

165 South Sewall's Point Road

2963

SFR

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

~~AUG~~

Tax Form 92

OWNER Mr Spencer Tweed

CONTRACTOR Arthur Rutenberg Homes

LOT 7 BLOCK _____ SUB Marguerita

NO. SSPR

NO. 2963 DATE ISSUED 4/4/91

Call 287-2455 From 8:00 A.M. - 12:00 Noon and 1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

TOWN OF SEWALL'S POINT BUILDING PERMIT

- REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.
- ALL WORK MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S POINT ORDINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE OF FLORIDA ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS BASED ON THE LATEST FLOOD INSURANCE RATE MAP.
- PORTABLE TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL INSPECTION.
- WORKING HOURS ARE FROM 8:00 TO 5:00 P.M. MONDAY THRU SATURDAY.

REQUIRED INSPECTIONS	INSPECTOR'S FINDING	INSPECTOR'S SIGNATURE
1. LOT STAKES/SET BACKS		
2. TERMITE PROTECTION		
3. FOOTING - SLAB	sewall footer OK 8/27/91 DB Footer OK 4/23/91 DB Slab OK 6/6/91 DB	
4. ROUGH PLUMBING	OK 5/20/91 DB OK 8/29/91 DB	
5. ROUGH ELECTRIC	OK 8/29/91 DB	
6. LINTEL	OK 6/21/91 DB	
7. ROOF	Truss OK 8/14/91 DB Truss & sheathing OK 7/23/91 DB driveway OK 12/12/91 DB	
8. FRAMING	OK 8/29/91 DB	
9. INSULATION	OK 9/5/91 DB	
10. A/C DUCTS	OK 8/29/91 DB	
11. FINAL ELECTRIC		
12. FINAL PLUMBING		
13. FINAL CONSTRUCTION		

TO CONSTRUCT New house

REMARKS:

APPLICATION FOR PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

PERMIT NUMBER _____

DATE OF APPLICATION _____

rec. 3-19-91
3:30 PM

To obtain a permit the following are required:

1. Florida certification of builder and sub-contractors.
2. Certification of insurance from contractor or owner/builder re: liability and workers' compensation.
3. Two sets of building plans which must include: a) 1/4" scale building drawings, b) plot plan, c) foundation plan, d) floor plans, e) wall and roof cross-sections, e) plumbing, electrical and air conditioning layouts, f) at least two elevations showing the height of building from finished floor. Plans must be sealed by a Florida registered architect or engineer.
4. Recorded warranty deed to the property.
5. Septic tank permit and one set of plans with Martin County Health Department seal.
6. Energy code calculations.
7. Tree removal permit (for trees other than nuisance trees)
8. Certification of elevation from licensed surveyor and determination of flood zone.
9. Amount of fill anticipated - rough sketch showing location of fill
10. Manufacturer's schedule of windows.

Owner Spencer H. + Thora Tweed Current Address 20 Madder Lake Circle, Commack, New York 11725
 Telephone 516-804-2524
 General Contractor Arthur Rubenberg Homes Address 101 Jupiter Park Dr. #122 Jupiter, Florida 33458
 Telephone 407-744-2554
 Where Licensed Martin County License Number 88-513-289
 Plumbing Contractor Master Plumbing License Number 89-524-014
 Electrical Contractor Suncoast Electric License Number 82-22885
 Roofing Contractor RaJ Roofing License Number CCCA 14664
 A/C Contractor ICE Air Conditioning License Number CAC 023471

Describe the building or alterations Construct a Single Family Residence
 Name the street on which the building, its front building line and its front yard will 165 S. Sawalls Point Rd

Subdivision Sawalls Point - Margarita Lot 7 Block _____
 Building area (inside walls) _____ Garage, porch, carport area _____
 Contract price (excluding carpet, land, appliances, landscaping) \$ _____
 Cost of permit \$1947 Plans approved as submitted _____ as marked _____

- In addition, the following are understood by owner and contractor:
1. Building area inside walls must be a minimum of 1,500 square feet.
 2. Building permit fees are \$5. per \$1,000. of the cost of the building. plus \$50. each for plumbing, electric, a.c. and roof. For example a \$100,000. building x \$5. = \$500. plus \$200. (a.c., pl., el., roof) = \$700. cost of permit + \$365. impact fee = \$1,065. total. Also there is a charge of 1 cent per square foot for radon gas trust fund.
 3. If no contract is submitted as proof as cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas). Owner-builder cost is 25% higher than the regular fee.
 4. The Town has adopted the South Florida Building Code.
 5. Building permits are issued for one year's duration.
 6. Construction must be started within 180 days or permit will be subject to revocation and forfeiture of fee.
 7. ALL changes in plans must be approved by the Building Department.
 8. Work hours are 8:AM to 5:PM Monday through Friday. NO SUNDAY WORK
 9. Portable toilets must be on all construction sites.

10. Inspections are made Monday through Friday, 8:AM to Noon, 1:PM to 4:PM. 24 hour notice is required prior to all inspections.

11. String lines along property lines to facilitate set back inspections.

12. Before a certificate of occupancy is issued, the following are required:

- a. An owner's affidavit of building cost (form available). Any discrepancy between the original fee and final fee (based on affidavit) will be adjusted.
- b. Approval of septic tank installation by Martin Co. Health Dept.
- c. Rough grading and clean up of grounds.
- d. Affidavit from licensed surveyor showing slab elevation (if in "A" zone).
- e. An interim proprietary and general service fee will be charged to defray costs to the Town on newly improved property prior to imposition of ad valorem taxes on such property. Building Department will compute charge at time of c.o..

13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES

14. In addition to the requirements of this permit there may be additional restrictions applicable to this property that may be found in the public records of this county.

Contractor's Signature _____ Date _____
 Approval by Building Inspector Dale [Signature] Date 4/15/91
 Approval by Building Commissioner [Signature] Date 4/15/91

Parcel 13-38-41-011-000-00070-90000

2963

3686 Rodon

NOTICE



Summarization of Mechanics' Lien Law

CONTRACTORS:

THIS NOTICE MUST BE GIVEN TO
PROPERTY OWNERS BEFORE CONSTRUCTION BEGINS.

PROPERTY OWNERS:

READ THIS STATEMENT CAREFULLY. YOUR FAILURE TO COMPLY WITH THE
MECHANICS' LIEN LAW MAY RESULT IN A LIEN BEING FILED AGAINST YOUR
PROPERTY AND MAY RESULT IN YOU PAYING TWICE FOR BUILDING IMPROVEMENTS.

The Florida Department of Agriculture and Consumer Services is required by Florida law (Section 713.135, Florida Statutes) to supply issuing authorities with a printed statement that ... "The right, title, and interest of the person who has contracted for the improvement may be subject to attachment under the Mechanics' Lien Law." Florida law also requires the issuing authority to provide such information to any applicant who applies for a building permit, as well as to the owner of the real property upon which improvements are to be constructed.

The Mechanics' Lien Law (Chapter 713, Part I, Florida Statutes) provides a method by which a contractor, subcontractor, laborer, building material supplier, architect, landscape architect, interior designer, engineer, or land surveyor may claim a lien on real property on which they have done work or to which they have furnished materials. If the lien is not satisfied, your property may be sold to pay the lien.

WHAT IS IT?

A "lien" is a charge or encumbrance on real property (land that is improved and the improvements thereon, including fixtures) which must be satisfied by the property owner to ensure clear title.

"Attachment" means that if a court finds a claim of lien valid, the owners' property may be seized and sold to satisfy the lien if it is not voluntarily paid.

A "Notice of Commencement" is a notice which is filed with the Clerk of the Circuit Court in the county where the work will be performed. The notice should not be recorded before the construction or development mortgage is recorded, but must be recorded before actual construction begins. It contains detailed information on the property owner, financing arrangements, and other specifics regarding the construction project. If a performance bond is to be posted, a copy of the bond must be attached to the "Notice of Commencement".

THE OWNERS' RESPONSIBILITY

Before any construction begins, and after the construction mortgage has been recorded, the owner should take the following steps:

1. At the time application is made for a building permit, a "Notice of Commencement" form may be obtained from an office supply store

GOLDCOAST ENGINEERING & TESTING COMPANY



DART DREW
GENERAL MANAGER

DONALD G. KLAIBER, P.E.
CHIEF ENGINEER

March 28, 1991

Arthur Rutenberg Homes
P.O. Box 32548
Palm Beach Gardens, Fl 33420

RE: Proposed Residence - Margaurita @ Sewalls Point - Lot #7
Martin Country, Florida

Gentlemen:

Enclosed are the above referenced building pad density tests. All results exceeded the minimum of 95% of maximum density.

This is not a statement of subsurface soil conditions or bearing value. The attached results are percent compaction of in place surface soils only.

If you have any questions or desire any additional information, please feel free to contact our office.

Very truly yours,

GOLDCOAST ENGINEERING & TESTING CO.

DONALD G. KLAIBER, P.E.
Chief Engineer

DGK/mel
Enclosures

GOLDCOAST ENGINEERING & TESTING COMPANY



REPORT OF DENSITY TESTS:

JOB NO. 91-137JT

PROJECT Proposed Residence - Margaurita in Sewalls Point - Martin Cty, FL

CLIENT Arthur Rutenberg Homes

NUMBER OF SAMPLES 4 SOURCE In Place Material

SAMPLED BY DP DATE 3/26/91 TESTED BY DP DATE 3/26/91

INTENDED USE Compacted Soil - Building Pad - Finished Grade

REPORTED TO Client

SPECIFICATIONS GOVERNING 95% of T-180

<u>LOCATION</u>	<u>DEPTH</u>	<u>IN PLACE DENSITY</u>	<u>PROCTOR</u>	<u>% DENSITY</u>
<u>LOT #7</u>				
Northwest Corner of Building Pad	0'-1'	109.7	113.0	97.1
Northeast Corner of Building Pad	0'-1'	110.2	113.0	97.5
Southeast Corner of Building Pad	0'-1'	112.3	113.0	99.4
Southwest Corner of Building Pad	0'-1'	111.1	113.0	98.3

These tests are representative of and apply only to the location and depth as shown above.

GOLDCOAST ENGINEERING & TESTING COMPANY

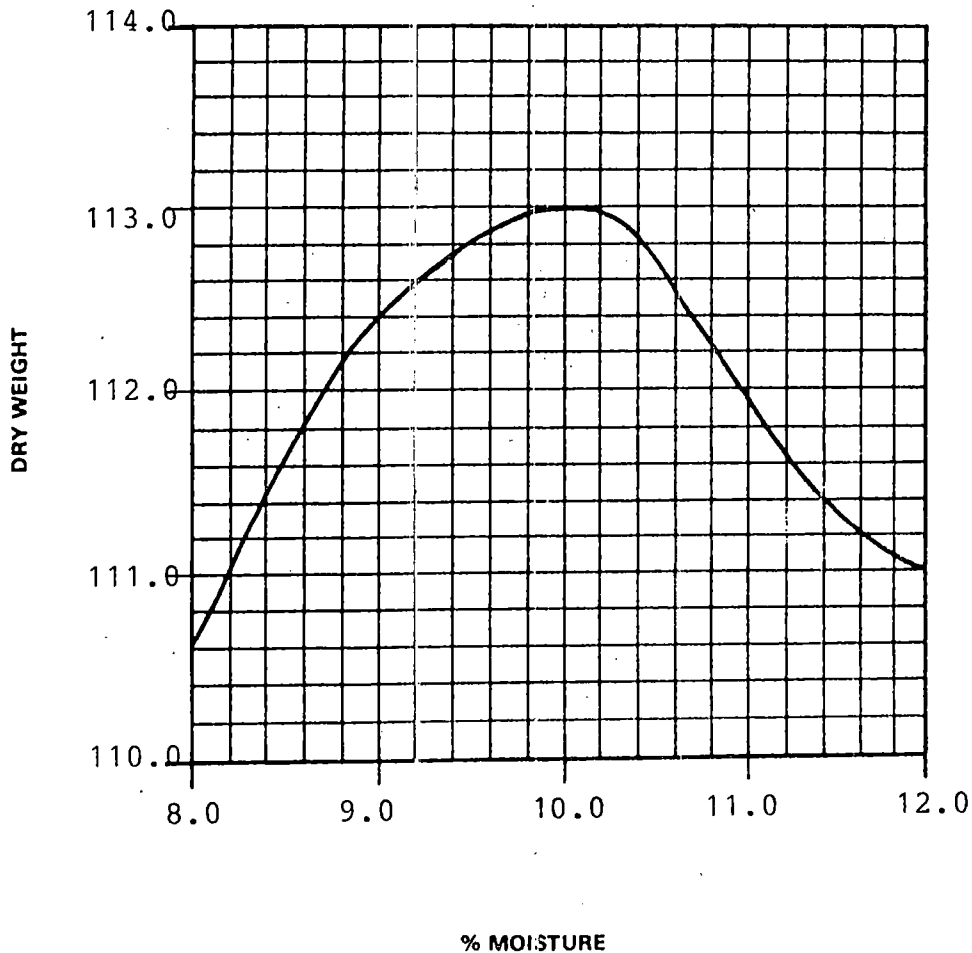
PROCTOR ANALYSIS:

PROJECT Proposed Residence - Marguirita @ Sewalls Point - Lot #7 - Martin Cty
SOURCE OF MATERIAL In Place Material JOB NO. 91-137JT Florida
DATE SAMPLED 3/26/91 SAMPLED BY: DP
DATE TESTED 3/27/91 TESTED BY: RD
CLIENT Arthur Rutenberg Homes REPORTED TO Client
SPECIFICATION GOVERNING 95% of T-180

REMARKS:

T-180

Brown Medium Fine Sand, with
some marl



MAX. DENSITY 113.0 #/CU. FT.
OPTIMUM MOISTURE CONTENT 10.0

845 Daffodil Drive
Wellington, FL 33414
(407) 798-5059

FRED LADWIG

ARCHITECT, P.A.

FL Reg. 11072
AIA Member
NCARB Certified

Dale Brown
Sewall's Point Building Department
1 South Sewall's Point Road
Stuart, FL 34996

Reference: Total square footage of The Tweed Residence, Lot 7, Marquerita, Sewall's Point.

Dear Sir:

As you requested, the following information:

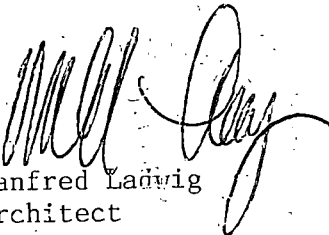
House (Air conditioned space):	2817 sq.ft.
Garage:	536 sq.ft.
Lanai:	291 sq.ft.
Entry Way:	42 sq.ft.

Total Square Footage of House: 3686 sq.ft.

Driveway:	803 sq.ft.
Walkway:	196 sq.ft.
Pool:	716 sq.ft.
Pool Deck:	436 sq.ft.

Total square footage of everything on lot: 5837 sq.ft.

Lot: ±18482 sq.ft.



Manfred Ladwig
Architect

747-0927



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

STUBOUT ELEVATION AND EXCAVATION CERTIFICATION

APPLICANT: SPENCER TWIGG SEPTIC TANK PERMIT NO. 4069-617

LEGAL DESCRIPTION: LOT 7, MARGARITA

The items which are checked off below must be certified by a surveyor or engineer and returned to the Martin County Health Unit prior to the first plumbing inspection by the Building Department.

- 1. Building Permit Number: _____ .(Certification not required for this item).
- 2. I certify that the elevation of the top of the lowest plumbing stubout is _____ inches above benchmark elevation as indicated on septic tank permit.
- ___ 3. I certify that the top of the lowest building plumbing stubout is _____ inches above crown of road elevation shown on septic tank permit.
- ___ 4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six(6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date Observed: _____

___ 5. I certify that the top of the drainfield pipe elevation is _____ .

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____

As applicant or applicant's representative, I understand the above requirements.

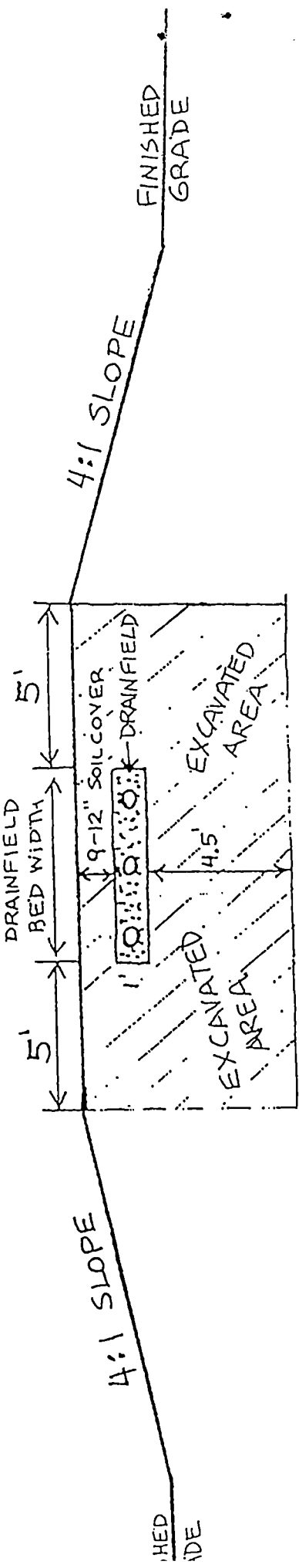
Date: _____ Job Number: _____

Barbara Mueller
(Signature)

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

Martin County Health Unit Approval Signature

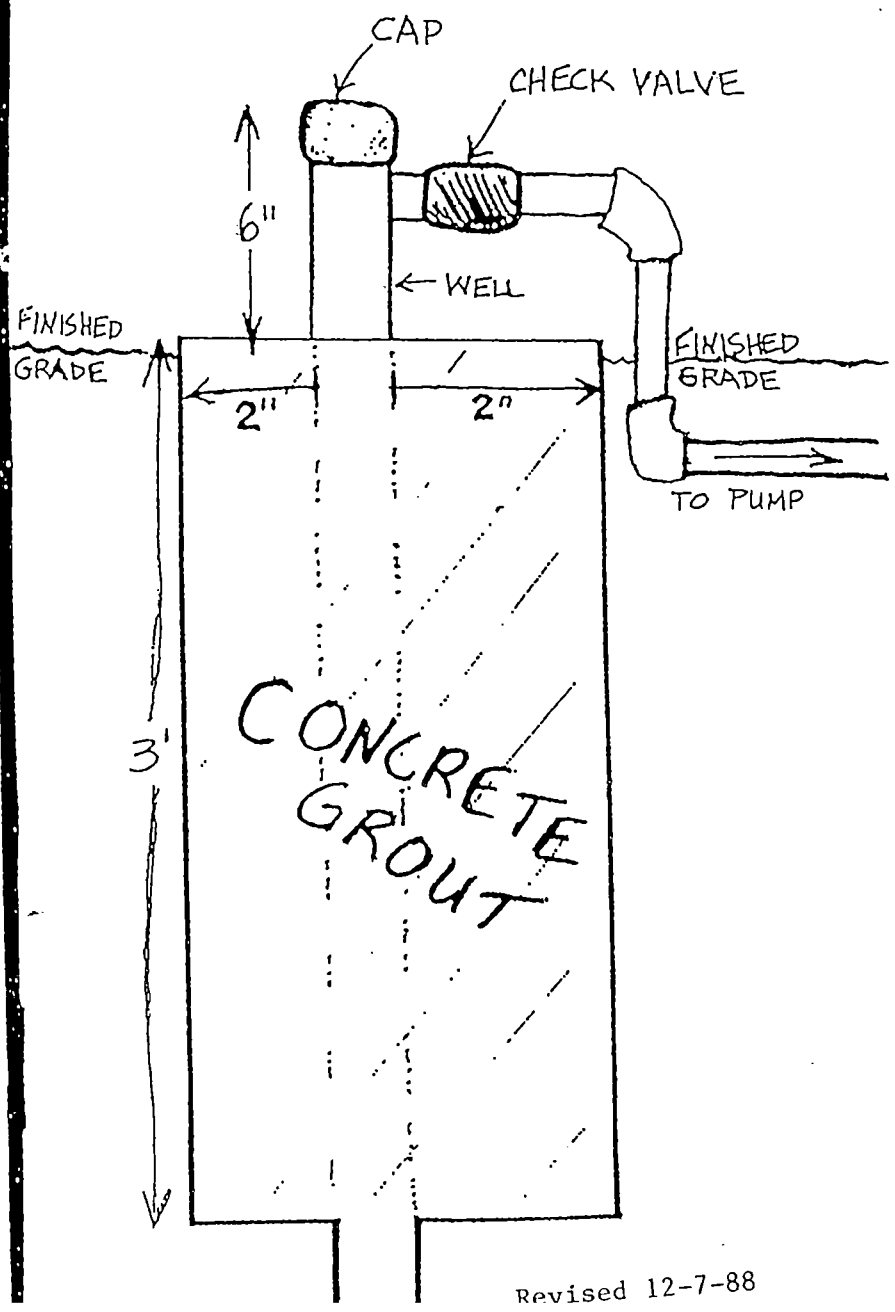
(Date)



WELL REQUIREMENTS

NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.

NOTE: ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.





STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER A089-617 HOME PHONE 516-423-3523
NAME OF APPLICANT SPENCER TWEED WORK PHONE 288-7176
MAILING ADDRESS OF APPLICANT 562 CALEDONIA ROAD
Dix Hills, N.Y. ZIP CODE 11746
LOT 7 BLOCK _____ SUBDIVISION MARGAURITA
IF NOT SUBDIVIDED, ATTACH A COMPLETE LEGAL DESCRIPTION
PLAT BOOK 10 PAGE 3 DATE SUBDIVIDED 1985
RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 4
LOT SIZE 18,250 FT² HEATED OR COOLED AREA OF HOME 2817 FT²
COMMERCIAL: TYPE OF BUSINESS PROPOSED _____ FT²
BUILDING SIZE _____

JOB NO. 1467-01-01

-----AFFIDAVIT-----
I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE

STEPHEN S. BROWN

-----INSTALLATION SPECIFICATIONS-----

SEPTIC TANK CAPACITY 1200 GALLONS
DRAINFIELD SIZE 625 SQUARE FEET
DRAINFIELD ROCK MUST BE 20 FEET FROM FRONT OR REAR PROPERTY LINES
AND 17 FEET FROM SIDE PROPERTY LINES. EXCAVATION CAN NOT EXTEND MORE THAN FIVE FEET FROM APPROVED INSTALLATION AREA.

12' W X 52' L

TOP OF BUILDING STUB OUT IS REQUIRED TO BE A MINIMUM ELEVATION OF 23" Above BM (El 4.2100)
TOP OF DRAINFIELD PIPE IS REQUIRED TO BE A MINIMUM ELEVATION OF 13" Above BM (El 4.2100)
TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF 27" Above BM

ISSUED BY: [Signature] DATE 11-30-89
MARTIN COUNTY PUBLIC HEALTH UNIT

PLEASE NOTE:

- (1) IF BUILDING CONSTRUCTION DOES NOT START WITHIN ONE YEAR FROM DATE OF ISSUANCE, THIS PERMIT EXPIRES. IF BUILDING CONSTRUCTION STARTS WITHIN 1 YEAR FROM DATE OF ISSUANCE, THE DATE OF EXPIRATION WILL BE EXTENDED AN ADDITIONAL 90 DAYS.
- (2) APPLICANT IS RESPONSIBLE FOR REPLACING EXCAVATED SOILS WITH A GOOD GRADE OF SAND.
- (3) NA REINSPECTION FEE IF WELL NOT INSTALLED AT TIME OF ONSITE SEWAGE DISPOSAL SYSTEM INSPECTION.
- (4) INSPECTION RESULTS WILL BE POSTED ON BUILDING PERMIT OR ON ELECTRICAL BOX.
- (5) IF BUILDING STUBOUT IS PLACED MORE THAN 20 FEET FROM SEPTIC TANK OR DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
- (6) IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
- (7) IF ANY INFORMATION ON THIS PERMIT CHANGES, AN UPDATED APPLICATION IS REQUIRED.
- (8) IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

-----FINAL INSPECTION-----
CONSTRUCTION APPROVED BY: [Signature] DATE _____
MARTIN COUNTY PUBLIC HEALTH UNIT

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

Prepared By: Stephen J. Brown, Inc. Prof. Land Surveyor
290 Florida Street, Stuart, FL. 34994
407-288-7176

APPLICANT SPENCER TWEED
LEGAL DESCRIPTION LOT 2, MARGUARITA

----- SITE INFORMATION -----

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A POTABLE PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE AN IRRIGATION WELL WITHIN 50 FEET OF THE AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL THAT SERVES LESS THAN 25 PEOPLE OR LESS THAN 15 HOMES WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC WELL WHICH SERVES MORE THAN 25 PEOPLE OR MORE THAN 15 HOMES WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
6. IS THERE A GRAVITY SEWER LINE OR LIFT STATION WITHIN 100 FEET OF THE PROPOSED LOT? No
7. IS THERE A LAKE, STREAM, WETLAND, OR SURFACE WATER WITHIN 75 FEET OF THE PROPOSED AVAILABLE AREA FOR THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A PROPOSED OR EXISTING PUBLIC DRINKING WATER LINE WITHIN 10 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
10. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
11. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
13. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDING OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
14. THERE IS 1500 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA ON PLOT PLAN.

----- ELEVATIONS -----

1. CROWN OF ROAD ELEVATION NONE NGVD SHOW LOCATION ON PLOT PLAN. IF ROAD IS NOT PAVED, BENCHMARK ELEVATION 4.22 NGVD SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 3.5 NGVD SHOW LOCATION ON PLOT PLAN.
2. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? Yes IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? 9.00 NGVD.

NOTE: MUST BE CERTIFIED BY A FLORIDA REGISTERED SURVEYOR OF ENGINEER.

CERTIFIED BY: STEPHEN J. BROWN
FL. PROFESSIONAL NO. 4049
DATE: 11/2/89 JOB NO. 1467-01-01



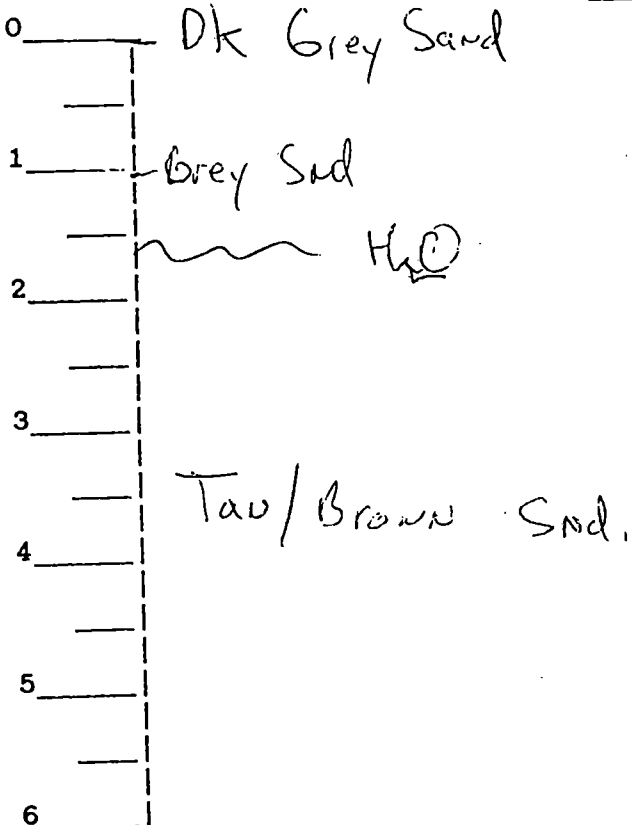
STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

SITE EVALUATION

APPLICANT: Spencer Tweed

LEGAL DESCRIPTION: Lot 7 Margarita

SOIL PROFILE



USDA SOIL TYPE Jenathen/Salerno

USDA SOIL NUMBER 41

Restrictive soils are present
at >6' below the
surface.

Present Water Depth Below Surface 1.5'

Wet Season Range per Soil Survey 40"-60" 1-4.00 (up to 30")

Estimated Wet Season Water Depth Below Surface 1.5'

Indicator Vegetation Present Scattered Slash Pine

Is Benchmark Located on Plot Plan and Present on Site? NO - (could not locate)

Approximate Amount of Fill on Neighbor Lots 2'

Depth of Fill in Soil Profile N/A

How Long Has Fill Been Present N/A

Evaluation by: MW/AC Date: 11-17-89

**FLORIDA ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION**

FORM 900-B-89

SECTION 9 — RESIDENTIAL POINT SYSTEM METHOD
DEPARTMENT OF COMMUNITY AFFAIRS

CLIMATE ZONES
SOUTH 7 8 9

PROJECT NAME AND ADDRESS:	SEWALL'S POINT	BUILDER:	CLIMATE ZONE: 7 <input type="checkbox"/> 8 <input checked="" type="checkbox"/> 9 <input type="checkbox"/>
	Lot 7 PLM BCH Co, FL	PERMITTING OFFICE:	
OWNER:	TWEED	PERMIT NO.:	JURISDICTION NO.:

NEW CONSTRUCTION <input checked="" type="checkbox"/>	IF MULTIFAMILY, NUMBER OF UNITS COVERED BY THIS SUBMITTAL: <input type="checkbox"/>	CONDITIONED FLOOR AREA <input type="checkbox"/> 2817 <input type="checkbox"/> SQ. FT.	GLASS AREA AND TYPE	
ADDITION <input type="checkbox"/>		PREDOMINANT EAVE OVERHANG LENGTH <input type="checkbox"/> 2.0 <input type="checkbox"/> FT.	CLEAR	TINT, FILM, SOLAR SCREEN
MULTIFAMILY ATTACHED <input type="checkbox"/>	CHECK IF THIS SUBMITTAL REPRESENTS A WORST CASE CONDITION: <input checked="" type="checkbox"/>	PORCH OVERHANG LENGTH <input type="checkbox"/> 13.0 <input type="checkbox"/> FT.	SINGLE-PANE <input type="checkbox"/> 533 <input type="checkbox"/> SQ. FT.	SINGLE-PANE <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.
SINGLE-FAMILY DETACHED <input checked="" type="checkbox"/>			DOUBLE-PANE <input type="checkbox"/> <input type="checkbox"/> 4 <input type="checkbox"/> SQ. FT.	DOUBLE-PANE <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.

NET WALL AREA AND INSULATION					
EXTERIOR MASONRY	R =	EXTERIOR FRAME	R =	EXTERIOR STEEL	R =
<input type="checkbox"/> 1717 <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> 5.4	<input type="checkbox"/> 120 <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> 11	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.
ADJACENT MASONRY	R =	ADJACENT FRAME	R =	ADJACENT STEEL	R =
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> .	<input type="checkbox"/> 197 <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> 11	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.

CEILING AREA AND INSULATION			FLOOR TYPE AND INSULATION		
UNDER ATTIC	R =	SGL ASSEMBLY	R =	SLAB PERIMETER	R =
<input type="checkbox"/> 2939 <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> 26	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.	<input type="checkbox"/> 279 <input type="checkbox"/> FT.	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> SQ. FT.
				RAISED: WD <input type="checkbox"/> CON <input type="checkbox"/>	R =

DUCTS	COOLING SYSTEM	HEATING SYSTEM	HVAC CREDITS	HOT WATER SYSTEM	HOT WATER CREDITS
IN UNCONDITIONED SPACE R = <input type="checkbox"/> 5.0 <input type="checkbox"/> IN CONDITIONED SPACE R = <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> ROOM <input type="checkbox"/> PACKAGE TERMINAL AIR CONDITIONER <input type="checkbox"/> NONE SEER/VEER = <input type="checkbox"/> 9.0 <input type="checkbox"/>	<input checked="" type="checkbox"/> ELECTRIC STRIP <input type="checkbox"/> HEAT PUMP <input type="checkbox"/> NATURAL GAS <input type="checkbox"/> OTHER FUELS <input type="checkbox"/> ROOM UNIT OR PACKAGE TERMINAL HEAT PUMP <input type="checkbox"/> NONE COP/HSPF/AFUE = <input type="checkbox"/> 1.00 <input type="checkbox"/>	<input type="checkbox"/> CEILING FANS <input type="checkbox"/> CROSS VENTILATION <input type="checkbox"/> WHOLE HOUSE FAN <input type="checkbox"/> ATTIC RADIANT BARRIER <input type="checkbox"/> MULTIZONE	<input checked="" type="checkbox"/> ELECTRIC <input type="checkbox"/> NATURAL GAS <input type="checkbox"/> OTHER FUELS <input type="checkbox"/> NONE EF = <input type="checkbox"/> 91 <input type="checkbox"/>	SOLAR: S.F. = <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> HEAT RECOVERY (CHECK) <input checked="" type="checkbox"/> DEDICATED HEAT PUMP: E.F. = <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> NUMBER OF BEDROOMS = <input type="checkbox"/> 4 <input type="checkbox"/>

INFILTRATION PRACTICE USED <input type="checkbox"/> #1 <input checked="" type="checkbox"/> #2 <input type="checkbox"/> #3	<input type="checkbox"/> 55164.4 <input type="checkbox"/>	÷	<input type="checkbox"/> 56232.4 <input type="checkbox"/>	x 100 =	<input type="checkbox"/> 99.8 <input type="checkbox"/>
	TOTAL AS-BUILT POINTS		TOTAL BASE POINTS		CALCULATED E.P.I.
CALCULATED ENERGY PERFORMANCE INDEX MUST NOT EXCEED 100 POINTS.					

In accordance with Section 553.907 F.S., I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

COMPUTERIZED ENERGY MANAGEMENT

OWNER/AGENT: _____
DATE: 29 Oct 90 Thomas Abbott

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908 F.S.

