title lot not just a portion of that unity for the column permit.
2. Does the retaining wall actually retain grade? If not, then it is a fence and therefore cannot connect to the main structure in order to encroach the setback area.
3. Proof of Ownership
4. Notice of Commencement for anything over \$2500. The cost of construction of \$600 is not realistic for the scope of work.



ASLAN, inc.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 · Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

PROJECT MANAGEMENT: CIVIL · SURVEY · PLANNING · CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING · PLATTING · REZONINGS · CODE ENFORCEMENT · VARIANCES
LAND PLANNING: COMMERCIAL · RESIDENTIAL · P.U.D.'S · SUBDIVISIONS · MARINAS · SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS · DOCKS · DREDGE & FILL · DEP-CORPS-WMD · ERP · WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER · WETLAND · SUBMERGED LAND LEASES · BOUNDARY · TOPOGRAPHIC · AS-BUILT

REPORT OF TOPOGRAPHIC SURVEY For Patricia A. Donohue

Map of Topographic Survey:

See Map of Topographic Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.



Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.

General:

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- Drawing File Name: L6-Marg-topo-sp15.dwg

Limitations:

- This Survey was last surveyed in the field on January 7, 2004 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated herein.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The National Flood Insurance Program Designation as indicated on the F.E.M.A. Map Panel No. 12085C0162F, dated 10/4/2002; locates the parcel in Zone AE, base flood elevation 9'; subject to any scaling and interpolation factors associated with mapping of this accuracy.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the end

**Report of Topographic Survey
Patricia A. Donohue**

user to determine the scale indicated hereon as reliable for the intended uses.
Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

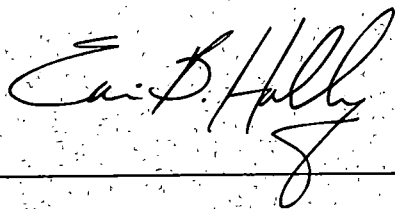
This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, INC.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715



Signed: _____

Issuance Date: February 22, 2005

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/16, 20015 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6719	DONOHUE	ROOF ELEC ^{PS}	PASS	
1	163 S. Sewall's	ROOF PLUMBING ^{PS}	PASS	INSPECTOR: <u> </u> FOR FRI. 3/18
	HALL-SAMMONS	FRAMING →	SCHEDULE	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7063	BOTWINICK	FENCE FINAL	PASS	CLOSE
11	27 EMALITA			INSPECTOR: <u> </u>
	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7333	DONOHUE	RETAINING WALL	PASS	
7347	163 S. Sewall's Pt	(STEEL)		INSPECTOR: <u> </u>
1	HALL-SAMMONS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7353	CHONTOS	POOL STEEL DR	PASS	
9	83 S. Sewall's Pt			INSPECTOR: <u> </u>
	ADV. POOL BLDS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7349	MAUD	FINAL ELEC. PANEL	CANCEL	OPEN BATH REPAIR.
14	21 N. RIVER RD.	PANEL		INSPECTOR: <u> </u> \$ REPAIR DOCK -
	KRAUSS/CRANE			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7325	BARRON	GAS FINAL	PASS	CLOSE
14	25 FIELDWAY			INSPECTOR: <u> </u>
	MARTIN COUNTY GAS			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
LAST.	KIDLINBER	FURN DECAL	PASS	INSPECTOR: <u> </u>
	SQUARE ROOF	DRY-IN		
3	OTHER: 7120 3 PALM RD.	DRY IN	PASS	
	PACIFIC ROOF			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7511	HART	FINAL RENOV	FAIL	
9	113 N. SEWALL'S Pt			INSPECTOR:
	BLACK DIAMOND			
Tree	OSTEEN	Tree	PASS	
4	1 RIDGEVIEW Dr			INSPECTOR:
7536	Buono	Roof FINAL	PASS	CLOSE
8	106 N. SEWALL'S			INSPECTOR:
	TERRACE ROOFING			
7412	DONAHUE	FINAL GAS	PASS	CLOSE
11	163 S. SEWALL'S			INSPECTOR:
	PROPANE DISCOUNTERS			
7122	DONAHUE	FINAL RETAINING WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			
7208	DONAHUE	FINAL RETAINING WALL FENCE COL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	HALL-SAMMONS			
7347	DONAHUE	FINAL RET'G WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			

OTHER: _____

7412

GAS TANK

&

LINES

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 3/21/05

BUILDING PERMIT NO. 7412

Building to be erected for BROOME

Type of Permit GAS TANK + LINES

Applied for by PROPANE DISCOUNTERS (Contractor)

Building Fee 35.00

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 163 S. SEWALL'S POINT RD

Impact Fee _____

Type of structure GAS TANK + LINES

A/C Fee _____

Parcel Control Number:

1338410110000006010000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 35.00 Check # _____ Cash _____ Other Fees (_____)

Total Construction Cost \$ 1000.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

BY: _____

Date: _____

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Paul Broome Phone (Day) _____ (Fax) _____

Job Site Address: 163 S. Sewall's Point City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: GAS TANK AND LINES INSTALLED

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: PROPANE DISCOUNT Phone: 225-2980 Fax: 225-7340

Street: 1108 NE INDUSTRIAL BLVD City: FB State: FL Zip: 32557

State Registration Number: 15540 State Certification Number: 13389 Martin County License Number: 320-006

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1000.00 (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

[Signature]

State of Florida, County of: Martin

This the 18th day of MARCH 2005

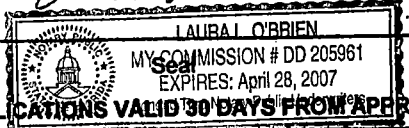
by Paul Broome who is personally

known to me or produced

as identification. [Signature]

Notary Public

My Commission Expires:



CONTRACTOR SIGNATURE (required)

Joyce Smith

On State of Florida, County of: Martin

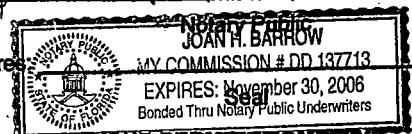
This the 17th day of March 2005

by Joyce Smith who is personally

known to me or produced F.I.D.I.

As identification. [Signature]

My Commission Expires:



ACORD CERTIFICATE OF LIABILITY INSURANCE

CSR B2
PROPAND

DATE (MM/DD/YYYY)
11/16/04

PROD LER MORRIS & REYNOLDS INSURANCE 14821 South Dixie Highway MIAMI FL 33176-7928 Phone: 305-238-1000 Fax: 305-255-9643	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
INSURED Propane Discounters, L.C. Mr. Jayce Smith 1108 NE Industrial Blvd Jensen Beach FL 34957	<table border="1"> <tr> <th>INSURERS AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A: St. Paul Fire and Marine InsCo</td> <td>24767</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: St. Paul Fire and Marine InsCo	24767	INSURER B:		INSURER C:		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #												
INSURER A: St. Paul Fire and Marine InsCo	24767												
INSURER B:													
INSURER C:													
INSURER D:													
INSURER E:													

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS								
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	CK00217230	11/14/04	11/14/05	EACH OCCURRENCE \$ 1,000,000								
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000												
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	CK00217230	11/14/04	11/14/05	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000								
	BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$												
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$								
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$								
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				<table border="1"> <tr> <td>WC STATU-TORY LIMITS</td> <td>OTH-ER</td> </tr> <tr> <td>E.L. EACH ACCIDENT</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - EA EMPLOYEE</td> <td>\$</td> </tr> <tr> <td>E.L. DISEASE - POLICY LIMIT</td> <td>\$</td> </tr> </table>	WC STATU-TORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$
WC STATU-TORY LIMITS	OTH-ER												
E.L. EACH ACCIDENT	\$												
E.L. DISEASE - EA EMPLOYEE	\$												
E.L. DISEASE - POLICY LIMIT	\$												
A	OTHER Property Section Special Form	CK00217230 REPLACEMENT COST	11/14/04	11/14/05	Contents 10,000 Backhoe 5,000								

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

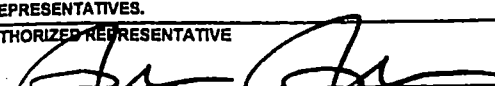
TOWNSEW

Town of Sewall's Pointe
 Laura
 1 S Sewall's Pointe Road
 S Sewall's Pointe FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE





POST LICENSE
CONSPICUOUSLY

State of Florida
Department of Agriculture and Consumer Services

Division of Standards
Bureau of Liquefied Petroleum Gas
(850) 921-8001
Tallahassee, Florida

License Number: 15540
Expiration Date: August 31, 2005
Date of Issue: September 1, 2004
License Fee: \$425.00
Type and Class: 0601

Liquefied Petroleum Gas License
CATEGORY I LP GAS DEALER

GOOD FOR ONE LOCATION

This license is issued under authority of Section 527.02, Florida Statutes, to:

PROPANE DISCOUNTERS, L.C.
739 NE DIXIE HWY
JENSEN BEACH, FL 34957-6105

Charles H. Bronson
CHARLES H. BRONSON
COMMISSIONER OF AGRICULTURE



State of Florida
Department of Agriculture and Consumer Services

Division of Standards
Bureau of Liquefied Petroleum Gas
(850) 921-8001
Tallahassee, Florida

Certificate No: 13389
Exam Date: September 24, 1989
Issue Date: August 4, 2003
Expiration Date: August 4, 2006
Exam: 0601

MASTER QUALIFIER CERTIFICATE

This Certificate is issued under authority of Section 527.02, Florida Statutes, to:

JAYCE SMITH

Valid For
License Number: 15540
PROPANE DISCOUNTERS, L.C.
739 NE DIXIE HWY
JENSEN BEACH, FL 34957-6105

Charles H. Bronson
CHARLES H. BRONSON
COMMISSIONER OF AGRICULTURE

2004-2005 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34985
(772) 288-5604

LICENSE 2004-320-006 CERT _____
PHONE (772) 225-7980 SIC NO 422710

LOCATION:
739 NE DIXIE HWY STU

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	_____
\$	<u>.00</u>	PENALTY \$	_____
\$	<u>.00</u>	COL. FEÉ \$	_____
\$	<u>.00</u>	TRANSFER \$	_____
TOTAL		<u>32.50</u>	



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
WHOLESALE DISTRIBUTION OF PROPANE BY LARRY C. O'STEEN, J.D.
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE
22 DAY OF OCTOBER 20 04
AND ENDING SEPTEMBER 30, 2005

RECEIPT OF PAYMENT

LARRY C. O'STEEN 6818 1
99 10/22/2004 OCCI MORNAL
2664326666666666
9228841822881281CX \$32.50




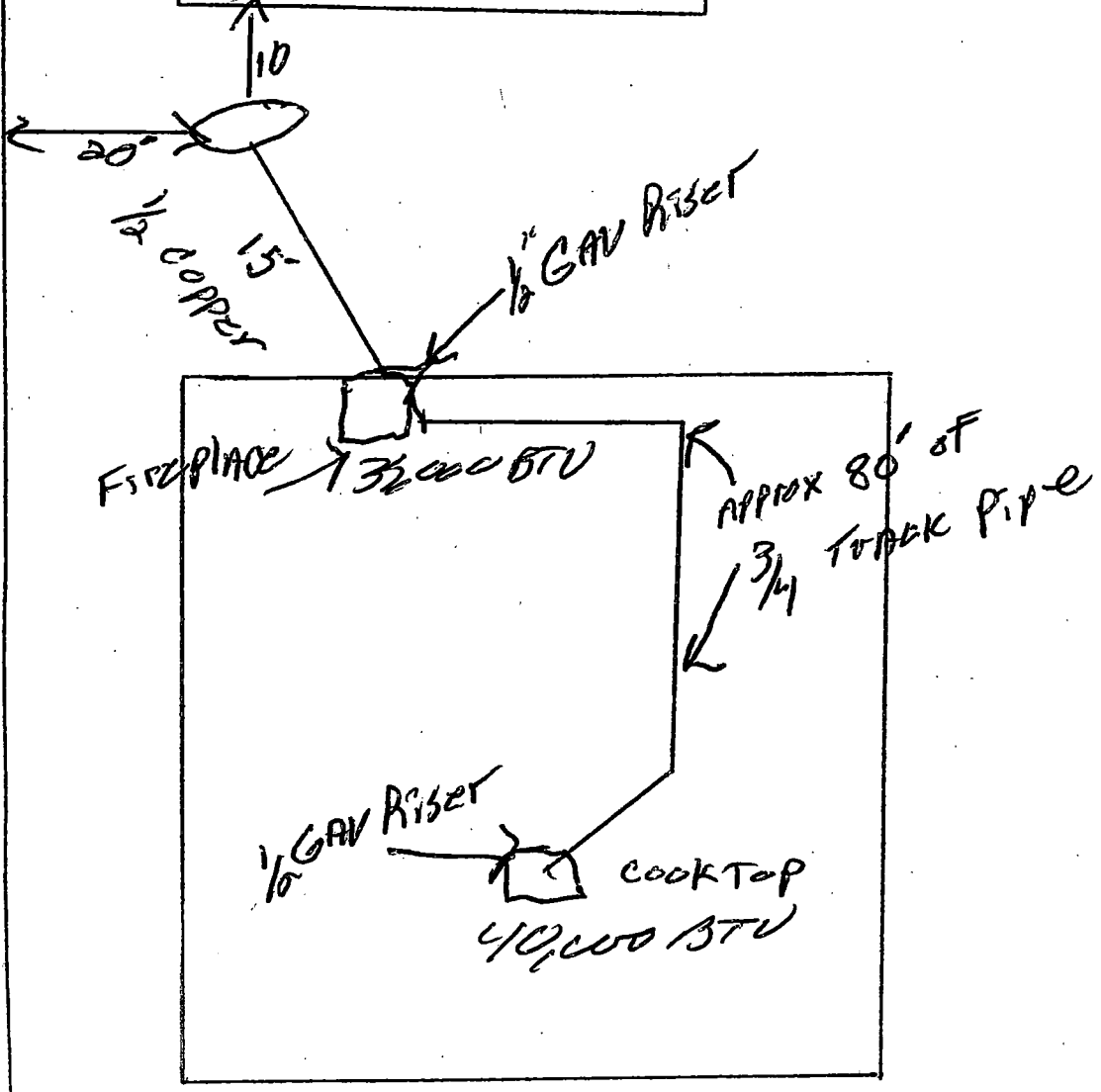
Employer Detail Page

PROPANE DISCOUNTERS L C					
739 NE DIXIE HWY					
JENSEN BEACH					
FL		34957-4957		Martin	
LIMITED LIABILITY CO.					

JAYCE SMITH	ME	Jan 14 2004	Aug 18 2005	Construction
JAYCE SMITH	ME	Aug 19 2003	Dec 31 2003	Construction
JOHN C MICHEL	VP	Aug 19 2003	Dec 31 2003	Construction
JAMES D GEISLER	ME	Jan 14 2004	Aug 18 2005	Construction
JAMES D GEISLER	ME	Aug 19 2003	Dec 31 2003	Construction

--	--	--

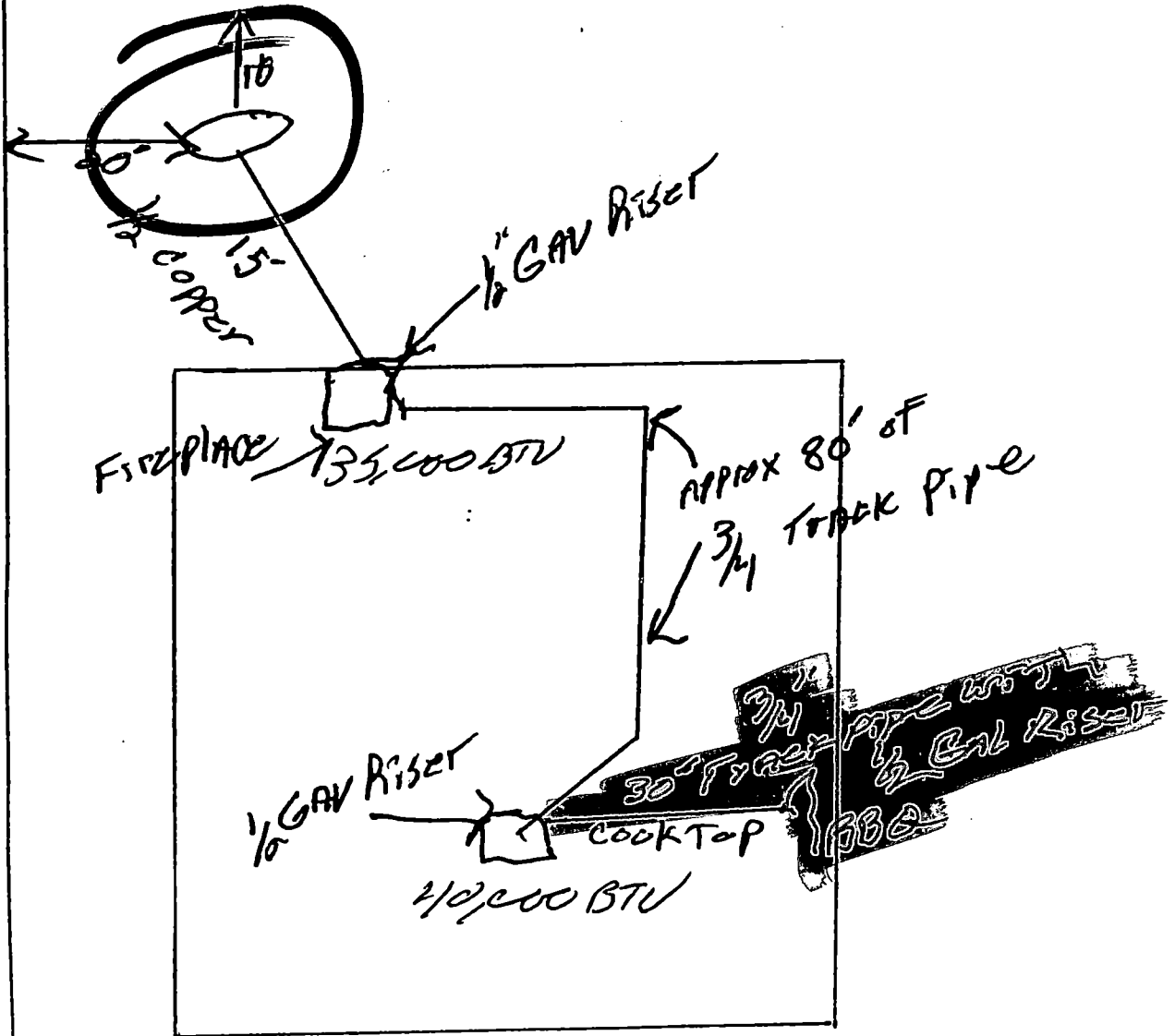
FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 3/21/05

BUILDING OFFICIAL
Gene Simmons



SEWALLS RD

NOT IN R.O.C.

Sewall's Rd



REVISION

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE: 3/23/01

BUILDING OFFICIAL
Gene Simmons

RECEIPT

TOWN OF SEWALL'S POINT

DATE 5/31/05 No. 075341

RECEIVED FROM BROOME/PROPANE DISCOUNTERS \$ 40.00

Forty and 00/100 DOLLARS

FOR RENT
 FOR REINSPECTION

ACCOUNT	<u>40.00</u>	<input type="radio"/> CASH	FROM _____ TO _____
PAYMENT	<u>40.00</u>	<input checked="" type="radio"/> CHECK	BY <u>[Signature]</u>
BAL. DUE	<u>0</u>	<input type="radio"/> MONEY ORDER	

adams 2701

PROPANE DISCOUNTERS, L.C. 4-04
 1108 NE INDUSTRIAL BLVD.
 JENSEN BEACH, FL 34957

FIRST PEOPLES BANK
 715 COLORADO AVENUE
 STUART, FL 34994

1655

5-31-05

PAY TO THE ORDER OF

TOWN OF SEWALL'S POINT

\$ 40.00

Forty Dollars only

DOLLARS


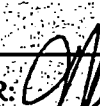
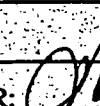
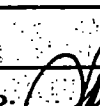
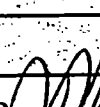
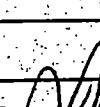

MEMO

[Signature]

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3/30, 2005 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7190	OSTEEN	INGETANK+	FAIL	
6	1 RIDGEVIEW RD MARTIN GY PROPANE	LINES		\$40 FEE INSPECTOR: 
7054	TAPPER	FOOTER	PASS	
20	22 ISLAND ROAD WINCHUP	(LAST PLEAS)		INSPECTOR: 
7374	RIBELLINO	FINAL DOLL ELEC	FAIL	
4	18 ISLAND RD RIVERSIDE ELEC			INSPECTOR: 
TREE	CHANTOS	TREE	PASS	
13	83 S. SEWALL'S PT			INSPECTOR: 
7350	GOVEL	GARAGE ELEC	FAIL	
5	5 RIVERVIEW O/B	AK	PASS	INSPECTOR: 
7414	WHITING	DRY-IN	PASS	
7	7 S. RIDGEVIEW TUTTLE			INSPECTOR: 
7412	DONOVUE	GAS BOOTH IN	PASS	
3	163 S. SEWALL'S PT HALL-SAMMONS			INSPECTOR: 

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri April 4, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7412	DONOHUE	GAS PIPING IN	PASS	
1A	1163 S. Sewall's Pt Van Sammons			INSPECTOR: <i>[Signature]</i>
7433	SCHRADER	FIL FINAL	PASS	
7	4 EMARITA WAY OIB			INSPECTOR: <i>[Signature]</i>
7321	KIRLINGER	DRY IN TTD	PASS	
2	143 S. RIVER RD START ROOFING	METAL		INSPECTOR: <i>[Signature]</i>
7306	RIMMER	FOOTER PERMAN		
1	29 S. RIVER RD LEARN DEVEL	(FIRST RELEASE)		INSPECTOR: <i>[Signature]</i>
7349	MAUD	ELEC SVC CHG	FAIL	
10	21 N. RIVER RD KRAUSS + CRANE	FINAL?		\$40 FEE INSPECTOR: <i>[Signature]</i>
7326	ROTHBERG	FINAL DEMO	PASS	
11	103 N. SEWALL'S PT OCEAN GATE			INSPECTOR: <i>[Signature]</i>
7372	Male Trends	Final Drywall,	PASS	
9	3866 E Ocean Blvd Wayne, Kirchner Contr	Ceiling + Light Fixtures (Electric)	PASS	INSPECTOR: <i>[Signature]</i>

OTHER: 10 CASTLE HILL WORK IN PROGRESS?
HAS STOP WORK ORDER



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 163 SSPR

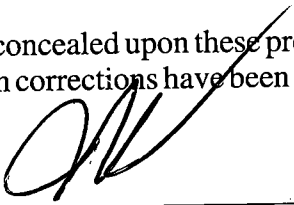
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

NO TANK & GAS LINES

NO PERMIT PASTED - \$40 FEE
PRESSURE TEST GAUGE
SHOWS '0'

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/25



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5/25, 2007 5 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7548	NORDGREN	INGR TANK +	PASS	
9	5 KINGSTON CT PROPANE DISC.	LINES		INSPECTOR:
7412	BROOME	INGR TANK +	FAIL	
5	163 S. SEWALL ST PROPANE DISCOVERERS	LINES		\$40 FEE INSPECTOR:
7443	KIPLINGER - STUWART	IN PROGRESS	PASS	
8	143 S. RIVER RD STUART ROOFING	ROOF		INSPECTOR:
7554	KIPLINGER - S. GROVE	IN PROGRESS	PASS	
8	143 S. RIVER RD STUART ROOFING	ROOF		INSPECTOR:
7289	KLOSE	DRY-IN	—	TALKED W/ OWNER
11	2 BAW PACIFIC ROOFING	(SEE GENE) CRICKET		INSPECTOR:
7031	LASKY	FINAL GAS	FAIL	
3	27 W. HIGH POINT FERREN GAS			INSPECTOR:
TREE	AKERS	TREE	PASS	
4	38 W. HIGH POINT			INSPECTOR:
OTHER:	16 8 CASTLE HILL WAY	DUMPSTER 3 MONTHS - No permit		NOTIFIED OWNER OF NEED FOR DUMPSTER PERMIT

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/1, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6741	OSTEEN	FINAL SFR	FAIL	
1	1 RIDGEVIEW			INSPECTOR:
6654	OSTEEN	FINAL FU	FAIL	
1	1 RIDGEVIEW A/B			INSPECTOR:
7190	OSTEEN	FINAL GAS TANK	PASS	
1	1 RIDGEVIEW MARTINGLY PROPANE	+ LINES		INSPECTOR: <i>[Signature]</i>
7555	FOWLER	Per Denwan	FAIL	
5	18 FIELDWAY D/B	BATHROOM		INSPECTOR: <i>[Signature]</i>
7298	Paltee	DEM IN T&M	FAIL	\$40 FEE
2	915. RIVER RD PACIFIC ROOFING			INSPECTOR: <i>[Signature]</i>
7551	TSP	FLAG POLE	PASS	CLOSE
4	15. SEWALLS PT Gould Signs			INSPECTOR: <i>[Signature]</i>
TREE	McPHEE	TREE	PASS	
3	8 ADMIRALS WALK	(OFF RIO VISTA)		INSPECTOR: <i>[Signature]</i>
OTHER:	15 ROOM	UB TANK	PASS	PUMP UP
7412	103 SS PL.	& LINES.		W/ PROBLE LOCATION

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7511	HART	FINAL RENOV	FAIL	
9	113 N. SEWALL'S Pt			INSPECTOR:
	BLACK DIAMOND			
Tree	OSTEEN	TREE	PASS	
4	1 RIDGEVIEW Dr			INSPECTOR:
7536	BUNO	ROOF FINAL	PASS	CLOSE
8	106 N. SEWALL'S			INSPECTOR:
	TOTILE ROOFING			
7412	DONAHUE	FINAL GAS	PASS	CLOSE
11	163 S. SEWALL'S			INSPECTOR:
	PROPANE DISCOUNTERS			
7122	DONAHUE	FINAL RETAINING WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			
7208	DONAHUE	FINAL RETAINING WALL FENCE COL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	HALL-SAMMONS			
7347	DONAHUE	FINAL RET'G WALL	PASS	CLOSE
11	163 S. SEWALL'S Pt			INSPECTOR:
	O/B			

OTHER: _____

7510

POOL

TOWN OF SEWALL'S POINT

Date 4/25/05

BUILDING PERMIT NO. 7510

Building to be erected for Donahue

Type of Permit Pool

Applied for by South Florida Custom Pools

(Contractor)

Building Fee 240⁰⁰ ~~240⁰⁰~~

Subdivision Marguerite Lot 6 Block _____

Radon Fee _____

Address 163 S. Sewall's Point Rd

Impact Fee _____

Type of structure Pool

A/C Fee _____

Parcel Control Number:

1338410110000006010000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$240⁰⁰ Check # 384 Cash _____

Other Fees (_____)

Total Construction Cost \$ 29,300

TOTAL Fees 240⁰⁰

Signed Rod J. Murr
Applicant

Signed Gene Simmons (GJS)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

APR 20 2005

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: Patricia Donahue Phone (Day) _____ (Fax) _____

Job Site Address: 163 S. Sewalls Point Rd. City: Stuart Phone: _____ State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 6 Marguerita Parcel Number: 1338410110000006010000

Owner Address (if different): 2617 SE Gowin Dr. City: PSL State: FL Zip: 34952

Description of Work To Be Done: Swimming Pool

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 29,300. (Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below) (If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: South Florida Custom Pools Phone: 286 7033 Fax: 286 2690

Street: 2625 SW Mapp Rd. City: Palm City State: FL Zip: 34990

State Registration Number: _____ State Certification Number: CPC1456813 Martin County License Number: SPO 2562

SUBCONTRACTOR INFORMATION:

Electrical: Phenox Elect. State: FL License Number: EC0001399

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER Robert A Dunlea Lic# 42835 Phone Number: 772 286 6858

Street: _____ City: Palm City State: FL Zip: 34990

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: National Electrical Code: 2002 Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) [Signature]

State of Florida, County of: Martin

This the 4th day of April, 2005

by Paul Broome who is personally known to me or produced _____

as identification. Personally Known [Signature]

My Commission Expires: _____

CONTRACTOR SIGNATURE (required) [Signature]

On State of Florida, County of: Martin

This the 4th day of April, 2005

by Rod J. Maine who is personally known to me or produced personally known

As identification. [Signature]

My Commission Expires: _____

NOTARY PUBLIC-STATE OF FLORIDA Linda M. Parton Commission # DD384262 Expires JAN 05, 2009

NOTARY PUBLIC-STATE OF FLORIDA Linda M. Parton Commission # DD384262 Expires JAN 05, 2009

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID JR
SOUTH36

DATE (MM/DD/YYYY)
07/26/04

PRODUCER
Insurance By Ken Brown, Inc.
P.O. Box 540569
1339 Arlington Street
Orlando FL 32805
Phone: 407-849-0490 Fax: 407-648-0197

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED

South Florida Custom PoolsLLC*
South Florida Custom Pools
5015 SW Whipporwill Ave
Palm City FL 34990

INSURERS AFFORDING COVERAGE		NAIC #
INSURER A:	Amerisure Mutual Ins. Co	02545
INSURER B:	Amerisure Ins Company	09088
INSURER C:		
INSURER D:		
INSURER E:		

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY	16875	07/27/04	07/27/05	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 5,000
					PERSONAL & ADV INJURY	\$ 1,000,000
					GENERAL AGGREGATE	\$ 2,000,000
					PRODUCTS - COMP/OP AGG	\$ 2,000,000
					GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
	AUTOMOBILE LIABILITY				COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
	<input type="checkbox"/> ANY AUTO				OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
						\$
						\$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	16877	07/27/04	07/27/05	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT	\$ 100000
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 100000
					E.L. DISEASE - POLICY LIMIT	\$ 500000
	OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
fax 561-220-4765

CERTIFICATE HOLDER

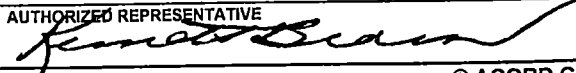
SEWALLS

City of Sewalls Point
1 South Sewalls Point Rd.
Sewalls Point FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE





**MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency**

COMMERCIAL POOL/SPA

License Number SP02562 Expires: 30-SEP-2005

MAINE, ROD J
SOUTH FLORIDA CUSTOM POOLS
5015 SW WHIPPORWILL AVE
PALM CITY, FL 34990



STATE OF FLORIDA

AC#1557448

**DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION**

CPC1456813 08/23/04 00000000

**CERT RESIDENTIAL POOL/SPA CONTR
MAINE, ROD J
SOUTH FLORIDA CUSTOM POOLS LLC**

IS CERTIFIED under the provisions of Ch.489 FS.

Expiration date: AUG 31, 2006

L04082300522

TOWN OF SEWALL'S POINT

RESIDENTIAL SWIMMING POOLS, SPA AND HOT TUB SAFETY ACT

AFFIDAVIT OF REQUIREMENT COMPLINACE

I (We) acknowledge that a new swimming pool, spa or hot tub has been constructed or installed at 103 SW Sewall's Point Rd, and hereby affirm that one of the following methods has been used to meet the requirements of Chapter 515, Florida Statues.

- The pool is isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statue 515.29
- The pool is equipped with an approved safety pool cover that complies with ASTM F1346-91 (Stand Performance Specification for Safety Covers for Swimming Pool, Spas, and Hot Tubs)
- All doors and windows providing direct access from the home to the pool are equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet
- All doors providing direct access from the home to the pool are equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

[Signature]
CONTRACTOR'S SIGNATURE & DATE

[Signature] April 4, 2005
OWNER'S SIGNATURE & DATE


[Signature]
NOTARY PUBLIC, STATE OF FLORIDA


[Signature]
NOTARY PUBLIC, STATE OF FLORIDA

AS TO CONTRACTOR PERSONALLY KNOWN
OR PRODUCED ID _____
TYPE _____

AS TO OWNER PERSONALLY KNOWN
OR PRODUCED ID _____
TYPE _____

THIS FORM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION

NOTARY PUBLIC-STATE OF FLORIDA
 Linda M. Parton
Commission # DD384262
Expires: JAN. 05, 2009
Bonded Thru Atlantic Bonding Co., Inc.

NOTARY PUBLIC-STATE OF FLORIDA
 Linda M. Parton
Commission # DD384262
Expires: JAN. 05, 2009
Bonded Thru Atlantic Bonding Co., Inc.

NO OVERHEAD POWER LINES

SPECIFICATIONS

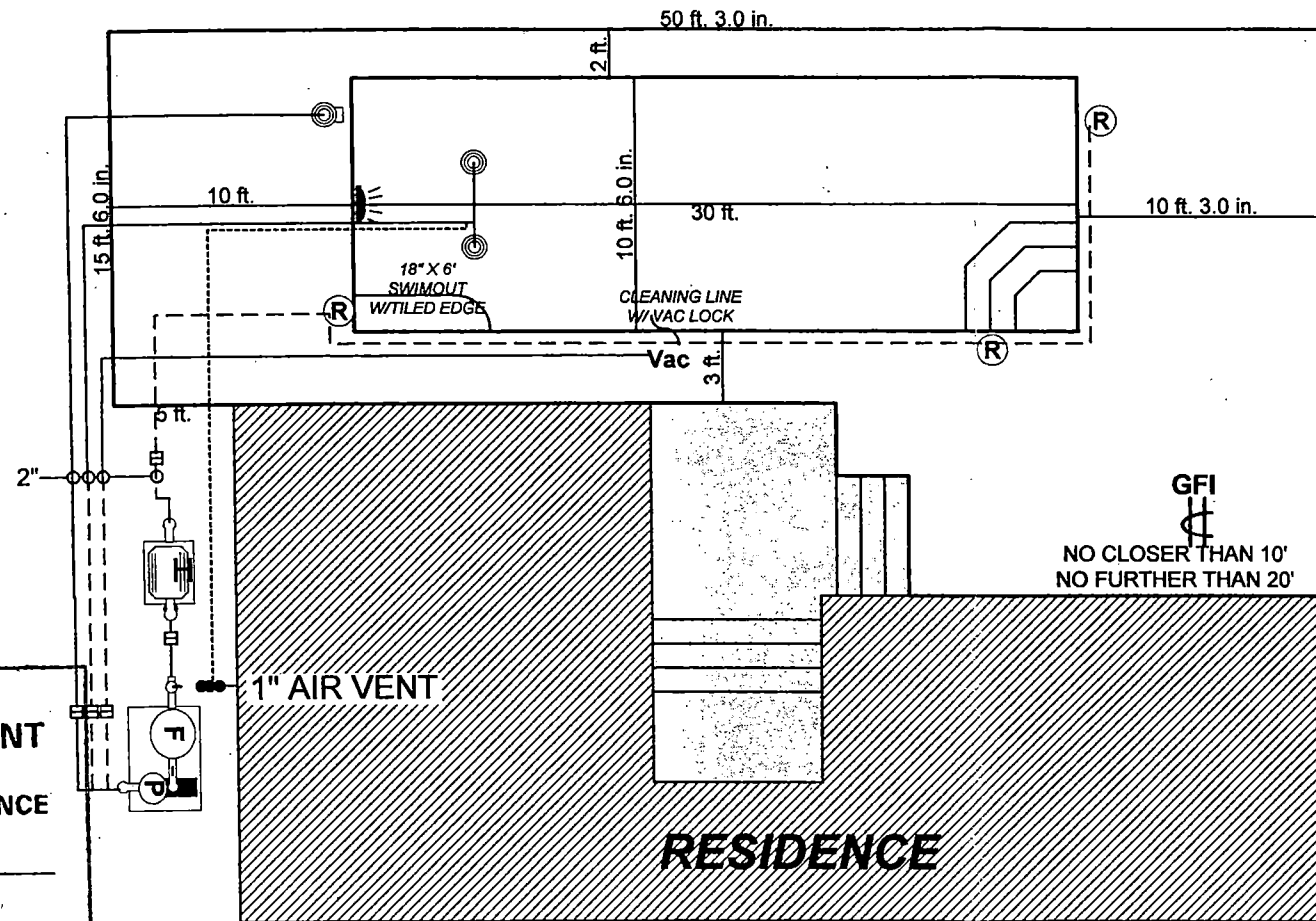
POOL SIZE:	10.5' X 30'	POOL DEPTH:	3'-6"
POOL PERIMETER (FT)	81'	POOL AREA(SQ.FT.)	315
VOLUME (GAL)	10,600	TURNOVER RATE	2.94

POOL EQUIPMENT

MAX PRO POOL PUMP H.P.	1
POOL FILTER	PLM 200
POOL HEATER TYPE	AQUA CAL
POOL HEATER SIZE	H120
POOL INLETS	3
SKIMMER	1
CLEANING LINE	1
CHLORINATOR	AUTOPILOT
POOL LIGHT	300W
SWIMOUT	18"X6'
INTERIOR FINISH	GEM

DECK

DECK TYPE	PAVERS
COPING	BULLNOSE
BARRIER	NET
FOOTERS L.F.	94'
DECK SF.	612



FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 4/25/05

BUILDING OFFICIAL
 Gene Simmons

R.A. Dunlea P.E.
 License # 42835

 4-18-05

DATE: 4-4-05
 PAGE: 1 OF 3
 SCALE: 1/8" = 1'



Swimming Pool Builder
 Custom Design & Construction

Rod Maine
 286-7033
 337-9995
 Fax: 286-2690
 2625 Mapp Road
 Palm City, FL 34990