BUILDING OFFICIAL: Dale Brown
DATE: 1/29/92

AR-SWL-7
 FLORIDA ENERGY EFFICIENCY CODE
 FOR BUILDING CONSTRUCTION

Section 9 Compliance Program - Residential Point System Method
 Version 3.0 September, 1989
 Department Of Community Affairs

Printout generated by EPI89C and submitted in lieu of Form 900-A-89
 THIS COMPLIANCE FORM IS VALID IF SUBMITTED BEFORE JANUARY 1, 1990

PROJECT NAME: SEWALL'S POINT	PERMITTING OFFICE:
AND ADDRESS: LOT 7 PLM BCH CO., FL.	CLIMATE ZONE: 7 <u>8</u> 9
BUILDER: ARTHUR RUTENBERG	PERMIT NO.:
OWNER: TWEED	JURISDICTION NO.:

COMPONENT:	DIMENSION:	VALUE:	RATING:	VALUE:	OFFICIAL CHECKLIST
STRUCTURE TYPE:					
Single-Family					
PREDOMINANT EVE OVERHANG	Length:	2.00			
PORCH OVERHANG	Length:	13.00			
WINDOWS					
Single Clear	Total Area	533.70			
Double Tint	Total Area	4.00			
All Vertical Glass	Total Area	533.70			
All Skylight Glass	Total Area	4.00			
WALLS					
Ext NormWtBlock Int	Area:	1717.70	R-Val:	5.40	
Ext Wood Frame	Area:	120.20	R-Val:	11.00	
Adj Wood Frame	Area:	197.20	R-Val:	11.00	
DOORS					
Ext Wood	Area:	45.20			
Adj Insulated	Area:	19.00			
CEILINGS					
PITCHED Under Attic	Area:	2939.20	R-Val:	26.00	
FLOORS					
Slab-on-Grade	Perimeter:	279.00	R-Val:	.00	
DUCTS					
Unconditioned Space	Length ALL		R-Val:	5.00	
COOLING					
Central A/C			SEER:	9.00	
HEATING					
Strip Heat			STRIP:	1.00	
HOT WATER					
Electric			EF:	.91	
Heat Recovery with A/C			EF:	.91	
Electric	Bedrooms:	4.00			
INFILTRATION					
Conditioned Floor	Area:	2817.00	Pract:	2.00	

AS BUILT POINTS / BASE POINTS * 100 = EPI
 55,164.48 / 55,232.45 * 100 = 99.88

GLASS TO FLOOR AREA RATIO = .1909

In Accordance with Sec. 553.907 F.S.,
I Hereby certify that the plans and
specifications covered by this calcu-
lation are in compliance with the
Florida Energy Code.

| Review of the plans and specifications
| covered by this calculation indicates
| compliance with the Florida Energy
| Code. Before construction is completed
| this building will be inspected for
| compliance in accordance with Section
| 553.908 F.S.

OWNER/AGENT: _____

J. ALTA

DATE: _____

29 OCT 90

| BUILDING OFFICIAL: _____

| DATE: _____

SUMMER CALCULATIONS

=== BASE ===

=== AS-BUILT ===

GLASS-----										
ORIEN	AREA	x BSPM =	POINTS	TYPE	SC	ORIEN	AREA	x SPM	x SDF	= POINTS
NE	80.70	88.0	7101.6	SGL CLR		NE	25.6	94.8	.94	2269.1
				SGL CLR		NE	23.2	94.8	.79	1746.2
				SGL CLR		NE	25.6	94.8	.75	1818.0
				SGL CLR		NE	6.3	94.8	.79	472.9
SE	78.80	135.0	10638.0	SGL CLR		SE	32.4	146.2	.74	3506.9
				SGL CLR		SE	14.1	146.2	.73	1503.0
				SGL CLR		SE	9.8	146.2	.28	401.2
				SGL CLR		SE	16.2	146.2	.88	2086.9
SW	158.40	135.0	21384.0	SGL CLR		SE	6.3	146.2	.55	508.7
				SGL CLR		SW	23.2	146.2	.95	3236.4
				SGL CLR		SW	7.0	146.2	.96	980.8
				SGL CLR		SW	14.0	146.2	.97	1978.6
W	23.20	127.0	2946.4	SGL CLR		SW	23.2	146.2	.28	949.7
				SGL CLR		SW	80.0	146.2	.83	9759.7
				SGL CLR		SW	11.0	146.2	.73	1172.5
				SGL CLR		W	23.2	136.3	.72	2271.0
NW	192.60	88.0	16948.8	SGL CLR		NW	46.6	94.8	.96	4415.3
				SGL CLR		NW	144.0	94.8	.50	6793.2
HZ	4.00	124.2	496.8	DBL TINT		HZ	4.0	278.9	1.00	1115.6

.15 x COND.	FLOOR / TOTAL GLASS =	ADJ.	x	GLASS	=	ADJ GLASS	GLASS
AREA	AREA	FACTOR		POINTS		POINTS	POINTS
.15	2,817.00	537.70	.786	59,515.60		46,770.16	46,985.48

NON GLASS-----										
AREA	x	BSPM =	POINTS	TYPE	R-VALUE	AREA	x	SPM =	POINTS	
WALLS-----										
Ext	1837.9	1.6	2940.6	Ext NormWtBlock In	5.4	1717.7	1.92	3298.0		
				Ext Wood Frame	11.0	120.2	2.70	324.5		
Adj	197.2	1.0	197.2	Adj Wood Frame	11.0	197.2	1.00	197.2		
DOORS-----										
Ext	45.2	6.4	289.3	Ext Wood		45.2	9.40	424.9		
Adj	19.0	2.6	49.4	Adj Insulated		19.0	2.60	49.4		
CEILINGS-----										
UA	2813.0	.8	2250.4	Under Attic	26.0	2939.2	1.00	2939.2		
FLOORS-----										
Slb	279.0	-20.0	-5580.0	Slab-on-Grade	.0	279.0	-20.00	-5580.0		
INFILTRATION-----										
	2817.0	14.7	41409.9	Practice #2		2817.0	14.70	41409.9		

TOTAL SUMMER POINTS	88,326.98								90,048.58
---------------------	-----------	--	--	--	--	--	--	--	-----------

TOTAL	x	SYSTEM	=	COOLING	TOTAL	x	CAP	x	DUCT	x	SYSTEM	x	CREDIT	=	COOLING
SUM PTS	MULT	POINTS		COMPON	RATIO	MULT	MULT	MULT	MULT	MULT	MULT	MULT	POINTS		
88,326.98	.43	37,980.61		90,048.58	1.00	1.120	.380	1.000					38,324.68		

WATER HEATING

=== BASE ===

|

=== AS-BUILT ===

=====

NUM OF BEDRMS	x	MULT	=	TOTAL	:	TANK VOLUME	EF	TANK RATIO	x	MULT	x	CREDIT MULT	=	TOTAL
------------------	---	------	---	-------	---	-------------	----	---------------	---	------	---	----------------	---	-------

4		3319.0		13,276.00	|	50	.91	.556		3208.0		.62		4,419.91
---	--	--------	--	-----------	--	----	-----	------	--	--------	--	-----	--	----------

					|	40	.91	.444		3208.0		1.00		5,703.11
--	--	--	--	--	--	----	-----	------	--	--------	--	------	--	----------

				13,276.00	|									10,123.02
--	--	--	--	-----------	--	--	--	--	--	--	--	--	--	-----------

SUMMARY

=== BASE ===

|

=== AS-BUILT ===

=====

COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS	:	COOLING POINTS	+	HEATING POINTS	+	HOT WATER POINTS	=	TOTAL POINTS
-------------------	---	-------------------	---	---------------------	---	-----------------	---	-------------------	---	-------------------	---	---------------------	---	-----------------

37980.6		3975.8		13276.0		55,232.45	|	38324.7		6716.8		10123.0		55,164.48
---------	--	--------	--	---------	--	-----------	--	---------	--	--------	--	---------	--	-----------

* EPI = 99.88 *

STATE OF FLORIDA
DEPARTMENT OF PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD


DATE	LICENSE NO.	BATCH NO.
10/12/89	CR C020093	03099

THE CERTIFIED RESIDENTIAL CONTRACTOR
NAMED BELOW IS CERTIFIED
UNDER THE PROVISIONS OF CHAPTER 489 F.S., FOR THE YEAR
EXPIRING JUNE 30, 1992

TRAVIS, CHRISTOPHER DELOS
ARTHUR RUTENBERG CORP
15351 ROOSEVELT BLVD
CLEARWATER FL 34620


BOB MARTINEZ
GOVERNOR

DISPLAY IN A CONSPICUOUS PLACE


LARRY GONZALEZ
SECRETARY, D.P.R.

NOTE - A PENALTY IS IMPOSED FOR FAILURE TO KEEP THIS LICENSE EXHIBITED CONSPICUOUSLY AT YOUR ESTABLISHMENT OR PLACE OF BUSINESS.

MARTIN COUNTY 1990 COUNTY OCCUPATIONAL LICENSE 1991

THIS FORM BECOMES A RECEIPT ONLY WHEN VALIDATED BY RECEIPTING MACHINE SHOWING TRANSACTION NUMBER, DATE AND AMOUNT PAID.

PENALTY 10% FOR MONTH OF OCTOBER,
5% ADDITIONAL EACH MONTH THERE-
AFTER UP TO 25% PLUS COLLECTION
COSTS.

PREV YR. \$ _____	LIC. FEE \$ <u>9.00</u>
TRANSFER \$ _____	HAZ. WST. \$ <u>10.00</u>
DEL PEN \$ _____	COL. FEE \$ <u>2.00</u>
SUBTOTAL \$ _____	SUBTOTAL \$ <u>21.00</u>
TOTAL _____	

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **CERT RESIDENTIAL CONT**
AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE

1ST DAY OF OCTOBER 19 90 SEC. _____
AND ENDING FIRST DAY OF OCTOBER A.D. 1991

LICENSE 8A-513-289 CERT _____
PHONE 305-744-2554 SIC NO. 1521

LOCATION:

33 51328988 00002100 3

MAKE CHECKS PAYABLE TO:
Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(407) 288-5604

ARTHUR RUTENBERG CORP.
PO BOX 32548
PALM BCH GDNS FL 33410

ORIGINAL

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 1/28/92

This is to request that a Certificate of Approval for Occupancy be issued to Mr Tweed
 For property built under Permit No. 2963 Dated 4/4/91 when completed in
 conformance with the Approved Plans.

Item	Date	Signed	Approved by
1. LOT STAKES/BET BACKS	<u>5/17/91</u>		
2. TERMITE PROTECTION	<u>8/22/91</u>		
3. FOOTING - SLAB	<u>4/23/91 - 6/6/91</u>		
4. ROUGH PLUMBING	<u>5/30/91</u>		
5. ROUGH ELECTRIC	<u>8/29/91</u>		
6. LINTEL	<u>6/21/91</u>		
7. ROOF	<u>8/19/91</u>		
8. FRAMING	<u>8/29/91</u>		
9. INSULATION	<u>9/5/91</u>		
10. A/C DUCTS	<u>8/29/91</u>		
11. FINAL ELECTRIC	<u>1/27/92</u>		
12. FINAL PLUMBING	<u>1/27/92</u>		
13. FINAL CONSTRUCTION	<u>1/27/92</u>		

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 1/28/92 date.

Approved by Building Commissioner _____ date

Utilities notified FPL 1/27/92 date

Original Copy sent to owner

(Keep carbon copy for Town files)

Tweed -

- Cost of House \$ 177,009.00

- Total Square Footage for

Air Conditioned Space. 2817 sqft

- Square Footage of

A) Garage 536 sqft

B) Lanai (Porches) 291 sqft

C) Entry 42 sqft

- Square Footage of

1) House 3686 sqft

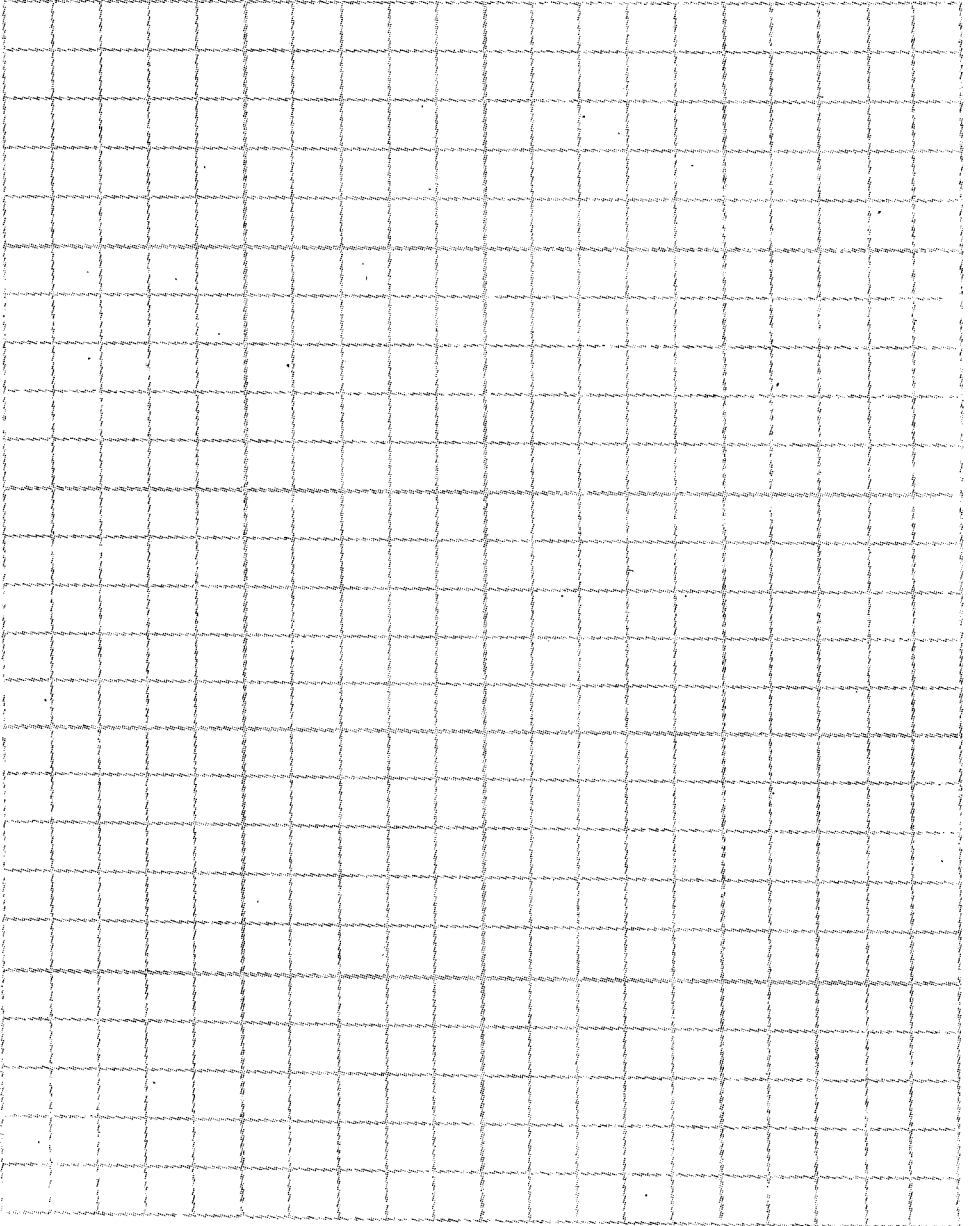
2) Pool 716 sqft (deck) 936 sqft (pool)

3) Driveway 803 sqft

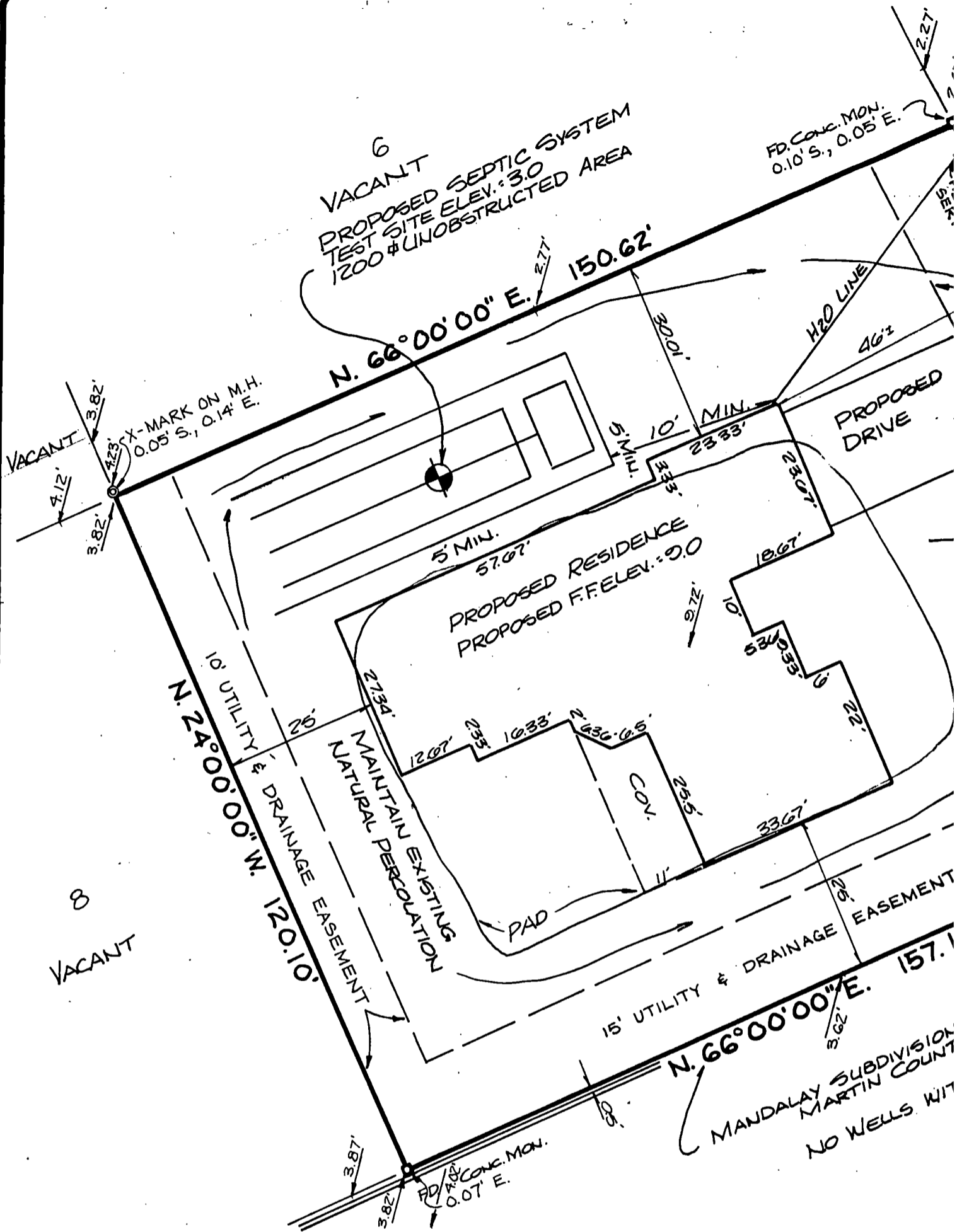
- Square Footage of Lot

18,871 sqft

- Square Footage of everything
covering Lot. 5641 sqft.



**6551 Southern Boulevard
West Palm Beach, Florida 33413-1799
(407) 683-3663**



TYPE OF SURVEY: **BOUNDARY**
I HEREBY CERTIFY TO: **ARTHUR RUTENBERG CORP.**

THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

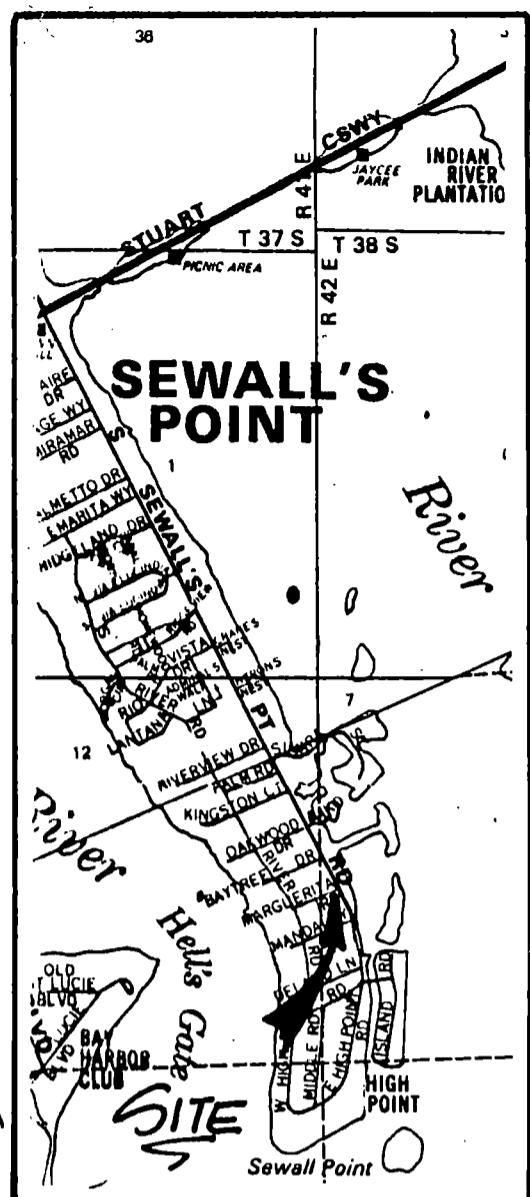
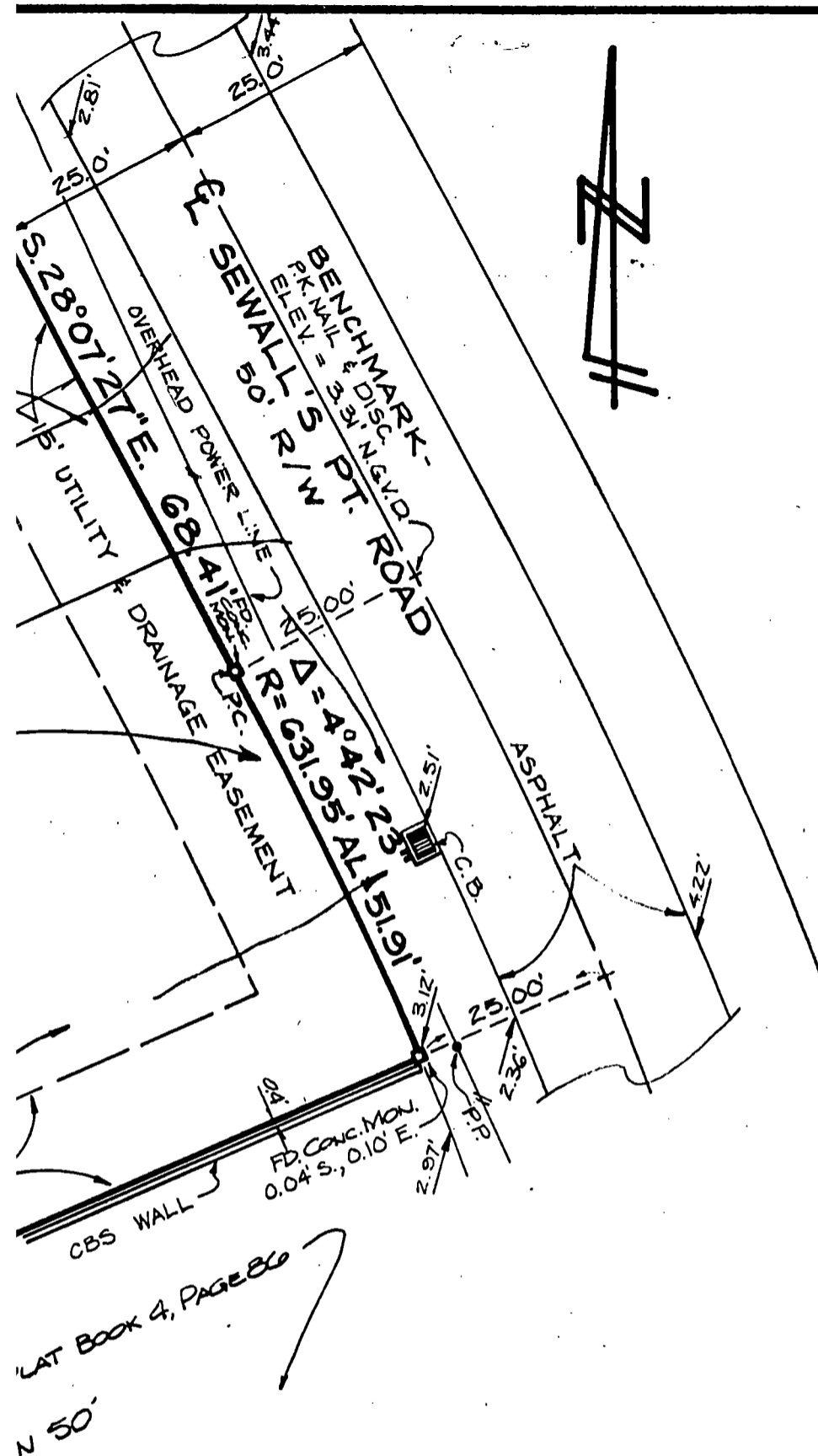
James M. O'Brien
JAMES M. O'BRIEN
DAILEY & ASSOCIATES
Land Surveyors
Florida Certificate No. 1652

DEC 21 1990
DATE

RESURVEYED _____

ELEVATIONS BASED ON N G V D, BENCHMARK

Verify setback requirements prior to construction.
Location measurements are not suitable for construction purposes.
Restrictions not indicated on this survey may exist.
No search of the Public Records has been made by this surveyor.
This Survey is not valid unless sealed with an Embossed Surveyor's Seal.



LOCATION MAP

LEGAL DESCRIPTION

LOT 7, ACCORDING TO THE PLAT OF MARGUERITA SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 63, OF THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

CONNECT TO PUBLIC H₂O
 → PROPOSED DRAINAGE

REVISED 31 DEC 90 UNDER CONST. TIL IN _____ FINAL TIE-IN _____

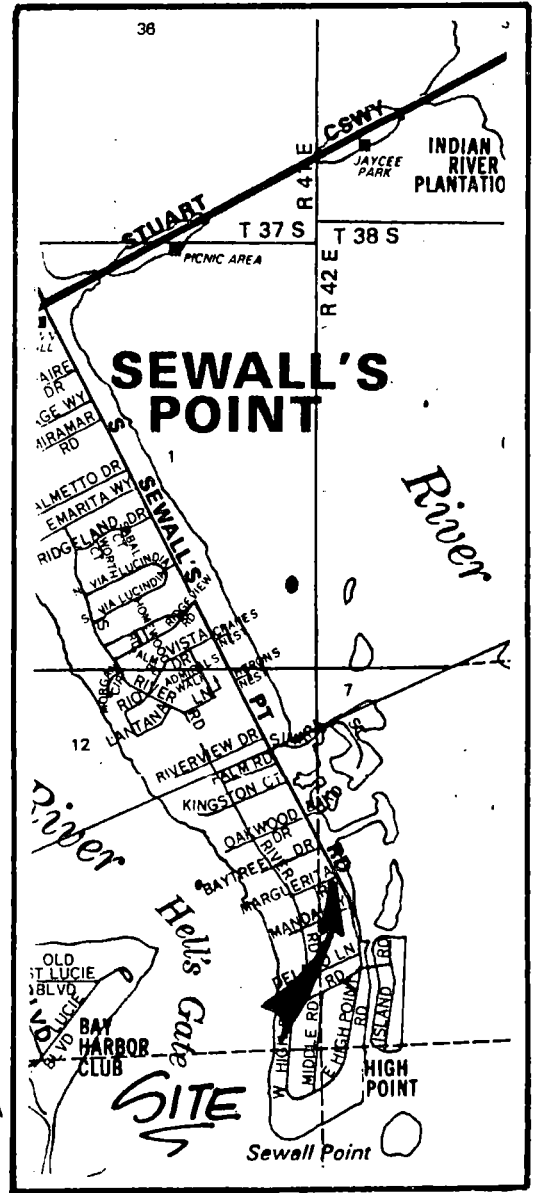
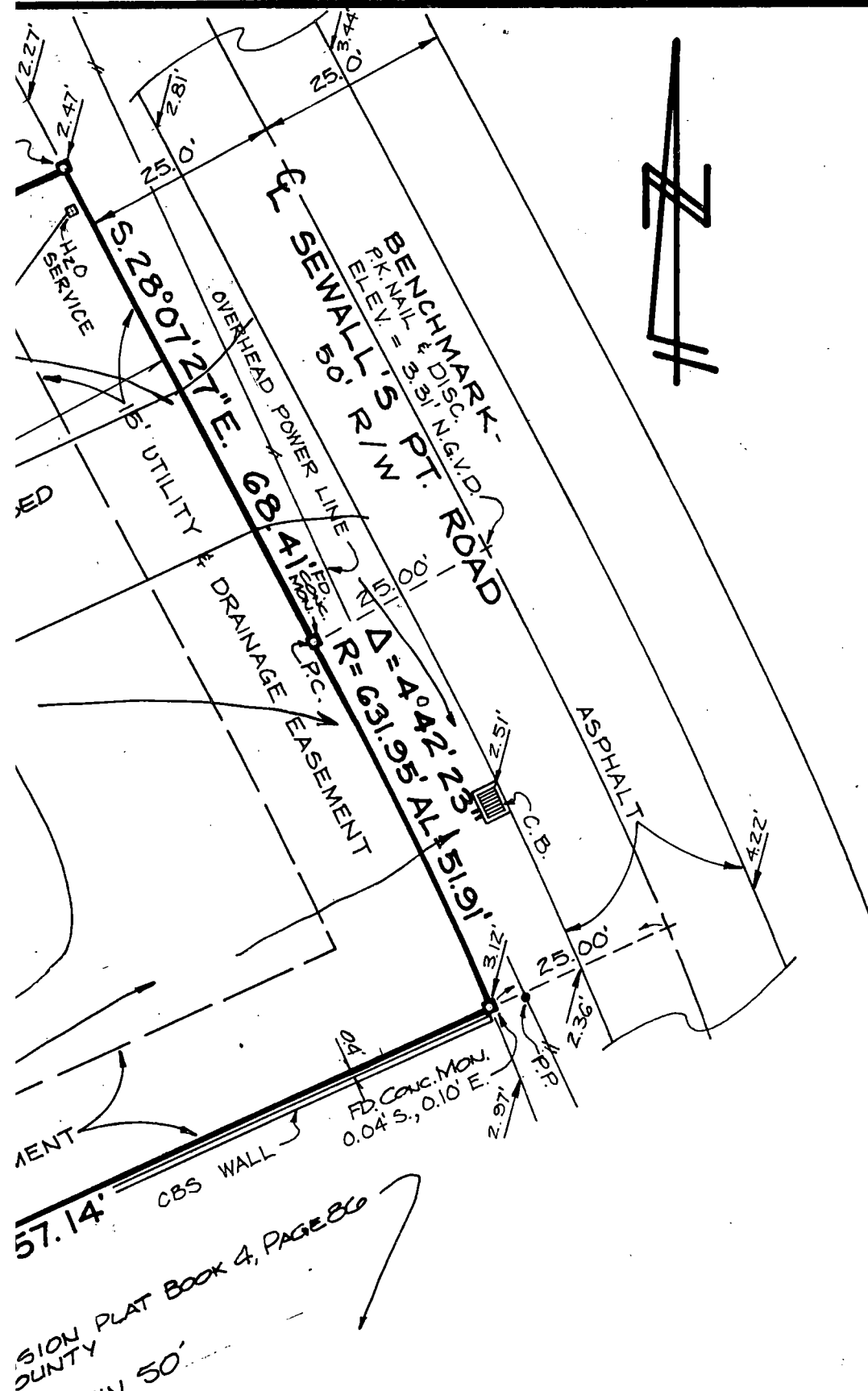
SEWALL 466 No. 4 BEARING BASE: 5LY. LINE, LOT 7 FLOOD ZONE: "A-B" 120164 0002C
 N 50°00'00" E ELEV. 10 APRIL 3, 1984

LEGEND

- SET IRON ROD
- WIRE FENCE
- WOOD FENCE
- POLE & GUY
- FD. MON.

DAILY & ASSOCIATES
 LAND SURVEYORS
 226 Center Street
 Suite A-5
 Jupiter, Florida 33458
 Phone (407) 746-8424

SCALE 1" = 20'
 BOOK 118 / 14-16
 DATE 12-12-90
 JOB NO. 90-260



LOCATION MAP

LEGAL DESCRIPTION

LOT 7, ACCORDING TO THE PLAT OF MARGUERITA SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 63, OF THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

CONNECT TO PUBLIC H₂O
 → = PROPOSED DRAINAGE

REVISED 21 DEC. 90, 2 JAN. 91 UNDER CONST. TIE-IN FINAL TIE-IN

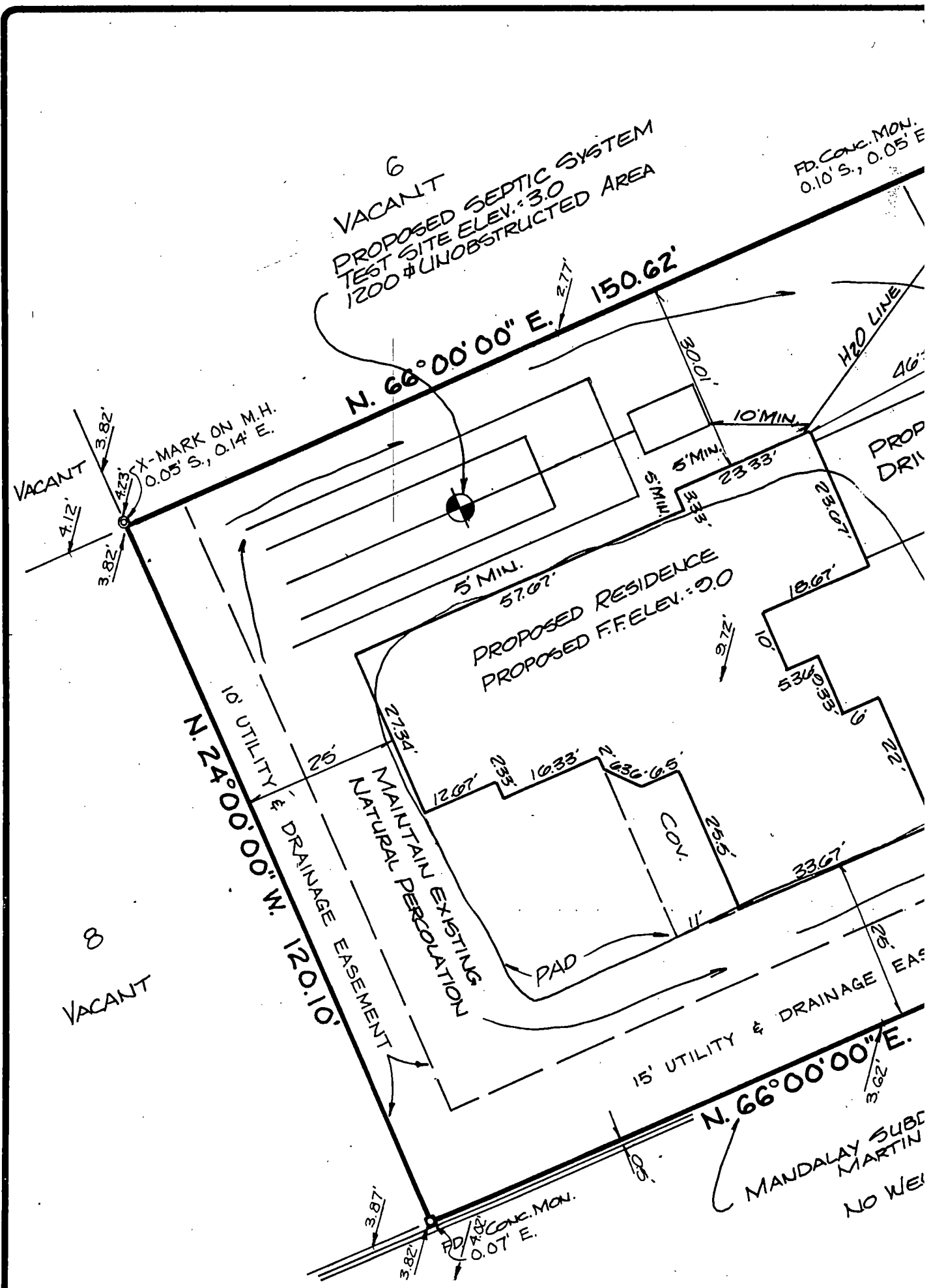
BENCHMARK: SEWALL USE No. 4 BEARING BASE: SLY. LINE, LOT 7 FLOOD ZONE: "A-B" 1201640002C
 N. 66°00'00"E. ELEV. = 9 APRIL 3, 1984

LEGEND

- = SET IRON ROD
- = WIRE FENCE
- = WOOD FENCE
- = POLE & GUY
- = FD. MON.