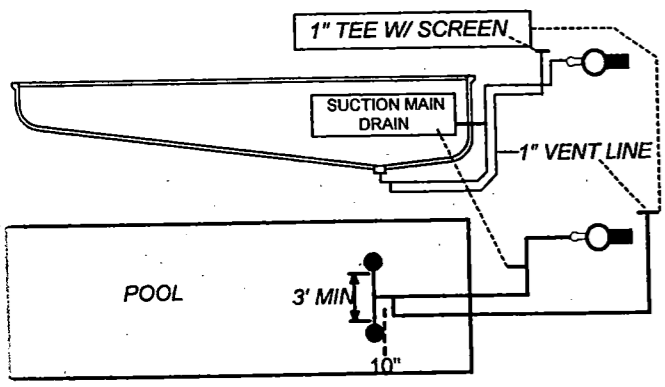
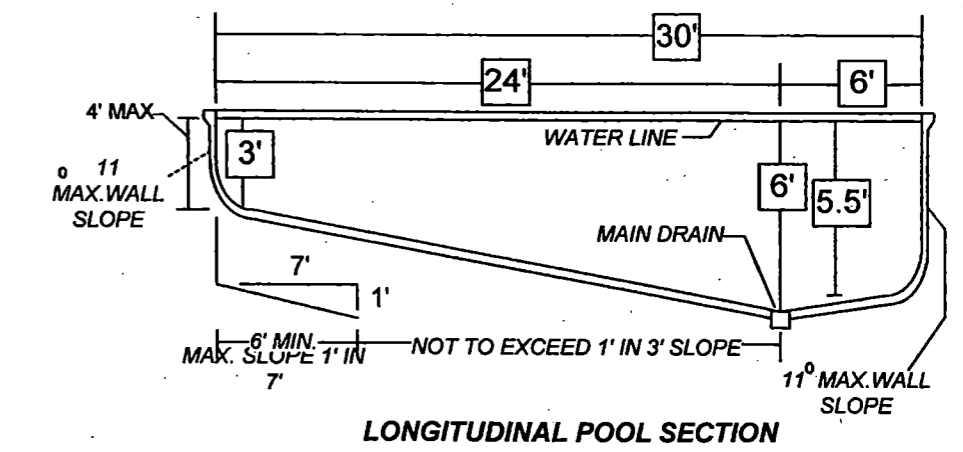
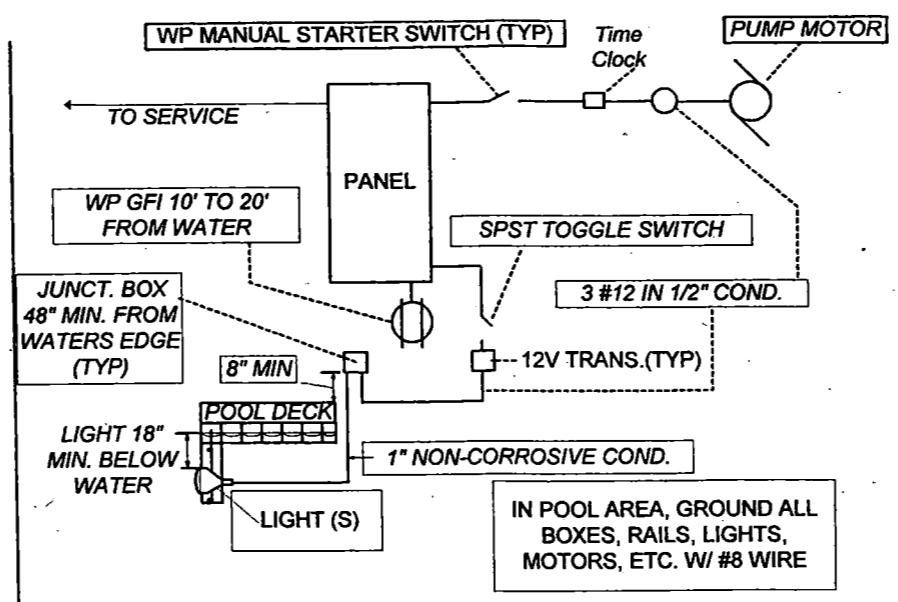
NAME: **DONOHUE / BROOME**
 ADDRESS: **163 S. SEWALLS POINT RD.**
 CITY/STATE: **SEWALLS POINT, Fla. 34996**
 LOT: **6** PLAT: **0** PAGE: BOOK:
 SUBDIVISION: **MARGUERITA** COUNTY: **Martin**
 I.D. #: **133841011000006010000**

1. This safety vacuum relief system is a non-mechanical vent system that will limit the transmission of suction at the pool outlet to a maximum of 4.5 inches of mercury.
2. This system is a backup to provide suction relief should entrapment occur
3. Pool and spa suction inlets shall be provided with a cover that complies with ANSI/ASME A112.19.8m
4. The velocity on the suction side of the circulation system shall not exceed six (6) FPS.
5. Check valves cannot be installed on the suction system.
6. This system shall be installed and tested by a qualified, licensed swimming pool professional.
7. The vent lines length must not exceed the total length of their main drain lines and the value in vent chart to the right.
8. Vent opening must be covered with wire mesh screen to prevent insects, debris collection and bacteria.
9. Label vent pool safety device- do not handle

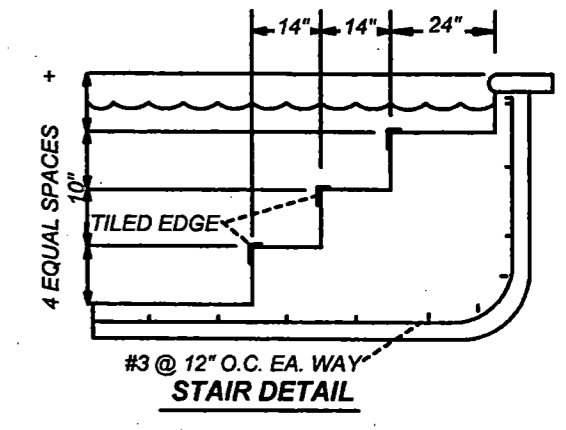
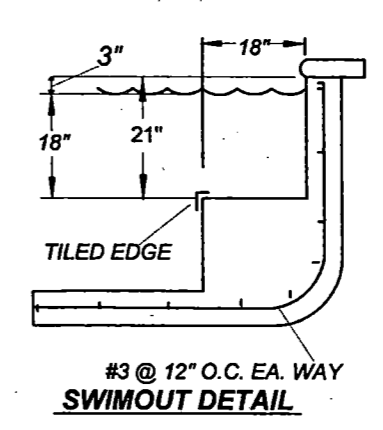
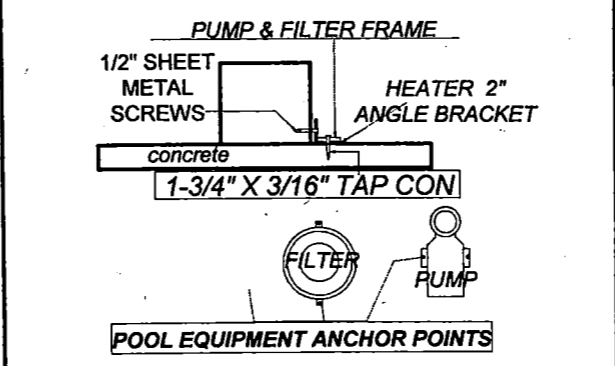
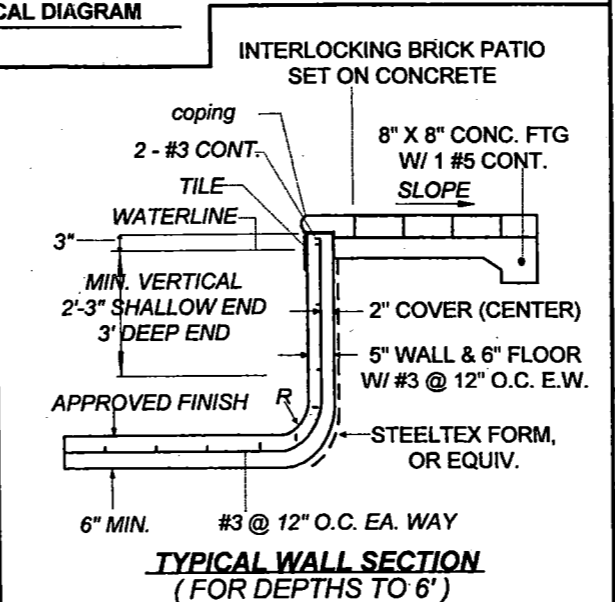
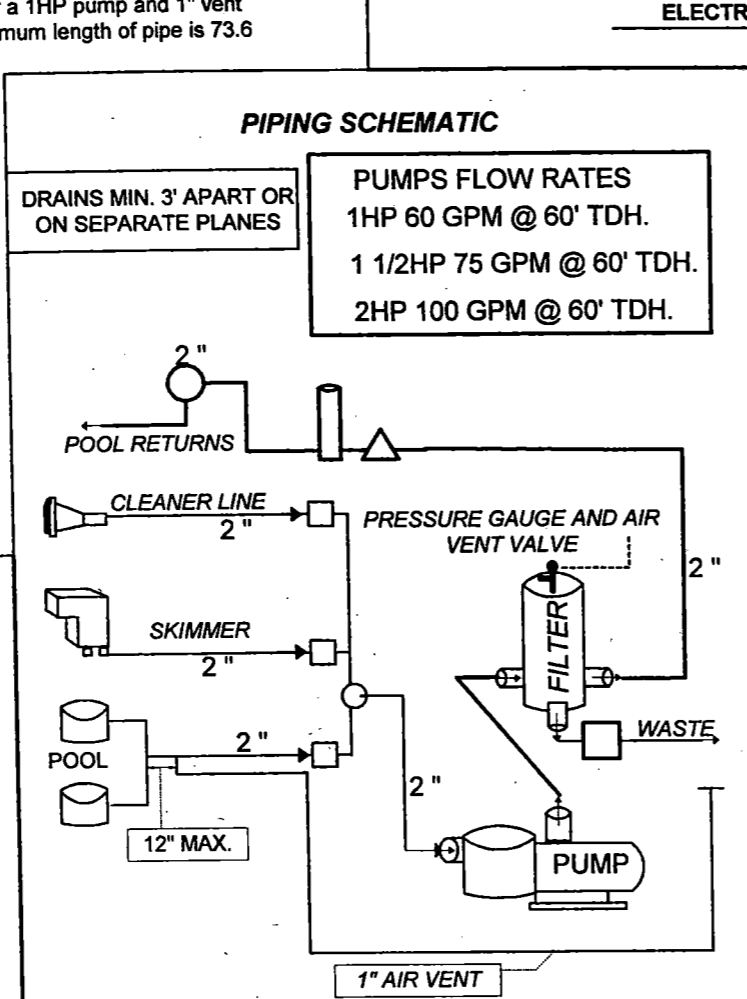
vent pipe maximum length

pump sizes	avg. flow	vent sizes	max length
3/4 hp	45 gpm	1"	62 ft.
1 hp	60 gpm	1"	73 ft.
1.5 hp	75 gpm	1"	92 ft.
2 hp	100 gpm	1"	122 ft.
2.5 hp	135 gpm	1"	165 ft.
3 hp	145 gpm	1"	177 ft.

Based on following example :
 1 hp pump flow rate 60GPM @ 60' TDH
 $60\text{GPM} / (60 \times 7.48) = 0.13369$ cubic feet per second.
 Flow X 3 seconds (code required) = maximum size of opening.
 $0.13369 \times 3 = 0.4011$ cubic feet area of 1" vent pipe = .00545 sq feet the allowable length = $0.4011 / .00545 = 73.6$ feet
 Therefore, for a 1HP pump and 1" vent line, the maximum length of pipe is 73.6 feet

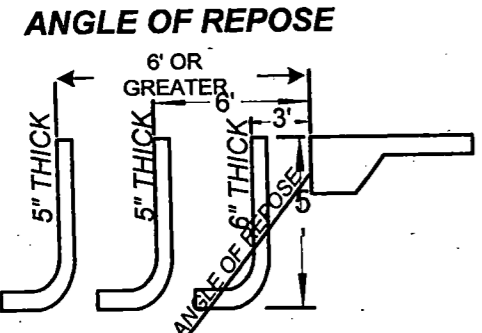


SAFETY VACUUM RELEASE SYSTEM



This pool and spa shall be designed and constructed in accordance with Section 424.2 of the Florida Building Code.

Note: Since bottom of Pool is essentially the same elevation as footer, Angle of Repose does not Apply.

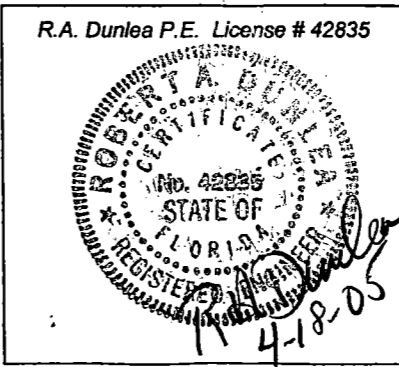


- OUTSIDE ANGLE OF REPOSE 5' AND GREATER 5" THICK W/ #3 @ 12" O.C. EACH WAY
- 3' TO 6' 5" THICK W/ #3 @ 6" O.C. EACH WAY
- 0' TO 3' 6" THICK W/ #3 @ 6" O.C. EACH WAY

THE DETAIL ABOVE IS REPRESENTATIVE OF A 5' DEEP POOL SECTION. THE EXTRA STEEL, SHEATING AND SHORING APPLIES ONLY TO THOSE AREAS OF THE POOL/SPA IN WHICH EXTRA STEEL, SHEATING AND SHORING ARE REQUIRED SHALL BE DETERMINED BY THE FOLLOWING: IF POOL STRUCTURE IS WITHIN AN AREA EQUAL TO DEPTH + 1' OF AN EXISTING STRUCTURE, THEN SHORING AND/OR SHEATING AND/OR EXTRA STEEL IS REQUIRED.

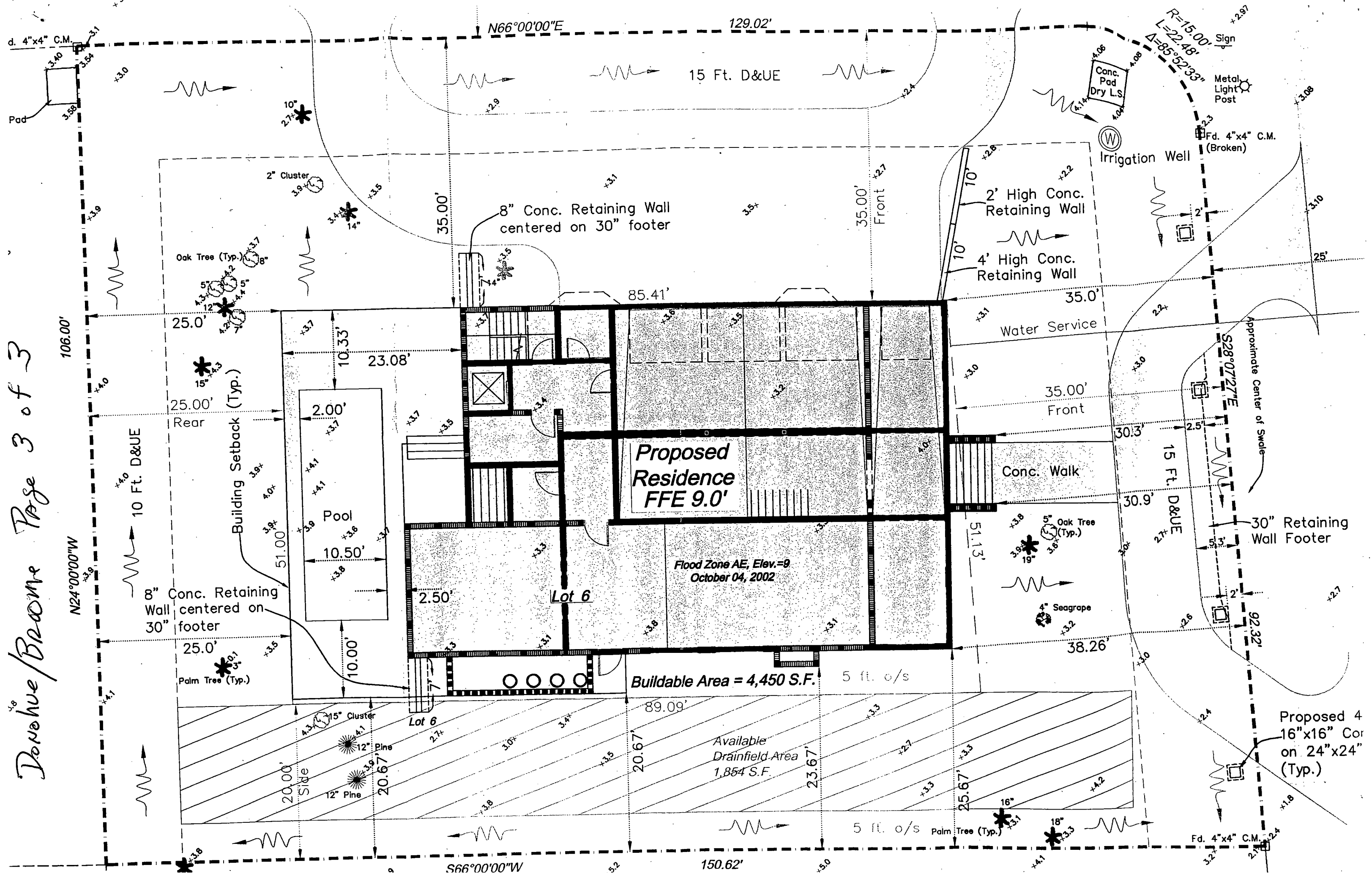
SOUTH FLORIDA CUSTOM POOLS

DATE: 4-4-05
PAGE: 2 OF 3



NAME: **DONOHUE / BROOME**
 ADDRESS: **163 S. SEWALLS POINT RD.**
 CITY/STATE: **SEWALLS POINT, Fla. 34996**
 LOT: **6** BLOCK: PAGE: BOOK:
 SUBDIVISION: **MARGUERITA** COUNTY: **Martin**
 I.D. #: **133841011000006010000**

Donohue/Braome Page 3 of 3



Proposed 4
16"x16" Cor
on 24"x24"
(Typ.)



ASLAN, inc.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

PROJECT MANAGEMENT: CIVIL • SURVEY • PLANNING • CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING • PLATTING • REZONINGS • CODE ENFORCEMENT • VARIANCES
LAND PLANNING: COMMERCIAL • RESIDENTIAL • P.U.D.'S • SUBDIVISIONS • MARINAS • SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS • DOCKS • DREDGE & FILL • DEP-CORPS-WMD - ERP • WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER • WETLAND • SUBMERGED LAND LEASES • BOUNDARY • TOPOGRAPHIC • AS-BUILT

REPORT OF TOPOGRAPHIC SURVEY For Patricia A. Donohue

Map of Topographic Survey:

See Map of Topographic Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.



Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.

General:

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4:104 feet.
- Drawing File Name: Broome-L6-Marg-Topo-SP20.dwg

Limitations:

- This Survey was last surveyed in the field on January 7, 2004 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated herein.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The National Flood Insurance Program Designation as indicated on the F.E.M.A. Map Panel No. 12085C0162F, dated 10/4/2002, locates the parcel in Zone AE, base flood elevation 9'; subject to any scaling and interpolation factors associated with mapping of this accuracy.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the end

Report of Topographic Survey
Patricia A. Donohue

user to determine the scale indicated hereon as reliable for the intended uses.
Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

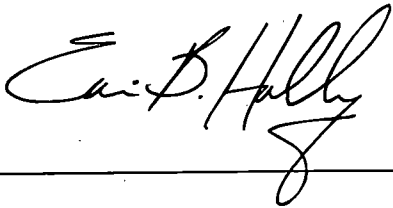
This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, INC.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715



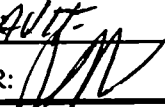
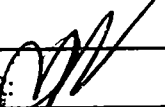
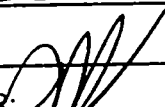

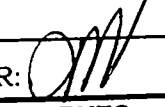
Signed: _____

Issuance Date: April 11, 2005

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/13, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7282	SHORT	FINAL ADDITION		WAITING FOR OWNERS COST
11	10 N. RIVER RD			AFFADAVIT
	O/B			INSPECTOR: 
7372	SHORT	FINAL REEROOF	PASS	FA CLOSE
11	10 N. RIVER RD			
	O/B			INSPECTOR: 
7338	MCCORMICK	FOOTER		CXL
	59 N. RIVER RD			
	PINE OAKHURD			INSPECTOR:
7516	FERRARO	FINAL GAS	PASS	CLOSE
5	4 KINGSTON G			
	FERRARO GAS			INSPECTOR: 
	BABKIE	COURT. INSP	PASS	
1	101 S. SEWALLS PT	PRED LIVEWALL		
	O/B	AS EARLY AS POSS		INSPECTOR: 
7510	DONOHUE	POOL PUMBING	PASS	
4	163 S. SEWALLS PT			
	So. Fla. Custom			INSPECTOR: 
7540	LIZANO	FINAL ROOFING		CANCEL
7	16 CRANE'S NEST			
	AT BUILDERS			INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8/26, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7715	APHOS	WINDOW BUCK	PASS	
3	3 Gumbolimbo			INSPECTOR:
	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7510	DONAHUE	FINAL POOL + DECK	PASS	CLOSE
4	1635 S. Sempronis Pk Rd			INSPECTOR:
	So. Fla. Custom Pools			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6551	LANGER	FINAL SFR	PASS	CLOSE
2	3 LOFTING WAY			READY FOR C.O. INSPECTOR:
	FLORIDA'S FINEST			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7632	GEISINGER	FOOTER	PASS	
1	8 CASTLE HILL WAY			INSPECTOR:
	O/B	FIRST PLEASE		
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	PAWLUC	TREE		
8	102 HILLCREST			INSPECTOR:
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7748	ABESADA-TECK	DRY-IN	FAIL	\$40 FEE
7	8 MORGAN CR			INSPECTOR:
	FEAZEL ROOFING			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DONALDSON	TREE	PASS	
5	15 MANDALAY			INSPECTOR:

OTHER: _____

7629

EXTERNAL

SUMP PUMP

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

BUILDING PERMIT NO. 7629

Date 6/17/05

Building to be erected for BROOME

Type of Permit Ext Sump Pump

Applied for by O/B

(Contractor) Building Fee 35.00

Subdivision MARGUERITA Lot 6 Block _____

Radon Fee _____

Address 1163 S. SEWALL'S PT RD

Impact Fee _____

Type of structure SFK

A/C Fee _____

Electrical Fee _____

Parcel Control Number:
1338410110000006010000

Plumbing Fee _____


Roofing Fee _____

Amount Paid 35.00 Check # 649 Cash _____

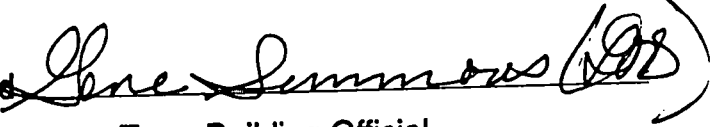
Other Fees (_____)

Total Construction Cost \$ 1200.00

TOTAL Fees 35.00

Signed 

Applicant

Signed 

Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |
| | | <input checked="" type="checkbox"/> Sump Pump |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

RECEIVED
6/16/04

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: Paul Broom Phone (Day) 528-4137 (Fax) _____

Job Site Address: 163 South Sewall Pt City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) _____ Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: install Sump Pump in Drive Way

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1300.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Paul Broom

State of Florida, County of: Martin

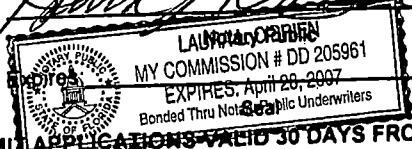
This the 16th day of JUNE, 2004

by PAUL BROOM who is personally

known to me or produced

as identification. [Signature]

My Commission Expires: _____



CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 2004

by _____ who is personally

known to me or produced _____

As identification. _____

My Commission Expires: _____

Seal

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

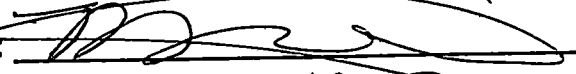
TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: PAUL BROOM P Date: June 16, 2005

Signature: 

Address: 163 South Sewall's Pt.

City & State: _____

Permit No. _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7629	DONAHUE	FINAL EXT. SUMP PUMP	PASS	CLOSE
11	163 S. SEWALL ST O/B			INSPECTOR: <i>[Signature]</i>
7630	DONAHUE	FINAL RETAINING WALL	PASS	CLOSE
11	163 S. SEWALL ST HALL SAMMONS			INSPECTOR: <i>[Signature]</i>
7624	MORALES	FINAL SHUTTER	PASS	CLOSE
5	10 N. RIDGEVIEW RD ROMADEN			INSPECTOR: <i>[Signature]</i>
6812	MADER	TRUSS	CANCEL	WILL RECHECK
1	106 ABBIE COURT BUFORD CONST			INSPECTOR: <i>[Signature]</i>
7576	SILAS	COL STL.	PASS	
	10 CASTLE HILL STARBUCK			INSPECTOR: <i>[Signature]</i>
TREE	DEAD	TREE	PASS	
	13 SIMARA ST.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

7630

RETAINING WALL

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

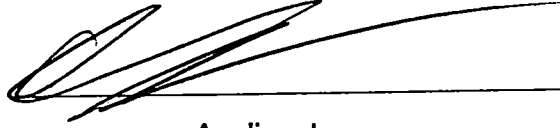
Date 6/17/05
 Building to be erected for DONORUE
 Applied for by HALL SAMMONS
 Subdivision MARQUERITA Lot 6 Block _____
 Address 163 S. SEWALL'S Pt RD
 Type of structure SFR


BUILDING PERMIT NO. 7630
 Type of Permit RETAINING WALL
 (Contractor) 27' x 2.40 = 64.80 Building Fee 64.80

Radon Fee _____
 Impact Fee _____
 A/C Fee _____
 Electrical Fee _____
 Plumbing Fee _____
 Roofing Fee _____

Parcel Control Number:
1338410110000006010000

Amount Paid 71.28 Check # 1888 Cash _____ Other Fees (10%) 6.48
 Total Construction Cost \$ 2250.00 TOTAL Fees 71.28

Signed 
 Applicant

Signed 
 Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION
<u>MASONRY WALL</u> |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

RECEIVED
6/16/05

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: 6719

Date: 6/16/05

OWNER/TITLEHOLDER NAME: Donohue Phone (Day) _____ (Fax) _____

Job Site Address: 163 S Sewall PT Rd City: _____ State: _____ Zip: _____

Legal Desc. Property (Subd/Lot/Block) LOT 6 MARGUERITA Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Retaining Wall

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2250.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Hall-Sammons Inc Phone: 963-3400 Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
[Signature]

State of Florida, County of: MARTIN

This the 16th day of JUNE, 2005

by PAUL BRADY who is personally

known to me or produced as identification. [Signature]

Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)
[Signature]

On State of Florida, County of: MARTIN

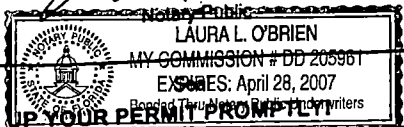
This the 16th day of JUNE, 2005

by DOUGLAS SAMMONS who is personally

known to me or produced as identification. [Signature]

Notary Public

My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

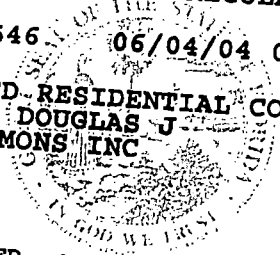


STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND
 PROFESSIONAL REGULATION

AC# 1436376

CRC1326546 06/04/04 030703111

CERTIFIED RESIDENTIAL CONTRACTOR
 SAMMONS, DOUGLAS J
 HALL-SAMMONS INC



IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2006 L04060401460



01-31-2005

TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law .

EFFECTIVE DATE: 02/24/2005 ** EXPIRATION DATE: 02/24/2007

PERSON: SAMMONS DOUGLAS J

FEIN: 650788431

BUSINESS NAME AND ADDRESS: HALE - SAMMONS INC
1101 NE MARTIN AVENUE
JENSEN BEACH FL 34957

SCOPE OF BUSINESS OR TRADE: 1 - CERTIFIED RESIDENTIAL CONTRACT

MEETS REISSUANCE REQUIREMENTS

IMPORTANT: Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter .

DWC-252 CERTIFICATE OF ELECTION TO BE EXEMPT REVISED 01-04

QUESTIONS? (850) 413-1609

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY
CERTIFICATE OF EXEMPTION FROM FLORIDA
WORKERS' COMPENSATION LAW

EFFECTIVE: 02/24/2005
** EXPIRATION DATE: 02/24/2007

PERSON: SAMMONS DOUGLAS

FEIN: 650788431

BUSINESS NAME AND ADDRESS: HALE - SAMMONS INC
1101 NE MARTIN AVENUE
JENSEN BEACH FL 34957

SCOPE OF BUSINESS OR TRADE:
1- CERTIFIED RESIDENTIAL CONTRACT

MEETS REISSUANCE REQUIREMENTS

F
O
L
D

H
E
R
E

IMPORTANT

Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter .

QUESTIONS? (850) 413-1609

CUT HERE

* Carry bottom portion on the job , keep upper portion for your records .

AG# 1436376

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04060401460

DATE	BATCH NUMBER	LICENSE NBR
06/04/2004	030703111	CRC1326546

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

SAMMONS, DOUGLAS J
HALL-SAMMONS INC
1101 NE MARTIN AVE
JENSEN BEACH

FL 34957

JEB BUSH
GOVERNOR

DIANE CARR
SECRETARY

DISPLAY AS REQUIRED BY LAW

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF RESIDENTIAL CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE
18 DAY OF OCTOBER 2005
AND ENDING SEPTEMBER 30, 2005

PREV. YR.	UC. FEE	PENALTY	COL. FEE	TRANSFER	TOTAL
\$	.00	.00	.00	.00	.00
\$	.00	.00	.00	.00	.00
\$	.00	.00	.00	.00	.00
\$	.00	.00	.00	.00	.00
\$	25.00				25.00

CHARACTER COUNTS IN MARTIN COUNTY
2004-2005 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

SAMMONS, DOUGLAS J
HALL-SAMMONS, INC.
DOUGLAS J SAMMONS
1101 NE MARTIN AVE.
JENSEN BEACH FL 34957

RECEIPT OF PAYMENT
LARRY C. O'STEEN
99 10/19/2004 OCCT NORMAL
199851300013000
02200410100010310X

LOCATION: 1101 NE MARTIN AVE MAR 6810
LICENSE# 1998-513-015 CERT 001211
PHONE (561) 225-0350 SIC NO
\$25.00



ASLAN, INC.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

REPORT OF TOPOGRAPHIC SURVEY For Patricia A. Donohue

Map of Topographic Survey:

See Map of Topographic Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.

Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.



General:

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- Drawing File Name: Broome-L6-Marg-Topo-SP20.dwg

Limitations:

- This Survey was last surveyed in the field on January 7, 2004 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated herein.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The National Flood Insurance Program Designation as indicated on the F.E.M.A. Map Panel No. 12085C0162F, dated 10/4/2002, locates the parcel in Zone AE, base flood elevation 9'; subject to any scaling and interpolation factors associated with mapping of this accuracy.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the

PROJECT MANAGEMENT: CIVIL • SURVEY • PLANNING • CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING • PLATTING • REZONINGS • CODE ENFORCEMENT • VARIANCES
LAND PLANNING: COMMERCIAL • RESIDENTIAL • P.U.D.'S • SUBDIVISIONS • MARINAS • SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS • DOCKS • DREDGE & FILL • DEP-CORPS-WMD - ERP • WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER • WETLAND • SUBMERGED LAND LEASES • BOUNDARY • TOPOGRAPHIC • AS-BUILT

**Report of Topographic Survey
Patricia A. Donohue**

end user to determine the scale indicated hereon as reliable for the intended uses.
Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, inc.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715

Signed: _____



Issuance Date: June 7, 2005

**Report of Topographic Survey
Patricia A. Donohue**

end user to determine the scale indicated hereon as reliable for the intended uses. Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, INC.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715

Signed: _____



Issuance Date: June 7, 2005

(C)

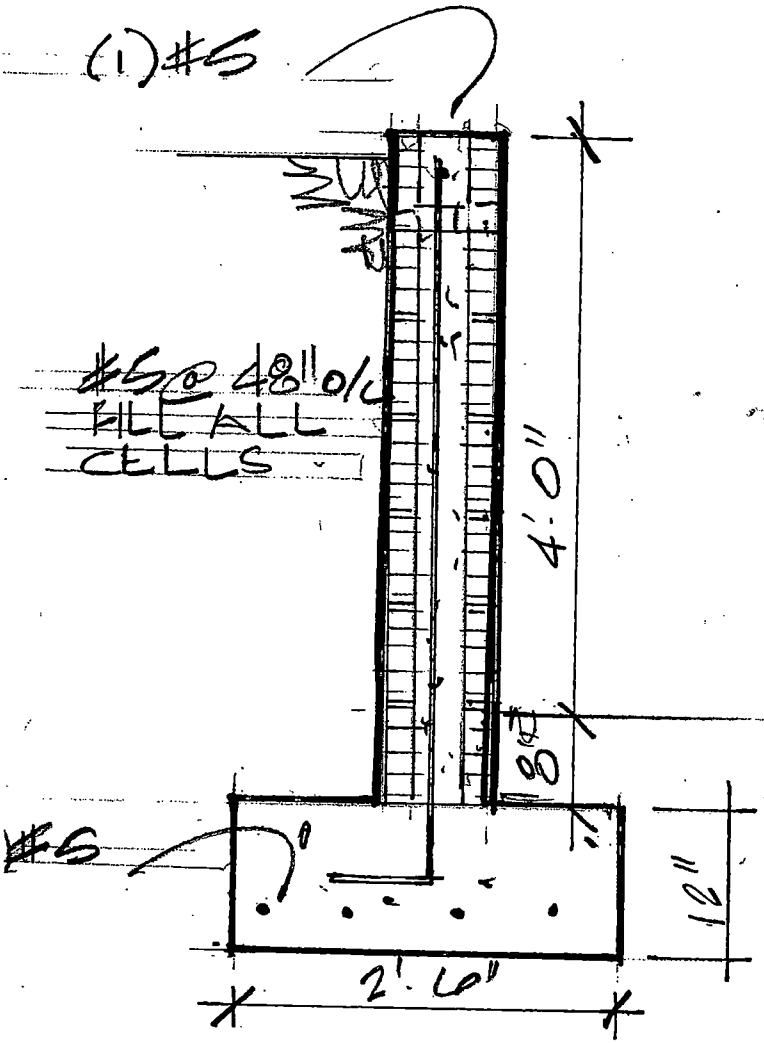
(D)

(E)

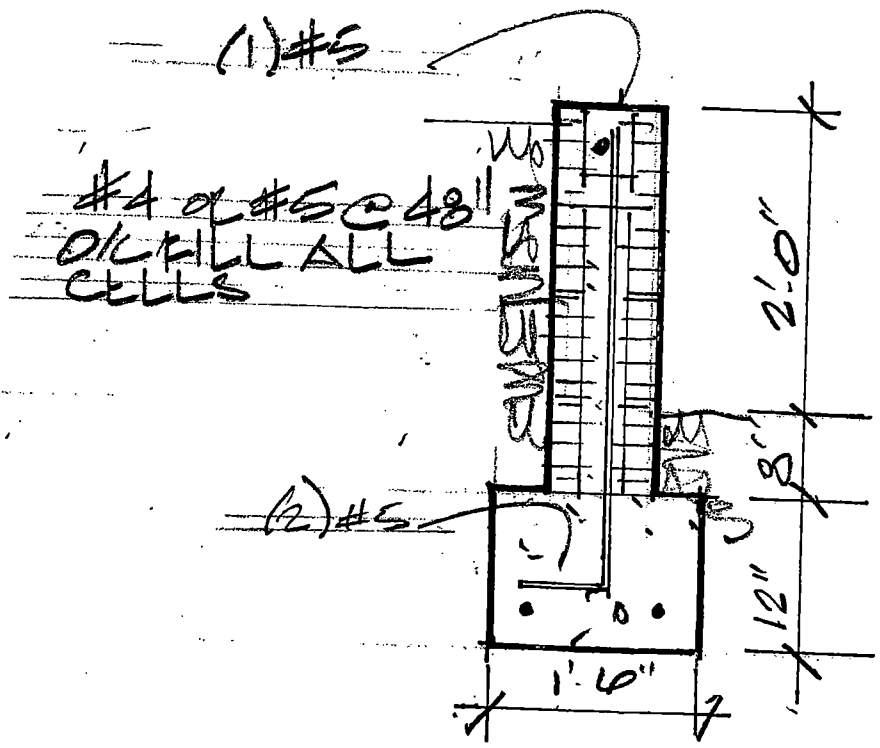
JOSEPH P. McCARTY, ARCHITECT, Inc.
 900 EAST OSCEOLA STREET 287-6735
 STUART FLORIDA
 D.P.R. Registration Number 9639

6/15/05

(1) #5



(1) #5



4' RETAINING WALL

LOT 6 MARGUERITA

2' RETAINING WALL

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/2, 2005 Page 3 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7629	DONAHUE	FINAL EXT. SUMP PUMP	PASS	CLOSE
11	163 S. SEWALLS PT O/B			INSPECTOR: <i>OM</i>
7630	DONAHUE	FINAL RETAINING WALL	PASS	CLOSE
11	163 S. SEWALLS PT HALL SAMMONS			INSPECTOR: <i>OM</i>
7624	MORALES	FINAL SHUTTER	PASS	CLOSE
5	10 N. RIDGEVIEW RD ROMADEN			INSPECTOR: <i>OM</i>
6812	MADER	TRUSS	CANCEL	WILL RESCHEDULE
1	106 ABBIE COURT BUFORD CONST			INSPECTOR: <i>OM</i>
7574	SILAS	COL STL.	PASS	
	10 CASTLE HILL STRATWIDE			INSPECTOR: <i>OM</i>
TREE	DEAD	TREE	PASS	
	13 SIMARA ST.			INSPECTOR: <i>OM</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
				INSPECTOR:

OTHER: _____

CORRESPONDENCE

GENERAL RELEASE

KNOW ALL MEN BY THESE PRESENTS, that We, PATRICIA DONOHUE and M. PAUL BROOME, Releasors, for and in consideration of the sum of Seventy Thousand and 00/100 (\$70,000.00) Dollars, or other valuable considerations, received from or on behalf of, TOWN OF SEWALL'S POINT; BUILDING OFFICIAL EDWIN B. ARNOLD; COREGIS; THE FLORIDA LEAGUE OF CITIES; and THE FLORIDA MUNICIPAL INSURANCE TRUST, Releasees, the receipt whereof is hereby acknowledged,

(Wherever used, the term "Releasor" and "Releasees" shall include those parties specifically named in this release and all other entities and persons, natural or corporate. The term "Releasor" and "Releasees" shall also include singular and plural, heirs, legal representatives, assigns of individuals, officials, employees, agents, servants, officers and directors, stockholders, attorneys, representatives, employers, successor subsidiaries, affiliates, partners, predecessors or successors in interest, assigns of corporations, whenever the context so admits or requires.)