DAILEY AND ASSOCIATES
 LAND SURVEYORS
 226 Center Street
 Suite A-5
 Jupiter, Florida 33458
 Phone (407) 746-8424

SCALE 1" = 20'
 BOOK 118/14-16
 DATE 12-12-90
 JOB NO. 90-260



TYPE OF SURVEY: BOUNDARY
 I HEREBY CERTIFY TO: ARTHUR RUTENBERG CORP.

THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

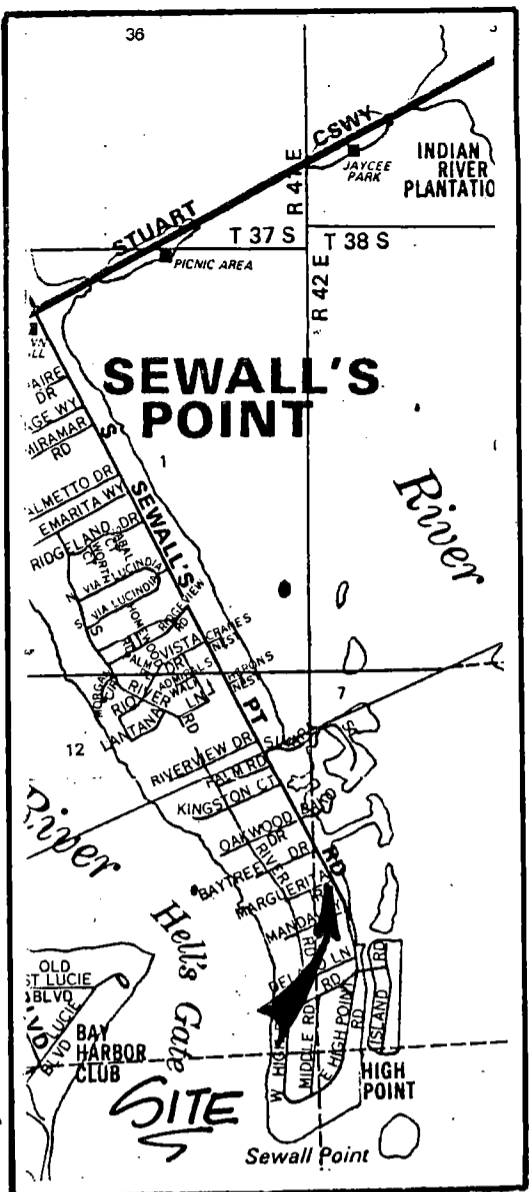
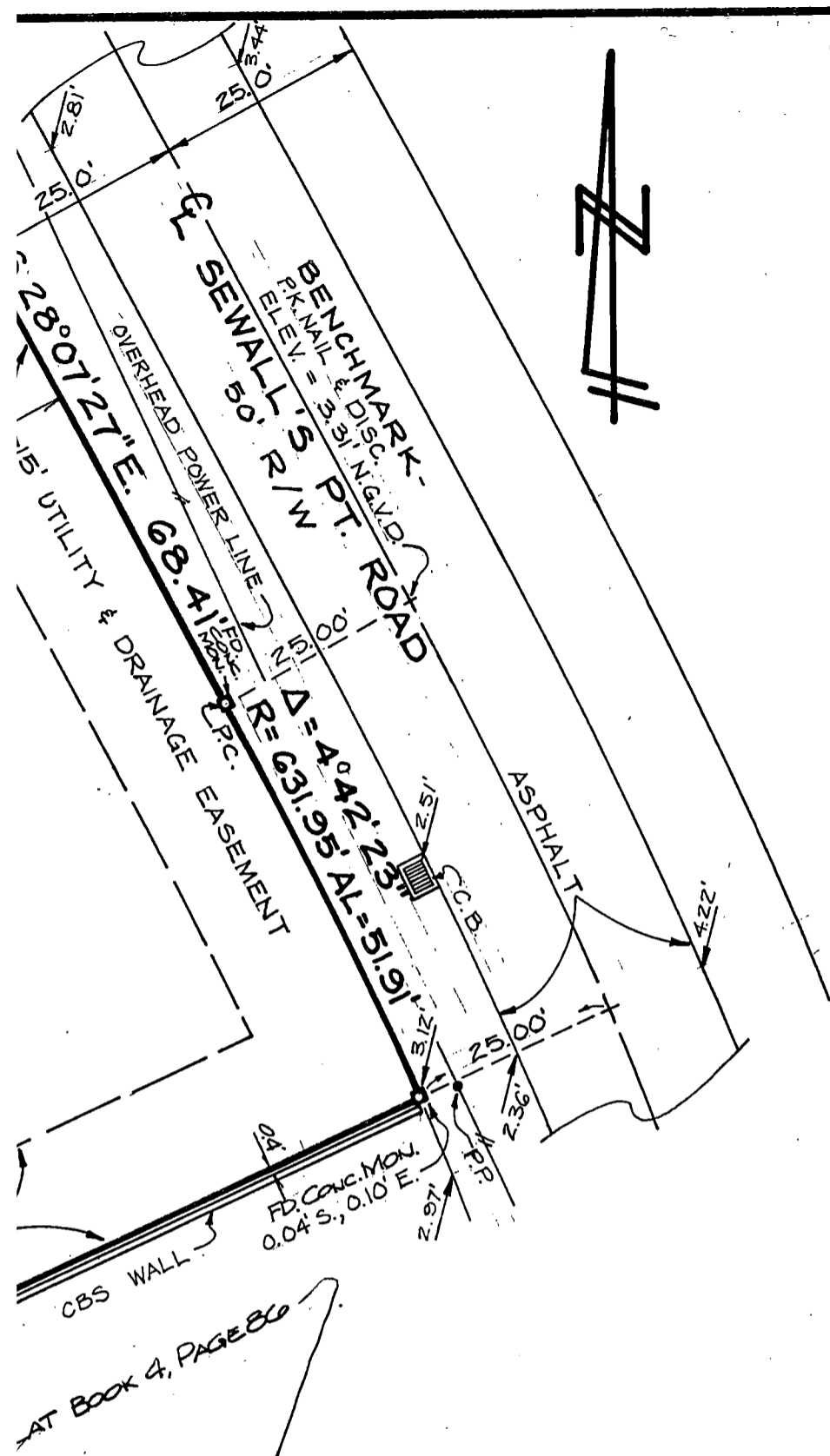
James M. O'Brien
JAMES M. O'BRIEN
 DAILEY & ASSOCIATES
 Land Surveyors
 Florida Certificate No. 1652

JAN 03 1991
 DATE

RESURVEYED _____

ELEVATIONS BASED ON N G V D, BEN
 Verify setback requirements prior to constructi
 Location measurements are not suitable for cc
 purposes.
 Restrictions not indicated on this survey may e
 No search of the Public Records has been mad
 This Survey is not valid unless sealed with an Er
 Surveyor's Seal.

J & J REPROGRAPHICS 314518



LOCATION MAP

LEGAL DESCRIPTION

LOT 7, ACCORDING TO THE PLAT OF MARGUERITA SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 63, OF THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

REVISSED _____ UNDER CONST. TIE-IN 17 APRIL 91 FINAL TIE-IN _____
 SEWALL USE NO. 4 BEARING BASE: SLY. LINE, LOT 7 FLOOD ZONE: A-8 120169 0002C
N. 66°00'00\"/>

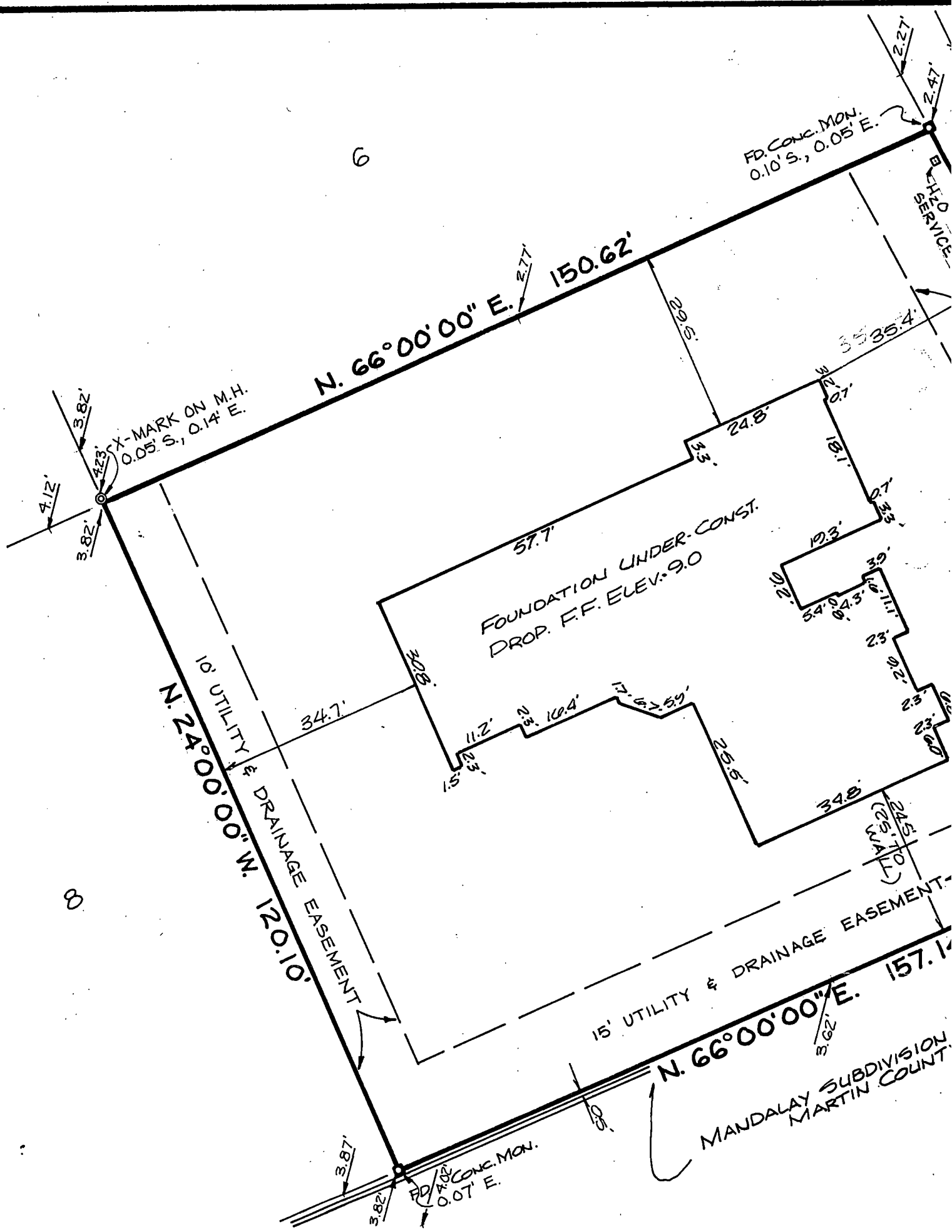
LEGEND

- = SET IRON ROD
- = WIRE FENCE
- = WOOD FENCE
- = POLE & GUY
- = FD. MON.

DAILEY AND ASSOCIATES

LAND SURVEYORS
 226 Center Street
 Suite A-5
 Jupiter, Florida 33458
 Phone (407) 746-8424

SCALE 1" = 20'
 BOOK 118/14-16
 DATE 12-12-90
 JOB NO. 90-260



TYPE OF SURVEY: **BOUNDARY & TOPOGRAPHIC**
 I HEREBY CERTIFY TO: **ARTHUR RUTENBERG CORP.**

THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

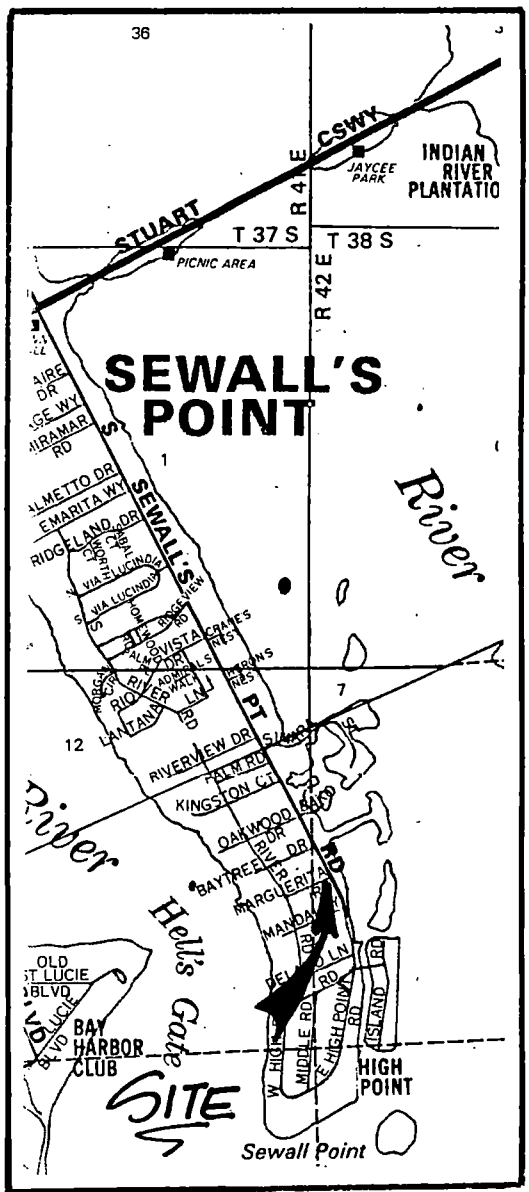
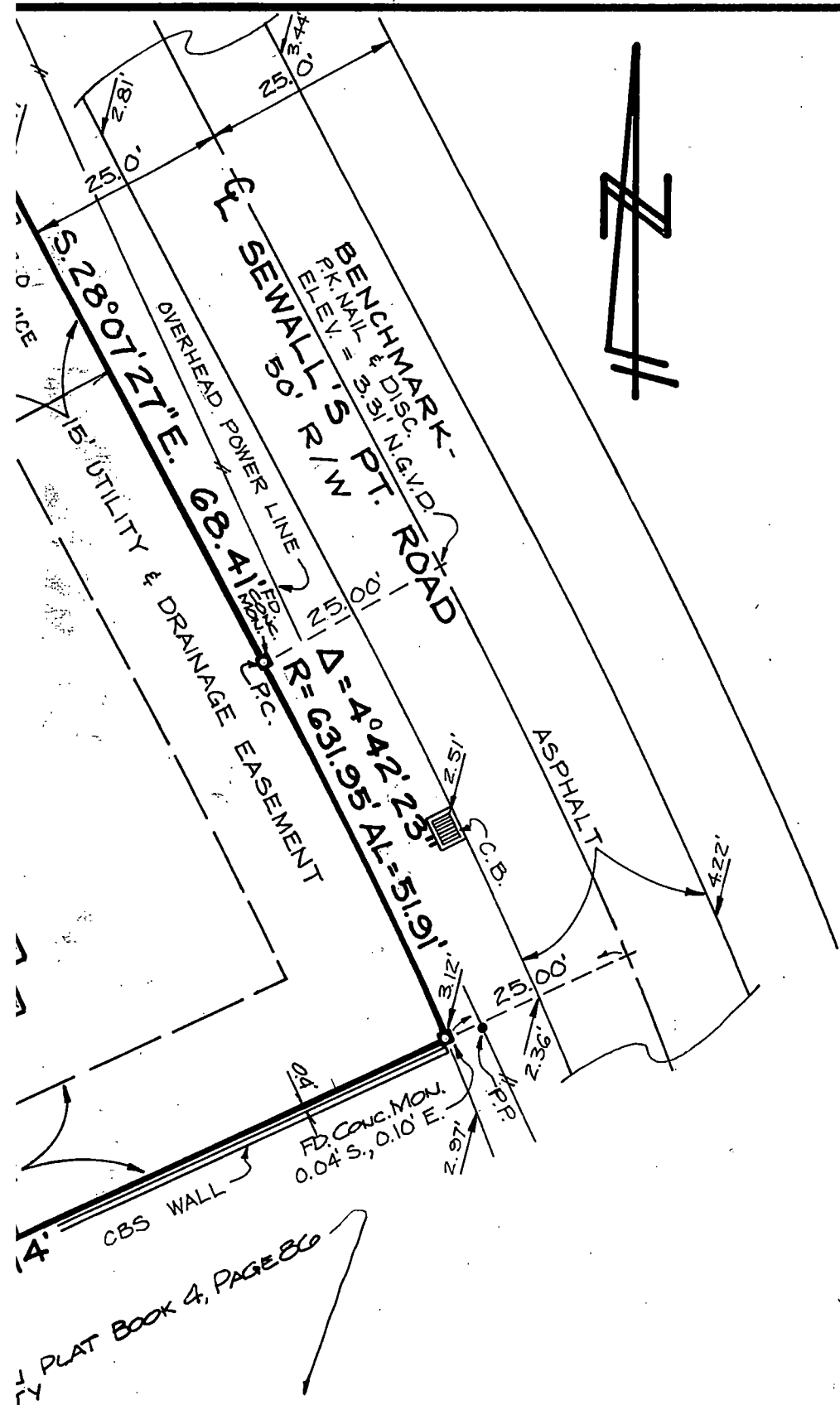
James M. O'Brien
JAMES M. O'BRYEN
 DAILEY & ASSOCIATES
 Land Surveyors
 Florida Certificate No. 1052

4/19/91
 DATE

RESURVEYED _____

ELEVATIONS BASED ON N G V D, BENCHMARK

Verify setback requirements prior to construction.
 Location measurements are not suitable for construction purposes.
 Restrictions not indicated on this survey may exist.
 No search of the Public Records has been made by this office.
 This Survey is not valid unless sealed with an Embossed Surveyor's Seal.



LOCATION MAP

LEGAL DESCRIPTION

LOT 7, ACCORDING TO THE PLAT OF MARGUERITA SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 63, OF THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

REVISED

UNDER CONST. TIE-IN ^{16 MAY 91} ~~17 APRIL 91~~ FINAL TIE-IN

MARK: SEWALL USE NO. 4

BEARING BASE: SLY. LINE, LOT 7
N 66°00'00"E

FLOOD ZONE: "A-B" 120169 0002C
ELEV.: 9 APRIL 3, 1984

office.

LEGEND

- = SET IRON ROD
- = WIRE FENCE
- = WOOD FENCE
- = POLE & GUY
- = FD. MON.

DAILEY AND ASSOCIATES

LAND SURVEYORS

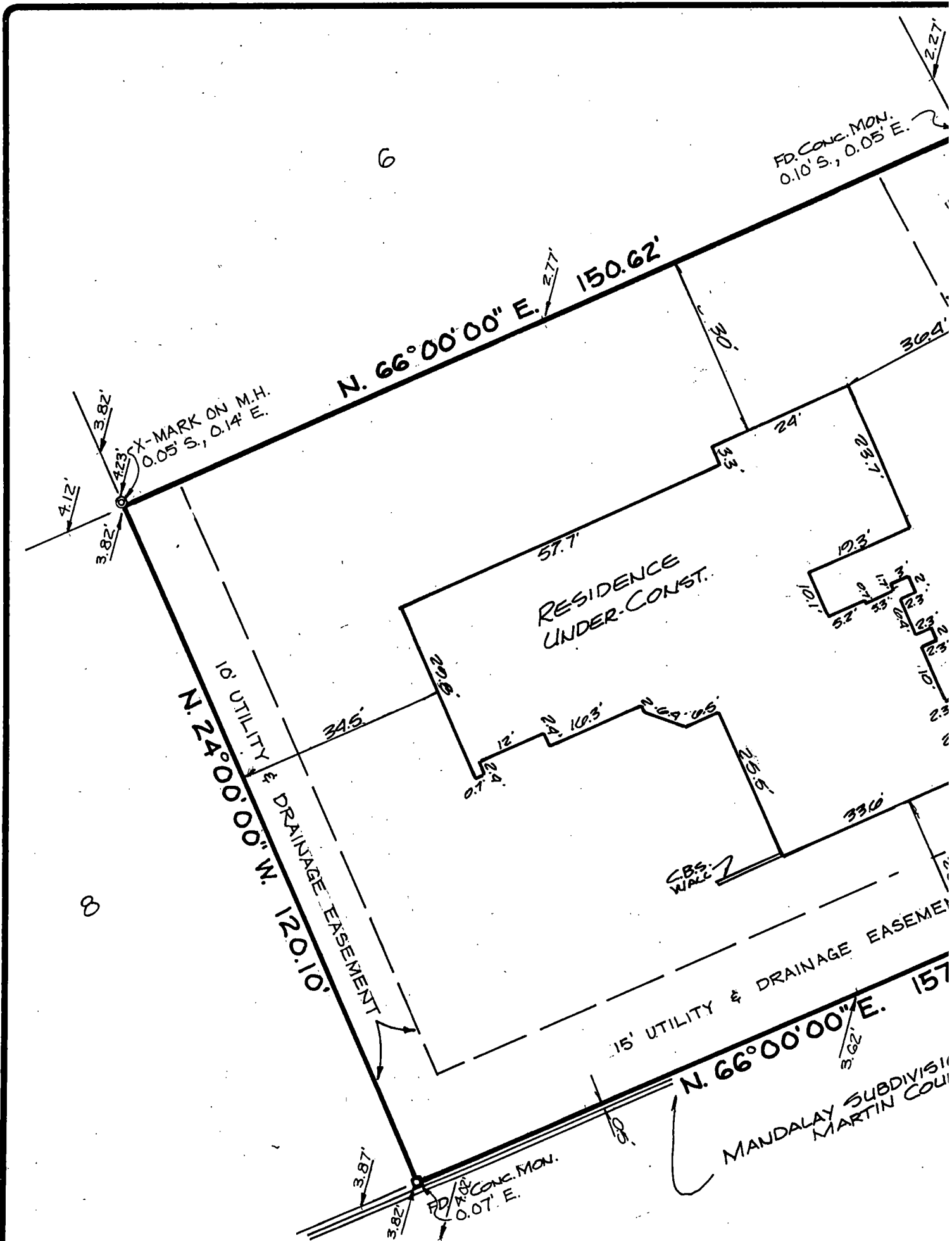
226 Center Street
Suite A-5
Jupiter, Florida 33458
Phone (407) 746-8424

SCALE 1" = 20'

BOOK 118/14-16

DATE 12-12-90

JOB NO. 90-260



TYPE OF SURVEY: **BOUNDARY & TOPOGRAPHIC**
 I HEREBY CERTIFY TO: **ARTHUR RUTENBERG CORP.**

THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

MAY 17 1981
 DATE

JAMES M. O'BRIEN
 DAILEY & ASSOCIATES
 Land Surveyors
 Florida Certificate No. 1652

RESURVEYED _____

ELEVATIONS BASED ON N G V D, BENCHMARK

Verify setback requirements prior to construction.
 Location measurements are not suitable for construction purposes.
 Restrictions not indicated on this survey may exist.
 No search of the Public Records has been made by this Survey.
 This Survey is not valid unless sealed with an Embossed Surveyor's Seal.

3030

POOL

Date

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3030

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner SPENCER TWEED Present Address 840 VILLA DR. MELBOURNE, FL. 32940

Phone () 253-1576

Contractor GREAT ESCAPE POOLS Address 1042 Hypoluxo Rd.

Phone (407) 586-0155

Where licensed P. B. Co. + MARTIN Co. License number MARTIN Co. - SP-01172 P. B. Co. - U-14137

Electrical contractor NEW Light Elect. License number _____

Plumbing contractor GREAT ESCAPE License number MARTIN Co. - SP-01172

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Swimming Pool

165 S. SEWALL'S PT. ROAD, FLORIDA

State the street address at which the proposed structure will be built:

Subdivision MARGUERITA Lot number 7 Block number _____

Contract price \$ 7,500.- Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor James J. Atkinson

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Spencer Tweed

TOWN RECORD

Date submitted _____ Approved: Del Br 7/10/91 Building Inspector _____ Date

Approved: Commissioner 7/11/91 Date Final Approval given: _____ Date

Certificate of Occupancy issued (if applicable) _____ Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

893674

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF MARTIN (SEWELL PT.)

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: Swimming Pool

Owner: SPENCER AND THORA TWEED
Address: 840 VILLA DRIVE, MELBOURNE, FL. 32940

Owner's interest in site of the improvement: _____

Contractor: GREAT ESCAPE POOLS + SPAS
Address: 1042 Hypoluxo RD., LANTANA, FL. 33462

Surety (if any): N/A
Address: N/A

Amount of Bond: N/A

Lender: N/A
Address: _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: ARTHUR RUTENBERG HOMES
Address: 1001 JUPITER PARK DRIVE #122 JUPITER, FL. 33458

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

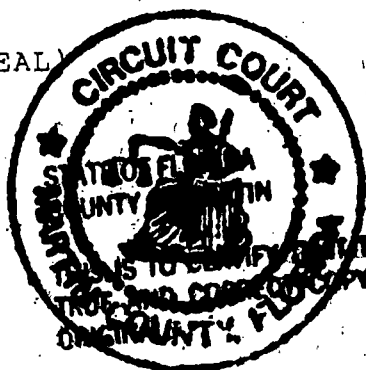
Name: ARTHUR RUTENBERG HOMES
Address: 1001 JUPITER PARK DRIVE #122, JUPITER, FL. 33458

Spencer Tweed
Thora Tweed

Sworn to and subscribed before me this 9th day of July, 1991.

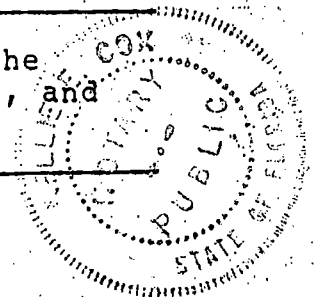
Nellie E. Cox

(NOTARY SEAL)

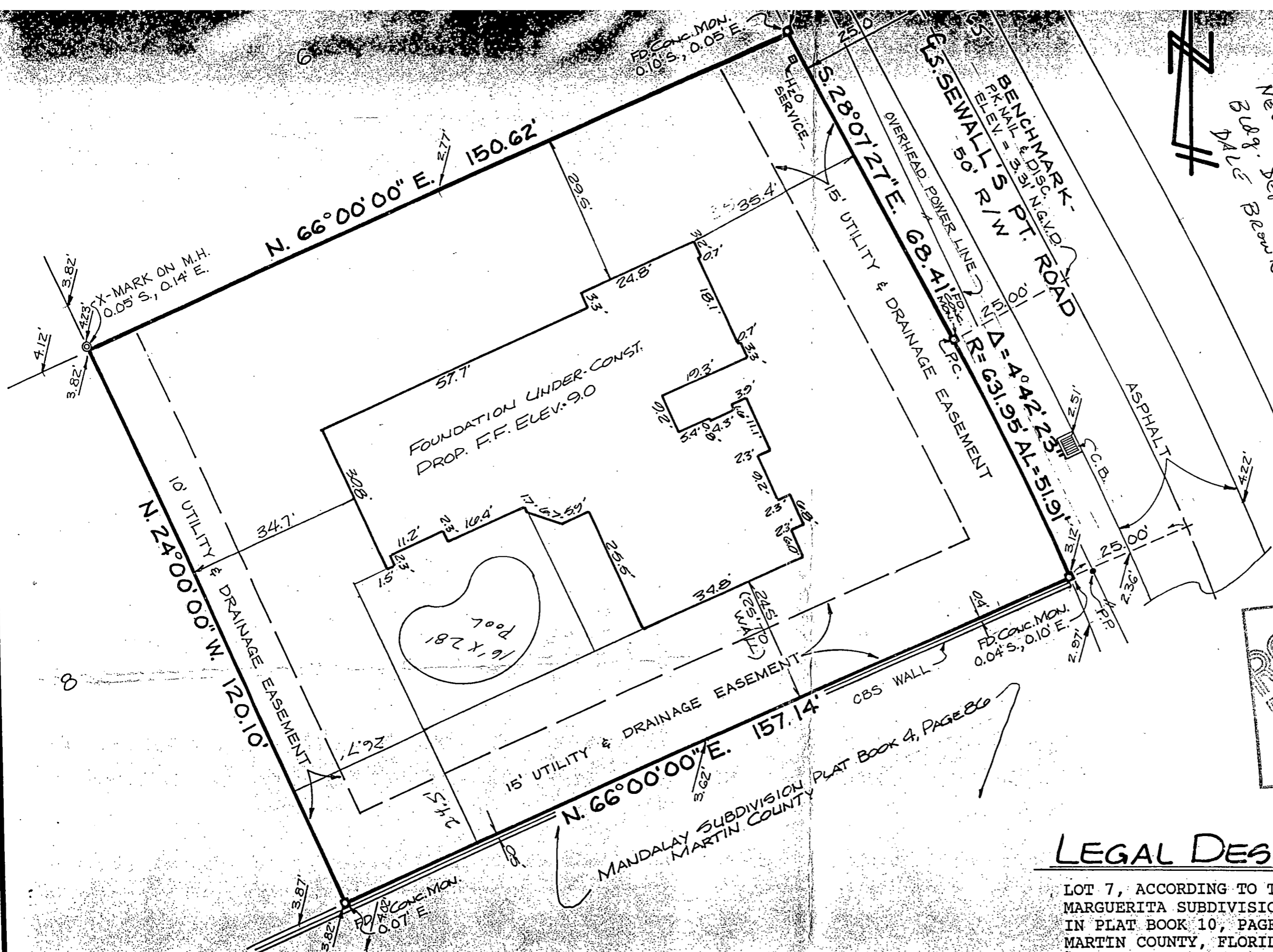


I am a Notary Public of the STATE OF Florida AT LARGE, and My Commission Expires:

Notary Public
State of Florida at Large
My Commission Expires:
May 6, 1995

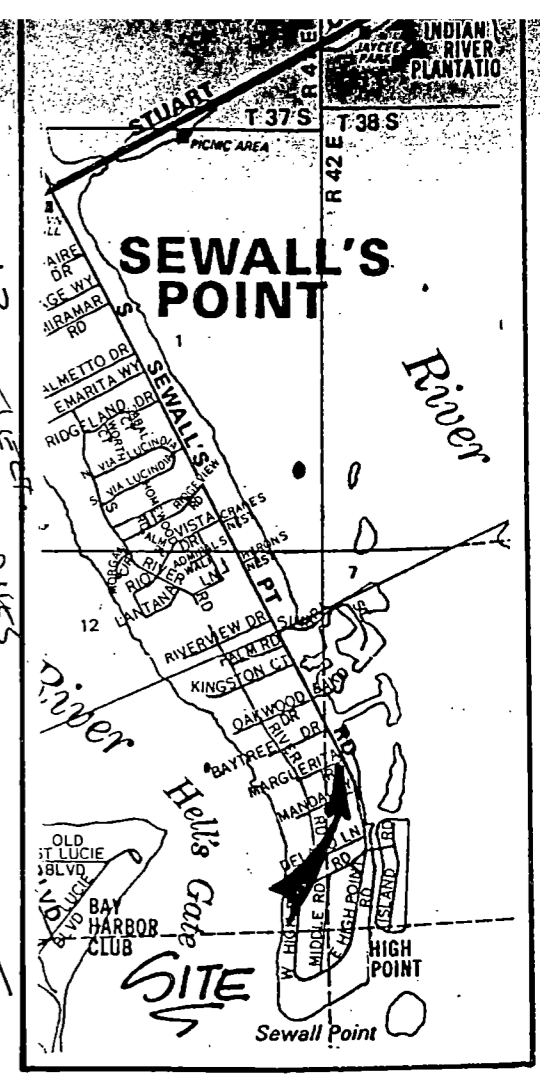


MARSHA STILLER, CLERK
BY W. Longstaffe, Jr.
DATE 7/10/91

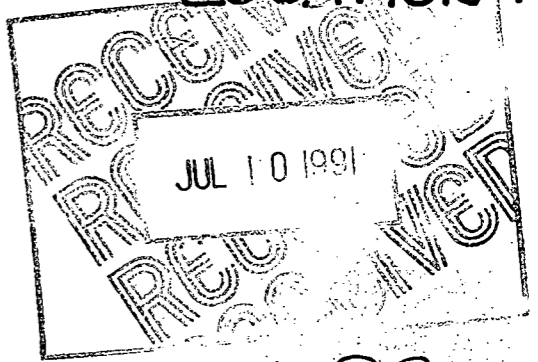


TYPE OF SURVEY: **BOUNDARY & TOPOGRAPHIC**
 I HEREBY CERTIFY TO: **ARTHUR RUTENBERG CORP.**

THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SURVEY REPRESENTED HEREON COMPLIES WITH THE MINIMUM
 RESURVEYED _____ REVISIONS _____ UNDER CONST. TIE-IN 17 APRIL 91 FINAL TIE-IN _____