HEREBY remise, release, acquit, satisfy, and forever discharge the Releasees, of and from any and all manner of action and actions, cause and causes of action, suits, debts, dues, sums of money, accounts, reckonings, bonds, bills, specialties, covenants, contracts, controversies, agreements, promises, variances, trespasses, damages, judgments, executions, claims and demands whatsoever, in law or in equity, which Releasors ever had, now have, or hereafter can, shall or may have, against Releasees, for, upon or by reason of any matter, cause or thing whatsoever, whether direct or vicarious, from the beginning of the world to the day this document is signed, including but not limited to claims for constitutional violations, inverse condemnation, defamation, estoppel, defective passage of an ordinance, defamation or claims that were brought or could have been brought in the case of *Donohue v. Town of Sewall's Point*,

Case No. 01-409CA, IN THE CIRCUIT COURT OF THE NINETEENTH JUDICIAL CIRCUIT IN AND FOR MARTIN COUNTY, FLORIDA CIVIL DIVISION, which shall include any claims for attorney's fees and costs.

Releasors hereby agree to be bound by the provisions of Ordinances 256 and 285 of the TOWN OF SEWALL'S POINT regarding setbacks and minimum square footage requirements, and agree that those Ordinances are applicable to Releasors' vacant property located at 160 South Sewalls Point Road.

Releasors hereby waive and release any and all claims, past, present and future arising, in whole or in part, from the operation of, the passage of and the application of TOWN OF SEWALL'S POINT Ordinances 256 and 285 to the property at 160 Sewall's Point Road, Sewall's Point, Martin County, Florida.

Releasors hereby agree to indemnify and hold harmless the Releasees from all claims, suits, liens, and subrogated interests and agree to satisfy all existing and future liens arising out of the subject matter of the above mentioned case.

Releasors represent to the Releasees that Releasors and Releasors' attorneys are the only ones entitled to the settlement funds and that there are no liens or claims made against these funds by any other party.

Releasors have had the benefit of personal counsel and fully understand the terms of this General Release and are making full and final settlement of all claims of every nature and character which Releasors have against Releasees.

Further, it is understood that this Release shall include a release of all active and vicarious liability and shall also include a release of any person or entity who would be vicariously responsible for the acts of TOWN OF SEWALL'S POINT; BUILDING OFFICIAL

EDWIN B. ARNOLD; COREGIS; THE FLORIDA LEAGUE OF CITIES, and THE FLORIDA MUNICIPAL INSURANCE TRUST, including but not limited to any lessors, assigns, corporations, or entity operating as a fictitious name.

It is further understood and agreed that this settlement is the compromise of disputed claims and that the payment made is not to be construed as an admission of liability on the part of Releasees, who expressly deny any liability for this action.

Releasors hereby acknowledge and agree that Releasors further expressly waive and assume the risk of any and all claims for damages against Releasees which exist as of this date but of which the Releasors do not know or suspect to exist, whether through ignorance, oversight, error, negligence, or otherwise, and which, if known, would materially affect Releasors' decision to enter into this Release. The Releasors understand that this claim is being settled as a business decision only and that payment of the sums specified herein are being made as a complete compromise of matters involving disputed issues of law and fact and the Releasors thereby assume the risk that the facts or law may be otherwise than Releasors believe.

It is further understood and agreed that no promise or agreement not expressed within the written terms of this document has been made to Releasors as an inducement to enter into this agreement and that this General Release contains the entire agreement between the parties to it and that the terms of this Release are contractual and not a mere recital.

IN WITNESS WHEREOF, we have hereunto set our hands and seals on this 7th day of January, 2007.

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS

[Signature]
PATRICIA DONOHUE

[Signature]
WITNESS

STATE OF FLORIDA)
)
COUNTY OF Martin)

The foregoing instrument was acknowledged before me this 7th day of January, 2007 by Patricia Donohue who is personally known to me or who has produced FL D/L and who did take an oath.

S
E
A
L

NOTARY PUBLIC - STATE OF FLORIDA
LOREEN M. NOLTE
COMMISSION # CC818926
EXPIRES 4/20/2008
BONDED THRU ASA 1-888-NOTARY1

[Signature]
Signature of person taking acknowledgment

Loreen M. Nolte
Name of officer taking acknowledgment

Title or Rank

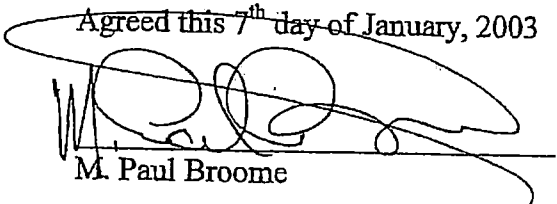
Serial Number

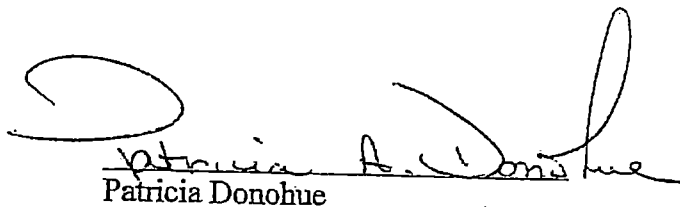
AGREEMENT

Upon receipt and clearance of the Seventy Thousand Dollars (\$70,000.00) settlement proceeds, Ten Thousand Dollars (\$10,000.00) shall be paid to Kramer, Sewell, Sopko & Levenstein, P.A. from it's trust account in full and final satisfaction of all attorney's fees and costs. The balance of Sixty Thousand Dollars (\$60,000.00) shall be paid to M. Paul Broome and Patricia Donohue.

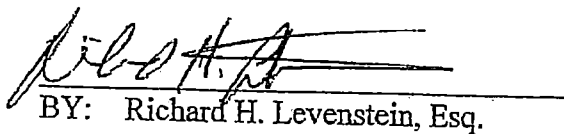
This Agreement and payment of the above-referenced funds shall fully resolve all issues between Kramer, Sewell, Sopko & Levenstein, P.A. and M. Paul Broome and Patricia Donohue arising from the representation by Kramer, Sewell, Sopko & Levenstein, P.A. of M. Paul Broome and Patricia Donohue regarding the dispute and litigation between them and the Town of Sewall's Point.

Agreed this 7th day of January, 2003


M. Paul Broome


Patricia Donohue

Kramer, Sewell, Sopko & Levenstein, P.A.


BY: Richard H. Levenstein, Esq.

6 – Excerpts from Town Code showing
inclusion of Ordinances 256 & 285

ARTICLE I. IN GENERAL**Sec. 82-1. Definitions.**

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Accessory use, as applied to a use or structure, means customarily subordinate or incidental to, and on the premises of, such use or structure. In buildings restricted to residential use, customary family hobby areas and workshops not utilized for compensation shall be deemed accessory uses.

Air conditioning pad means a concrete slab or other device employed to support any air conditioning system, placed on the finished grade of a lot or otherwise projecting from an exterior wall of any structure.

Alterations, as applied to a building or structure, means a change or rearrangement in the structural parts or in the exit facilities or an enlargement thereof, whether by extending on a side or by increasing in height, or the moving from one location or position to another.

Appurtenance means any personal property located on and incidental to the principal property that does not meet the definition of a structure as defined in this chapter and therefore not subject to setback requirements. Examples are, but not limited to arbors, lawn sculptures, statues or other moveable decorative yard ornaments not exceeding seven feet in height and five feet in width.

Area, lot means the total area within the property lines, excluding external streets.

Building means a structure, with or without a roof, intended for shelter, housing or enclosure other than a boundary wall or fence, which is constructed or erected permanently on the ground or which is attached, to something permanently located on the ground having a roof and intended to be used for sheltering any use or occupancy.

Building, accessory means any detached building with or without a roof intended for shelter, housing or enclosure constructed permanently on the ground or which is attached to something permanently located on the ground having a roof and intended to be used for sheltering people, animals, property or business activity and is located on the same zoning lot as the principal building and principal use.

Building, front line of means the line of that face of the building nearest the front line of the lot. The front line of a waterfront or riverfront lot shall be the line abutting the street serving the lot, and the lot bounded by water shall be considered the rear line.

Building line means the line established by law, beyond which a building shall not extend, except as specifically provided in the chapter. The building line is also referred to in this chapter as the "setback line."

Court means an unoccupied open space, other than a yard, which is bounded on three or more sides by walls in excess of

Lot, riverfront means a lot which:

- (1) Touches or abuts on the waters of either the St. Lucie river or the Indian River; and
- (2) Has a body of water extending more than 400 feet on any radius from the waterfront lot line of the riverfront lot.

All undeveloped lots as of March 16, 1999, meet the definition of riverfront lots.

Lot, waterfront means all lots touching the waters of bays, canals or straits other than a lot defined as a riverfront lot.

(Ord. No. 95, § III, 11-17-1976; Ord. No. 111, pt. 1, § 1, 9-13-1978; Ord. No. 128, 6-10-1981; Ord. No. 135, 10-13-1982; Ord. No. 191, § 1, 7-25-1990; Ord. No. 192, § 1, 7-25-1990; Ord. No. 202, § 1, 7-25-1990; Ord. No. 211, 1-9-1991; Ord. No. 215, 3-11-1992; Ord. No. 226, § 1, 4-13-1994; Ord. No. 256, 4-20-1999; Ord. No. 281, 2-29-2000; Ord. No. 299, Exh. A, 2-17-2004; Ord. No. 305, 11-16-2004; Ord. No. 327, § 2, 9-12-2006; Ord. No. 330, § 2, 2-27-2007)

(c) *Accessory structures, detached.*

- (1) *Front yard.* The front yard depth shall be 50 feet for one-story and 100 feet for two-story structures from the platted lot line or property line.
- (2) *Side yards.* The side yard width shall be 20 feet from the platted lot line or property line.
- (3) *Rear yard.* The rear yard depth shall be 25 feet; provided, however, that in the case of a corner lot the front yard may be on either of the street boundaries and the side and rear yards shall be figured in relation to the street boundary on which the front yard is established. Only one rear yard shall be established. At the time a building permit is applied for, the property owner or his agent shall designate the street which the building will front on, and the rear yard for all lots, including corner lots, shall be determined in relation to the street so designated.

(Ord. No. 95, § VI.G, 11-17-1976; Ord. No. 111, pt. 1, § 5, 9-13-1978; Ord. No. 117, 11-14-1979; Ord. No. 145, 2-8-1984; Ord. No. 237, § IV, 10-19-1996; Ord. No. 249, § I, 11-4-1998; Ord. No. 290, Exh. A, 1-15-2002; Ord. No. 299, Exh. A, 2-17-2004; Ord. No. 327, § 2, 9-12-2006; Ord. No. 330, § 2, 2-27-2007)

Sec. 82-275. Minimum enclosed living area.

The minimum enclosed living floor space in residential districts shall be 1,500 square feet for all lots on which a dwelling was located (completed or under construction) on April 17, 2001; on all other lots 2,000 square feet. Open porches (covered or not), terraces, patios, courts, breeze ways, carports or garages shall not be included in the computation of minimum enclosed living area.

Violations of this section shall be a Class D violation, punishable as set forth in chapter 13.

(Ord. No. 95, § VI.H, 11-17-1976; Ord. No. 285, § 1, 4-17-2001; Ord. No. 290, Exh. A, 1-15-2002)

Sec. 82-276. Fences, height, type, and construction standards.*Definitions:*

Fence means any freestanding lightweight structure, usually constructed of posts and wire, wood, plastic or aluminum and designed to restrict or prevent movement across a boundary.

Hedge means a lineal barrier or boundary of plants grown and maintained in such a way that their limbs intertwine and designed to restrict or prevent movement across a boundary.

Wall means a freestanding barrier made from solid brick, stone, concrete or concrete block and designed to restrict or prevent movement across a boundary.

(a) *[Fences and walls.]* All fences and walls constructed street-ward of the front building setback lines shall be designed so that no more than five feet of its height is a complete solid barrier and not more than seven feet in height overall measured on both sides of

612206

UNITY OF TITLE AGREEMENT

In consideration of the issuance of a building permit to WILLIE E. GARY and GLORIA R. GARY, his wife, for the construction of a tennis court at their residence in the Town of Sewall's Point, Florida, and for other good and valuable considerations, the undersigned agrees to restrict the use of the following two parcels of land, located in Martin County, Florida, more fully described in Exhibit "A" attached hereto, in the following manner.

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised, or assigned separately except in its entirety as one plot or parcel of land.
2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon ~~the undersigned, their heirs and assigns until such time as the same may be released in writing by the Town of Sewall's Point.~~
3. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County, Florida.

Signed, sealed, executed and acknowledged on this 24th day of July, 1986.

WITNESSES:

William Copley

Willie E. Gary
WILLIE E. GARY

Ann Kremen

Gloria R. Gary
GLORIA R. GARY

STATE OF FLORIDA
COUNTY OF MARTIN

Before me personally appeared WILLIE E. GARY and GLORIA R. GARY, his wife, to me well known and known to be the persons described in and who executed the foregoing instrument, and they acknowledged to and before me that they executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal, this 24th day of July, 1986.



Susan E. A. L.
NOTARY PUBLIC

My Commission Expires:

Notary Public, State of Florida
My Commission Expires Nov 17, 1988

This instrument prepared by:

W. E. Gary, Esquire
117 Seminole Street, Suite 200
Stuart, Florida 33494
(305)283-8260

C.P. 683 PAGE 1273
ESCK

Prepared By:
Susan King-Court House Box 45
Title Guaranty and Trust Company, Inc.
900 East Ocean Boulevard, Suite 142
Stuart, Florida 34994

INSTR # 1442790
OR BK 01492 PG 1457
RECORDED 07/05/2000 08:31 AM
MARSHA STILLER
MARTIN COUNTY Florida
DOC TAX 3,850.00
DEPUTY CLERK L Wood

Parcel ID Number: 13-38-41-004-000-0001.0-10000
Grantee #1 TIN: [REDACTED]

Warranty Deed

This Indenture, Made this 30th day of June, 2000 A.D., Between
Willie E. Gary and Gloria R. Gary, husband and wife

of the County of Martin, State of Florida, grantors, and
Kari S. Lydon, a single woman, State of Florida,

whose address is: 167 S. Sewalls Point Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of
-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Martin, State of Florida
to wit:
Lots 1 and 2, MANDALAY, according to the plat thereof, as recorded in
Plat Book 4, Page 86, of the Public Records of Martin County,
Florida.

Subject to restrictions, reservations and easements of record, if
any, and taxes subsequent to 2000.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.
In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Kim Bolin
Printed Name: Kim Bolin
Witness

Jesse Thomson
Printed Name: Jesse Thomson
Witness

Willie E. Gary (Seal)
Willie E. Gary
P.O. Address: 36 Rio Vista Drive, Stuart, FL 34996

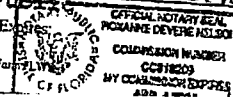
Gloria R. Gary (Seal)
Gloria R. Gary
P.O. Address: 36 Rio Vista Drive, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 30th day of June, 2000 by
Willie E. Gary and Gloria R. Gary, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.

Roxanne Nelson
Printed Name: Roxanne Nelson
Notary Public
My Commission Expires



Susan King

McCarthy, Summers, Bobko, Wood, Sawyer & Perry, P.A.

Attorneys at Law

Kathryn C. Bass
Noel A. Bobko
Nicola Jaye Boone*
Terence P. McCarthy**
Kenneth A. Norman
Steven L. Perry
Thomas R. Sawyer**
Jane F. Strike
Robert P. Summers**
Patricia I. Taylor
Steven J. Wood***

Monterey Triangle
2400 S.E. Federal Highway • Fourth Floor
Stuart, FL 34994

Tel 772 286-1700
Fax 772 283-1803

John D. McKey, Jr.
Of Counsel

E-Mail: info@mcsumm.com
www.McCarthySummers.com
Personal Email: tpm@mcsumm.com

*Board Certified Elder Law Lawyer
**Board Certified Real Estate Lawyer
***Board Certified Wills, Trusts &
Estates Lawyer

September 15, 2003

VIA HAND-DELIVERY

Gene Simmons, Building Official
Town of Sewall's Point
1 South Sewall's Point Road
Sewall's Point, Florida 34996

Re: *Patricia Donohue Dock Permit*

Dear Gene:

Please be advised that this office represents Patricia Donohue in her application to the Town for a dock permit on her property on South Sewall's Point Road. In support of the application, please find enclosed the following materials:

1. Unity of Title recorded in Official Records Boo 1803, Page 2637, Public Records of Martin County, Florida;
2. Warranty Deed from Dennis S. Hudson, Jr. to Patricia A. Donohue;
3. Trustee's Deed by John G. Sauers and John G. Sauers, Trustee of the John G. Sauers Revocable Intervivos Trust (1/2) to Patricia A. Donohue;
4. Town of Sewall's Point Building Permit Application;
5. Location Map along with dock drawings (2 copies);
6. Correspondence from Department of Environmental Protection dated December 1, 2000 (2 copies);
7. Specific Purpose Survey prepared by ASLAN, Inc. (2 copies);
8. Letters of no objection from surrounding property owners (2 copies);
9. Certified copy of Notice of Commencement;

Gene Simmons, Building Official

September 15, 2003

Page 2

10. Contractor's Certificate of Competency (2 copies);
11. Certificate of Insurance (Workers' Compensation) (2 copies); and
12. Certificate of Insurance (Liability) (2 copies).

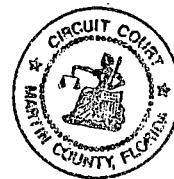
Should you need additional information or documentation, please don't hesitate to call or write.

Very truly yours,

Terence P. McCarthy
TPM/dd

Enclosures

cc: client
ASLAN, Inc.