LOCATION MAP



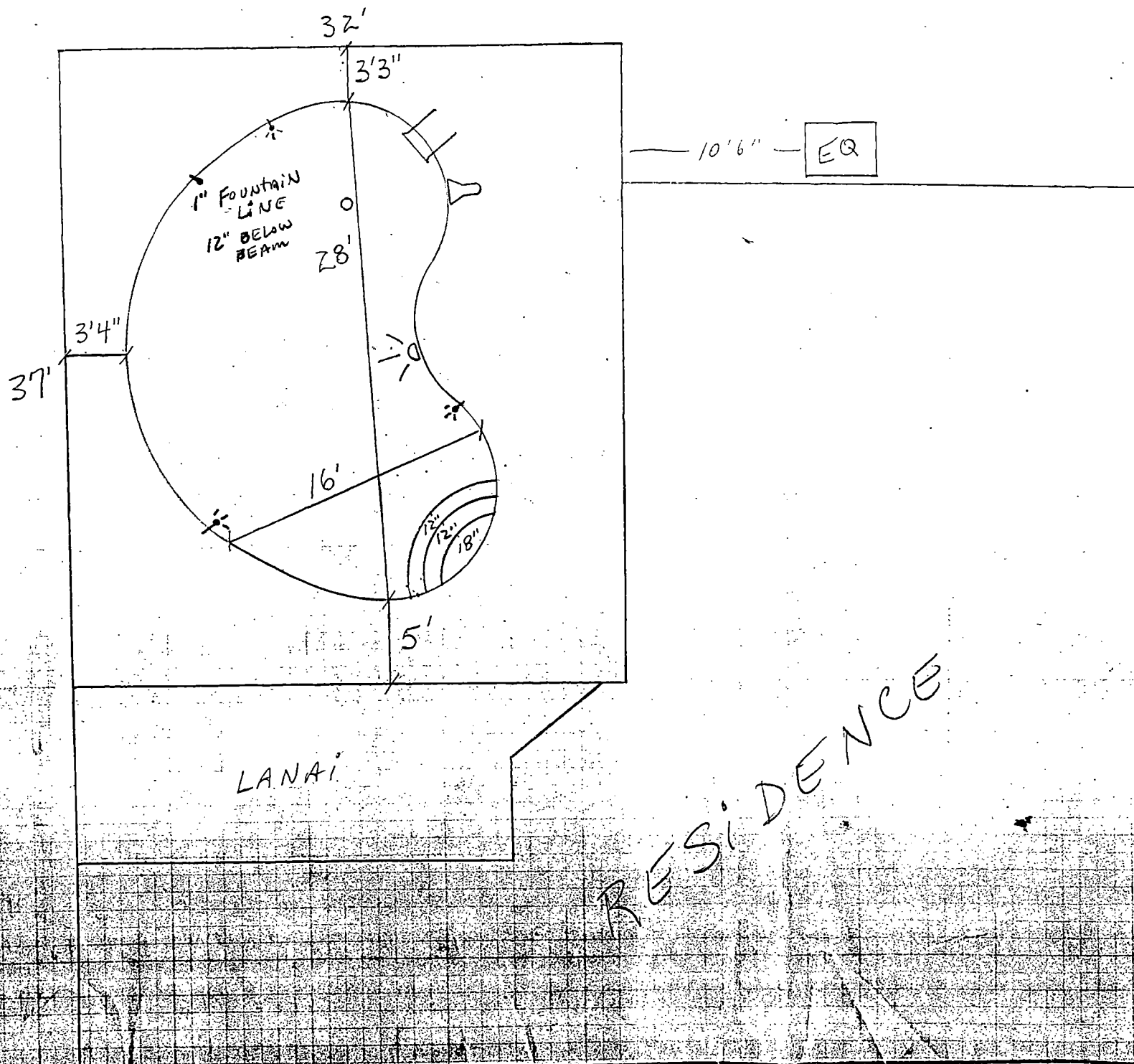
OK 7/10/91 RB

LEGAL DESCRIPTION

LOT 7, ACCORDING TO THE PLAT OF MARGUERITA SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 63, OF THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

THE GREAT ESCAPE POOLS & SPAS

1042 Hypoluxo Road
Lantana, Florida 33462
(407) 586-0155 • (305) 586-0188



1. POOL SHAPE: _____ JOB NO: _____
2. SIZE: W 16' L 28' SF 330 DEPTHS: 3' TO: 7'
3. TILE: CAPTILE MOSAIC NO./COLOR CHOICE
4. DECKING BY BUILDER CANTILEVER _____
5. CAPACITY IN GALLONS: _____
6. FILTER TYPE: CART. G.P.M. 50 PUMP H.P. 3/4
7. SWI' OUT: LADDER GRABRAIL: _____ HANDRAIL _____
8. UNDERWATER LIGHT: INC. VOLTS: 12 WATTS: 100
9. COLORED LENSES: _____
10. DIVING BOARD SIZE: _____ MODEL _____
11. SKIMMER: QTY: 1 TYPE: HAYWARD
12. INLET FITTINGS: QTY: 2 TYPE: DIRECTIONAL
13. MAIN DRAIN SIZE: 8"
14. AUTOMATIC CHLORINATOR: _____ TYPE: _____
15. AUTOMATIC TIMER: BY BUILDER VOLTAGE: _____
16. INTERIOR FINISH REGULAR: _____ DELUXE: MARCI TE
17. TEST KIT: INC. TYPE: 4 IN 1
18. BRUSH & POLE: INC.
19. UNDERWATER VAC REGULATOR: INC. FLEXHEAD: _____
20. HOSE FOR VAC: INC. LENGTH: 30'
21. LEAF NET: INC.
22. ELECTRICAL HOOKUP: BY BUILDER
23. AUTOMATIC CLEANER: _____
24. FILTER TANKS
25. _____
26. _____
27. _____
28. _____
29. _____
30. _____
31. _____

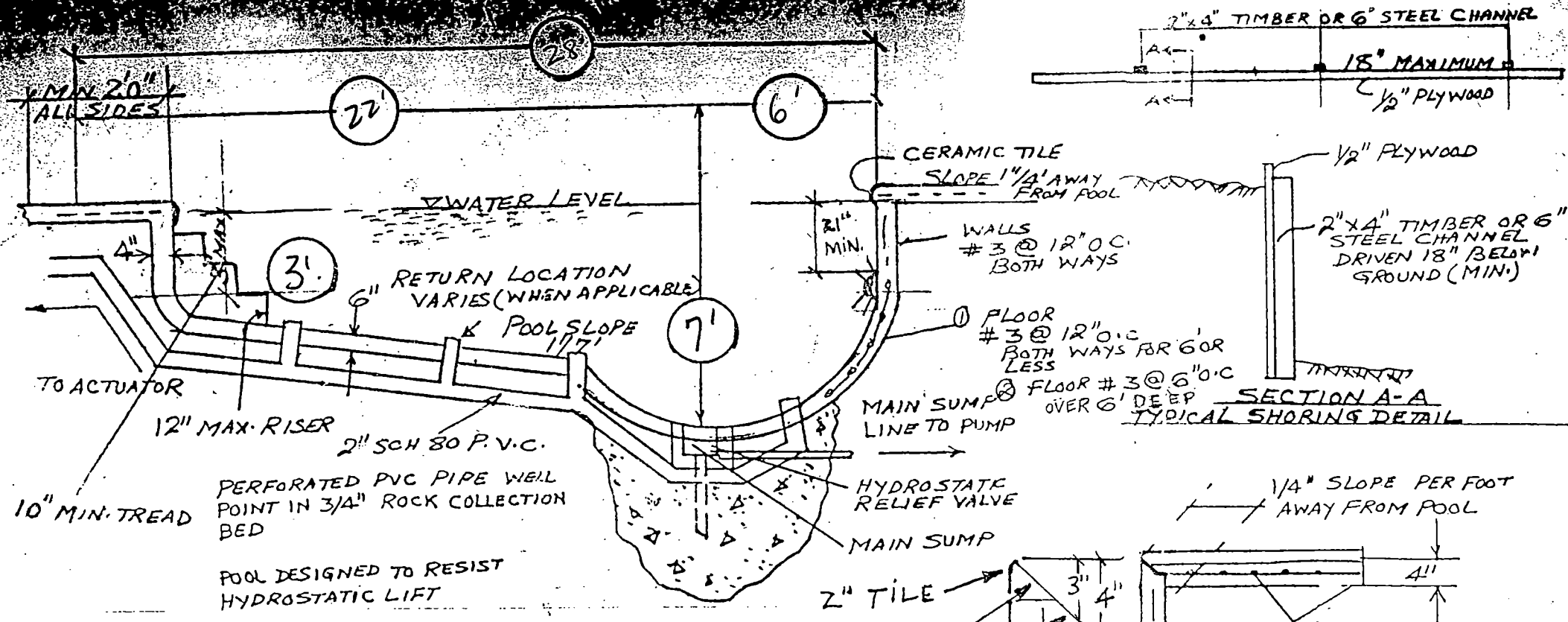
DESIGNER: ATKINSON DATE: 6/26/97

NAME RUTENBERG HOMES
ADDRESS 165 S. SEWALL'S PT. RD.
CITY STUART PHONE 744-2554

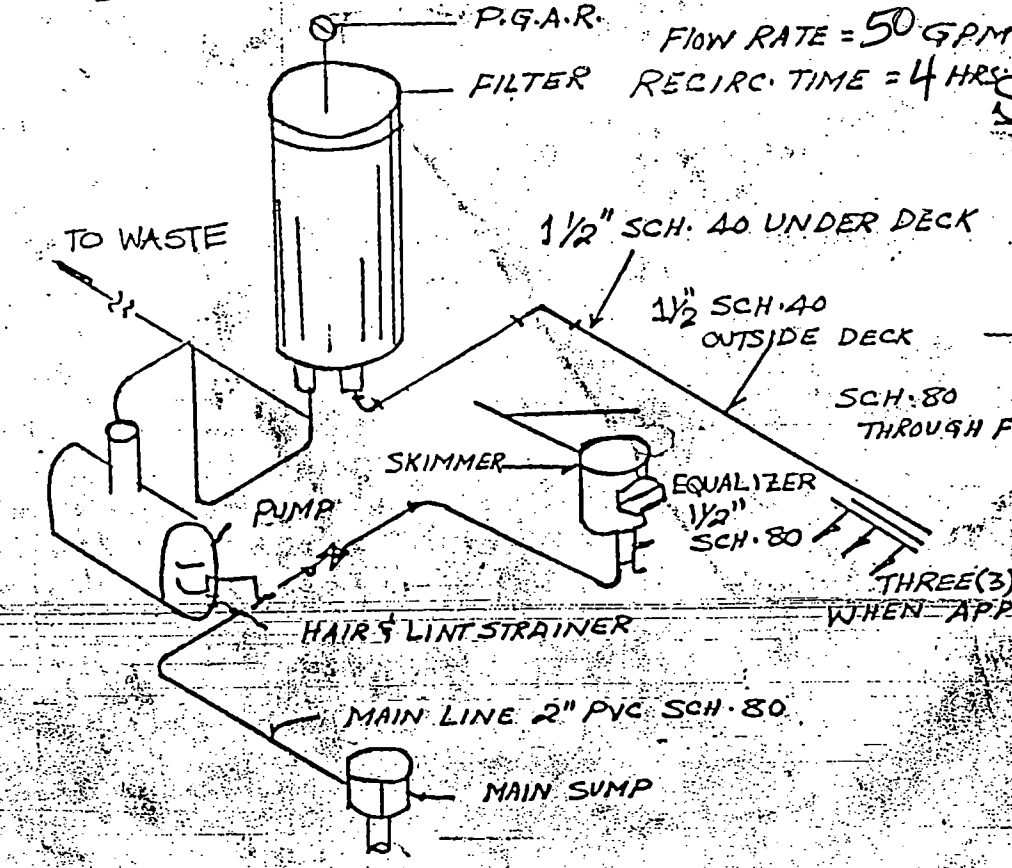
LEGAL DESCRIPTION
LOT 7 BLK: _____ SUB: MARGVERITA SUB
BOOK: 10 PAGE: 63 LOCATION: MARTIN CO.

CUSTOMER'S SIGNATURE _____

RESIDENCE

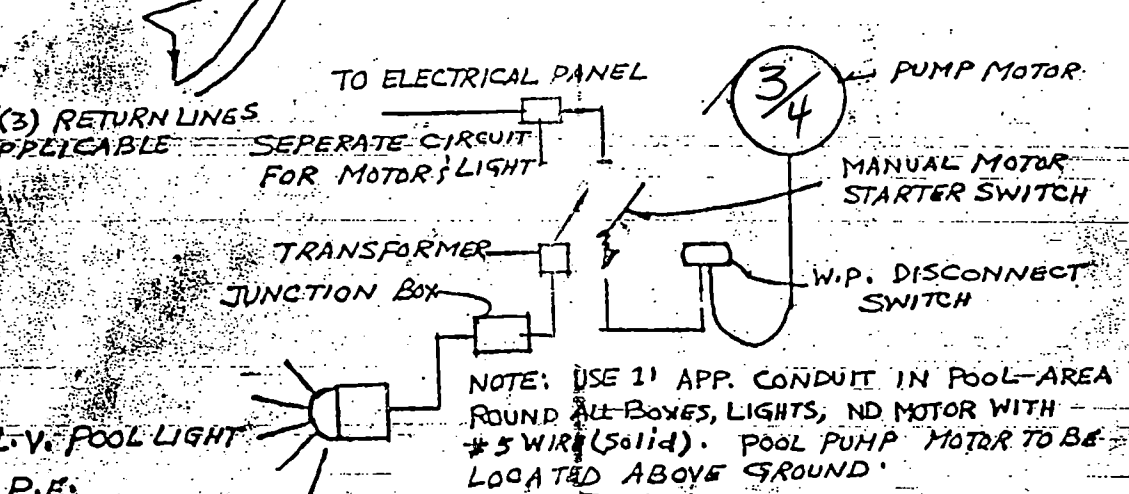
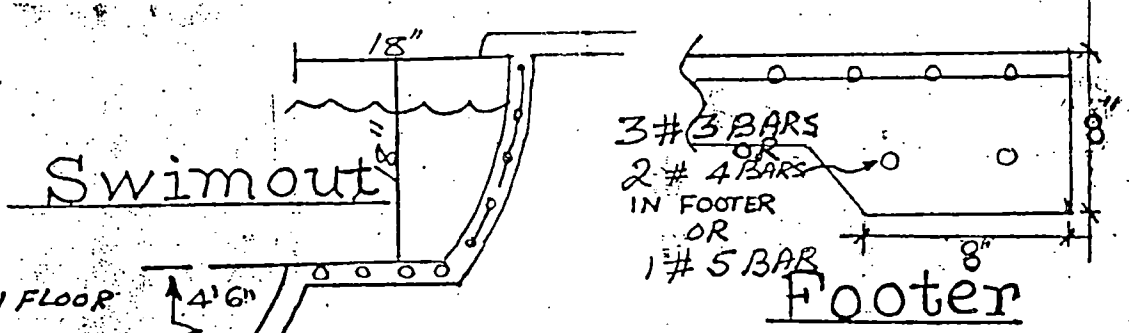


Typical Pool Section



Piping Diagram

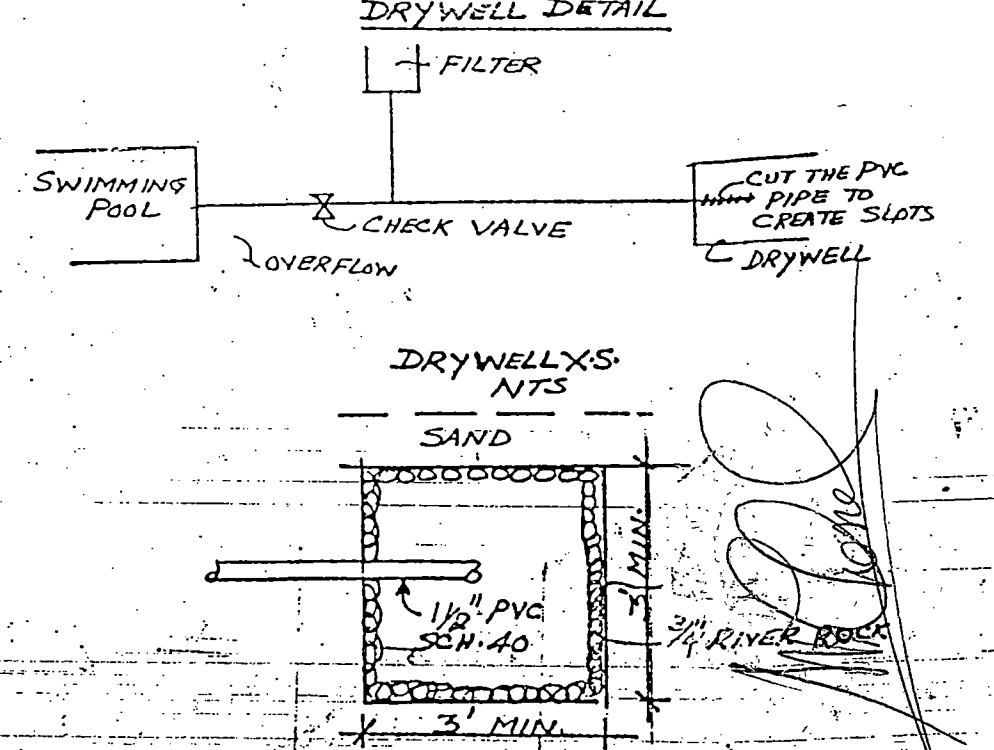
Standard Detail Cross Section



Electrical Diagram

N. KHANAL, P.E.
7710 WEST LK. DR.
W. P. B., FL. 33406
(305) 967-3155

- GENERAL NOTE
1. POOL FLOOR AND WALLS SHALL BE MADE OF PRECAST/PREPARED PLACED CONCRETE WITH A COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
 2. ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE GRADE DEFORMED BARS OF NEW BILLET-STEEL, CONFORMING TO A.S.T.M. A - 15 AND SHALL BE BENT, LAPPED & PLACED IN ACCORDANCE WITH ACI STDS. & SPECIFICATIONS.
 3. FOR POOL PLAN, SIZE OF SLABS AND SPECIAL DETAILS NOTE, PLEASE REFER SHEET #2.
 4. ALL POOL PIPING SHALL BEAR THE N.S.F. SEAL.
 5. MAIN SUMP SHALL HAVE A FREE AREA FOUR TIMES THE AREA OF SUCTION LINE.
 6. BACKWASH OR CLEANING SHALL BE IN ACCORDANCE WITH EACH MUNICIPALITIES CODE REQUIREMENTS.
 7. WATER SUPPLY AND DISPOSAL SHALL BE ARRANGED SO THAT THERE IS NO CROSS CONNECTION WITH A DOMESTIC WATER SUPPLY OR DISPOSAL SYSTEM.
 8. DISPOSAL OF POOL WATER SHALL TERMINATE INTO A 3' X 3' X 3' (1 CU. YD) DRYWELL FILLED WITH CRUSHED STONE WHERE APPLICABLE.
 9. GRADING SHALL CONFINE PONDING OF POOL WATER WITHIN LOT LINE.



Owner
RUTENBERG HOMES

3108

SCREEN ENCLOSURE

TOWN OF SEWALL'S POINT, FLORIDA

Permit No. _____

Date _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Arthur Rutenberg Present Address 1001 Jupiter Park Dr. #122

Phone (407) 744-2554 Jupiter Florida

Contractor G & K Aluminum, Inc. Address 3110 S.E. Slater Street

Phone (407) 283-1297 Stuart Florida

Where licensed Martin County License number SPA 0122

Electrical contractor None License number _____

Plumbing contractor None License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Screen Enclosure

State the street address at which the proposed structure will be built:

165 S. Sewells Point Road, Sewells Point, Fl.

Subdivision Marguerita Plat Book 10, Page 63
7 Lot number _____ Block number _____

Contract price \$ 2,400.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Dale Brown 12/12/91
Building Inspector Date

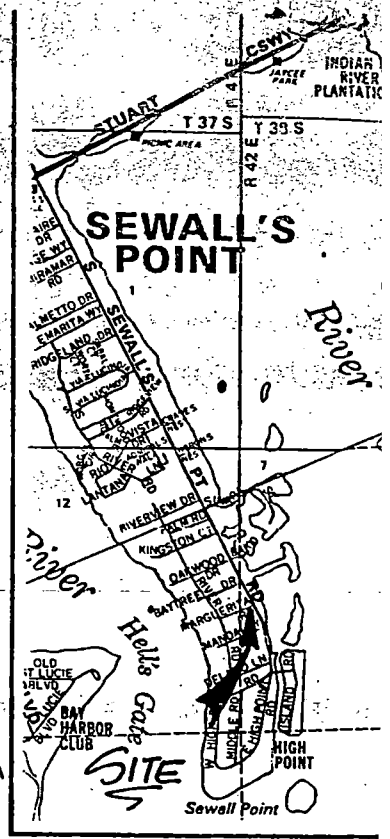
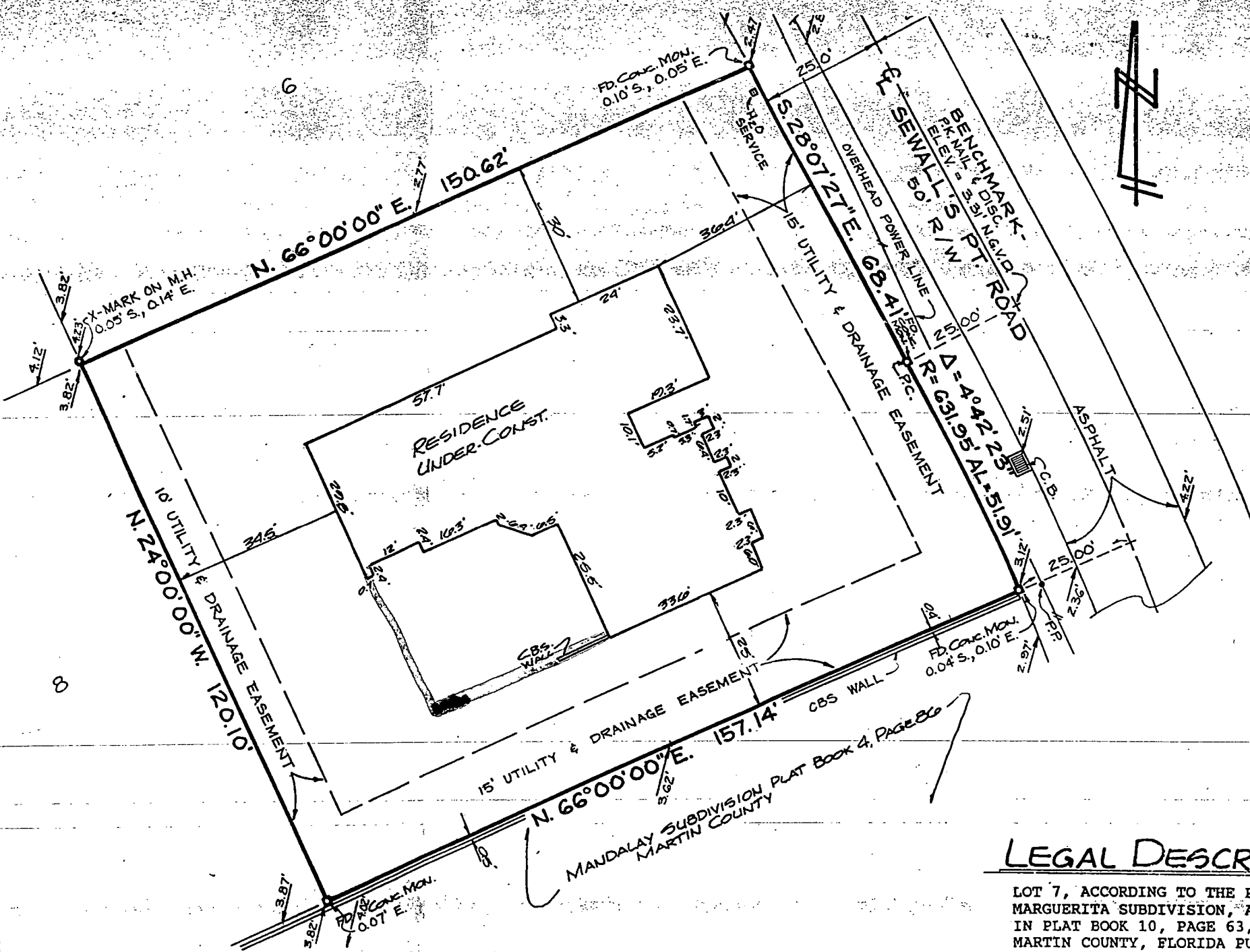
Approved: _____ Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



LOCATION MAP

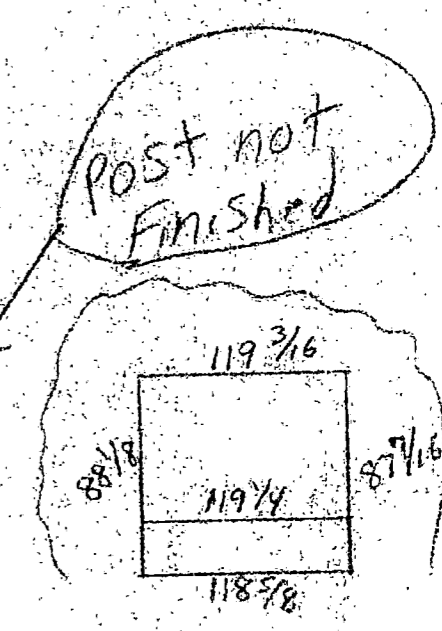
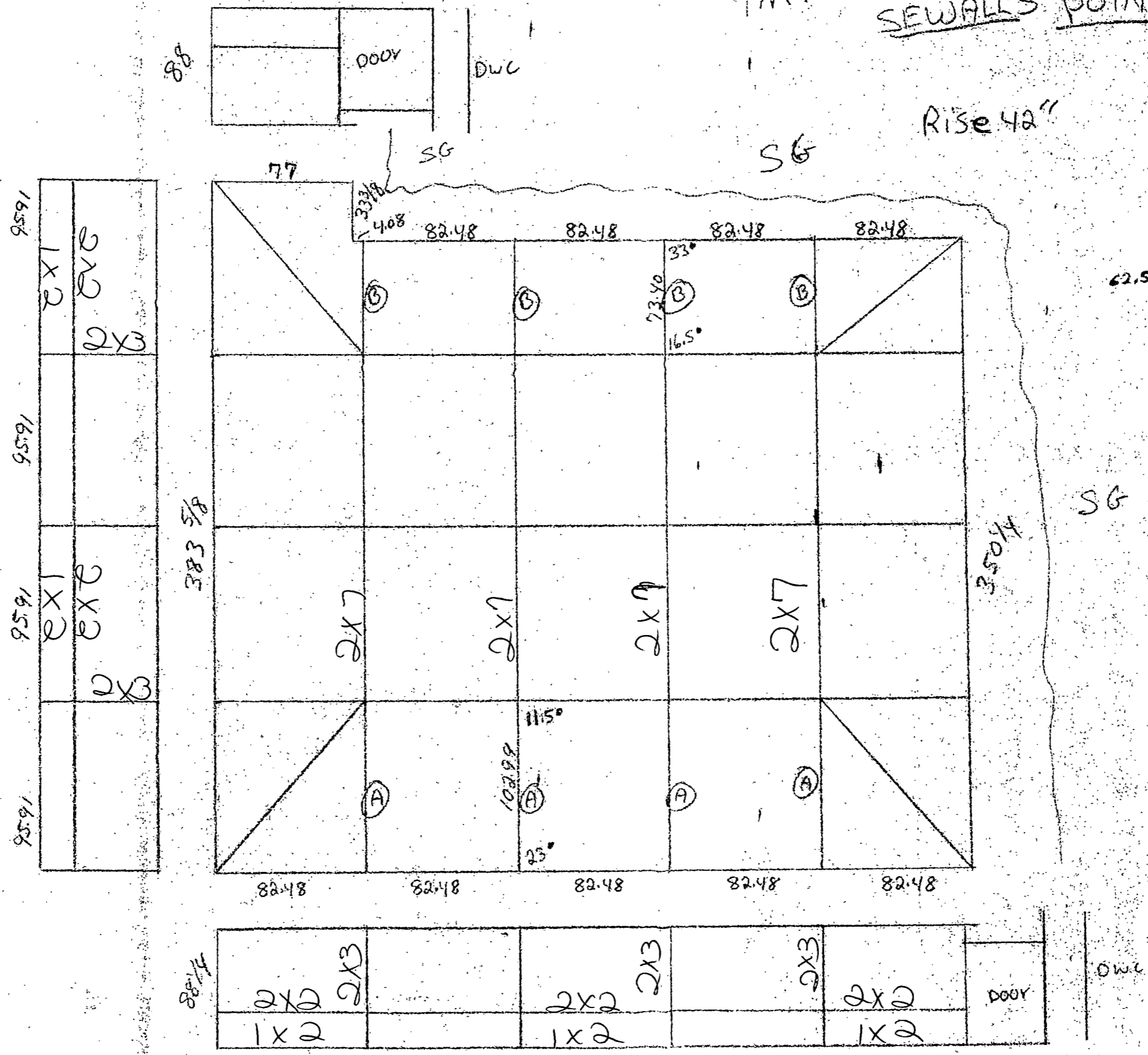
LEGAL DESCRIPTION

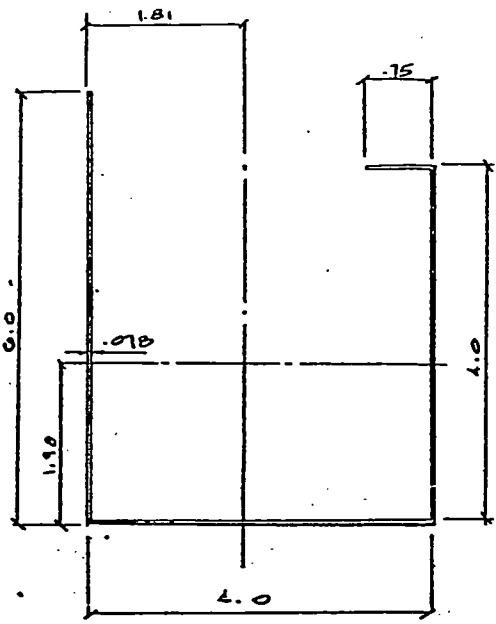
LOT 7, ACCORDING TO THE PLAT OF MARGUERITA SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 63, OF THE MARTIN COUNTY, FLORIDA PUBLIC RECORDS.

TYPE OF SURVEY: BOUNDARY & TOPOGRAPHIC
 I HEREBY CERTIFY TO: ARTHUR RUTENBERG CORP.

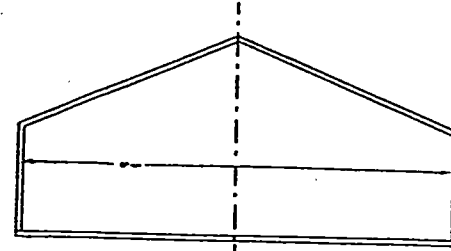
MANDALAY SUBDIVISION PLAT BOOK 4, PAGE 86
 MARTIN COUNTY

ARTHUR RUTENBERG SEWALLS POINT

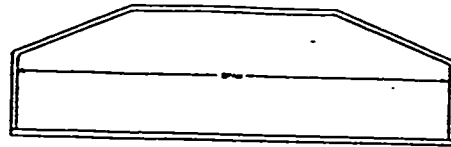




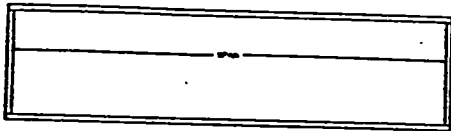
ALLOY 6063-T6
 $A = 1.15 \text{ in}^2$
 $S_x = 1.21 \text{ in}^3$
 $S_y = 1.62 \text{ in}^3$



CABLE



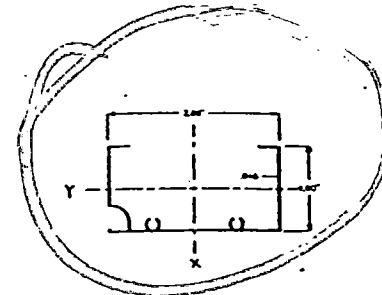
MANSARD ROOF



FLAT ROOF

BUILDING CODE
 ADVISORY BOARD OF
 PALM BEACH COUNTY
 FLORIDA
 RECOMMENDED FOR
 APPROVAL

Date: 8-7-89
 Control No. 0CT 8 1890
 By: [Signature]
 Chairman

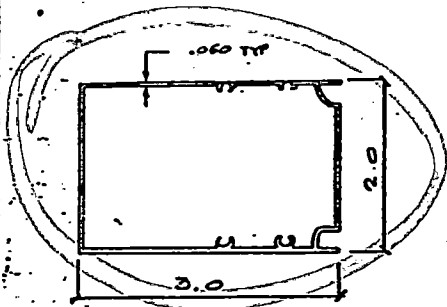


2" x 2" OPEN BACK
 ALLOY 6063-T6
 $A = 0.194 \text{ in}^2$
 $I_x = 0.125 \text{ in}^4$
 $S_x = 0.125 \text{ in}^3$

SPACING AND SPAN TABLES

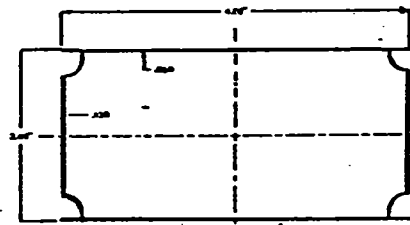
SPACING	SCREEN ROOF 7/8 PER SF.			
5				
4	4'-0			
5	5'-3			
6	2'-0			
7	-			
8	-			
9	-			
10	-			

SUPER GUTTER



ALLOY 6063-T6
 $A = 0.49 \text{ in}^2$
 $S_x = 0.43 \text{ in}^3$

SPAN DEFINITION

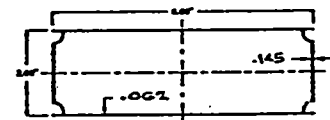


2" x 4" SELF MATING BEAM
 ALLOY 6063-T6
 WALL - .030
 FLANGE - .120
 $A = 0.86 \text{ in}^2$
 $I_x = 2.25 \text{ in}^4$
 $S_x = 1.125 \text{ in}^3$

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 1 1/2 PER SF.		
5				
4	22'-11	15'-8		
5	20'-0	14'-9		
6	18'-9	13'-0		
7	17'-4	12'-0		
8	16'-3	11'-8		
9	15'-4	11'-0		
10	14'-0	10'-5		

2" x 2" OPEN BACK



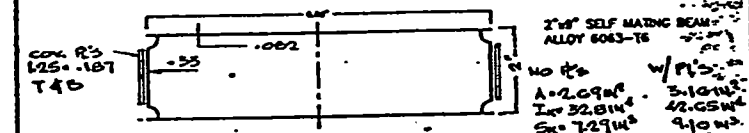
2" x 2" SELF MATING BEAM
 ALLOY 6063-T6
 $A = 1.29 \text{ in}^2$
 $I_x = 0.90 \text{ in}^4$
 $S_x = 2.30 \text{ in}^3$

SPACING AND SPAN TABLES

SPACING	SCREEN ROOF 7/8 PER SF.	SCREEN WALL 1 1/2 PER SF.		
5				
4				
5				
6	20'-5	19'-0		
7	24'-5	18'-1		
8	23'-0	16'-11		
9	21'-9	16'-0		
10	20'-7	15'-2		

FOR GENERAL NOTES SEE SH. NO. 4 OF 5

2" x 2" PATIO BEAM

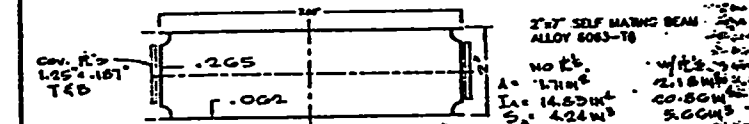


2" x 2" SELF MATING BEAM
 ALLOY 6063-T6
 $A = 2.09 \text{ in}^2$
 $I_x = 32.81 \text{ in}^4$
 $S_x = 7.21 \text{ in}^3$

FOR CONV. R. CORR. LENGTH SEE 2015M BELOW

MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACING						
NO. R'S	5'-0"	5'-8"	6'-8"	7'-0"	7'-6"	8'-0"
W/PL'S	50'-11	45'-0	40'-0	35'-0	31'-0	27'-0
	50'-4	53'-8	51'-5	47'-7	46'-0	44'-0

2" x 9" SELF MATING BEAM



2" x 9" SELF MATING BEAM
 ALLOY 6063-T6
 $A = 1.71 \text{ in}^2$
 $I_x = 14.53 \text{ in}^4$
 $S_x = 4.24 \text{ in}^3$

CONV. R. LENGTH = 60% OF SPAN CENTERED ABOUT E. OF SPAN
 CONNECT CONV. R'S W/ SIDA 3/8" SWS (1/2" x 24" EA. END RST @ 12" OC)

SPACING	SCREEN ROOF NO CONV. R'S	SCREEN ROOF W/ CONV. R'S		
5				
4				
5				
6	35'-7	42'-4		
7	55'-0	39'-2		
8	50'-10	36'-8		
9	29'-1	34'-7		
10	27'-7	32'-9		

2" x 3" SELF MATING BEAM

2" x 4" SELF MATING BEAM

2" x 6" SELF MATING BEAM

2" x 7" SELF MATING BEAM

DATE	BY	DESCRIPTION

PIONEER SCREEN CO.