UNITY OF TITLE

PATRICIA A. DONOHUE, whose post office address is 2617 SE Gowin Drive, Port St. Lucie, FL 34952, the owner of the following described property located in Martin County, Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

The undersigned does hereby agree to restrict the use of the above described parcels of property as follows:

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land.
2. The undersigned further agree that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their heirs and assigns, until such time as the same may be released in writing by the Town of Sewall's Point, Florida.
3. The undersigned further agree that this instrument shall be recorded in the public records of Martin County, Florida.

THIS UNITY OF TITLE IS BEING RE-RECORDED TO CORRECT TYPOGRAPHICAL ERRORS IN THE PREVIOUS RECORDED DOCUMENT AS RECORDED IN OFFICIAL RECORDS BOOK 1803, PAGE 526, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

IN WITNESS WHEREOF, **PATRICIA A. DONOHUE**, has hereunto sett her hand and seal on this the 19 day of August, 2003.

Signed, sealed and delivered in the presence of:

Angela Hart

Printed Name: Angela Hart

Robyn Laka

Printed Name: Robyn Laka

Patricia A. Donohue
PATRICIA A. DONOHUE

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this 19th day of August, 2003 before me, personally appeared, **PATRICIA A. DONOHUE**, who { } is personally known to me or { } has produced FIDC D500681558360 as identification, and who executed the foregoing instrument and acknowledged before me that she executed the same.

(Official Seal)
ANGELA HART
Notary Public, State of Florida
My comm. exp. Oct. 28, 2005
Comm. No. DD 041477

Angela Hart
Notary Public - State of Florida

Printed Name: Angela Hart
My commission expires: 10/28/05

Robert Kellogg

From: John Adams [jadams@sewallspoint.martin.fl.us]
Sent: Monday, March 30, 2009 11:43 AM
To: 'Jennifer Hunecke'
Cc: Robert Kellogg, Town Manager
Subject: FW: Proposed accessory building permit
Attachments: 160 S. Sewall's.jpg

Jen,

I am resending this e-mail for an opinion on the second question (highlighted) in the last paragraph. You may have answered this previously, but I cannot find that e-mail. It looks like this issue will come before the Commission. Thanks.

John R. Adams, CBO

Building Official

Town of Sewall's Point

772-287-2455 Ext. 15

Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact our office by phone or in writing.

From: John R. Adams [mailto:jadams@sewallspoint.martin.fl.us]
Sent: Wednesday, October 29, 2008 1:37 PM
To: 'Glen Torcivia'
Subject: Proposed accessory building permit

Glen,

I have a resident who would like to construct an accessory building on a lot that he adjoined to his current lot through unity of title. The unusual circumstance is that the unity of title is with a riverfront lot across Sewall's Point Road. This raises two questions for me regarding zoning and unity of title. I have attached an aerial map from the property appraiser that shows the arrangement.

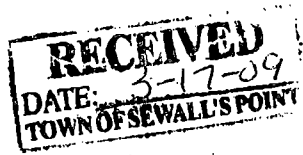
The riverfront lot by itself would be virtually un-buildable because of the required setbacks from the river to the road and would have a buildable footprint of less than 1000 square feet. The first question I have is, does the fact that the riverfront lot because it is now in unity with the other lot across the street change any of the setback requirements that would be normally be associated with it if it were still a lot of record?

If the road did not separate these parcels he would be allowed to ignore the common property line and build a structure that spanned the two parcels. I know that it is impossible to divorce the fact that the road does separate the parcels but could there be a case that the typical zoning setbacks for this type of structure would not apply on a unity parcel? If the answer to this question is yes, it will raise a few more questions that I will hold off on for now.

The second question I have is, if he were to dissolve the unity of title to recreate a separate lot of record would the zoning regulations fall back to when the lot was originally created (prior to incorporation) or would this be considered a new lot that would have to comply with our new zoning regulations? (including minimum lot square footage)

If you need to call me on this I will be out of the office Tuesday and possibly Wednesday also, so Thursday would be best for me. Thanks,

John R. Adams, CBO
Building Official



Patricia A. Donohue
M. Paul Broome
163 S. Sewall's Point Road
Sewall's Point, Florida 34996
772.528.4137
Fax 772.287.0272
mpbroome@hotmail.com

March 17, 2009

John Adams, C.B.O.
Building Official
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: 160/163 S. Sewall's Point Road

Mr. Adams,

Please consider this letter to be my formal request to release the Unity of Title that is in place for the properties located at 160 and 163 S. Sewall's Point Road, These were originally two lots of record. The Unity of Title was created as a requirement for the construction of a dock.

We now wish to construct a single family residence on the property at 160 S. Sewall's Point Road.

I have enclosed a Release agreement, based on previous Releases that the Town has granted.

Thank you for your time. I am at your disposal to meet and discuss this in detail.

Sincerely

Patricia A. Donohue

M. Paul Broome

THIS INSTRUMENT PREPARED BY
AND IS TO BE RETURNED TO:

RELEASE OF UNITY OF TITLE AGREEMENT

WHEREAS, **Marion Paul Broome and Patricia A. Donohue**, husband and wife, the owners of the following two (2) parcels of land located in the Town of Sewalls Point, Martin County, Florida, more fully described in Exhibit "A" attached hereto, requests the release of the certain Unity of Title Agreement dated August 19, 2003; and

WHEREAS, the Town of Sewall's Point has agreed to release said Unity of Title Agreement.

NOW, THEREFORE, the Town of Sewall's Point hereby releases that certain Unity of Title Agreement dated August 19, 2003, in its entirety, in said Unity of Title Agreement shall be of no further force or effect from the dated hereof

DATED this _____ day of _____, 2009

IN WITNESS WHEREOF, the parties have caused these presents to be executed as of the day and year first above written.

Witnesses:

Town of Sewall's Point,
a Florida Municipal Corporation

Printed Witness Name: _____

By: _____
Its: _____

Printed Witness Name: _____

**STATE OF FLORIDA
COUNTY OF MARTIN**

The foregoing instrument was acknowledged before me this ____ day of _____, 2009 before me, personally appeared _____, as _____ of the Town of Sewall's Point, a Florida Municipal Corporation, who [] is/are personally known to me or [] has/have produced _____ as identification, and who did not take an oath.

(Official Seal)

Notary Public -- State of Florida
Printed Name: _____
My commission expires:

DON OSTEEEN
Mayor

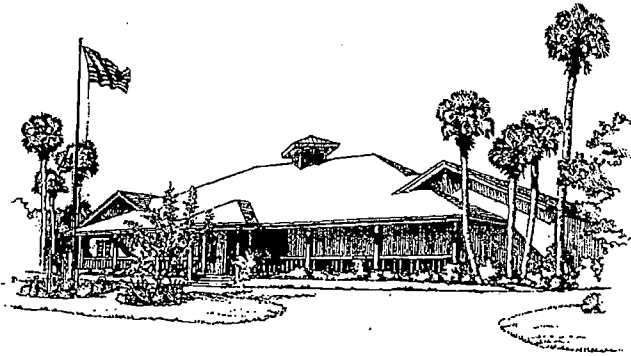
MARK
KLINGENSMITH
Vice Mayor

NEIL SUBIN
Commissioner

PAUL SCHOPPE
Commissioner

JACQUI THURLOW-
LIPPISCH
Commissioner

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



ROBERT KELLOGG
Town Manager

JOHN R. ADAMS
Building Official

ERIC CERNIGLIA
Chief of Police

ANN-MARIE
SULLIVAN BASLER
Town Clerk

JOSE TORRES, JR.
Maintenance

March 19, 2009

M. Paul Broome
163 S. Sewall's Point Rd.
Sewall's Point, Florida 34996

RE: Zoning sufficiency for proposed residence at 160 S. Sewall's Point Rd., your request to dissolve Unity of Title of same

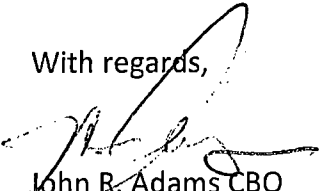
Mr. Broome,

I have reviewed the unsealed proposed site plan for the construction of a single family residence on the lot at 160 S. Sewall's Point Road. Based on current zoning setback requirements for a riverfront lot of record, which are 35 ft. front, 20 ft. side and 50 ft. from mean high water, the proposed residence appears to be in compliance with those setback requirements.

I have forwarded your request to dissolve the Unity of title on this lot to the Town Manager. He will contact you directly when the agenda item for your hearing is set. I must advise you that there is an issue and some question as to whether the dissolution of unity creates a new lot of record when dissolved, much the same way a lot split or minor subdivision creates new lots of record. If it is found by the Commission to be the case in this instance, the new lot would not meet the current 30,000 sq. ft. minimum requirements, and a variance would be required to make it a buildable lot.

If you have any questions or need further information, please contact my office.

With regards,


John R. Adams CBO
Building Official



One S. Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us

EXHIBIT "A"

Lot 6, MARGUERITA SUBDIVISION, according to the plat thereof, as recorded in Plat Book 10, Page 3, public records of Martin County, Florida., and;

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

The North 6.31 acres, more or less, being the North 236.94 feet of Lot 7, in Plat 1 of Sewall's Division of Sewall's Point, as shown in unrecorded plat prepared by William H. Roat, County Surveyor, December 24, 1926, and on plat of Port Sewall filed November 13, 1913, recorded in Plat Book 3, page 8, Public Records of Palm Beach (now Martin) County, Florida.

SAID PROPERTY ALSO BEING DESCRIBED AS:

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

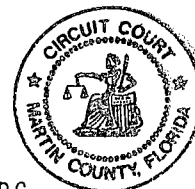
Commencing at a point on the West shore line of the Indian River twenty-seven chains and five links (27.5) from the North line of the Hanson Grant, in Plat 1 of Sewall's Division and within the boundaries of said Grant, running thence South sixty-six degrees West, eighteen chains and ten links (18.10) to the St. Lucie River, thence Southeasterly along the margin of said river to a point three chains and fifty-seven links (3.57) South of the line last run; thence north sixty-six degrees East, sevanteen chains and thirty links (17.30) more or less, to the Indian River; thence Northwesterly along the waters of said river to the place of beginning.

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 2 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK

BY T. COPUS D.C.
DATE 8-19-03



Joseph P. McCarty, Architect

900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

DPR Registration Number 9639

March 12, 2004

Gene Simmons, CBO
Town of Sewall's Point
One South Sewall's Point Road
Sewalls Point, Florida
34996

RE: Patricia A. Donohue 163 South Sewall's Point Road

Dear Gene,

I have provided all of the items asked for in your Critique dated March 18, 2004 with the exception of the following:

6.d. Window and door buck details shall be 1x bucks per product approval. Fasteners per product approval. Garage door buck has been provided.

As discussed on the phone we do not have shop drawings of precast concrete in that is still being bid. We provide anchoring details in the structural drawings and will provide shop drawings prior to delivery of precast floor system to job site.

Please note that laminated glass for windows and doors was specified in window and door schedules.

Sincerely,

Joseph P. McCarty





ASLAN, INC.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

PROJECT MANAGEMENT: CIVIL SURVEY · PLANNING · CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING · PLATTING · REZONINGS · CODE ENFORCEMENT · VARIANCES
LAND PLANNING: COMMERCIAL · RESIDENTIAL · P.U.D.'S · SUBDIVISIONS · MARINAS · SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS · DOCKS · DREDGE & FILL · DEP-CORPS-WMD - ERP · WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER · WETLAND · SUBMERGED LAND LEASES · BOUNDARY · TOPOGRAPHIC · AS-BUILT

April 7, 2004

Town of Sewall's Point
One S. Sewall's Point Road
Sewall's Point, FL 34996

Attn: Gene Simmons, Building Official

**RE: Patricia A. Donahue
163 S. Sewall's Point Road**

Dear Gene:

Reference is made to the Town of Sewall's Point Critique dated March 18, 2004, we offer the following responses to the non-architectural items.

1. Current survey (within one year) containing the following information:
 - a. This property is part of a unity of title therefore the survey must show both properties, legal descriptions and structures thereon.
See Sheet 2 of 2 for Unity of Title Exhibit.
 - b. Need proposed distances of corners of all structures to property lines, including stairs, pads, etc.
See Sheet 1 of 2.
 - c. Front entry steps may encroach front setback 5 feet but not the pad at the bottom of the stairs - pad must be removed and replaced with sidewalk.
See sidewalk revision on Sheet 1 of 2.

What is the concrete pad at NW corner of Property.

This is a FPL transformer pad that lies offsite of the Northwest corner. The pad at the Northeast corner is a dry Lift station.

- d. Location of entry of driveway on South Sewall's Point Road adjacent to corner of Marguerita Road is too close to Marguerita Road.
In the absence of any Town of Sewall's Point code Addressing driveway setback distance, the drive has been relocated Southerly.

Patricia A. Donohue
April 7, 2004

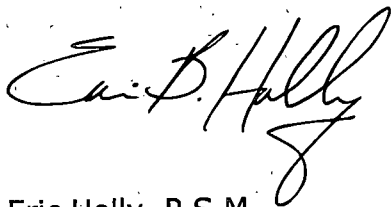
- e. Note: location of irrigation well motor and electric's cannot be within setback.
The irrigation well is not in the setback and the pump and electric will be located at the building, clear of the setback.
- f. Flood zone line or lines in relationship to structures proposed or existing.
There are no flood zone lines crossing any of this property.
- g. Flood zone with base floor elevation with current adoption date.
The flood zone and base flood elevation is shown on Sheets 1 and 2 of 2.

The Map Panel No. 12085C0162F, dated 10/4/2002, locates the parcel in Zone AE, base flood elevation 9'.
- h. Certified to the Town of Sewall's Point.
All submissions made by this office are certified to the Town of Sewall's Point on Sheet 2 of 2 of the Survey Report.
- i. Address on survey is incorrect - the correct address assigned is 163. S. Sewall's Point Road.
This address is shown on Sheet 1 and 2 of 2.
- j. Proposed first finish floor elevation.
The FFE of 9.0 feet was and is shown on the Site Plan / Topographic Survey Sheet 1 of 2.

Should you have any questions, please do not hesitate to call the office at 288-4880. Thanking you in advance for your time, I remain;

Sincerely,

ADLAN, inc.



Eric Holly, P.S.M.

EBH/ls

2 – Unity of Title Exhibit (Aerial Photograph)

17-80

160 S. Sewalls Point Road
Tax ID #13-38-41-001-000-00060-1
21,511 SF, 0.49 Ac.

Marguerita Road

153 S. Sewalls Point Road
Tax ID #13-38-41-000-000-00083-7
15,520 SF, 0.356 Ac.

S. Sewalls Point Road

167 S. Sewalls Point Road
Tax ID #13-38-41-001-000-00060-1
31,079 SF, 0.713 Ac.

14 Mandalay Road
Tax ID #13-38-41-001-000-00020-0
22,390 SF, 0.514 Ac.

Mandalay Road

M. Paul Broome & Patricia A. Donohue
163 S. Sewall's Point Road
Sewall's Point, Florida 34996
772.528.4137
Fax 772.287.0272
mpbroome@hotmail.com

April 23, 2009

Robert Kellogg, Town Manager
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: 160/163 S. Sewall's Point Road

Mr. Kellogg,

Please consider this letter to be my formal request to release the Unity of Title that is in place for the properties located at 160 and 163 S. Sewall's Point Road. The Unity of Title was created as a requirement for the construction of a dock.

We now wish to construct a single family residence on the property at 160 S. Sewall's Point Road. We have received confirmation from the Town Building Official indicating that the lot meets all size, zoning, and setback requirements for the construction of a home, pending the release of the Unity of Title.

-The two properties have separate:
Property ID numbers,
Addresses,
Property Tax accounts/bills
Utility accounts/bills

-Both properties are lots of record which were established as follows
163 S. Sewall's Pt. Rd.
Lot 6, Marguerita Subdivision – Platted in 1985

160 S. Sewall's Pt. Rd.
Part of Sewall's Point Land Company S/D – Platted in 1913

The following are attached:

- Letter from Town Building Official indicating that the waterfront lot is buildable
- Original Unity of Title as recorded
- Property Appraiser data, property tax bills, and utility bills for both properties
- Aerial Photograph showing the properties

I have also enclosed a Release agreement, based on previous Releases that the Town has granted.

Thank you for your consideration. I am at your disposal to meet and discuss this in detail.

Sincerely

M. Paul Broome

Patricia A. Donohue

Table of Contents

- 1 – Cover Letter
- 2 – Unity of Title Exhibit (Aerial Photograph)
- 3 – Original Unity of Title for 160/163 S. Sewall's Point Road
- 4 – Release of Unity of Title prepared for execution
- 5 – Copy of General Release of suit with Town
- 6 – Excerpts from Town Code showing inclusion of Ordinances 256 & 285
- 7 – Original Unity of Title for neighboring property (Gary property)
- 8 – Deed from Gary to Lydon
- 9 – Copy of Release of Unity of Title for neighboring property (Lydon property)
- 10 – Aerial Photograph showing release of Lydon's Unity of Title (one Property ID Number)
- 11 - Supporting evidence of separate Lots of Record for 160 and 163 S. Sewall's Point Road
 - A. Copies of separate Property Appraiser Identification Numbers
 - B. Copies of separate Property Tax Bills for the properties
 - C. Copies of separate Utility Bills for the properties

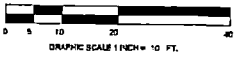
Time Line of Events

- Jan. 1999 Purchase Property at 160 South Sewall's Point Rd.
- Feb. 1999 Receive Permit to clear, fill and prepare house pad.
- Feb. 1999 Building official is instructed to ask that I donate our property to the town. I politely explain that we are planning to build our home on our land and refused his offer.
- Feb. 1999 Mayor Winer ordered an emergency meeting and requested a moratorium on what he believed to be questionable waterfront property, then instructed the Building Official to refuse any application for development at 160 South Sewall's Point Rd.
- March 1999 Commission passes Ordinance # 256, which changes any UNDEVELOPED WATERFRONT LOTS TO BE DEEMED RIVERFRONT LOTS. This changes the set back from mean high water from 25 feet to 50 feet.
(Incorporated into Land Development Regulations in Sec. 82-1, definition of *Lot, Riverfront*)
- March 1999 a suit was filed in reference to the ordinance # 256
- Jan. 2001 an approval letter is given by the Building Official to local architectural firm with a preliminary design of approximately 1850 Sq. Ft. and meets the new setback Ordinance # 256.
- April 2001 Commission passes Ordinance # 285, which increases the minimum living square footage of a home (completed or even under construction) from 1500 to 2000 and made it a CLASS D VIOLATION
(Incorporated into Land Development Regulations in Sec. 82-275)
- Jan. 2003 A General Release of the suit that was filed in 1999 (4 years), which agreed to Ordinance #256 and #285.
- Aug. 15th 2003 Record purchase of lot 6 Marguerita Subdivision (Lot of Record)
- Aug. 19th 2003 we created a Unity of Title for two Lots of Record for the purpose of constructing a dock.
- May 2004 Receive a permit to build a house on Lot 6, Marguerita Subdivision. This permit was granted to lot 6 on its own merit of sufficiency in regard to setbacks, Pervious and Impervious surfaces and Health Department requirements for septic systems.
- May 2009 Request to dissolve unity of title in order to develop the larger of the 2 Lots of Record.