STUART

FL

WILLIAM J. McGRAW PE
 CONSULTING ENGINEERS

TAMPA

FL

ALUMINUM CONSTRUCTION
 DETAILS

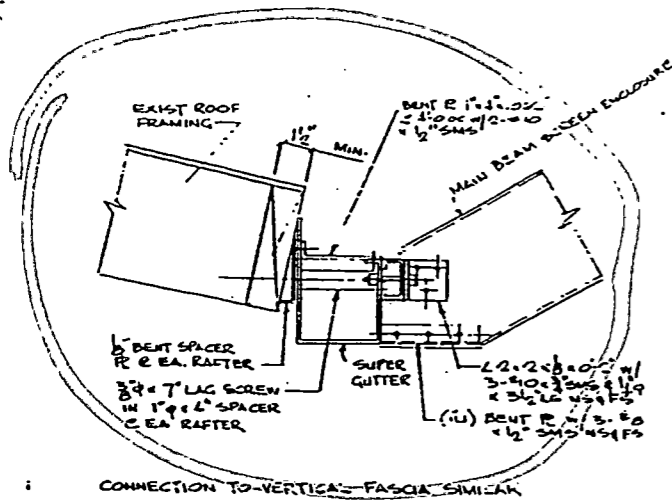
DRAWN	BM
CHECKED	WJM
SCALE	N.T.S.
DATE	9-5-89
JOB NO.	

[Signature]
 1989

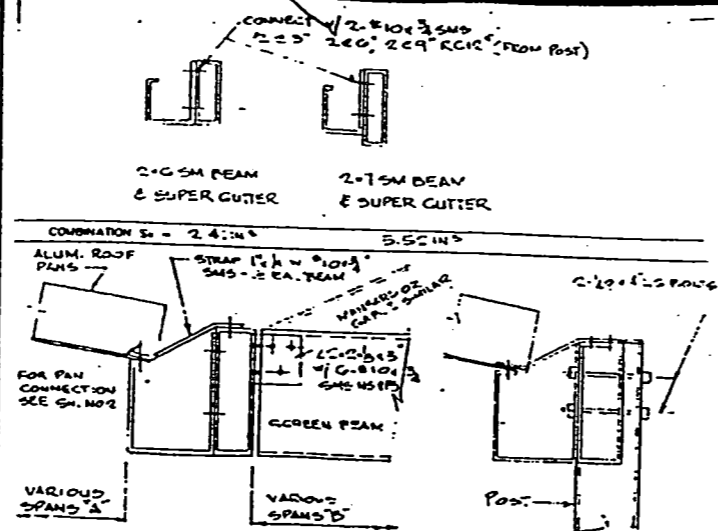
SHEET

1

OF 3 SHEETS



CONNECTION TO VERTICAL FASCIA SIMILAR

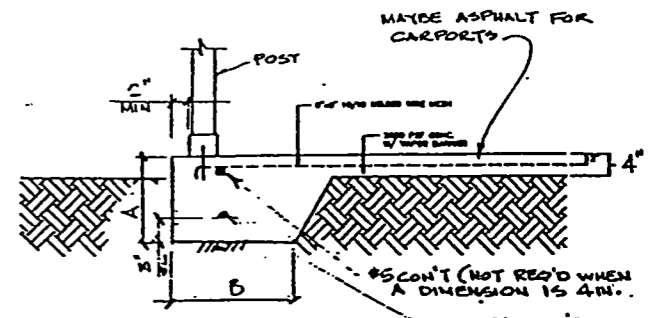
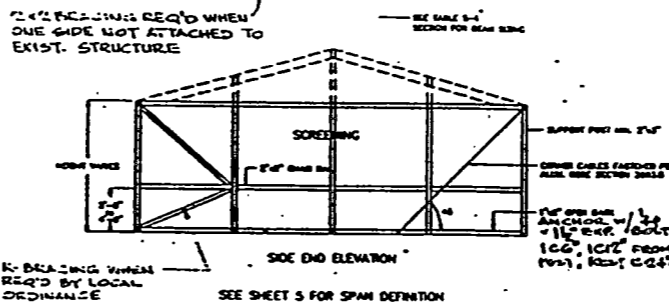
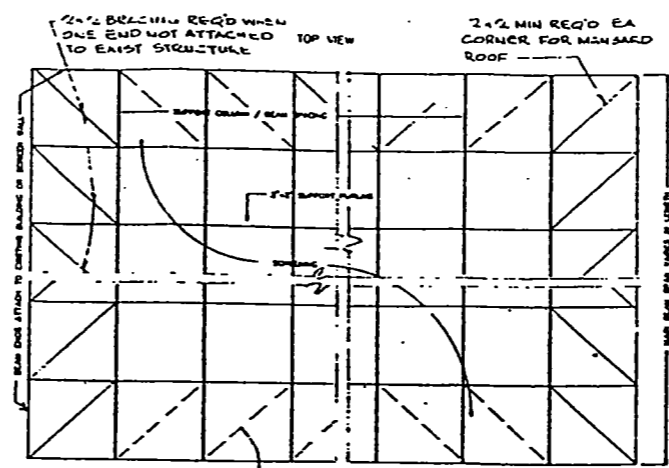


TYPICAL CONNECTION DETAILS

SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 2\"/>

VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"									
	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'
2x6 SM BEAM	10'	14'-0"	15'-7"	17'-0"	18'-3"	19'-6"	20'-9"	22'-2"	23'-5"	24'-8"
2x7 SM BEAM	12'	13'-6"	15'-0"	16'-4"	17'-8"	19'-1"	20'-5"	21'-9"	23'-2"	24'-6"
2x9 SM BEAM	14'	15'-9"	17'-3"	18'-7"	20'-1"	21'-5"	22'-9"	24'-3"	25'-7"	27'-1"
2x6 SM BEAM W/COV. P.	10'	14'-0"	15'-7"	17'-0"	18'-3"	19'-6"	20'-9"	22'-2"	23'-5"	24'-8"
2x7 SM BEAM W/COV. P.	12'	13'-6"	15'-0"	16'-4"	17'-8"	19'-1"	20'-5"	21'-9"	23'-2"	24'-6"
2x9 SM BEAM W/COV. P.	14'	15'-9"	17'-3"	18'-7"	20'-1"	21'-5"	22'-9"	24'-3"	25'-7"	27'-1"

INTERPOLATION BETWEEN SPANS IS PERMISSIBLE



BEAM	SCREEN ENCLOSURE		CARPORT ATTACHED	
	A	B	A	B
2x6 SM	4'	0'	1'-0"	1'-0"
2x7 SM	4'	0'	1'-3"	1'-3"
2x9 SM	5'	0'	1'-3"	1'-3"

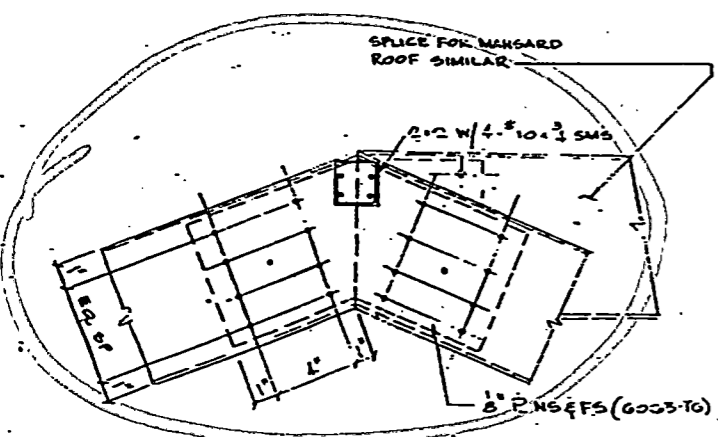
RI 9-6-90

SUPER GUTTER - FASCIA ATTACHMENT

CARRIER BEAM SPAN TABLE

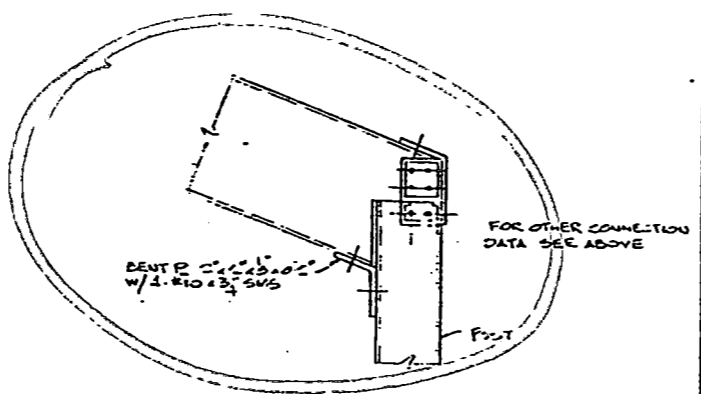
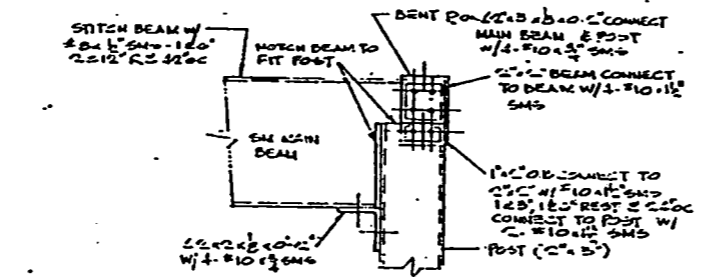
POOL ENCLOSURE (TYPICAL)

EXISTING NEW SLAB ON GRADE FOR SCREEN ENCLOSURES & ATTACHED CARPORTS

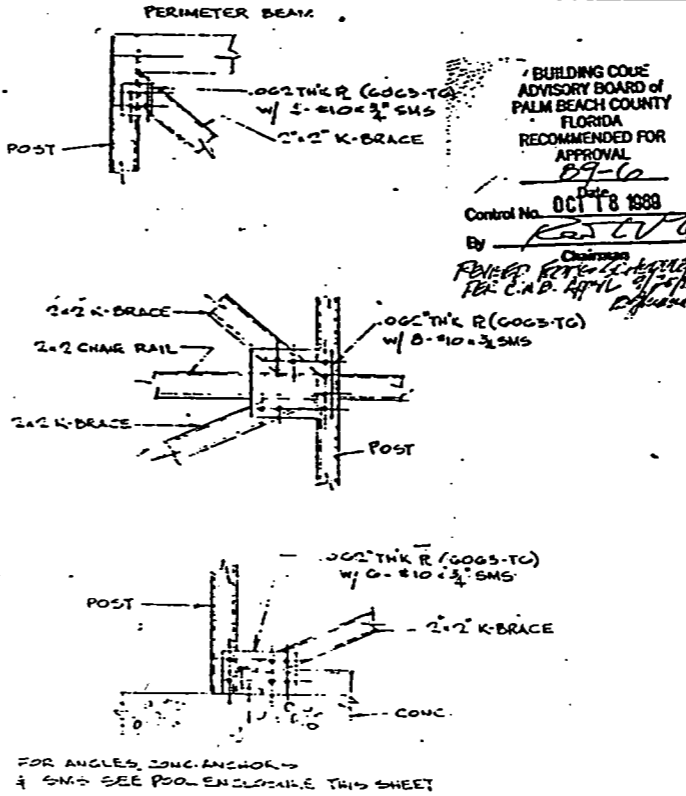


- 2x6 SM BEAM - 6 - #14 x 3/4" SMS NS & FS (TOTAL 24)
- 2x7 SM BEAM - 8 - #14 x 3/4" SMS NS & FS (TOTAL 32)
- 2x9 SM BEAM - 10 - #14 x 3/4" SMS NS & FS (TOTAL 40)

TYPICAL SPICE DETAIL



TYPICAL POST TO BEAM CONNECTIONS FOR SCREEN ENCLOSURES



K-BRACING

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"	10'-0"	11'-0"
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								
2\"/>								

NOTE: THIS TABLE IS BASED ON:
WINDLOAD OF 120 MPH | LEVELLOAD = 7 LBS/SQ. FT.

SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
9/6/80	WJM	CHANGED 'A' DIM. 1'-0" TO 8"

PIONEER SCREEN CO.
STUART FL

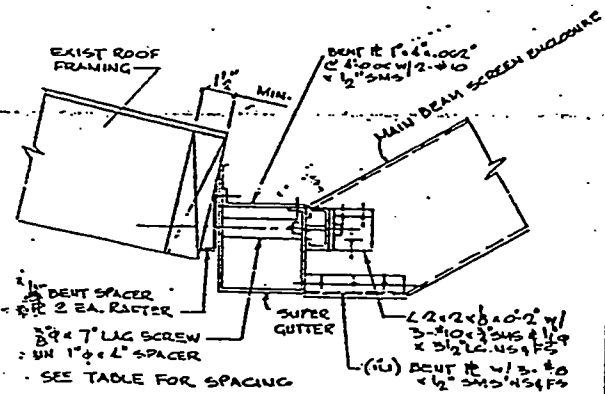
WILLIAM J. McGRAW PE
CONSULTING ENGINEERS
TAMPA FL

ALUMINUM CONSTRUCTION
DETAILS

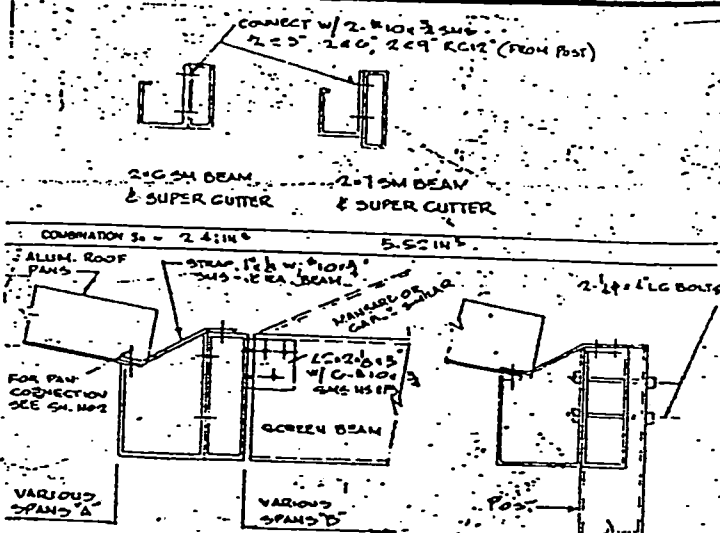
DRAWN BM
CHECKED WJM
SCALE N.T.S.
DATE 7/24/89
JOB NO.

[Signature]

SHEET
2
OF 3 SHEETS



BEAM SIZE	SPACING C. TO C.
2x4 SM	2'-0" OC
2x6 SM	2'-0" OC
2x7 SM	1'-0" OC
2x9 SM	1'-0" OC

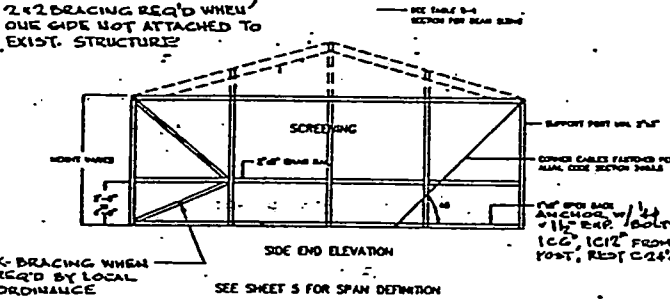
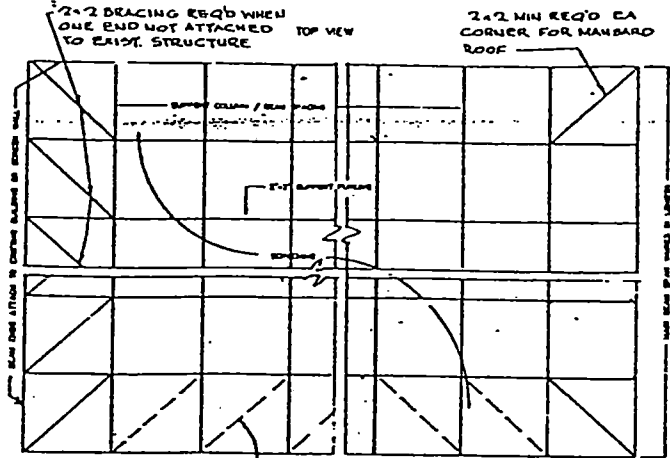


TYPICAL CONNECTION DETAILS

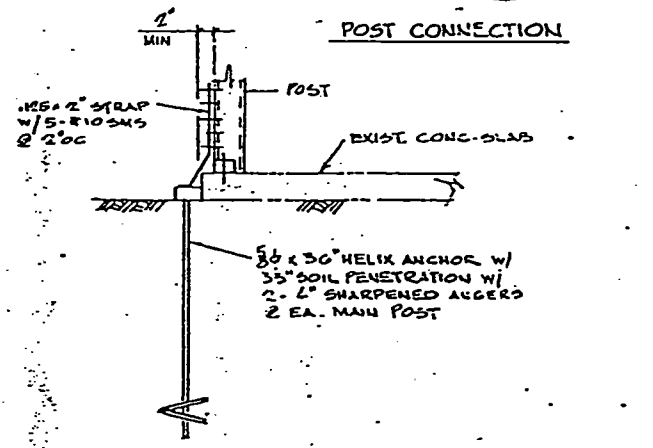
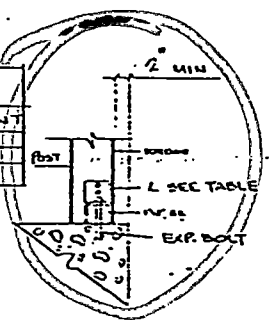
SPAN TABLE - FOR COMBINATION - SUPER GUTTER + 1" W/ 3" S.M.B.

VARIOUS SPANS OF ROOF PANS "A"	VARIOUS SPANS OF SCREEN ROOFS "B"									
	15'	22'	26'	30'	34'	38'	42'	46'	50'	54'
10'	12'-0"	15'-0"	18'-0"	21'-0"	24'-0"	27'-0"	30'-0"	33'-0"	36'-0"	39'-0"
12'	15'-0"	18'-0"	21'-0"	24'-0"	27'-0"	30'-0"	33'-0"	36'-0"	39'-0"	42'-0"
14'	18'-0"	21'-0"	24'-0"	27'-0"	30'-0"	33'-0"	36'-0"	39'-0"	42'-0"	45'-0"
2x6 SM W/GUTTER	10'	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"
2x7 SM W/GUTTER	12'	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"
2x9 SM W/GUTTER	14'	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"

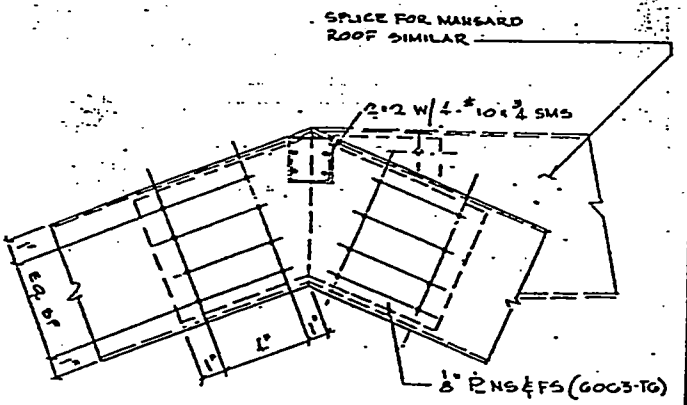
INTERPOLATION BETWEEN SPANS IS PERMISSIBLE



BEAM	ANGLES	EXP BOLTS
2x4 SM	12x12	1/4" x 12 EMBEDMENT
2x6 SM	20	20
2x7 SM	20	20
2x9 SM	20x20	20



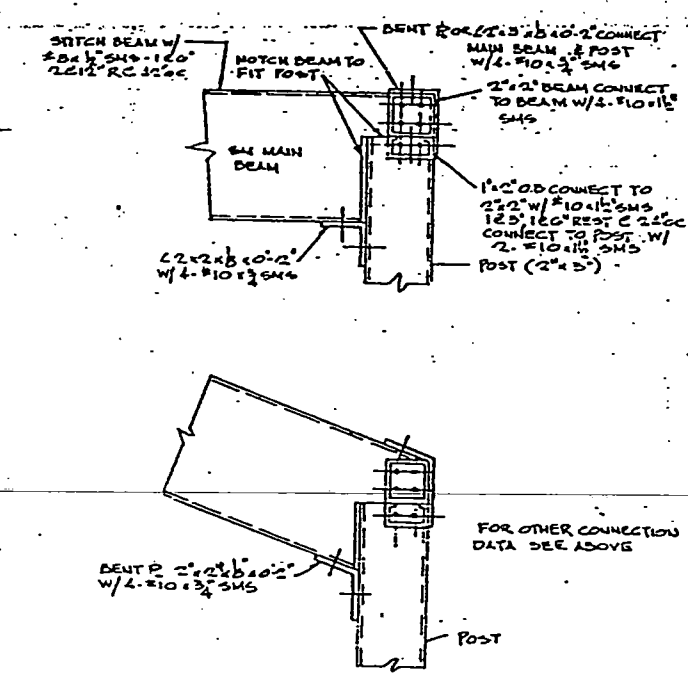
SUPER GUTTER - FASCIA ATTACHMENT



- 2x6 SM BEAM - 6 - #14 x 3/4" SMS NS & FS (TOTAL 24)
- 2x7 SM BEAM - 8 - #14 x 3/4" SMS NS & FS (TOTAL 32)
- 2x9 SM BEAM - 10 - #14 x 3/4" SMS NS & FS (TOTAL 40)

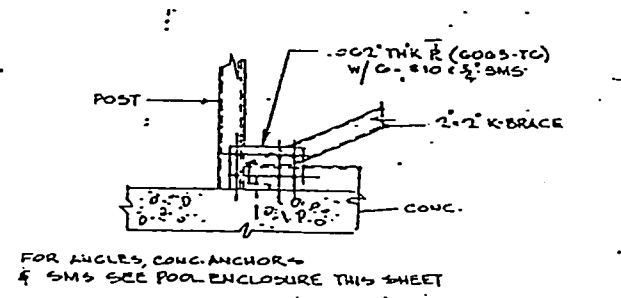
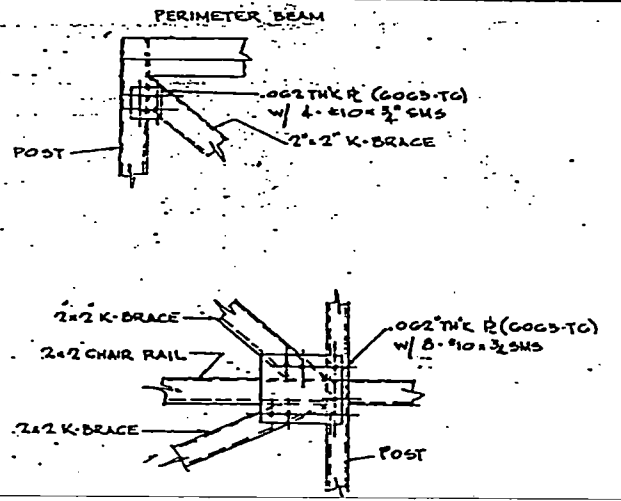
TYPICAL SPLICE DETAIL

CARRIER BEAM SPAN TABLE



TYPICAL POST TO BEAM CONNECTIONS FOR SCREEN ENCLOSURES

POOL ENCLOSURE (TYPICAL)



K-BRACING

POOL ENCLOSURE & SCREEN ROOM WITH SCREEN ROOF

BEAM SIZE	MAXIMUM CLEAR SPAN FOR SCREENED ROOF BEAMS @ VARIOUS SPACING							
	2'-0"	2'-6"	3'-0"	3'-6"	4'-0"	4'-6"	5'-0"	5'-6"
2x6 SM BEAM S _x = 1.125"	22'-1"	20'-0"	19'-7"	18'-9"	18'-0"	17'-2"	16'-9"	16'-3"
2x8 SM BEAM S _x = 2.30"	-	-	-	26'-5"	25'-7"	24'-5"	23'-10"	23'-0"
2x7 SM BEAM S _x = 4.24"	-	-	-	35'-7"	34'-3"	33'-0"	31'-10"	30'-10"
2x7 SM BEAM W/ COVER S _x = 0.35"	-	45'-9"	45'-0"	44'-9"	44'-1"	43'-0"	41'-4"	40'-2"
2x9 SM BEAM S _x = 7.29"	-	50'-11"	48'-0"	46'-0"	44'-2"	43'-0"	41'-0"	40'-3"
2x9 SM BEAM W/ COVER S _x = 9.10"	-	56'-4"	53'-0"	51'-5"	49'-2"	47'-7"	46'-0"	44'-0"
2x7 SM BEAM W/ COVER S _x = 1.01"	-	45'-3"	43'-2"	41'-3"	39'-0"	38'-3"	37'-0"	35'-9"

NOTE: THIS TABLE IS BASED ON:
WINDLOAD OF 120 MPH UNIFORM - 7 LBS/SQ. FT.

SCREEN ROOF BEAM - SPAN TABLE S-1

DATE	BY	DESCRIPTION
11/28/09	WJM	AS NOTED

PIONEER SCREEN CO.
STUART, FL

WILLIAM J. McGRAW PE
CONSULTING ENGINEERS
TAMPA, FL

ALUMINUM CONSTRUCTION
DETAILS

DRAWN BY	B.M.
CHECKED BY	W.J.M.
SCALE	N.T.S.
DATE	7/24/09
JOB NO.	

3
5

3639

DOCK

TAX PAYER NO

3639

DATE JULY 13, 1994

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner SPENCER TWEED Present address 165 So SEWALLS PT RD

Phone 407-221-8330

Contractor TROPIC MARINE CONST, INC Address 50 NE DIXIE HWY, C-8

Phone 407-692-4154

Where licensed MARTIN COUNTY License number SP01730

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: DOCK, 12' X 4' APPROACH LEADING TO A 12' X 6'

TERMINAL PLATFORM WITH DAVITS & HOSE BIBS & 110V GFI

State the street address at which the proposed structure will be built:

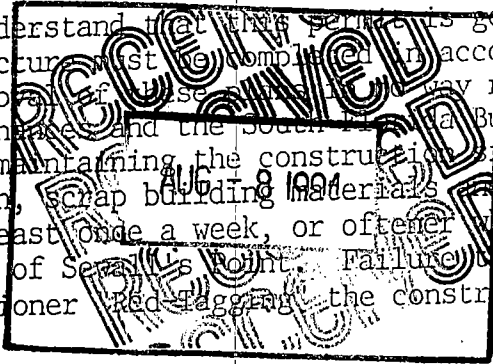
EAST SIDE So. SEWALLS PT RD, OPPOSITE # 165

Subdivision HANSON GRANT BK Number 1062 Block Number PG 0495

Contract price \$ 2000 Cost of permit \$ 200.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans by the Building Inspector may relieve me of complying with the Town of Sewall's Point Ordinance and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner Red Tagging the construction project.



Contractor Math E. T. Jan

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Spencer Tweed

TOWN RECORD Approved: W. Dale Biv 8/9/94
Building Inspector Date

Date submitted _____

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date PERMIT NO. _____



DEPARTMENT OF THE ARMY
TAMPA REGULATORY FIELD OFFICE, JACKSONVILLE DISTRICT CORPS OF ENGINEERS
P. O. BOX 19247
TAMPA, FLORIDA 33686-9247

REPLY TO
ATTENTION OF

May 17, 1994

Tampa Regulatory
Field Office
199402180
SAJ20

Spencer Tweed
165 S. Sewalls Point Road
Stuart, Florida 32996

Dear Applicant:


Reference is made to your joint permit application received May 5, 1994, requesting authorization to construct an L-shaped dock in accordance with the enclosed plans in the Indian River located at Section 7, Township 38S, Range 42E, Martin County, Florida.

Your proposed work as described above is authorized by General Permit SAJ20, a copy of which is attached for your information and use. You are authorized to proceed with construction subject to all conditions of the permit.

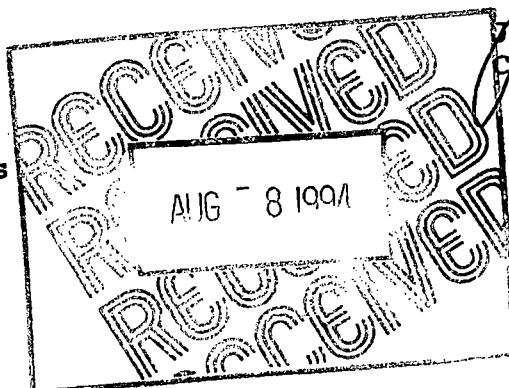
If the work authorized herein is not completed by March 1, 1999, no further work may be undertaken and you should contact this office. A determination of the status of the General Permit will be made and you will be advised. If the General Permit has been reissued with no substantive change(s), a request for an extension of your previous authorization will be considered. If the General Permit has not been reissued or was reissued with new conditions, a new application and drawings may need to be submitted.

Thank you for your cooperation with the permit program.

Sincerely,


Joseph R. Bacheler
Chief, Tampa Regulatory
Field Office

Enclosures





Lawton Chiles
Governor

Florida Department of Environmental Protection

Marjory Stoneman Douglas Building
3900 Commonwealth Boulevard
Tallahassee, Florida 32399-3000

Virginia B. Wetherell
Secretary

ADDRESS REPLY TO:
Division of State Lands
SE Florida Field Office
7400-H So. Georgia Ave.
West Palm Beach, FL 33405

JULY 7, 1994

Mr. Spencer Tweed
165 South Sewall's Point Road
Stuart, Florida 34996

File No.: 432496278
Applicant: Tweed, Spencer

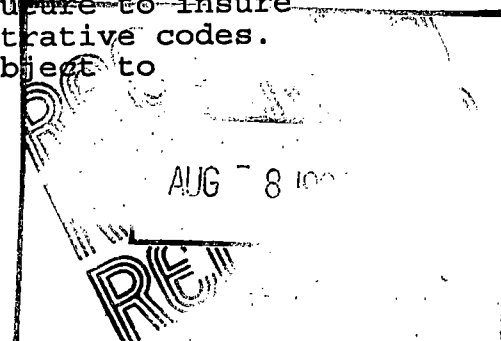
Dear Sir:

You are hereby granted authorization from the Division of State Lands for the construction of a single family dock 4 feet by 57 feet with a terminal platform 6 feet by 12 feet, noting that no vessel with a draft greater than 8 inches, including the propulsion unit, shall be moored on either a temporary or a permanent basis at this structure, as shown in the Department of Environmental Protection / Division of Water Management Application (No. 432496278), in the Indian River Lagoon, Martin County, Section 07, Township 38 South, Range 42 East. This authorization is conditioned upon the acceptance of and compliance with the attached General Consent Conditions.

Please consider this the conditional authority sought under Section 253.77, Florida Statutes, to pursue this project. Your rights pursuant to Chapter 120, Florida Statutes, are described in the enclosed notice.

This letter of consent in no way waives the authority and/or jurisdiction of any government entity, nor does it disclaim any title interest the state may have in the project site. Please check with your local government for specific requirements. Where local governments have standards, the more stringent standards shall apply. Authorization may be required from the DEP, Division of Water Management.

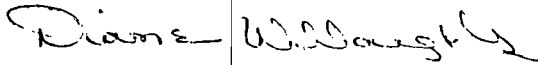
Please retain this letter, as it constitutes consent by the Division of State Lands. Your single-family dock may be inspected by authorized state personnel in the future to insure compliance with appropriate statutes and administrative codes. If your dock is not in compliance, you may be subject to penalties under Chapter 18-14, F.A.C.



File No.: 432496278
Applicant: Tweed, Spencer
Page Two

Thank you for your cooperation. We hope the information provided in this package will be useful. If you have any questions, please contact me at 7400 South Georgia Avenue, Unit H, West Palm Beach, Florida 33405 or at (407) 540-1125.

Sincerely,

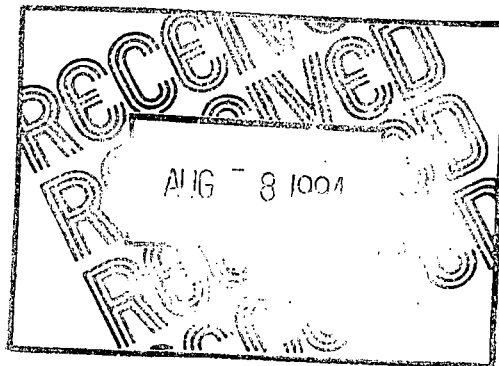


Diane Willoughby, Planner II
Bureau of Submerged Lands & Preserves
Division of State Lands

Enclosures 120 Notice
General Consent Conditions

cc: DEP,DSL - SE Florida Field Office
DEP,DSL - Aquatic Preserve Office
DEP,DWM - Dredge and Fill Section - Jackie Kelly

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

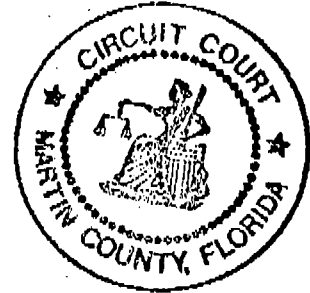
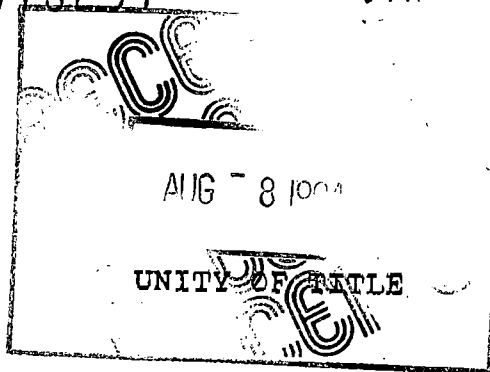


MARSHA STILLER
CLERK OF CIRCUIT COURT
MARTIN CO., FL

RECORDED & VERIFIED
BY *20* D.C.

01075297

94 AUG - 1 AM 11:25



In consideration of the Town of Sewall's Point treating the following described real property as a single unit for the purpose of securing a dock permit from the Town of Sewall's Point, Florida, the undersigned hereby agree to restrict the use of the following property:

See Exhibit "A" attached hereto and made a part hereof

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land.
2. The undersigned further agree that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their heirs and assigns, until such time as the same may be released in writing by the Town of Sewall's Point, Florida.
3. The undersigned further agree that this instrument shall be recorded in the public records of Martin County, Florida.

Signed, sealed and acknowledged on this 1st day of August, 1994, in Martin County, Florida.

WITNESSES:

Michael H. Dlonick
MICHAEL H. DLONICK
(Print Name Beneath Signature)

Shirley Lyders
SHIRLEY LYDERS
(Print Name Beneath Signature)

Spencer H. Tweed
Spencer H. Tweed

Thora Tweed
Thora Tweed

Address:
165 S. Sewall's Point Road
Stuart, Florida 34996

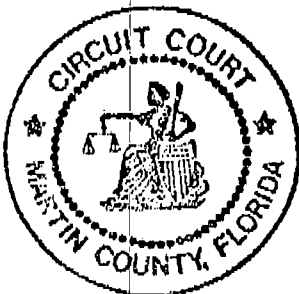
EXHIBIT "A"

THAT PORTION OF THE FOLLOWING DESCRIBED PROPERTY LYING EASTERLY OF THE RIGHT-OF-WAY OF SEWALL'S POINT ROAD:

THE NORTH 140 FEET OF THE SOUTH 240.9 FEET OF LOT 7 OF LOT 1 IN THE MILES OR HANSON GRANT, BEING A STRIP OF LAND 140 FEET IN WIDTH, RUNNING THROUGH FROM ST. LUCIE RIVER TO THE INDIAN RIVER, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE WEST BANK OF THE INDIAN RIVER, SAID POINT BEING 2020.8 FEET SOUTHERLY OF AND ON A LINE PARALLEL TO THE NORTH LINE OF LOT 1 OF HANSON GRANT (COMMONLY KNOWN AS SEWALL'S POINT); THENCE RUN SOUTH 66 DEGREES WEST TO THE ST. LUCIE RIVER; THENCE MEANDER SOUTHERLY ALONG THE WATERS OF SAID ST. LUCIE RIVER TO A POINT 2160.8 FEET SOUTHERLY OF AND ON A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 1 OF THE HANSON GRANT; THENCE RUN NORTH 66 DEGREES EAST, AND PARALLEL TO SAID NORTH LINE OF LOT 1 OF THE HANSON GRANT TO A POINT ON THE WEST BANK OF THE INDIAN RIVER; THENCE MEANDER NORTHWESTERLY ALONG THE WATERS OF SAID INDIAN RIVER TO THE POINT OF BEGINNING; TOGETHER WITH ALL RIPARIAN RIGHTS THEREUNTO BELONGING OR IN ANYWISE APPERTAINING. THE ABOVE LAND IS SHOWN ON THE PLAT OF PORT SEWALL FILED 13 NOVEMBER 1913, RECORDED IN PLAT BOOK 3, PAGE 8, AND PRIOR PLAT FILED 27 NOVEMBER, 1911, RECORDED IN PLAT BOOK 1, PAGE 129, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; SAID LAND NOW LYING AND BEING IN MARTIN COUNTY, FLORIDA.

TOGETHER WITH:

LOT 7, MARGUERITA SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 10, PAGE 3, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA



STATE OF FLORIDA
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL.



MARSHA STILLER, CLERK
BY [Signature] D.C.
DATE 8-1-94

STATE OF FLORIDA
COUNTY OF MARTIN

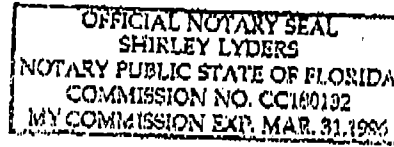
The foregoing instrument was acknowledged before me this 1st day of August, 1994, by Spencer H. Tweed and Thora Tweed. They are personally known to me or (✓) have produced drivers license and drivers license as identification, and they executed the foregoing instrument as their voluntary act and deed.

Witness my hand and official seal in the County and State last aforesaid this 1st day of August, 1994.

Shirley Lyders
SHIRLEY LYDERS
(Print Name Beneath Signature)
Notary Public

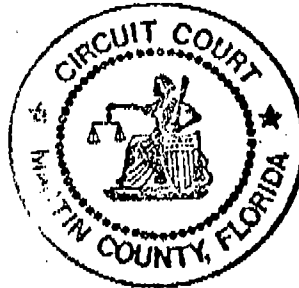
(NOTARIAL SEAL)

My Commission Expires:



This Instrument Prepared By:

Michael H. Olenick, Esquire
Fry & Olenick, P.A.
900 E. Ocean Blvd., Suite 120
Stuart, Florida 34994
407-286-1600



LETTER OF NO OBJECTION

We, Christine C. Wojcieszak and Aaron D. Wojcieszak } minor
Brian M. Wojcieszak } children
Lauren S. Wojcieszak }

being the owner(s) of certain property adjacent to and abutting the property of SPENCER & THORA TWEED who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

Christine C. Wojcieszak

STATE OF Florida
COUNTY OF Martin

SWORN TO AND SUBSCRIBED before me this 25th day of July, 1994

Dorothy G. Duffy
Notary Public

My Commission Expires:

Dorothy G Duffy
Notary Public
STATE OF FLORIDA
My Comm Exp 6/6/95
BONDED

LETTER OF NO OBJECTION

We, D. S. Hudson, Jr. and Dale M. Hudson

being the owner(s) of certain property adjacent to and abutting the property of SPENCER & THORA TWEED who have applied for a dock permit for construction, have read and reviewed the drawing of the dock and I have no objection to the proposed dock pursuant to the plan attached herein.

[Signature]
Dennis S. Hudson, Jr.

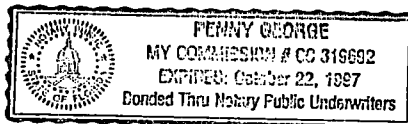
[Signature]
Dale M. Hudson

STATE OF Florida
COUNTY OF MARTIN

SWORN TO AND SUBSCRIBED before me this 14th day of July, 1994

[Signature]
Notary Public

My Commission Expires:



SOUTH SEWALL'S POINT ROAD
140'

PROPERTY OF #1
60'±(F)

57'

AMHW

AMLW

RAMP

15'

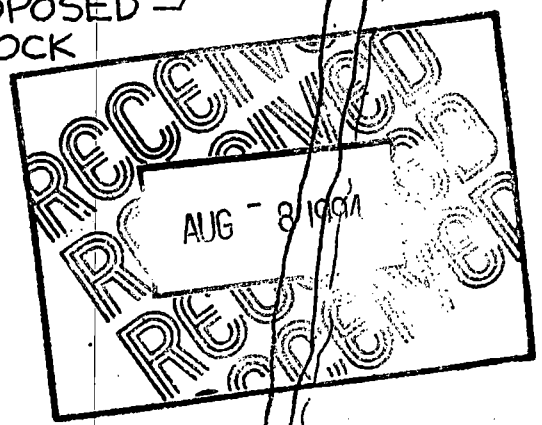
78'

4'

12'

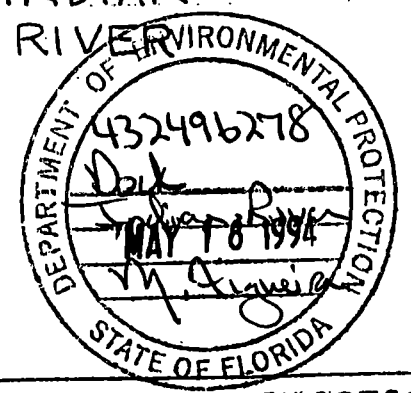
6'

PROPOSED DOCK



MANGROVE FRINGE

INDIAN RIVER



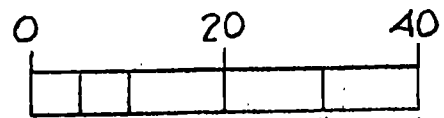
PROPERTY OF #2

35'±(F)

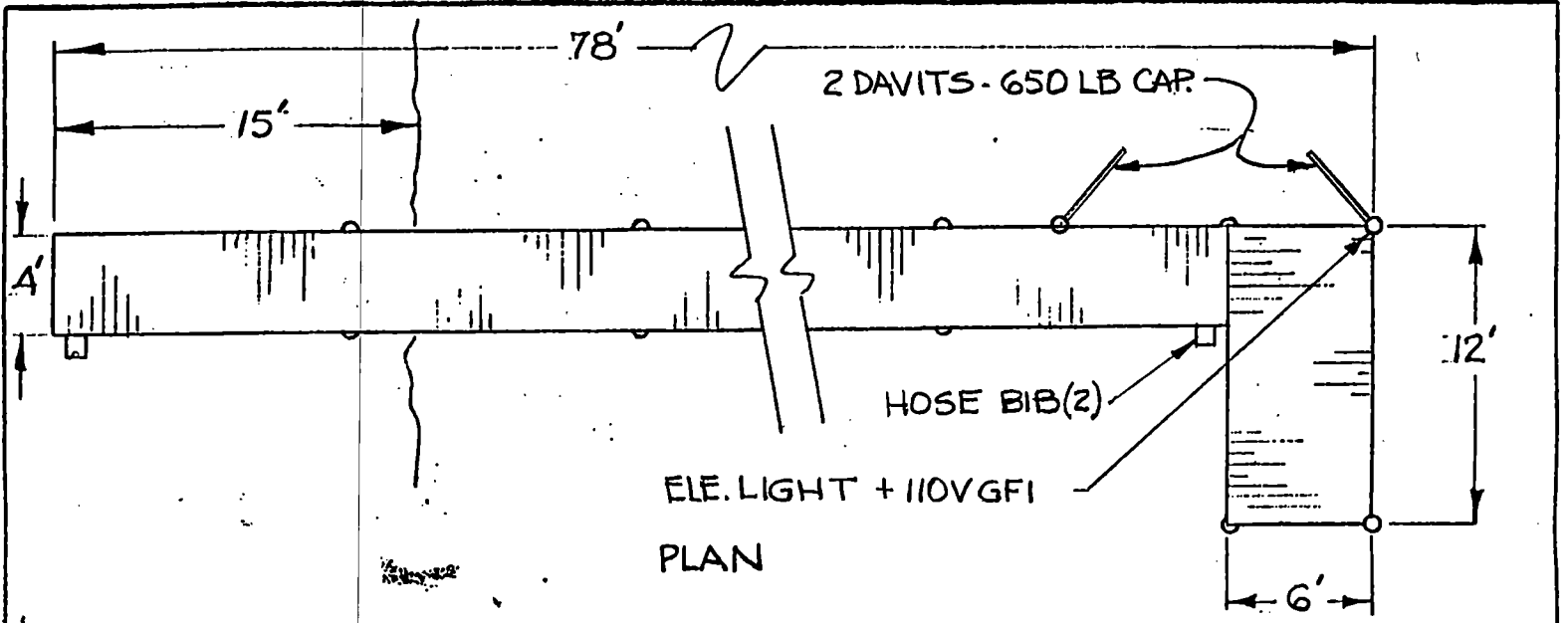


DATE: 26 APRIL 94
APPLICANT: S. TWEED
PROJECT: DOCK
COUNTY: MARTIN

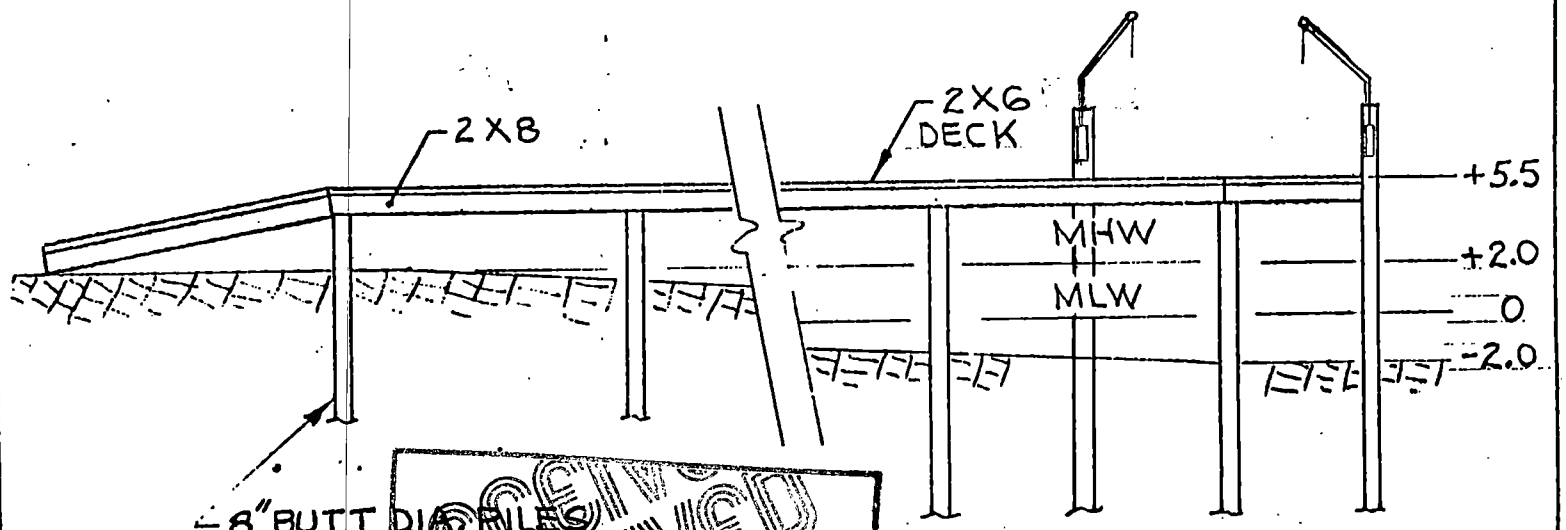
SITE PLAN
SHEET 5 OF 7



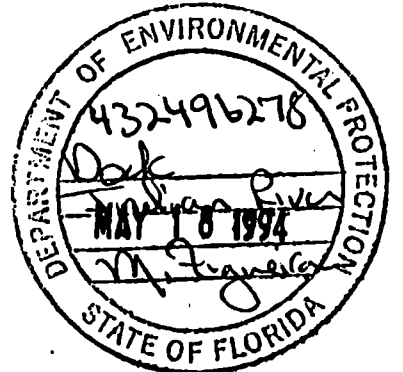
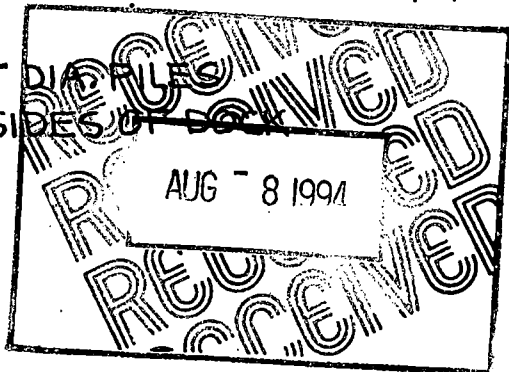
PURPOSE: BOAT ACCESS
ORIGINAL WORK: YES
COUNTY: MARTIN



PLAN



8" BUTT DIA PILES
BOTH SIDES OF DOCK
12' O.C.



DOCK PLAN & PROFILE
SCALE: 1" = 8'

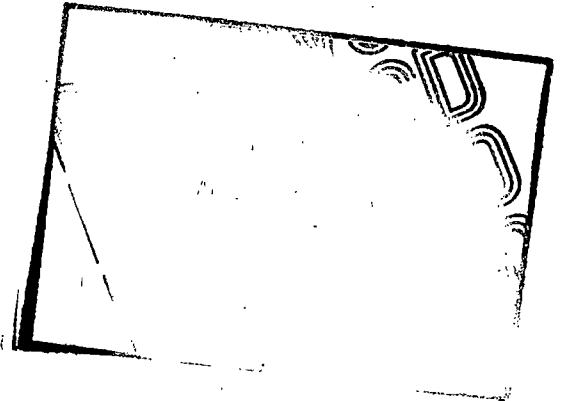
APPLICANT: SPENCER TWEED
WATER BODY: INDIAN RIVER
COUNTY: MARTIN
DATUM: MLW

PURPOSE: DOCK
ORIGINAL WORK: YES
SHEET NO: 6 OF 7
DATE: 26 APRIL 94

That portion of the following described property lying Easterly of the right-of-way of Sewall's Point Road:

The North 140 feet of the South 240.9 feet of Lot 7 of Lot 1 in the Miles or Hanson Grant, being a strip of land 140 feet in width, running through from St. Lucie River to the Indian River, more particularly described as follows:

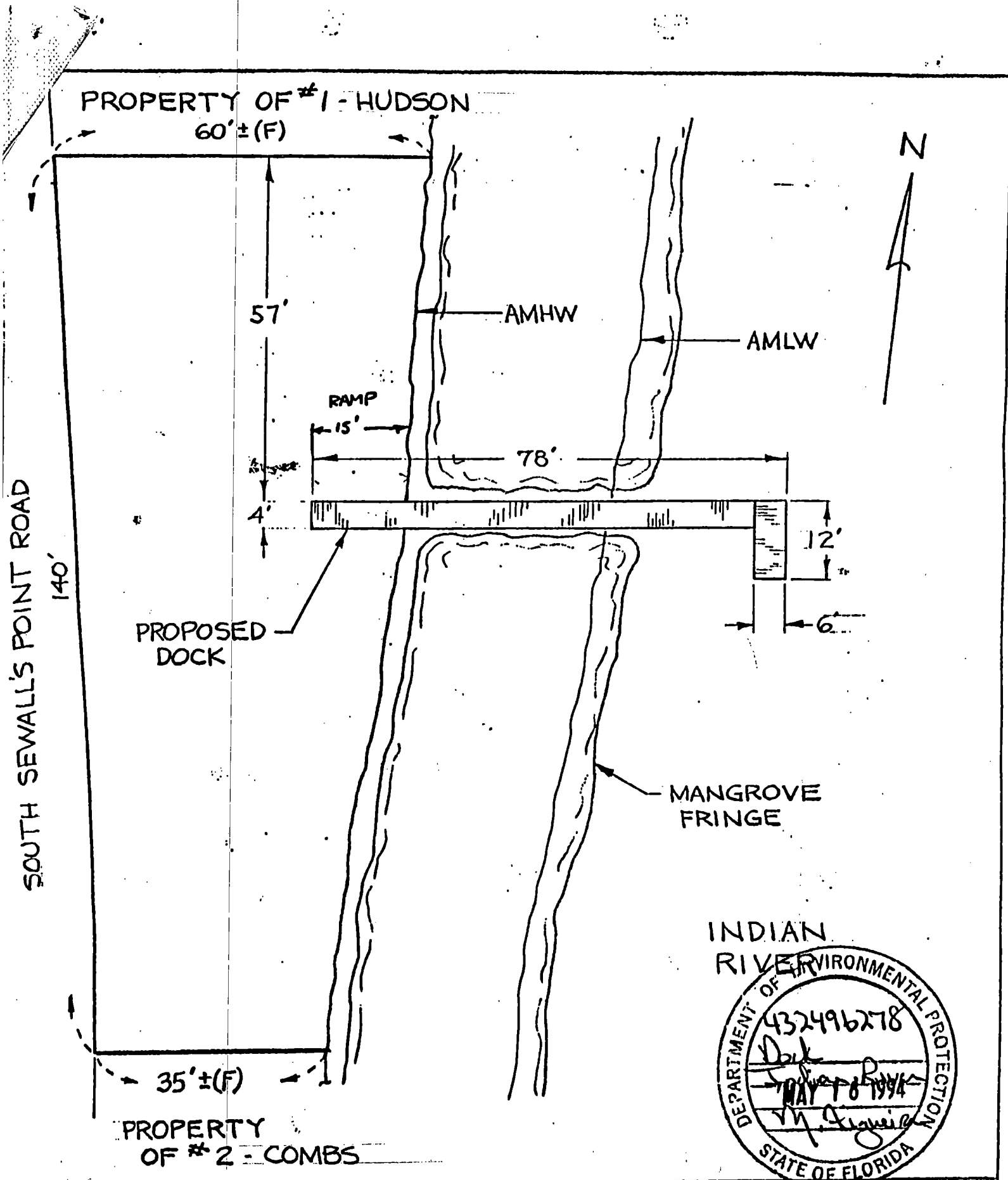
Commencing at a point on the West bank of the Indian River, said point being 2020.8 feet Southerly of and on a line parallel to the North line of Lot 1 of the Hanson Grant (commonly known as Sewall's Point); thence run South 66 degrees West to the St. Lucie River; thence meander Southerly along the waters of said St. Lucie River to a point 2160.8 feet southerly of and on a line parallel to the North line of said Lot 1 of the Hanson Grant; thence run North 66 degrees East, and parallel to said North line of Lot 1 of the Hanson Grant to a point on the West bank of the Indian River; thence meander Northwesterly along the waters of said Indian River to the point of beginning; together with all riparian rights thereunto belonging or in anywise appertaining. The above land is shown on the Plat of Port Sewall filed 13 November 1913, recorded in Plat Book 3, page 8, and prior Plat filed 27 November 1911, recorded in Plat Book 1, page 129, Palm Beach County, Florida, public records.



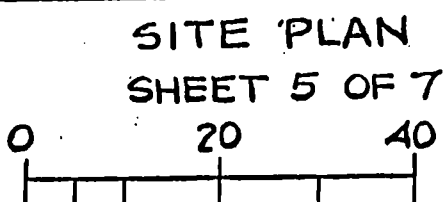
LEGAL DESCRIPTION OF PROPERTY

APPLICANT: SPENCER TWEED
WATER BODY: INDIAN RIVER
COUNTY: MARTIN
DATUM

PURPOSE: DOCK
ORIGINAL WORK: YES
SHEET NO: 7 OF 7
DATE: 26 APRIL 94



DATE: 26 APRIL 94
 APPLICANT: S. TWEED
 PROJECT: DOCK



PURPOSE: BOAT ACCESS
 ORIGINAL WORK: YES
 COUNTY: MARTIN

3702

SEAWALL

TAX FOLIO NO. _____

DATE 12-6-94

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3702

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner SPENCER TWEED Present address 165 50 SEWALLS PT RD

Phone 221-8330 STUART, FL 34996

Contractor TROPIC MARINE Address 50 NE DIXIE HWY C-8

Phone 692-4154 STUART, FL 34994

Where licensed MARTIN COUNTY License number # SP01730

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: SEAWALL

State the street address at which the proposed structure will be built:

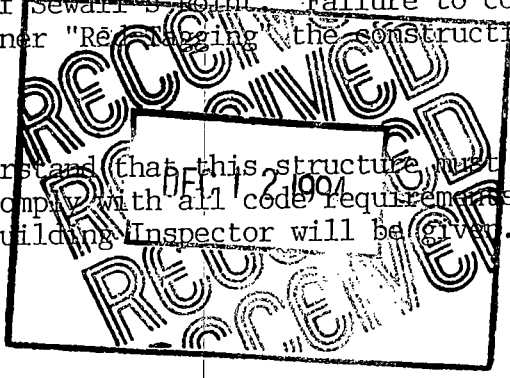
165 SO. SEWALLS PT. RD STUART, FL 34996

Subdivision MARGUARITA Lot Number 7 Block Number _____

Contract price \$ 2000 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red Tagging" the construction project.



Contractor Math E. Jones

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Spencer Tweed

TOWN RECORD

Date submitted _____

Approved: Dale Brown 12/12/94
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____



Department of Environmental Protection

DEC - 6 1994

Lawton Chiles
Governor

Virginia B. Wetherell
Secretary

NOTICE

DATE: DEC 5 1994

TO: Town of Sewall's Point

FROM: Jackie Kelly
Submerged Lands & Environmental Resources Program
Southeast District

SUBJECT: File No.: 432616488
Applicant: Spencer Tweed

The attached application was submitted to the Submerged Lands and Environmental Resources Program. We are currently processing the request as required by Chapters 373, 403, 253 and 258, F.S.

This is opportunity for applicable state agencies to concur with or object to the proposed project under the federal consistency provisions of the Coastal Zone Management Act.

Review must be in accordance with the procedures adopted by the Interagency Management Committee on October 25, 1989. Findings of inconsistency must describe how the project conflicts with your agency's statutory authorities in the Florida Coastal Management Plan and provide alternative measures, if any, which would make the project consistent.

Return your written comments (referencing the applicant's name and file number) and the attached information to the Department of Environmental Protection, Southeast District, 1801 Hillmoor Drive, Suite C-204 Port St. Lucie, FL 34952, within 30 days of the date of this notice. Your comments will be used in our evaluation of the proposed activity.

This project may be modified. If you wish to receive a copy of the application upon its completion, please notify us.

If you have questions, please call me at (407)871-7662 or (407)35-4310. Thank you.

attachment: DEP, WPB/USACOE

"Protect, Conserve and Manage Florida's Environment and Natural Resources"



Florida Department of Environmental Regulation
 Twin Towers Office Bldg. • 2600 Blair Stone Road • Tallahassee, Florida 32399-2400

DER Form # 17-312(90071)
 Form Title Joint App. for Works in the Waters of Florida
 Effective Date October 30, 1991
 DER Application No. _____ (Filed in by DER)

RECEIVED

NOV 30 1994

Department of the Army (Corps)/Florida Department of Environmental Regulation (DER)
 Department of Natural Resources (DNR)/Delegated Water Management District (Delegated WMD)

Type or Print Legibly

Corps Application Number (official use only)	DER Application Number (official use only) <u>132616488</u>	
1. Applicant's Name and Address		
Name <u>TWEED, SPENCER</u> <small>Last Name, First name (if individual); Corporate Name; Name of Govt. Agency</small>		
Street <u>165 SO. SEWALLS POINT ROAD</u>		
City <u>STUART</u>	State <u>FLORIDA</u> Zip <u>34996</u>	
Telephone <u>(407) 221-8330</u> (Day) () <u>SAME</u> (Night)		
2. Name, Address, Zip Code, Telephone Number and Title of Applicant's Authorized Agent		
Name <u>NA</u> <small>Last Name, First Name</small>		
Corporate Name; Name of Govt. Agency _____		
Street _____		
City _____ State _____ Zip _____		
Telephone () _____ (Day) () _____ (Night)		
3. Name of Waterway at Work Site: <u>INDIAN RIVER</u>		
4. Street, Road or Other Location of Work <u>SO. SEWALLS POINT ROAD</u>		
Incorporated City or Town <u>CITY OF STUART, TOWN OF SEWALLS POINT</u>		
Section <u>7</u>	Township <u>38 S</u> Range <u>42 E</u>	
Section _____	Township _____ Range _____	
Section _____	Township _____ Range _____	
County(ies) <u>MARTIN</u>		
Coordinates in Center of Project:		
Latitude <u>27</u> ° <u>10</u> ' <u>56</u> " Longitude <u>80</u> ° <u>11</u> ' <u>21</u> "		
Lot _____ Block _____ Subd _____ Plat Bk <u>1062</u> Pg <u>495</u>		
Directions to Locate Site: <u>E. OCEAN BLYD EAST TO SEWALLS PT. RD -</u> <u>SEWALLS PT. RD SOUTH APPROX. 1.6 MI. - SITE IS EAST OF</u> <u>SEWALLS PT. RD OPPOSITE HOUSE # 165</u>		
5. Names, Addresses, and Zip Codes of Adjacent Property Owners Whose Property Also Adjoins the Water (Excluding Applicant). Show Numbers or Names of These Owners on Plan Views. If More Than Six (6) Owners Adjoin the Project, You May Be Required to Publish a Public Notice for the DER.		
1. _____	2. _____	3. _____
4. _____	5. _____	6. _____

6. Proposed Use (Check one or more as applicable) Private Single Family Multi Family
 Public Commercial New Work Alteration of Existing Works Maintenance Other (Explain) _____
 7. Desired Permit Duration (see Fee Schedule)
 5 Yr 10 Yr Other (Specify) _____
 8. General Permit or Exemption Requested
 DER General Permit FAC Rule 17-312. _____ DER Exemption FAC Rule 17-312. 1 Section 403. _____ F.S.

9. Total Extent of Work in Jurisdictional Open Waters or Wetlands: (Use additional sheets and provide complete breakdown of each category if more space is needed.)

a. Within Corps Jurisdiction:
 Fill: _____ Sq. Ft. _____ Acres _____ Cu. Yds.
 Excavation: _____ Sq. Ft. _____ Acres _____ Cu. Yds.

b. Within DER Jurisdiction:
 Fill: _____ Sq. Ft. _____ Acres _____ Cu. Yds.
 Excavation: _____ Sq. Ft. _____ Acres _____ Cu. Yds.
 Excavation Waterward of MHW _____ cu. yds. (Information needed for DNR)

c. DER Jurisdictional Area Severed (Area Landward of Fill Structures which will be Severed):
 _____ Sq. Ft. _____ Acres

d. DER Jurisdictional Area Created (New Excavation from Uplands, Exclusive of Mitigation):
 _____ Sq. Ft. _____ Acres

e. Docks, Piers, and Over Water Structures:
 Total Number of Slips _____ Total Number of Mooring Pilings _____
 Length _____ Width _____ Height above MHW _____
 Length _____ Width _____ Height above MHW _____
 Number of Finger Piers _____ Length _____ Width _____ Height _____
 Number of Finger Piers _____ Length _____ Width _____ Height _____
 Total area of structure over waters & wetlands _____ sq. ft.
 Use of structure _____

Will the docking facility provide:	No	Yes	Number
Liveboard Slips	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fueling Facilities	<input type="checkbox"/>	<input type="checkbox"/>	_____
Sewage Pump-out Facilities	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other Supplies or Services Required for Boating (Excluding refreshments, bait and tackle)	<input type="checkbox"/>	<input type="checkbox"/>	_____

f. Seawall length 140 ft. Seawall material 6" DIA PILINGS & 2X8 BOARDS
 Riprap revetment length _____ ft. Slope _____ H: _____ V Toe width _____ ft.
 Riprap at toe of seawall length _____ ft. Slope _____ H: _____ V Toe width _____ ft.
 Size of riprap _____
 Type of riprap or seawall material _____

g. Other (See Item 10).

6. Proposed Use (Check one or more as applicable) Private Single Family Multi Family
 Public Commercial New Work Alteration of Existing Works Maintenance Other (Explain) _____

7. Desired Permit Duration (see Fee Schedule)
 5 Yr 10 Yr Other (Specify) _____

8. General Permit or Exemption Requested
 DER General Permit FAC Rule 17-312. _____ DER Exemption FAC Rule 17-312. 1 Section 403. _____ FS.

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 Fill: _____ Sq. Ft. _____ Acres _____ Cu. Yds.
 Excavation: _____ Sq. Ft. _____ Acres _____ Cu. Yds.

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 Fill: _____ Sq. Ft. _____ Acres _____ Cu. Yds.
 Excavation: _____ Sq. Ft. _____ Acres _____ Cu. Yds.
 Excavation Waterward of MHW _____ cu. yds. (Information needed for DNR)

c. DER Jurisdictional Area Severed (Area Landward of Fill Structures which will be Severed):
 _____ Sq. Ft. _____ Acres

d. DER Jurisdictional Area Created (New Excavation from Uplands, Exclusive of Mitigation):
 _____ Sq. Ft. _____ Acres

e. Docks, Piers, and Over Water Structures:
 Total Number of Slips _____ Total Number of Mooring Pilings _____
 Length _____ Width _____ Height above MHW _____
 Length _____ Width _____ Height above MHW _____
 Number of Finger Piers _____ Length _____ Width _____ Height _____
 Number of Finger Piers _____ Length _____ Width _____ Height _____
 Total area of structure over waters & wetlands _____ sq. ft.
 Use of structure _____

Will the docking facility provide:	No	Yes	Number
Liveaboard Slips	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fueling Facilities	<input type="checkbox"/>	<input type="checkbox"/>	_____
Sewage Pump-out Facilities	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other Supplies or Services Required for Boating (Excluding refreshments, bait and tackle)	<input type="checkbox"/>	<input type="checkbox"/>	_____

f. Seawall length 140 ft. Seawall material 6" DIA PILINGS & 2X8 BOARDS
 Riprap revetment length _____ ft. Slope _____ H: _____ V _____ Toe width _____ ft.
 Riprap at toe of seawall length _____ ft. Slope _____ H: _____ V _____ Toe width _____ ft.
 Size of riprap _____
 Type of riprap or seawall material _____

g. Other (See Item 10).

RECEIVED

NOV 30 1994

Dept. of Environ. Protection
Port St. Lucie

DER Form #	17-312.900(1)
Form Title	Joint Ap. for Works in the Waters of Flk
Effective Date	October 30, 1991
DER Application No.	(Filed in by DER)

10. Description of Work (be specific; use additional sheets as necessary).

CONSTRUCT SEAWALL OF 6" DIA. PILINGS & 2X8 BOARDS.
OUT OF DER JURISDICTION AS PER JACKIE KELLY'S
INSPECTION ON NOV. 29, 1994

11. Turbidity, Erosion, and Sedimentation Controls Proposed:

12. Date Activity is Proposed to Commence ASAP ; to be Completed ASAP
Total Time Required to Construct 1 MONTH

13. Previous Applications for this Project have been:	DER No.	Corps No.
A. Denied (date) _____	_____	_____
B. Issued (date) _____	_____	_____
C. Other (please explain) _____		

Differentiate between existing work and proposed work on the drawings.