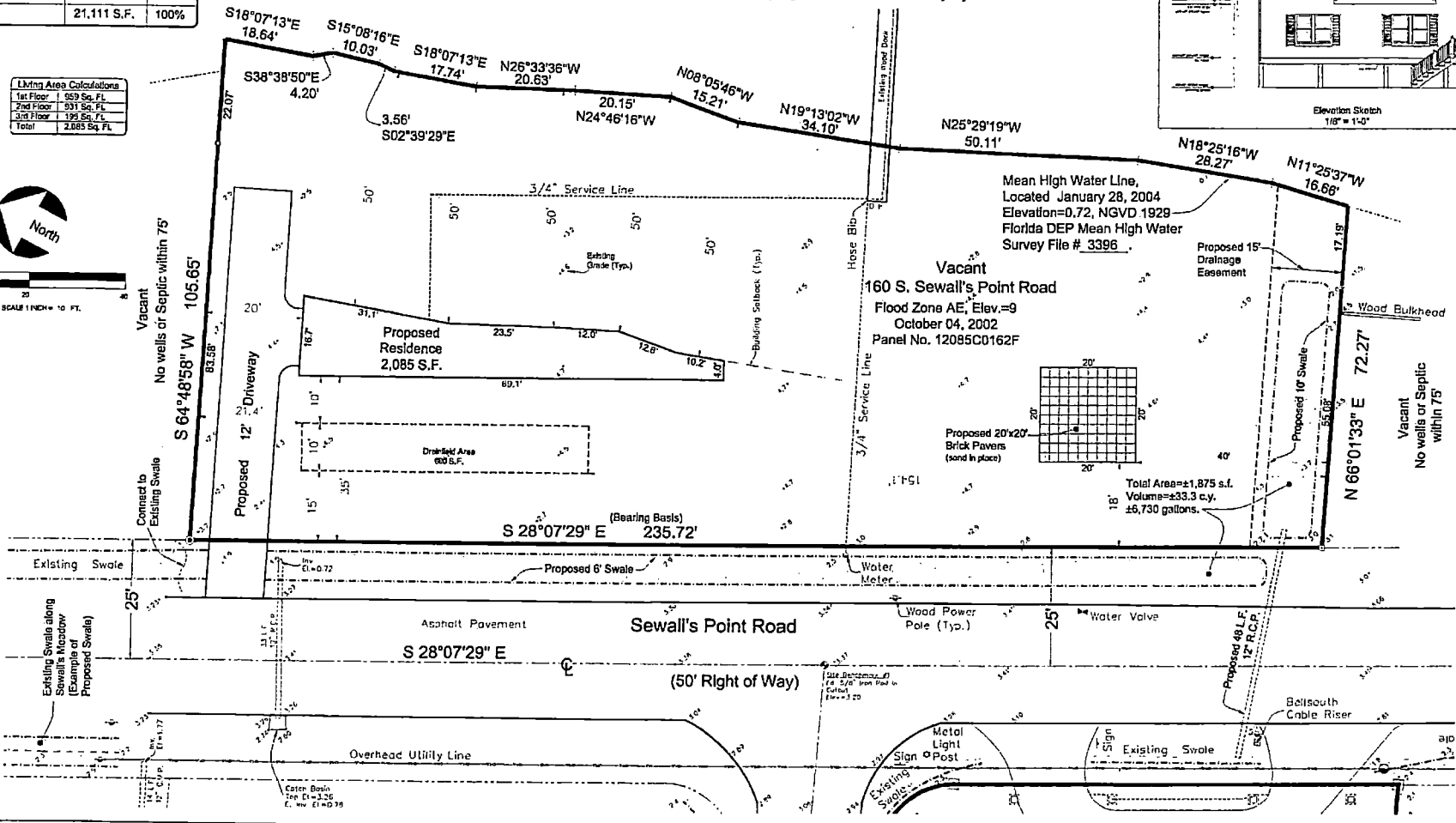
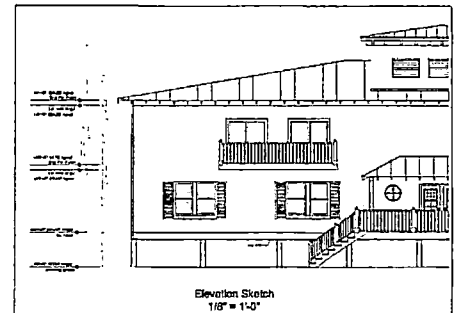
Survey of 7.11.00 S-76-0

Site Tabulation		
Description	Area	%
Residence	959 S.F.	4.5%
Paved Areas	941 S.F.	4.5%
Net Impervious	1,900 S.F.	9.0%
Drainfield	600 S.F.	2.9%
Open Space	18,611 S.F.	88.1%
Net Pervious	19,211 S.F.	91.0%
Total	21,111 S.F.	100%

Living Area Calculations	
1st Floor	529 Sq. Ft.
2nd Floor	931 Sq. Ft.
3rd Floor	195 Sq. Ft.
Total	2,655 Sq. Ft.



Legal Description
 That part of the following described real property situated and being in the Town of Sewall's Point, Manatee County, Florida lying easterly of the Eastern right-of-way line of Sewall's Point Road, to wit:
 The North 6.31 acres, more or less, being the North 238.94 feet of Lot 7, in Plat 1 of Sewall's Division of Sewall's Point, as shown in recorded plat prepared by William H. Ross, County Surveyor, December 24, 1926, and on Plat of Port Sewall filed November 13, 1913, recorded in Plat Book 3, Page 8, Public Records of Manatee County, Florida.
 That part of the following described real property situated and being in the Town of Sewall's Point, Manatee County, Florida, lying easterly of the Eastern right-of-way line of Sewall's Point Road, to wit:
 Commencing at a pole on the West shore line of the Indian River twenty-seven chains and five links (27.5) from the North line of the Hanson Grant, in Plat 1 of Sewall's Division and within the boundaries of said Grant, running thence South sixty-six degrees West, eighteen chains and ten links (18.10) to the St. Lucie River; thence Southeast along the margin of said River to a point three chains and fifty-seven links (3.57) South of the line last run; thence north sixty-six degrees East, seventeen chains and sixty links (17.10) more or less, to the Indian River; thence Northwest along the shores of said River to the Place of Beginning.



Prepared For:
M. Paul Broome
 160 S. Sewall's Point Road
 Town of Sewall's Point
 Manatee County, Florida

SOUTH POINT
LAND COMPANY
 CONSULTING • LAND PLANNING
 GEOGRAPHIC INFORMATION SYSTEMS
 342 E. MARTIN LUTHER KING BLVD.
 STUART, FL 34994
 (772) 528-4137 FAX (772) 288-7433

VERIFY SCALE
 1/8" = 1' equal to One Inch on Original Drawing
 0" = 1' Adjust on Scale Dimension Accuracy

Sheet Title: Preliminary Site Plan - 160 S. Sewall's Point Road			Scale: none		Date: 03/15/2006		Sheet Number: 1 of 1	
Date:	By:	Revision Description:	Drawn By:	Field Book:				
			03/15/06					
			CADD File: 00000-001.rvt					

Unity of Title contingent upon the Board of Zoning Adjustment's (the "Board") approval of the variance of the 30,000 square foot minimum lot size requirement. If the Board denies the variance, the Unity of Title will remain in place.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Glen J. Torcivia

GLEN J. TORCIVIA
Town Attorney

GJT/jh

cc: Robert Kellogg, Town Manager
John Adams, Building Official

**The Law Office of
Glen J. Torcivia and Associates, P.A.
Northpoint Corporate Center
701 Northpoint Parkway
Suite 209
West Palm Beach, Florida 33407-1950**

**Glen J. Torcivia
Lara Donlon
Christy Goddeau
Jennifer H.R. Hunecke
Jeffrey S. Kurtz
www.torcivialaw.com**

**Telephone
(561) 686-8700
Telefax
(561) 686-8764**

May 22, 2009

Mayor Osteen and City Commissioners
Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Opinion re: unity of title issue (160 and 163 So. Sewall's Point Rd.)

Dear Mayor and Commissioners:

As you all are aware, owners, Mr. Paul Broome and Ms. Patricia Donohue, have requested the Commission to release a unity of title that legally joined the two lots found at 160 South Sewall's Point Road and 163 South Sewall's Point Road (the "Unity of Title"). The owners recorded the Unity of Title on August 19, 2003. The Commission has discretion to either deny or grant this request. ~~If the Commission chooses to grant the request and release the Unity of Title, it is my opinion that all current ordinances, laws, rules and regulations shall apply to the vacant property located at 163 South Sewall's Point Road (the "Vacant Property").~~ The Town's ordinances include, but are not limited to, setback requirements and minimum square footage requirements for the proposed structure and the lot.

~~As part of a January 2003 settlement agreement with the Town that involved litigation regarding the Vacant Property, the owners agreed to be bound by the setback requirements and minimum square footage requirements (for the proposed structure) found in Ordinances 256 and 285. A separate ordinance (Sec. 82-271) deals with the current 30,000 square foot minimum lot size requirements and it is our opinion that this ordinance will also apply to the Vacant Property if the Commission decides to release the Unity of Title.~~ The Vacant Property has a lot size of approximately 21,511 square feet and, therefore, the owners would be required to apply for a variance of this code provision requirement.

The Commission has a minimum of three options in the handling of this request. The first option is to deny the request thereby keeping the Unity of Title in place. The second option is to grant the release of the Unity of Title contingent upon the owners' agreement that they are bound by all current ordinances, laws, rules and regulations. The third option is to grant the release of the



ASLAN, INC.

Post Office Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway - Ste. 700, Stuart, FL 34994
Telephone 772.288.4880 Toll Free 800.470.1850
Facsimile 772.288.0128 E-Mail aslaninc@adelphia.net

REPORT OF SPECIFIC PURPOSE SURVEY For Patricia A. Donohue

Map of Topographic Survey:

See Map of Topographic Survey, land description is in accord with the description provided by the client or the client's representative. This survey map and report is not valid without the signature and original raised seal of the Florida licensed Surveyor and Mapper. The signature and seal can be found at the end of this report. The map and report are not full and complete without the other.

Legal Description:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

Accuracy:

The expected use of the land, as classified in the Minimum Technical Standards (61G17-6FAC), is "Suburban". The minimum relative distance accuracy for this type of survey is 1 foot in 7,500 feet. The accuracy obtained by measurement with an electronic total station and calculation of a closed geometric figure was found to exceed this requirement.

Data Sources:

Reference materials were obtained from the County repositories.

Measurement Methods:

All equipment was tested and calibrated. Two sets of traverse angles were turned and averaged. The traverse directly connected the two most northerly and southerly property corners. The remaining features were found from this traverse by side ties.



General:

- Elevations shown hereon are in feet and decimal parts thereof and are relative to the National Geodetic Vertical Datum of 1929 and are based on benchmark Q236, elevation 4.104 feet.
- Drawing File Name: L6-Marg-topo-sp14.dwg

Limitations:

- This Survey was last surveyed in the field on January 7, 2004 and shall not be relied upon for field accuracy or sufficiency subsequent to that date.
- No visible aboveground evidence of physical use were noted by this survey, unless depicted or stated herein.
- No underground improvements, utilities, foundations, footings, or septic tanks were located by this survey.
- The National Flood Insurance Program Designation as indicated on the F.E.M.A. Map Panel No. 12085C0162F, dated 10/4/2002, locates the parcel in Zone AE, base flood elevation 9'; subject to any scaling and interpolation factors associated with mapping of this accuracy.
- This map may have been photographically or digitally reduced or enlarged with or without the knowledge of the issuing agent. It is incumbent upon the

PROJECT MANAGEMENT: CIVIL • SURVEY • PLANNING • CONSTRUCTION
GOVERNMENTAL LIAISON: PERMITTING • PLATTING • REZONINGS • CODE ENFORCEMENT • VARIANCES
LAND PLANNING: COMMERCIAL • RESIDENTIAL • P.U.D.'S • SUBDIVISIONS • MARINAS • SITE PLANS
MARINE ENVIRONMENTAL PERMITTING: MARINAS • DOCKS • DREDGE & FILL • DEP-CORPS-WMD - ERP • WETLAND MITIGATION
SURVEY AND MAPPING: MEAN HIGH WATER • WETLAND • SUBMERGED LAND LEASES • BOUNDARY • TOPOGRAPHIC • AS-BUILT

Report of Topographic Survey
Patricia A. Donohue

end user to determine the scale indicated hereon as reliable for the intended uses.
Certification is made only to the original scale so indicated.

- This Survey shall not be copied, transferred or assigned without the specific written permission of Aslan, Inc.

Easements:

Shown as platted.

Prepared for:

Patricia A. Donohue
2617 S.E. Gowin Drive
Port St. Lucie, FL 34952

Certified to:

This survey is prepared for the sole and exclusive benefit of Patricia A. Donohue and the Town of Sewall's Point and shall not be relied upon by any other entity or individual whomsoever.

Surveyor and Mapper in Responsible Charge:

Eric B. Holly, P.S.M.
Registration No. LS 3336

ASLAN, inc.

P.O. Box 1500, Stuart, FL 34995-1500
2440 S.E. Federal Highway, Suite 700, Stuart, Florida 34994
(772) 288-4880
Registration No. LB 5715

Signed: _____



Issuance Date: December 6, 2004

TREE

TOWN OF SEWALL'S POINT, FLORIDA

Date OCTOBER 9 14 2003 TREE REMOVAL PERMIT No 2114

APPLIED FOR BY DONALD (Contractor or Owner)

Owner 160 S. SEWALL'S POINT RD

Sub-division _____, Lot 6, Block _____

Kind of Trees _____

No. Of Trees: REMOVE PEPPER + AUSTRALIAN

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (P) Town Clerk

Biding Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M.—NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for notes or drawings.

PROJECT DESCRIPTION _____

Blank lined area for project description.

REMARKS _____

Blank lined area for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Patricia Donahue **Address** 2617 SE Gowin Dr., PSL, FL **Phone** 772-398-9007

Contractor All Clear **Address** 5755 SW Savage Street, Palm City **Phone** 772-263-6001

No. of Trees: REMOVE ~~4~~ 6 **LOT 6 MARGUERITA** **Type:** Pepper and Australian Only

No. of Trees: RELOCATE -0- **WITHIN 30 DAYS** **Type:** -0-

No. of Trees: REPLACE -0- **WITHIN 30 DAYS** **Type:** -0-

Written statement giving reasons: _____

Signature of Applicant Kathleen Hall **Date** 10/9/03

Approved by Building Inspector: [Signature] **Date** 10/9/03 **Fee:** N/A

Plans approved as submitted [Signature] **Plans approved as revised/marked:** _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeve, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner PATRICIA Downer Address 105 South Sewall Phone 85284130

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE _____ Type: _____

No. of Trees: RELOCATE 10 WITHIN 30 DAYS Type: _____

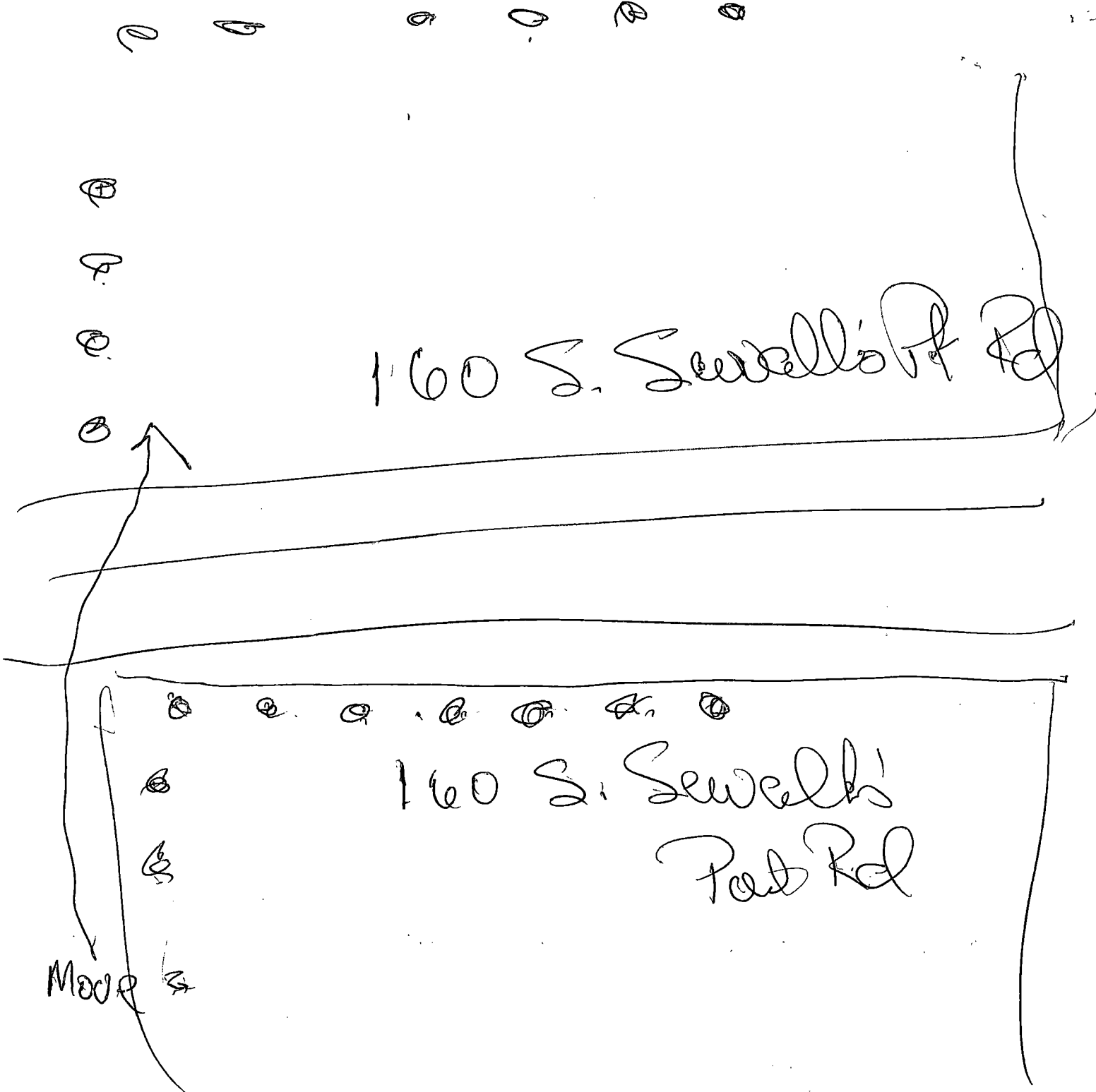
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Relocate 10 Saffle Palms and ADD 10 New ones in its place

Signature of Property Owner _____ Date _____

Approved by Building Inspector: [Signature] Date 1/7 Fee: ~~15.00~~ - 0 -

Plans approved as submitted _____ Plans approved as revised/marked: _____



10 trees Relocate
AND Replace or ADD

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Broomer Address _____ Phone 528-4137

Contractor ALL CHEAP TRACTOR Address 5755 SW Savage St Phone 263-6001
Palm City FL 32990

No. of Trees: REMOVE 2 Type: 1 Cabbage / 1 Oak

No. of Trees: RELOCATE 2 WITHIN 30 DAYS Type: One cabbage / 1-2 Oaks -

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Interference with Septic system
resulting in future problems, etc. Will replant & save 2 oaks

Signature of Property Owner [Signature] Date 6/1/05 also-

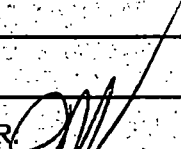
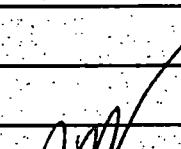
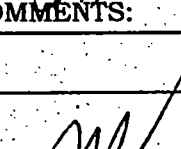
Approved by Building Inspector: _____ Date _____ Fee: _____

Plans approved as submitted _____ Plans approved as revised/marked: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/7, 2005 Page 4 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	DONOHUE	TREE	PASS	
5	163/160 S. Sewall's			INSPECTOR: 
TREE	LAGANA	TREE	PASS	
1	19 E. Hawth Pt			INSPECTOR: 
7166	UDVORSKY	DRY-IN	FAIL	
7	4 PINEAPPLE TACHENU ROOFING			INSPECTOR: 
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:
				INSPECTOR:

OTHER: _____

TOWN OF SEWALL'S POINT, FLORIDA

CPD
REAUTHORIZE MAY 20, 2005

Date JANUARY 5 11 2005 TREE REMOVAL PERMIT No 2380

APPLIED FOR BY DONOVUE (Contractor or Owner)

Owner 160 S. SEWALL'S POINT RD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE _____

No. Of Trees: RELOCATE 1 WITHIN 30 DAYS (NO FEE) CABBAGE/SAGOL

No. Of Trees: REPLACE _____ WITHIN 30 DAYS PAUM

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant

Signed, Gene Simmons (CPD)
Town Clerk

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or additional notes]

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Mariberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Patricia Porahue **Address** 2617 SE Ocean Dr Pt 1 **Phone** 528-4137

Contractor Hall-Sammons Inc **Address** 1100 NE Martin Ave B **Phone** 263-3900

No. of Trees: REMOVE 26 **Type:** see Attached

No. of Trees: RELOCATE _____ **WITHIN 30 DAYS** **Type:** _____

No. of Trees: REPLACE _____ **WITHIN 30 DAYS** **Type:** _____

Written statement giving reasons: _____

Signature of Applicant [Signature] **Date** Apr 28 2004

Approved by Building Inspector: _____ **Date** _____ **Fee:** _____

Plans approved as submitted _____ **Plans approved as revised/marked:** _____

TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberrry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Patricia Donahue Address 160 South Sewalls Pt Rd Phone 528-4137

Contractor All Clear Tractor Service, Inc. Address 5755 SW Savage St Palm City, FL Phone 263-6001

No. of Trees: REMOVE _____ Type: _____

No. of Trees: RELOCATE one WITHIN 30 DAYS Type: Cabbage/Sabal Palm

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: To allow access for entry purposes.

Signature of Property Owner Patricia Donahue Date 1/5/05

Approved by Building Inspector: _____ Date _____ Fee: _____

Plans approved as submitted _____ Plans approved as revised/marked: _____

TOWN OF SEWALL'S POINT, FLORIDA

Date JUNE 1 ~~2005~~ TREE REMOVAL PERMIT No 2502

APPLIED FOR BY BROOME/DONOHUE (Contractor or Owner)

Owner 163 S. SEWALL'S POINT ROAD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 2 1 CABBAGE / 1 OAK

No. Of Trees: RELOCATE 2 1 CABBAGE / 1-2 OAK
WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____
Applicant

Signed [Signature]
Town Clerk
BUILDING OFFICIAL

FEE \$ 15.00

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspector
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Empty lined box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

UNITY OF TITLE

PATRICIA A. DONOHUE, whose post office address is 2617 SE Gowin Drive, Port St. Lucie, FL 34952, the owner of the following described property located in Martin County, Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

The undersigned does hereby agree to restrict the use of the above described parcels of property as follows:

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land.
2. The undersigned further agree that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their heirs and assigns, until such time as the same may be released in writing by the Town of Sewall's Point, Florida.
3. The undersigned further agree that this instrument shall be recorded in the public records of Martin County, Florida.

THIS UNITY OF TITLE IS BEING RE-RECORDED TO CORRECT TYPOGRAPHICAL ERRORS IN THE PREVIOUS RECORDED DOCUMENT AS RECORDED IN OFFICIAL RECORDS BOOK 1803, PAGE 526, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

IN WITNESS WHEREOF, **PATRICIA A. DONOHUE**, has hereunto sett her hand and seal on this the 19 day of August, 2003.

Signed, sealed and delivered in the presence of:

Angela Hart

Printed Name: Angela Hart

Robyn Laka

Printed Name: Robyn Laka

Patricia A. Donohue

PATRICIA A. DONOHUE

**STATE OF FLORIDA
COUNTY OF MARTIN**

I HEREBY CERTIFY that on this 19th day of August, 2003 before me, personally appeared, **PATRICIA A. DONOHUE**, who { } is personally known to me or { } has produced FLDL D500681558360 as identification, and who executed the foregoing instrument and acknowledged before me that she executed the same.

(Official Seal)
ANGELA HART
Notary Public, State of Florida
My comm. exp. Oct. 28, 2005
Comm. No. DD 041477

Angela Hart
Notary Public - State of Florida

Printed Name: Angela Hart
My commission expires: 10/28/05

3 – Original Unity of Title for
160/163 S. Sewall's Point Road

EXHIBIT "A"

Lot 6, MARGUERITA SUBDIVISION, according to the plat thereof, as recorded in Plat Book 10, Page 3, public records of Martin County, Florida., and;

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

The North 6.31 acres, more or less, being the North 236.94 feet of Lot 7, in Plat 1 of Sewall's Division of Sewall's Point, as shown in unrecorded plat prepared by William H. Roat, County Surveyor, December 24, 1926, and on plat of Port Sewall filed November 13, 1913, recorded in Plat Book 3, page 8, Public Records of Palm Beach (now Martin) County, Florida.

SAID PROPERTY ALSO BEING DESCRIBED AS:

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

Commencing at a point on the West shore line of the Indian River twenty-seven chains and five links (27.5) from the North line of the Hanson Grant, in Plat 1 of Sewall's Division and within the boundaries of said Grant, running thence South sixty-six degrees West, eighteen chains and ten links (18.10) to the St. Lucie River, thence Southeasterly along the margin of said river to a point three chains and fifty-seven links (3.57) South of the line last run; thence north sixty-six degrees East, seventeen chains and thirty links (17.30) more or less, to the Indian River; thence Northwesterly along the waters of said river to the place of beginning.

4 – Release of Unity of Title prepared for execution

EXHIBIT "A"

PARCEL I is identified as:

Lot 1, MANDALY SUBDIVISION, according tot he plat or map thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida

PARCEL II is identified as:

Lot 2, MANDALY SUBDIVISION, according tot he plat or map thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida

EXHIBIT "A"

PARCEL I

Lot 1, MANDALAY SUBDIVISION, as recorded in Plat Book 4, Page 86, Public Records of Martin County, Florida.

SUBJECT TO covenants, restrictions and easements of record and to the zoning of the Town of Sewall's Point.

PARCEL II

Lot 2, MANDALAY SUBDIVISION, as recorded in Plat Book 4, Page 86, Public Records of Martin County, Florida.

SUBJECT TO covenants, restrictions and easements of record.

Lot 1
Lot 2
MCS

98 JUL 28 A 9: 06

RELEASE OF UNITY OF TITLE AGREEMENT

WHEREAS, **Marion Paul Broome and Patricia A. Donohue**, husband and wife, the owners of the following two (2) parcels of land located in the Town of Sewall's Point, Martin County, Florida, more fully described in Exhibit "A" attached hereto, requests the release of the certain Unity of Title Agreement dated August 19, 2003, and recorded in Official Records Book 1803, Page 2637, Public Records of Martin County, Florida; and

WHEREAS, the Town of Sewall's Point has agreed to release said Unity of Title Agreement.

NOW, THEREFORE, the Town of Sewall's Point hereby releases that certain Unity of Title Agreement dated August 19, 2003, and recorded in Official Records Book 1803, Page 2637, Public Records of Martin County, Florida, in its entirety, in said Unity of Title Agreement shall be of no further force or effect from the dated hereof.

DATED this _____ day of _____, 2009

Witnesses:

Town of Sewall's Point,
a Florida Municipal Corporation

Witness Name: _____

By: _____
Its: _____

Witness Name: _____

**STATE OF FLORIDA
COUNTY OF MARTIN**

The foregoing instrument was acknowledged before me this ____ day of _____, 2009 before me, personally appeared _____, as _____ of the Town of Sewall's Point, a Florida Municipal Corporation, who [] is/are personally known to me or [] has/have produced _____ as identification, and who did not take an oath.

(Official Seal)

Notary Public -- State of Florida
Printed Name: _____
My commission expires:

EXHIBIT "A"

PARCEL I is identified as:

Martin County Property Appraiser Parcel ID Number: 13-38-41-000-00083-7

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3, of the Public Records of Martin County, Florida.

PARCEL II is identified as:

Martin County Property Appraiser Parcel ID Number: 13-38-41-011-000-00060-1

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida lying easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

The North 6.31 acres, more or less, being the North 236.94 feet of Lot 7, in Plat 1 of Sewall's Division of Sewall's Point, as shown in unrecorded plat prepared by William H. Roat, County Surveyor, December 24, 1926, and on Plat of Port Sewall filed November 13, 1913, recorded in Plat Book 3, Page 8, Public Records of Palm Beach (now Martin) County, Florida.

Said Property also being described as:

That part of the following described real property situate and being in the Town of Sewall's Point, Martin County, Florida, lying Easterly of the Easterly right-of-way line of Sewall's Point Road, to wit:

Commencing at a point on the West shore line of the Indian River twenty-seven chains and five links (27.5) from the North line of the Hanson Grant, in Plat 1 of Sewall's Division and within the boundaries of said Grant;

running thence South sixty-six degrees West, eighteen chains and ten links (18.10) to the St. Lucie River;

thence Southeasterly along the margin of said River to a point three chains and fifty-seven links (3.57) South of the line last run;

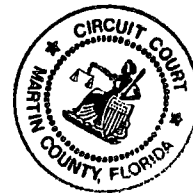
thence north sixty-six degrees East, seventeen chains and thirty links (17.30) more or less, to the Indian River;

thence Northwesterly along the waters of said River to the Place of Beginning.

Prepared By and Return To:
Gail Logan, AVP
Fidelity National Title Insurance Company of New York
118 North Second Street
Fort Pierce, FL 34950

File No. 03-020-702621

Property Appraiser's Parcel I.D. (folio) Number (s)
13-38-41-011-000-0060-1000



TRUSTEE'S DEED

THIS TRUSTEE'S DEED made and executed August 6, 2003, by John G. Sauers (1/2) and John G. Sauers, Trustee of the John G. Sauers Revocable Intervivos Trust (1/2) hereinafter called the grantor, to Patricia A. Donohoe whose post office address is 2617 SE Gowin Drive, Port St. Lucie, FL 34952, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in Martin County, Florida, viz:

Lot 6, Marguerita Subdivision, according to the plat thereof, as recorded in Plat Book 10, Page 3 of the Public Records of Martin County, Florida

subject to easements, restrictions, reservations, and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining. **TO HAVE AND TO HOLD** the same in fee simple forever.

The above described property is vacant land and not the homestead of the grantor.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2002.



IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written. Signed, sealed and delivered in our presence:

John G. Sauers Revocable Intervivos Trust

By: [Signature]
John G. Sauers, Trustee and Ind.

[Signature]
Witness Signature

Catherine A Palmer
Witness Printed Name

[Signature]
Witness Signature

Michelle Davis
Witness Printed Name

STATE OF Minnesota

2 witness's needed

COUNTY OF Hennepin

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and the County aforesaid to take acknowledgements, personally appeared John G. Sauers, Trustee and Ind.

to me known to be the person(s) described in or who has/have produced _____ as identification and who executed the foregoing instrument and he/she/they acknowledged before me that he/she/they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 6 day of Aug. 2008.

[Signature]
Notary Public

Catherine A. Palmer
Print Name of Notary
My Commission Expires:

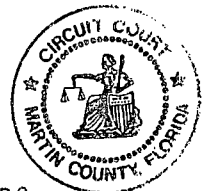


SEAL

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING 2 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

MARSHA EWING, CLERK
BY: [Signature]
DATE: 8/13/08





160 S. Sewall's Point Road
Tax I.D. #13-38-41-011-000-00060-1
21,511 S.F., 0.494 Ac.

Marguerita Road

163 S. Sewall's Point Road
Tax I.D. #13-38-41-000-000-00083-7
15,520 S.F., 0.356 Ac.

S. Sewall's Point Road

167 S. Sewall's Point Road
28,051 S.F., 0.64 Ac.

Tax I.D. #13-38-41-004-000-00010-1

4 Mandalay Road
25,215 S.F., 0.58 Ac.

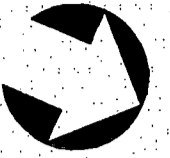
Mandalay Road

11 - Supporting evidence of separate Lots of Record for
160 and 163 S. Sewall's Point Road

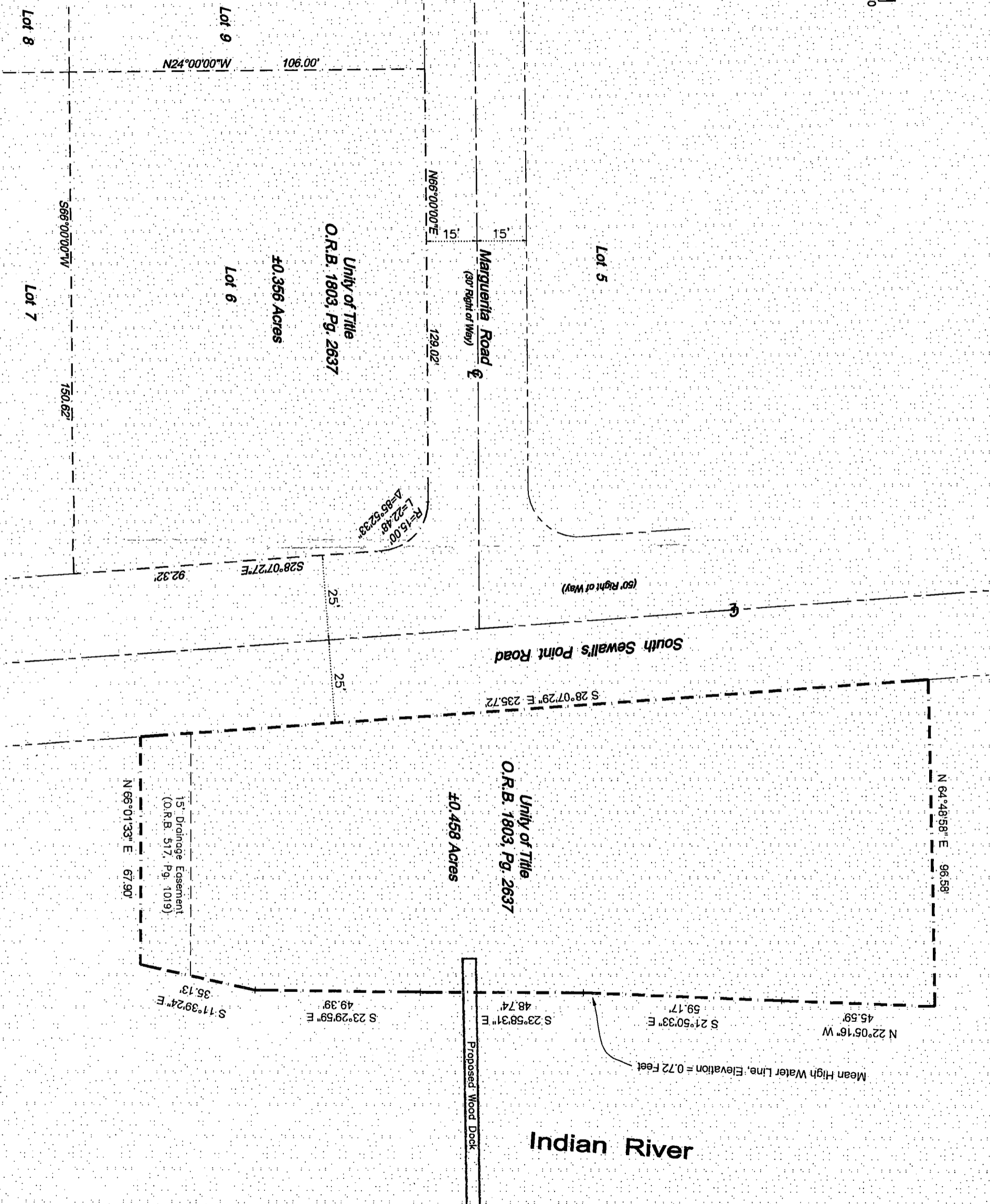
A. Copies of separate Property Appraiser
Identification Numbers

B. Copies of separate Property Tax Bills
for the properties

C. Copies of separate Utility Bills for the
properties



0 7.5 15 30 60
Graphic Scale 1 Inch = 30 Ft.



broome-tosp-title-1.dwg

Prepared For: **Patricia A. Donohue**
Lot 6, Marguerita & Part of Lot 7,
Part of a Subdivision of Lot 1, Hanson Grant
 Town of Sewall's Point, Martin County Florida



ASLAN, INC.
 CONSULTANTS • PLANNERS • SURVEYORS
 LAND INFORMATION SERVICES
 2440 S.E. Federal Highway - Suite 700
 P.O. Box 1500, Stuart, Florida 34994
 Phone (772) 288-4880 Fax 288-0128

Sheet Title: Unity of Title Exhibit		
Scale: 1" = 30'	Date: 09.18.2003	Job Number:
Drawn By: cadd vt	Field Book:	Sheet Number: 1 of 1

Joseph P. McCarty, Architect, Inc.

900 East Osceola Street
Stuart, Florida, 34994
772-287-6735 fax: 772-287-4618

OK
2-1-16
FILE

DPR Registration Number 9639

February 1, 2016

RE: Broom-Donohue Residence 163 S. Sewall's Point Road

To whom it may concern:

Please be advised that I was the Architect of Record when this house was built. The ground floor was built as shown on plans submitted to the Town of Sewall's Point Department and the Certificate of Occupancy issued for this house was issued with the ground floor in its current configuration. All electrical was installed about FEMA base flood elevation. All ground floor areas were finished at the time of Certificate of Occupancy as they exist today.

I hereby certify that this house was built as permitted.

Sincerely,

Joseph P. McCarty