14. Certification. Application is hereby made for a permit or permits to authorize the activities described herein.

A. I Certify That: (Please check appropriate space)

1. I am the record owner ; lessee , or the record easement holder of the property on which the proposed project is to be undertaken, as described in the attached legal document.
2. I am not the record owner, lessee, or record easement holder of the property on which the proposed project is to be undertaken, as described in the attached legal document, but I will have, before undertaking the proposed work, the requisite property interest. (Please explain what the interest will be and how it will be acquired.)

Attach legal description of property or copy of deed to the property on which project is to occur (must be provided)

B. I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence that the proposed project will comply with the applicable State Water Quality Standards or other environmental standards both before construction and after the project is completed.

C. In addition, I agree to provide entry to the project site for inspectors with proper identification or documents as required by law, from the environmental agencies for the purpose of inspecting the site. Further, I agree to provide entry to the project site for such inspectors to monitor permitted work, if a permit is granted.

D. This is a Joint Application and is not a Joint Permit. I hereby acknowledge the obligation and responsibility for obtaining all of the required state, federal or local permits before commencement of construction. I also understand that before commencement of this proposed project, I must be granted separate permits or authorizations from the U.S. Corps of Engineers, the U.S. Coast Guard, the Department of Environmental Regulation, the Delegated Water Management District (where applicable), and the Department of Natural Resources, as necessary.

DER Form #	17-312.900(1)
Form Title	Joint Ap. for Works in the Waters of Florida
Effective Date	October 30, 1991
DER Application No.	(Filed in by DER)

E. I am familiar with the information contained in this application, and that to the best of my knowledge and belief, such information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities or am acting as the duly authorized agent of the applicant. I understand that knowingly making any false statement or representation in this application is a violation of Section 403.161, F.S. and Chapter 837, F.S.

SPENCER TWEED

Typed/Printed Name of Applicant or Agent

Spencer Tweed

Signature of Applicant or Agent

Nov. 30, 1994

Date

(Corporate Title if applicable)

AN AGENT MAY SIGN ABOVE IF APPLICANT COMPLETES THE FOLLOWING:

I hereby designate and authorize the agent listed above to act on my behalf as my agent in the processing of this permit application and to furnish on request, supplemental information in support of the application.

Typed/Printed Name of Applicant

Signature of Applicant

Date

(Corporate Title if applicable)

15. **For your information:** Section 370.034, Florida Statutes, requires that all dredge and fill equipment owned, used, leased, rented or operated in the state shall be registered with the Department of Natural Resources. Before selecting your contractor or equipment you may wish to determine if this requirement has been met. For further information, contact the Chief of the Bureau of Saltwater Licenses and Permits, Department of Natural Resources, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399. Telephone No. (904) 487-3122. **This is not a requirement for a permit from the Department of Environmental Regulation.**

18; U.S.C. Section 1001 provides that, Whoever, in any manner within the jurisdiction of any department or agency of The United States knowingly and willfully falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both.

16. Please submit this completed form, with attached drawings and the complete DER processing fee (see Fee Schedule in Rule 17-4.050, F.A.C., copy attached) to the appropriate DER or Delegated WMD office with jurisdiction over the project site.

That portion of the following described property lying Easterly of the right-of-way of Sewall's Point Road:

The North 140 feet of the South 240.9 feet of Lot 7 of Lot 1 in the Miles or Hanson Grant, being a strip of land 140 feet in width, running through from St. Lucie River to the Indian River, more particularly described as follows:

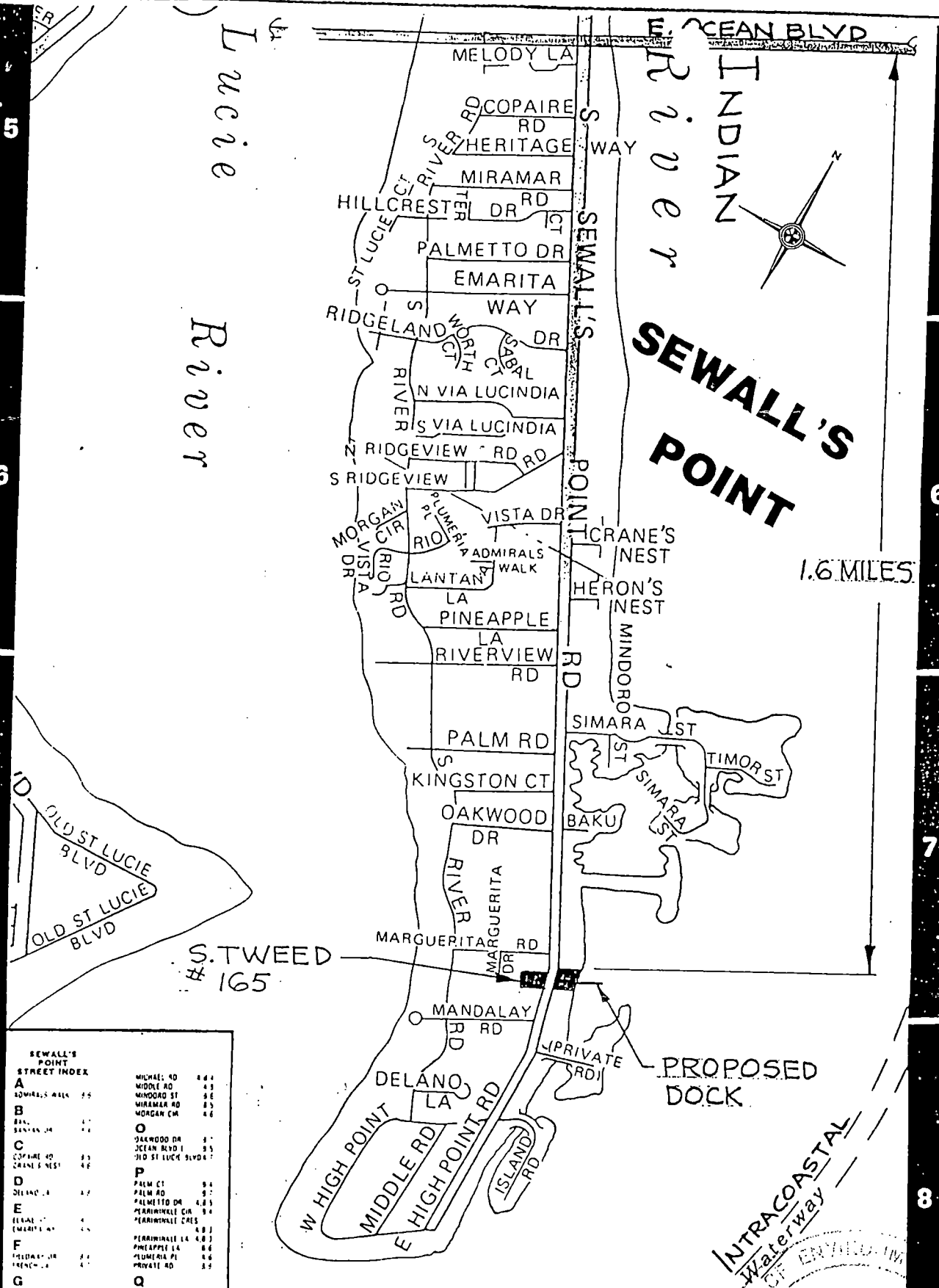
Commencing at a point on the West bank of the Indian River, said point being 2020.8 feet Southerly of and on a line parallel to the North line of Lot 1 of the Hanson Grant (commonly known as Sewall's Point); thence run South 66 degrees West to the St. Lucie River; thence meander Southerly along the waters of said St. Lucie River to a point 2160.8 feet southerly of and on a line parallel to the North line of said Lot 1 of the Hanson Grant; thence run North 66 degrees East, and parallel to said North line of Lot 1 of the Hanson Grant to a point on the West bank of the Indian River; thence meander Northwesterly along the waters of said Indian River to the point of beginning; together with all riparian rights thereunto belonging or in anywise appertaining. The above land is shown on the Plat of Port Sewall filed 13 November 1913, recorded in Plat Book 3, page 8, and prior Plat filed 27 November 1911, recorded in Plat Book 1, page 129, Palm Beach County, Florida, public records.

LEGAL DESCRIPTION OF PROPERTY

APPLICANT: SPENCER TWEED
WATER BODY: INDIAN RIVER
COUNTY: MARTIN
DATUM

PURPOSE: SEAWALL
ORIGINAL WORK: YES

DATE: NOV. 30, 1994

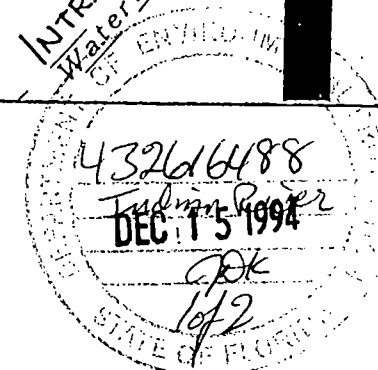


SEWALL'S POINT STREET INDEX	
A	MICHAEL RD 4.4
B	MIDDLE RD 4.5
C	MINDORO ST 4.6
D	MIRAMAR RD 4.7
E	MORGAN CR 4.8
F	OAKWOOD DR 4.9
G	JEAN BLVD 5.0
	700 ST LUCIE BLVD 5.1
	P
	PALM CT 5.2
	PALM RD 5.3
	PALMETTO DR 5.4
	PEARLINVILLE CR 5.5
	PEARLINVILLE CR 5.6
	PEARLINVILLE CR 5.7
	PEARLINVILLE CR 5.8
	PEARLINVILLE CR 5.9
	PEARLINVILLE CR 6.0
	PEARLINVILLE CR 6.1
	PEARLINVILLE CR 6.2
	PEARLINVILLE CR 6.3
	PEARLINVILLE CR 6.4
	PEARLINVILLE CR 6.5
	PEARLINVILLE CR 6.6
	PEARLINVILLE CR 6.7
	PEARLINVILLE CR 6.8
	PEARLINVILLE CR 6.9
	PEARLINVILLE CR 7.0
	PEARLINVILLE CR 7.1
	PEARLINVILLE CR 7.2
	PEARLINVILLE CR 7.3
	PEARLINVILLE CR 7.4
	PEARLINVILLE CR 7.5
	PEARLINVILLE CR 7.6
	PEARLINVILLE CR 7.7
	PEARLINVILLE CR 7.8
	PEARLINVILLE CR 7.9
	PEARLINVILLE CR 8.0
	PEARLINVILLE CR 8.1
	PEARLINVILLE CR 8.2
	PEARLINVILLE CR 8.3
	PEARLINVILLE CR 8.4
	PEARLINVILLE CR 8.5
	PEARLINVILLE CR 8.6
	PEARLINVILLE CR 8.7
	PEARLINVILLE CR 8.8
	PEARLINVILLE CR 8.9
	PEARLINVILLE CR 9.0
	PEARLINVILLE CR 9.1
	PEARLINVILLE CR 9.2
	PEARLINVILLE CR 9.3
	PEARLINVILLE CR 9.4
	PEARLINVILLE CR 9.5
	PEARLINVILLE CR 9.6
	PEARLINVILLE CR 9.7
	PEARLINVILLE CR 9.8
	PEARLINVILLE CR 9.9
	PEARLINVILLE CR 10.0

VICINITY MAP

LAT: 27° 10' 56" LONG: 80° 11' 21"

APPLICANT: SPENCER TWEED
 WATER BODY: INDIAN RIVER
 COUNTY: MARTIN
 DATUM: MLW



SOUTH SEWALL'S POINT ROAD
140'

60' ± (F)

57'

15'

78'

4'

12'

6'

35' ± (F)

10' (TYP)

AMHW

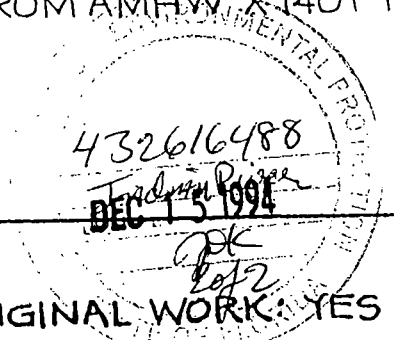
AMLW

EXISTING DOCK

MANGROVE FRINGE

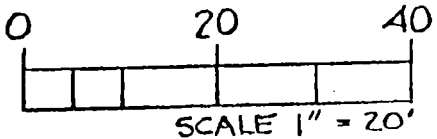
INDIAN RIVER

PROPOSED SEAWALL,
10 FT FROM AMHW X 140 FT
LONG



DATE: NOV. 30, 1994
APPLICANT: S. TWEED
PROJECT: SEAWALL
COUNTY: MARTIN

SITE PLAN



ORIGINAL WORK: YES
COUNTY: MARTIN



Department of Environmental Protection

Lawton Chiles
Governor

Port St. Lucie Branch Office
1801 SE Hillmoor Drive
Suite C-204
Port St. Lucie, FL 34952
(407)871-7662 (407)335-4310

Virginia B. Wetherell
Secretary

DEC 15 1994

Spencer Tweed
165 South Sewall's Point Road
Stuart, FL 34996

WRM - Martin County

Dear Mr. Tweed:

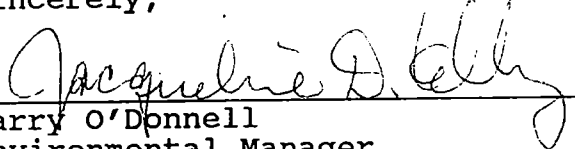
This is to acknowledge receipt of your application, file number 432616488 to:

Construct a 140 linear foot retaining wall and installed 10' above the mean high water line. This project is located at 165 South Sewall's Point Road, Indian River, Aquatic Preserve, O.F.W., Class III Waters, Section 7, Township 38 South, Range 42 East, Stuart, Martin County.

At this time no permit is required for your project by the Department of Environmental Protection, Division Submerged Lands and Environmental Resource Permitting. Any modifications in your plans should be submitted for review, as changes may result in permits being required. This letter does not relieve you from the need to obtain any other permits (local, state or federal) which may be required. This project, as proposed, is not within the Department's jurisdiction in accordance with the two (2) attached drawings.

If you have any questions, please contact Jackie Kelly of this office at (407)871-7662 or (407)335-4310. When referring to this project, please use the file number indicated.

Sincerely,

for 
Larry O'Donnell
Environmental Manager
Environmental Resources Program

LO:jkw

cc: U.S. Army Corps of Engineers, Tampa
Department of Env. Protection, State Lands, WPB

6075

ELECTRIC PANELS

TOWN OF SEWALL'S POINT

Date 12/18/02

BUILDING PERMIT NO. 6075

Building to be erected for ERIC DICKER

Type of Permit Electrical Panel For

Applied for by KRASS + CRANE, INC

(Contractor) Building Fee POCK HEATER 35.00

Subdivision MARGHERITA Lot 7 Block _____

Radon Fee _____

Address 165 S. Sewall's Pt. Rd.

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

133841011 000000 7090000

Electrical Fee _____

Plumbing Fee _____

Amount Paid \$35.00 Check # _____ Cash X Other Fees (_____)

Roofing Fee _____

Total Construction Cost \$ 900.00

TOTAL Fees 35.00

Signed [Signature]

Applicant

Signed Gene Simmons (Hgn)

Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

-4-
Town of Sewall's Point
{ 219 2316 }

ELECTRICAL (BY POOL)
1338410110000007090000

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: ERIC + ILONA DICKER Building Permit Number: _____
City: SEWALL'S POINT State: FL Zip: 34996-6334

Legal Description of Property: LOT 7 MARGUERITA SUBDIVISION Parcel Number: 1
Location of Job Site: 105 S. SEWALL'S POINT RD. Type of Work To Be Done: INSTALLATION OF 220V/50A
(JOB - BY POOL AREA) (SEE ATTACHED) ELECTRICAL SUPPLY FOR POOL HEATER

CONTRACTOR/Company Name: KRAUSS + CRANE INC (ELECTRICAL) Phone Number: (772) 287 1227
Street: 904 S. DIXIE HWY. City: STUART State: FL Zip: 34996

State Registration Number: _____ State Certification Number: EC0001986 Martin County License Number: _____

ARCHITECT: N/A. CHECKED WITH GENE SIMMONS 11/7/02 BY Phone Number: _____
Street: OWNER. SIGHT PLANS SHOW ALL City: _____ State: _____ Zip: _____
WORK TO BE WELL WITHIN SET-BACK LINES

ENGINEER: N/A Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof: _____ Wood Deck: _____ Accessory Building: _____
Type Sewage: N/A Septic Tank Permit Number From Health Depart. _____ Well Permit Number: _____

FLOOD HAZARD INFORMATION Flood Zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed First Floor Habitable Floor Finished Elevation: N/A NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: \$900 Estimated Fair Market Value (FMV) Prior
To Improvements: _____ If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES _____ NO _____

SUBCONTRACTOR INFORMATION

Electrical: N/A State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____ South Florida Building Code (Structural, Mechanical, Plumbing, Gas) _____
National Electrical Code _____ Florida Energy Code _____
Florida Accessibility Code _____ *To be filled in by town building inspector*

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS

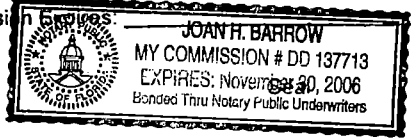
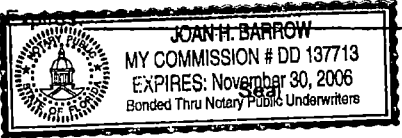
OWNER OR AGENT SIGNATURE (Required) Eric Dicker CONTRACTOR SIGNATURE (Required) R. Crane
State of Florida, County of: Martin On State of Florida, County of: Martin
This the 16th day of December, 2002 This the 16th day of December, 2002
by E. Dicker who is personally by R. Crane who is personally
known to me or produced F.I.D.I. known to me or produced F.I.D.I.
as identification. Joan H. Barrow as identification. Joan H. Barrow

Notary Public

Notary Public

My Commission _____

My Commission _____



RECEIVED
DEC 17 2002
BY: _____

AC# 0476187

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ#L02070501593

DATE	BATCH NUMBER	LICENSE NBR
07/05/2002	200003649	EC0001986

The ELECTRICAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

~~CRANE, ROBERT SAMUEL~~
KRAUSS & CRANE, INC.
904 SOUTH DIXIE HWY.
STUART FL 34997

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY

12-17-2002 10:15AM FROM KRAUSS CRANE 561 283 4055

ACORD CERTIFICATE OF LIABILITY INSURANCE OP ID SB DATE (MM/DD/YY)
 KRAUC-1 05/30/02

PRODUCER
Stuart Insurance, Inc.
 3070 S W Mapp
 Palm City FL 34990
 Phone: 561-286-4334 Fax: 561-286-9389

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
Krauss & Crane, Inc.
 John Crane
 P.O. Box 1259
 Stuart FL 34995

INSURER A: **Owners Insurance Company**
 INSURER B: **Auto Owners Insurance Co**
 INSURER C: **FCCI Insurance Co**
 INSURER D:
 INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	2051396299	06/01/01 06/01/02	06/01/02 06/01/03	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
B	AUTOMOBILE LIABILITY	9543505400	06/01/01 06/01/02	06/01/02 06/01/03	COMBINED SINGLE LIMIT (Ea accident) \$
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$ 500000
	<input checked="" type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$ 500000
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$ 500000
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
	<input type="checkbox"/> DEDUCTIBLE				\$
	<input type="checkbox"/> RETENTION \$				\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	001WC02A32801	01/01/02	01/01/03	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
	E.L. EACH ACCIDENT \$ 100,000				
	E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000				
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
STATE OF FLORIDA - Air Conditioning & Electrical

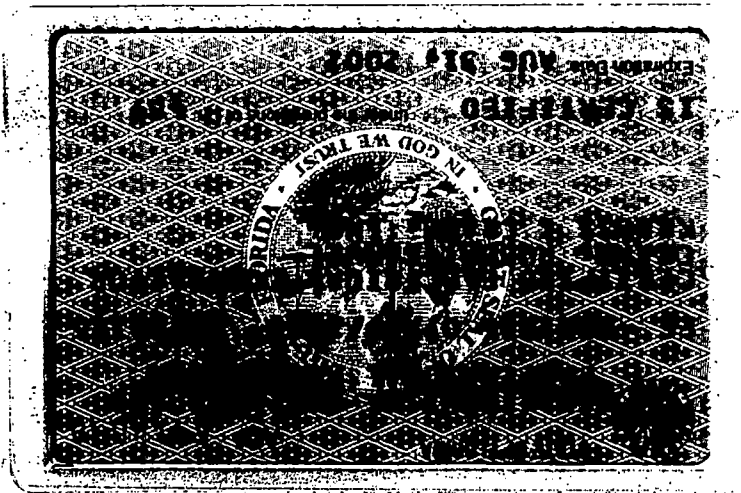
CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER: **TOWNS-1**

CANCELLATION
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
 AUTHORIZED REPRESENTATIVE *Joseph E. Coon*

Town of Sewalls Point
 1 S Sewalls Point Road
 Stuart FL 34996

ROBERT SAUREL GRADE
EC-0001986
EXP. 8/31/02



AC# 0876334

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/09/2000	99902143	CA -C049286

The CLASS B AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2002

CRANE, JOHN HENRY III
KRAUSS AND CRANE INC
904 S DIXIE HWY
PO BOX 1259
STUART FL 34995-1259

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CYNTHIA A. HENDERSON
SECRETARY

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Lot #7 Marguerita Subdivision Parcel #1, 165 S Sewalls Pt Rd

GENERAL DESCRIPTION OF IMPROVEMENT: Installation of heat pump for swimming pool

OWNER: Eric + Ilona Dicker

ADDRESS: 165 S Sewalls Point Road, Stuart, FL 34996

PHONE #: 219-2316

FAX #: 463-3052

CONTRACTOR: Pinch-A-Penny Pool-Parti-Spa

ADDRESS: 1116 N Federal Hwy, Stuart, FL 34994

PHONE #: 286-5757

FAX #: 286-5673

SURETY COMPANY (IF ANY) None

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: None

ADDRESS: _____

PHONE #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: None

ADDRESS: _____

PHONE #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF December 2002 BY E. Dicker

PERSONALLY KNOWN
OR
PRODUCED ID
TYPE OF ID _____

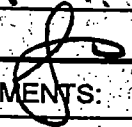
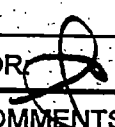
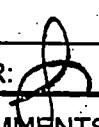

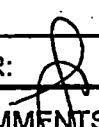
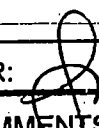
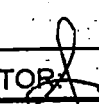
[Signature]
NOTARY SIGNATURE



TO 'N' OF SE 'ALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1-3, 2003; Page of .

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6080	SPIEVACK 30 W. HIGHPOINT RD ALL AMERICAN	ROOF REPAIRS		7 nobody there rain? ? INSPECTOR: 
6045	VASQUEZ 82 S. Sewall's Pt Rd J+B Boatlift	Final	Passed	INSPECTOR: 
TREE	HULL 2 HERITAGE WAY	TREE	Passed	INSPECTOR: 
TREE	FABINSKY 10 MANDALAY RD	TREE	Passed	INSPECTOR: 
5908	WILBERDING 2 PALAMA WAY O/B	Strapping - 2nd Floor only	Passed	INSPECTOR: 
6075	DICKER 165 S. SEWALL'S PT RD KRAUSS + CRANE	Elec Panel - Pool Heater	Passed	INSPECTOR: 
6069	LAPIKAS. 3 INDIALUCIA RD. PARIFIC.	SHEATHING.	Passed	INSPECTOR: 

OTHER: 95 S. River ?

6078

POOL HEATER

TOWN OF SEWALL'S POINT

Date 12/19/02

BUILDING PERMIT NO. 6078

Building to be erected for Dicker Type of Permit Pump electric

Applied for by Pinch A Penny (Contractor) Building Fee _____

Subdivision LOT 7 MARGUERITA SUB Lot _____ Block _____ Radon Fee _____

Address 165 S. SEWALLS POINT Impact Fee _____

Type of structure S.F.R. A/C Fee _____

9.60 x 4,000

Electrical Fee 38.40

Parcel Control Number: Plumbing Fee _____

1338410110000007090000 Roofing Fee _____

Amount Paid \$38.40 Check # 315 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 4000.00 TOTAL Fees 38.40

Signed [Signature] Signed [Signature]

Applicant

Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input checked="" type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

Town of Sewall's Point

INSTALLATION POOL HEATER

BUILDING PERMIT APPLICATION

Owner or Titleholder Name: ERIC + ILONA DICKER Building Permit Number:
City: SEWALL'S POINT State: FL Zip: 34996
Legal Description of Property: LOT 7 MARGUERITA SUBDIVISION Parcel Number: 133841011000000127090000
Location of Job Site: 165 S. SEWALLS POINT RD. Type of Work To Be Done: INSTALLATION OF 65-1000
100,000 BTU POOL HEATER (SEE ATTACHED)

CONTRACTOR/Company Name: PINCH-A-PENNY POOLS Phone Number: Tom (772) 4637054
Street: 1116 N. FEDERAL HWY City: STUART State: FL Zip: 34994
State Registration Number: 53-00-021725 State Certification Number: - 99 Martin County License Number:

ARCHITECT: N/A WORK TO BE CARRIED OUT ON EXSTING SLABS Phone Number:
Street: WELL WITHIN SET-BACK LINES. CHECKED City: State: Zip:
BY OWNER WITH GENE SIMMONS USING CURRENT SIGHT PLANS

ENGINEER: N/A Phone Number:
Street: City: State: Zip:

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: Garage: Covered Patios: ScreenedPorch:
Carport: Total Under Roof: N/A Wood Deck: Accessory Building:
Type Sewage: Septic Tank Permit Number From Health Dept. Well Permit Number:

FLOOD HAZARD INFORMATION Flood Zone: N/A Minimum Base Flood Elevation (BFE): NGVD
Proposed First Floor Habitable Floor Finished Elevation: NGVD (Minimum 1 Foot Above BFE)

COST AND VALUES Estimated Cost of Construction or Improvements: 4000.00
Estimated Fair Market Value (FMV) Prior To Improvements:
If Improvement, Is Cost Greater Than 50% Of Fair Market Value YES NO

SUBCONTRACTOR INFORMATION

Electrical: State: License Number:
Mechanical: State: License Number:
Plumbing: N/A State: License Number:
Roofing: State: License Number:

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNANCE, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION

Florida Building Code (Structural, Mechanical, Plumbing, Gas) 2001 South Florida Building Code (Structural, Mechanical, Plumbing, Gas)
National Electrical Code 2002 Florida Energy Code 2001
Florida Accessibility Code 2001

THEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (Required) Eric Dicker
State of Florida, County of: Martin
This the 4th day of Dec, 2002
by Eric Dicker who is personally known to me or produced F.I.d.I. as identification Joan H. Barrow

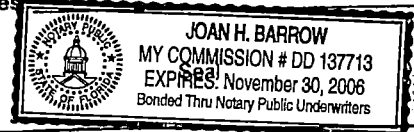
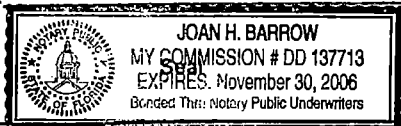
CONTRACTOR SIGNATURE (Required) D. Potter
On State of Florida, County of: Martin
This the 4th day of Dec, 2002
by D. Potter who is personally known to me or produced F.I.d.I. As identification Joan H. Barrow

Notary Public

Notary Public

My Commission Expires:

My Commission Expires:





DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD
1940 NORTH MONROE STREET
TALLAHASSEE FL 32399-0783

(850) 487-1395

CORBETT, THOMAS ROBERT
CORBETT'S POOL CARE INCORPORATED
5815 SE FEDERAL HWY STE 19
STUART FL 34997

STATE OF FLORIDA AC# 0475968
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 CPC056864 07/05/02 200002107
 CERTIFIED POOL/SPA CONTRACTOR
 CORBETT, THOMAS ROBERT
 CORBETT'S POOL CARE INCORPORATED

IS CERTIFIED under the provisions of Ch.489 FS.
 Expiration date: AUG 31, 2004 SEQ # L02070501374

DETACH HERE

AC# 0475968

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L02070501374

DATE	BATCH NUMBER	LICENSE NBR
07/05/2002	200002107	CPC056864

The SERVICE POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2004

CORBETT, THOMAS ROBERT
CORBETT'S POOL CARE INCORPORATED
5080 SE PINE RIDGE WAY
STUART FL 34997

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

KIM BINKLEY-SEYER
SECRETARY



2001 Florida Annual Resale Certificate for Sales Tax

DR-13
R. 01/01

THIS CERTIFICATE EXPIRES ON DECEMBER 31, 2001

Business Name and Location Address

**PINCH-A-PENNY #39
JESDERLEY INC
1116 NW FEDERAL HWY # 39
STUART FL 34994-1030**

Registration Effective Date

FEBRUARY 1, 1993

Certificate Number

53-07-019212-99-1

This is to certify that all tangible personal property purchased or rented, real property rented, or services purchased after the above Registration Effective Date by the above business are being purchased or rented for one of the following purposes:

- Resale as tangible personal property.
- Re-rental as tangible personal property.
- Resale of services.
- Re-rental as real property.
- Incorporation into and sale as part of the repair of tangible personal property by a repair dealer.
- Incorporation as a material, ingredient, or component part of tangible personal property that is being produced for sale by manufacturing, compounding, or processing.

This certificate can only be used by the active dealer or its authorized employees. Misuse of this certificate is prohibited. Use in perpetuity as provided by law.

Presented to: _____ (insert name of seller on photocopy) (date)

Presented by: [Signature] 1-1-2001
Authorized Signature (Purchaser) (date)



2001 Florida Annual Resale Certificate for Sales Tax

DR-13
R. 01/01

THIS CERTIFICATE EXPIRES ON DECEMBER 31, 2001

Business Name and Location Address

**PINCH A PENNY #106
JESDERLEY INC
5162 SE FEDERAL HWY
STUART FL 34997-6629**

Registration Effective Date

MAY 16, 1995

Certificate Number

53-00-021725-99-7

This is to certify that all tangible personal property purchased or rented, real property rented, or services purchased after the above Registration Effective Date by the above business are being purchased or rented for one of the following purposes:

- Resale as tangible personal property.
- Re-rental as tangible personal property.
- Resale of services.
- Re-rental as real property.
- Incorporation into and sale as part of the repair of tangible personal property by a repair dealer.
- Incorporation as a material, ingredient, or component part of tangible personal property that is being produced for sale by manufacturing, compounding, or processing.

This certificate can only be used by the active dealer or its authorized employees. Misuse of this certificate is prohibited. Use in perpetuity as provided by law.

Presented to: _____ (insert name of seller on photocopy) (date)

Presented by: [Signature] 1-1-2001
Authorized Signature (Purchaser) (date)



05/17/95

State of Florida
DEPARTMENT OF REVENUE
CERTIFICATE OF REGISTRATION

1283713
THIS CERTIFICATE IS
NONTRANSFERABLE

Issued Pursuant to Chapter 212, Florida Statutes

REGISTRATION DATE

05/16/95

OPENING DATE

05/25/95

CERTIFICATE NUMBER

53-00-021725-99

REFER TO THIS NUMBER
WHEN REPORTING TAX

MAILING ADDRESS

PINCH A PENNY #106
JESDERLEY INC
5162 SE FED HWY
STUART

THIS CERTIFIES THAT

PINCH A PENNY #106
JESDERLEY INC
5162 SE FED HWY
STUART

FL 34997-000

FL 34997-0000

IS HEREBY AUTHORIZED AND EMPOWERED TO COLLECT
SALES AND USE TAXES FOR THE STATE OF FLORIDA

THIS CERTIFICATE MUST BE POSTED IN A CONSPICUOUS PLACE

2001-2002 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1995-650-250 CERT CTYSTUART
PHONE (561) 286-5757 SIC NO 05091

LOCATION:
5162 SE FEDERAL HWY 106 MAR

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$	.00	LIC. FEE \$	25.00
\$	.00	PENALTY \$	.00
\$	.00	COL. FEE \$	.00
\$	.00	TRANSFER \$	.00
TOTAL	25.00		

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF **RETAIL SALES POOL & PATIO SUPPLIES**
AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

PINCH A PENNY
JESDERLEY INC
JESDERLEY, INC
5162 SE FEDERAL HWY 106
STUART FL 34997

13 DAY OF SEPTEMBER 20 01
AND, ENDING SEPTEMBER 30, 2002

12 01091302 004204



BUSINESSOWNERS POLICY DECLARATIONS

Issued By: NATIONWIDE PROPERTY AND CASUALTY INSURANCE COMPANY

DEC 05 2002

Policy Number: RENEWAL
77 BO 566-600-0001 F

BY: _____

Named Insured
Mailing Address **JESDERLEY INC**
DBA PINCH A PENNY 39
1116 N FEDERAL HIGHWAY
STUART FL 34994

Form of Business:
 Partnership/Joint Venture Sole Proprietorship
 Limited Liability Company Corporation
 Other:

Policy Period: From JUNE 4, 2002 to JUNE 4, 2003 at 12:01 A.M. * Standard Time
at your mailing address. *Exceptions: 12:00 Noon in New Hampshire

Described Premises:			Description of Business
Prem. No.	Bldg. No.	Location Address	
002	01	3620 S FEDERAL HIGHWAY FORT PIERCE FL 34982	HARDWARE STORES

Mortgage Holder Name and Address:		Mortgage Holder	Mortgage Holder
Prem. No.	Bldg. No.		

IN RETURN FOR THE PAYMENT OF THE PREMIUM, AND SUBJECT TO ALL THE TERMS OF THIS POLICY, WE AGREE TO PROVIDE YOU WITH THE INSURANCE AS STATED IN THIS POLICY.

PROPERTY COVERAGES Limits of Insurance for Buildings Replacement Cost (RC) / Actual Cash Value (ACV) Automatic Increase Business Personal Property Deductible \$ <u>500</u> Optional Coverage/Exterior Building Glass Deductible \$ <u>500</u>	<input type="checkbox"/> Standard Form	<input checked="" type="checkbox"/> Special Form	LIMITS OF INSURANCE	
			Premises No.	Building No.
			002	01
			\$	
			<input type="checkbox"/> RC <input type="checkbox"/> ACV	
				%
		\$	10,000	
This Policy Includes Business Income and Extra Expense Coverage.				



BUSINESSOWNERS POLICY DECLARATIONS

OPTIONAL PROPERTY COVERAGES — Applicable only if an "X" is shown in the boxes below:

- Outdoor Signs
- Tenant's Exterior Building Glass
- Interior Glass
 - Basement/ground floor level
 - All floors

RECEIVED
DEC 05 2002
BY: _____

- Burglary and Robbery (Standard Form only)
- or
- Money and Securities (Special Form only)

- Employee Dishonesty
-
- Earthquake
-
-
-

LIMITS OF INSURANCE	
\$	Per Occurrence
	Square Feet
Included:	
\$	Inside the Premises
\$	Outside the Premises
\$ 2,000	Inside the Premises
\$ 2,000	Outside the Premises
\$	Per Occurrence
% Deductible	
\$	
\$	
\$	

COVERAGE EXTENSIONS — Optional Higher Limits

- Accounts Receivable
- Valuable Papers and Records

LIMITS OF INSURANCE	
Premises No.	Building No.
002	01
\$	
\$	
\$	

ADDITIONAL COVERAGES — Optional Higher Limits

- Forgery and Alteration

LIABILITY AND MEDICAL EXPENSE COVERAGES

Except for Fire Legal Liability, each paid claim for the following coverages reduces the amount of insurance we provide during the applicable annual period. Please refer to Paragraph D.4. of the Businessowners Liability Coverage Form.

Liability and Medical Expense
Personal and Advertising Injury

Medical Expenses

Fire Legal Liability

General Aggregate Limit (other than Products-Completed
Operations and Fire Legal Liability)

Products-Completed Operations Aggregate Limit

LIMITS OF INSURANCE	
\$ 1,000,000	Any One Occurrence
Included in Above — Any One Person or Organization	
\$ 5,000	Any One Person
\$ 50,000	Any One Fire or Explosion
\$ 2,000,000	
\$ 1,000,000	

29 (Policy Provisions: WC 00 00 00 A)

97

EV

INFORMATION PAGE

WBC WORKERS COMPENSATION AND EMPLOYERS LIABILITY POLICY

INSURER: HARTFORD INSURANCE COMPANY OF THE SOUTHEAST
HARTFORD PLAZA, HARTFORD, CONNECTICUT 06115

NCCI Company Number: 20621
Company Code: J



RECEIVED
DEC 05 2002
BY: _____

00818
*1500121EV97290101

Suffix	
LARS	RENEWAL
	03

POLICY NUMBER: 21 WBC EV9729
Previous Policy Number: 21 WBC EV9729
HOUSING CODE: DD

1. Named Insured and Mailing Address: PINCH A PENNY #39 DBA JESDERLEY,
(No., Street, Town, State, Zip Code) INC.

753 NORTH FEDERAL HIGHWAY
STUART, FL 33494

FEIN Number: 593143928

State Identification Number(s):

The Named Insured is: CORPORATION
Business of Named Insured: RETAIL POOL SUPPLIES
Other workplaces not shown above: 5162 SOUTHEAST FEDERAL STUART, FL 34997

2. Policy Period: From 05/01/02 To 05/01/03
12:01 a.m., Standard time at the insured's mailing address.

Producer's Name: CONNELLY/PINCH-PENNY/SCIC

P. O. BOX 29611
CHARLOTTE, NC 28229

Producer's Code: 227431

Issuing Office: THE HARTFORD
8711 UNIVERSITY EAST DRIVE
CHARLOTTE NC 28213
(888) 253-4940

Total Estimated Annual Premium: \$4,520
Deposit Premium:
Policy Minimum Premium: \$381 FL

Audit Period: ANNUAL **Installment Term:**
The policy is not binding unless countersigned by our authorized representative.

Alan M. Schmoek
Authorized Representative

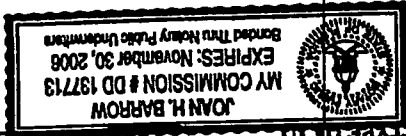
Form WC 00 00 01 A (1) Printed in U.S.A.
Process Date: 04/03/02

Page 1 (Continued on next page)
Policy Expiration Date: 05/01/03

ORIGINAL



12/01/99



/data/gp/brd/bldg_forms/Notc.nw

NOTARY SIGNATURE

John H. Barrow

OR
PERSONALTY KNOWN
TYPE OF ID
PRODUCED IN

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF December

SIGNATURE OF OWNER

[Signature]

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION
713.13(1)(B), FLORIDA STATUTES. _____
PHONE #: _____ FAX #: _____

NAME: None

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS
MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)(7), FLORIDA STATUTES: _____

ADDRESS: _____

LENDER: None

DATE: 12-17-02

BY: [Signature] MARSHA EWING, CLERK

BOND AMOUNT: _____

PHONE #: _____ FAX #: _____

ADDRESS: _____

SURETY COMPANY (IF ANY): None

PHONE #: 286-5757 FAX #: 286-5723

ADDRESS: 116 N Federal Hwy, Stuart, FL 34994

CONTRACTOR: Pinch-A-Penny Pool-Ret-Scra

PHONE #: 219-2316 FAX #: 493-3052

ADDRESS: 165 S Sewalls Point Road, Stuart, FL 34996

OWNER: Eric + Loree D. Coker

GENERAL DESCRIPTION OF IMPROVEMENT: Installation of heat pump for swimming pool

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE): Lot #7 Marguerita Subdivision Parcel #1, 165 Sewalls Pt Rd

STATE OF Florida

COUNTY OF Martin

NOTICE OF COMMENCEMENT

TAX FOLIO # _____ PERMIT # _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

Town of Sewalls Point (561) 220-4765

Dec 05 02 10:00a

P. 1



Gulf Stream

SWIMMING POOL HEAT PUMPS

The Best Choice for a Warm Pool!

Performance Specifications:

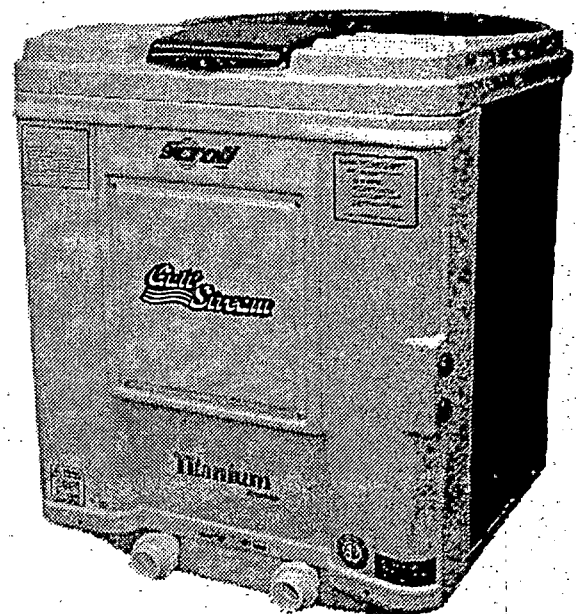


MODEL	GS-600	GS-1000*	GS-1500*
Compressor type	Scroll	Scroll	Trane
BTU Output	54,000	106,000	140,000
COP	4.9	5.7	5.25
Voltage / Hz / Phase	----- 208/230/60/1 -----		
Run Load Amps (RLA)	15	24	34
Min. Circuit Ampacity	15	40	40
Max. Breaker/Fuse Size	30	50	60
Water Flow Min/Max	----- 25 - 70 gpm -----		
Plumbing Size	1½"-2"	1½"-2"	1½"-2"
Thermostat Capacity	----- 60 - 104 degrees -----		
Dual Thermostat	Yes	Yes	Yes
Weight (Lb.)	225	315	325
Size (W x H x D) (inch)	26 x 29 x 27	32 x 40 x 41	32 x 40 x 41
Foot Print Size (D x W) (inch)	27 x 26	36 x 30	36 x 30

All units Rated & Certified in accordance with ASHRAE 164-1998

The Best Features for your pool!

- E-Z to read & program Dual Digital Thermostat
- Ultra-Quiet fan & Insulated Compressor
- Maintenance free, non-metal cabinet
- Powerful & Efficient
- Locking Control Cover
- Titanium Heat Exchanger available*
- Dual Evaporator Coil



Distributed By:

PINCH-A-PENNY #106
5162 SE FEDERAL HWY
STUART, FL 34997
(407) 286-5757

WARRANTY PROTECTION

15 yr. on Titanium Heat Exchanger
 10 yr. Compressor
 5 yr. Full Parts & Labor
 All units are rated & approved by the
 Pool Heat Pump Manufacturers Association



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1/8, 2004; 3 Page of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5880	NAULT	A/C FINAL	Passed	
	3 EAST HIGH POINT	ROOF FINAL	Passed	
	NAVARROT MAGG APT.			INSPECTOR: <i>[Signature]</i>
6076	JONES	Steel -	Passed	
(4)	14 HERON'S NEST	retaining wall		
	O/B	+ ext. Stairs		INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
TREE	JONES	TREE	Passed	
(5)	14 HERON'S NEST			INSPECTOR: <i>[Signature]</i>
	O/B			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6086	NEILD	ROOF SHEATHING +	Passed	
(3)	12 MIRAMAR RD	TINTAB		
	PAULICK CONST			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6070	JENKINS	Garage Door	Passed	
(1)	4 SABLE COURT (Pidgeoland)			
	Treasure Coast CarDr.			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6078	DICKER	POOL HEATER	Passed	
	1165 S. SEWALL'S Pt RD			
	PINCH A PENNY			INSPECTOR: <i>[Signature]</i>
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
5955	KNUDSON	FINAL POOL	Failed	P. Survey / Affid.
(2)	13 S. VIA LUCINDIA			Pence poles ??
	ALMAR JACKSON POOL			INSPECTOR: <i>[Signature]</i>

OTHER: TREE - TETTAMANTI
 trim & 19 NE LOETING WAY
 MONTY'S TREE SVC

~~19 E. ... wall ?~~
~~19 S. VIA LUC ... ?~~
~~4/2~~

9965

REROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	9965	DATE ISSUED:	JANUARY 4, 2012
SCOPE OF WORK:	REROOF		
CONTRACTOR:	ONSHORE ROOFING		
PARCEL CONTROL NUMBER:	133841011000-000709	SUBDIVISION	MARGUERITA - L7
CONSTRUCTION ADDRESS:	165 S SEWALLS PT RD		
OWNER NAME:	DICKER		
QUALIFIER:	JOSEPH KOLINOSKI	CONTACT PHONE NUMBER:	283-1505

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Permit Number: 9965

Date: _____

OWNER/TITLEHOLDER NAME: Ilona Dicker Phone (Day) _____ (Fax) _____

Job Site Address: 1655 Sewalls Pt. Rd City: Stuart State: FL Zip: 34994

Legal Description: Marguerita lot 7 Parcel Control Number: 133841 011 000 000 70 9

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): Re Roof tile to tile

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO
Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 25,220
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: Onshore Roofing Phone: 8831505 Fax: 8831557

Street: 1501 SE Decker Ave #304 City: Stuart FL State: _____ Zip: 34996

State License Number: CC1328994 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Trishal Holly Phone Number: 883-1505

DESIGN PROFESSIONAL: _____ Phone Number: _____

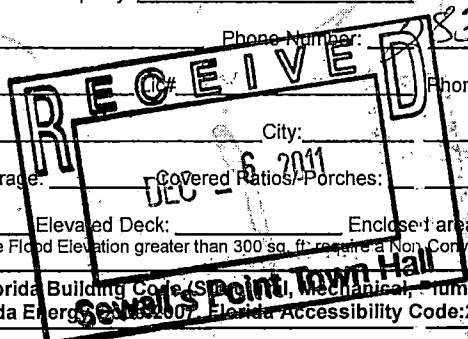
Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: 4000 Elevated Deck: _____ Enclosed area below BFE*: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Electrical Code: 2007 Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007



NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECTION 105.4.1, 105.4.1.1 - .5.

*******A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATION AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

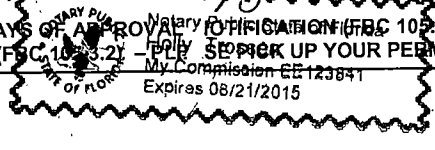
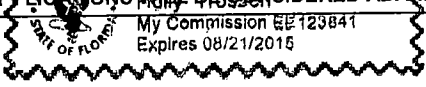
OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Ilona Dicker
State of Florida, County of: Martin
This the 5th day of December, 2011
by Ilona Dicker who is personally
known to me or produced N/A
as identification.

CONTRACTOR SIGNATURE: (required)
Joseph Kolinowski
On State of Florida, County of: Martin
This the 5th day of December, 2011
by JOSEPH KOLINOSKI who is personally
known to me or produced N/A
As identification.

My Commission Expires: Notary Public

My Commission Expires: Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.23.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.2) - **PLEASE PICK UP YOUR PERMIT PROMPTLY!**



Martin County, Florida Laurel Kelly, C.F.A

generated on 12/6/2011 1:35:02 PM EST

Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-011-000-00070-9	27868	165 S SEWALL'S POINT RD, SEWALL'S POINT	\$477,870	12/3/2011

Owner Information

Owner(Current)	DICKER ILONA
Owner/Mail Address	165 S SEWALLS POINT STUART FL 34996
Sale Date	2/2/1999
Document Book/Page	1369 0527
Document No.	
Sale Price	410000

Location/Description

Account #	27868	Map Page No.	SP-05
Tax District	2200	Legal Description	MARGUERITA S/D LOT 7
Parcel Address	165 S SEWALL'S POINT RD, SEWALL'S POINT		
Acres	.4260		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

Market Land Value	\$135,000
Market Improvement Value	\$342,870
Market Total Value	\$477,870

INSTR # 2305644
OR BK 02549 PG 1564
Pg 1564 (1pg)
RECORDED 12/06/2011 03:44:45 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY S Phoenix

PERMIT NUMBER: _____

NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY (Legal description of the property & street address, if available) TAX FOLIO NO.: 13-38-41-011-000-00070-9
SUBDIVISION MARGUERITA S/D LOT 7 BLOCK _____ TRACT _____ LOT 7 BLDG _____ UNIT _____
165 S SEWALLS PT. RD, STUART, FL 33497

2. GENERAL DESCRIPTION OF IMPROVEMENT:
REROOF

3. OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:

a. Name and address: ILONA DICKER, 165 S SEWALLS PT. RD, STUART, FL 33497

b. Interest in property: OWNER

c. Name and address of fee simple titleholder (if different from Owner listed above): _____

4. a. CONTRACTOR'S NAME: ONSHORE ROOFING SPECIALISTS, INC

Contractor's address: 1501 SE DECKER AVE. #304 STUART, FL 34994 b. Phone number: 772-283-1505

5. SURETY (if applicable, a copy of the payment bond is attached):

a. Name and address: _____

b. Phone number: _____ c. Amount of bond: \$ _____

6. a. LENDER'S NAME: _____

Lender's address: _____ b. Phone number: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

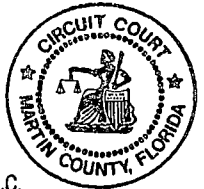
a. Name and address: _____

b. Phone numbers of designated persons: _____

8. a. In addition to himself or herself, Owner designates _____ of _____
to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

STATE OF FLORIDA
MARTIN COUNTY
THIS IS TO CERTIFY THAT THE
FOREGOING 1 PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY: [Signature] D.C.
DATE: 12-6-11



9. Expiration date of notice of commencement (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated therein are true to the best of my knowledge and belief.

[Signature]
(Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager)

ILONA DICKER
(Print Name and Provide Signatory's Title/Office)

State of FL

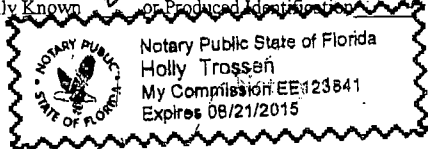
County of Martin

The foregoing instrument was acknowledged before me this 5th day of December 2011

by ILONA DICKER as _____
(name of person) (type of authority, ... e.g. officer, trustee, attorney in fact)

for _____
(name of party on behalf of whom instrument was executed)

Personally Known or Produced Identification Type of Identification Produced N/A



[Signature]
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)

LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS' REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT

A RESIDENTIAL STRUCTURE VALUED AT \$300,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
• A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

A RESIDENTIAL STRUCTURE VALUED AT \$750,000 OR MORE SHALL COMPLY WITH THE FOLLOWING:

When any activity requiring a building permit that is applied for on or after July 1, 2008, and for which the estimated cost is \$50,000 or more for a building that is located in the wind borne debris region as defined in s. 1609.2 of the Florida Building Code, Building:

- a. Opening protections as required within the Florida Building Code, Building or Florida Building Code, Residential for new construction shall be provided.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000.00 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED 1991 INSURED OR P.A. IMPROVED VALUE \$ 342,870

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

will install approved straps, tie or brackets to meet an uplift capacity of 500lb to the top plate or masonry walls

JOB SITE ADDRESS: 165 S. Sewalls Point Rd.

QUALIFIER NAME: Kevin Arbour LICENSE NO. CLC1327342

COMPANY NAME: Tradewind Homes PHONE NO.: 708-0975

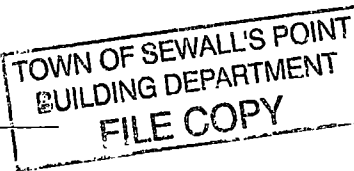
Qualifier's Signature

Owner's Signature

Date: 12/5/11

Date: 12-6-11

Sworn to and subscribed before me this 5 day of Dec 2011



Sworn to and subscribed before me this 6th day of December 2011

By Kevin Arbour Holly Tross

By Holly Tross

Notary Public, State of Florida

Notary Public, State of Florida

Personally known to me

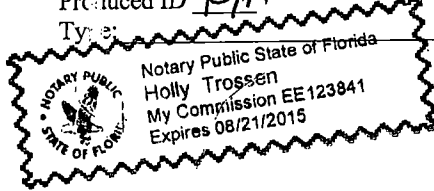
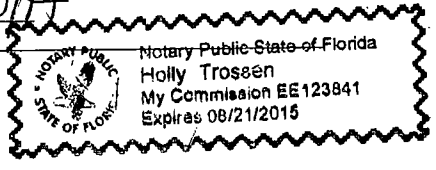
Personally known to me

Produced ID

Produced ID

Type:

Type:



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

RE-ROOF CERTIFICATION

PERMIT # _____
CONTRACTOR'S NAME: Orshore Roofing PHONE #: 283-1525 FAX: 283-1557
OWNER'S NAME: Dicker Lona
CONSTRUCTION ADDRESS: 165 S. Sewalls St CITY Stuart STATE FL
RE-ROOF: RESIDENTIAL (SINGLE FAMILY)

COMMERCIAL **--REMOVE/REINSTALL ROOF TOP HVAC EQUIP YES NO

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F. S. YES NO - INSURED VALUE OF RESIDENCE _____

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 4 /12 SLOPE

ROOF DECK:* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED
 RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".
 SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED & RENAILED

EXISTING ROOF COVERING: tile EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: tile

MANUFACTURER Monier PRODUCT NAME Barcelona 900 PRODUCT APPR # 07-0220.04

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK: Re-Roof

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR _____ DATE: 12/5/11

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION (FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:

_____ All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.

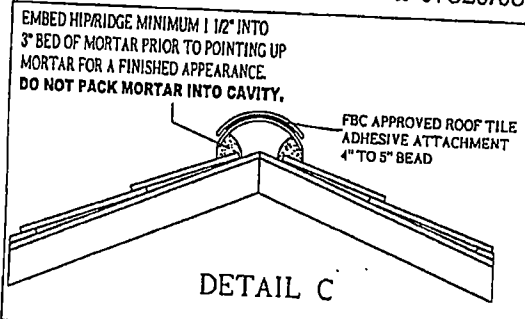
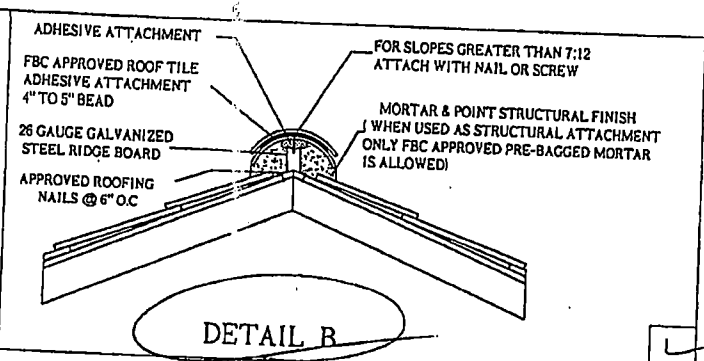
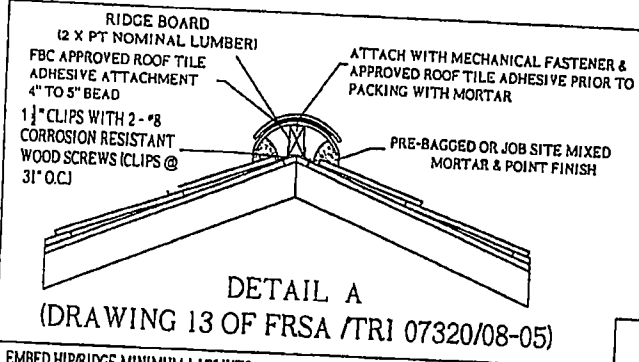
Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.

_____ Outside of the HVHZ, an underlayment complying with section 1507.2.3 of the Florida Building Code, Building fastened as described below or a layer of asphalt impregnated approved #30 felt shall be installed. The felt is to be fastened with 1" round plastic cap or metal cap nails, attached to a nailable deck in a grid pattern of 12 inches (305 mm) staggered between the overlaps, with 6-inch (152 mm) spacing at the overlaps. For slopes of 2:12 to 4:12 an additional layer of felt shall be installed in a single-fashion and lapped 19" and fastened as described above. (No additional underlayment shall be required over the top of this sheet.)

_____ Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



SELECTING "Detail C" REQUIRES CALCULATION OF HIP & RIDGE TILE
DESIGN PRESSURE (THIS CALCULATION IS BASED UPON **AVERAGE** WIDTH
AND **EXPOSED** LENGTH OF HIP AND RIDGE TILE TO BE INSTALLED.)

AVERAGE WIDTH _____ X EXPOSED LENGTH _____ ÷ 144 = _____ AREA
_____ AREA X 77.7 = _____ PSF

PSF NEEDS TO MEET OR EXCEED THE DESIGN PRESSURE
OF THE FBC APPROVED PRE-BAGGED MORTAR
(THIS CALCULATION WILL BE FIELD VERIFIED)
CONSULT FRSA MANUAL FOR MONO SLOPE ROOFS

* ROOFING PROJECTS WITH A MEAN ROOF HEIGHT OVER 30' REQUIRE A COMPLETE ROOF DESIGN CONFORMING TO
FRSA /TRI 07320/08-05 CONCRETE AND CLAY ROOF TILE INSTALLATION MANUAL



BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/building/

NOTICE OF ACCEPTANCE (NOA)

Polyglass USA Inc.
150 Lyon Drive
Fernley, NV 89408

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Polyglass Polystick Underlayments

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews and revises NOA # 09-0806.07 and consists of pages 1 through 8.
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 11-0601.10
Expiration Date: 09/13/16
Approval Date: 09/15/11
Page 1 of 8



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

MonierLifetile, LLC
200 Story Road
Lake Wales, FL 33853

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Barcelona 900 Concrete Roof Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 6.

The submitted documentation was reviewed by Jorge L. Acebo



NOA No.: 07-0220.04
Expiration Date: 04/26/12
Approval Date: 04/26/07
Page 1 of 6

Phone: (866) 781-6889 • Fax: (866) 784-8550
www.floridaengineeringandtesting.com
250 S.W. 13th Avenue
Pompano Beach, FL 33069

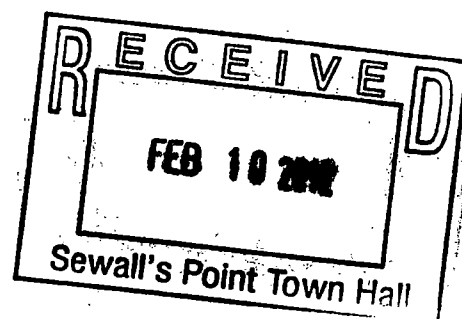
February 6, 2012

Job Order No.: 12-467
Permit No.: 9965

Onshore Roofing
1501 S.E. Decker Avenue #304
Stuart, Florida 34994

John PWP

RE: TAS-106 TILE UPLIFT TESTS
Proposed Roof
Dicker Residence
165 South Sewalls Point Road
Stuart, Florida



Dear Sir or Madam:

In accordance with your authorization, Florida Engineering & Testing Inc., has performed Tile Uplift Testing in compliance with Testing Application Standards **TAS-106** and the Florida Building Code High Velocity Hurricane Zone on February 3, 2012, at the above referenced project.

The purpose of our inspection was to determine the uplift capacity of the roof tiles for the residence at the above referenced project. The subject roof consisted of concrete s shaped tile foam set. The pitch of the subject roof is 5/12.

Our field engineer's representative visited the site and conducted one hundred four (104) uplift tests on the roof tiles. All tests were performed according to the Florida Building Code High Velocity Hurricane Zone and protocol **TAS-106** using an Intercomp scale model CS200. The following is a summary of results:

Field Test Results

Test Number	Test Location	Field Uplift Pull Test	Test Result
1 - 11 Corner	See Attached Diagram	35 ± 5 pounds	Passed
12 - 63 Perimeter	See Attached Diagram	35 ± 5 pounds	Passed
64 - 89 Field	See Attached Diagram	35 ± 5 pounds	Passed
90 - 104 Ridge & Hip	See Attached Diagram	35 ± 5 pounds	Passed

Page 2
February 6, 2012 Job Order No. 12-467
Onshore Roofing
Dicker Residence
165 South Sewalls Point Road
Stuart, Florida:



All test results were found to be in compliance with **TAS-106** and the Florida Building Code (see attached field sketch).

The test results are limited to the tested areas. If other roof areas exhibit different conditions, it should be brought to our attention for remedial work. This uplift test is not a final roof inspection. A final roof inspection must be conducted by the building official for approval.

The test results presented reflect the condition of the roof system at the time of the test. These results are time and sample dependent since roof conditions are continuously changing due to exposure to the elements.

Florida Engineering & Testing, Inc. (FE&T) is an independent third party providing unbiased testing information and results. FE&T is not affiliated with our client nor do we have any financial interest in the project or determination of the test results.

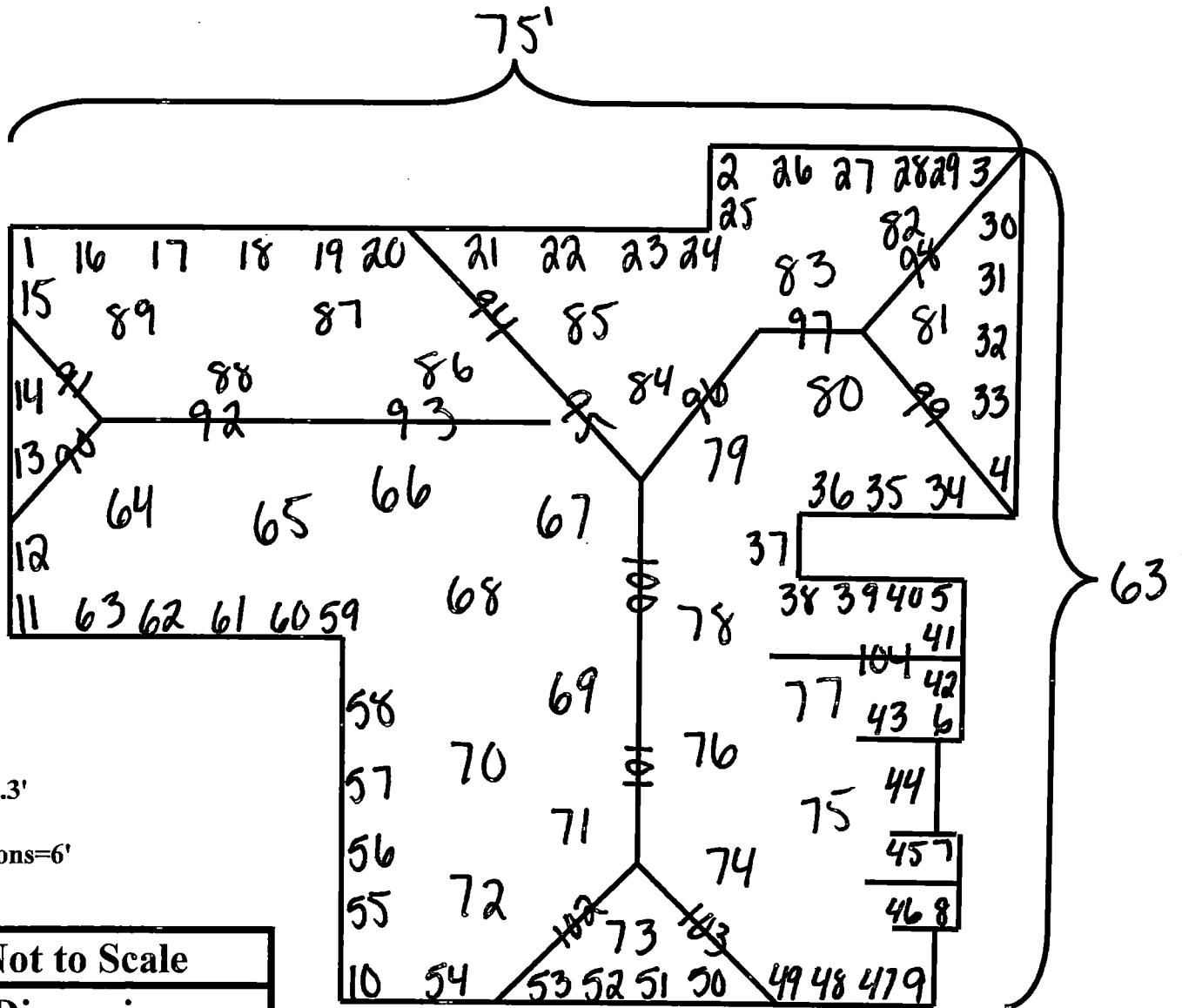
As mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statements, conclusions or extracts from or regarding our reports is reserved pending our written approval.

Florida Engineering & Testing, Inc., appreciates the opportunity to be of service to you at this phase of your project. If you have any questions or comments, please give us a call. We would be pleased to help in any way we can. It has been a pleasure working with you and look forward to doing so again in the near future.

Sincerely,

A handwritten signature in cursive script that reads "Reza Javidan" with the date "2/6/12" written below it.

Reza Javidan, P.E.
Florida Engineering & Testing, Inc.
Florida Reg. No. 60223
Certificate of Authorization No. 6923



$a=0.1W=0.1 \times 63=6.3'$
 $a=0.4H=0.4 \times 15=6'$
 Perimeter Dimensions=6'

Field Sketch-Not to Scale
Approximate Dimensions
165 South Sewalls Point Rd.
Stuart, Florida

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **5-12-12** Page **2** of **2**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
99165	Dicker	Sheathing		45 ⁰⁰ PCE
	1165 S Sewalls		Pass	NOO REPAIR
	On Show			INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9884	Creeden	Footing		
<u>AM</u>	1765 Sewalls		Pass	
	MJK Cont			INSPECTOR <i>AK</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9807	Lawless	dry-in/metal		
	12 Mandalay		Pass	
	OB			INSPECTOR <i>AK</i>

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

RE: Permit # 9965

Date 1/16/12

Inspection Affidavit

I Joseph Kolinowski, licensed as a(n) Contractor* /Engineer/Archite t,
(please print name and circle Lic. Type) FS 468 Building Inspector*

License #: CC1328994

On or about 1/15/12, I did personally inspect the roof
(Date & time)

deck nailing and/or secondary water barrier work at 165 S. Sewalls Pt. Rd
(circle one) (Job Site Address)

Based upon that examination I have determined the installation was done according to the
Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]
Signature

STATE OF FLORIDA
COUNTY OF

Sworn to and subscribed before me this 16 day of January, 2012

By JOSEPH KOLINOSKI

Notary Public, State of Florida

[Signature]
(Print, type or stamp name)

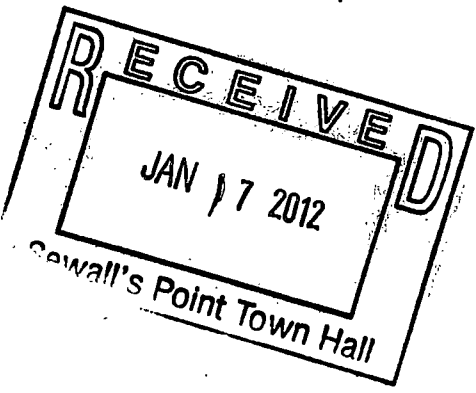
Commission No.: _____

Personally known or
Produced Identification _____
Type of identification produced. N/A

* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.



[Handwritten initials]



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **1-18-12** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
99165	165 Sewalls 165 Sewalls	dry dry		
	Onshore Roofing			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2-1-12 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9960	Hertwood 34 N River Rd Hemingway	UG Plumbing Pool Piping	PASS	INSPECTOR <i>A</i>
9985	LONGMAN D 166 S. 87 RD PINE CO	PRE PAID DRIVEWAY	PASS	INSPECTOR <i>A</i>
9965	Dicker 165 S 5 RD ON SHORE	ROOF TILE IN PROGRESS	PASS	ROOF COMPLETE NEEDING LTR ON ROLL TEST INSPECTOR
9391	Woods 32 E High Pt Pool Cramer	Final Pool & SPA	PASS	CLOSE INSPECTOR <i>A</i>
9327	Woods 32 E High Pt Capital Auto	Final Retaining wall	PASS	CLOSE INSPECTOR <i>A</i>
	INVESTIGATE VIA LUCINDIA STRESS CRACKS FROM PINE CO EQUIP			INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

2-13-12

Page 1 of

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9915	L. Dicker	roof final	Pass	Close
	165 SSP Rd.			
	On Shore Roofing			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9561	Woods	Final SPA in master	Cancel	
	32 E High Pt			
	Pool Crafters			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9984	Price	rough doors	Pass	
	22 Feldway			
	OB			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9879	Augustine	Final Pool	Pass	Close
	9 Indaluce			
	Schiller			INSPECTOR <i>JA</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	4 RIVERVIEW			
				INSPECTOR

TREE

TOWN OF SEWALL'S POINT

~~APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT~~

Permit # 2002

Date Issued: 2/20/02

This application shall include a written statement giving reasons for removal, relocation, or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner ES+IRDICKER Address 165 S. Sewall Pt Rd Phone (561) 219 2316

Contractor Doug Hazen Address 1163 SW Hibiscus Str Phone (561) 336-9836

Number of trees to be removed (list kinds of trees) ^{PSL} Brazilian Pepper (2) one surrounding Cabbage Palm near house; other surrounding a cabbage palm on our land by water

Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

None. wish to remove Brazilian Peppers which are choking the Cabbage Palms

Number of trees to be replaced: (list kinds of trees):

Permit Fee \$ _____

\$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement and are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant _____ Plans approved as marked _____

Approved by Building Inspector [Signature] Date submitted: 2/20/02

Completed _____
Date _____ Checked by _____

~~THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT A FEE. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.~~

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA