

167 South Sewall's Point Road

457

DOCK

WN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Issued

Permit No. 457
Date 3-26-74

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner DOUGLAS REED Present Address MANDALAY ROAD Ph _____

General Contractor DOSS MARINE Address P.O. BOX 172 Ph 282-5663

Where licensed MARTIN CO. License No. 183

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on _____

Subdivision MANDALAY Lot No. 1-2 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) DOSS

Contract Price (excluding land, rugs, appliances, landscaping) \$ 5000⁰⁰

Total cost of permit \$ 5000⁰⁰

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Josh Doss
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Douglas Reed
Signed by Owner

C. Knull
3-20-74 OTR
3/25/74

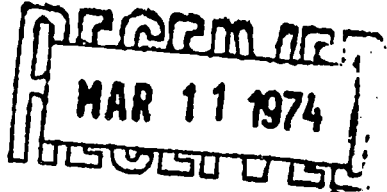
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted _____

Date approved FINAL 6/28/74

Certificate of Occupancy issued _____ Date _____



457

457



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT, CORPS OF ENGINEERS
FEDERAL BUILDING, P. O. BOX 4970
JACKSONVILLE, FLORIDA 32201

PERMIT

SAJSC Permits 73-1380

District Engineer, Corps of Engineers
Jacksonville, Florida

7 MAR 1974

Mr. G. Douglas Reed
% Larson, O'Neill & Baggett, Inc.
30 East Ocean Blvd.
Stuart, Florida 33494

Dear Mr. Reed:

Referring to written request dated 19 November 1973, upon the recommendation of the Chief of Engineers, and under the provisions of Section 10 of the Act of Congress approved March 3, 1899 (33 U.S.C. 403), entitled "An act making appropriations for the construction, repair, and preservation of certain public works on rivers and harbors, and for other purposes," you are hereby authorized by the Secretary of the Army

to construct an 85 ft. pier with an L-head and place two mooring piles

in St. Lucie River, easterly shore

at Mandalay Road, Sec. 12, Twp. 38 S., Rge. 41 E., Town of Sewalls Point,
Martin County, Florida

in accordance with the plans and drawings attached hereto marked:

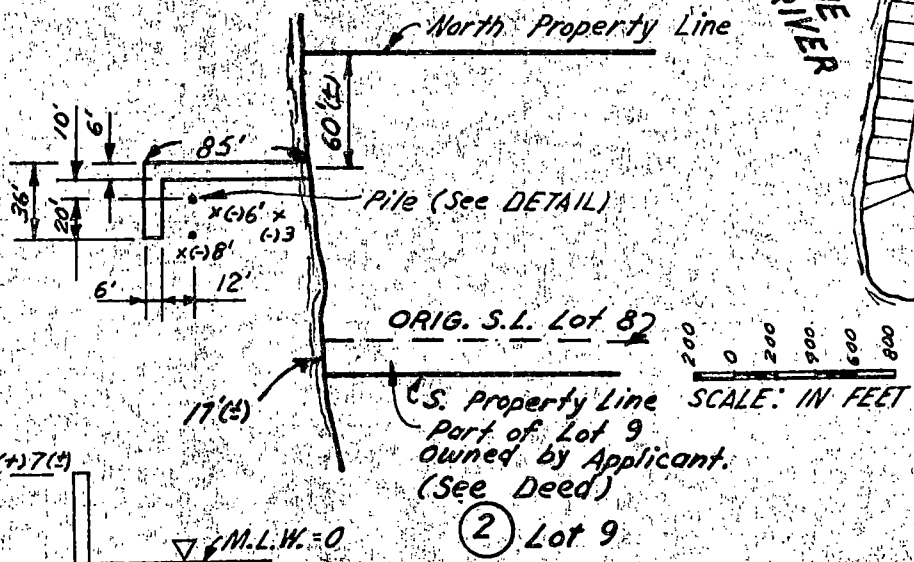
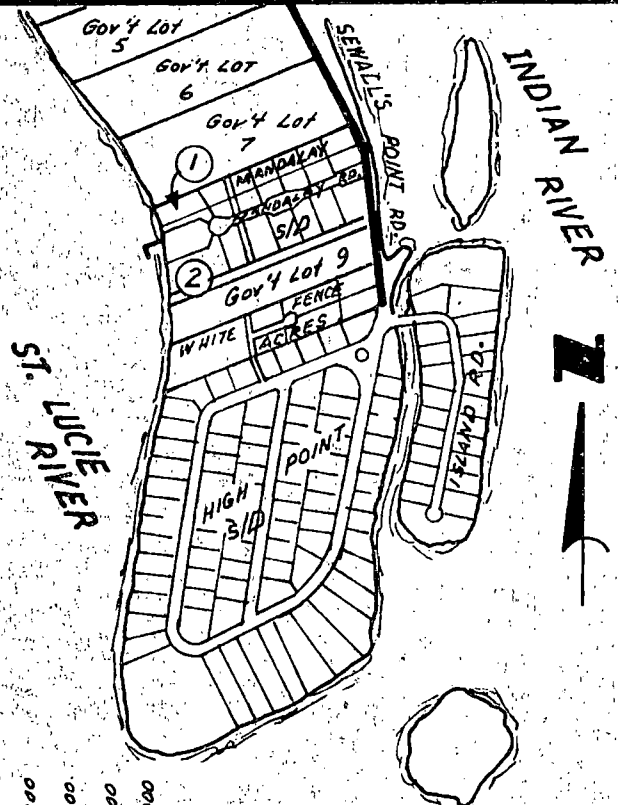
Proposed Dock

subject to the following conditions:

Permit 73-1380

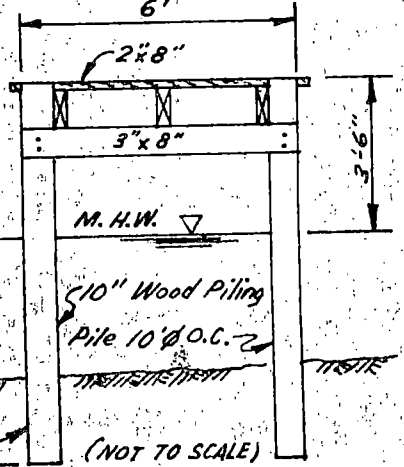
- ① MR. J. STOCKTON BRYAN
330 BRAZILIAN AVENUE
PALM BEACH, FLORIDA
33480
- ② LEROY WAGSTAFF
MANDALAY ROAD
SEWALL'S POINT FLA.
33457

DESCRIPTION:
Lot 8, MANDALAY SUBDIVISION,
as Recorded in P.B. 4, Pg. 86
MARTIN COUNTY, FLORIDA



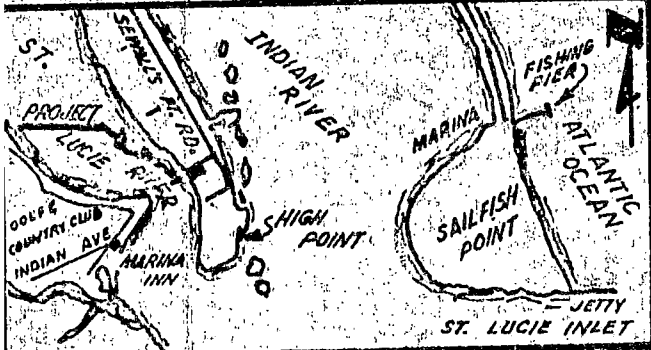
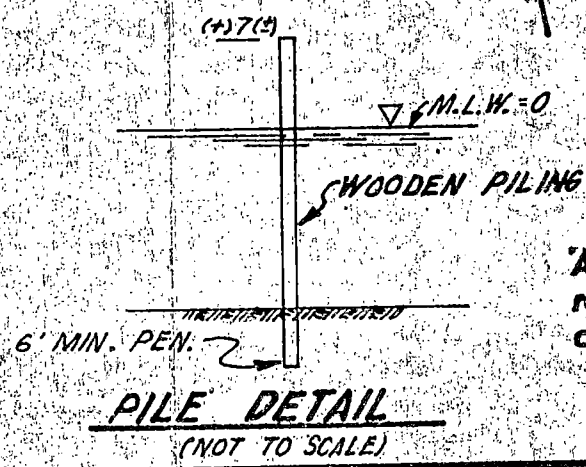
② Lot 9
PLAN VIEW
SCALE: 1"=100'

NOTE:
ALL ELEVATIONS SHOWN
REFER TO M.L.W.=0



②
TYPICAL SECTION THRU DOCK
(NOT TO SCALE)

Approval of these plans in NO-WAY
relieves the contractor or builder of
complying with the Town of Sewall's
Point's Ordinances and the South
Florida Building Code.



LOCATION SKETCH
SCALE: 1"=6000'

**PROPOSED DOCK PERMIT
FOR
MR. G. DOUGLAS REED
SEWALL'S POINT, MARTIN COUNTY, FLA.**
APPLICATION PREPARED BY
LARSON, O NEILL & BAGGETT, INC.
JULY, 1973

October 11, 1973

Mr. M. R. Baggett, P. E.
Larson, O'Neill & Baggett, Inc.
30 East Ocean Boulevard
Stuart, Florida 33494

Re: Proposed Dock (G. Douglas Reed)

Dear Mr. Larson:

Enclosed herewith are the letters of no objections along with sketches of the dock which G. Douglas Reed wishes to construct.

I believe whis will suffice for your application to Tallahassee.

Sincerely yours,

TOWN OF SEWALL'S POINT

Robert W. Wilson, Jr.
Vice-Mayor

RWW/ab
Enc:

October 11, 1973

Internal Improvement Fund
Eliot Building
Tallahassee, Florida 32304

Re: Proposed Dock (G. Douglas Reed)

Gentlemen:

Please be advised that at a Regular Meeting of the Board of Commissioners of the Town of Sewall's Point on Wednesday, October 10, 1973, the Board of Commissioners have no objections to the plans for the proposed dock on the property of G. Douglas Reed in the waters of the St. Lucie River.

Town of Sewall's Point
Board of Commissioners

Robert W. Wilson, Jr.
Vice-Mayor

RWW/ab

LARSON, O'NEILL & BAGGETT, INC.
CONSULTING ENGINEERS
30 EAST OCEAN BOULEVARD
STUART, FLORIDA 33494
TEL. (305) 287-3733

SUBDIVISION DEVELOPMENT
STRUCTURAL DESIGN
SEWAGE TREATMENT
PERCOLATION TESTS
WATER SUPPLY SYSTEMS
ENGINEERING INSPECTION

K. G. LARSON, P.E.
J. J. O'NEILL, P.E.
M. R. BAGGETT, P.E.

August 14, 1973

Town of Sewall's Point
No. 1 Sewall's Point Road
Jensen Beach, Florida 33457

Re: Application for dock permit for G. Douglas Reed

Gentlemen:


On behalf of our client, we are requesting a letter of no objection from the Town Commission for the construction of a dock in the waters of the St. Lucie River.

We enclose for your use, 6 copies of our drawing and copies of letters of no objection from the adjoining riparian property owners.

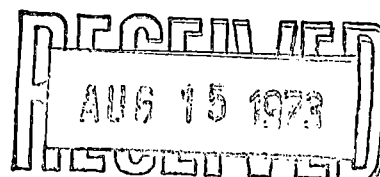
If there are any questions, please contact this office.

Thank you for your cooperation.

Sincerely,


M.R. Baggett, P.E.

MRB:tls
Encls.
cc: Mr. G. Douglas Reed



LARSON, O'NEILL & BAGGETT, INC.
CONSULTING ENGINEERS
30 EAST OCEAN BOULEVARD
STUART, FLORIDA 33494
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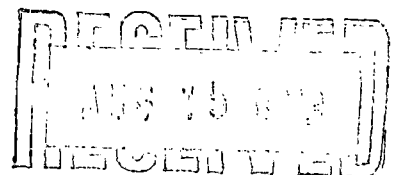
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Thank you for your cooperation.

Sincerely,

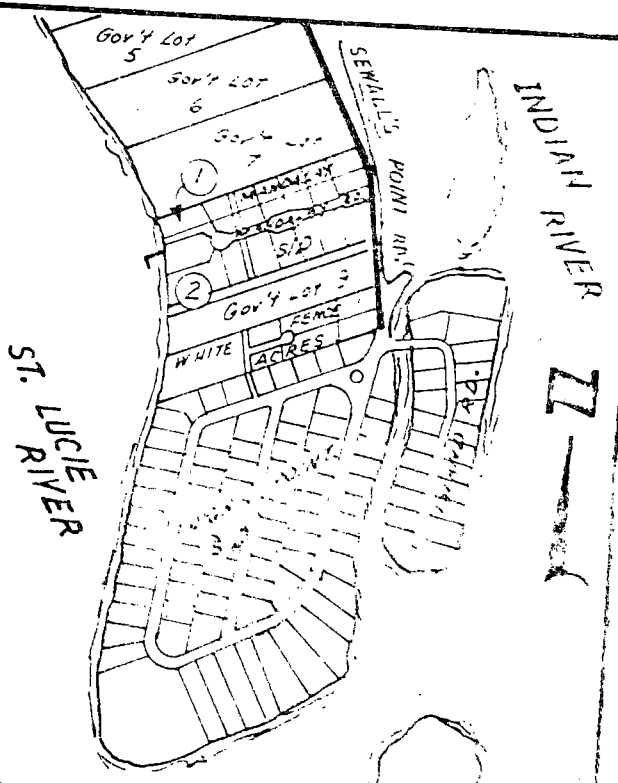

M.R. Baggett, P.E.

MRB:tls
Encls.
cc: Mr. G. Douglas Reed

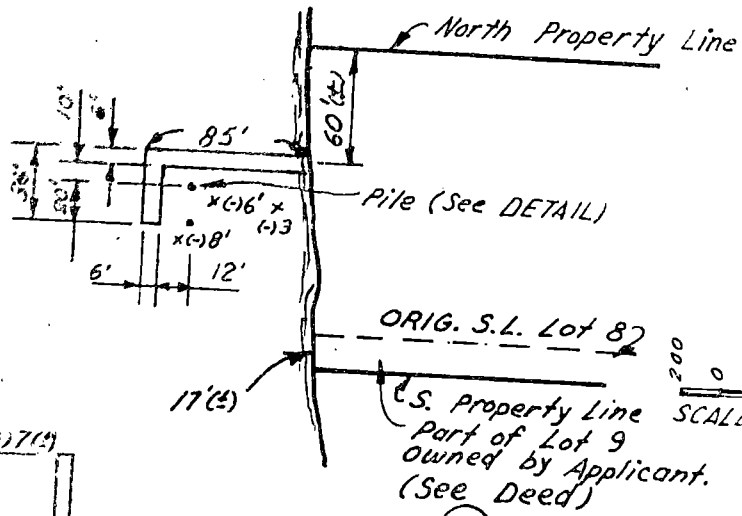


- ① MR. J. STOCKTON BRYAN
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- ② LEROY WAGSTAFF
MANDALAY ROAD
SEWALL'S POINT FLA.
33457

DESCRIPTION:
Lot 8, MANDALAY SUBDIVISION,
as Recorded in P.B. 4, Pg. 86
MARTIN COUNTY, FLORIDA



① Lot 7

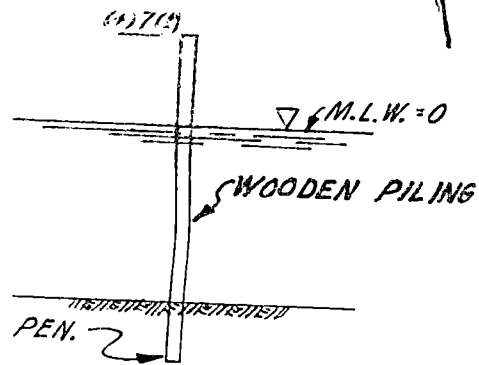


SCALE: IN FEET
0 200 400 600 800

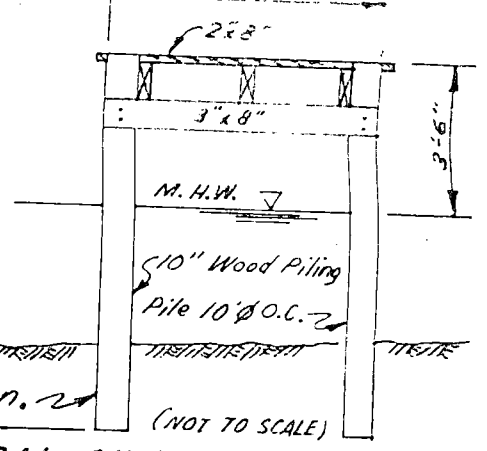
② Lot 9

PLAN VIEW
SCALE: 1"=100'

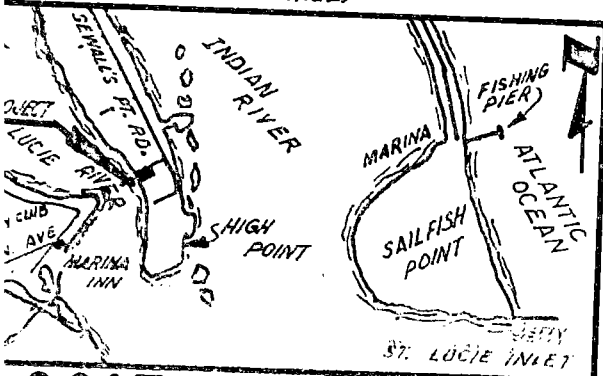
NOTE:
ALL ELEVATIONS SHOWN
REFER TO M.L.W. = 0



PILE DETAIL
(NOT TO SCALE)



TYPICAL SECTION THRU DOCK



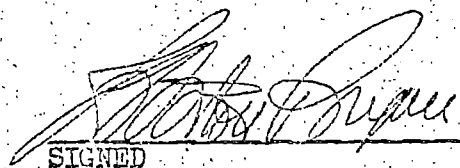
LOCATION SKETCH
SCALE: 1"=6000'

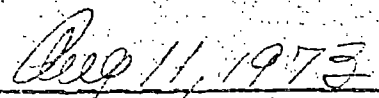
PROPOSED DOCK PERMIT
FOR
MR. G. DOUGLAS REED
SEWALL'S POINT, MARTIN COUNTY, FLA.
APPLICATION PREPARED BY
LARSON, O NEILL & BAGGETT, INC.
JULY, 1973

LETTER OF NO OBJECTION

TO WHOM IT MAY CONCERN:

AS ADJACENT PROPERTY OWNER, I HAVE NO OBJECTION TO THE
CONSTRUCTION OF A DOCK & PILING BY MR. G. DOUGLAS REED
AT HIS PROPERTY ON THE ST. LUCIE RIVER IN SEWALL'S POINT.


SIGNED


DATE

LETTER OF NO OBJECTION

TO WHOM IT MAY CONCERN:

AS ADJACENT PROPERTY OWNER, I HAVE NO OBJECTION TO THE
CONSTRUCTION OF A DOCK & PILING BY MR. G. DOUGLAS REED
AT HIS PROPERTY ON THE ST. LUCIE RIVER IN SEMALL'S POINT,

*if constructed in accordance
with drawing 73-150-01 prepared
by Larry Ouellet, as sent
to me attached to the letter of July 25, 1973
to me.*

Lo Ray Waples
SIGNED

Aug 2 1973
DATE

760

POOL

RECEIVED
NOV 2 1977
REGISTERED

OF SEWALL'S POINT, FLOR
APPLICATION FOR BUILDING PERMIT

Permit No. 760
Date 11-2-11/28/77

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of Deed required for new home construction.

Owner W.E GARY Present Address 1619 Arapaho Ave. Stuart, FL 33494 Ph 283-8260

General Contractor RICHARD JACOBS Address 3366 S.E. CASSELL LN. STUART, FL 33494 Ph 283-2400

Where licensed STATE FL License No. CBE002513

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on 167 S. SEWELLS POINT ROAD

Subdivision MANDALAY Lot No. ONE Area 30,750 sq ft

Building area, inside walls (excluding garage, carport, porches) Sq ft 6200

Other Construction (Pools, additions, etc.) Pool enclosure AND WALL

Contract Price (excluding land, rugs, appliances, landscaping) \$ 173,000.00

Total cost of permit: \$ 885.00 865.00

Plans approved as submitted _____ Plans approved as marked ✓

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Richard Jacobs
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

W.E Gary by Richard Jacobs
Signed by Owner

Insurance + Work Com
in

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 11/28/77 Joe Rankin
Date approved 11/28/77 Richard Jacobs

Certificate of Occupancy issued 4 Oct 1978 JEG Date

760

NEIL W. MACMILLAN

MacMILLAN & SHEAR, P.A.
Attorneys at Law
1074 N. E. Commercial Street
JENSEN BEACH, FLORIDA 33457

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 22 day of August 19 77, Between

CHARLES HEITZMAN and NORMA R. HEITZMAN, his wife,

of the County of Martin, State of Florida

WILLIE E. GARY and GLORIA R. GARY, his wife,

whose post office address is 1619 Arapaho, Stuart

of the County of Martin, State of Florida

RECEIVED
NOV 7 1977

Witnesseth, That said grantor, for and in consideration of the sum of

----- TEN DOLLARS AND NO CENTS ----- Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Martin County, Florida, to-wit:

Lot #1, Mandalay Subdivision, as recorded in Plat Book 4, Page 86, Public Records of Martin County, Florida.

SUBJECT to covenants, restrictions and easements of record and to the zoning of the Town of Sewalls Point.

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
\$ 7.50

DOCUMENTARY SUR TAX
\$ 27.58

Handwritten initials

27 AUG 95 A 9:30

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

Kathryn Myers
Judith L. Bernice

Charles Heitzman (Seal)
Norma R. Heitzman (Seal)

STATE OF FLORIDA
COUNTY OF MARTIN

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared CHARLES HEITZMAN and NORMA R. HEITZMAN, his wife,

to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 22 day of August

1977.
Judith L. Bernice
Notary Public

My commission expires:

O R BOOK

427 PAGE 113

#760

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Application and Permit
of
Individual Sewage Disposal Facilities

Application/Permit No. HD 77-851 THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE MARTIN County Health Department

Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of plat of subdivision. If not platted, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287-2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.) SEWALL'S POINT ROAD
Lot 1 Block - Subdivision MANDALAY
Date Platted 22 DEC 1964 Directions to Job SOUTH ON SEWALL'S POINT ROAD
2. Owner or Builder RICHARD JACOBS CONSTR. CO INC.
P.O. Address Box 3366 S.E. CASSEL LANE, STUART, FL, 33494
Septic tank system to be installed by:

Scale 1" = 50'

5 BEDROOMS

(Rear)

3. Specifications:

1200 gallon tank with
500 square feet of
drainfield with at least
4" inside diameter pipe.

4. House to be constructed:
Check one: FHA
VA Conventional

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: R. JACOBS CONSTR. CO.
Please Print

Signature: R. Jacobs Constr. Co., / R.G. Larson Date: 11.10.77

(Name of Street or State Road)
(Side)

REMOVE ALL IMPERVIOUS MATERIALS TO A DEPTH OF 6' AND BACKFILL WITH A GOOD GRADE OF SAND IN ENTIRE AREA OF DRAINFIELD.

SEE ATTACHED SHEET

(Name of Street or State Road)
(Side)

(Front)

(Name of Street or State Road)

***** DO NOT WRITE BELOW THIS LINE *****
Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: Trenches if possible

The above signed application has been found to be in compliance with Chapter 10D-6, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.
By: John S. Coles, R.S. County Health Dept. Martin Date 11/16/77

Section IV - Final Construction Approval

Construction of installation approved: Yes No

Date: _____ By: _____

FHA No. _____ VA No. _____

#760

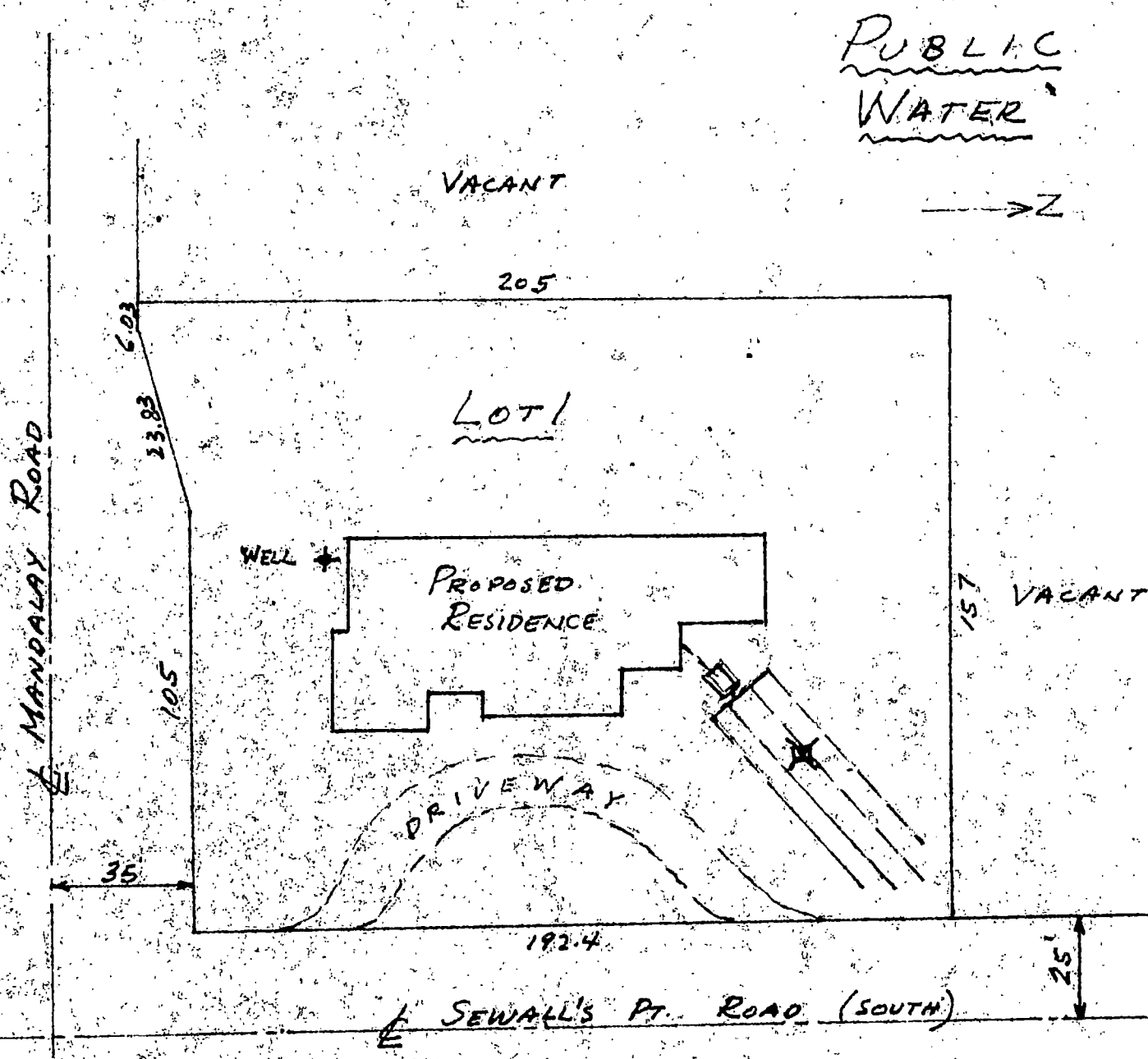
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

Location: LOT 1 - MANDALAY S/D DATA SHEET Applicant: R. JACOBS CONSTR. CO. INC.
SEWALL'S PT. RD. (SOUTH) County: MARTIN

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters; nor within 75 feet of any private well; nor within 100 feet of any public water supply; nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.

NO INTERFERENCES



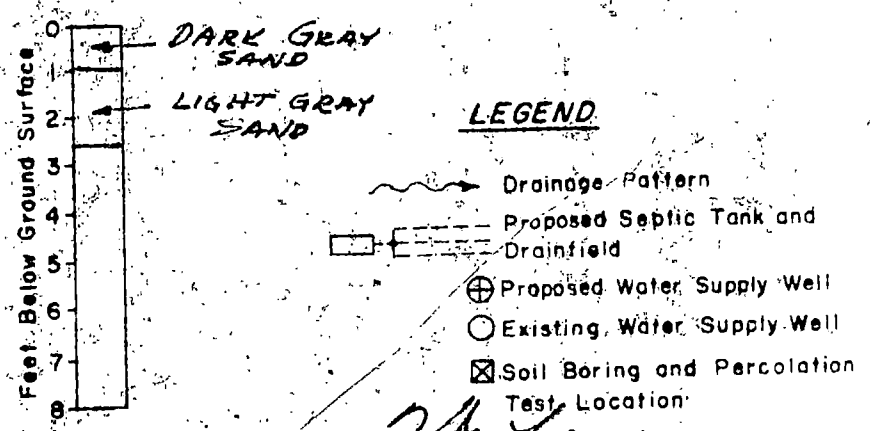
PUBLIC WATER

NO INTERFERENCES
SOIL DATA

PLAN
Scale: 1" = 40'

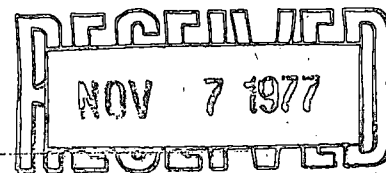
SOIL BORING LOG
Soil Identification CLASS I GROUP SW
Soil Characteristics SANDY

Percolation Rate 1/2 min/inch
Water Table Depth 23"
Water Table Depth During Wet Season 23"
Compacted Fill Of 18" Req'd MIN
Compacted Fill Checked By: [Signature]



CERTIFIED BY: [Signature]
FLORIDA PROFESSIONAL No. 16557
Date 11.14.77 Job No. 77-170-03
Sheet 2 of 2

Lands.	4,500.00	193,723.00
App.	4,417.00	173.
Capit	10,000.00	
	<hr/>	<hr/>
	18,917.00	20,723.00



AIA Document A107

Standard Form of Agreement Between Owner and Contractor

Short Form Agreement for Small Construction Contracts

Where the Basis of Payment is a
STIPULATED SUM

THIS DOCUMENT HAS IMPORTANT LEGAL CONSEQUENCES; CONSULTATION WITH
AN ATTORNEY IS ENCOURAGED WITH RESPECT TO ITS COMPLETION OR MODIFICATION

For other contracts the AIA issues Standard Forms of Owner-Contractor Agreements and Standard General Conditions
of the Contract for Construction for use in connection therewith.

AGREEMENT

made this 21st day of October in the year Nineteen
Hundred and Seventy Seven

BETWEEN

Mr. and Mrs. Willie E. Gary the Owner, and
Richard Jacobs Co., Inc. the Contractor

The Owner and Contractor agree as set forth below.

#760

**ARTICLE 1
THE WORK**

The Contractor shall perform all the Work required by the Contract Documents for
(Here insert the caption, descriptive of the Work as used on other Contract Documents.)

For Mr. and Mrs. W. E. Gary - Plans by Advance Design and Planning Service, Sheets A1 through A5 dated 28th of July, 1977. Code No. 7-3-100 and specification items 1 through 20 dated 21st of October, 1977. The cost breakdown by Richard Jacobs Co., Inc., dated August 23, 1977 and revised September 7, 1977 to be used as a guide to adjust prices up or down and to show allowance items.

**ARTICLE 2
ARCHITECT**

The Architect for this Project is

Advance Design and Planning Service

**ARTICLE 3
TIME OF COMMENCEMENT AND COMPLETION**

The Work to be performed under this Contract shall be commenced

within 5 days from bank closing date and building permit issued.

and completed within 180 calendar days

**ARTICLE 4
CONTRACT SUM**

The Owner shall pay the Contractor for the performance of the Work, subject to additions and deductions by Change Order as provided in the General Conditions, in current funds, the Contract Sum of
(State here the lump sum amount, unit prices, or both, as desired.)

One Hundred Ninety Three Thousand Seven Hundred Twenty Three and
00/100 (\$193,723.00).

ARTICLE 5
PROGRESS PAYMENTS

Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as follows:

On or about the 1st of each month for materials and labor installed less 10% retention - to be paid by the 10th of each month.

ARTICLE 6
FINAL PAYMENT

The Owner shall make final payment 30 days after completion of the Work, provided the Contract be then fully performed, subject to the provisions of Article 17 of the General Conditions.

ARTICLE 7
ENUMERATION OF CONTRACT DOCUMENTS

The Contract Documents are as noted in Paragraph 8.1 of the General Conditions and are enumerated as follows:
(List below the Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), Drawings, Specifications, Appendix and Alternates, showing page or sheet numbers in all cases and dates where applicable.)

1. Sheets A1 through A5 dated July 23, 1977 by Advance Design and Planning Service.
2. Specification sheet Items 1 through 20 dated October 21, 1977.
3. Cost breakdown dated August 23, 1977 and revised September 7, 1977.

This Agreement executed the day and year first written above.

OWNER

Willie E. Gary
Alma R. Gary

Mr. and Mrs. W. E. Gary

CONTRACTOR

Richard Jacobs
Pres

Richard Jacobs Co., Inc.

Partial Specifications

10-21-77

1. Patio screened in from top to bottom
2. Electric grill on patio
3. Rock or stone around the facing of the fireplaces in house (no brick)
4. Built-in china cabinet in dining area
5. Cover for swimming pool
6. Pool table in recreation room
7. Built-in sprinkler system
8. Special chandeliers (dining \$1000 and foyer \$1000)
9. Kohler faucets (Centura)
10. Allowance \$20 per yd. for carpet (installation included)
11. Plumbing bids must include hook-up to city water system
12. Allowance \$16.00 per sheet for paneling
13. Allowance \$1000 intercom, AM-FM radio and speakers
14. GE Kitchen appliances
15. \$4500 allowance for landscaping
16. Driveway in front of house in rock - Driveway to garage concrete
17. Right side of wall mirrored from floor to wall in conversation area
18. Rear wall in dining area mirrored from floor to ceiling
19. Wall nearest to door in master bedroom mirrored from floor to ceiling
20. Adequate outdoor lighting

RECEIVED
NOV 2 1977

(Owner Copy)

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 11-2-77

This is to request that a Certificate of Approval for Occupancy be issued to RICHARD JACOBS Co Inc For property built under Permit No. 760 Dated _____ when completed in conformance with the Approved Plans.

Richard Jacobs
Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	12/6/77 - 4/3/78	Slab 12/8/77
Rough plumbing	12/2/77	
Perimeter beam	12/21/77	
Rough electric	3/22/78	
Close in	3/22/78	
Final plumbing	10/4/78	
Final electric	10/4/78	

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector 10/4/78 ell date

Approved by ^{Bldg} Town Commissioner 4 Oct 1978 jj date

Utilities notified 4 Oct 1978 date

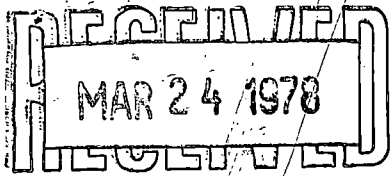
Original Copy sent to _____

(Keep carbon copy for Town files)

#760

807

WALL



TOWN OF SEWALL'S POINT, FLOR.

APPLICATION FOR BUILDING PERMIT

Permit No. 807

Date 3/30/78

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of property Deed required for new home construction.

Owner Willie Gary Present Address 1619 Arapaho Avenue Ph 283 420

General Contractor Richard Harbo Construction Address Squats Ph _____

Where licensed Manatee County License No. _____

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on _____

Subdivision MANOMA Lot No. #2 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) None

Contract Price (excluding land, rugs, appliances, landscaping) \$ 4,000

Total cost of permit \$ 20.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

Signed by General Contractor [Signature]

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner [Signature]

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted [Signature] Commissioner 30 Mar '78

Date approved 3/29/78 [Signature]

Certificate of Occupancy issued Final Inspection OK. Date 11/15/78

RECORDED
MAR 24 1978

MANDALAY ROAD

5' FENCE

205.00

N 29°00'00" W

3' FENCE

123.00

4

2

123.00

5" FENCE

6.97

3' FENCE

N 17°00'00" E - 28.33

2

1

5' FENCE

157.00

PRIN

SEIVALLS

POINT ROAD

67.94

A 110°17'00" - 127.46

3/27/78
Charles A. Jones

3/30/78
John C. Guenther

#807

TOWN HALL COPY

GARY WALL - LOT 2

870

SCREEN ENCLOSURE

RECEIVED
SEPT 5 1978

TOWN OF
SEWALL'S POINT
FLORIDA

Permit No. 760
Date _____

870

APPLICATION FOR BUILDING PERMIT

This application must be accompanied by three sets of complete plans, to scale (1/4" scale for building drawings), including plot plan, foundation plan, floor plans, wall and roof cross-sections, plumbing and electrical layouts, and at least two elevations, as applicable. A copy of the property deed is required for new house construction.

-Owner GARY Present address _____

Phone _____

-General contractor SCREENCO JACOBS address 3766 S.W. CASSELL LN

Phone 287 7195

Where licensed STATE License No. _____

-Plumbing contractor _____ License No. _____

-Electrical contractor _____ License No. _____

-Name the street on which the building, its front building line and its front yard will face _____

Subdivision MANDALAY Lot No. 1 Area _____

-Building area, inside walls (excluding garage, carport, porches, etc.)..square feet _____

-Other construction (pools, additions, etc.) SCREEN

-Contract price (excluding land, carpeting, appliances, landscaping, etc) \$ 3700

-Total cost of permit \$ 29200

-Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the building must be completed in accordance with the approved plan, and that the site will be clean and rough-graded within the 12 month period.

Ronald J. ...
General Contractor

I understand that this building must be in accordance with the approved plans and that it must comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I agree that within 90 days after the building has been approved for occupancy, the property will be landscaped so as to be compatible with its neighborhood.

Owner

Note: speculation builders will be required to sign both of the above statements.

TOWN RECORD Date submitted _____

Approved: Charles A. Dunbar Building Inspector Date 9/16/78

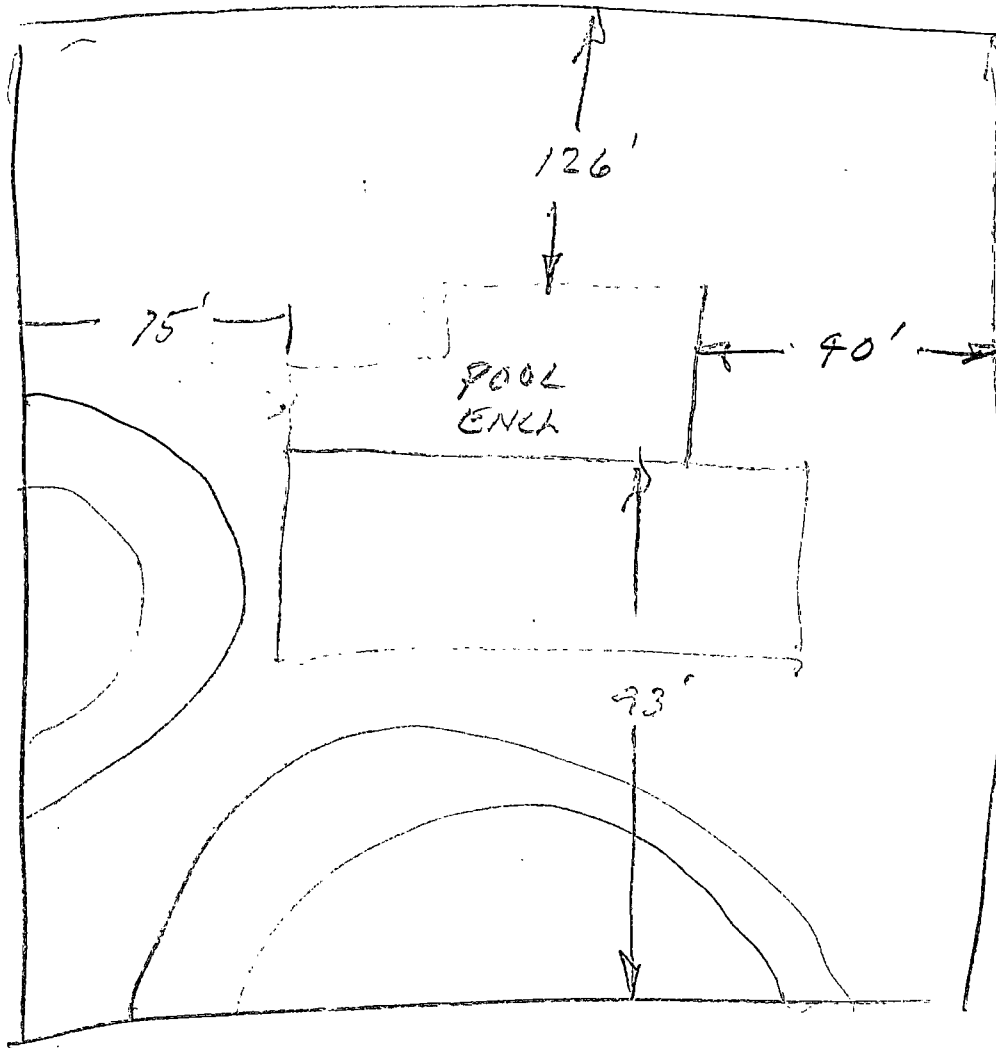
Approved: James ... Commissioner Date 6 Sep 1978

Certificate of Occupancy issued Final OK Date 3/1/79

870

GARY

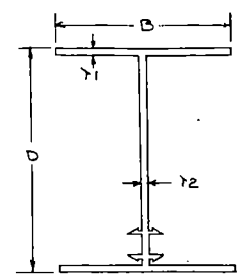
APPROVED
AUG 5 1978
REGISTERED



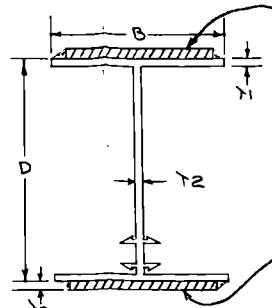
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COLUMN & BEAM SCHEDULE

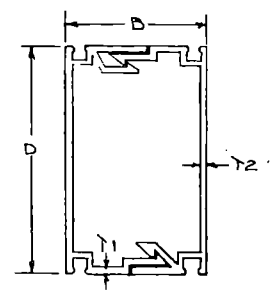
MARK	TYPE	SIZE		THICKNESS			MAX. BEAM SPAN C-C			
		B	D	T1	T2	T3	5'-0"	6'-0"	7'-0"	8'-0"
503	A	3.0	5.0	.094	.050		23'-6"	22'-6"	21'-4"	20'-3"
503	B	3.0	5.0	.094	.050	1/4" x 2"	29'-5"	27'-6"	26'-2"	25'-0"
503	E	3.0	5.0	.094	.050	1/4" x 2"	27'-10"	27'-0"	25'-8"	24'-7"
603	A	3.0	6.0	.094	.060		27'-3"	25'-6"	24'-3"	23'-3"
603	B	3.0	6.0	.094	.060	1/4" x 2"	33'-0"	31'-3"	29'-9"	28'-5"
603	E	3.0	6.0	.094	.060	1/4" x 2"	32'-3"	31'-0"	29'-0"	27'-8"
653	A	3.0	6.60	.10	.055		29'-5"	27'-6"	26'-2"	25'-0"
653	B	3.0	6.60	.10	.055	1/4" x 2"	35'-7"	33'-5"	31'-10"	30'-5"
653	E	3.0	6.60	.10	.055	1/4" x 2"	34'-7"	32'-6"	30'-9"	29'-5"
703	A	3.0	7.0	.125	.070		32'-9"	30'-11"	29'-6"	28'-1"
703	B	3.0	7.0	.125	.070	1/4" x 2"	38'-10"	36'-6"	34'-7"	33'-2"
703	E	3.0	7.0	.125	.070	1/4" x 2"	38'-4"	36'-1"	34'-3"	32'-9"
804	A	4.0	8.0	.125	.078		38'-3"	35'-11"	34'-1"	32'-8"
804	B	4.0	8.0	.125	.078	1/4" x 3"	48'-4"	45'-6"	43'-3"	41'-4"
804	E	4.0	8.0	.125	.078	1/4" x 3"	44'-6"	41'-10"	39'-10"	38'-2"
8.7	A	3.85	8.7	.100	.070		40'-6"	38'-3"	36'-3"	34'-7"
8.7	B	3.85	8.7	.100	.070	1/4" x 3"	47'-9"	44'-11"	42'-6"	40'-7"
8.7	E	3.85	8.7	.100	.070	1/4" x 3"	46'-5"	43'-8"	41'-5"	39'-9"
904	A	4.0	9.0	.125	.096		46'-5"	43'-7"	41'-5"	39'-7"
904	B	4.0	9.0	.125	.096	1/4" x 3"	52'-11"	49'-9"	47'-4"	45'-4"
904	E	4.0	9.0	.125	.096	1/4" x 3"	52'-4"	49'-3"	46'-10"	44'-10"
1004	A	4.5	10.0	.140	.096		50'-0"	47'-2"	44'-9"	42'-9"
1004	B	4.5	10.0	.140	.096	1/4" x 3"	56'-6"	53'-3"	50'-6"	48'-6"
1004	E	4.5	10.0	.140	.096	1/4" x 3"	56'-7"	52'-9"	50'-1"	48'-5"
302	C	2.0	3.0	.050	.050		14'-10"	14'-0"	13'-11"	
302	D	2.0	3.0	.050	.050	1/8" x 1.5"	17'-9"	16'-8"	15'-10"	
402	C	2.0	4.0	.057	.057		17'-3"	16'-2"		
402	D	2.0	4.0	.057	.057		19'-0"	17'-9"	16'-11"	
2.6	C	2.0	6.0	.28	.06		32'-0"	30'-2"	28'-9"	27'-4"
2.6	D	2.0	6.0	.28	.06	1/4" x 1.5"	37'-4"	35'-0"	33'-3"	31'-10"
2.7	C	2.0	7.0	.28	.06		35'-8"	34'-9"	33'-2"	30'-9"
2.7	D	2.0	7.0	.28	.06	1/4" x 1.5"	43'-5"	40'-4"	38'-1"	36'-1"
2.9	C	2.0	9.0	.320	.320		43'-5"	41'-7"	39'-6"	38'-0"
2.9	D	2.0	9.0	.320	.320	1/8" x 1.5"	46'-7"	43'-8"	41'-6"	39'-9"



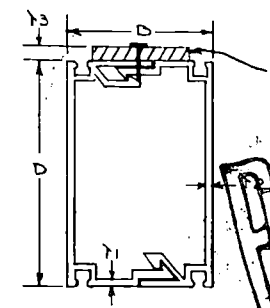
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TYPE "B"

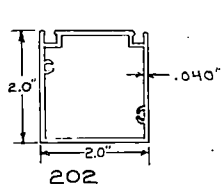


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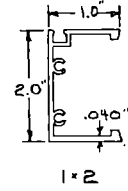


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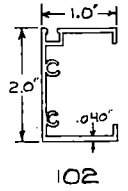
APPROVED
AUG 5 1978



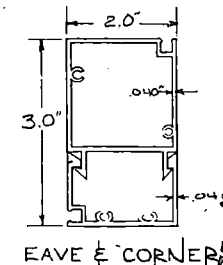
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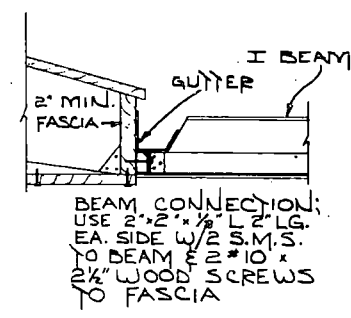
1x2



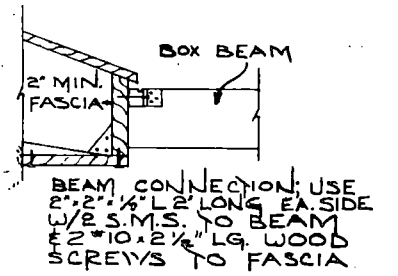
102



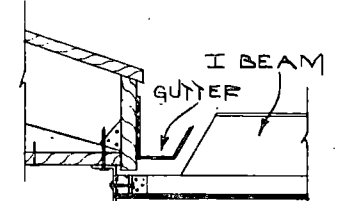
EAVE & CORNER



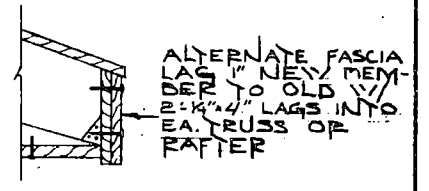
BEAM CONNECTION; USE 2\"/>



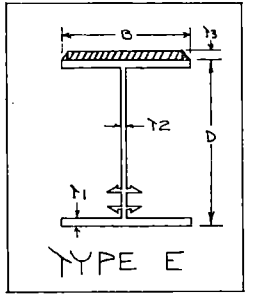
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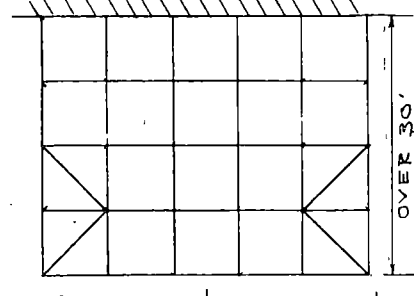
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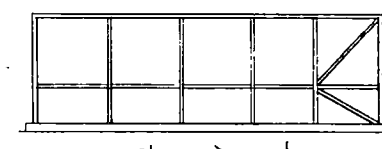
ALTERNATE FASCIA LAG NEW MEM BER TO OLD 2\"/>



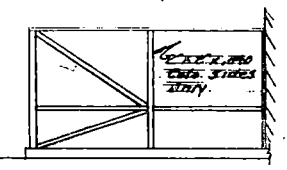
TYPE E



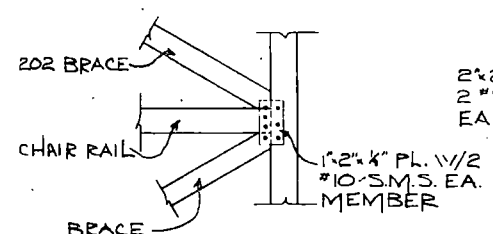
TYP. WIND BRACING



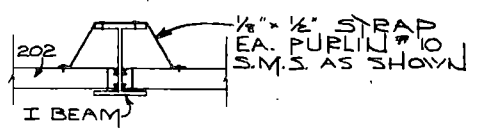
ELEVATION



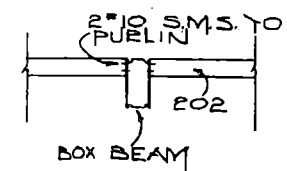
SIDE VIEW



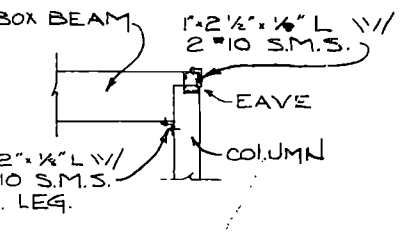
TYP. KNEE BRACE



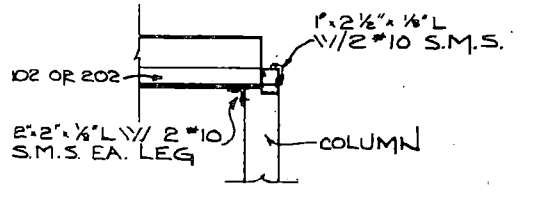
BOX BEAM



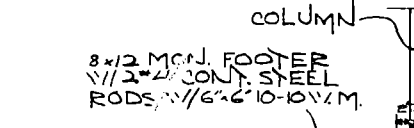
BOX BEAM



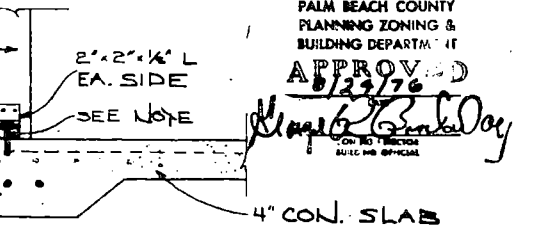
EAVE



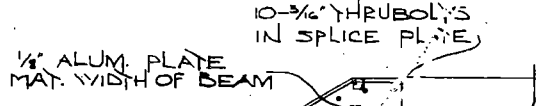
COLUMN



COLUMN



4\"/>



MANSARD ROOF & A-FRAME ROOF TYP. BEAM SPLICE

NOTE: NO CABLES OR STRAPS REQUIRED WHEN TWO SIDES ARE FULLY SUPPORTED BY EXISTING HOUSE

870

FASTENING SCHEDULE

MEM	DESCRIPTION	FASTENER
202	STRUT TO 102 C BEAMS	2\"/>
202	STRUT TO EAVE SECTION	2\"/>
202	CHAIR RAIL TO COLUMN	2\"/>
1x2	PERIMETER MEM JOINED	DO.
1x2	" TO COL.	DO.
1x2	" TO CON.	1\"/>
1x2	" TO MASONRY	DEWBOLT 24\"/>
1x2	" TO WOOD	10-2\"/>

DESIGN CRITERIA

SCREEN ROOF DESIGN LOAD 10 PSF
SCREEN WALL DESIGN LOAD 10 PSF
DEPT. LIMIT OF DESIGN LOAD 4/100

NOTE: To Determine Actual Deflection At Spans In Above Schedule Multiply Span by 12 & Divide by 80.

GEN. NOTES:
(1) WIND BRACING REQUIRED IF ANY WALL EXCEEDS 10'-0" IN LENGTH.
(2) ROOF & SIDES SHALL BE COVERED W/ SCREEN MAT. BEING 60% OR GREATER OPEN. THE ADDITION OF SOLID ROOFING OR SIDING MAT SHALL NOT BE PERMITTED UNLESS DESIGNED BY THE ENGINEER OR LAYOUT SHEET.
(3) IT SHALL BE DETERMINED THAT THE EXISTING STRUCTURE CAN SAFELY SUPPORT THE LOADED SCREEN ENCLOSURE.
(4) ALUM. PLATES ARE 6063-T6 ATTACHED TO BEAM W/ 1\"/>

PALM BEACH COUNTY PLANNING ZONING & BUILDING DEPARTMENT
APPROVED
8/29/78
James N. Borowski, P.E.

REVISIONS		SCREEN ENCLOSURE; FOR	
		SCREENCO NORTH INC.	
		3608 INDUSTRIAL WAY, RIVIERA BEACH	
BY	R. HAGLER	DATE	8-29-78
BY	JAMES N. BOROWSKI, P.E.	DATE	8-29-78
BY		DATE	
BY		DATE	

1886

ADDITION

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number 1886

Date 1/17/86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR & MRS W. GARY Present Address 167 S. Sewell's
Phone 283 POINT Rd

Contractor JULIUS GRAHAM JR. Address 5881 SE Wesley Ave.
Phone 287-0858 PORT SALEM, FL

Where licensed STATE CERTIFIED BUILDING CONTRACTOR License number CBC031884

Electrical contractor BALLTINE ELECTRIC License number 098

Plumbing contractor None License number _____

Roofing contractor ACE ROOFING License number SP00080

Air conditioning contractor None D & S License number CAC032438

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADDITION GAME ROOM

State the street address at which the structure will be built:

S.E. SEWALL POINT RD

Subdivision MANDALAY Lot number 1 & 2 Block number _____

Contract price \$ 31,300.00 Cost of permit \$ 160 + 30 = \$190.00

Plans approved as submitted X Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Julius Graham Jr.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Willie E. G.

TOWN RECORD

Date submitted 1/17/86 Approved [Signature] 1/17/86
Building Inspector Date

Approved 1/23/86 [Signature] Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

Proposal

FROM JULIUS GRAHAM, S INC.
 P.O. BOX 1019
 PT. SALERNO, FL.
 287-0858

Proposal No.

Sheet No.

Date

Proposal Submitted To	Work To Be Performed At
Name <u>MR & MRS WILLIE GARY</u>	Street _____
Street _____	City _____ State _____
City _____	Date of Plans _____
State _____	Architect _____
Telephone Number _____	

We hereby propose to furnish all the materials and perform all the labor necessary for the completion of a new addition 21' x 30' game room for Mr. & Mrs. Gary. A new slab and footing to be powered and walls are to be of 8" blocks with powered beams. 2" x 8" plates top of walls. Trusses installed covered with 5/8" sheathing plywood covered with 15lb felt paper and 90lb roll roofing. Existing sliding doors to be moved to new open. A ~~other~~ windows and doors are to be Anderson. Wall is to be moved at end of old building. All walls are to be insulated. Ceilings are to be insulated with 6" insulation. Ceiling are to be covered with 1/2" sheetrock taced and finish. Inside walls will be covered with paneling to match old paneling in game room. False beams (4') ft. apart on ceiling. Floors are to match old floors are better. Outside to be stucco to match old building. new electric and air condation is to be installed in new room..

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of THIRTY ONE THOUSAND THREE HONDRED ~~00~~ ⁰⁰ Dollars (\$ 31,300.00). with payments to be made as follows \$10,434.00 with slab \$10,433.00 with roof dryed in. \$10,433.00 bal. on completion..

Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance upon above work. Workmen's Compensation and Public Liability Insurance on above work to be taken out by _____

Respectfully submitted Julius Graham
 JULIUS GRAHAM, President.
 Per _____

Note — This proposal may be withdrawn by us if not accepted within _____ days

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Accepted December 20, 1955 Signature Willie E. Gary
 Date _____ Signature _____

9C DESIGN CREDIT POINTS (CP)	
CEILING FAN IN COND SPACE (max 5 CP)	1
MULTIZONE A/C SEPARATED BY DOOR	5
CROSS VENTILATION (1 CP per room)	1
WHOLE HOUSE FAN (min. 1.5 cfm/s.f.)	5
WOOD STOVE	2
FIREPLACE WITH OUTSIDE COMBUSTION AIR	2
9C TOTAL (not to exceed 12 points)	

9D HEATING SYSTEM CREDIT POINTS	
NATURAL GAS/PROPANE HEATING	8.0
OIL HEATING	6.4

9E DESIGN PENALTY POINTS	
WASHER AND DRYER IN COND SPACE	3
TOTAL GLASS OPENS LESS THAN 40%	5
FIREPLACE WITH INSIDE COMBUSTION AIR	5

9F WINTER OVERHANG FACTOR (WOF)								
FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	0.99	0.85	0.75	0.83	0.98	1.00	1.00
1-1.9	1.00	0.99	0.85	0.76	0.84	0.98	1.00	1.00
2-2.9	1.00	0.99	0.86	0.77	0.86	0.99	1.00	1.00
3-3.9	1.00	0.99	0.87	0.80	0.87	0.99	1.00	1.00
4-4.9	1.00	0.99	0.89	0.83	0.90	0.99	1.00	1.00
5-5.9	1.00	0.99	0.91	0.86	0.92	1.00	1.00	1.00
6-6.9	1.00	0.99	0.92	0.90	0.94	1.00	1.00	1.00
7-7.9	1.00	1.00	0.94	0.92	0.96	1.00	1.00	1.00
8-8.9	1.00	1.00	0.96	0.95	0.97	1.00	1.00	1.00
9-9.9	1.00	1.00	0.97	0.97	0.98	1.00	1.00	1.00
10-10.9	1.00	1.00	0.98	0.98	0.99	1.00	1.00	1.00
11-11.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
12 UP	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

9F SUMMER OVERHANG FACTOR (SOF)								
FEET	N	NE	E	SE	S	SW	W	NW
0-0.9	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
1-1.9	1.00	1.00	0.99	0.99	0.98	0.99	0.99	1.00
2-2.9	1.00	0.98	0.95	0.93	0.92	0.93	0.95	0.98
3-3.9	1.00	0.95	0.89	0.87	0.86	0.87	0.89	0.95
4-4.9	1.00	0.91	0.84	0.81	0.80	0.81	0.84	0.91
5-5.9	0.99	0.88	0.80	0.76	0.76	0.76	0.80	0.88
6-6.9	0.99	0.85	0.76	0.72	0.72	0.72	0.76	0.85
7-7.9	0.99	0.83	0.72	0.68	0.70	0.68	0.72	0.83
8-8.9	0.98	0.81	0.69	0.66	0.68	0.66	0.69	0.81
9-9.9	0.98	0.79	0.67	0.64	0.66	0.64	0.67	0.79
10-10.9	0.98	0.78	0.65	0.62	0.65	0.62	0.65	0.78
11-11.9	0.97	0.76	0.63	0.61	0.65	0.61	0.63	0.76
12 UP	0.97	0.76	0.62	0.59	0.64	0.59	0.62	0.76

9G HEATING SYSTEM MULTIPLIER (HSM)							
HEAT PUMP	COP	2.5-2.6	2.7-2.8	2.9-3.0	3.1-3.2	3.3-3.4	3.5 & UP
	HSM	.40	.37	.34	.32	.30	.29
SOLAR HEATING SYSTEM	(BACKUP SYSTEM FRACTION) x (BACKUP SYSTEM HSM)						
ELECTRIC STRIP HEAT	1.0						
NATURAL GAS/PROPANE/OIL	1.0 (SEE TABLE 9D FOR CREDITS)						
PTAC & ROOM HEAT PUMPS	MINIMUM COP 2.2. HSM FOR COP 2.2 - 2.4 = .45.						
	SEE TABLE ABOVE FOR COP > 2.4						

9H COOLING SYSTEM MULTIPLIER (CSM)										
ELECTRIC	EER/SEER	7.8-7.9	8.0-8.4	8.5-8.9	9.0-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.9	12.0-UP
	CSM	.83	.81	0.76	0.72	0.68	0.65	0.62	0.59	0.54
GAS	COP	0.40-0.44	0.45-0.49	0.50-0.54	0.55-0.59	0.60-0.64	0.65-0.69	0.70 & UP		
	CSM	1.50	1.25	1.20	1.09	1.00	0.92	0.89		
MINIMUM SEER/EER LEVEL 7.8 FOR STRAIGHT COOL OR HEAT PUMPS; MINIMUM OF 7.5 EER FOR ROOM UNITS AND PTAC. FOR ROOM UNITS AND PTAC, CSM FOR EER 7.5 - 7.7 = .87. SEE TABLE ABOVE FOR EER > 7.7.										

9I HOT WATER CREDIT POINTS (HWCP)																					
ELECTRIC RESISTANCE WATER HEATER											0										
GAS WATER HEATER											10										
INSTANTANEOUS WATER HEATER	ELECTRIC										4.5										
	GAS										12.6										
HRU (A/C) WATER HEATER	ELECTRIC BACKUP										8.9										
	GAS BACKUP										15.2										
HRU (HP) WATER HEATER	ELECTRIC BACKUP										9.7										
	GAS BACKUP										15.4										
HEAT PUMP WATER HEATER (DEDICATED HEAT PUMP)	COP										1.60-1.89	1.90-2.19	2.20-2.49	2.50-2.79	2.80-3.00						
	CREDIT POINTS										9.0	11.4	13.1	14.4	15.4						
SOLAR HOT WATER	OVERALL SOLAR FRACTION*										0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0	
	CREDIT POINTS	ELECTRIC BACKUP										2.4	4.8	7.2	9.6	12.0	14.4	16.8	19.2	21.6	24.0
		GAS BACKUP										11.4	12.8	14.2	15.6	17.0	18.8	19.8	21.2	22.6	24.0
*PERCENT OF ANNUAL HOT WATER PROVIDED BY SOLAR SYSTEM ÷ 100 = OVERALL SOLAR FRACTION																					



FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

This form may be used to demonstrate compliance with the Energy Code for new single-family detached or multifamily attached dwellings under Section 9 of the Energy Code. An alternative to this method for single-family detached dwellings, and multifamily attached dwellings of three stories, or less, is provided in Section 10 of this Code. Only dwellings which are above ground frame (wood siding, brick veneer, etc.) or concrete wall type construction may be calculated using Sections 9 and 10. Other types of construction must comply under Section 4 or Section 5 of this Code. Additions to existing residential buildings shall comply with the requirements of Section 10 of this Code. Detailed information on how to complete this form may be obtained from your local building department or the Department of Community Affairs, Energy Code Program, 2571 Executive Center Circle East, Tallahassee, Florida 32301.

PROJECT NAME AND ADDRESS:	PERMITTING OFFICE: <u>Stuyvesant</u>
BUILDER:	CIRCLE CLIMATE ZONE: 7 8 <u>9</u>
OWNER:	PERMIT NO.:
	JURISDICTION NO.:

<input type="checkbox"/> DETACHED	IF MULTIFAMILY, NO. OF UNITS COVERED BY THIS CALCULATION: [][]	GLASS AREA AND TYPE	
<input checked="" type="checkbox"/> ATTACHED	SEPARATE CALCULATIONS ARE REQUIRED FOR EACH WORST CASE UNIT TYPE. CHECK IF THIS CALCULATION REPRESENTS A WORST CASE CONDITION. <input type="checkbox"/>	CLEAR	TINT, FILM, SOLAR SCREEN
		[][] SGL	[][] SGL
		[][] DBL	[][] DBL

NET WALL AREA AND INSULATION				CONDITIONED FLOOR AREA	CEILING INSULATION	
CBS	R=	FRAME	R=		UNDER ATTIC	SGL. ASSEMBLY
[][]	[][]	[][]	[][]	[][]	R= [][]	R= [][]
478	03			660		19

COOLING SYSTEM	PRIMARY HEATING SYSTEM	PRIMARY HOT WATER SYSTEM
<input checked="" type="checkbox"/> CENTRAL <input type="checkbox"/> NONE	<input type="checkbox"/> ELECTRIC STRIP <input type="checkbox"/> GAS <input type="checkbox"/> NONE	<input type="checkbox"/> ELECTRIC RESISTANCE <input type="checkbox"/> SOLAR
<input type="checkbox"/> ROOM	<input type="checkbox"/> OIL <input type="checkbox"/> SOLAR	<input type="checkbox"/> HEAT RECOVERY <input type="checkbox"/> GAS
<input type="checkbox"/> PACKAGE TERMINAL AC	<input checked="" type="checkbox"/> HEAT PUMP: COP = 3.1	<input type="checkbox"/> DED. HEAT PUMP: COP = [][]
EER/SEER = 9.0	<input type="checkbox"/> OTHER: _____	<input type="checkbox"/> OTHER: _____

CALCULATED E.P.I.: [][] 73.4	CALCULATED E.P.I. MUST NOT EXCEED 100 POINTS
In accordance with Section 553.907 F.S., I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.	Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.
OWNER/AGENT: <u>[Signature]</u>	BUILDING OFFICIAL: _____
DATE: 12-5-85	DATE: _____

9A PRESCRIPTIVE MEASURES (Must be met or exceeded by all residences.)		
COMPONENTS	MINIMUM REQUIREMENTS	CHECK TO INDICATE COMPLIANCE
WINDOWS (903.1)	MAXIMUM OF 0.5 CFM per LINEAR FOOT OF OPERABLE SASH CRACK.	
DOORS (903.1)	MAXIMUM OF 0.5 CFM PER SQUARE FOOT OF DOOR AREA. INCLUDES SLIDING GLASS DOORS.	
EXT. JOINTS & CRACKS (903.1)	TO BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.	
CEILING INSULATION (903.9)	MINIMUM OF R-19.	
WATER HEATERS (903.2)	MUST BEAR ASHRAE STANDARD 90-80 LABEL OR A MAX. 4 WATT/SQ. FT. STAND-BY LOSS. SWITCH OR CLEARLY MARKED CIRCUIT BREAKER (ELECTRIC) OR CUT-OFF VALVE (GAS) MUST BE PROVIDED.	
SWIMMING POOLS (903.3)	IF HEATED BY OTHER THAN SOLAR, MUST HAVE POOL COVER DESIGNED TO MINIMIZE HEAT LOSS. ALL NON-COMMERCIAL POOLS MUST BE EQUIPPED WITH A POOL PUMP TIMER.	
HOT WATER PIPES (903.4)	INSULATION IS REQUIRED ONLY FOR RECIRCULATING SYSTEMS. IN SUCH CASES, PIPING HEAT LOSS SHALL BE LIMITED TO A MAX. OF 17.5 BTU /H PER LINEAR FOOT OF PIPE (SEE 504.4).	
SHOWER HEADS (903.5)	WATER FLOW MUST BE RESTRICTED TO NO MORE THAN 3 GALLONS PER MINUTE.	
HVAC DUCT CONSTRUCTION (903.6)	CONSTRUCTED IN ACCORDANCE WITH INDUSTRY STANDARDS AND LOCAL MECHANICAL CODE. DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO A MINIMUM R-4.2.	
HVAC CONTROLS (903.7)	A SEPARATE, READILY ACCESSIBLE MANUAL OR AUTOMATIC THERMOSTAT FOR EACH SYSTEM.	

RESIDENTIAL CALCULATION

FORM 900-A-84

CLIMATE ZONES 7 8 9

COMPONENT			WINTER		GROSS WINTER POINTS	SUMMER		GROSS SUMMER POINTS
			AREA	WPM		AREA	SPM	
WALLS	CONCRETE	R 0-2.6	478	10.9	3155	478	24.8	8365
		R 2.7-3.9		6.6			17.5	
		R 4.0-5.9		5.0			15.0	
		R 6.0 & UP		4.4			13.9	
		R 0-10.9		9.6			30.5	
	FRAME OR BRICK VENEER	R 11.0-18.9	2.5	13.9				
		R 19-25.9	1.5	8.6				
		R 26 & UP	1.1	6.5				
		COMMON	2.7	3.8				
		WOOD OR METAL INSULATED	86.5	55.4				
STORM DOOR	44.6	44.3						
COMMON	21.6	6.9						
CEILING	UNDER ATTIC	R 19-21.9	660	1.9	1254	660	8.4	5544
		R 22-29.9		1.7			7.6	
		R 30 & UP		1.5			5.5	
	SINGLE ASSEMBLY NO ATTIC	R 6-7.9	660	5.4	1254	660	8.4	5544
		R 8-9.9		4.0			7.6	
		R 10-11.9		3.5			14.6	
		R 12-18.9		2.5			10.6	
		R 19-21.9		1.9			8.4	
	COMMON	1.7	2.0					
	FLOOR OVER UNCONDITIONED SPACE	WOOD	R 0-6.9	660	5.8	1254	660	6.6
R 7-10.9			2.4		2.9			
R 11-18.9			2.1		2.3			
R 19 & UP			1.4		1.5			
CONCRETE		R 0-2.9	660	6.8	1254	660	8.2	5544
		R 3-5.9		4.3			5.7	
		R 6-10.9		3.4			3.6	
		R 11-18.9		2.3			2.9	
		R 19 & UP		1.5			1.9	
COMMON		1.7	2.0					
SLAB ON GRADE PERIMETER	EDGE INSULATION	PERIMETER	WPM					
	PERIMETER	R 0-2.9	83	28.3	2349			
		R 3-5.9		20.4				
R 6 & UP			12.4					

FORM 900-A-84

CLIMATE ZONES 7 8 9

GLASS	WINTER						SUMMER							
	OR	AREA	SGL	DBL	WOF (9F)	GROSS WINTER POINTS	OR	AREA	SINGLE		DOUBLE		SOF (9F)	GROSS SUMMER POINTS
									CLR	TINT	CLR	TINT		
DO NOT INCLUDE INTERIOR SHADING	N		55.4	38.5			N		204	176	163	139		
	NE	126	55.4	38.5	.99	125	NE	126	309	264	258	218		33264
	E		55.4	38.5			E		425	360	362	304		
	SE		55.4	38.5			SE		418	354	355	298		
	S		55.4	38.5			S		346	294	287	242		
	SW	40	55.4	38.5	.99	39	SW	40	418	359	355	298		14160
	W		55.4	38.5			W		425	360	362	304		
	NW	20	55.4	38.5	1.0	20	NW	20	309	264	258	218		5280
	H		22.6	6.8			H		720	605	627	524		
	H = HORIZONTAL GLASS (SKYLIGHTS).						FOR SC OTHER THAN 0.83 SEE SEC. 902.2(a)5. TINT MULT. MAY BE USED FOR GLASS WITH SOLAR SCREENS, FILM, OR TINT.							
TOTAL GROSS WINTER POINTS						6942	TOTAL GROSS SUMMER POINTS						66613	
DUCT MULT	R = 4.2-4.9				1.14		R = 4.2-4.9					1.14		
	R = 5.0-6.6				1.12		R = 5.0-6.6					1.12		
	R = 6.7 & UP				1.09		R = 6.7 & UP					1.09		
	DUCTS IN CONDITIONED SPACE				1.00		DUCTS IN CONDITIONED SPACE					1.00		
HSM FROM 9G						6942 x .32	CSM FROM 9H						66613 x .72	
DIVIDE BY CONDITIONED FLOOR AREA						2221 ÷ 660	DIVIDE BY CONDITIONED FLOOR AREA						47961 ÷ 660	
						3.4 WINTER POINTS							72.7 SUMMER POINTS	
CALCULATE ENERGY PERFORMANCE INDEX														
WINTER POINTS	SUMMER POINTS	HOT WATER PTS. (9I)	E.P.I. SUBTOTAL	ADJUSTMENT MULTI. (9B)	ADJUSTED E.P.I.	CREDIT PTS. (9C + 9D)	PENALTY PTS. (9E)	CALCULATED E.P.I.						
3.4	72.7	0	76.1	1.03	78.4	5	0	73.4						
THE CALCULATED E.P.I. MUST BE EQUAL TO OR LESS THAN 100 POINTS.														
9B ADJUSTMENT MULTIPLIERS														
CONDITIONED FLOOR AREA (SQ. FT.)	0-900	901-1100	1101-1300	1301-1500	1501-1700	1701-1900	1901-2100	2101-2300	2301-ABOVE					
ADJUSTMENT MULTIPLIER	1.03	1.07	1.11	1.16	1.21	1.27	1.33	1.40	1.47					

FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION
SECTION 8 -- SIMPLIFIED ANNUAL ENERGY METHOD
 ADMINISTERED BY THE DEPARTMENT OF COMMUNITY AFFAIRS
 CODES AND STANDARDS SECTION

STATISTICS : NON - RESIDENTIAL BUILDINGS

PROJECT NAME :	JURISDICTION :
ADDRESS :	
CITY, ZIP CODE :	JURISDICTION NO. :
BUILDER :	ZONE :
OWNER :	
BUILDING CLASSIFICATION(S) :	
BUILDING VALUE \$	

SYSTEMS

LIGHTING : TOTAL KW =

AIR CONDITIONING

UNIT NUMBER	TYPE ★	EER SEER COP	TONS
	U		1 1/2

★ U = UNITARY
 C = CENTRIFUGAL
 P = POSITIVE DISPLACEMENT

HEATING

UNIT NUMBER	TYPE ★★	COP	BTUH
	HP	3.1	24,000

★★ E = ELECTRICAL RESISTANCE
 HP = HEAT PUMP
 G = GAS O = OIL

ENVELOPE

	GROSS AREA	U
WALL NO. 1		
NO. 2		
ROOF		
RAISED FLR / INT WALL		
GLASS		
TOTAL COND. FLOOR AREA =		SF

COMPLIANCE

SECTION 8 BUDGET =

BUILDING MBTU/SF =

SECTION 4

BUILDING MBTU/SF =

CODE REQ'MT MBTU/SF =

CERTIFIED BY:

DATE:

FLORIDA MODEL ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION
SECTION 8 -- SIMPLIFIED ANNUAL ENERGY METHOD

ADMINISTERED BY THE DEPARTMENT OF VETERAN AND COMMUNITY AFFAIRS
CODES AND STANDARDS SECTION

ENERGY CONSUMING ELEMENTS		TABLE		WINTER				SPRING AND FALL				SUMMER					
				U _o	AREA	MTR	MBTU	U _o	AREA	MTR	MBTU	U _o	AREA	MTR	MBTU		
A	WALLS			U _w	A _w	WWM		U _w	A _w	WSFM		U _w	A _w	WSM			
							+				+				+		
B	ROOF			U _r	A _r	RWM		U _r	A _r	RSFM		U _r	A _r	RSM			
							+				+				+		
C	RAISED FLOOR & INTERIOR WALLS			U _i	A _i	FWM		U _i	A _i	FSFM		U _i	A _i	FSM			
							+				+				+		
D	GLASS SOLAR	OR.			SC	A _g	SWM		SC	A _g	SSFM		SC	A _g	SSM		
								+				+				+	
E	GLASS CONDUCTION			U _g	A _g	CWM		U _g	A _g	CSFM		U _g	A _g	CSM			
							+				+				+		
F	OUTSIDE AIR			CFM	VWM			CFM	VSFM			CFM	VSM				
							+				+				+		
G	PEOPLE HEAT			A _i	PWM			A _i	PSFM			A _i	PSM				
							+				+				+		
H	LIGHTING HEAT			WATTS	LWM			WATTS	LSFM			WATTS	LSM				
							+				+				+		
I	HVAC MOTOR HEAT INSIDE COND. SPACE - NOT INCLUDED IN C.O.P.			BHP	MWM			BHP	MSFM			BHP	MSM				
							+				+				+		
J																	
K	WINTER SUBTOTAL																
L	START-UP HEAT			A _i	SUH												
M	SUBTOTALS	H or C		H				HEAT		COOL		HEAT		COOL			
N	HEAT/COOL SYS. MTR			HSM				H		C		H		C			
P	SEASONAL SUBTOTALS			H				H		C		H		C			
ENERGY SUMMARY				HEATING				COOLING									
LIGHTING RAW ENERGY		LRE	WATTS	MBTU		add		add		add		add		add			
WATER HEATING		HW OR BUHW	A _i	MBTU		add		add		add		add		add			
Q	HVAC MOTOR RAW ENERGY	DEVICE	MRE	BHP	MBTU		add		add		add		add		add		
		COOLING TWR					add		add		add		add		add		
		PUMPS					add		add		add		add		add		
		AHUS - VAV					add		add		add		add		add		
		AHUS - CV					add		add		add		add		add		
TOTAL						add		add		add		add		add			
R	TOTAL MBTU					add		add		add		add		add			
S	FLOOR AREA A _f					add		add		add		add		add			
T	DESIGN ENERGY					add		add		add		add		add			
U	ALLOWABLE ENERGY BUDGET-Table 8-1					add		add		add		add		add			

1996

GATES & WALL RAIL

1926

TOWN OF SEWALL'S POINT, FLORIDA

#1926

Permit Number _____

4642352

Date MAY 9 86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner MR. William Gary Present Address #167 So. Sewalls Pt. Rd.
 Phone 283-1903
 Contractor Pete's Ornamental Address 3704 SE. Dixie Hwy
 Phone 287-1487 STUART, FL.
 Where licensed Martin County, FL. License number SP00569
 Electrical contractor _____ License number _____
 Plumbing contractor _____ License number _____
 Roofing contractor _____ License number _____
 Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Ornamental Gates (5) + approx 350-400 ft of

16" High wall rail ornamental All Plum.

State the street address at which the structure will be built: #167 So. Sewalls Pt. Rd.

Subdivision Mandaley Lot number 1 Block number _____
 Contract price \$ 19,850.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Karl J. ...

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner x William Gary

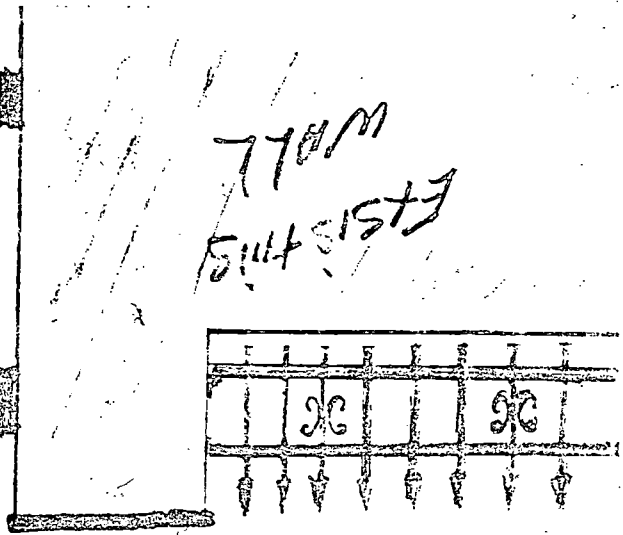
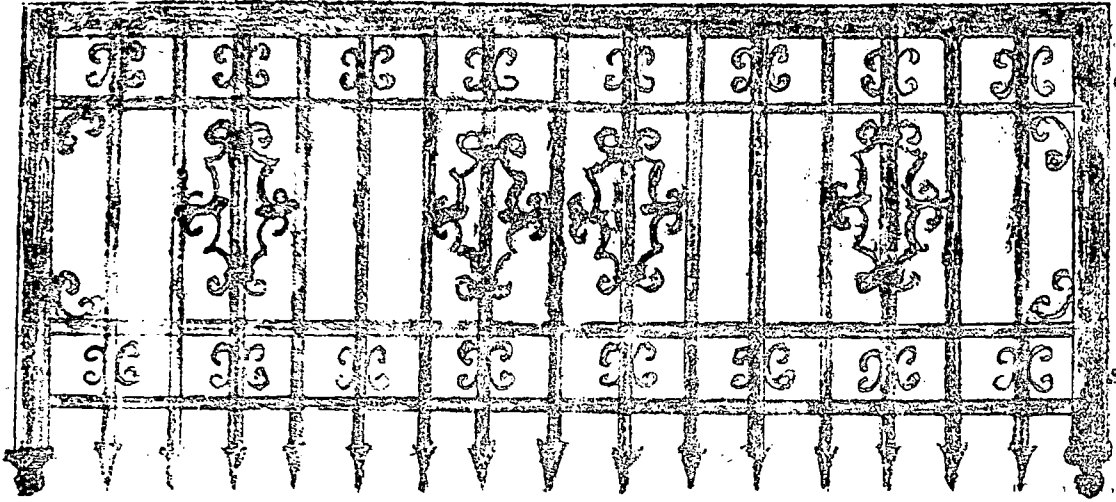
TOWN RECORD

Date submitted _____ Approved Dale Brown 5/27/86
Building Inspector Date

Approved A. C. Strubell 6/25 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

Nothing on North Wall
 \$8 per 10 ft long vertical
 6/25



EXISTING WALL

All Alum. primed & painted BK
 Male-Female Alum. hinges
 3/4" Alum. Spikes

3/4" x 3/4" tube pickets approx 6" OC.
 1/8" x 3/4" x 2" channel

Gate Approx - 3-1/2 ft from Ground
 1/8" x 2" tube frame

Gate is 15 ft high
 1/2" x 1/2" sq bar pickets
 1/8" x 1/2" x 1" channel
 1/2" castic spikes
 All Alum. primed & painted BK

2002

TENNIS COURT

2002

TOWN OF SEWALL'S POINT, FLORIDA

Application for a Permit to Build a House or Commercial Building

PERMIT NO. _____

DATE _____

To obtain this permit, the following documents are necessary:

1. Florida certification of Builder and Sub-contractors.
2. Certificate of insurance from Contractor or owner builder for liability and workmen's compensation.
3. Three sets of building plans which include:
1/4" scale for building drawings, plot plan, foundation plan, floor plans, wall and roof cross-sections; plumbing, electrical and air-conditioning layouts, and at least two elevations, as applicable.
4. Warranty deed to the property.
5. Septic tank permit and one set of plans with Health Dept. seal.
6. Energy code calculations.
7. Notorized copy of the attached affidavit which states that all Brazilian Pepper, Australian Pine, and Melalucca have been permanently removed from the property.
8. If trees other than in Item 7 are to be removed, a separate tree removal permit.
9. Designation of the Flood Control Zone in which the property is located as defined by the latest Flood Control Map. If the location is questionable, it must be certified by a licensed surveyor. If in "A" Zone, the proposed slab elevation should be specified. If in "V-13", the proposed elevation of the top of pier or piling is required.
10. A manufacturer's window schedule with symbols of sizes.

Owner Willie Gary Present Address 167 Sewalls Point Rd

Phone 283-4920 Home 283-8260 off STUART, Fla 33494

General Contractor Froehlings Inc Address PO Box 2010

Phone 288-1826 STUART Fla 33495

Where Licensed STATE License No. CGC 013683

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Roofing Contractor _____ License No. _____

Air-Conditioning Contractor _____ License No. _____

Describe the building, or alteration to existing building TENNIS COURT

Name the street on which the building, its front building line and its front yard will face _____

Subdivision _____ Lot No. _____ Area _____

Building area, inside walls _____

Area of garage-carport-porch-square feet _____

Contract price (excluding land, carpeting, appliances, landscaping, etc.) \$18,000

Cost of permit \$ _____ Plans approved as submitted _____ or, as marked

In addition, the following are understood by owner and contractor:

1. The building area inside walls is required to show conformance to the ordinance requiring a minimum of 155 sq. ft.
2. The contract price is the expected cost of the building including all but land, carpeting, appliances and landscaping. The permit fee is calculated at \$5.00 per thousand of this. If no contract is submitted as proof, it will be based on a cost of \$60.00 per sq.ft. for inside walls; \$25.00 per sq.ft. for any other area. In addition, a \$10.00 fee for each subcontractor is included in the permit fee.
3. Before a C.O. is issued the following are necessary:
 - a. An owner's affidavit of building cost. A standard form is available. Any discrepancy between original permitfee and new fee based on affidavit will be adjusted here.
 - b. If property is in "A" flood zone, an affidavit from a licensed surveyor showing slab elevation.
If property is in "V" zone, an affidavit from a licensed surveyor showing elevation of top of piers or pilings.
In addition, certification by a qualified engineer or architect of the structural adequacy of dwelling. Elevation is distance above mean sea level. A standard affidavit form is available.
 - c. Rough grading and clean-up of grounds.
 - d. Approval by the Health Dept. of Septic installation.
4. The South Florida Building Code latest revision is part of the Town's ordinance.
5. Building permits are issued for 1 year's duration. If construction takes longer, a full year's renewal fee is required. Construction must be started within 180 days of issuance or the permit is subject to revocation with the forfeiture of fee.
6. Any changes in plan must be approved by the Building Inspector.
7. Work hours are from 8:00 AM to 5:00 PM Monday through Saturday.
8. Portable toilet must be provided.
9. The grounds should be policed each day to clean up trash and scrap building material. A dumpster should be provided to contain these.
10. Inspections are performed from Monday through Friday from 8:00 AM to Noon. Twenty-four hours notice is required.
11. To facilitate set-back inspection at the start of the project, lines shall be strung along the property lines of the lot.
12. Within 90 days after a C.O. is issued, the grounds must be landscaped to be compatible with the neighborhood.
13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OR BUILDER FROM COMPLIANCE WITH TOWN ORDINANCES.

Signed Contractor

Owner

Approved by Building Inspector _____
 Approved by Commissioner _____
 Certificate of Occupancy issued _____

Frank Spuhler

Willie E. [Signature]

Dale Brown

J.C. Strubell

 Date 7/24/86
 Date 9/8
 Date _____



CERTIFICATE OF INSURANCE

SET/TAB STOPS AT ARROWS
ISSUE DATE (MM/DD/YY)

6/27/86

PRODUCER

Deakins-Carroll Insurance Agency
P.O. Drawer A-G
Pt. Salerno, Fl. 33492

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER	A	American States Insurance Company
COMPANY LETTER	B	Florida Home Builders Self Ins. Fund
COMPANY LETTER	C	
COMPANY LETTER	D	
COMPANY LETTER	E	

INSURED

Froehling's, Inc.
P.O. Box 2010
Stuart, Fl. 33495

COVERAGES

THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIABILITY LIMITS IN THOUSANDS		
						EACH OCCURRENCE	AGGREGATE
A	GENERAL LIABILITY	01-AM-412929-1	11/12/85	11/12/86	BODILY INJURY	\$	\$
	<input checked="" type="checkbox"/> COMPREHENSIVE FORM				PROPERTY DAMAGE	\$	\$
	<input checked="" type="checkbox"/> PREMISES/OPERATIONS UNDERGROUND EXPLOSION & COLLAPSE HAZARD				BI & PD COMBINED	\$ 300	\$ 300
	<input checked="" type="checkbox"/> PRODUCTS/COMPLETED OPERATIONS CONTRACTUAL				PERSONAL INJURY		\$
	<input checked="" type="checkbox"/> INDEPENDENT CONTRACTORS						
	<input type="checkbox"/> BROAD FORM PROPERTY DAMAGE						
<input type="checkbox"/> PERSONAL INJURY							
	AUTOMOBILE LIABILITY				BODILY INJURY (PER PERSON)	\$	
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (PER ACCIDENT)	\$	
	<input type="checkbox"/> ALL OWNED AUTOS (PRIV. PASS.)				PROPERTY DAMAGE	\$	
	<input type="checkbox"/> ALL OWNED AUTOS (OTHER THAN PRIV. PASS.)				BI & PD COMBINED	\$	
	<input type="checkbox"/> HIRED AUTOS						
<input type="checkbox"/> NON-OWNED AUTOS							
<input type="checkbox"/> GARAGE LIABILITY							
	EXCESS LIABILITY				BI & PD COMBINED	\$	\$
	<input type="checkbox"/> UMBRELLA FORM						
<input type="checkbox"/> OTHER THAN UMBRELLA FORM							
B	WORKERS' COMPENSATION AND EMPLOYERS' LIABILITY	860-2667	2/29/86	2/28/87	STATUTORY		
					\$ 100	(EACH ACCIDENT)	
					\$ 500	(DISEASE-POLICY LIMIT)	
					\$ 100	(DISEASE-EACH EMPLOYEE)	
OTHER							

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

State of Florida - Consultant (Tennis Courts)

CERTIFICATE HOLDER

Town of Sewalls Point
Sewalls Point Road
Stuart, Fl. 33494

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. RISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-3747
(305) 464-2352

August 13, 1986

COPY

Mr. and Mrs. Jerold G. Wicai
6 Mandalay Road
Stuart, FL 33494

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Mr. and Mrs. Wicai:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

This application is being made to the Sewall's Point Commission in order to allow the installation of tennis court lighting.

You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P142 691 432
Return Receipt Requested

FILE
GARY

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. RISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET

STUART, FLORIDA 33494

(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747

FORT PIERCE, FLORIDA 33446-3747

(305) 464-2352

August 13, 1986

Mr. and Mrs. Joseph J. Shakra
5 Mandalay Road
Stuart, FL 33494

COPY

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Mr. and Mrs. Shakra:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

This application is being made to the Sewall's Point Commission in order to allow the installation of tennis court lighting.

You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P142 691 433
Return Receipt Requested

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. RISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-3747
(305) 464-2352

August 13, 1986

COPY

Mr. Michael A. Hoffman
10152 S. A1A, Apt. 317B
Jensen Beach, FL 33457

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Mr. Hoffman:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

This application is being made to the Sewall's Point Commission in order to allow the installation of tennis court lighting.

You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P028 632 164
Return Receipt Requested

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. RISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

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320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-3747
(305) 464-2352

August 13, 1986

Rogers Sales Associates, Inc.
830 NE Pop Tilton Place
Jensen Beach, FL 33457

COPY

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Sirs:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

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You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P208 632 165
Return Receipt Requested

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. RISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

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117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

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320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-3747
(305) 464-2352

August 13, 1986

Mr. John I. Barringer
171 S. Sewall's Point Road
Stuart, FL 33494

COPY

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Mr. Barringer:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

This application is being made to the Sewall's Point Commission in order to allow the installation of tennis court lighting.

You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P028 632 166
Return Receipt Requested

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. HISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-0747
(305) 464-2352

August 13, 1986

Mr. Joseph A. Schepis
32 Rio Vista Drive
Stuart, FL 33494

COPY

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Mr. Schepis:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

This application is being made to the Sewall's Point Commission in order to allow the installation of tennis court lighting.

You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P028 632 167
Return Receipt Requested

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. HISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
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(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-3747
(305) 464-2352

August 13, 1986

Mr. Dennis S. Hudson
234 NE Edgewater Drive, Apt. E201
Stuart, FL 33494

COPY

RE: Lots 1 and 2, MANDALAY SUBDIVISION

Dear Mr. Hudson:

Please be advised as owners of property adjacent to the above-described property, you are hereby, in accordance with the provisions of Ordinance #95, Town of Sewall's Point, put on notice that a public hearing will be held at 7:30 PM or as soon thereafter as the matter may be heard, on the 10th day of September, 1986, at the temporary Sewall's Point Town Hall, 3738 SE Ocean Blvd., Harbour Bay Plaza, by the Sewall's Point Commission to consider the matter of a variance to the existing zoning requirements according to the Sewall's Point Ordinance Section 117.

This application is being made to the Sewall's Point Commission in order to allow the installation of tennis court lighting.

You are invited to attend and be heard or to write in care of the Sewall's Point Commission, Town Hall, 1 South Sewall's Point Road, Stuart, FL 33494.

Very truly yours,

GARY, WILLIAMS & PARENTI

W. E. Gary

WEG:sac/9999

cc: Town of Sewall's Point

Certified Mail Receipt # P028 632 168
Return Receipt Requested

From:

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-3747
(305) 464-2352

PLEASE REPLY TO: **Stuart Office**

To:

Mrs. Joan Barrow, Town Clerk
TOWN OF SEWALL'S POINT
1 S. Sewall's Point Road
Stuart, FL 33494

DATE
August 11, 1986

SUBJECT
**Lots 1 & 2 Mandalay
W. E. Gary/Lights**

Message

Pursuant to our telephone conversation on Friday, August 8, 1986, enclosed herewith please find the original Unity of Title Agreement which has been recorded in OR Book 683, page 1273, et seq.

Please note I am sending a copy of same to Lanning Fox for his records.

Reply

Sally Ann Copley
Sally Ann Copley, Secretary SIGNED
to W. E. Gary, Esquire

Date put with Gary permit

SIGNED

UNITY OF TITLE AGREEMENT

In consideration of the issuance of a building permit to WILLIE E. GARY and GLORIA R. GARY, his wife, for the construction of a tennis court at their residence in the Town of Sewall's Point, Florida, and for other good and valuable considerations, the undersigned agrees to restrict the use of the following two parcels of land, located in Martin County, Florida, more fully described in Exhibit "A" attached hereto, in the following manner.

1. That said property shall be considered as one plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised, or assigned separately except in its entirety as one plot or parcel of land.
2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their heirs and assigns until such time as the same may be released in writing by the Town of Sewall's Point.
3. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County, Florida.

Signed, sealed, executed and acknowledged on this 24th day of July, 1986.

WITNESSES:

[Signature]
Sally Ann Copley

[Signature]
WILLIE E. GARY

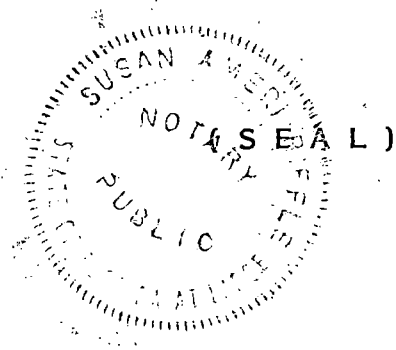
[Signature]
Ann Kremen

[Signature]
GLORIA R. GARY

STATE OF FLORIDA
COUNTY OF MARTIN

Before me personally appeared WILLIE E. GARY and GLORIA R. GARY, his wife, to me well known and known to be the persons described in and who executed the foregoing instrument, and they acknowledged to and before me that they executed said instrument for the purposes therein expressed.

WITNESS my hand and official seal, this 24th day of July, 1986.



[Signature]
NOTARY PUBLIC

My Commission Expires:

Notary Public, State of Florida
My Commission Expires Nov. 17, 1986

This instrument prepared by:

W. E. Gary, Esquire
117 Seminole Street, Suite 200
Stuart, Florida 33494
(305)283-8260

EXHIBIT "A"

PARCEL I


Lot 1, MANDALAY SUBDIVISION, as recorded in Plat Book 4, Page 86, Public Records of Martin County, Florida.

SUBJECT TO covenants, restrictions and easements of record and to the zoning of the Town of Sewall's Point.

PARCEL II

Lot 2, MANDALAY SUBDIVISION, as recorded in Plat Book 4, Page 86, Public Records of Martin County, Florida.

SUBJECT TO covenants, restrictions and easements of record.

FILED FOR RECORD
MARTIN COUNTY, FLA.
86 JUL 28 A 9: 06
LOUISE V. ISAACS
CLERK OF COUNTY CLERK
BY  D.C.

CORRESPONDENCE

TOWN of SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

COMMISSIONERS

JOHN C. GUENTHER, Mayor
GILBERT S. STRUBELL, Vice Mayor
CLIFFORD B. DRAKE, Commissioner
ROBERT R. AUNE, Commissioner
IRENE E. O'BRIEN, Commissioner

TELEPHONE: (305) 287-2455

JOAN H. BARROW
Town Clerk
F.J. MATUSZEWSKI
Chief of Police

August 4, 1986

Mrs. Sally Copley
Secretary to W. E. Gary
117 Seminole Street
Stuart, Florida 33494

Dear Sally:

Per our conversation of this morning, I am returning check # 1243 in the amount of \$75. Mr. Gary does not have to apply to the Board of Zoning Adjustment for a variance to light his tennis court. The Town Commission can consider his request. I will schedule this matter for the September 10, 1986 meeting at 7:30 PM.

Sincerely,

Joan Barrow, Town Clerk
TOWN OF SEWALL'S POINT

:jb

Enclosure: copy of Town ordinance

cc: D. K. Sands

TOWN of SEWALL'S POINT

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 33494

COMMISSIONERS

JOHN C. GUENTHER, MAYOR
GILBERT C. STRUBELL, VICE-MAYOR
CLIFFORD B. DRAKE, COMMISSIONER
ROBERT R. AUNE, COMMISSIONER
IRENE E. O'BRIEN, COMMISSIONER

TELEPHONE: (305) 287-2455

TOWN CLERK
JOAN H. BARROW

CHIEF OF POLICE
LOUIS J. SAVINI

September 12, 1986

Mr. and Mrs. Willie E. Gary
167 South Sewall's Point Road
Sewall's Point
Stuart, Florida 33494

Dear Mr. and Mrs. Gary:

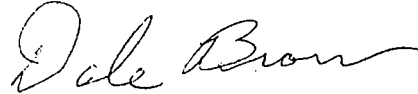
Lots 1 & 2 Mandalay subdivision

The method proposed by your contractor for raising the roof and straightening the walls on your building project is not approved by the Building Department of the Town of Sewall's Point. However, if upon completion of this work, the resulting structure meets all requirements of the South Florida Building Code and the codes of the Town of Sewall's Point, the project will be approved.

The Town of Sewall's Point will not be responsible for any damage to this structure, or other structures or to persons, as a result of carrying out these corrections.

Sincerely,

TOWN OF SEWALL'S POINT



Dale Brown, Building Inspector

DB: jb

GARY, WILLIAMS & PARENTI

ATTORNEYS AND COUNSELLORS AT LAW

W. E. GARY
STUART-FT. PIERCE

LORENZO WILLIAMS
FT. PIERCE

ROBERT V. PARENTI
STUART
MEMBER FLORIDA AND MICHIGAN BAR

MICHAEL LEWIS
STUART

LINNES FINNEY, JR.
FT. PIERCE

DOUGLAS E. REYMORE, JR.
STUART
MEMBER FLORIDA AND ILLINOIS BAR

MARK A. RISI
FT. PIERCE

ELIZABETH P. BONAN
STUART

PLEASE REPLY TO:

Stuart Office

SUITE 200, RIVERVIEW PROFESSIONAL BUILDING
117 SEMINOLE STREET
STUART, FLORIDA 33494
(305) 283-8260

SUITE 300, W. E. GARY PROFESSIONAL CENTER
320 S. INDIAN RIVER DRIVE
POST OFFICE BOX 3747
FORT PIERCE, FLORIDA 33448-0747
(305) 464-2352

August 1, 1986

Douglas K. Sands, Esquire
300 Colorado Avenue
Post Office Box 287
Stuart, FL 33495

COPY

RE: W. E. Gary's Application to Board of Adjustment,
Lots 1 & 2, Mandalay Subdivision, Sewall's Point

Dear Mr. Sands:

Pursuant to my telephone conversation this morning with Joan at Town Hall, enclosed herewith please find Mr. Gary's application to the Board of Adjustment wherein he requests a variance as to tennis court lighting (Ord. 117).

Please note I am sending copies of this application, together with our check in the amount of \$75.00, directly to Joan; also note Town Hall has Mr. Gary's site plan in their possession, attached to his Building Permit application.

Please contact me to arrange Mr. Gary's appearance at the hearing necessary on this matter.

Thank you for your cooperation and assistance.

Yours sincerely,

GARY, WILLIAMS & PARENTI

SA
Sally Ann Copley,
Secretary to W. E. Gary

SAC:by/9999
Enclosures

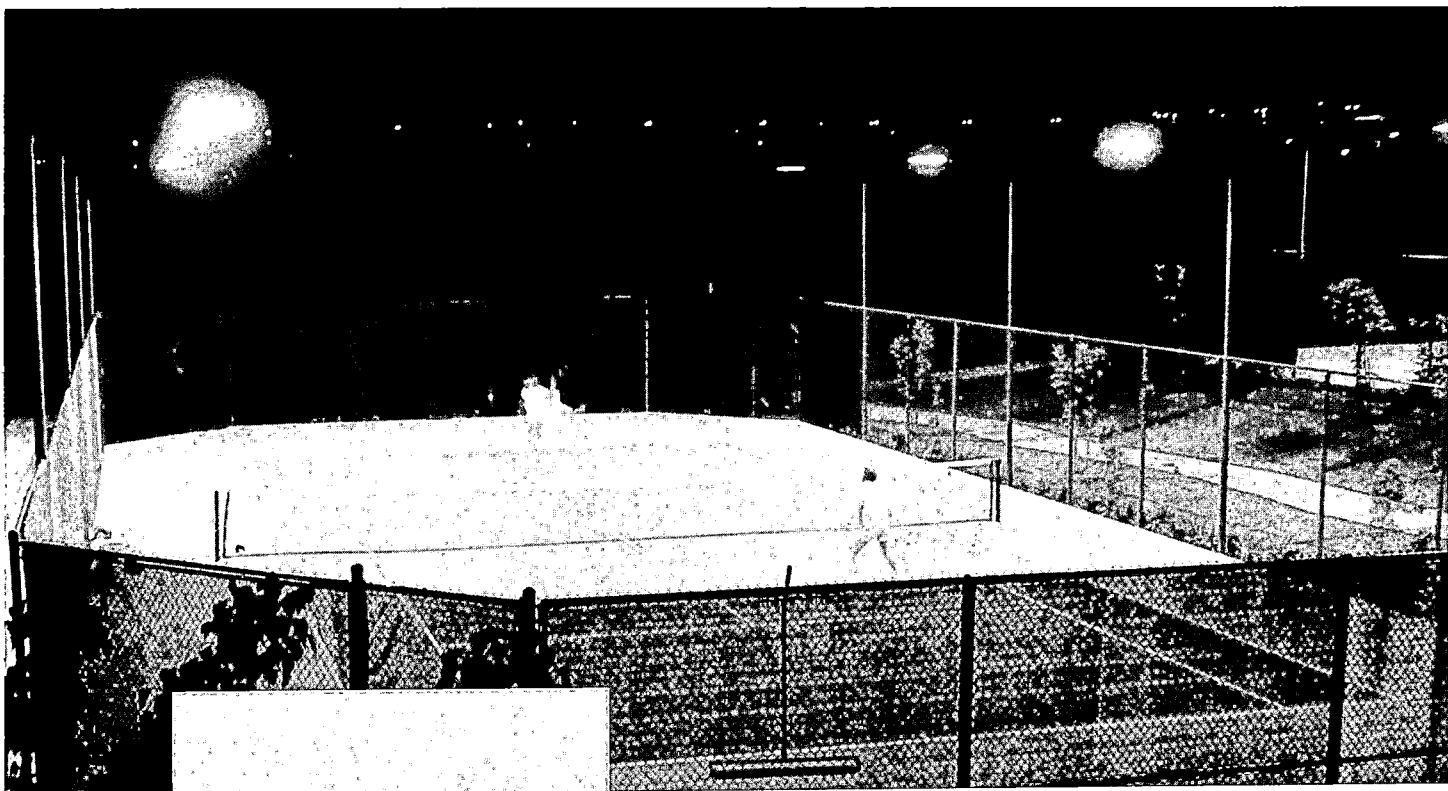
cc: Town Hall

PARKETTE

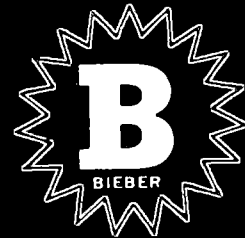
SERIES

Tennis Lighting

NET SET ECOLOGY LIGHT



Court at Manhattan Country Club
Site of Virginia Slims Tennis Tournaments
Lighted by Eight 1000 Watt Metal Halide, Super Parkettes







BIEBER

LIGHTING CORPORATION

(213) 776-4744

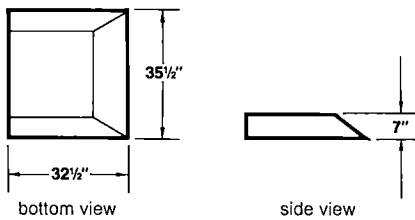
ORDERING SPECIFICATIONS

LAMP TYPE	CATALOG NO.	LINE VOLTS	OPERATING AMPS
 1000 Watt Metal Halide	TEN100	120	9.2
	TEN101	208	5.3
	TEN102	240	4.6
	TEN103	277	4.0
	TEN104	480	2.3
 1000 Watt High Pressure Sodium	TEN110	120	9.4
	TEN111	208	5.4
	TEN112	240	4.7
	TEN113	277	4.1
	TEN114	480	2.4

LAMP TYPE	CATALOG NO.	LINE VOLTS	OPERATING AMPS
 400 Watt Metal Halide	TEN120	120	3.9
	TEN121	208	2.2
	TEN122	240	1.95
	TEN123	277	1.7
	TEN124	480	.98
 400 Watt High Pressure Sodium	TEN130	120	4.2
	TEN131	208	2.4
	TEN132	240	2.1
	TEN133	277	1.8
	TEN134	480	1.05

LIGHT CUTOFF SHIELDS

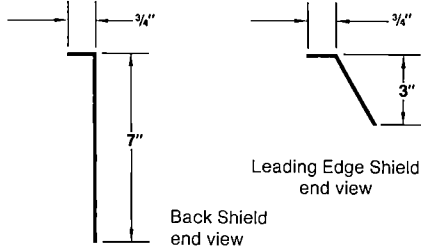
4-Sided Light Cutoff Shield
For Standard Net Set*



bottom view

side view

*Super Net Set shields are 40 1/4" x 39" x 7"

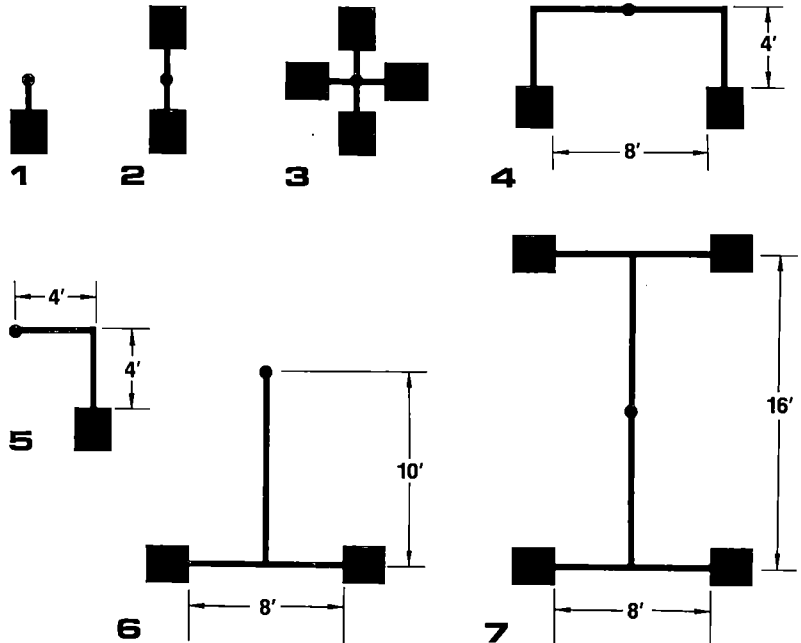


Leading Edge Shield
end view

Back Shield
end view

Other cutoff shields designed to order.

MOUNTING ARRANGEMENTS



OPTIONS

WM Wall Mounts
LX Drop Lexan
Vandal-Proof Lens

FINISHES AVAILABLE

BL Black
B Bronze
BR Brown
WH White
GR Green
Anodizing on request.

ORDER EXAMPLE

Catalog No. Fixture Mounting Arrangement Finish Options
 ↓ ↓ ↓ ↓ ↓
TEN112 **SUPER** **2** **BL** **LX**

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BIEBER

LIGHTING CORPORATION

626 South Isis Avenue, Inglewood, California 90301 • (213) 776-4744

Manufacturers of Quality Lighting Equipment

2004

TENNIS COURT

LIGHTING

2004

TOWN OF SEWALL'S POINT, FLORIDA

Permit Number _____

Date 9-11-86

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEARING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Willie & Gloria Gary Present Address 167 S Sewalls Pt. Rd.

Phone _____

Contractor Froehlings Inc Address P.O. Box 384 Palm City 32909

Phone 288-1826

Where licensed Martin County License number # on file

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Low intensity ecology lighting system for tennis court.

State the street address at which the structure will be built:

Same as above

Subdivision Mandalay Lot number 142 Block number _____

Contract price \$ 6,000.00 Cost of permit \$ #30.00

Plans approved as submitted _____ Plans approved as marked _____

approved Comm. mtg. 9-10-86

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Gregory C. Paffan for Froehlings Inc.

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Willie E. Gary

TOWN RECORD

Date submitted _____ Approved Dale Brown 9/12/86
Building Inspector Date

Approved A C Stuber 9/15/86 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, AUTHORIZING AND APPROVING ERECTION OF SPECIAL LIGHTING FOR NIGHT USE OF TENNIS COURTS BY WILLIE E. GARY AND GLORIA R. GARY, HIS WIFE, AS REQUIRED BY CODE OF ORDINANCES OF THE TOWN OF SEWALL'S POINT, APPENDIX B - ZONING, SECTION XI.E.3.

LEGAL DESCRIPTION

LOTS 1 and 2, MANDALAY SUBDIVISION, AS RECORDED IN PLAT BOOK 4, PAGE 86, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

WHEREAS, the Town Commission of the Town of Sewall's Point has authority under the Code of Ordinances of the Town of Sewall's Point, Appendix B - Zoning, Section XI.E.3, to grant permission for lot owners to erect special lighting for night use of tennis courts upon request by the lot owner; and

WHEREAS, WILLIE E. GARY and GLORIA R. GARY, his wife, the owners of the above-described property, have applied for permission to erect special lighting for night use of tennis courts; and

WHEREAS, the Town Commission has determined that the notice requirements under the Code of Ordinances of the Town of Sewall's Point, Appendix B - Zoning, Section XI.E.3, have been fulfilled by the applicant, and that the applicants and members of the public have been heard, and that the Commission has received a petition in opposition to the lights which is signed by residents of the Town, and the Commission has considered all of the foregoing.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF SEWALL'S POINT, FLORIDA, THAT:

1. WILLIE E. GARY and GLORIA R. GARY, his wife, are hereby granted approval of the Town Commission of the Town of Sewall's Point to erect not more than eight cut-off environmental luminair lights on the tennis court on the above-described lot having a height of not more than eighteen (18) feet.

2. This approval is granted with the condition that the Town Commission of the Town of Sewall's Point reserves the

right to limit hours of play on the tennis court during which the lights can be used if the lights or the noise occasioned during use of the tennis courts under the lights is hereafter determined by the Town Commission of the Town of Sewall's Point to unreasonably intrude on the peace and tranquility of adjacent residential uses.

3. This resolution shall be recorded by WILLIE E. GARY and GLORIA R. GARY, his wife, in the Public Records of Martin County, Florida at their sole expense.

PASSED AND ADOPTED this 10th day of September, 1986.

ATTEST:

Joan Barrow
JOAN BARROW, Town Clerk

John C. Guenther
JOHN C. GUENTHER, Mayor -
Commissioner

Approved as to form and
correctness:

M. Lanning Fox
M. LANNING FOX, Town
Attorney

Gilbert C. Strubell
GILBERT C. STRUBELL, Vice-Mayor -
Commissioner

Robert R. Aune
ROBERT R. AUNE, Commissioner

Clifford B. Drake
CLIFFORD B. DRAKE, Commissioner

Irene E. O'Brien
IRENE E. O'BRIEN, Commissioner
OPPOSED

OCT 10 P12: 14

5048

INTERIOR

ALTERATIONS

5048

LOT 1 & 2 MADDALAY S/D STOP WORK ORDER

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT 287-2455
NOTICE OF VIOLATION

Whenever any building work is being done contrary to the provisions of the CODE or is being performed in a dangerous manner, the Building Official may order such work stopped.

Such persons engaged in the prohibited activity described below, and those causing the violation, must immediately secure the job from any danger of injury to persons or property and stop working.

Work may resume only after written approval of the Building Official to the extent of correcting the deficiencies named herein. Once there has been compliance with the Code the Building Official will authorize the balance of the work to proceed.

You have the right to appeal this order and its prescriptive measures.

Description: INTERIOR ALTERATIONS, INCLUDING AIR CONDITIONING, ELECTRICAL & POSSIBLE STRUCTURAL W/O REQUIRED BLDG. PERMIT.

Code: S.P. ORD. Section: 50-32

Code: S.F.B.C. Section: 301.1

Contractor: UNKNOWN

Owner: TO BE VERIFIED

Job Address: 167 S. SEWALL'S PT. RD. Permit No. NONE

Please contact this office to make arrangements to correct the above.

Date: 8/4/00

cc: TOWN CLERK
CHIEF OF POLICE



Building Official
EDWIN B. ARNOLD

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 8/14/00
Building to be erected for KARL S. LYDON
Applied for by O/B
Subdivision MAUDALAY Lot 1 & 2 Block _____
Address 167 S. SEWALL'S POINT RD.
Type of structure S.F.R.

BUILDING PERMIT NO. 5048
Type of Permit INT. ACT. (NON-STRUCT.)
(Contractor) Building Fee \$466.80
Radon Fee N/A
Impact Fee N/A
A/C Fee 120.00
Electrical Fee 120.00
Plumbing Fee 120.00
Roofing Fee N/A
Other Fees (PLAT REVIEW) 46.68
TOTAL Fees \$873.48

Parcel Control Number:
13-38-41-004-000-0001.0-10000
Amount Paid \$874.48 Check # 102 Cash _____
Total Construction Cost \$ 38,900.00

Signed Karl Lydon Applicant
Signed [Signature] Town Building Inspector OFFICIAL

BUILDING PERMIT **INTERIOR**

FORM BOARD SURVEY	DATE	SHEATHING	DATE
COMPACTION TESTS	DATE	FRAMING	DATE
GROUND ROUGH	DATE	INSULATION	DATE
SOIL POISONING	DATE	ROOF DRY IN	DATE
FOOTINGS / PIERS	DATE	ROOF FINAL	DATE
SLAB ON GRADE	DATE	METER FINAL	DATE
TIE-BEAMS & COLUMNS	DATE	AS-BUILT SURVEY	DATE
STRAPS AND ANCHORS	DATE	STORM PANELS	DATE
DRIVEWAY	DATE	LANDSCAPE & GRADE	DATE
AS-BUILT SURVEY	DATE	FINAL INSPECTION	DATE

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455
WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 8/14/00

BUILDING PERMIT NO. 5048
Type of Permit INT. ACT. (NON-STRUCT.)

Building to be erected for KARL S. LYDON

Applied for by O/B (Contractor)

Building Fee \$466.80

Subdivision MAUDALAY Lot 1 & 2 Block _____

Radon Fee N/A

Address 167 S. SEWALL'S POINT RD.

Impact Fee N/A

Type of structure S.F.R.

A/C Fee 120.00

Parcel Control Number:

13-38-41-004-000-0001.0-10000

Electrical Fee 120.00

Plumbing Fee 120.00

Amount Paid \$874.48 Check # 102 Cash _____

Roofing Fee N/A

Other Fees (PLAN REVIEW) 46.68

Total Construction Cost \$ 38,900.00

TOTAL Fees \$873.48

Signed Karl Lydon
Applicant

Signed [Signature]
Town Building Inspector

BUILDING PERMIT INTERIOR

FORM BOARD SURVEY	DATE	SHEATHING	DATE
COMPACTION TESTS	DATE	FRAMING	DATE
GROUND ROUGH	DATE	INSULATION	DATE
SOIL POISONING	DATE	ROOF DRY IN	DATE
FOOTINGS / PIERS	DATE	ROOF FINAL	DATE
SLAB ON GRADE	DATE	METER FINAL	DATE
TIE-BEAMS & COLUMNS	DATE	AS BUILT SURVEY	DATE
STRAPS AND ANCHORS	DATE	STORM PANELS	DATE
DRIVEWAY	DATE	LANDSCAPE & GRADE	DATE
AS BUILT SURVEY	DATE	FINAL INSPECTION	DATE <u>12/3/01</u>

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

FILE

MASTER PERMIT NO. 5048

TOWN OF SEWALL'S POINT

Date 8/25/00

BUILDING PERMIT NO. 5049

Building to be erected for KARI S. LYDON

Type of Permit ELECT-SUB

Applied for by ELECTRICAL CONNECTIONS

(Contractor)

Building Fee

Subdivision MANALAY Lot 1 & 2 Block

Radon Fee

Address 167 S. SEWALL'S POINT RD

Impact Fee

Type of structure S.F.R.

A/C Fee

QUALIFIER: DAVID HARMAN MC MBAC0049

Electrical Fee SEE YN 508

Parcel Control Number:

Plumbing Fee

Amount Paid Check # Cash Other Fees

Roofing Fee

Total Construction Cost \$

TOTAL Fees

Signed ON FILE W/ SITE (KATH. SIG. M. PETERSON) Applicant

Signed [Signature] Town Building Inspector OFFICER

BUILDING PERMIT ELECT. SUB

Table with 2 columns: Inspection Item, DATE. Items include FORM BOARD SURVEY, COMPACTION TESTS, GROUND ROUGH, SOIL POISONING, FOOTINGS / PIERS, SLAB ON GRADE, TIE-BEAMS & COLUMNS, STRAPS AND ANCHORS, DRIVEWAY, AS-BUILT SURVEY.

Table with 2 columns: Inspection Item, DATE. Items include SHEATHING, FRAMING, INSULATION, ROOF DRY-IN, ROOF FINAL, METER FINAL, AS BUILT SURVEY, STORM PANELS, LANDCAPE & GRADE, FINAL INSPECTION.

FLOOD ZONE

LOWEST HABITABLE FLOOR ELEV.

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

- Input boxes for New Construction, Remodel, Addition, Demolition.

This permit must be visible from the street, accessible to the inspector. FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APP OR SUBMITTED LS, AND COMMENTS IN THE PERMIT FILE. DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!

FILE

MASTER PERMIT NO. 5048

TOWN OF SEWALL'S POINT

Date 8/17/00

BUILDING PERMIT NO. 5050

Building to be erected for KARI S. LYDON

Type of Permit A/C

Applied for by AIRFLOW AC

(Contractor)

Building Fee

Subdivision MADALAY Lot 122 Block

Radon Fee

Address 167 S. SEWALL'S POINT RD.

Impact Fee

Type of structure S.F.R.

A/C Fee SEE IN 5048

QUALIFIER: JOHN HEMBERGER CA-C057450

Electrical Fee

Parcel Control Number:

Plumbing Fee

Roofing Fee

Amount Paid Check # Cash Other Fees

Total Construction Cost \$ TOTAL Fees

Signed Applicant

Signed Town Building Inspector OFFICIAL

BUILDING PERMIT A/C SUB

Table with 4 columns: Activity, Date, Activity, Date. Includes items like FORM BOARD SURVEY, SHEATHING, FRAMING, INSULATION, etc.

FLOOD ZONE LOWEST HABITABLE FLOOR ELEV.

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

Input boxes for New Construction, Remodel, Addition, Demolition

This permit must be visible from the street, accessible to the inspector. FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT, NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE. DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

RECEIVED
Bldg. Permit Number:
AUG 10 2000
BY: _____
Phone No. (351) 221-0467

Owner or Titleholder's Name Kari S. Lydon
Street: 167 S. Sewalls PT Rd City Stuart State: FL Zip 34996
Legal Description of Property: Lots 1 + 2, Mandalay Book 4 Page 86
Parcel Number: _____

Location of Job Site: 167 S Sewalls PT Rd Stuart FL 34996
TYPE OF WORK TO BE DONE: New Kitchen, replace light Fixtures and add outlets, Sheetrock

CONTRACTOR/Company Name: self (Sohn G. Lydon) Phone No. (561) 221-0467
Street: 167 S. Sewalls PT Rd City Stuart State: FL Zip 34996
State Registration: _____ State License: _____

ARCHITECT: None Phone No. () _____
Street: _____ City _____ State: _____ Zip _____

ENGINEER: None Phone No. () _____
Street: _____ City _____ State: _____ Zip _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:
Living Area: _____ Garage Area: _____ Carport: _____ Accessory Bldg: _____
Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION
Flood zone: Jes Minimum Base Flood Elevation (BFE): 9.0 NGVD
Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
Estimated cost of construction or Improvement: \$ 38,900.-
Estimated Fair Market Value (FMV) prior to improvement: \$ 550,000
If Improvement, is cost greater than 50% of Fair Market Value? YES ___ NO X
Method of determining Fair Market Value: What we Paid in June

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)
Electrical: Electrical Connections (Mike) State: FL License # _____
Mechanical: Air Flow (Jack Hemberger) State: FL License # SAC057450
Plumbing: _____ State: _____ License # _____
Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE 'BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)
Kari S. Lydon
Owner
State of Florida, County of: Martin On this the 10 day of Aug, 2000, by K. Lydon who is personally known to me or produced Fl-d-1. as identification.

CONTRACTOR SIGNATURE (Required)

Contractor
State of Florida, County of: _____ On this the _____ day of _____, 2000, by _____ who is personally known to me or produced _____ as identification.

Notary Public
Joan H. Barrow
My Commission Expires: _____
NOVEMBER 30, 2002
BONDED THRU TROY FAN INSURANCE, INC.

Notary Public
My Commission Expires: _____
(Seal)

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: NA Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____
Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE
 - a. Property Appraisers Parcel Number.
 - b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
 - c. Contractors name, address, phone number & license numbers.
 - d. Name all sub-contractors (properly licensed).
 - e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:
 - a. Floor Plan
 - b. Foundation Details
 - c. Elevation Views - Elevation Certificate due after slab inspection,
 - d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
 - e. Truss layout
 - f. Vertical Wall Sections (one detail for each wall that is different)
 - g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
2. Well Permit or information on existing well & pump.
3. Flood Hazard Elevation (if applicable).
4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: _____ Date: _____

Approved by Town Engineer _____ Date: _____
(If required)

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 8/14/00

BUILDING PERMIT NO. 5048

Building to be erected for KARL S. LYDON

Type of Permit INT. ACT. (STRUCT.) ^{NON-}

Applied for by O/B

(Contractor) Building Fee \$466.80

Subdivision MAUDALAY Lot 1#2 Block _____

Radon Fee N/A

Address 167 S. SEWALL'S POINT RD.

Impact Fee N/A

Type of structure S.F.R.

A/C Fee 120.00

Parcel Control Number:

13-38-41-004-000-0001.0-10000

Electrical Fee 120.00

Plumbing Fee 120.00

Amount Paid \$874.48 Check # 102 Cash _____

Roofing Fee N/A

Other Fees (^{PCAD} REVIEW) 46.68

Total Construction Cost \$ 38,900.00

TOTAL Fees \$873.48

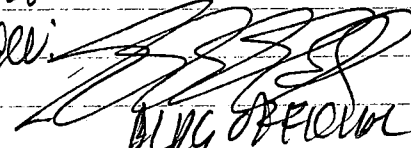
Signed Karl Lydon
Applicant

Signed [Signature]
Town Building Inspector [Signature]

Kitchen	14,000	
Lite Fixtures	2,000	
Etac Labor,		550.-
Sheet Rock	500.-	
Bath(s)	2,500.-	
Screen Pool area	9,000.-	
Ext. Lites	300.-	
awning	TBD	
Paint inside/out	5,000.-	
Air condition	4,600.-	
MISA, Material	1,000.-	
WALL paper		
	<u>38,900.-</u>	

Flooring

TBD

8/14/88 TOWN OF SEWELL'S POINT
 REMOVE: 
 ALV. OFFICIAL

Landscaping

TBD

NON-STRUCTURAL - INTERIOR ONLY
 O/B; SUB PERMIT: ELECT/ATC

* To Be Determined

FILE

TOWN COPY

187 S. SEWELL'S POINT RP.

As on APP.

* Kitchen

replace Lite Fixtures

ADD outlets

Sheet Rock (Damage walls Due to Paneling and or wall Paper glue)

Bath Tub, shower

Screen Pool area

replace ext. Lites

awning

Paint (indoor outdoor)

air conditioner (2 units)

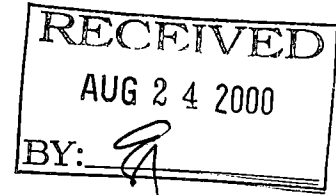
PN 5048

ELECTRICAL CONNECTIONS BY MIKE & D.J., INC.
150 Four Winds Drive
Stuart, FL 34996

To: Edwin Arnold, Building Official
Building Department
Town of Sewell's Point

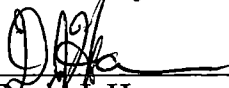
August 23, 2000

Re: John Lydon
167 S. Sewell's Point Rd.
Remodel Job




FILE
permit

I, David J. Harman, Qualifier for Electrical Connections By Mike & D.J., Inc., do hereby authorize my partner, Michael Pettengill, to sign and pull permits for the above referenced job.



David J. Harman
Qualifier
Electrical Connections by Mike & D.J., Inc.

Sworn & Subscribed to me this 23rd day of August, 2000, Martin County, Florida,
by David J. Harman, who is personally known to me.



Notary Public



Att: Edward Arnold

Certificate of Insurance



The Company Indicated below certifies that the insurance afforded by the policy or policies numbered and described below is in force as of the effective date of this certificate. This Certificate of Insurance does not amend, extend, or otherwise alter the Terms and Conditions of Insurance coverage contained in any policy or policies numbered and described below.

COPY

Certificate Holder's Name and Address:
TOWN OF SEWALLS POINT
TOWN HALL
1 SOUTH SEWALLS POINT ROAD
SEWALLS POINT, FL 34996

FILE
refus

Insured's Name and Address:
ELECTRICAL CONNECTIONS BY MIKE AND DANNING
208 SE ST. LUCIE BLVD #101
STUART, FL 34996

permit
FILE

RECEIVED
AUG 23 2000

TYPE OF INSURANCE	POLICY NUMBER AND ISSUING COMPANY	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS OF LIABILITY (*Limits At Inception)
GENERAL LIABILITY <input checked="" type="checkbox"/> Premises-Operations <input checked="" type="checkbox"/> Products-Completed Operations <input checked="" type="checkbox"/> Personal & Advertising Injury <input checked="" type="checkbox"/> Medical Expense <input checked="" type="checkbox"/> Fire Damage Legal <input type="checkbox"/> Other Liability <input type="checkbox"/> GARAGE LIABILITY-PREMISES	NATIONWIDE INSURANCE 77AC706650-3001	11/1/99	11/1/00	General Aggregate* \$2,000,000 Pr. Comp. Op. Agg.* \$1,000,000 Each Occurrence \$1,000,000 Any One Person/Org. \$1,000,000 Any One Person \$ 5,000 Any One Fire \$ 50,000 Each Accident Aggregate*
AUTOMOBILE LIABILITY # <input checked="" type="checkbox"/> BUSINESS AUTO <input type="checkbox"/> GARAGE <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Hired <input type="checkbox"/> Non-Owned # Fill in Either Combined Single Limits or Split Limits	77BA706650-3002	11/1/99	11/1/00	Bodily Injury (Each Person) (Each Accident) Property Damage (Each Accident) Combined Single Limit \$ 100,000
EXCESS LIABILITY <input type="checkbox"/> Umbrella Form				Each Occurrence \$ Aggregate* \$
<input type="checkbox"/> Workers' Compensation and <input type="checkbox"/> Employers' Liability				STATUTORY LIMITS Bodily Injury by accident Each Accident \$ Bodily Injury by Disease Each Employee \$ Bodily Injury by Disease Policy Limit \$

Insurance in force only for hazards indicated by X.

Description Special Items:

Authorized Representative: *[Signature]*
 Countersigned at: Pat O'Connell Insurance P.O. Box 650339 Vero Beach, Florida 32965
 Date Issued: 8/23/00

05-11-2000

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

RECEIVED
AUG 24 2000
BY: *[Signature]*

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE 04/04/2000
EXPIRATION DATE 04/04/2002
EXEMPTED INDIVIDUAL NAME PETTENGILL
S.S. 005-52-1697
BUSINESS NAME ELECTRICAL CONNECTIONS BY MIKE & D J INC
FEIN 650888005
BUSINESS ADDRESS 208 SE ST LUCIE BLVD
#101
STUART FL 34596

[Signature]
FILE
MICHAEL

FILE
lie/mh
COPY

NOTE: Pursuant to Chapter 440.10(1),(g),2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

PLEASE CUT OUT THE CARD BELOW AND RETAIN FOR FUTURE REFERENCE

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION



CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

EFFECTIVE DATE 04/04/2000
EXPIRATION DATE 04/04/2002
EXEMPTED PERSON LAST NAME PETTENGILL
FIRST NAME MICHAEL
SOCIAL SECURITY NUMBER 005-52-1697
BUSINESS NAME ELECTRICAL CONNECTIONS BY MIKE
INC
FEDERAL IDENTIFICATION NUMBER 650888005
BUSINESS ADDRESS 208 SE ST LUCIE BLVD
#101
STUART FL 34596

FOLD
HERE

NOTE: Pursuant to chapter 440.10(1),(g),2. F.S., a sole proprietor, partner, or officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not recover benefits or compensation under Chapter 440.

CUT HERE

* Carry bottom portion on the job, keep upper portion for your records.

COPY

RECEIVED
AUG 24 2000
BY: _____

MARTIN COUNTY CONTRACTORS CERTIFICATE OF COMPETENCY	
HARMAN, DAVID J ELECTRICAL CONNECTIONS 208 SE ST LUCIE BLVD #101 STUART , FL 34996	
EXPIRES SEPTEMBER 30, 20 00	
36336	CERTIFICATE NUMBER MEA0049

FILE
li/mj
pernel
FILE

125560807

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/03/1999	98032391	ER -A004037

The ELECTRICAL CONTRACTOR
Named above HAS REGISTERED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2000
(INDIVIDUAL MUST MEET ALL LOCAL COMPETENCY REQUIREMENTS
PRIOR TO CONTRACTING IN ANY AREA)

HARMAN, DAVID J
ELECTRICAL CONNECTIONS BY MIKE & DJ INC
208 ST LUCIE BLVD APT 101
STUART FL 34996

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
8/17/00

PRODUCER

KEARNS AGENCY OF FLORIDA, INC.
P.O. Box 1849
Jensen Beach, FL 34958

FILE FILE
Planned before

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED

AIRFLOW Heating & Airconditioning, Inc.
5315 SE Matousek Street
Stuart, FL 34997

INSURER A: Auto Owners Insurance Company

INSURER B:

INSURER C:

INSURER D:

INSURER E:

RECEIVED

AUG 17 2000

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	20574802	6/11/00	6/11/01	EACH OCCURRENCE \$ 300,000
					FIRE DAMAGE (Any one fire) \$ 100,000
					MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 300,000
					GENERAL AGGREGATE \$ 300,000
					PRODUCTS - COMP/OP AGG \$ 300,000
A	AUTOMOBILE LIABILITY ANY AUTO <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	4106376001	6/11/00	6/11/01	COMBINED SINGLE LIMIT (Ea accident) \$
					BODILY INJURY (Per person) \$ 100,000
					BODILY INJURY (Per accident) \$ 300,000
					PROPERTY DAMAGE (Per accident) \$ 50,000
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$
					OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS LIABILITY OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/>				EACH OCCURRENCE \$
					AGGREGATE \$
					\$
					\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTH-ER \$
					E.L. EACH ACCIDENT \$
					E.L. DISEASE - EA EMPLOYEE \$
					E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Air Conditioning & Heating Contractor - State of Florida

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Lawrence Kearns

Town of Sewalls Point
1 Sewalls Point Rd.
Sewalls Point, Fl. 34996
Fax #220-4765

STATE OF FLORIDA
DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY
DIVISION OF WORKERS' COMPENSATION

CONSTRUCTION INDUSTRY CERTIFICATE OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE OF EXEMPTION 07/01/88

EXEMPTED INDIVIDUAL NAME PEMBERTON

S.S. 079 44 6993

BUSINESS NAME AIRPORT AIR COND. & HEATING CO.

FEIN 55075717E

BUSINESS ADDRESS 5317 E. MATIAS ST.
SPRINGFIELD, FL 32149

NOTE: Pursuant to Chapter 440, Florida Statutes, the above-named individual is an officer or director of a corporation which elects exemption from the Florida Workers' Compensation Law and is not eligible for benefits of the law under Chapter 440.

Michael M. ...



Michael M. ...

COPIES
DATE
BY
COMM. FILE NO.
EFFECTIVE DATE
EXEMPTED INDIVIDUAL
S.S. NO.
S.S. NO.
FEIN
B. ADDRESS
STREET ADDRESS
CITY



STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONST. INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
STE 300
JACKSONVILLE FL 32211-7467

(904) 727-6530

HEMBERGER, JOHN JOSEPH
AIRFLOW AIRCONDITIONING & HEATING INC
5315 S E MATOUSEK STREET
STUART FL 34997

STATE OF FLORIDA AC# 5884
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CA -0057450 06/16/2000 99902
CLASS B CERTIFIED AIR COND CO
HEMBERGER, JOHN JOSEPH
AIRFLOW AIRCONDITIONING & HEAT

IS CERTIFIED under the provisions of Ch. 489
Expiration Date: AUG 31, 2002

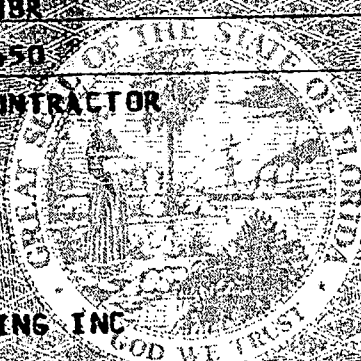
DETACH HERE

AC# 5884069

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/16/2000	99902229	CA -0057450

The CLASS B AIR CONDITIONING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2002



HEMBERGER, JOHN JOSEPH
AIRFLOW AIRCONDITIONING & HEATING INC
5315 S E MATOUSEK STREET
STUART FL 34997

JEB BUSH

CYNTHIA A. HENDERS
SECRETARY

PER # _____

TAX FOLIO # 13-38-41-004-000-0001.0-1000

NOTICE OF COMMENCEMENT

STATE OF _____

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

RECORDED
AUG 14 2000
BY: _____

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

lots 1 and 2, mandalay

GENERAL DESCRIPTION OF IMPROVEMENT: Replace Kitchen, Paint, New tile + Flooring, Air Cond + Update Electrical

OWNER: Kari Lydon

ADDRESS: 167 S. Sewalls PT Rd, Sewalls PT 34996

PHONE #: 221-0467

FAX #: 781-8552

CONTRACTOR: Owner

ADDRESS: _____

PHONE #: _____

FAX #: _____

SURETY COMPANY (IF ANY) N/A

STATE OF FLORIDA
MARTIN COUNTY

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL.

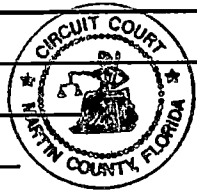
FAX #: _____

MARSHA STILLER, CLERK

BY: _____

DATE

8-14-00



ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: N/A

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: Kari Lydon

ADDRESS: 167 S. Sewalls PT Road, Sewalls PT 34996

PHONE #: 221-0467

FAX #: 781-8552

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

SIGNATURE OF OWNER [Handwritten Signature]

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14 DAY OF Aug 192000 BY _____

OR
PERSONALLY KNOWN
PRODUCED ID _____
TYPE OF ID FLDL
6350517648740

NOTARY SIGNATURE [Handwritten Signature]



Cynthia L. Robbins
MY COMMISSION # CC793229 EXPIRES
December 11, 2002
BONDED THRU TROY FAIR INSURANCE, INC

INSTR # 1442790
OR BK 01492 PG 1457
RECORDED 07/05/2000 08:31 AM
MARSHA STILLER
MARTIN COUNTY Florida
DOC TAX 3,850.00
DEPUTY CLERK L Wood

Prepared By:
Susan King-Court House Box 45
Title Guaranty and Trust Company, Inc.
900 East Ocean Boulevard, Suite 142
Stuart, Florida 34994

RECEIVED
AUG 14 2000
BY: _____

Parcel ID Number: 13-38-41-004-000-0001.0-10000
Grantee #1 TIN: 149-54-2984

Warranty Deed

This Indenture, Made this 30th day of June, 2000 A.D., Between Willie E. Gary and Gloria R. Gary, husband and wife

of the County of Martin, State of Florida, grantors, and Kari S. Lydon, a single woman

whose address is: 167 S. Sewalls Point Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin, State of Florida to wit:
Lots 1 and 2, MANDALAY, according to the plat thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2000.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Kim Bolin
Printed Name: Kim Bolin
Witness

Jesse Thomson
Printed Name: Jesse Thomson
Witness

Willie E. Gary (Seal)
Printed Name: Willie E. Gary
P.O. Address: 36 Rio Vista Drive, Stuart, FL 34996

Gloria R. Gary (Seal)
Printed Name: Gloria R. Gary
P.O. Address: 36 Rio Vista Drive, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 30th day of June, 2000 by Willie E. Gary and Gloria R. Gary, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.

Roxanne Devere Nelson
Printed Name: Roxanne Devere Nelson
Notary Public

My Commission Expires:

OFFICIAL NOTARY SEAL
ROXANNE DEVERE NELSON
COMMISSION NUMBER
00919200



EDWIN B. ARNOLD, AIA, CBO
Building Official

IA

D.

TOWN OF SEWALL'S POINT

Town Hall
One South Sewall's Point Road
Sewall's Point, Florida 34996

Phone (561) 287-2455
Fax (561) 220-4765

Disclosure Statement

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is in violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name Kari Lydon Date 8/10/00

Signed Kari Lydon

Address 167 S. Sewalls Pt Rd

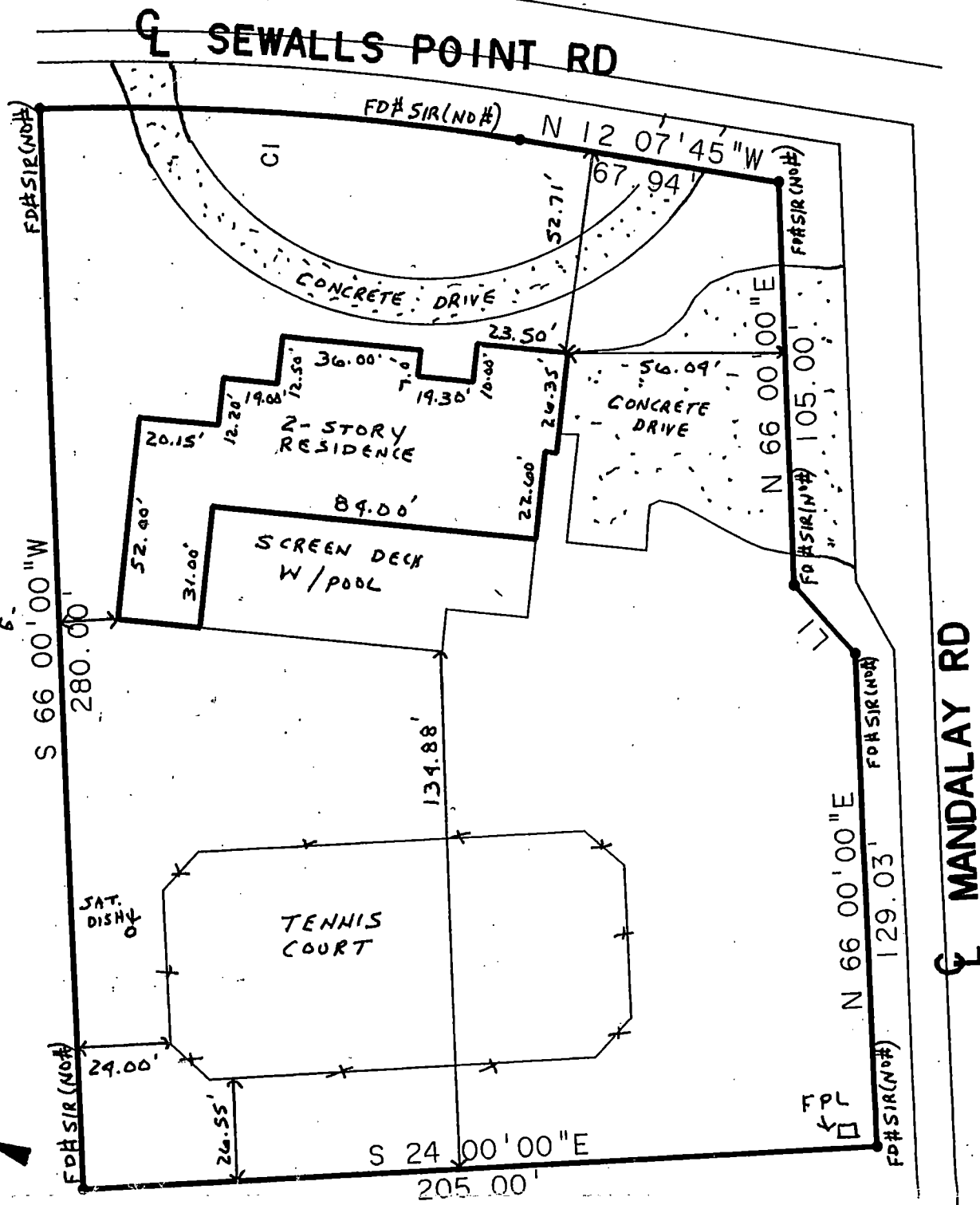
City & State Sewalls Pt, FL 34996

Permit No. 5048 8/14/00

This form is for all permits except electrical.
Revised October 25, 1995

FLOOD ZONE A8 ELEV. = 9.0
 FIRM PANEL 120164 0002C
 DATED APRIL 3, 1984

NOTE CBS WALL
 AROUND PROPERTY
 0.5' INSIDE



ARC 124.45'
 RADIUS 631.95'
 CURVE DELTA ANGLE 124.45'
 C I 11 17'00"

BEARING N 27 00'00"E
 DISTANCE 23.83'
 LINE L I
 L I

- LEGEND
- A=ARC
 - ASPH.=ASPHALT
 - C=CALCULATED
 - CH=CHORD
 - C/L= CENTERLINE
 - CM= CONCRETE MONUMENT
 - Δ= DELTA
 - D= DESCRIPTION
 - D.E.= DRAINAGE EASEMENT
 - FD.= FOUND
 - G.W.= GUY WIRE
 - I.P.= IRON PIPE
 - I.R. & C.= IRON ROD & CAP
 - L.P.= LIGHT POLE
 - M= MEASURED
 - N & W= NAIL & WASHER
 - O.E.= OVERHEAD ELECTRIC
 - P.= PLAT
 - PAVT.= PAVEMENT
 - P.C.= POINT OF CURVE
 - P.C.C.= POINT OF COMPOUND CURVE
 - P.P.= POWER POLE
 - P.R.C.= POINT OF REVERSE CURVE
 - P.T.= POINT OF TANGENT
 - P.C.P.= PERMANENT CONTROL POINT
 - P.R.H.= PERMANENT REFERENCE MARK
 - R= RADIUS
 - ROW= RIGHT OF WAY
 - U.E.= UTILITY EASEMENT
 - H.P.= HIGH POINT
 - BLK.= BLOCK
 - B.M.= BENCHMARK
 - F.F.= FINISHED FLOOR
 - SET I.R. & C.= SET IRON ROD & CAP LB # 6253
 - CONC.= CONCRETE
 - NTS= NOT TO SCALE

DESCRIPTION

LOTS 1 AND 2, MANDALAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGES(S), 86, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SAID LANDS SITUATE IN MARTIN COUNTY, FLORIDA.

STREET ADDRESS: 167 S. SEWALLS POINT ROAD

SURVEYOR'S CERTIFICATE:

THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. AND, THAT THE SKETCH HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF. SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

NOTES:

- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
- 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, MURPHY ACT DEEDS, OR ADJOINING DEEDS.
- 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HER AGENT.
- 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON.
- 5) UNDERGROUND FOUNDATIONS NOT LOCATED.
- 6) BASE OF BEARINGS IS THE CENTERLINE OF S. SEWALLS POINT ROAD AS SHOWN ON THE PLAT OF MANDALAY RECORDED IN PLAT BOOK 4, PAGE 86, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

CERTIFIED TO:

KARI S. LYDON
 WORLD SAVINGS
 TITLE GUARANTY & TRUST COMPANY, INC.
 ATTORNEYS' TITLE INSURANCE FUND, INC.

DATED 6-19-2000

Gerald W. Tansky
 GERALD W. TANSKY

PROFESSIONAL REGISTRATION NO. 4464

AS BUILT SURVEY PREPARED FOR: TITLE GUARANTY

TREASURE COAST LAND SURVEYORS
 LB # 6453 PROFESSIONAL LAND SURVEYORS
 3250 CANDICE AVE.
 JENSEN BEACH, FLORIDA 34957
 PHONE # 334-2663

REVISIONS	BY	DATE

DRAWN: G.W.T.
 CHECKED: G.W.T.
 DATE: 6-19-2000
 SCALE: 1" = 40'
 JOB #: 80-303
 SHEET 1 OF 1

TOWN OF ... POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-11, 2000; Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N 5037	Dunker	final fence	PASSED	
②	19 Perriwinkle Crescent Quality Fence		☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S ④	LYDON 167 S. SEWALL'S POINT RD O/B 285-1849	"AFTER FACT" PERMIT APPLICATION - STATUS VERIFICATION	OK FOR PERMIT	11:00 OF WRITE "AFTER FACT" PER (CORRECTIVE ONLY TO DATE)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S 4882	Woods	sheathing	PASSED	10:15 - 10:30
③	116 S. River Rd. Pacific 263-0116	(REINSPECT) (GARAGE FLOOR DECK)	☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ N ①	Zorro 124 N. S. P. Rd. Buford	frame all	INCOMPLETE	WILL CALL FOR REINS.
		NOT READY - NEED TROSS BRACKETS	☞	MONDAY - NO PER
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S ⑤	Danielson 161 S. River Rd. Miller	slab	PASSED	COMP. TEST / FORM BOARD REL - FIELD COPY TO SITE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ S ⑥	Stukel 7 Lanterns Lane Masterpiece	screw-off	PASSED	as late as possible
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: _____

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-4, 2000; Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5029	Page (off VISIT DR.) 6 Lantana Lane Olympic	pool/steel	PASSED A	
✓ 5019	Vasquez 82 S.S.P. Rd. Groza	demo. in-progress	OK. A	WORK W/ SCOPE OF PERMIT - MET OWNER ON SITE
✓ 5033	Gifford 103 H Sewall Way SCREENCO NORTH, INC	final pool enc. (SETBACK & BOND OK)	RETESTED (PAC) A	ADD REQUIRED S.M. SCREWS PER ENG'G DRAW TO POST DEMO REINSP. REQ. - NO FEE
✓ 4959	Tetamanti 19 Lofting Way Greg Pools	patio	PASSED A	comp. test req'd 8/3
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS

OTHER: 167 S. SEWALL'S POINT RD (NE CORNER - MANDALAY)
 STOP WORK - EXTENSIVE INTERIOR REMOD - NO PERMIT; RUC DUMPSTER W/ A/C DOES DEMOS
 - NO ONE ON SITE; EXTENSIVE NEW BRICK. (WEL. DROP SORRY W/ LGTG.)
 INSPECTOR (Name/Signature): CHOICE INSULATION, 461-8009 (# 20-032)

TOWN OF SEASIDE

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-23- , 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5048	Lydon 221-0467 JOHN 285-1849	electrical		ELECT SUB PN 5049
X	167 S.S.P. Rd owner	called owner advised - he will recheck after permit issued	OK	NOT ISSUED TO DATE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5059	Whalen	plywood	PASSED	after lunch
N (7)	9 Knowles Rd. Cardinal	nailing SHEATHING	✓	OK today in; patch @ STAIR W/CL WSP,
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4857	Conway	insulation	PASSED	
N (6)	4 Oak Hill Way owner		✓	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5054	Mike Vennis	structure	PASSED	side door will
N (8)	H Bay Florist 3756 E. Ocean	FRAMING- NON-STREET INT. DIV. WALL	✓	be unlocked NOTED ON PERMIT THAT STARTED FINAL WSP. REE-
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4975	Steinhøj	pool deck	PASSED	VERIFIED 15' REQ. SIZE
(2)	106 Hillcrest Andrews		✓	SEE PERM & TRIM TO VERIFY REQUIREMENTS w/OWNER
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4978	Kooge	dock final	PASSED	
(3)	8 St Lucie Court Tropic		✓	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5045	Lopez	final	PASSED	
(4)	5 Middle Rd. Major	awnings (RENSP/PER)	✓	

OTHER: T/R APPL. ARCH. 18 PALM ROAD - MONTE'S TREE SERVICE ✓ APPROVED

INSPECTOR (Name/Signature): _____

TO 'N OF SE 'ALL' POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 8-25, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5073	Hellriegel	storm FINAL	PASSED	LAST ITEM FOR CO. -
N (9A)	11 Castle Hill Way owner	shutters (REINSPECT)	↗	ISSUED 8/25/00 @ PN 4628
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5043	Hellriegel	fence-FINAL	PASSED	
N (9B)	11 Castle Hill Way Adron		↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4936	PRICE	FINAL (RELOOK)	PASSED	
S (4)	6 D. VIA LUCINDA PARKIE		↗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5048	Lydon	electrical PR.	PASSED	- NO STROKES. PROHIBIT
S (5)	167 S.S.P Rd. Electrical Connection	(SUB PN 5049 - ELEC. CONN) MIKE PERTWILL 475-4794 LABL 288-5121	↗ (P-RANGE)	- 11 ARREST; VOWING EXT. REPL ONLY
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5046	ESQUE	DECK - STRATH.	NOT REAR	NO PRIOR INSP. (PER. ISS. 8/16)
N (14)	2 BANYAN RD. COOPER	roof	RESERVED 8/28 9:30	1:15 WILL NOT STAY IN MONDAY
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4850	DAVIS	SLIDING DOOR	PASSED	FR. INSP 3/3/00
(3)	11 MIRAMAR East Coast Alum.	FINAL (DOOR INSTR COMPLETED EXT. SEALING)	NOT NOTED ↗	SLUG VR @ SIDE OF PAK. RM. DOOR NOT REPL - M/C.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5059	Whalen	IN PROGRESS	PASSED	AM Preferred
N (1)	9 Knowles Rd. Cardinal	dry + metal (All)	↗	9:00 (8-9) will be there w/ ladder (W. RE. REPL.)

OTHER: * Robinson trees 173 S. River DRIFTWOOD HOMES - ALLEN 334-2577
 (6) T/R PERMIT INSP ✓ OK per submittal 9:30-10:00 (COO) 529-2577
 (BPN 5063)

INSPECTOR (Name/Signature): _____

Clerk of Sewall's Point

From: "Jean Sanders" <sandfam@treco.net>
To: <clerk@sewallspoint.org>
Sent: Monday, September 18, 2000 9:09 AM
Subject: renovations

I live across the street from 167 South Sewall's Point Road, where the new residents have been renovating the former Gary house. There has been a dumpster and unsightly piles of debris in the yard for more than three months.

I quite understand when jobs take longer than planned. There should be a limit on the time a dumpster is out in full view. Three and a half months is ours.

Could you please tell me how much longer we are expected to view this on-going renovation?

Thank you.

Jean Sanders
3 Mandalay Road
Sewall's Point, FL 34996
561.221.9226
sandfam@treco.net

TOWN OF SWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/22, 2000; Page 1 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5007	Page	screw for	PASSED	
S (1)	8 ST. LUKE CT. White Lake	drywall (REINSPECT)	✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4628	Hellreigel	FINAL	PASSED	PERMIT IN M... 0/0/W
(3)	11 CASTLE HILLWAY ADVANTAGE POOLS	POOL	✗	TRIMITE SPRAY 7/26/00
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
4985	READ	FINAL-FILL	PASSED	O/B HAS RESEDED
(2)	1 MARGUERITA O/B	(Reinspection)	✗	FILL AREA.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4877	LOYOLA/OSBORNE	DRY IN	FAILED	NO COMPLETE -
(6)	20 CASTLE HILL BUFORD		✗	NO RITE INSTALLED REINSY - NO FEE
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4860	DEMARKARIAN	POOL FINAL	PASSED	
(4)	19 CASTLE HILLWAY HARBOR BAY POOLS		✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4798	SUWISS AM	POOL FINAL	PASSED	
(7)	4 SE BANYAN POOLS BY GREGG.		✗	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
N 4732	VBTTAMANTI	FINAL-WALK THRU	PERFORMED	10:00-10:50
(3)	19 NE LOFTING WAY GARY HUFFNAGEL	284-6224	✗	CHECK LIST FOR CONTR.

OTHER: LYONS 1675 SWALL'S POINT ROAD - SWALL'S POINT NOTICE TO EXMPT DUMPSTER
PN 518

INSPECTOR (Name/Signature): _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/27, 2000; Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5 ④	1978 Rimer 29 So. River Leaf Dev.	ret. wall footer at studio	PASSED ☑	REVIEWS REV. 9/25 -COPY TO SITE
✓ N ⑧	4775 Campo 5 Palama Way Seagate	landscape arch. review	VERIFIED REPL. TREE REQU.	11:00; T/R DOCS TO SITE
✓ S ③	4956 Foglia 101 H. Sewall Foglia STARLITE POOL BLDR	pool final PLUMB'G. (PER G.C.)	PASSED ☑	
✓ S ⑦	5096 Chontos 83 S.S.P. Rd. A & W	sheathing	PASSED ☑	10:50 NOT READY; REINSPE. 1:00 ✓
✓ N ⑧B	4959 Tetamarti 19 Lofting Way Grea	final pool	PASSED ☑	
X	4959 Tetamarti 19 NE Lofting Way	final pool	DUPLICATE	
✓ N ⑥	4949 Conway 4 oak hill Way OLYMPIC POOLS	Pool Plumbing	PASSED ☑	

OTHER: LYON; 167 S. SEWALL'S POINT RD - VERIFY DUMPSTER EMPTY (5 DAY NOTICE 9/22)
 PN 5048 ✓ MET W/OWNER ON SITE; PICKUP SCHED FOR THUR. 9/28; WILL
 REPLACE W/SMAKER UNIT TO COMPLETE PROJECT. ☑

INSPECTOR (Name/Signature): _____

TO ' ' OF SE ' ALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/29, 2000; Page 1 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4797	KENNEDY	POOL - FINAL	PASSED*	"AS BUILT" SURVEY RCW 9/21
Ⓢ	111 N. S.P. RD.	(RESCHEDULED)	⚡	- FIELD COPY TO SITE
	A&G. CONE. POOLS			* FIELD COPY - POOL CONST.
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4732	Tetamanti	final	PASSED	
Ⓢ	19 Lofting Way	FIELD (NSP.)	⚡	
	Hufnagel			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5029	Barile	framing	PASSED	
Ⓢ	17 Fieldway Dr.	(WINDOW REPL.)	⚡	
	EAST COAST ALUM.			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4965	Danielson	equipment	PASSED	A/C PAD SCREEN
Ⓢ	161 S River Rd	walk (alc	⚡	WALK STL. PER
	Miller	pad)		ENGR. DWG 7/17/00 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4897	Van Wagner	final pool	PASSED	
Ⓢ	3 Paloma Way		⚡	
	RHR Pools			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4857	Conway	screw off	PASSED	
Ⓢ	4 Oak Hill Way	dry well	⚡	
	Conway			
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5 5096	Chontos	dry-in	NOT READY	9:30 NO ONE ON SITE
Ⓢ	83 S. S.P. Rd.	metal 283-8100	CANCEL	NO ACCESS; NO MISC.
	A & W CHRIS 260-2731 (NOB) JOHN 260-2505 (NOB)			PER CHRIS 10:15

OTHER: CODE COMPLIANCE VERIFICATION: 167 S. SEWALLS POINT RD. (PN 5048) OK Ⓢ
UG DUMPSTER REMOVED / REV. CONT. EMPTY
- DEMARKATION; 19 CASTLE HILL WAY (PN 4651)
GUTTER / DRY WELL & DIVERTER @ REAR - ON SITE RETENTION OK
RECOMPACT; NICKLAS 21 CASTLE HILL WAY 286-7009 Ⓢ

INSPECTOR (Name/Signature): _____

5153

A/C CHANGEOUT

MASTER PERMIT NO. 5048

TOWN OF SEWALL'S POINT

Date 10/30/00
Building to be erected for KARI S. LYDON
Applied for by AIRFLOW, A/C
Subdivision MANDALAY Lot 1 & 2 Block _____
Address 167 S. SEWALL'S POINT RD
Type of structure S.F.R.

BUILDING PERMIT NO. 5133
Type of Permit A/C (REPL. W/ALT.)
(Contractor) Building Fee _____
Radon Fee _____
Impact Fee _____
A/C Fee \$ 120.00
Electrical Fee _____
Plumbing Fee _____
Roofing Fee _____
Other Fees (_____)
TOTAL Fees \$ 120.00

Parcel Control Number:
13-38-41-004-000-0001.0-10000

Amount Paid \$ 120.00 Check # 0307 Cash _____
Total Construction Cost \$ 2,500.00

Signed Jack R. Van Man
Applicant

Signed [Signature]
Town Building Inspector OFFICIAL

BUILDING PERMIT A/C

FORM BOARD SURVEY	DATE _____	SHEATHING	DATE _____
COMPACTION TESTS	DATE _____	FRAMING	DATE _____
GROUND ROUGH	DATE _____	INSULATION	DATE _____
SOIL POISONING	DATE _____	ROOF DRY-IN	DATE _____
FOOTINGS / PIERS	DATE _____	ROOF FINAL	DATE _____
SLAB ON GRADE	DATE _____	METER FINAL	DATE _____
TIE-BEAMS & COLUMNS	DATE _____	AS BUILT SURVEY	DATE _____
STRAPS AND ANCHORS	DATE _____	STORM PANELS	DATE _____
DRIVEWAY	DATE _____	LANDCAPE & GRADE	DATE _____
AS-BUILT SURVEY	DATE _____	FINAL INSPECTION	DATE <u>11/8/00</u>

FLOOD ZONE _____ LOWEST HABITABLE FLOOR ELEV. _____

24 HOURS NOTICE REQUIRED FOR INSPECTIONS. CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM
MONDAY THROUGH SATURDAY

New Construction Remodel Addition Demolition

This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FASTEN THIS OR ANY OTHER SIGN TO A TREE!



**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Bldg. Permit Number: 5048

Owner or Titleholder's Name KARL S LYDON Phone No. (861) 2210467
 Street: 167 S. SEWALLS PT RD City STUART State: FL Zip 34996
 Legal Description of Property: _____

Parcel Number: _____ **RECEIVED**
 Location of Job Site: SAME **OCT 26 2000**
 TYPE OF WORK TO BE DONE: NEW SYSTEM! EXISTING STRUCTURE

CONTRACTOR/Company Name: AIRFLOW INC Phone No. (861) 7812665
 Street: 5315 SW MATTHEW ST City STUART State: FL Zip 34997
 State Registration: 5569201 State License: CACO 57450

ARCHITECT: _____ Phone No. () _____
 Street: _____ City _____ State: _____ Zip _____

ENGINEER: _____ Phone No. () _____
 Street: _____ City _____ State: _____ Zip _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:
 Living Area: _____ Garage Area: _____ Carport: _____ Accessory Bldg: _____
 Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
 Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
 New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION
 Flood zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
 Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
 Estimated cost of construction or improvement: \$ 2500.00
 Estimated Fair Market Value (FMV) prior to improvement: \$ 2500.00
 If Improvement, is cost greater than 50% of Fair Market Value? YES ___ NO ___
 Method of determining Fair Market Value: _____

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)
 Electrical: _____ State: _____ License # _____
 Mechanical: _____ State: _____ License # _____
 Plumbing: _____ State: _____ License # _____
 Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)
[Signature]
 State of Florida, County of: _____ On
 this the _____ day of _____, 2000,
 by _____ who is personally
 known to me or produced _____
 as identification.

Notary Public
 My Commission Expires: _____
 (Seal)

CONTRACTOR SIGNATURE (Required)
[Signature] Jack Hemberger
 Contractor
 State of Florida, County of: Martin On
 this the 26th day of October, 2000,
 by J. Hemberger who is personally
 known to me or produced Fl.d.l.
 as identification.

Notary Public
 My Commission Expires: _____



Joan H. BERTOW
 MY COMMISSION # CC 76506 EXPIRES
 November 30, 2002
 BONDED THRU TROY FAIN INSURANCE, INC.

TREE REMOVAL (Attach sealed survey)

Number of trees to be removed: _____ Number of trees to be retained: _____ Number of trees to be planted: _____ Number of Specimen trees removed: _____
Fee: \$ _____ Authorized/Date: _____

DEVELOPMENT ORDER # _____

1. ALL APPLICATIONS REQUIRE

- a. Property Appraisers Parcel Number.
- b. Legal Description of your property. (Can be found on your deed survey or Tax Bill.)
- c. Contractors name, address, phone number & license numbers.
- d. Name all sub-contractors (properly licensed).
- e. Current Survey

2. Take completed application to the Permits and Inspections Office for approval. Provide construction details and a plot plan(s) showing setbacks, yard coverage, parking and position of all buildings on the property, stormwater retention plan, etc. Compliance with subdivision regulations can also be determined at this time.

3. Take the application showing Zoning approval (complete with plans & plot plan) to the Health Department for septic tank. Attach the pink copy to the building application.

4. Return all forms to the Permits and Inspection Office. All planned construction requires: two (2) sets of plans, drawn to scale with engineer's or architects seal and the following items:

- a. Floor Plan
- b. Foundation Details
- c. Elevation Views - Elevation Certificate due after slab inspection,
- d. Plot Plan (show desired floor elevation relative to Sea Level in front of building, plus location of driveway).
- e. Truss layout
- f. Vertical Wall Sections (one detail for each wall that is different)
- g. Fireplace drawing: If prefabricated submit manufacturers data

ADDITIONAL Required Documents are:

- 1. Use permit (for driveway connection to public Right of Way). Return form with plot plan showing driveway location (State Road A-1-A East Ocean Boulevard only).
- 2. Well Permit or information on existing well & pump.
- 3. Flood Hazard Elevation (if applicable).
- 4. Energy Code Compliance Certification plus any Approved Forms and/or Energy Code Compliance Sheets.
- 5. Statement of Fact (for Homeowner Builder), and proof of ownership (Deed or Tax receipt).
- 6. Irrigation Sprinkler System layout showing location of heads, valves, etc.
- 7. A certified copy of the Notice of Commencement must be filed in this office and posted at the job site prior to the first inspection.
- 8. Replat required upon completion of slab or footing inspection And Prior to any further inspections.

NOTICE: In, addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of COUNTY OF MARTIN, and there may be additional permits required' from other governmental entities such as water management districts, state and federal agencies.

Approved by Building Official: _____ Date: _____

Approved by Town Engineer _____ Date: _____
(If required)

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
8/17/00

PRODUCER
KEARNS AGENCY OF FLORIDA, INC.
P.O. Box 1849
Jensen Beach, FL 34958

RECEIVED
AUG 23 2000

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW

INSURERS AFFORDING COVERAGE

INSURED
AIRFLOW Heating & Airconditioning, Inc.
5315 SE Matousek Street
Stuart, FL 34997

INSURER A: Auto Owners Insurance Company
INSURER B:
INSURER C:
INSURER D:
INSURER E:

FILE

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OF MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/>	20574802	6/11/00	6/11/01	EACH OCCURRENCE \$ 300,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				FIRE DAMAGE (Any one fire) \$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 300,000
					GENERAL AGGREGATE \$ 300,000
					PRODUCTS - COMP/OP AGG \$ 300,000
GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJ-ECT <input type="checkbox"/> LOC					
A	AUTOMOBILE LIABILITY	4106376001	6/11/00	6/11/01	COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$ 100,000
	<input checked="" type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$ 300,000
	<input checked="" type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$ 50,000
<input checked="" type="checkbox"/> HIRED AUTOS					
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
GARAGE LIABILITY					
<input type="checkbox"/> ANY AUTO					
OTHER THAN EA ACC \$					
AUTO ONLY: AGG \$					
EXCESS LIABILITY					
<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE					
<input type="checkbox"/> DEDUCTIBLE					
RETENTION \$					
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY					
WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/>					
E.L. EACH ACCIDENT \$					
E.L. DISEASE - EA EMPLOYEE \$					
E.L. DISEASE - POLICY LIMIT \$					
OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Air Conditioning & Heating Contractor - State of Florida

CERTIFICATE HOLDER
Town of Sewalls Point
1 Sewalls Point Rd.
Sewalls Point, Fl. 34996
Fax #220-4765

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
Lawrence B. Kearns

EMPLOYMENT SECURITY
COMPENSATION

DECLARATION OF EXEMPTION
FROM FLORIDA WORKERS' COMPENSATION LAW

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE OF EXEMPTION 07/13/1997

EXEMPTED INDIVIDUAL NAME HEMBERGER JOHN

S.S. 079-44-6493

BUSINESS NAME AIRFLOW AIR CONDITIONING & HEATING INC

FEIN 650757176

BUSINESS ADDRESS 5315 S E MATOUSKE ST
STUART FL 34907

NOTE: Pursuant to Chapter 440.09(1)(g) 2 F.S., a sole proprietor, partner, or an officer of a corporation who elects exemption from the Florida Workers' Compensation Law may not receive benefits or compensation under Chapter 440.

Michael McCall

AUTHORIZED SIGNATURE



DEPARTMENT OF ECONOMIC SECURITY
STATE OF FLORIDA
EFFECTIVE DATE 07/13/1997
EXEMPTED INDIVIDUAL NAME HEMBERGER
JOHN
SOCIAL SECURITY NUMBER 079-44-6493
BUSINESS NAME AIRFLOW AIR CONDITIONING & HEATING
INC
FEDERAL IDENTIFICATION NUMBER 650757176
BUSINESS ADDRESS 5315 S E MATOUSKE ST
STUART FL 34907

Michael McCall

AUTHORIZED SIGNATURE

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

(904) 727-6530

CONST. INDUSTRY LICENSING BOARD
7960 ARLINGTON EXPRESSWAY
STE. 300
JACKSONVILLE FL 32211-7467

MEMBERGER, JOHN JOSEPH
AIRFLOW AIRCONDITIONING & HEATING INC
5315 S E MATOUSEK STREET
STUART FL 34997

STATE OF FLORIDA AC# 588

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CA - C057450 06/16/2000 9990

CLASS B CERTIFIED AIR COND C
MEMBERGER, JOHN JOSEPH
AIRFLOW AIRCONDITIONING & HEA

IS CERTIFIED under the provisions of Ch. 48

Expiration Date: AUG 31, 2002

DETACH HERE

AC# 5884069

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONST. INDUSTRY LICENSING BOARD

DATE	BATCH NUMBER	LICENSE NBR
06/16/2000	99902229	CA - C057450

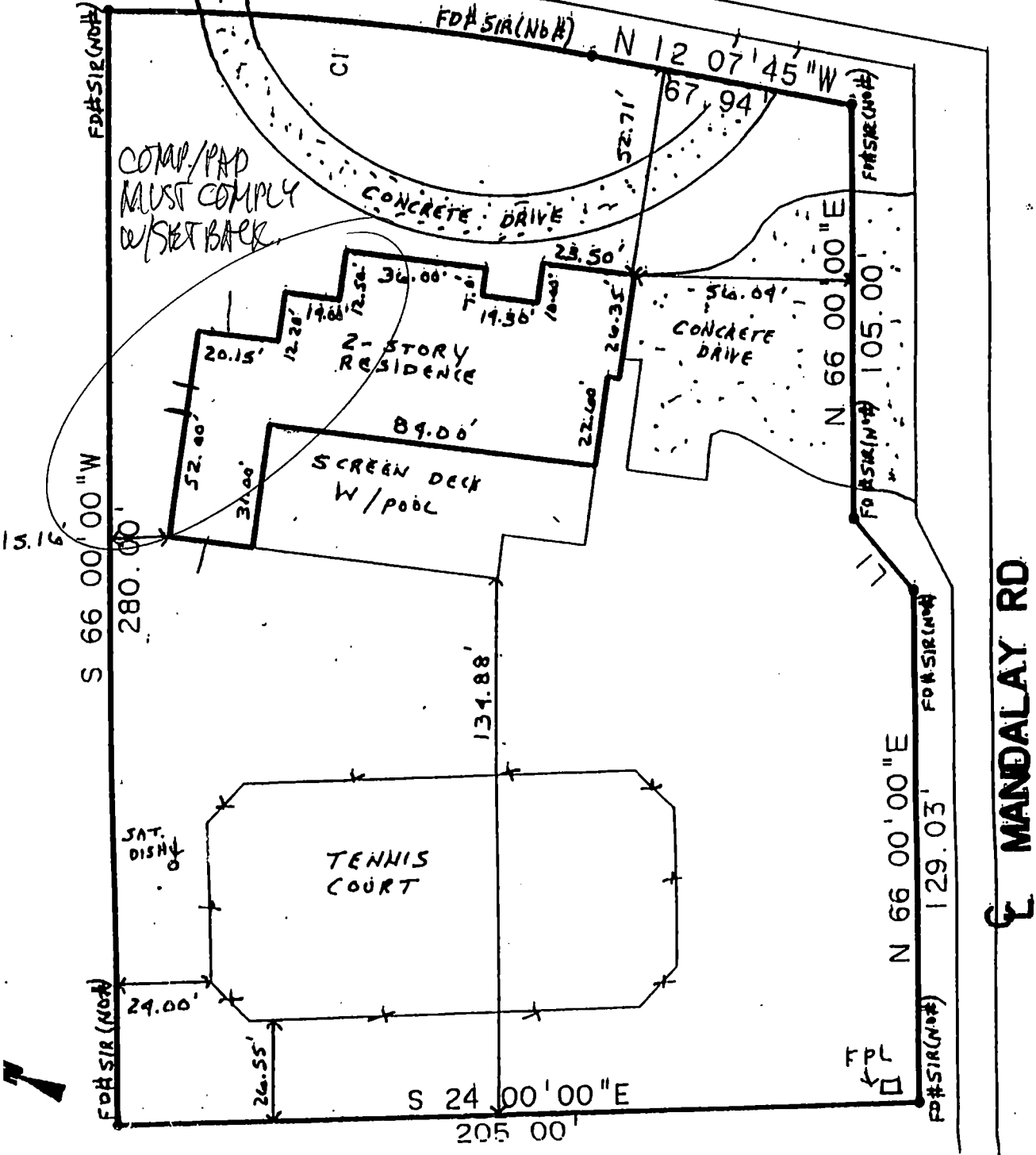
The CLASS B AIR CONDITIONING CONTRACTOR
Named Below IS CERTIFIED
Under the provisions of Chapter 489 FS
Expiration date: AUG 31, 2002

MEMBERGER, JOHN JOSEPH
AIRFLOW AIRCONDITIONING & HEATING INC
5315 S E MATOUSEK STREET
STUART FL 34997

CYNTHIA A. HENDER
SECRETARY

JEB BUSH

SEWALLS POINT RD



MANDALAY RD

CERTIFIED TO:

KARI S. LYDON
 WORLD SAVINGS
 TITLE GUARANTY & TRUST COMPANY, INC.
 ATTORNEYS' TITLE INSURANCE FUND, INC.

TO
 PLAT
 LIC
 A.
 NTY,
 OINT ROAD
 ICATE:

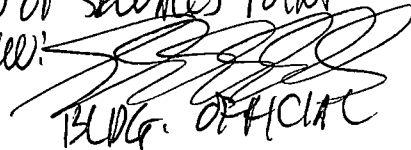
AT A SURVEY OF THE PROPERTY DESCRIBED HEREON
 SUPERVISION AND THAT THE SURVEY MEETS THE
 STANDARDS SET FORTH BY THE FLORIDA BOARD OF
 SURVEYORS IN CHAPTER 61G17-6, FLORIDA
 DE. PURSUANT TO SECTION 472.027, FLORIDA
 AT THE SKETCH HEREON IS A TRUE AND ACCURATE
 DEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 AND NOTATIONS SHOWN HEREON.

- NOTES:
- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYORS SEAL.
 - 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, MURPHY ACT DEEDS, OR ADJOINING DEEDS.
 - 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HER AGENT.
 - 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON.
 - 5) UNDERGROUND FOUNDATIONS NOT LOCATED.
 - 6) BASE OF BEARINGS IS THE CENTERLINE OF S. SEWALLS POINT ROAD AS SHOWN ON THE PLAT OF MANDALAY RECORDED IN PLAT BOOK 4, PAGE 86, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

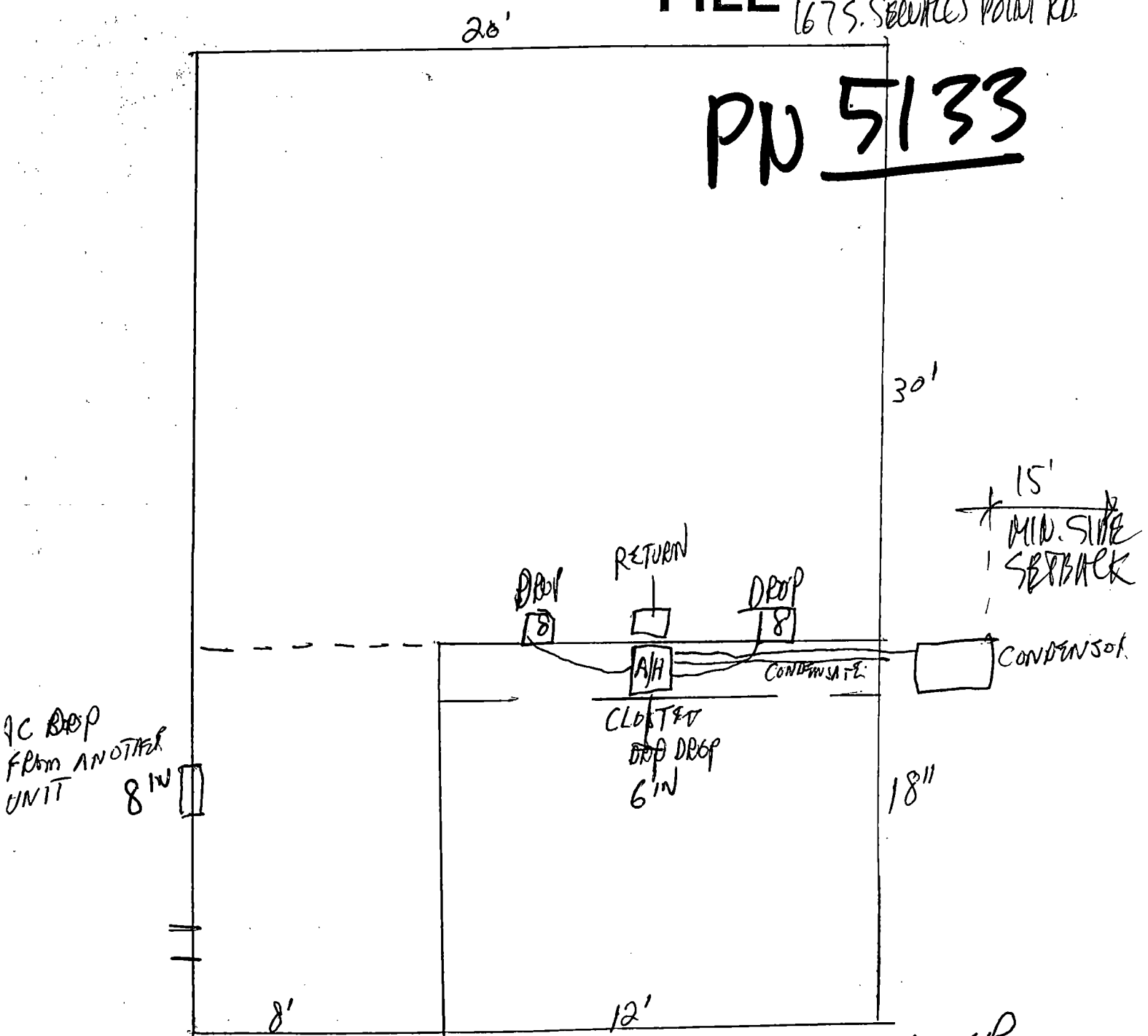
SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
 TOWN OF SEWALLS POINT

KARI LYDON
167 S. SEWALS PT. RD

1344 FAIRVIEW ST 304

10/30/08 TOWN OF SEWALS POINT
REVIEW: 
BLDG. OFFICIAL

FILE TOWN COPY
167 S. SEWALS POINT RD.



2 TON AIR HANDLER AND CONDENSOR UNIT 10 SEER
 8 IN 333 CFM
 8 IN 333 CFM
 6 IN 222 CFM
 JANTROL
 2500.00

TO 'N' OF CE 'ALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri Sat Sun, 11/8/00, 2000; Page 2 of 3

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4702	PERRY	DRY WALL +	PASSED	
⑤	18 N. RIDGEVIEW O/B (CHRIS/JULIA PERRY)	SCREW	☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5135	Smith	final	PASSED	
④	11 Simera St. Oak Hammock	driveway	☞	
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5068	Winer	temp el.	NOT	REINSPECTION REQUIRED
①A	19 Ridgeland Leaf	(relocation)	READY	(NO FEE)
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5133	Lydon (P/S 048)	metal	PASSED	9:30 + ✓
②	167 S.S.P. Rd. AIRFLOW A/C	Final (NEW SYSTEM)	☞	P/S 5133 - AIRFLOW A/C
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 5131	Wood	tt	PASSED	SHEATHING 11/6/00
③	15 Lantana Pacific	metal	☞	9:45 ✓
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
5119	Kokoyannis	tt	☞	will be in to
X	80 S. River	metal	☞	pay fee 11-8-00
	Pacific			CANCEL BY CONTR. 11/8
PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	REMARKS
✓ 4717	ZARRO	D/W (PTL)	PASSED	LOWER LEVEL (NORTH)
⑧	124 N. SEWALL'S POINT RD BUFORD CONST.		☞	TO GARAGE AREA

OTHER: _____

INSPECTOR (Name/Signature): _____

CORRESPONDENCE

UNITY OF TITLE

DISSOLUTION

BAUER & TWOHEY, P.A.
ATTORNEYS AT LAW

RECEIVED OCT 17 2000

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

Telephone: (561) 221-8221
Facsimile: (561) 221-8225

*Also Admitted in Connecticut
Vicki Plummer-Wellmaker

Paralegal

October 13, 2000

VIA HAND DELIVERY

Tim B. Wright, Esq.
Warner, Fox, et al.
1100 S. Federal Hwy.
Stuart, FL 34994

CLIENT'S COPY

Activity	
Calendar for	
Routing	FBW
Date Calendar	10-17-00
By Whom	WJ
Client (if copied)	

**RE: LOTS 1 & 2, MANDALY
OWNER: KERRI S. LYDON**

FILE
w/under permit

RECEIVED
OCT 25 2000
BY: [Signature]

Dear Tim:

Last week we discussed the Release of the Unity of Title Agreement presently in force for Lots 1 and 2, Mandalay. The Unity of Title Agreement, a copy of which is enclosed, was originally created by Willie and Gloria Gary for the construction of the tennis court on Lot 2. The new owner, Kerri Lydon, wishes to demolish the tennis court, and separate the lots making Lot 2 a buildable lot. To that end, Kerri applied for a demolition permit with the Town of Sewall's Point. Our initial conversations indicated you would propose the release of the unity of title after the tennis courts were removed and upon review of a survey, with our office preparing a proposed release of Unity of Title.

Upon review of the enclosed survey, I discovered that if the Unity of Title is released and the lots are separated, a rear set back violation would exist on Lot 1. According to the enclosed survey, the screen deck with pool is only 11.88' from the property line between Lot 1 and 2, Mandalay. Lot 2 is 129.03' wide which would allow a portion of Lot 2 to be "attached" to Lot 1 under another Unity of Title. To that end, enclosed please find the following:

- * Original certified survey dated June 19, 2000;
- * Proposed Release of Unity of Title Agreement; and
- * Proposed Unity of Title Agreement.

I do not have a copy of the building permit but it is my understanding the Town of Sewall's Point will not entertain releasing the Unity of Title Agreement until the tennis courts have been removed. My request is that you review and provide guidance (in theory) that once the tennis court is removed, and the new Unity of Title Agreement is executed, that the old Unity of Title can be released by the Town of Sewall's Point.

If you have any questions or comments, please feel free to give me a call.

Very truly yours,
BAUER & TWOHEY, P.A.

Christopher J. Twohey

CJT/jsm
Enclosure
C:\CJT\AA\LETTER\LYDON.LTR

Instrument Prepared by and Return to:
Christopher J. Twohey, Esq.
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, FL 34994
Courthouse Box #139

UNITY OF TITLE AGREEMENT

In consideration for the release by the Town of Sewall's Point of that certain Unity Title Agreement dated July 24, 1986, and recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida, and for other good and valuable considerations, the undersigned hereby agrees to restrict the use of the following two (2) parcels of land, located in Martin County, Florida, more fully described as Exhibit "A", attached hereto in the following manner:

1. That said Parcel 1 shall include the easterly 14' of Parcel 2, and said Parcel 1, including the easterly 14' of Parcel 2, shall be considered as one (1) plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately except in its entirety as one (1) plot or parcel of land.

2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their heirs and assigns, until such time as the same may be released in writing by the Town of Sewall's Point.

3. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County, Florida.

Signed, sealed, executed and acknowledged on this ____ day of October, 2000.

OWNER:

Witness Name: _____

KERRI S. LYDON

Witness Name: _____

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this ____ day of October, 2000, by **KERRI S. LYDON**, who are personally known to me and who did (not) take an oath.

[Seal]

Printed Name: _____
Notary Public - State of Florida

EXHIBIT "A"

PARCEL I is identified as:

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**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**

DEBORAH B. BEARD
RICHARD J. DUNGEY*
M. LANNING FOX*
LOUIS E. LOZEAU, JR.
MICHAEL J. McCLUSKEY
WILLIAM R. PONSOLDT, JR.
GARY L. SWEET
W. THOMAS WACKEEN**
THOMAS E. WARNER**
TIM B. WRIGHT

1100 S. FEDERAL HIGHWAY
P.O. DRAWER 6
STUART, FLORIDA 34995-0006
(561) 287-4444
TELEFAX (561) 220-1489
JUPITER (561) 744-6499
WWW.WARNERFOX.COM

FERNANDO M. GIACHINO
ROBERT A. GOLDMAN
SUSANN B. WARD

AARON A. FOOSANER
ROBERT L. SEELEY
OF COUNSEL

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

February 26, 2001

Mr. Christopher J. Twohey
312 Denver Avenue
Stuart, Florida 34994

Re: Lydon Unity of Title Agreement

Dear Chris:

The Town has approved the Release of Unity of Title Agreement and the new Unity of Title Agreement regarding your client's lot. I have submitted the Release to the Mayor Wienke for final signature and approval. As soon as I receive the signed Release from the Mayor, I will send it to you and ask that you hold it in trust. Please hold the Release in trust until such time as we receive: (1) a properly executed and recorded new Unity of Title Agreement by your client; and (2) a new survey showing that the tennis court has been removed as suggested in your October 13, 2000, letter to me.

Upon completion of (a) and (b) above, you may disburse the Release to your client, who must record it in the public records of Martin County.

Please call me if you have any questions.

Sincerely yours,



Tim B. Wright

TBW/mcf

cc: Mayor Robert M. Wienke
Mr. Joseph C. Dorsky
Mrs. Joan H. Barrow

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**

DEBORAH B. BEARD
RICHARD J. DUNGEY*
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OF COUNSEL

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

February 26, 2001

The Honorable Robert M. Wienke
Mayor, Town of Sewall's Point
One South Sewall's Point Road
Sewall's Point, Florida 34996

Re: Lydon Unity of Title/Variance - Release of Unity of Title Agreement

Dear Mayor Wienke:

Enclosed please find the Release of Unity of Title Agreement for the Lydon property. The Release of Unity of Title, as well as the new Unity of Title Agreement, have been approved by the Town Commission and are ready for your signature. Please execute the Release in front of two subscribing witnesses and have the jurat filled out by a notary.

Please call me if you have any questions.

Sincerely yours,

Tim B. Wright

TBW/mcf

Enclosures

cc: Mr. Joseph C. Dorsky
Mrs. Joan H. Barrow
Mr. Christopher J. Twohey

H:\TOSP\LETTERS\WIENKE.22601

EXHIBIT "A"

PARCEL I is identified as:

Lot 1, MANDALY SUBDIVISION, according tot he plat or map thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida

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Instrument Prepared by and Return to:
Christopher J. Twohey, Esq.
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, FL 34994
Courthouse Box #139

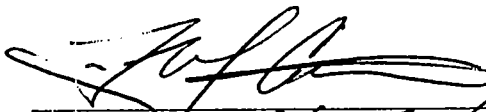
RELEASE OF UNITY OF TITLE AGREEMENT

WHEREAS, KERRI S. LYDON, the owner of the following two (2) parcels of land located in Martin County, Florida, more fully described in Exhibit "A" attached hereto, requests the release of the certain Unity Title Agreement dated July 24, 1986, and recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida; and

WHEREAS, the Town of Sewall's Point has agreed to release said Unity of Title Agreement.

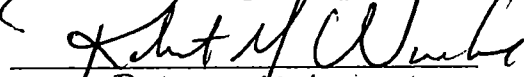
NOW, THEREFORE, the Town of Sewall's Point hereby releases that certain Unity of Title Agreement dated July 24, 1986, recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida, in its entirety, in said Unity of Title Agreement shall be of no further force or effect from the dated hereof.

DATED this 28th day of February 2001.


Witness Name: Sgt. T. Cichomski

Nancy Capehart
Witness Name: Nancy CAPEHART

THE TOWN OF SEWALL'S POINT,
a Florida Municipal corporation


By: Robert M. Wierke
Its: Mayor

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 28th day of February by Robert M. Wierke, as mayor of the Town of Sewall's Point, a Florida municipal corporation, who are personally known to me and who did (not) take an oath.

[Seal]

Joan H. Barrow
Printed Name: Joan H. Barrow
Notary Public - State of Florida



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIN INSURANCE, INC.

BAUER & TWOHEY, P.A.

ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

*Also Admitted in Connecticut

Telephone: (772) 221-8221
Facsimile: (772) 221-8225

September 9, 2002

Jon Lydon
167 South Sewall's Point Road
Stuart, Florida 34966

OK

RE: LYDON UNITY OF TITLE AGREEMENT

Dear Jon:

Enclosed please find a Third Notice letter for the balance of fees owed to the Town of Sewall's Point for the dissolution of the Unity of Title Agreement. The balance owed of \$387.00 should be made payable to the "Town of Sewall's Point" and sent to the attention of Joan Barrow, Town Clerk/Treasurer, 1 South Sewall's Point Road, Sewall's Point, Florida 34996. Please include a copy of this invoice with your letter.

If you have any questions or comments, please feel free to give me a call.

Very truly yours,
BAUER & TWOHEY, P.A.


Christopher J. Twohey

CJT/jsm

Enclosure

cc: Joan Barrow

CA\OFFICE\WPWIN\WPDOCS\CJT\AA\LETTER\LYDON.3LT

PAID

ROBERT M. WIENKE
Mayor

THOMAS P. BAUSCH
Vice Mayor

DAWSON C. GLOVER, III
Commissioner

E. DANIEL MORRIS
Commissioner

MARC S. TEPLITZ
Commissioner

TOWN OF SEWALL'S POINT



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

October 31, 2001

Mr. Christopher J. Twohey
Bauer & Twohey, P.A.
312 Denver Avenue
Stuart, Florida 34994

STATEMENT RE: LYDON UNITY OF TITLE AGREEMENT

2/01	Warner Fox - legal fees	- \$212.00
3/01	Warner Fox - legal fees	- \$100.00
4/01	Warner Fox - legal fees	- <u>\$ 75.00</u>

TOTAL DUE	\$387.00
-----------	----------

Kindly make your check payable to the "Town of Sewall's Point." Thank you.



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

BAUER & TWOHEY, P.A. RECEIVED DEC 13 2000

ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

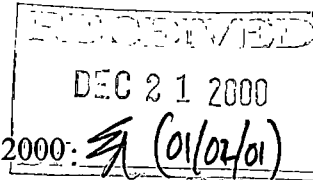
*Also Admitted in Connecticut

Vicki Plummer-Wellmaker

Paralegal

Telephone: (561) 221-8221

Facsimile: (561) 221-8225



December 12, 2000:

MASTER CALENDAR

Activity _____
Calendar for _____
Routing YBW ~~_____~~
Date Completed 12-14-00
By Whom me
Offert (s) copied _____

CLIENT'S COPY

FILE

RE: **LOTS 1 & 2, MANDALAY
OWNER: KERRI S. LYDON
67 S. SEAWALLS POINT RD.**

Dear Tim:

This letter follows up on my letter to you of October 13, 2000 and our subsequent discussion regarding a Release of the Unity of Title Agreement presently in force for Lots 1 and 2, Mandalay. For reference, I am enclosing a copy of my October 13, 2000 letter with attachments. In our subsequent discussions, you requested I obtain a revised survey showing the total square footage of the new proposed Lot 1, breaking out the square footage of lot coverage. The surveyor, Treasure Coast Land Surveyors, would not move the property line on the drawing until the Unity of Title is released.

After your review of the enclosed, please let me know if the proposed documents and survey are acceptable, and I will have Kerri Lydon execute the new Unity of Title Agreement, and I request you obtain the signature of the Town of Sewall's Point on the Release of Unity of Title Agreement. It is my understanding that the building permit has been issued but that a copy of Eddie Huggins' proof of insurance must be delivered to Mr. Arnold.

If there are any fees and costs associated with this request, please let me know at your earliest convenience. Thank you in advance for your time and attention.

Very truly yours,
BAUER & TWOHEY, P.A.

Christopher J. Twohey

CJT/jsm

Enclosure

cc: Kerri S. Lydon

C:\CJT\AA\LETTER\LYDON.2LT

BAUER & TWOHEY, P.A.
ATTORNEYS AT LAW

312 Denver Avenue, Stuart, FL 34994

Sherwood "Chip" Bauer, Jr.*
Christopher J. Twohey

**Also Admitted in Connecticut*

Vicki Plummer-Wellmaker

Paralegal

Telephone: (561) 221-8221

Facsimile: (561) 221-8225

October 13, 2000

VIA HAND DELIVERY

Tim B. Wright, Esq.
Warner, Fox, et al.
1100 S. Federal Hwy.
Stuart, FL 34994

**RE: LOTS 1 & 2, MANDALY
OWNER: KERRI S. LYDON**

Dear Tim:

Last week we discussed the Release of the Unity of Title Agreement presently in force for Lots 1 and 2, Mandalay. The Unity of Title Agreement, a copy of which is enclosed, was originally created by Willie and Gloria Gary for the construction of the tennis court on Lot 2. The new owner, Kerri Lydon, wishes to demolish the tennis court, and separate the lots making Lot 2 a buildable lot. To that end, Kerri applied for a demolition permit with the Town of Sewall's Point. Our initial conversations indicated you would propose the release of the unity of title after the tennis courts were removed and upon review of a survey, with our office preparing a proposed release of Unity of Title.

Upon review of the enclosed survey, I discovered that if the Unity of Title is released and the lots are separated, a rear set back violation would exist on Lot 1. According to the enclosed survey, the screen deck with pool is only 11.88' from the property line between Lot 1 and 2, Mandalay. Lot 2 is 129.03' wide which would allow a portion of Lot 2 to be "attached" to Lot 1 under another Unity of Title. To that end, enclosed please find the following:

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- * Proposed Unity of Title Agreement.

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If you have any questions or comments, please feel free to give me a call.

Very truly yours,
BAUER & TWOHEY, P.A.

Christopher J. Twohey

CJT/jsm

Enclosure

C:\CJT\AA\LETTER\LYDON.LTR

Instrument Prepared by and Return to:
Christopher J. Twohey, Esq.
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, FL 34994
Courthouse Box #139

UNITY OF TITLE AGREEMENT

In consideration for the release by the Town of Sewall's Point of that certain Unity Title Agreement dated July 24, 1986, and recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida, and for other good and valuable considerations, the undersigned hereby agrees to restrict the use of the following two (2) parcels of land, located in Martin County, Florida, more fully described as Exhibit "A", attached hereto in the following manner:

1. That said Parcel 1 shall include the easterly 14' of Parcel 2, and said Parcel 1, including the easterly 14' of Parcel 2, shall be considered as one (1) plot and parcel of land and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately except in its entirety as one (1) plot or parcel of land.

2. The undersigned further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon the undersigned, their heirs and assigns, until such time as the same may be released in writing by the Town of Sewall's Point.

3. The undersigned further agrees that this instrument shall be recorded in the Public Records of Martin County, Florida.

Signed, sealed, executed and acknowledged on this ____ day of October, 2000.

OWNER:

Witness Name: _____

KERRI S. LYDON

Witness Name: _____

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this ____ day of October, 2000, by **KERRI S. LYDON**, who are personally known to me and who did (not) take an oath.

[Seal]

Printed Name: _____
Notary Public - State of Florida

EXHIBIT "A"

PARCEL I is identified as:

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Instrument Prepared by and Return to:
Christopher J. Twohey, Esq.
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, FL 34994
Courthouse Box #139

RELEASE OF UNITY OF TITLE AGREEMENT

WHEREAS, KERRI S. LYDON, the owner of the following two (2) parcels of land located in Martin County, Florida, more fully described in Exhibit "A" attached hereto, requests the release of the certain Unity Title Agreement dated July 24, 1986, and recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida; and

WHEREAS, the Town of Sewall's Point has agreed to release said Unity of Title Agreement.

NOW, THEREFORE, the Town of Sewall's Point hereby releases that certain Unity of Title Agreement dated July 24, 1986, recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida, in its entirety, in said Unity of Title Agreement shall be of no further force or effect from the dated hereof.

DATED this ____ day of October, 2000.

**THE TOWN OF SEWALL'S POINT,
a Florida Municipal corporation**

Witness Name: _____

By: _____
Its: _____

Witness Name: _____

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this ____ day of October, 2000, by _____, as _____ of the Town of Sewall's Point, a Florida municipal corporation, who are personally known to me and who did (not) take an oath.

[Seal]

Printed Name: _____
Notary Public - State of Florida

EXHIBIT "A"

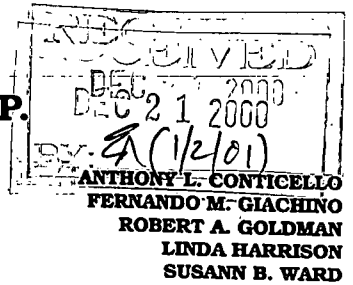
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**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**



DEBORAH B. BEARD
RICHARD J. DUNGEY*
M. LANNING FOX*
LOUIS E. LOZEAU, JR.
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AARON A. FOOSANER
ROBERT L. SEELEY
OF COUNSEL

*BOARD CERTIFIED REAL ESTATE LAWYER
**BOARD CERTIFIED CIVIL TRIAL LAWYER

December 15, 2000

CLIENT'S COPY

FILE
(PERMANENT
LOT FILE)

Mr. Christopher J. Twohey
312 Denver Avenue
Stuart, Florida 34994

Re: Town of Sewall's Point; ~~Kerri S. Lydon~~

Dear Chris: ~~67 S. SEAWALL
POINT RD.~~

This letter is in response to your letter of December 12, 2000, and our telephone conversation on December 14, 2000. The survey provided by the surveyor still does not show the information we need to make a determination as to whether or not the newly created lot with a house on it exceeds the current lot coverage requirements. Please send me a revised survey so that I can pass that along to the Building Commissioner, Tom Bausch, for review and approval at the earliest upcoming meeting.

Sincerely yours,

Tim B. Wright

TBW/mcf

cc: Commissioner Thomas P. Bausch

**WARNER, FOX, WACKEEN, DUNGEY
SEELEY, SWEET, WRIGHT & BEARD, L.L.P.**

DEBORAH B. BEARD
RICHARD J. DUNGEY*
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MICHAEL J. McCLUSKEY
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GARY L. SWEET
W. THOMAS WACKEEN**
THOMAS E. WARNER**
TIM B. WRIGHT

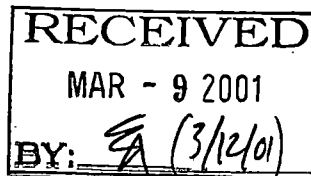
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ROBERT L. SEELEY
OF COUNSEL

* BOARD CERTIFIED REAL ESTATE LAWYER
** BOARD CERTIFIED CIVIL TRIAL LAWYER

March 7, 2001



Mr. Christopher J. Twohey
312 Denver Avenue
Stuart, Florida 34994

Re: Lydon Unity of Title Agreement

FILE LYDON
1675. SEWALL'S POINT RD.

Dear Chris:

I am enclosing the Release of Unity of Title Agreement with attached Exhibit A which has been executed for the Town of Sewall's Point by Mayor Wienke.

Please call me if you have any questions.

Sincerely yours,


Tim B. Wright

TBW/mcf

cc: Mayor Robert M. Wienke
Mr. Joseph C. Dorsky
Mrs. Joan H. Barrow

Instrument Prepared by and Return to:
Christopher J. Twohey, Esq.
BAUER & TWOHEY, P.A.
312 Denver Avenue
Stuart, FL 34994
Courthouse Box #139

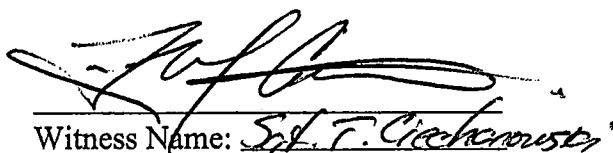
RELEASE OF UNITY OF TITLE AGREEMENT

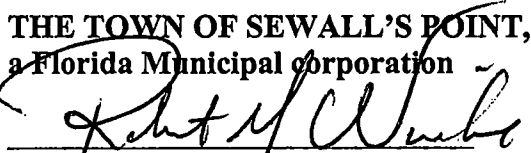
WHEREAS, KERRI S. LYDON, the owner of the following two (2) parcels of land located in Martin County, Florida, more fully described in Exhibit "A" attached hereto, requests the release of the certain Unity Title Agreement dated July 24, 1986, and recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida; and

WHEREAS, the Town of Sewall's Point has agreed to release said Unity of Title Agreement.

NOW, THEREFORE, the Town of Sewall's Point hereby releases that certain Unity of Title Agreement dated July 24, 1986, recorded in Official Record Book 683, Page 1273, Public Records of Martin County, Florida, in its entirety, in said Unity of Title Agreement shall be of no further force or effect from the dated hereof.

DATED this 28th day of February 2001.



Witness Name: Spt. F. Cicchomista
Nancy Capehart
Witness Name: Nancy CAPEHART

THE TOWN OF SEWALL'S POINT,
a Florida Municipal corporation

By: Robert M. Wierke
Its: Mayor

STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this 28th day of February by Robert M. Wierke, as mayor of the Town of Sewall's Point, a Florida municipal corporation, who are personally known to me and who did (not) take an oath.

[Seal]


Printed Name: Joan H. Barrow
Notary Public - State of Florida



Joan H. Barrow
MY COMMISSION # CC763645 EXPIRES
November 30, 2002
BONDED THRU TROY FAIR INSURANCE, INC.

EXHIBIT "A"

PARCEL I is identified as:

Lot 1, MANDALY SUBDIVISION, according tot he plat or map thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida

PARCEL II is identified as:

Lot 2, MANDALY SUBDIVISION, according tot he plat or map thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida

5106

TENNIS COURT

DEMOLITION

MASTER PERMIT NO. N/A

TOWN OF SEWALL'S POINT

Date 2/26/01

BUILDING PERMIT NO. 5106
Type of Permit DEMOLITION (TENNIS COURT)

Building to be erected for KARI LYDON

Applied for by EDDIE HUGGINS LAND GRADING (Contractor)

Building Fee \$ 30.00
PRIORITY
Radon Fee 30.00

Subdivision MANDALAY Lot 1 & 2 Block _____

Address 167 S. SEWALL'S POINT RD.

Impact Fee _____

Type of structure S.F.R.

A/C Fee _____

Parcel Control Number: _____

Electrical Fee _____

2/26/01 WORK COMMENCED PRIOR TO PERMIT ASSURANCE EN
338710040000001010000

Plumbing Fee _____

Amount Paid \$ 66.00 Check # 0477 Cash _____ Other Fees (PLAN) 6.00

Roofing Fee _____

Total Construction Cost \$ 1,000.00

TOTAL Fees \$ 30.00
66.00

Signed Ka. [Signature]
Applicant

Signed [Signature]
Town Building Inspector

DEMOLITION

INSPECTIONS

UTILITIES FLAGGED _____ DATE _____
ASBESTOS CERT. _____ DATE _____
DEBRIS REMOVAL _____ DATE _____

WATER DISC. _____ DATE _____
ELECTRIC DISC. _____ DATE _____
SITE RESTORATION _____ DATE _____
FINAL _____ DATE 12/3/01

24 HOURS NOTICE REQUIRED FOR INSPECTIONS.

CALL 287-2455

WORK HOURS - 8:00 AM UNTIL 5:00 PM

MONDAY THROUGH SATURDAY

TOTAL

PARTIAL

EXPLORATORY

**This permit must be visible from the street, accessible to the inspector.
FURTHER CONDITIONS ARE SET FORTH IN THE APPLICATION FOR PERMIT,
NOTATIONS ON THE APPROVED SUBMITTALS, AND ATTACHMENTS IN THE PERMIT FILE.
DO NOT FAST N THIS O... NY OTH ...IGN TO A T...EE!**

RECEIVED

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Bldg. Permit Number: _____
OCT 06 2000

Owner or Titleholder's Name Kari Lydon BY: [Signature] Phone No. (202) 221-0467
Street: 167 S. Sewalls Pt Rd City Sewalls Pt State: FL Zip 34996
Legal Description of Property: Lot 2 mandalay

Location of Job Site: Lot 2 Parcel Number: _____
TYPE OF WORK TO BE DONE: Remove Tennis Court + Fence

CONTRACTOR/Company Name: The Eddie Huggins Land Grading Co Phone No. (561) 288-1703
Street: PO Box 1348 City PALM CITY State: FL Zip 34991
State Registration: M.C. 1993275340 State License: SPO2999

ARCHITECT: _____ Phone No. () _____
Street: _____ City _____ State: _____ Zip _____

ENGINEER: _____ Phone No. () _____
Street: _____ City _____ State: _____ Zip _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC:
Living Area: _____ Garage Area: _____ Carport: _____ Accessory Bldg: _____
Covered Patio: _____ Scr. Porch: _____ Wood Deck: _____
Type Sewage: _____ Septic Tank Permit # from Health Dept. _____
New Electrical Service Size: _____ AMPS

FLOOD HAZARD INFORMATION
Flood zone: _____ Minimum Base Flood Elevation (BFE): _____ NGVD
Proposed first habitable floor finished elevation: _____ NGVD (minimum 1 foot above BFE)

COSTS AND VALUES
Estimated cost of construction or improvement: \$ 10,000.00
Estimated Fair Market Value (FMV) prior to improvement: \$ _____
If improvement, is cost greater than 50% of Fair Market Value? YES _____ NO _____
Method of determining Fair Market Value: _____

SUBCONTRACTOR INFORMATION: (Notification to this office of subcontractor change is mandatory.)
Electrical: _____ State: _____ License # _____
Mechanical: _____ State: _____ License # _____
Plumbing: _____ State: _____ License # _____
Roofing: _____ State: _____ License # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standard of all laws regulating construction in this jurisdiction. I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, DOCKS, SEA WALLS, ACCESSORY BUILDINGS, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL.

I HEREBY CERTIFY: THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS, INCLUDING FLORIDA MODEL ENERGY CODES.

OWNER or AGENT SIGNATURE (Required)
[Signature]
Owner

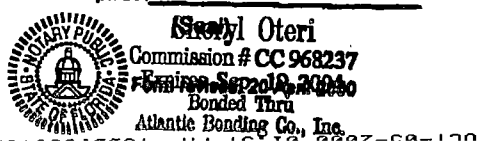
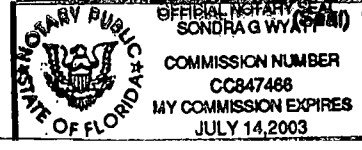
State of Florida, County of: Martin On this the 6 day of Oct, 2000, by Kari Lydon who is personally known to me or produced as identification.

[Signature]
Notary Public
My Commission Expires: 7-14-2003

CONTRACTOR SIGNATURE (Required)
[Signature]
Contractor

State of Florida, County of: MARTIN On this the 5th day of OCTOBER, 2000, by MYRA SMITH who is personally known to me or produced as identification.

[Signature]
Notary Public
My Commission Expires: 9-19-04



INSTR # 1442790
OR BK 01492 PG 1457
RECORDED 07/05/2000 08:31 AM
MARSHA STILLER
MARTIN COUNTY Florida
DOC TAX 3,850.00
DEPUTY CLERK L Wood

Prepared By:
Susan King-Court House Box 45
Title Guaranty and Trust Company, Inc.
900 East Ocean Boulevard, Suite 142
Stuart, Florida 34994

Parcel ID Number: 13-38-41-004-000-0001.0-10000
Grantee #1 TIN: 149-54-2984

Warranty Deed

This Indenture, Made this 30th day of June, 2000 A.D., Between Willie E. Gary and Gloria R. Gary, husband and wife

of the County of Martin, State of Florida, grantors, and Kari S. Lydon, ~~axsinglewoman~~ a married woman

whose address is: 167 S. Sewalls Point Road, Stuart, FL 34996

of the County of Martin, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Martin, State of Florida to wit:
Lots 1 and 2, MANDALAY, according to the plat thereof, as recorded in Plat Book 4, Page 86, of the Public Records of Martin County, Florida.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 2000.

This Deed is being re-recorded to change the marital status of the Grantee.

INSTR # 1451874
OR BK 01501 PG 2701
RECORDED 08/24/2000 04:23 PM
MARSHA STILLER
MARTIN COUNTY Florida
DEPUTY CLERK S Johnson

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Kim Bolin
Printed Name: Kim Bolin
Witness

Jesse Thomson
Printed Name: Jesse Thomson
Witness

Willie E. Gary (Seal)
P.O. Address: 36 Rio Vista Drive, Stuart, FL 34996
Gloria R. Gary (Seal)
P.O. Address: 36 Rio Vista Drive, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 30th day of June, 2000 by Willie E. Gary and Gloria R. Gary, husband and wife

who are personally known to me or who have produced their Florida driver's license as identification.

Roxanne Devere Nelson
Printed Name: Roxanne Devere Nelson
Notary Public

My Commission Expires:

Susan King

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID T1
EDDIE-3

DATE (MM/DD/YY)
02/22/01

PRODUCER
Brown & Brown, Inc.
5900 N. Andrews Ave. #300
P.O. Box 5727
Ft. Lauderdale FL 33310-5727
Phone: 954-776-2222 Fax: 954-776-4446

FILE
lection

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURED
COPY
The Eddie Huggins Land Grading Company
P O Box 1348
Palm City FL 34991
Went

INSURER A: Ohio Casualty Insurance Co.
INSURER B: Valley Forge Insurance Company
INSURER C: Transcontinental Insurance Co.
INSURER D:
INSURER E:
RECEIVED
FEB 22 2001

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
B	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Blkt Addl Ins <input checked="" type="checkbox"/> Ltd Pollution GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	TCP2022644636	11/03/00	11/03/01	EACH OCCURRENCE \$ 100000 FIRE DAMAGE (Any one fire) \$ 50000 MED EXP (Any one person) \$ 5000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000 Ltd Poll 100000
C	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/> Comp Ded: 3,000 <input checked="" type="checkbox"/> Coll Ded: 3,000	BUA2022644720	11/03/00	11/03/01	COMBINED SINGLE LIMIT (Ea accident) \$ 50000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$
A	EXCESS LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ 10000	BX052792883	11/03/00	11/03/01	EACH OCCURRENCE \$ 1000000 AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTH-ER F.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	OTHER <input checked="" type="checkbox"/> Equipment Floater <input checked="" type="checkbox"/> Contractors Equip	TCP2022644636	11/03/00	11/03/01	Contr Equ 1,245,939 LeaseRent 100,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 Faxed to: Edwin Arnold (561)220-4765

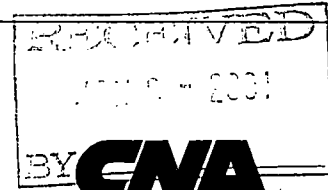
CERTIFICATE HOLDER	N	ADDITIONAL INSURED; INSURER LETTER:	CANCELLATION
TOWN OF SEWALLS POINT Town of Sewalls Point 1 South Sewalls Point Road Sewalls Point, FL 34996		TOWN OF S	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL <u>10</u> DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. <i>Thomas E Riley</i>

Certificate of Insurance

This certificate is issued as a matter of information only and confers no rights upon you the certificate holder. This certificate is not an insurance policy and does not amend, extend, or alter the coverage afforded by the policies listed below.

Named Insured(s):

FILE



RISK MANAGEMENT

Staff Leasing, LP, By Staff Acquisition, Inc., The General Partner, And The Affiliated Limited Partnerships Of Which Staff Acquisition, Inc. Is The General Partner And Staff Leasing, Inc. Is The Limited Partner including Staff Leasing of Texas, LP, Staff Leasing of Texas II, LP, Staff Leasing IV, LP
600 301 Boulevard West, Suite 202
Bradenton, Florida 34205

Insurer Affording Coverage

Continental Casualty Company

Coverages:

The policy(ies) of insurance listed below have been issued to the insured named above for the policy period indicated. The insurance afforded by the policy(ies) described herein is subject to all the terms, exclusions and conditions of such policy(ies).

Type of Insurance	Certificate Exp. Date <input type="checkbox"/> Continuous <input type="checkbox"/> Extended <input checked="" type="checkbox"/> Policy Term	Policy Number	Limits
Workers' Compensation	1-1-2002	WC 189165165 WC 189165182 WC 247848874 WC 247848888	Employer's Liability
			Bodily Injury By Accident \$1,000,000 Each Accident
			Bodily Injury By Disease \$1,000,000 Policy Limit
			Bodily Injury By Disease \$1,000,000 Each Person

Other:

Employees Leased To:

Effective Date: 1/1/01

11607 The Eddle Huggins Land Grading Co

The above referenced workers' compensation policy(ies) provide(s) statutory benefits only to the employees of the Named Insured(s) on such policy(ies), not to the employees of any other employer.

*If the certificate expiration date is continuous or extended term, you will be notified if coverage is terminated or reduced before the certificate expiration date. However, you will not be notified annually of the continuation of coverage.

Notice of Cancellation: (Not applicable unless a number of days are entered below)

Before the stated expiration date the company will not cancel or reduce the insurance afforded under the above policy(ies) until at least 30 days notice of such cancellation has been mailed to:

Certificate Holder:

Town of Sewall's Point
1 S Sewalls Point Rd
Sewalls Point, FL 34996-6736



Martin Oosterbaan
Authorized Representative

Office: St. Louis, MO 12/15/00
Phone: (877) 427-5567 Date Issued

City of Palm Beach Gardens
Contractors Registration

Permit Year October 1, 2000 September 30, 2001

RECEIVED
OCT 10 2000
BY: *[Signature]*

2535 SE WILLOUGHBY BLVD
SITE DEVELOPMENT
EDDIE HUGGINS

FILE
le/rus

Issued: 8/08/2000
Number: 8203
Amount: 5.00

[Signature]
License Official

FILE
Permit
COPY

Eddie Huggins Landgrading Co., The
P.O. BOX 1348
PALM CITY, FL 34991

MARTIN COUNTY ORIGINAL
2000 COUNTY OCCUPATIONAL LICENSE 2001

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(561) 288-5604

LICENSE 1993 275 340 CERT
PHONE 561 288 1703 CNO 1629

LOCATION: 2535 WILLOUGHBY BLVD

CHARACTER COUNTS IN MARTIN COUNTY

PREV YR. \$ 0.00 LIC. FEE \$
PENALTY \$
COL. FEE \$
TRANSFER \$ 25.00
TOTAL



IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION OF
LAND GRADING
EDDIE HUGGINS LAND GRADING CO., THE
P.O. BOX 1348
PALM CITY FL 34991

AT ABOVE ADDRESS FOR THE PERIOD BEGINNING ON THE
30 DAY OF AUGUST 2000
AND ENDING SEPTEMBER 30, 2001

RECEIPT OF PAYMENT
9000 \$25.00
L.C. O'STEEN, T.C.
99 08/30/2000 C.C. NORMAL
1993275340
0720000830004798CK

MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: SP02999
Expires September 30.
Name: MYRA S SMITH
Company: THE EDDIE HUGGINS LAND GRDG
Address: Box 1348
City, ST: Palm City FL 34991
License Type: DEMOLITION CONTRACTOR

MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency
License: SP02819
Expires September 30, 2001
SMITH, MYRA S
THE EDDIE HUGGINS LAND GRDG
BOX 1348
PALM CITY, FL 34991
PAVING COMMERCIAL

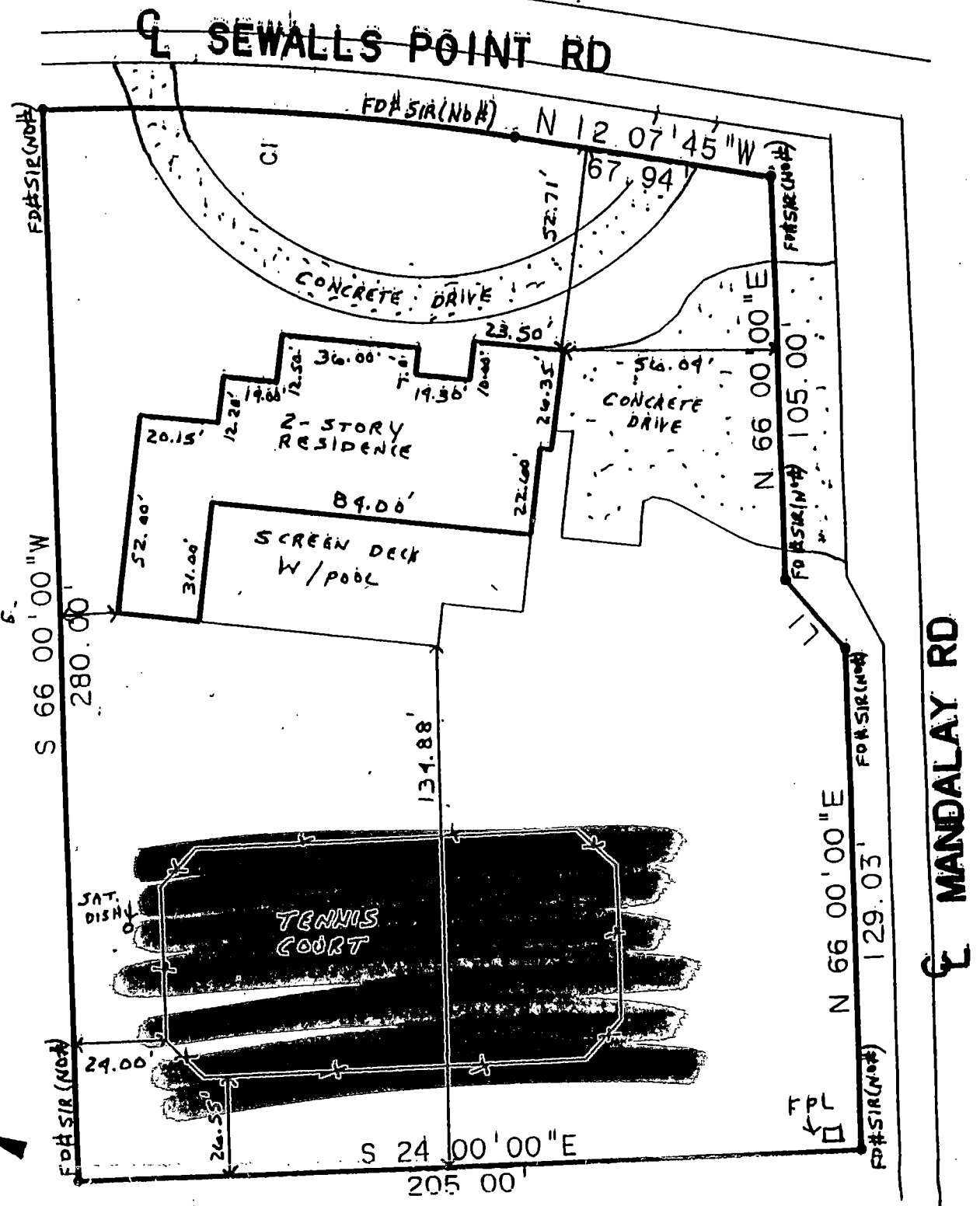
CITY OF PORT ST LUCIE
CONTRACTORS
CERTIFICATE OF COMPETENCY
EXPIRES SEPTEMBER 30, 2001
HUGGINS, EDDIE J
NAME: THE EDDIE HUGGINS LAND GRADING
FIRM: P.O. BOX 1348
PALM CITY FL 34991
PAVING CONTRACTOR
TYPE:
STATE: FLORIDA
CITY: PSLO1-5567

CITY OF PORT ST LUCIE
CONTRACTORS
CERTIFICATE OF COMPETENCY
EXPIRES SEPTEMBER 30, 2001
HUGGINS, EDDIE J
NAME: THE EDDIE HUGGINS LAND GRADING
FIRM: P.O. BOX 1348
PALM CITY FL 34991
EXCAVATION/CLEARING
TYPE:
STATE: FLORIDA
CITY: PSLO1-5563

OOD ZONE A8 ELEV: ± 9.0
 RM PANEL 120164 0002C
 TED APRIL 3, 1984

NOTE CBS WALL
 AROUND PROPERTY
 0.5' INSIDE

CURVE	DELTA ANGLE	RADIUS	ARC
C 1	11 17' 00"	631.95'	124.45'
LINE	BEARING	DISTANCE	
L 1	N 27 00' 00" E	23.83'	



ALL
 ED
 LINE
 E MONUMENT
 ION
 AGE EASEMENT
 IRE
 PIPE
 IRON ROD & CAP
 POLE
 & WASHER
 LEAD ELECTRIC
 IMENT
 OF CURVE
 OF COMPOUND CURVE
 POLE
 ENT OF REVERSE CURVE
 OF TANGENT
 SHANENT CONTROL POINT
 SHANENT REFERENCE MARKS
 OF WAY
 TY EASEMENT
 POINT
 MARK
 SHED BLOOD
 C. SET IRON ROD &
 2.5
 ICETS
 1/4" TO SCALE

OPTION
 AND 2, MANDALAY, ACCORDING TO
 AT THEREOF, AS RECORDED IN PLAT
 , PAGES(S), 86, OF THE PUBLIC
 S OF MARTIN COUNTY, FLORIDA.

CERTIFIED TO:
 KARI S. LYDON
 WORLD SAVINGS
 TITLE GUARANTY & TRUST COMPANY, INC.
 ATTORNEYS' TITLE INSURANCE FUND, INC.

LANDS SITUATE IN MARTIN COUNTY,
 DA.
 ADDRESS: 167 S. SEWALLS POINT ROAD

SURVEYOR'S CERTIFICATE:
 THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON
 WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE
 MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF
 PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA
 ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA
 STATUTES. AND, THAT THE SKETCH HEREON IS A TRUE AND ACCURATE
 REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

- NOTES:
- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
 - 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, MURPHY ACT DEEDS, OR ADJOINING DEEDS.
 - 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HER AGENT.
 - 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON.
 - 5) UNDERGROUND FOUNDATIONS NOT LOCATED.
 - 6) BASE OF BEARINGS IS THE CENTERLINE OF S. SEWALLS POINT ROAD AS SHOWN ON THE PLAT OF MANDALAY RECORDED IN PLAT BOOK 4, PAGE 86, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

DATED 6-19-2000

FILE

10/10/00 TOWN OF SEWALLS POINT REVIEW
 [Signature]
 [Signature]

TOWN COPY
 167 S. SEWALLS POINT
 GERALD W. TANSKY
 PROFESSIONAL LAND SURVEYOR NO. 4464
 PD 5106

AS BUILT SURVEY PREPARED FOR: TITLE GUARANTY

TREASURE COAST LAND SURVEYORS
 LB # 6453 PROFESSIONAL LAND SURVEYORS
 PHONE # 3250 CANDICE AVE.
 334-2883 JENSEN BEACH, FLORIDA 34957

REVISIONS	BY	DATE

6258

TIKI HUT

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 5/7/03

BUILDING PERMIT NO. 6258

Building to be erected for LYDON

Type of Permit TURK HUT

Applied for by O/B (Contractor)

Building Fee 35.00

Subdivision MANDALAY Lot 1/2 Block _____

Radon Fee _____

Address 167 S. SEWALL'S POINT ROAD

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:
1338410040000001010000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 87.50 Check # 1456 Cash _____

Roofing Fee O/B 8.75

Other Fees (F2 DBL) 43.75

Total Construction Cost \$ 1700.00

WORK W/O PERMIT TOTAL Fees 87.50

Signed [Signature]
Applicant

Signed Gene Simmons (Att)
Town Building Official

PERMIT

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input checked="" type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input checked="" type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input checked="" type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

Permit Number: _____

Town of Sewall's Point BUILDING PERMIT APPLICATION

OWNER/TITLEHOLDER NAME: Kari S. Lyden Phone (Day) 463-0999 (Fax) 463-0606

Job Site Address: 167 S. Sewalls Pt Rd City: Sewalls Pt State: FL Zip: 34996

Legal Description of Property: single Family Parcel Number: Lot-1 Page 86 book 4

Owner Address (if different): N/A City: _____ State: _____ Zip: _____

Description of Work To Be Done: Tiki Hut

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ 1,700.- (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____

Mechanical: _____ State: _____ License Number: _____

Plumbing: _____ State: _____ License Number: _____

Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER Baber Engineering Phone Number: _____

Street: 304 W Flagler Av City: Jud State: FL Zip: 34994

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ ScreenedPorch: _____

Carport: _____ Total Under Roof 195 sq ft Tiki Hut Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)

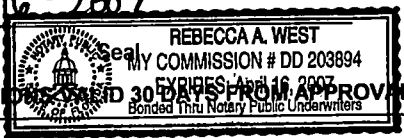
[Signature]
State of Florida, County of: Madison
This the 6 day of May, 2009
by Kari Lyden who is personally
known to me or produced
as identification.

Notary Public
My Commission Expires: 4-16-2007

CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____
This the _____ day of _____, 2009
by _____ who is personally
known to me or produced
As identification.

Notary Public
My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

$$\begin{array}{r} 35 \\ 8.75 \\ \hline 43.75 \\ \times \quad 2 \\ \hline 87.50 \end{array}$$

TOWN OF SEWALL'S POINT

ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Kari Lydon Date: 5/7/03

Signature: 

Address: 167 S. Sewalls Pt Rd

City & State: Stuart FL

Permit No. 6258

This form is for all permits except electrical.

FLOOD ZONE A8 ELEV. = 9.0
 FIRM PANEL 120164 0002C
 DATED APRIL 3, 1984

NOTE CBS WALL
 AROUND PROPERTY
 0.5' INSIDE

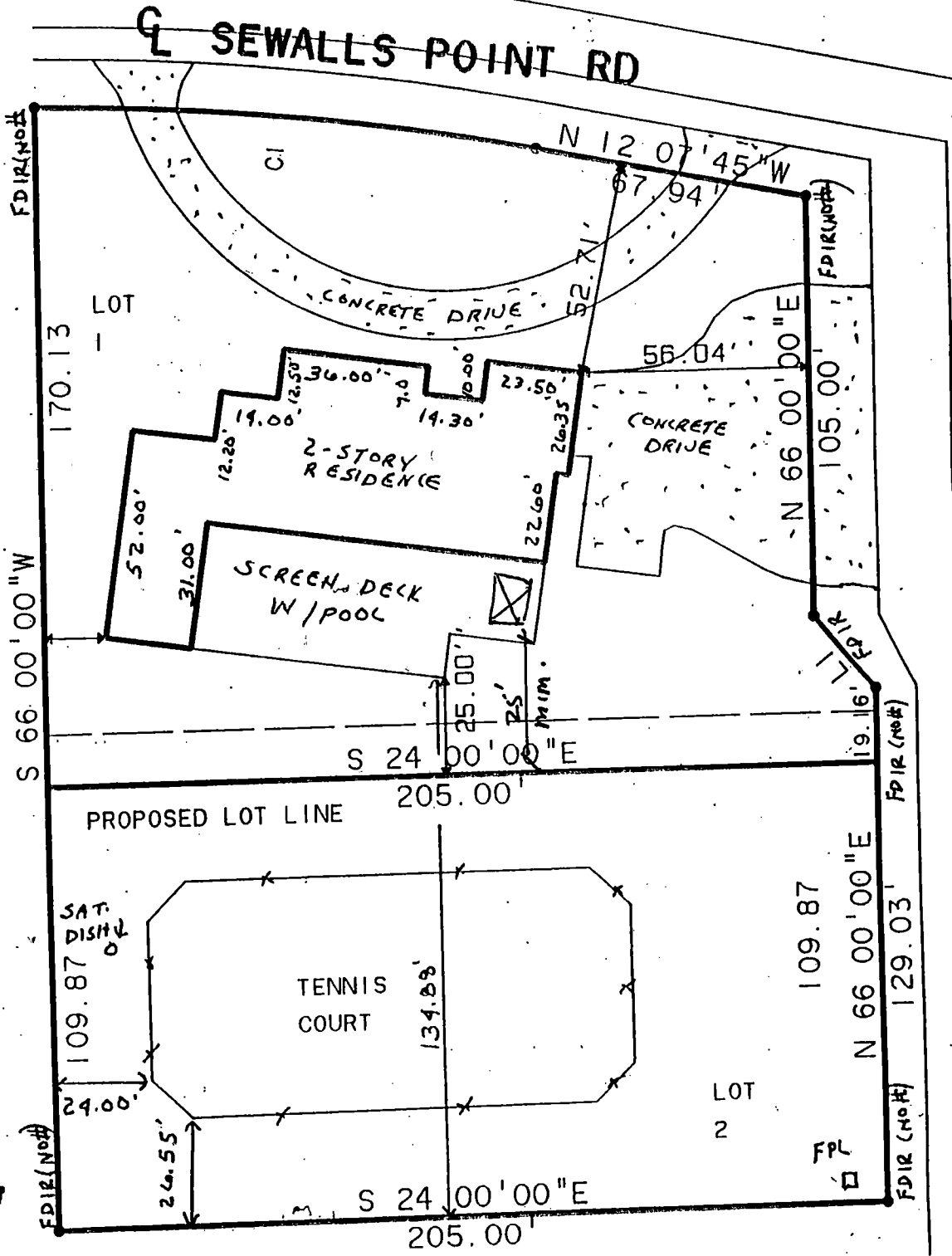
TOTAL SQUARE FOOTAGE OF NEW
 PROPOSED LOT 1 31,566

TOTAL IMPERVEOUS COVERAGE ON
 LOT 1 11,851

CURVE	DELTA ANGLE	RADIUS	ARC
C 1	111° 17' 00"	631.95'	124.45'

LINE	BEARING	DISTANCE
L 1	N 27° 00' 00" E	23.83'

15.16'
 280.00'



MANDALAY RD

- LEGEND
- ARC = ARC
 - ASPH = ASPHALT
 - CALC = CALCULATED
 - CH = CHORD
 - CL = CENTERLINE
 - CM = CONCRETE MONUMENT
 - DELTA = DELTA
 - DESC = DESCRIPTION
 - DE = DRAINAGE EASEMENT
 - FD = FOUND
 - G.W. = GUY WIRE
 - I.P. = IRON PIPE
 - I.R. & C. = IRON ROD & CAP
 - L.P. = LIGHT POLE
 - M = MEASURED
 - N & W = NAIL & WASHER
 - O.E. = OVERHEAD ELECTRIC
 - P. = PLAT
 - PAVT. = PAVEMENT
 - P.C. = POINT OF CURVE
 - P.C.C. = POINT OF COMPOUND CURVE
 - P.F. = POWER POLE
 - P.R.C. = POINT OF REVERSE CURVE
 - P.T. = POINT OF TANGENT
 - P.C.P. = PERMANENT CONTROL POINT
 - P.R.H. = PERMANENT REFERENCE MARK
 - R = RADIUS
 - ROW = RIGHT OF WAY
 - U.E. = UTILITY EASEMENT
 - H.P. = HIGH POINT
 - BLK. = BLOCK
 - B.M. = BENCHMARK
 - F.P. = FINISHED FLOOR
 - SET I.R. & C. = SET IRON ROD & CAP
 - CONC. = CONCRETE
 - N.T.S. = NOT TO SCALE

CERTIFIED TO:
 KARI S. LYDON
 WORLD SAVINGS
 TITLE GUARANTY & TRUST COMPANY, INC.
 ATTORNEYS' TITLE INSURANCE FUND, INC.
 TOWN OF SEWALLS POINT

DESCRIPTION

LOTS 1 AND 2, MANDALAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGES(S), 86, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SAID LANDS SITUATE IN MARTIN COUNTY, FLORIDA.

STREET ADDRESS: 167 S. SEWALLS POINT ROAD

SURVEYOR'S CERTIFICATE:

THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. AND, THAT THE SKETCH HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF. SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

NOTES:

- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYORS SEAL.
- 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, MURPHY ACT DEEDS, OR ADJOINING DEEDS.
- 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HER AGENT.
- 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN. HEREON.
- 5) UNDERGROUND FOUNDATIONS NOT LOCATED.
- 6) BASE OF BEARINGS IS THE CENTERLINE OF S. SEWALLS POINT ROAD AS SHOWN ON THE PLAT OF MANDALAY RECORDED IN PLAT BOOK 4, PAGE 86, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

DATED

6-19-2000

GERALD W. TANSKY

PROFESSIONAL REGISTRATION NO. 4464

AS BUILT SURVEY PREPARED FOR: TITLE GUARANTY

TREASURE COAST LAND SURVEYORS

LB # 6453 PROFESSIONAL LAND SURVEYORS
 3250 CANDICE AVE.
 JENSEN BEACH, FLORIDA 34957

PHONE # 334-2663

REVISIONS	BY	DATE
SPILT LOT LINES	D.L.T.	10-6-2000
APPROXIMATE 59. Ft	D.L.T.	1-8-2001
SET LOT LINE AT 15'	D.L.T.	2-6-2001
SET LOT LINE AT 25'	D.L.T.	2-8-2001

DRAWN: G.W.T.
 CHECKED: G.W.T.
 DATE: 6-19-2000
 SCALE: 1" = 40'
 JOB #: 80-303
 SHEET 1 OF 1

BABER ENGINEERING
& TECHNICAL SERVICES
 304 N. FLAGLER
 STUART, FL. 34984
 PHONE: (772) 882-4910 / FAX: (772) 882-0291
 E-MAIL BABER.ENGINEER@MINDSPRING.COM

May 6, 2003

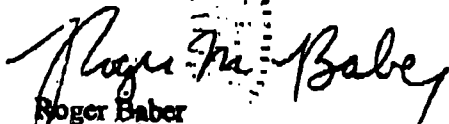
Town of Seawalls Point
Building Department

RE: John Lydon, Tiki Hut- Wind Load Certification letter


Dear Building Official,

The Tiki Hut connectors and wind components have been designed as an open frame to withstand a 140 mph wind load. As strong winds will remove the thatched roof of the structure, the resultant wind loads will be on the open frame of the pilings and roof rafters. The connectors and components associated with the structure exceed the strength of the wood. Please include this letter with the Building Permit File.

Sincerely,



Roger Baber
Professional Engineer
FL. #43855

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 5/7/03

 BUILDING OFFICIAL
 Gene Simmons

6314

FENCE

TOWN OF SEWALL'S POINT

Date 7/1/03

BUILDING PERMIT NO. 6314

Building to be erected for LYDON

Type of Permit FENCE

Applied for by ABEL FENCE (Contractor)

Building Fee 30.00

Subdivision MANDALAY Lot 1 of 2 Block _____

Radon Fee _____

Address 167 S. SEWALL'S PT ROAD

Impact Fee _____

Type of structure FENCE

A/C Fee _____

Parcel Control Number:

1338410040000001010000

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid \$30.00 Check # 2107 Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 6262.00

TOTAL Fees 30.00

Signed Charles Blawie
Applicant

Signed Gene Simmons (Lot)
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

S/S mandalay

Permit Number: _____

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

OWNER/TITLEHOLDER NAME: Kari Lydon Phone (Day) 463-0999 (Fax) 463-0606
Job Site Address: 167 S. Sewell's Point Dr City: Sewell's Point State: Fl. Zip: 34996
Legal Description of Property: lot 1 BOOK 4 Page 86 Parcel Number: _____
Owner Address (if different): _____ City: _____ State: _____ Zip: _____
Description of Work To Be Done: 284' - 4' ornamental Alum. fence installed

WILL OWNER BE THE CONTRACTOR?: Yes No (If no, fill out the Contractor & Subcontractor sections below)

CONTRACTOR/Company: Abel Fence Co Phone: 772-465-4640 Fax: 772-465-3540
Street: P.O. Box 6 (5606 Altman Rd) City: St PIERCE State: Fl. Zip: 34954
State Registration Number: _____ State Certification Number: _____ Martin County License Number: 5P00126

COST AND VALUES: Estimated Cost of Construction or Improvements: \$ _____ (Notice of Commencement needed over \$2500)

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required) _____
State of Florida, County of: _____
This the _____ day of _____, 200____
by _____ who is personally
known to me or produced _____
as identification. _____
Notary Public
My Commission Expires: _____
Seal

CONTRACTOR SIGNATURE (required) Ray A Robertson
On State of Florida, County of: St. Lucie
This the 23rd day of June 2003
by Ray A Robertson who is personally
known to me or produced _____
As identification. Michelle L. Gray
Notary Public
Michelle L. Gray
My Commission Expires: _____
MY COMMISSION # CE04013 EXPIRES
February 29, 2004
BONDED THROUGH THE FLORIDA COUNCIL ON PROFESSIONAL REGULATION



MARTIN COUNTY, FLORIDA
Construction Industry Lic Bd
Certificate of Competency

License: SP00126
Expires September 30, 2003

ROBERTSON, ROY A
ABELL STEEL & WOOD-FENCE
BOX 6
FT PIERCE, FL 34954
FENCE ERECTION

FLOOD ZONE A8 ELEV. = 9.0
 FIRM PANEL 120164 0002C
 DATED APRIL 3, 1984

NOTE CBS WALL
 AROUND PROPERTY
 0.5' INSIDE

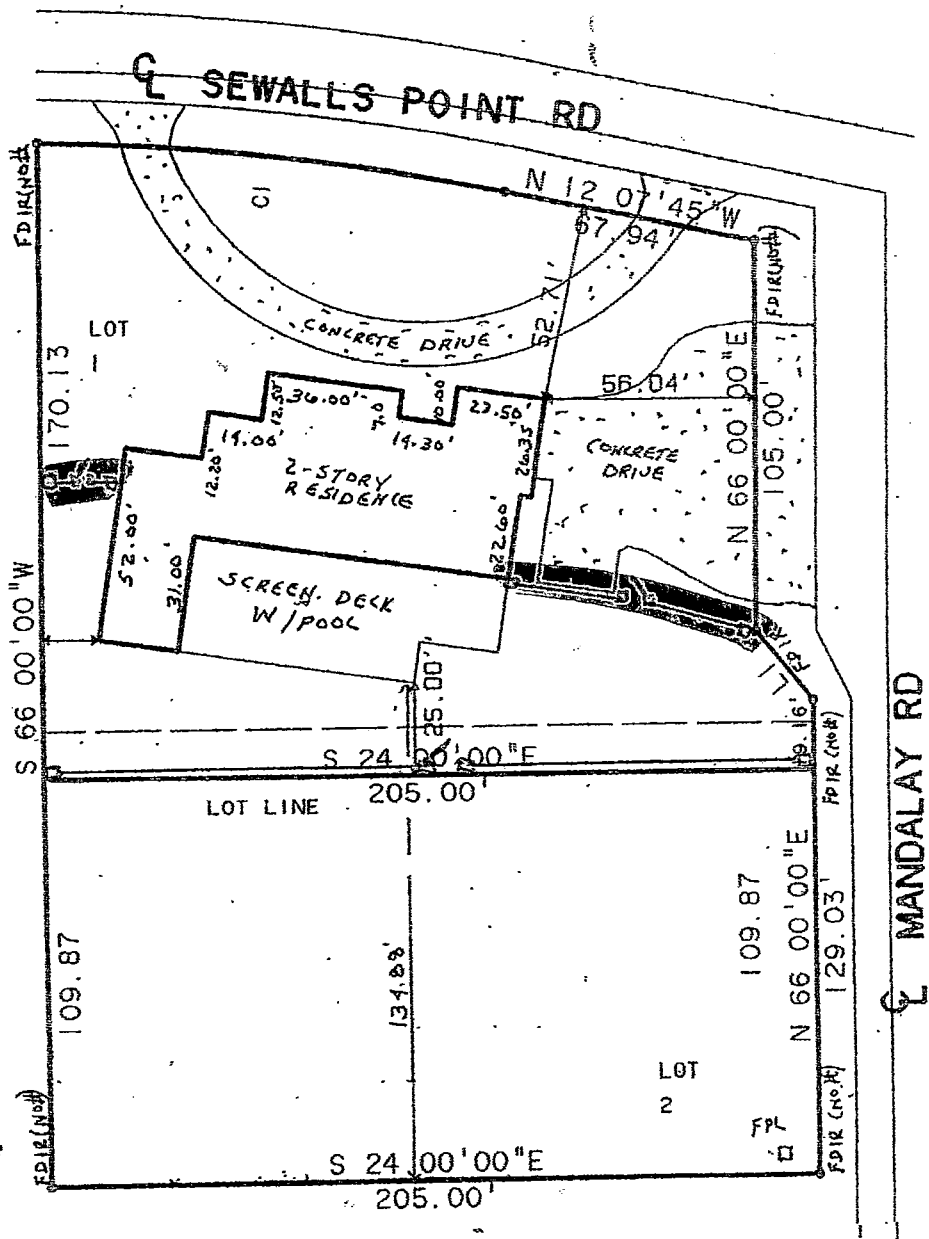
TOTAL SQUARE FOOTAGE OF NEW
 PROPOSED LOT 1 31, 566

TOTAL IMPERVIOUS COVERAGE ON
 LOT 1 11,851

- ASPHALT
- CALCULATED
- HORD
- CENTERLINE
- CONCRETE MONUMENT
- CURVE
- DESCRIPTION
- DRAINAGE EASEMENT
- FOUND
- GUY WIRE
- IRON PIPE
- I.C. - IRON ROD & CAP
- LIGHT POLE
- ASURED
- NAIL & WASHER
- OVERHEAD ELECTRIC
- PLAT
- PAVEMENT
- POINT OF CURVE
- POINT OF COMPOUND CURVE
- POWER POLE
- POINT OF REVERSE CURVE
- POINT OF TANGENT
- PERMANENT CONTROL POINT
- PERMANENT REFERENCE MARK
- RADIUS
- RIGHT OF WAY
- UTILITY EASEMENT
- HIGH POINT
- BLOCK
- BENCHMARK
- FINISHED FLOOR
- I.R. & C. - SET IRON ROD & CAP
- LB & C.
- CONCRETE
- NOT TO SCALE

CURVE	DELTA ANGLE	RADIUS	ARC
C 1	11 17'00"	631.95'	124.45'

LINE	BEARING	DISTANCE
L 1	N 27 00'00"E	23.83'



DESCRIPTION

LOTS 1 AND 2, MANDALAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGES(S), 86, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

Said lands situate in Martin County, Florida.

Street Address: 1167 S. SEWALL'S POINT ROAD

SURVEYOR'S CERTIFICATE:

THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. AND, THAT THE SKETCH HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF. SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

CERTIFIED TO:

KARI S. LYDON
 WORLD SAVINGS
 TITLE GUARANTY & TRUST COMPANY, INC.
 ATTORNEYS-IN-FACT FOR INSURANCE FUND, INC.

TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE

DATE: 6/26/03

BUILDING OFFICIAL
 Gene Simmons

- 1) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
- 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, SURVAY ACT DEEDS, OR ADJOINING DEEDS.
- 3) LAND DESCRIBED SHOWN HEREON WAS PROVIDED BY THE CLIENT OR HIS/HER AGENT.
- 4) NO ATTEMPT WAS MADE BY THIS OFFICE TO LOCATE SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON.
- 5) UNDERGROUND FOUNDATIONS NOT LOCATED.
- 6) BASE OF BEARINGS IS THE CORNERLINE OF S. SEWALL'S POINT ROAD AS SHOWN ON THE PLAT OF MANDALAY RECORDED IN PLAT BOOK 4, PAGE 86, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

Handwritten initials

8424

INTERIOR

DEMOLITION

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 10-24-06

BUILDING PERMIT NO. 8424

Building to be erected for McPherson

Type of Permit Interior Demo

Applied for by Stephen Conway LLC

(Contractor) Building Fee 48-

Subdivision Mandalay Lot 1 Block _____

Radon Fee _____

Address 167 S Sewalls Pt Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Electrical Fee _____

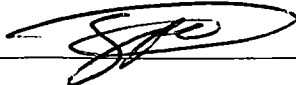
Parcel Control Number:
133841-004-000-000-101-0000


Plumbing Fee _____

Roofing Fee _____

Amount Paid \$48 Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 5000- TOTAL Fees 48-

Signed 
Applicant

Signed 
Town Building Official

PERMIT

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input checked="" type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEMWALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TRUSS ENG/WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF TIN TAG/METAL	_____	ROOF-IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	EARLY POWER RELEASE	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

286-1399
561-723-3089

RECEIVED
Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 10-20-06 Permit Number: _____

OWNER/TITLEHOLDER NAME: ALAN/DANA McPherson Phone (Day) _____ (Fax) _____

Job Site Address: 167 S Sewalls Pt Road City: SEWALLS PT State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LOT 1 MAN DAILY Parcel Number: 13384100400000010-1

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: INTERIOR DEMOLITION

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 5,000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: Stephen P. Conway LLC Phone: 220-0064 Fax: 220-8601

Street: 900 E Ocean Blvd D-232 City: STUART State: FL Zip: 34994

State Registration Number: _____ State Certification Number: CR053742 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: NA State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT NA Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER NA Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: 16474 Garage: 624 Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof 7231 Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
[Signature]
State of Florida, County of: Palmetto Beach
This the 9th day of Oct, 2006
by Dana McPherson who is personally
known to me or produced _____
as identification. _____

CONTRACTOR SIGNATURE (required)
[Signature]
On State of Florida, County of: Martin
This the 19 day of Oct, 2006
by Stephen P Conway who is personally
known to me or produced _____
As identification. _____

My Commission Expires: _____
JAMIE ROSENBERG
Comm# DD04117
Notary Public
Florida Notary Assn. No. _____
Bonds thru (800) 332-1264
Expires 7/22/2009

My Commission Expires: _____
ROSWAN BISHUNDAT
Notary Public, State of Florida
Commission# DD526440
Seal
My comm. expires Mar. 07, 2010

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/11/2006

PRODUCER (407)647-7901 FAX (407)647-5604
Kraft Insurance Agency
 231 North New York Avenue
 Winter Park, FL 32789

INSURED **Stephen P. Conway, LLC.**
 4 Oakhill Way
 Stuart, FL 34996
 Fax # 772-220-8601

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Mid-Continent Casualty Co	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	04GL625704	03/29/2006	03/29/2007	EACH OCCURRENCE	\$ 300,000
		DAMAGE TO RENTED PREMISES (Ea occurrence)				\$ 100,000	
		MED EXP (Any one person)				\$ Excluded	
		PERSONAL & ADV INJURY				\$ 300,000	
		GENERAL AGGREGATE				\$ 600,000	
		PRODUCTS - COMP/OP AGG				\$ 600,000	
		GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					
		AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$
		EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$				BODILY INJURY (Per accident)	\$
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? if yes, describe under SPECIAL PROVISIONS below				PROPERTY DAMAGE (Per accident)	\$
		OTHER				AUTO ONLY - EA ACCIDENT	\$
						OTHER THAN AUTO ONLY: EA ACC	\$
						AGG	\$
						EACH OCCURRENCE	\$
						AGGREGATE	\$
							\$
							\$
							\$
						WC STATU-TORY LIMITS	OTH-ER
						E.L. EACH ACCIDENT	\$
						E.L. DISEASE - EA EMPLOYEE	\$
						E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

Town of Seawalls Point
 Building Dept.
 Attn: Laura
 One South Seawalls Point Road
 Seawalls Point, FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
 William McCormick

10-04-2005



TOM GALLAGHER
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION

**** CERTIFICATE OF EXEMPTION FROM FLORIDA WORKERS' COMPENSATION LAW ****

CONSTRUCTION INDUSTRY EXEMPTION

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation Law.

EFFECTIVE DATE: 09/29/2005

** EXPIRATION DATE: 09/29/2007

PERSON: CONWAY

FEIN: 200506366

BUSINESS NAME AND ADDRESS: STEPHEN P CONWAY LLC
4 OAKHILL WAY
STUART

FL 34996

MEETS REISSUANCE REQUIREMENTS

SCOPE OF BUSINESS OR TRADE: 1- CERTIFIED RESIDENTIAL CONTRACT

IMPORTANT: Pursuant to Chapter 440 . 05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter.

QUESTIONS? (850) 413-1600

AC# 2640075

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L060701004

DATE	BATCH NUMBER	LICENSE NBR
07/01/2006	050805855	CRC053742

The RESIDENTIAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

CONWAY, STEPHEN P
STEPHEN P CONWAY LLC
4 OAK HILL WAY
STUART FL 34996

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-2007 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 2001-513-0005 CERT CRC 053742
PHONE (772) 220-0064 SIC NO 233211

LOCATION:
900 E OCEAN BLVD D232 STU

RECEIPT of PAYMENT
LARRY C. O'STEEN
99 10/02/2006 NORMA
20010005130000
002 2006 0000076.
STEPHEN P. CONWAY.

CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>2.50</u>
\$	<u>.00</u>	COL. FEE \$	<u>5.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>1.00</u>
TOTAL			<u>32.50</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF CERT. RESIDENTIAL CONTRACTOR

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

02 DAY OF OCTOBER 2006
AND ENDING SEPTEMBER 2007

CONWAY, STEPHEN P
STEPHEN P. CONWAY, LLC.
900 E OCEAN BLVD, STE D-232
STUART, FL 34994

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 1338410040000010-1

NOTICE OF COMMENCEMENT

STATE OF FLORIDA

COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

LOT 1 MAN DALAY 167 S. Sewalls Point Rd. Sewalls Point, FL

GENERAL DESCRIPTION OF IMPROVEMENT: REMODEL 34996

OWNER: ALAN & DANA McPherson

ADDRESS: 167 SO Sewalls PT ROAD SEWALLS POINT FL 34996

PHONE #: _____ FAX #: _____

CONTRACTOR: Stephen P. Conway LLC

ADDRESS: 900 E OCEAN BLVD D-232 STUART FL 34994

PHONE #: 220-0064 FAX #: 220-8601

SURETY COMPANY (IF ANY): _____

ADDRESS: _____

PHONE #: _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

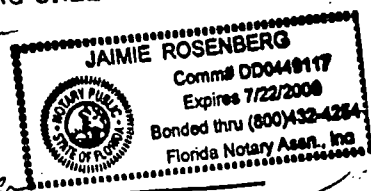
PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

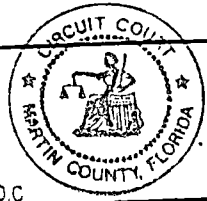
SIGNATURE OF OWNER [Signature]

SWORN TO AND SUBSCRIBED BEFORE ME THIS 9th DAY OF October 2006 BY Dana McPherson

NOTARY SIGNATURE [Signature]



PERSONALLY KNOWN OR PRODUCED ID TYPE OF ID _____



THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL. [Signature] MARSHAL/CLERK DATE 10/20/06 D.C.

INST # 19682269 OR BK 1190 PG 2361 RECD 10/20/2006 09:03:16 AM
MARSHA ELLING MARTIN COUNTY DEPUTY CLERK L. WOOD



Martin County Tax Record

Property Information

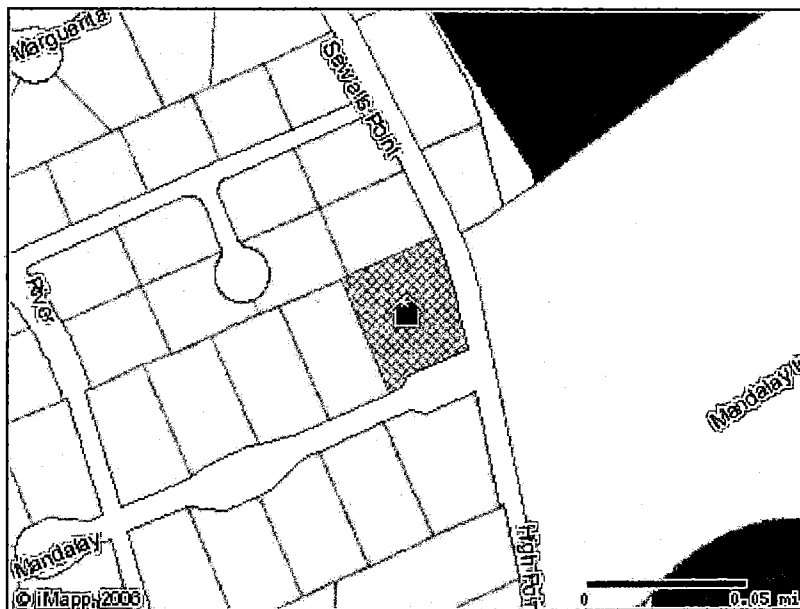
Parcel ID #
13-38-41-004-000-00010-1
Property Type: Residential
Property Address:
167 S SEWALLS POINT RD
STUART, FL 34996-6344

Land Use: 101 (100)
Single Family

Lot Size: 0.00 acres
(100 frontage, 0 depth)

Subdivision:
MANDALAY
Legal Description:
MANDALAY LOT 1 & THE ELY 14' OF
LOT 2
Sec./Twn./Rng. 13 / 38 / 41

Phone: 772-221-0467



Residential	Agricultural	Government	Water
Commercial	Industrial	Other	Condo

Current Owner

MCPHERSON, ALAN & DANA
167 S SEWALLS POINT RD
STUART, FL 34996-6344

Recent Sales

Sale Date	04/08/2004	06/30/2000
Sale Price	\$999,000	\$0
Book/Page	1882 / 0672	1501 / 2701

Property Value Information

Land Value	\$217,800	Assessed Value	\$589,800	Taxes (2005)	\$8,771.30
Improved Value	\$372,000	Exempt Value	\$5,000	Millage Code	2200
Market Value	\$589,790	Taxable Value	\$589,800	Millage Rate	16.1522

Building Information

Year Built	1977	Exterior Wall	CONCR BLOCK STUCCO EXTERIOR
Building Area	7,231 sf	Interior Wall	
Living Area	6,474 sf	Roof Structure	HIP GABLE
Bedrooms	6	Roof Cover	BERMUDA TILE ROOFING
Bathrooms	4	Floor	CARPET & HARD TILE FLOORING
Stories		Foundation	SLAB
Heat Type	HEAT A/C	AC Type	HEAT A/C

Building Subareas

- 2 CAR ATTCHD GARAGE (624 sq. ft.)
- FIN OPEN PORCH TILE (133 sq. ft.)
- MAIN LIVING AREA (4,048 sq. ft.)

Property Features

Code	Description	Quantity	Code	Description	Quantity
ELMX	ELECTRIC, MAXIMUM CONSTRUCTION DETAIL	1	WL1	WALL,MASNRY,AVERAGE	1,430
WL1	WALL,MASNRY,AVERAGE	3,497	LSP	LAWN SPRINKLER LAWN IRRIGATION SY S RESIDENTIAL	0
FR2	FIREPLACE,GOOD	2	PT3	PATIO,BRK OR TILE	25
PL2	POOL	112	PT3	PATIO,BRK OR TILE	40
PT3	PATIO,BRK OR TILE	1,733	BAL1	BALCONY W/WOOD RAIL	88
PT3	PATIO,BRK OR TILE	30	WB-1	WET BAR SINK,REFRIGERATOR RESIDENTIAL	1

Flood Zone Classification

AE AREA W/ 1% CHANCE FLOODING, BFES DETERMINED.

©2005 IMAPP, Inc. Information is believed accurate but not guaranteed.

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon ~~Wed~~ ^{THURS} Fri 7-5, 2007 Page 1 of 1

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8605	Carlson/Brennan 3 Tuscan La Crystal Lagoon	Pool piping + light	FAIL	INSPECTOR: <i>[Signature]</i>
8454	Wattles 20 N Ridgeway Steve Conway	4 th gas tank	PASS	INSPECTOR: <i>[Signature]</i>
8474	_____ 167. S.S.P.A. CONWAY	INT. DEMO.	PASS	Close INSPECTOR: <i>[Signature]</i>
8512	Valdes/SP 107 N Sewalls Valdes	Footer		RESCHEDULED INSPECTOR:
6918	Slater 31 NE Luffing Conway	Repl soffit + column FINAL	PASS	Close INSPECTOR: <i>[Signature]</i>
8.E	_____ 104, 26 N.S.P.A.	PAINT FENCE MAINTENANCE		INSPECTOR:
6925	Beckham 3 Oakhill Way Conway	Chimney final	PASS	Close INSPECTOR: <i>[Signature]</i>
OTHER:				

9096

REMODEL

&

RE-ROOF



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9096	DATE ISSUED:	FEBRUARY 9, 2009
SCOPE OF WORK:	INTERIOR REMODEL & REROOF		
CONDITIONS :			
CONTRACTOR:	A-1 PROFESSIONAL		
PARCEL CONTROL NUMBER:	133841-004-000-000101	SUBDIVISION	MANDALAY - LOT 1
CONSTRUCTION ADDRESS:	167 S SEWALLS POINT RD		
OWNER NAME:	SHINGARY		
QUALIFIER:	JAMES CHERRY	CONTACT PHONE NUMBER:	772-634-6498

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	9096		
ADDRESS	167 S SEWALLS POINT RD		
DATE:	2/9/09	SCOPE:	INTERIOR REMODEL & REROOF

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K) (No plan submittal fee when value is less than \$100,000)		\$	
Total square feet air-conditioned space: (@ \$110.25 per sq. ft.)		s.f.	
Total square feet non-conditioned space: (@ \$51.60 per sq. ft.)		s.f.	
Total Construction Value:		\$	78226.00
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			782.26
Total number of inspections (Value < \$200K) @\$75 ea.	9	\$	675.00
Radon Fee (\$.005 per sq. ft. under roof):		\$	
DBPR Licensing Fee: (\$.005 per sq. ft. under roof)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			31.29
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	1488.55

Shinsary RES -

1187

FLORIDA FURNITURE REPRESENTATIVES INC.

681 SW WOODSIDE COURT
 PALM CITY, FL 34990

DATE 1/31/09

63-1322/631
 32058

PAY TO THE ORDER OF

SEWALLS POINT BUILDING DEPT

\$ 1,488.55

ONE Thousand Four Hundred Eighty Eight & 55/100

DOLLARS



You'll like it here.
 Palm City, Florida
 24 Hr Colonial Connection 1-877-502-2265

FOR 167 S SEWALLS POINT RD

[Signature]

RECEIVED
TOWN OF SEWALL'S POINT

Town of Sewall's Point

Date: 1-20-2009 DATE: 2-5-09 BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: Joseph Phone (Day) 631-5874 (Fax) _____

Job Site Address: 167 S. SEWALLS POINT ROAD City: SEWALLS PT. State: FL Zip: 34996

Legal Description: MANDALAY Lot #2 Parcel Control Number: 13-38-41-004-000-0010-1

Owner Address (if different): 681 WOODSIDE COURT City: PALM CITY State: FLA Zip: 34990

Scope of work (please be specific): REMODEL INTERIOR SECTIONS & RE-ROOF

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES _____ NO X

Has a Zoning Variance ever been granted on this property?
N/A YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 60000 78,226^{PO}
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ 500,000
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: A-1 Professional Contracting & Plumbg LLC Phone: 772-343-0067 Fax: 772-343-0079

Street: 2125 SW HAYWORTH AVE City: PORT ST. LUCIE State: FLA Zip: 34953

State License Number: CBC1256422 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: JIM CHERRY Phone Number: 772-634-6498 Cell # _____

DESIGN PROFESSIONAL: DONALD A. WISDOM Lic# PE # 22682 Phone Number: 772-288-1227

Street: 10 CENTRAL PKWY Suite # 302 City: STUART State: FL Zip: 34994

AREAS SQUARE FOOTAGE: Living: 6000 Garage: 900 Covered Patios/ Porches: 100 Enclosed Storage: _____

Carport: _____ Total under Roof 7,000 Elevated Deck: _____ Enclosed area below BFE*: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2004 W/ 2006 REV.
National Electrical Code: 2005 Florida Energy Code: 2004/6 Florida Accessibility Code: 2004/6 Florida Fire Prevention Code 2004/6

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
[Signature]

State of Florida, County of: ST LUCIE
This the 31ST day of JANUARY, 2009
by JOE SHINGARY who is personally

Known to me or produced
Identification of JENNIFER CHERRY
MY COMMISSION # DD.694854
EXPIRES: September 2, 2011
Notary Public
[Signature]
9-2-2011

CONTRACTOR SIGNATURE: (required)
[Signature]

On State of Florida, County of: St Lucie
This the 2 day of Feb, 2009
by James Chery who is personally

Known to me or produced
Identification of MICHELE STUCKEY
MY COMMISSION # DD735889
EXPIRES: November 19, 2011
Notary Public
[Signature]
1-19-11

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL AND NOTIFICATION
APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

RECEIVED
 DATE: 2-6-09
 TOWN OF SEWALL'S POINT

SHINGARY RES: PROPOSED BUDGET
167 S. SEWALLS POINT, RD

Builder fee (TBD)	\$10,000.00	TBD	PER WEEK / FEE
Building permit costs	\$2,100.00	PLUG #	
Hurricane strapping	\$1,500.00	HARD #	LABOR ONLY ,, STRAPS PROVIDED BY ROOFING CO.
Insulation	\$1,700.00	HARD #	
Drywall	\$4,500.00	HARD #	
Paint & Wall paper	\$4,500.00	HARD #	
Tile floors	\$4,500.00	PLUG #	LABOR ONLY + BAG MATERIALS
carpet	\$1,500.00	PLUG #	LANDINGS& MEDIA ROOM
Wood floors	\$2,500.00	PLUG #	@ OFFICE, DEN & DINNIG ROOM
Dumpsters	\$500.00	PLUG #	
General clean-up / Labor	\$500.00	PLUG #	
Stairs & knee walls (rail)	\$5,000.00	PLUG #	TREADS OVER EXISATING ROUGH STAIR / RAIL TO BE SHEET ROCK
Trim & doors / Material	\$421.00	HARD #	
Trim labor	\$900.00	PLUG #	
Door hardware	\$400.00	PLUG #	LABOR ONLY
Plumbing – fixtures ??	\$500.00	PLUG #	RE-SET TOILETS AFTER FLOORS ARE COMPLETED
Electric – wall plates	\$200.00	PLUG #	INSTALL NEW WHITE SWITCH & RECPT, PLATES
A/C – Grills	\$450.00	PLUG #	where are the old a/c grills
Media room – Work	\$3,000.00	PLUG #	New

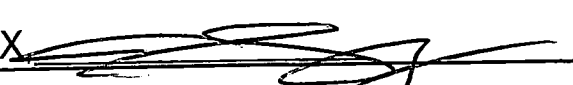
A-1 Professional Contracting & Plumbing, llc (TOTAL) \$41,671.00 **THE "TBD" WORK & PLUG #S ARE APPROX & WILL CHANGE // BASED ON CUSTOMER SELECTIONS & CHOICES.**

CUSTOMER / RE-ROOF \$33,555.00 PRIOR OWNER – SUB CONTRACTOR AGREEMENT

TOTAL (+/-) \$78,226.00

THIS DOCUMENT IS A ATTACHMENT TO:
 ESTIMATE # 144 & DATED: 02/26/2008
 1759 sq/ft interior renovation & New tile roof
 Work required to: Complete project Up-to ??

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

JOSEPH SHINGARY DATE :
 X  2/6/09

ESTIMATE

2125 SW Hayworth Ave
Port Saint Lucie, FL 34953

Date	Estimate #
2/26/2009	144

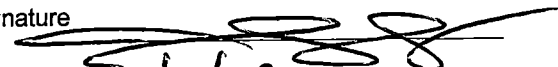
CUSTOMER INFO:
<p>Joesph Shingary 167 S. Sewalls Point, Rd Sewalls Point, Fla 34996 (cell) 772-631-5874</p>

JOB:
<p>Joesph Shingary 167 S. Sewalls Point, Rd Sewalls Point, Fla 34996 (cell) 772-631-5874</p>

Description	Rate	Total
<p>THIS ESTIMATE IS FOR THE FOLLOWING SERVICES: ALL OF THE AMOUNTS ARE FOR BUDGET REASONS / THE AMOUNT OF TIME MAY BE LESS OR MORE CAUSING THE ESTIMATE TO CHANGE ACCORDINGLY (+/-)</p>		
<p>PROJECT PERMITTING & SUPERVISION @ A COST OF \$1,000.00 PER WEEK / ESTIMATED TIME OF PROJECT = 10 WEEKS FROM: JANUARY 26TH 2009 UNTIL: THE FINAL BUILDING DEPT INSPECTION - C/O</p>	1,000.00	10,000.00
<p>THE TIME SPENT PRIOR TO JANUARY 26TH 2009 - WERE DONE @ NO COST (APPROX 2-1/2 WEEKS)</p>		
<p>MISC, SUB CONTRACTOR & LABOR COSTS "SEE ATTACHED"</p>	31,671.00	31,671.00
<p>**** ANY WORK CHANGES WILL BE CONSIDERED A CHANGE ORDER & ARE TO BE SIGNED BY THE OWNER PRIOR TO START OF SUCH WORK ****</p>		
<div data-bbox="532 1434 894 1566" data-label="Text"> <p>TOWN OF SEWALL'S POINT BUILDING DEPARTMENT FILE COPY</p> </div>		

Phone #	Fax #	E-mail
772-343-0067	772-343-0079	JIMA1PRO@GMAIL.COM

Signature



2/26/09

PLEASE SIGN & FAX BACK TO 772-343-0079
OR CALL US @ 772-343-0067 WITH ANY QUESTIONS

Total **\$41,671.00**

All American Roofing of The Treasure Coast, Inc.

3006 SE Waaler Street, Stuart, FL 34997

Lic. #CC-C058118

December 3, 2008

Joe Shingary
681 SW Woodside Court
Palm City, FL 34990
Cell: 772-631-5874

Jobsite:
167 S. Sewall's Pt. Rd.
Stuart, FL 34996

PROPOSAL

- All American Roofing will remove and dispose of existing Tile roof down to decking.
- AAR will inspect existing plywood sheathing and re-nail according to code.
- AAR will replace up to two (2) sheets (64 sq. ft.) of 1/2" or 5/8" CDX plywood, if needed. N/C
- AAR will install an ASTM 30# felt underlayment, nailed to code using round caps or tin tags.
- AAR will install 26-gauge galvanized accessory metals.
- AAR will install a modified bitumen tile underlayment, hot mop applied, back-nailed every foot.
- AAR will install a galvanized metal ridge board for proper attachment of hip & ridge tiles.
- AAR will install an Entegra, Spanish "S", Standard Color cement Tile, fastened to code using a Polyfoam application.
- Any work done beyond the scope of this contract will be invoiced as an extra. (See Wood and Labor Addendum & Job Overview)
- All American Roofing to procure permit and remove all roofing debris upon completion.
- A 2-year Workmanship Warranty will be forwarded upon receipt of final payment.

We will furnish labor and materials for the sum of: \$33,555.00

- Notes: 1) If additional roofs are discovered under the existing roof during the tear off process, additional charges including landfill fees, will incur for each additional roof to be torn off. INITIAL: _____
- 2) No verbal promises made by any representative of the company are binding unless contained in the agreement.

TERMS: This Proposal becomes a Contract upon signing. Service will begin when the signed Contract, Notice of Commencement and a 20% deposit are received. 30% is due upon completion of dry-in, 30% is due upon Tile delivery and the remaining 20% balance is due upon completion.

Presented by: Jesus Vasquez, Jr. Accepted by: [Signature] Date: 2/6/09

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

All American Roofing of The Treasure Coast, Inc.---A Florida Corp.---
Pres./Sec./Treas.

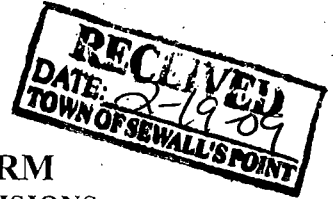
*Price quoted is valid for 20 days beyond receipt of this proposal.

Office: (772) 463-8055

Fax: (772) 463-8054



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



REVISIONS – CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 2/19/2009 PERMIT NUMBER: 9096

JOB ADDRESS: 167 S. SEWALLS POINT ROAD

PLEASE CHECK ONE OF THE FOLLOWING:

CONDITION OF INSPECTION APPROVAL (Needed for an inspection)

CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)

REVISIONS (Changes to an issued permit)

ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): ① Change hand RAIL TYPE (STAIRS (2nd))
② ADDED FLOOR (RAISED DECK) FOR MEDIA ROOM

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? NO VALUE \$ WASH
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: Jim SIGNATURE: [Signature]

PHONE NUMBER: 343-0067 FAX NUMBER: 343-0079

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 2/19 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: 3 Pages @ \$25.00/Page 75.00

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 75.00

Applicant notified by: Valerie 2-19-09 2PM Date: _____



March 13th 2009

To the town of Sewalls Point

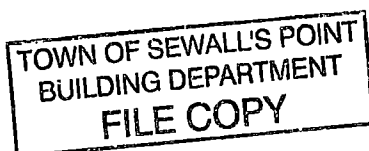
REF: Permit # 9096
Shingary res @ 167 S. Sewalls point rd.

Please accept the attached as the Load calc for this house. The Power service will need to be increased to a 400A, 120/240V, single phase main service.

Please accept this to allow the project to continue,, I regret to inform that I've gone to take my wife to have medical work & will be back Wednesday morning and can give you a signed and sealed copy.

Thank you,,
Raymond Chladny – Architect (AR-00171475)
691 SW Estate Ave
Port St. Lucie, FL

Let me know by email if you need anything else. Call 772-631-5709 & I'll return all messages "asap"



LOAD SUMMARY

RESIDENCE: 167 S. SEWALL'S POINT RD, SEWALL'S POINT, FL

1	6474 sq. ft. x 3 (GENERAL LIGHTING)	19422W	
2	2 SMALL APPLIANCES	3000W	
3	LAUNDRY CIRCUIT	1500W	
4	TOTAL	23922W	
5	TOTAL - 3000W	20922W	
6	REMAINDER @ 35%	7323W	
7	LINE 6 + 3000W		10323W
8	AIR COND. X2	18000W	
9	HEAT (14400 X 2)	28800W	
10	GREATER OF HEAT @ 100% vs. AC @ 125%		28800W
11	WATER HEATER X2	10000	
12	REFRIGERATOR	1400	
13	FREEZER	1800	
14	DISHWASHER	1030	
15	DISPOSAL	690	
16	SAUNA X2	8000	
17	MICROWAVE	1630	
18	YARD LIGHTS	3000	
19	CINEMA	2000	
20	SPRINKLER PUMP	1587	
21	POOL PUMP	2000	
22	POOL MISC	1000	
22	TOTAL @ 75% (4 OR MORE)		25603W
23	DRYER		5000W
24	RANGE X2		20000W
25	TOTAL		89726W
26	TOTAL/240V		374 AMP
USE 400 AMP SERVICE			

RAYMOND CHLADNY
 ARCHITECT AR-0017475

March 12, 2009

691 SW ESTATE
 SEWALL'S POINT ST. LUCIE FL 34953
 772-631-5709

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765



REVISIONS - CORRECTIONS REQUEST FORM
 MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 3/6/09 PERMIT NUMBER: 9096

JOB ADDRESS: 167. S. SEWALLS POINT ROAD

PLEASE CHECK ONE OF THE FOLLOWING:

- CONDITION OF INSPECTION APPROVAL (Needed for an inspection)
- CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)
- REVISIONS (Changes to an issued permit)

ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): DRAWING CONSIST OF BOTH WORK DONE BY OTHERS (WE CORRECTED) & NEW WORK FOR THIS PERMIT // ELEC. COW. CO. CASE PLUMB, FRAMING

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 4900.00
 INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: Jim Cherry SIGNATURE: [Signature]
 PHONE NUMBER: 634-6498 FAX NUMBER: 343-0079
 OFF # 343-0067

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 3-6-09 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. _____ x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. _____ x 2% = _____

Other declared value increase (must be based on value not cost) _____ x 2% = _____

Other additional fees: _____ Revision review fee: _____ Pages @ \$25.00/Page _____

Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ _____

Applicant notified by: 3-6-09 Date: _____

1. NEED PANEL SCHEDULES & LOAD CALCULATION
2. NEED COPIES OF LOW VOLTAGE & ELECTRICAL CONTRACTS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RECEIVED
 DATE: 4-8-09
 TOWN OF SEWALL'S POINT

REVISIONS - CORRECTIONS REQUEST FORM
MUST BE SUBMITTED FOR ALL CORRECTIONS AND REVISIONS

DATE: 4-8-09 PERMIT NUMBER: 90916

JOB ADDRESS: 167 S. Sewall's Point Road

PLEASE CHECK ONE OF THE FOLLOWING:

CONDITION OF INSPECTION APPROVAL (Needed for an inspection)

CONDITION OF PERMIT APPROVAL: (Corrections/Permit not issued, in review process)

REVISIONS (Changes to an issued permit)

ALL PLAN REVISIONS MUST BE HIGHLIGHTED OR CLOUDED ON DRAWING

ALL REVISED PAGES ARE REQUIRED TO BE INSERTED IN FIELD PERMIT SET

DESCRIPTION OF REVISION(S): new service

DOES REVISION(S) CHANGE THE VALUE OF CONSTRUCTION? YES NO VALUE \$ 5990

INCREASED CONSTRUCTION VALUE WILL INCREASE PERMIT FEES AND MUST BE PAID AT TIME OF APPROVAL

CONTACT NAME: PSI Electrical SIGNATURE: Michele Stuckey

PHONE NUMBER: 772 879 7559 FAX NUMBER: 772 879 7911

FOR OFFICE USE ONLY:

Reviewed by: [Signature] Date: 3-9-09 Approve Deny

Additional conditioned space _____ sq. ft. @ \$104.65 per sq. ft. x 2% = _____

Additional non-conditioned space _____ sq. ft. @ \$ 48.90 per sq. ft. x 2% = _____

Other declared value increase (must be based on value not cost) 5990 x 10% = 5990

Other additional fees: 1 INSP ~~Revision review fee:~~ ~~Pages @ \$25.00/ Page~~ 75⁰⁰

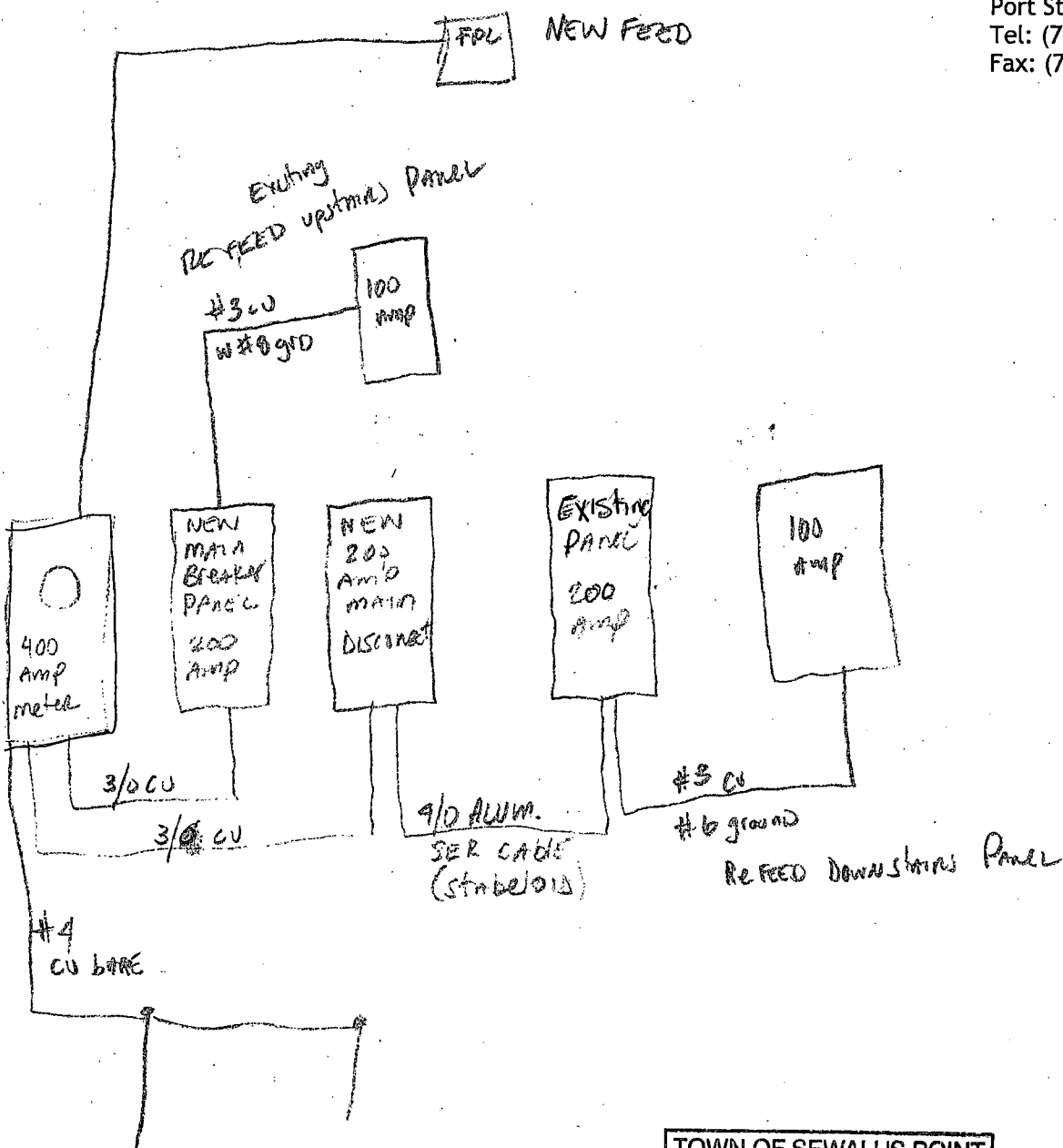
Radon Fee _____ Professional Regulation Fee _____ Road impact assessment _____

TOTAL ADDITIONAL BUILDING PERMIT FEE \$ 13490

Applicant notified by: Valerie 4-9-09 Date: _____



534 NW Mercantile Pl., Unit 103
Port St. Lucie, FL 34986
Tel: (772) 879-7559
Fax: (772) 879-7911



2 new Grounding ELECTRODE

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

167 S. Sewall's Pt Rd



PSL Electrical Contractor Inc.

534 NW MERCANTILE PLACE, UNIT 103
PORT SAINT LUCIE, FL 34986

CITIBANK, N.A. BR. #176
WHITE PLAINS, NY 10607
1-8-210

4/13/2009

PAY TO THE
ORDER OF

Town of Sewall's Point

\$ **134.90

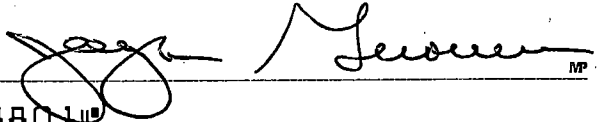
One Hundred Thirty-Four and 90/100*****

DOLLARS

Town of Sewall's Point
Building Department
One Sewall's Point Road
Sewall's Point, FL 34996

MEMO

167 S. Sewall's Point Rd.


MP

⑈0000193⑈ ⑆021000089⑆ 996753380⑈

Security Features Includer



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

SUBCONTRACTORS LIST
 RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME: A-1 Professional Contracting & Plumbing LLC BLDG. PERMIT # _____
 MAILING ADDRESS: 2125 SW Hayworth Ave, Port St Lucie Fla 34953

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE BUILDING DEPARTMENT. WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION. USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917. PLEASE INCLUDE ALL MUNICIPAL COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. (NOT OCCUPATIONAL LICENSE NUMBERS).

	TYPE	COMPANY NAME	LICENSE NUMBER
CFO	CONCRETE - FORM	N/A	
CFI	- FINISH		
BM	BLOCK MASON	''	
CB	COLUMNS & BEAMS	''	
CA	CARPENTRY ROUGH		
GD	GARAGE DOOR	N/A	
DH	DRYWALL - HANG	STAR SERVICES - STAR DRYWALL INC,	RX 11066877 - STATE
DF	- FINISH		
IN	INSULATION	DAVIDSON INSULATION	+5800315
LA	LATHING	N/A	
FI	FIREPLACE	''	
PAV	PAVERS	''	
AL	ALUMINUM	''	
LP	LP GAS	''	
PAV	PAINTING	Chem-Tech - Painting	18446 - 57 Lucie
PL	PLASTER & STUCCO	N/A	
ST	STAIRS & RAILS	ELEVATION STAIRS INC.	U-19838 - Palm Bch A-1
RO	ROOFING	All American Roofing	CCC-058118 - STATE
TM	TILE & MARBLE	A-1 Professional Contracting	CBC-1256422 - STATE
WD	WINDOWS & DOORS	N/A	
PLU	* PLUMBING	A-1 Professional Cont.	CFC057211 Jo
AC	* HARV	''	
EL	* ELECTRICAL	Salt Fish Electric.	ER13013735

PSL ELECTRICAL CONTRACTOR ~~1102 STATE 5995 PALM BEACH COUNTY~~
 EC13003314 **Jo**

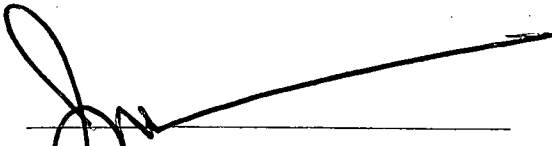


TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

AL	* LOW VOLTAGE BURGLAR ALARM	BUILDR Choice roofs & VIDEO	PSL 5017
VS	VACUUM SOUND	N/A	
IR	* IRRIGATION		
SH	SHUTTERS		

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MUNICIPAL OR STATE LICENSED CONTRACTORS. I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



 SIGNATURE OF CONTRACTOR
 (OR OWNER BUILDER IF APPLICABLE)

STATE OF FL
 COUNTY OF St Lucie

SWORN TO AND SUBSCRIBED before me this 2 day
 of Feb, 2009


 NOTARY PUBLIC

MY COMMISSION EXPIRES: 11-19-11





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9096

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Joseph Shingary

CONSTRUCTION ADDRESS: 167 S. Sewall's Pt Rd. Sewall's Point, FL

PERMIT TYPE: RESIDENTIAL COMMERCIAL

- ELECTRIC
- PLUMBING
- HVAC
- IRRIGATION
- FUEL GAS

TYPE OF SERVICE: NEW SERVICE EXISTING SERVICE OTHER

SCOPE OF WORK: Electrical remodel

VALUE OF CONSTRUCTION \$ 3585.00

<input type="checkbox"/> LOW VOLTAGE
TYPE OF EQUIPMENT: <input type="checkbox"/> SECURITY <input type="checkbox"/> VACUUM <input type="checkbox"/> SOUND SYSTEM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> OTHER
SCOPE OF WORK: _____ VALUE: _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

SIGNATURE OF LICENSED CONTRACTOR: [Signature] ADDRESS OF CONTRACTOR: 534 NW Mercantile Place # 103 Port St Lucie FL 34986

COMPANY OR QUALIFIER'S NAME: PSL Electrical Contractors, Inc.

TELEPHONE NO: 772 879 7559 FAX NO: 772 879 7911

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC 13003314

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

Sailfish Electric

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: 9096

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: _____

CONSTRUCTION ADDRESS: 167 S Sewall's Pt Rd, Sewall's Pt FL

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

- ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE _____ OTHER

SCOPE OF WORK: Relocate existing receptacles

VALUE OF CONSTRUCTION \$ less than \$2,500⁰⁰

_____ LOW VOLTAGE

TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

Joseph R. Truitt
SIGNATURE OF LICENSED CONTRACTOR

1055 SE Holbrook Ct Unit 2 PSL FL
ADDRESS OF CONTRACTOR 34952

COMPANY OR QUALIFIER'S NAME: Joseph R. Truitt

TELEPHONE NO: (772) 475-1727 FAX NO: (866) 838-3704

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: _____

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: Joseph Shingary

PARCEL CONTROL #: 13-38-41-004-000-00018-1

SUBDIVISION: _____ LOT: 1 BLK: _____ PHASE: _____

SITE ADDRESS: 167 S Sewall's Pt Rd, Sewall's Pt FL

SEND OR FAX TO: TOWN OF SEWALL'S POINT BUILDING DEPARTMENT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

CONTRACTOR, OWNER /BUILDER ASBESTOS NOTIFICATION STATEMENT

Date: 01-20-2009

Building Permit # _____

Site Address: 167 S. SEWALLS POINT ROAD, SEWALLS POINT FLA 34996

FBC 104.1.10 Asbestos. The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's or operator's responsibility to comply with the provisions of s. 469.003 Florida Statutes and to notify the Department of Environmental Protection of her or his intentions to remove asbestos, when applicable, in accordance with state and federal law. 469.003 License required.--

(1) No person may conduct an asbestos survey, develop an operation and maintenance plan, or monitor and evaluate asbestos abatement unless trained and licensed as an asbestos consultant as required by this chapter.

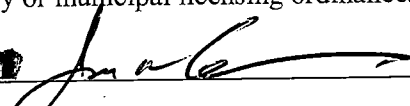
(2)(a) No person may prepare asbestos abatement specifications unless trained and licensed as an asbestos consultant as required by this chapter.

(b) Any person engaged in the business of asbestos surveys prior to October 1, 1987, who has been certified by the Department of Labor and Employment Security as a certified asbestos surveyor, and who has complied with the training requirements of s. 469.013(1)(b), may provide survey services as described in s. 255.553(1), (2), and (3). The Department of Labor and Employment Security may, by rule, establish violations, disciplinary procedures, and penalties for certified asbestos surveyors.

(3) No person may conduct asbestos abatement work unless licensed by the department under this chapter as an asbestos contractor, except as otherwise provided in this chapter.

FBC 105.3.6 Asbestos removal. (Owner /Builder Exemption)

Moving, removal or disposal of asbestos-containing materials on a residential building where the owner occupies the building, the building is not for sale or lease, and the work is performed according to the owner-builder limitations provided in this paragraph. To qualify for exemption under this paragraph, an owner must personally appear and sign the building permit application. The permitting agency shall provide the person with a disclosure statement in substantially the following form: **Disclosure Statement:** State law requires asbestos abatement to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own asbestos abatement contractor even though you do not have a license. You must supervise the construction yourself. You may move, remove or dispose of asbestos-containing materials on a residential building where you occupy the building and the building is not for sale or lease, or the building is a farm outbuilding on your property. If you sell or lease such building within 1 year after the asbestos abatement is complete, the law will presume that you intended to sell or lease the property at the time the work was done, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. Your work must be done according to all local, state and federal laws and regulations which apply to asbestos abatement projects. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

Contractor or Owner Builder Signature 

Subscribed and sworn to before me this 2 day of Feb, 2009, personally appeared

James Cherry who is personally known to me or produced _____ as

identification, and who did/did not take an oath.

Notary Public Signature Michele Stuckey





PSL ELECTRICAL CONTRACTORS, INC.

FL Lic. # EC13003314

534 NW Mercantile Pl., Unit 103 Port St. Lucie, FL 34986

Tel: (772) 879-7559 Fax: (772) 879-7911

Proposal Submitted to:

A-1 Professional Contracting
2125 SW Hayworth Avenue
Port St. Lucie, FL 34953

Date:

2/25/2009

Phone:

772-343-0067

Contact:

Jim Cherry

Fax:

772-343-0079

Job or Project Name or Address:

167 S. Sewalls Point Road

Comments:

Estimate #

09-138

PSL Electrical Contractors hereby Propose the following: Unless otherwise specified, shall furnish, install & wire, which includes all labor and material to complete the electrical wiring installation as specified below. All electrical wiring shall be performed in a workmanship like and timely manner. All insurance is in place and proof shall be submitted before any work is performed upon request. All labor and material is guaranteed unconditionally for one year. All agreement's contingent upon strikes, accidents or delays beyond our control.

Job Includes the Following Items:

Supply and install (16) Recess Lights	\$1,600.00
Supply and install (8) Smoke Detectors	\$680.00
Repair cable in living room for outlet (box in closet)	\$50.00
Disconnect and rotate panel facing into hallway.	\$200.00
Main panel- separate neutrals and ground - rewire bell transformers as per code.	
Remove all exiting Romex cables and reinstall into panel as per code.	\$350.00
Repair faulty wiring in laundry room	\$50.00
Remove cord on air handler and install as per code.	\$30.00
Wire and install (5) fans - owner supplied	\$625.00
Filing Permit included	
Total Cost For Above Mentioned	\$3,585.00

Above scope is for open wall construction.

Job Excludes The Following:

Any cutting or opening of drywall. Painting and Patching of drywall.

Garbage removal and dumpsters. (BO) Surface and decorative lighting fixtures and fans not included.

All Projects require: A deposit of \$ Na is required upon signing of this proposal.

All invoices/Requisitions are due 5 days within receipt.

All final inspections, sign offs, and certificates will not be given until final payment is received.

All change orders or extras require the written approval of owner and no work will commence until signed authorization by the contractor/owner and approved by the owner.

Payment of change orders or extra work is due within 30 days after being invoiced.

Note: All Fixtures (SBO) are to be on site during finishing phase of project. If not EC will terminate outlet boxes for final inspection, all SBO fixtures that are delivered afterwards will be installed at an additional cost.


****Any additions due to code compliance is considered additional work.****

Due to the daily increases in copper & metal products, above quotes are subject to change.

Please retain one copy, sign and return the second copy and submit purchase order if necessary. Thank you!

Price is subject to all city and state taxes unless tax-exempt. If tax exempt, a form must be on file with PSL Electrical Contractors or all taxes must be collected upon invoice. Interest of 1.5% will be charged beyond 60 days of date of invoice. Any or all collection costs and legal fees incurred is the responsibility of the owner or tenant or general contractor. These costs are part of final payment for failure to meet the terms of the contract.

This proposal is valid for 60 days.

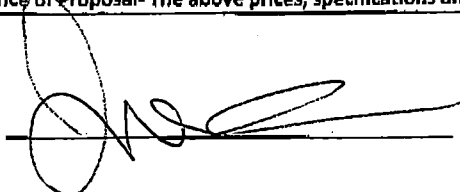

PSL Electrical Contractors, Inc.

2-25-09
Date

Please print your name, sign and date below

Signing this proposal makes this a binding contract. No work can proceed until contract is signed and returned to PSL Electrical Contractors, Inc.

Acceptance of proposal- The above prices, specifications and conditions are hereby accepted. You are to do the work as specified.



APPROVED

2-25-09
Date



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

**LICENSED GENERAL, BUILDING OR RESIDENTIAL CONTRACTORS'
 REROOF WINDSTORM LOSS MITIGATION COMPLIANCE AFFIDAVIT**

A residential Structure valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the reroofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.

TO BE COMPLETED IF INSURED VALUE OF SINGLE FAMILY IS OVER \$300,000 AND WAS PERMITTED PRIOR TO MARCH 1, 2002.

YEAR PERMITTED _____ INSURED OR P.A. IMPROVED VALUE \$ _____

DETAILS OF MITIGATION WORK TO BE PERFORMED (Add additional sheets if necessary):

Get Plans

JOB SITE ADDRESS: 167 S. SEWALLS POINT RD, SEWALLS POINT FLA 34996

QUALIFIER NAME: JAMES W CHERRY JR LICENSE NO.: CBC1256422

COMPANY NAME: A-1 PROFESSIONAL CONTRACTORS & PLUMBING PHONE NO.: 343-0067

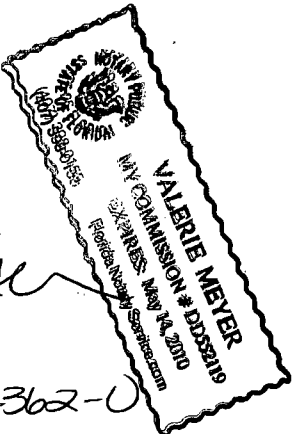
Qualifier's Signature _____

Date: 2-5-09

Sworn to and subscribed before me this 5th day of February 2009

By James W. Cherry
Valerie Meyer

Notary Public, State of Florida
 Personally known to me _____
 Produced ID _____
 Type: FLD#C 600-459-69-362-U



Owner's Signature _____

Date: _____

Sworn to and subscribed before me this _____ day of _____ 2009

By _____

Notary Public, State of Florida
 Personally known to me _____
 Produced ID _____
 Type: _____

See building permit



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Contractor List

[Reset](#)

Search STAR DRYWALL Display 15 [Go](#)

Name	Company	License Type	License & Exp	Status	Address	Phone	Liability & Exp	Wk Comp & Exp
FARTHING, PHILIP L	STAR DRYWALL INC	NON STRUCTURAL HOME IMPROVEMENT	CNS4123 30-SEP-10	ACTIVE	575 NW MERCANTILE PLACE, SUITE 9 PSL FL 34986	772-879-7589 772-673-0588	HILB ROGAL 10-APR-09	CONDON MEEK 01-JAN-10
FARTHING, PHILIP L	STAR DRYWALL INC	DRYWALL CONTRACTOR	CDRY4359 30-SEP-10	ACTIVE	575 NW MERCANTILE PLACE, SUITE 9 PSL FL 34986	772-879-7589 772-673-0588	HILB ROGAL 10-APR-09	CONDON MEEK 01-JAN-10

Spread Sheet

1 - 2

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: TAX FOLIO #: 13-38 41-004-000-00010-1

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE): 167 S. SEWALLS Pt. PEARL SEWALLS POINT 34996 / APPLIC 13-38-41-004-000-00010-1

GENERAL DESCRIPTION OF IMPROVEMENT: INTERIOR REMOVE & RE-ROOF

OWNER NAME: Joseph Shingary
ADDRESS: 681 SW WOODSIDE COURT, PALM CITY, FLA 34990
PHONE NUMBER: 772-681-5874 FAX NUMBER:

INTEREST IN PROPERTY:
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: A-2 PROFESSIONAL CONTRACTING & PLUMBING LLC
ADDRESS: 2125 SW HAYWORTH AVE - PORT ST LUCIE FLA 34953
PHONE NUMBER: 772-343-0067 FAX NUMBER: 772-343-0079

SURETY COMPANY (IF ANY): N/A
ADDRESS:
PHONE NUMBER: FAX NUMBER:
BOND AMOUNT:

LENDER/MORTGAGE COMPANY: N/A
ADDRESS:
PHONE NUMBER: FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: A-2 PROFESSIONAL CONTRACTING & PLUMBING LLC
ADDRESS: 2125 SW HAYWORTH AVE
PHONE NUMBER: 772-343-0067 FAX NUMBER: 772-343-0079

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

FLORIDA STATUES:
PHONE NUMBER: FAX NUMBER:

EXPIRATION DATE OF NOTICE OF COMMENCEMENT:
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE OWNER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31st DAY OF JAN, 2009

BY: JOE SHINGARY AS OWNER FOR NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION

TYPE OF IDENTIFICATION PRODUCED NOTARY SIGNATURE/ SEAL

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).



JENNIFER CHERRY
MY COMMISSION # DD 694854
EXPIRES: September 2, 2011
Bonded Thru Budget Notary Services



STATE OF FLORIDA MARTIN COUNTY
THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL AND CORRECT COPY OF THE ORIGINAL
MARSHA EWING, CLERK
BY: Charles D. Byrd, D.C.
DATE: 2-5-09

INSTR # 2128955 DR BK 02372 Pg 2189 RECD 02/05/2009 03:07:18 PM
Pg 2189 (1 of 1)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK C Burkes





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
1	30# FELT	35	ROLLS	
2	ACCESSORY METALS	730	FEET	
3	MODIFIED BITUMEN	70	ROLLS	
4	METAL RIDGE BOARD	370	FEET	
5	CEMENT TILE	70	SQUARES	
6	<p>Poly Foam ADHESIVE MORTAR Poly Foam</p>			

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

RE-ROOF PERMIT CERTIFICATION

PERMIT # ALL AMERICAN ROOFING

OF THE TREASURE COAST, INC.

CONTRACTOR'S NAME: _____ PHONE # 463-8055 FAX 463-8054

OWNER'S NAME: SHINGARY, JOSEPH

CONSTRUCTION ADDRESS: 167 S. SEWALLS Pt. RD. CITY SEWALL STATE FL

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)
 _____ COMMERCIAL ***-REMOVE/REINSTALL ROOF TOP HVAC EQUIP _____ YES _____ NO

***DISCONNECT/RECONNECT HVAC ELECTRIC: YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

RE-ROOF DEEMED TO COMPLY WITH 553.844 F.S. YES _____ NO - INSURED VALUE OF RESIDENCE 527,040.00

RE-ROOF INSPECTION AFFIDAVIT TO BE PROVIDED IN LIEU OF BUILDING DEPARTMENT INSPECTION _____ YES _____ NO

ROOF TYPE: HIP _____ BOSTON-HIP GABLE _____ FLAT _____ OTHER

ROOF PITCH: 4 /12 SLOPE

ROOF DECK:* _____ SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED
 _____ RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF
 NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER
 FLORIDA BUILDING CODE "2004".

_____ SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILL ED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED& RENAILED

EXISTING ROOF COVERING: CEMENT TILE EXISTING COVERING TO BE REMOVED? YES NO _____

PROPOSED NEW ROOF COVERING: CEMENT TILE

MANUFACTURER ENTEGR PRODUCT NAME BEAU'S PRODUCT APPR # 06-0324-01

(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
 MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

PROPOSED FLASHING: GALV./STEEL _____ ALUMINUM _____ COPPER _____ OTHER

RIDGEVENT TO BE INSTALLED: _____ YES NO

DESCRIPTION OF WORK: REMOVE ROOF DOWN TO DECK. RE-NAIL DECK TO CODE. INSTALL 30" FEET GALVANIZED ACCESSORY METALS, MODIFIED UNDERLAYMENT, METAL RIDGE BOARD AND CEMENT TILE.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

[Handwritten Signature]
 SIGNATURE OF CONTRACTOR

DATE: 12-4-08

TO: The Sewalls point building dept.

RE: Hurricane Mitigation Retrofit Requirements For:

**The Residence of Joseph Shingary
167 S. Sewalls point Rd. ,
Sewalls point, Fla 34996**

Please accept this letter as a suppliment of the attached plans:

Drawn by: Donald E. Wisdom, P.E.# 22682 Dated: 11/07/2008

In addition to the indicated Interior work Indacated on Attached plan, the home will be also be requiring a Re-roof.

N/A (Je)

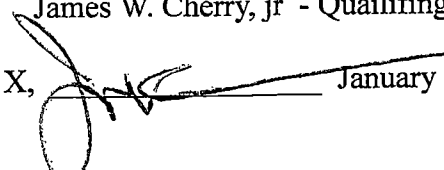
The Atttachment method, ~~Wind load certifaaction~~, Product approval, Material list & N.O.A are enclosed

Also attached are the findings of a outside engineering firm:

(B & B Engineering Consulting and Development Inc.) hired by the roofing contractor & owner That dictates the general contractors scope of work to comply with the 2004 Florida building code.

Thank you,

James W. Cherry, jr - Quailifing Agent

X,  January 20th 2009

A-1 Professional contracting & Plumbing, LLC,,
2125 SW Hayworth Ave,
Port St Lucie, Fla 34953
772-343-0067 – O
772-343-0079 – F
772-634-6498 – M
JIMA1PRO@GMAIL.COM

Lic# CBC 1256422

TOWN OF SEWALLS POINT
BUILDING DEPARTMENT
FIELD COPY



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

PRODUCT APPROVAL CHECKLIST

Permit Type: INTERIOR REMODEL & REROOF Permit Number: _____ Date 1-20-2009

Owner's Name: JOSEPH SHINGARY Job Site Location: 167 S. SEWALLS POINT RD

Design Professional Name A/E: DONALD A. WISDOM

Rule 9 B-72 requires the following information as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications or general notes; simply indicate page number on the affidavit.

Product	MODEL # Model Number	Manufacturer	Evaluation Agency	Expiration Date
Windows	N/A	To Remain		
Exit Doors	"	"		
Garage Doors	"	"		
Ridge Vents	"	"		
Soffits	"	"		
Skylights	"	"		
Shutters	"	"		
* Roofing Materials	NEW	BELLA "High 5" TILE	ENTEGRA SALES, INC.	BCCO & NOA # 06-324.01
Panel Walls	N/A	N/A		07/13/11
Structural Components and Cladding	"	"		
New/Alternative Materials	"	"		

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.

Donald A. Wisdom
 Architect/Engineer Signature & Seal

PE # 22682

FL Certification/Registration Number

FEB 04 2009

NO: 22682

TO: The Sewalls point building dept.

RE: Hurricane Mitigation Retrofit Requirements For:

**The Residence of Joseph Shingary
167 S. Sewalls point Rd. ,
Sewalls point, Fla 34996**

Please accept this letter as a suppliment of the attached plans:

Drawn by: Donald E. Wisdom, P.E.# 22682 Dated: 11/07/2008

In addition to the indicated Interior work Indacated on Attached plan, the home will be also be requiring a Re-roof.

The Attchment method, ^{n/a} ~~Wind load certifaction~~, Product approval, Material list & N.O.A are enclosed

Also attached are the findings of a outside engineering firm:

(B & B Engineering Consulting and Development Inc.) hired by the roofing contractor & owner That dictates the general contractors scope of work to comply with the 2004 Florida building code.

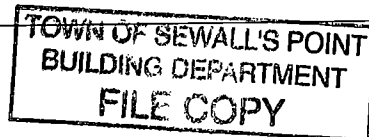
Thank you,

James W. Cherry, jr - Quailifing Agent

X,  January 20th 2009

A-1 Professional contracting & Plumbing, LLC,,
2125 SW Hayworth Ave,
Port St Lucie, Fla 34953
772-343-0067 – O
772-343-0079 – F
772-634-6498 – M
JIMA1PRO@GMAIL.COM

Lic# CBC 1256422



B & B

Engineers Consultants and Development Inc.

706 South 7th Street
Ft. Pierce, FL 34950
Phone: (772) 708-7785
Fax: (863) 467 1292

December 07, 2008

INSPECTION WITH STRUCTURAL CERTIFICATION

HURRICANE MITIGATION RETROFITS AS REQUIRED BY CS/HB for EXISTING SINGLE FAMILY STRUCTURES

RE: Mr. **Shingary** Residence at 167 S. Sewall's Point. Rd. Stuart, Fl. 34996

TO: **Town of Sewall's Point Building Department**

Client: **All American Roofing** – 3006 SE Waaler St. Stuart Fl.

◆ **Installation of New Roof System.**


To Whom It May Concern:

An Engineer from B. & B. Engineering Consultants Inc. visited the above site to visually inspect the existing roof-to-wall structure connections and its ability to support High Velocity Hurricane Winds. The existing roof structure is composed of pre-manufactured wood trusses at 24" on centers, 5/8" CDX plywood sheathing and concrete tile for the roof covering. Based on the visual inspection, the existing roof-to wall connections do not comply with the requirements of CS/HB Hurricane Mitigation Retrofits. As noted during the inspection at the time of construction on the **second floor** only two or three nails were fastened into the trusses cords and the support members (see-attached pictures). Consequently, new nails must be installed in the empty opening of the existing hurricane straps. In addition, new straps will be installed in the opposite side of the existing ones to assure the proper connection of the roof structure to the wood frame-bearing wall. (Simpson HGA 10 4-SDS1/4x1 1/2, 4-SDS1/4x3).

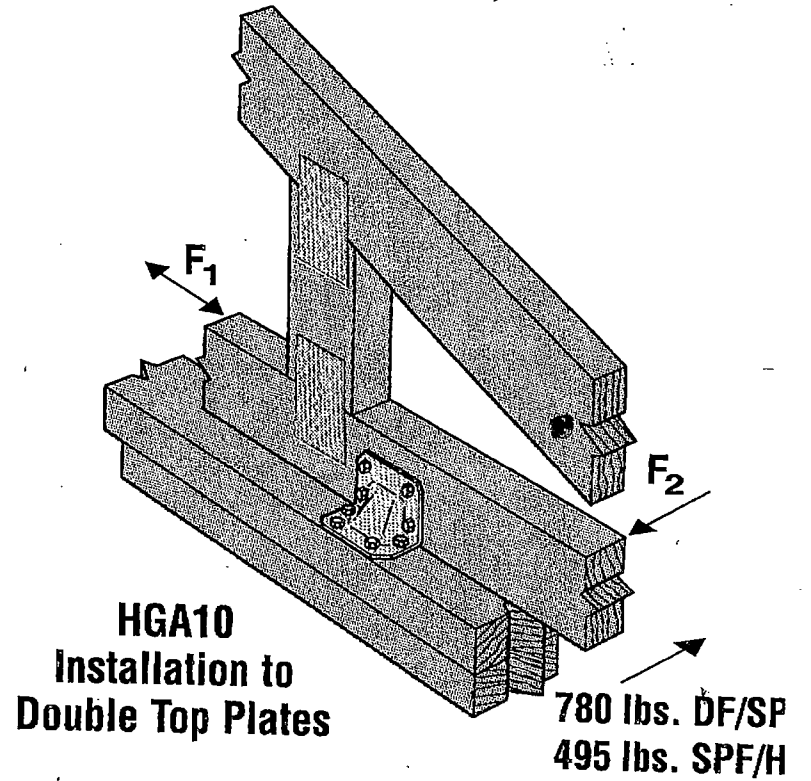
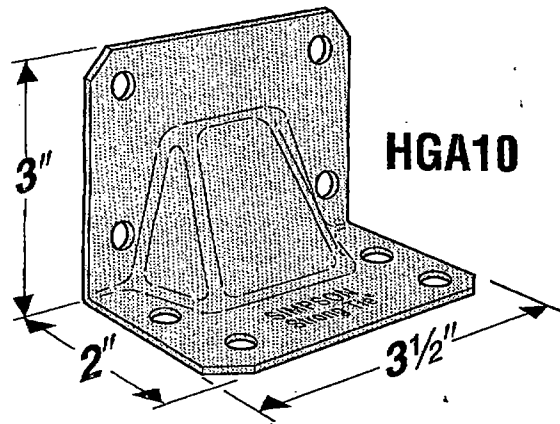
The proposed new re-roof will be installed over the existing 5/8" CDX plywood attached to the wood trusses structure. To meet the required wind loading as per ASCE 7-02, Exposure B the existing plywood shearing will be re-nailed to the existing trusses using galvanized steel 10d ring shank nails at 4" on center edge and 6" center field. In addition, to met the required wind load as per 2004 F.B.C. with 140 MPH GUST, exposure B the new roof cover will be installed as per Miami-Dade County Code Compliance acceptances, Town of Sewall's Point Building Code, and the Manufactures' recommendations.

This review and analysis is a precursory for the determination of the Scope of Work required for this project to replace the concrete tile roof. The scope of the on-site inspection on December 05, 2008 was intended to evaluate the existing roof-to-wall connection structures to assure its integrity.

Approved,


Oscar M. Bermudez, PE 1/23/09
FL License No. 55141

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Entegra Sales, Inc.

819 S. Federal Highway Suite 300
 Stuart, FL. 34994

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Bella "High S" Tile

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 7.
 The submitted documentation was reviewed by Alex Tigera.



NOA No: 06-032401
 Expiration Date: 07/13/11
 Approval Date: 07/13/06
 Page 1 of 7

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: 07320 Roofing Tiles
Material: Concrete
Deck Type: Wood

1. SCOPE

This approves a new roofing system using Entegra Bella "High S" concrete roof tile as manufactured by Entegra Sales, Inc. in Okeechobee, FL and described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code does not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Bella "High S"	L = 16 1/2" W = 13" Thickness = 1/2"	TAS 112	Low profile, interlocking, extruded concrete roof tile equipped with two nail holes and double roll ribs. For direct deck or battened nail-on, mortar or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations.

2.1 SUBMITTED EVIDENCE:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
IBA Consultants, Inc.	2421-94	ASTM C 1167	June 2006
Redland Technologies	7161-03 Appendix III	Static Uplift Testing TAS 102 & 102(A)	Dec. 1991
Redland Technologies	Letter Dated Aug. 1, 1994	Wind Tunnel Testing TAS 108 (Nail-On)	Aug. 1994
Redland Technologies	P09647-01	Wind Tunnel Testing TAS 108 (Mortar Set)	Aug. 1994
Redland Technologies	P0402	Withdrawal Resistance Testing of screw vs. smooth shank nails	Sept. 1993
The Center for Applied Engineering, Inc.	94-083	Static Uplift Testing TAS 101 (Adhesive Set)	April 1994
The Center for Applied Engineering, Inc.	94-084	Static Uplift Testing TAS 101 (Mortar Set)	May 1994



NOA No.: 06-0324.01
 Expiration Date: 07/13/11
 Approval Date: 07/13/06
 Page 2 of 7

The Center for Applied Engineering, Inc.	25-7094-(3, 6 & 9)	Static Uplift Testing TAS 102	Oct. 1994
The Center for Applied Engineering, Inc.	25-7120-(1 & 2)	Static Uplift Testing TAS 102	Nov. 1994
The Center for Applied Engineering, Inc.	25-7183-(3 & 4)	Static Uplift Testing TAS 102	Feb. 1995
The Center for Applied Engineering, Inc.	25-7214-(3, 4, &7)	Static Uplift Testing TAS 102	March, 1995
The Center for Applied Engineering, Inc.	25-7804-4	Static Uplift Testing TAS 102	Sep. 1996
Celotex Corporation Testing Services	520111-3	Static Uplift Testing TAS 101	Dec. 1998
Celotex Corporation Testing Services	520191-2-1	Static Uplift Testing TAS 101	March 1999
Walker Engineering, Inc.	Calculations	Aerodynamic Multiplier	March 1999

3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with TAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayments shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.



4. INSTALLATION

4.1 Entegra Sales, Inc.'s Bella "High S" concrete roof tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, RAS 119 and RAS 120.

4.2 Data For Attachment Calculations

Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Bella "High S" Tile	10.5	1.375	1.08

Table 2: Aerodynamic Multipliers - λ (ft ³)		
Tile Profile	λ (ft ³) Batten Application	λ (ft ³) Direct Deck Application
Bella "High S" Tile	0.349	0.378

Table 3: Restoring Moments due to Gravity - M_g (ft-lbf)										
Tile Profile	3":12"		4":12"		5":12"		6":12"		Greater than 7":12"	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Bella "High S" Tile	N/A	5.65	N/A	5.54	N/A	5.41	N/A	5.25	N/A	5.09

Table 4: Attachment Resistance Expressed as a Moment - M_t (ft-lbf) for Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Bella "High S" Tile	2-10d Ring Shank Nails	28.6	41.2	N/A
	1-10d Smooth or Screw Shank Nail	5.1	6.8	N/A
	2-10d Smooth or Screw Shank Nails	6.9	9.2	N/A
	1 #8 Screw	20.7	20.7	N/A
	2 #8 Screw	43.2	43.2	N/A
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1	N/A
	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3	N/A
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6	N/A
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1	N/A
	2-10d Ring Shank Nails ¹	33.1	48.1	N/A

1. Installation with a 3" tile headlap and fasteners are located a min. of 2½" from head of tile.



Table 5: Attachment Resistance Expressed as a Moment M_f (ft-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Bella "High S" Tile	Adhesive	29.3 ²
1 See manufactures component approval for installation requirements.		
2 Flexible Products Company TileBond Average weight per patty 10.7 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		

Table 5A: Attachment Resistance Expressed as a Moment - M_f (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Bella "High S" Tile	Polyfoam PolyPro™	66.5 ³
	Polyfoam PolyPro™	38.7 ⁴
3 Large patty placement of 63grams of PolyPro™.		
4 Medium patty placement of 24grams of PolyPro™.		

Table 5B: Attachment Resistance Expressed as a Moment - M_f (ft-lbf) for Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Bella "High S" Tile	Mortar Set ⁵	24.5
5 Tile-Tite Roof Tile Mortar.		



5. LABELING

5.1 All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo as seen in detail below, or following statement: "Miami-Dade County Product Control Approved".



OR



**Entegra Sales Bella "High S" Concrete Tile Label
(Located underneath Tile)**

6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

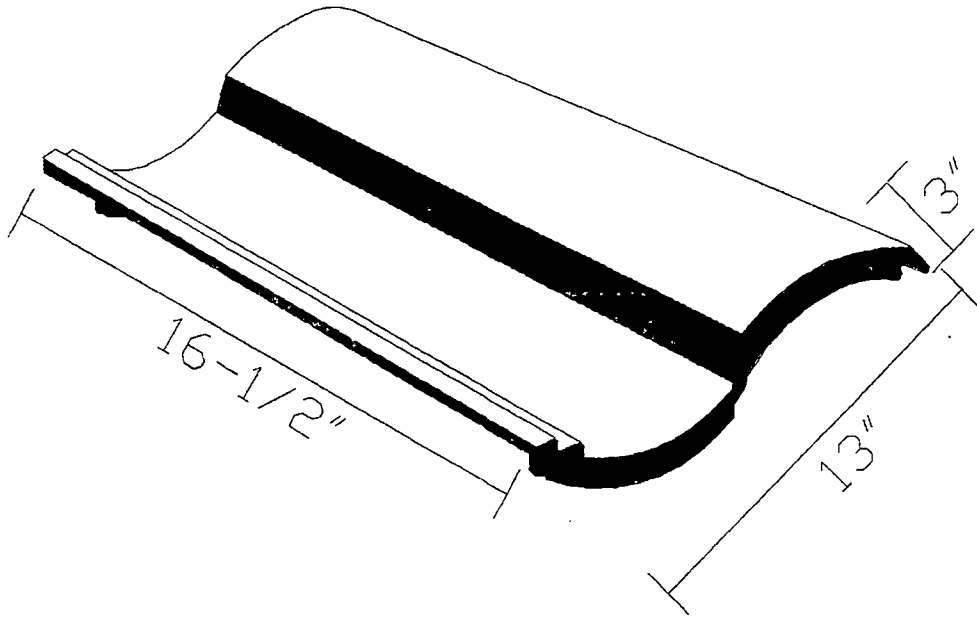
6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



NOA No.: 06-0324.01
Expiration Date: 07/13/11
Approval Date: 07/13/06
Page 6 of 7

PROFILE DRAWING



END OF THIS ACCEPTANCE



NOA No.: 06-0324.01
Expiration Date: 07/13/11
Approval Date: 07/13/06
Page 7 of 7

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-11** 2009. Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
90916	Shingary 11675 Sewalls A-1	roof shingles partial dry-in/metal	PASS PASS	
				INSPECTOR <i>[Signature]</i>
9051	Benihana 3602 SE Ocean May	dishwasher hood electric to exhaust fan	FAIL FAIL	NOT PER PLANS
				INSPECTOR <i>[Signature]</i>
8979	Olson 19 N River Rd Gary Hufnagel (260-9618) Home	Final flaming		RESCHEDULE FOR FRI 2/13
				INSPECTOR
8166	Dresler 12 Island Rd Asb Pool	Final	CANCEL	NOT PAID
				INSPECTOR
9098	Walcott 7 Island Rd Wilson Bldgs	Pre pour	PASS	
				INSPECTOR <i>[Signature]</i>
8813	HEP NORTH 3 RIVERVIEW (HEP NORTH) SANDCASTLE	GAS FINAL	PASS	
				INSPECTOR <i>[Signature]</i>
				INSPECTOR

1307-781-6875 #3488-

All American Roofing of The Treasure Coast, Inc.

3006 SE Waaler Street, Stuart, FL 34997

Lic. #CC-C058118

Sheathing Re-nailing Affidavit

RECEIVED
DATE: 2-17-09
TOWN OF SEWALL'S POINT

3:30 PM

Date: February 11, 2009

Jobsite Address: Joe Shingary
167 South Sewall's Point Rd.
Permit #9096

I, Paul Wilkins, certify that the sheathing re-nailing has been performed in accordance with the requirements adopted by South Florida Building Code.

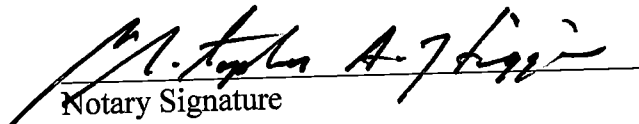


Notarized Signature by Owner or Company Qualifier

Date: February 11, 2009

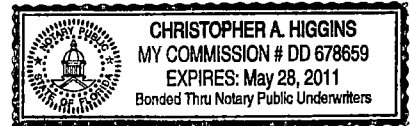
STATE OF FLORIDA)
)ss
COUNTY OF MARTIN)

Sworn to and subscribed before me this 11th day of February 11, 2009 by Paul D. Wilkins, who is personally known to me and who did not take an oath.



Notary Signature

Seal:



Office: (772) 463-8055
(772) 463-8054

Fax:

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **2-17** 2009 Page **1** of **1**

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8995	Florida ED2 75 N Sewalls Florida Electric	Final triagation	Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
90915	Shingary 167 S Sewalls A-1 Pub	dry in metal	Pass PENDING	INVESTIGATION APP. ADVISED INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9000	CD2 4 River Oak SDH	tie beam	PASS-PM FAIL	SPOURING <i>[Signature]</i> NOT PER PLAN INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9089	Sheiffer 104 H. Sewall Way Dennis Buford	ROUGH HOOD	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS



P/N: 9096

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 167 S. SEWALLS

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same. *(PASS)*

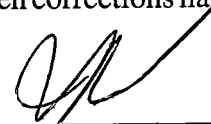
STRAPPING / FRAMING

2X4 BOTTOM PLATES ARE NOT
PRESSURE TREATED AS
REQUIRED.

INSTALL SUD GUARDS AT ALL
AREAS WHERE PIPING, WIRE,
ARE WITHIN 1 1/4" OF SUD
FACE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 2/20/09



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 2.20 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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9096	Shingary	Shrapping	FAIL	
John? 8:45	167 S Sewalls A-1	Planning	FAIL	INSPECTOR [Signature]

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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8441	DRESSLER	FINAL	FAIL	
9:30	1215 ROAD. HARBOR COURSE DRESSLER			INSPECTOR [Signature]

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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				INSPECTOR
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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				INSPECTOR
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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				INSPECTOR
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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				INSPECTOR
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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				INSPECTOR
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TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 3-11 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8981	Hepworth	Final	FAIL	
2	3 Riverview Harbor Bay Pool			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9114	Alney	stem wall footer	PASS	
1	108 Henry Sewall Larks Co	comp. test		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
2096	Shingary	tile in program	PASS	
3	167 S Sewalls A-1			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
4	4 RIVER OAK PL CDZ LLC	CHECK JOBSITE FOR UNSAFE CONDITIONS		ALERTED CONTR OF VIOLATIONS INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

3-16-2009

Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9096	Slungy	mechanical	PASS	
1	167 S Sewalls A-1	Misc mech.	PASS	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9114	Olney	Stemwall		
John 1-130	108 Henry Sewalls Parks		FAIL	Provide clearance INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9115	Campe	Final		
	12 Rio Vista Stuart Fence		FAIL	No permit posted INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS

Valerie Meyer

From: Melanie.Wildrick@fpl.com on behalf of TC_Inspections@fpl.com
Sent: Monday, May 04, 2009 4:10 PM
To: Valerie Meyer
Subject: Re: 167 S Sewalls Pt Rd
Attachments: graycol.gif; ecblank.gif; pic32439.gif

Thank you for the info. I had spoken to an inspector earlier in the day. We will try to dispatch a crew to reconnect tonight. Just so you know, Bobby Pirson does not work in our dept any longer. In future, please call me at 772-337-7049 or Ika at 772-223-4208. Thanks

☞ "Valerie Meyer" <vmeyer@sewallspoint.martin.fl.us>

"Valerie Meyer"
<vmeyer@sewallspoint.martin.fl.us> To: 'FPL' <tc_inspections@fpl.com>
cc:
05/04/2009 04:03 PM Subject: 167 S Sewalls Pt Rd

Inspection complete and passed:

Service change, ready for meter and people are living in the home – my voice mail is acting up and I just received the message from PSL Electrical – sorry this is so late in the day –

Shingary residence
167 S Sewalls Pt Rd

Please contact me if you have any questions.

Thank you,

Valerie Meyer
Building Dept
Town of Sewalls Point
772-287-2455 Ext 13

No virus found in this incoming message.

Checked by AVG - www.avg.com

Version: 8.5.323 / Virus Database: 270.12.18/2098 - Release Date: 05/05/09 08:05:00

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

Mon

Tue

Wed

Thur

Fri

54

2009

Page 2 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9096	Shangary 1615 Sewalls A-1 PSLect.	SEWAGE CHANGE	OK	OK TO EPL INSPECTOR <i>AS</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
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PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

Valerie Meyer

From: Valerie Meyer [vmeyer@sewallspoint.martin.fl.us]
Sent: Monday, May 04, 2009 4:03 PM
To: 'FPL (tc_inspections@fpl.com)'
Subject: 167 S Sewalls Pt Rd

Inspection complete and passed:

Service change, ready for meter and people are living in the home – my voice mail is acting up and I just received the message from PSL Electrical – sorry this is so late in the day –

Shingary residence
167 S Sewalls Pt Rd

Please contact me if you have any questions.

Thank you,

Valerie Meyer
Building Dept
Town of Sewalls Point
772-287-2455 Ext 13

B & B

Engineers Consultants and Development Inc.

706 South 7th Street
Ft. Pierce, FL 34950
Phone: (772) 708-7785
Fax: (863) 467 1292

Handwritten signature and date: 3/3/09

February 22, 2009

FINAL INSPECTION WITH STRUCTURAL CERTIFICATION

HURRICANE MITIGATION RETROFITS AS REQUIRED BY CS/HB for EXISTING SINGLE FAMILY STRUCTURES

RE: Mr. Shingary Residence at 167 S. Sewall's Point. Rd. Stuart, Fl. 34996

TO: Town of Sewall's Point Building Department

Client: All American Roofing – 3006 SE Waaler St. Stuart Fl.



◆ **Installation of New Roof System.**

To Whom It May Concern:

An Engineer from B. & B. Engineering Consultants Inc. visited the above site to visually inspect the previously recommended reinforcements for the existing roof-to-wall structure connections and its ability to comply with the new **HURRICANE MITIGATION RETROFITS** requirements to support High Velocity Hurricane Winds.

The existing roof structure is composed of pre-manufactured wood trusses at 24" on centers, 5/8" CDX plywood sheathing and concrete tile for the roof covering. Based on the visual inspection, the existing roof-to wall connections did not comply with the requirements of CS/HB Hurricane Mitigation Retrofits. As noted during preliminary inspection at the time of construction on the **second floor** only two or three nails were fastened into the trusses cords and the support members. Consequently, new nails were installed in the empty opening of the existing hurricane straps. In addition, new straps were installed in the opposite side of the existing hurricane straps to assure the proper connection of the roof structure to the wood frame-bearing wall. (Simpson HGA 10 4-SDS1/4x11/2, 4-SDS1/4x3 were installed in all the trusses).

The proposed new re-roof will be installed over the existing 5/8" CDX plywood attached to the wood trusses structure. To meet the required wind loading as per ASCE 7-02, Exposure B the existing plywood sheathing will be re-nailed to the existing trusses using galvanized steel 10d ring shank nails at 4" on center edge and 6" center field. In addition, to met the required wind load as per 2004 F.B.C. with 140 MPH GUST, exposure B the new roof cover will be installed as per Miami-Dade County Code Compliance acceptances, Town of Sewall's Point Building Code, and the Manufactures' recommendations.

This review and analysis is a precursory for the determination of the Scope of Work required for this project to replace the concrete tile roof. The scope of the on-site inspections on December 05, February 13 and 18, 2008 were intended to re-evaluate the new roof-to-wall connection structures to assure its integrity, in compliance to the **HURRICANE MITIGATION RETROFITS** requirements.

Approved,

Handwritten signature of Oscar M. Bermudez

Oscar M. Bermudez, PE 2/23/09
FL License No. 55141

B & B

Engineers Consultants and Development Inc.

706 South 7th Street
Ft. Pierce, FL 34950
Phone: (772) 708-7785
Fax: (863) 467 1292

February 22, 2009

FINAL INSPECTION WITH STRUCTURAL CERTIFICATION

HURRICANE MITIGATION RETROFITS AS REQUIRED BY CS/HB for EXISTING SINGLE FAMILY STRUCTURES

RE: Mr. Shingary Residence at 167 S. Sewall's Point. Rd. Stuart, Fl. 34996

TO: Town of Sewall's Point Building Department

Client: All American Roofing – 3006 SE Waaler St. Stuart Fl.

◆ **Installation of New Roof System.**

To Whom It May Concern:

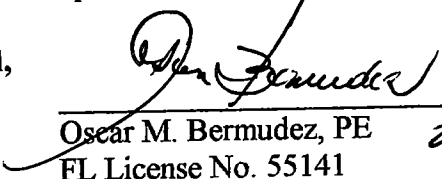
An Engineer from B. & B. Engineering Consultants Inc. visited the above site to visually inspect the previously recommended reinforcements for the existing roof-to-wall structure connections and its ability to comply with the new HURRICANE MITIGATION RETROFITS requirements to support High Velocity Hurricane Winds.

The existing roof structure is composed of pre-manufactured wood trusses at 24" on centers, 5/8" CDX plywood sheathing and concrete tile for the roof covering. Based on the visual inspection, the existing roof-to wall connections did not comply with the requirements of CS/HB Hurricane Mitigation Retrofits. As noted during preliminary inspection at the time of construction on the **second floor** only two or three nails were fastened into the trusses cords and the support members. Consequently, new nails were installed in the empty opening of the existing hurricane straps. In addition, new straps were installed in the opposite side of the existing hurricane straps to assure the proper connection of the roof structure to the wood frame-bearing wall. (Simpson HGA 10 4-SDS1/4x11/2, 4-SDS1/4x3 were installed in all the trusses).

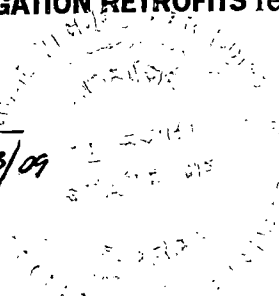
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Approved,


Oscar M. Bermudez, PE
FL License No. 55141

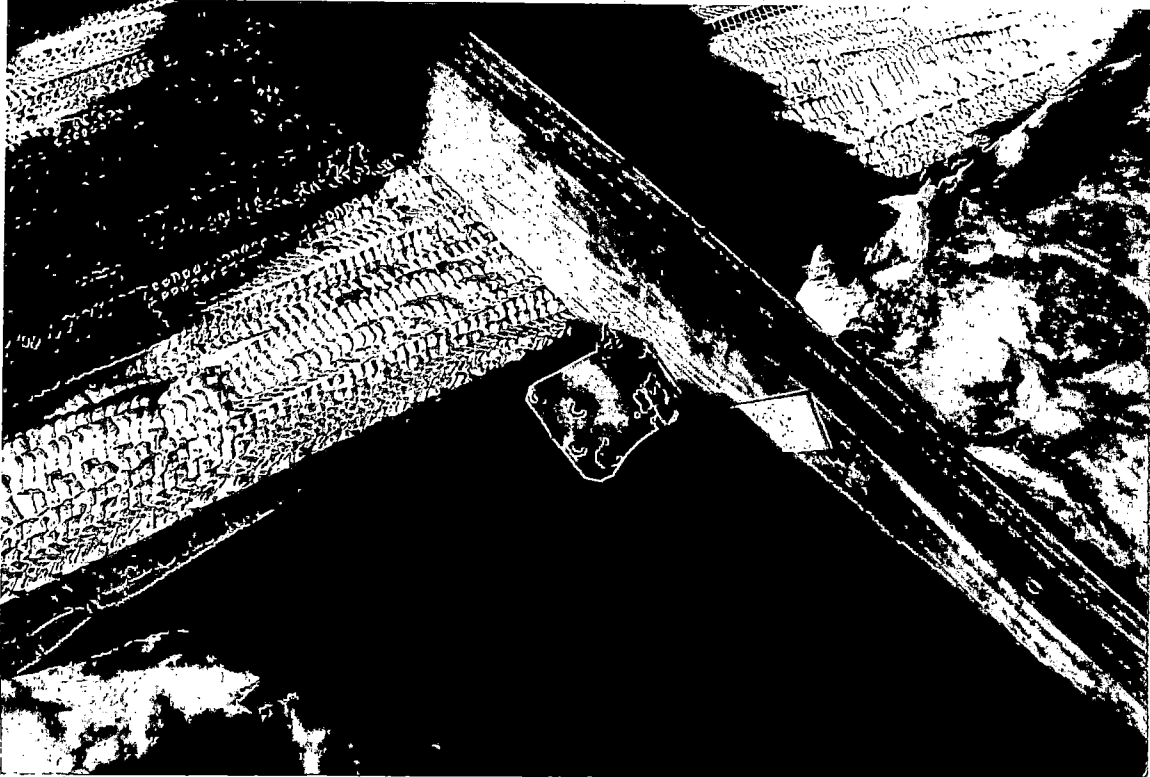
2/23/09



B & B

Engineers Consultants and Development Inc.

706 South 7th Street
Ft. Pierce, FL 34950
Phone: (772) 708-7785
Fax: (863) 467 1292



Mr. Shingary Residence at 167 S. Town of Sewall's Point. Rd. Stuart, Fl. 34996

Client: All American Roofing – 3006 SE Waaler St. Stuart Fl.

◆ Installation of New Roof System.



B & B

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Ft. Pierce, FL 34950
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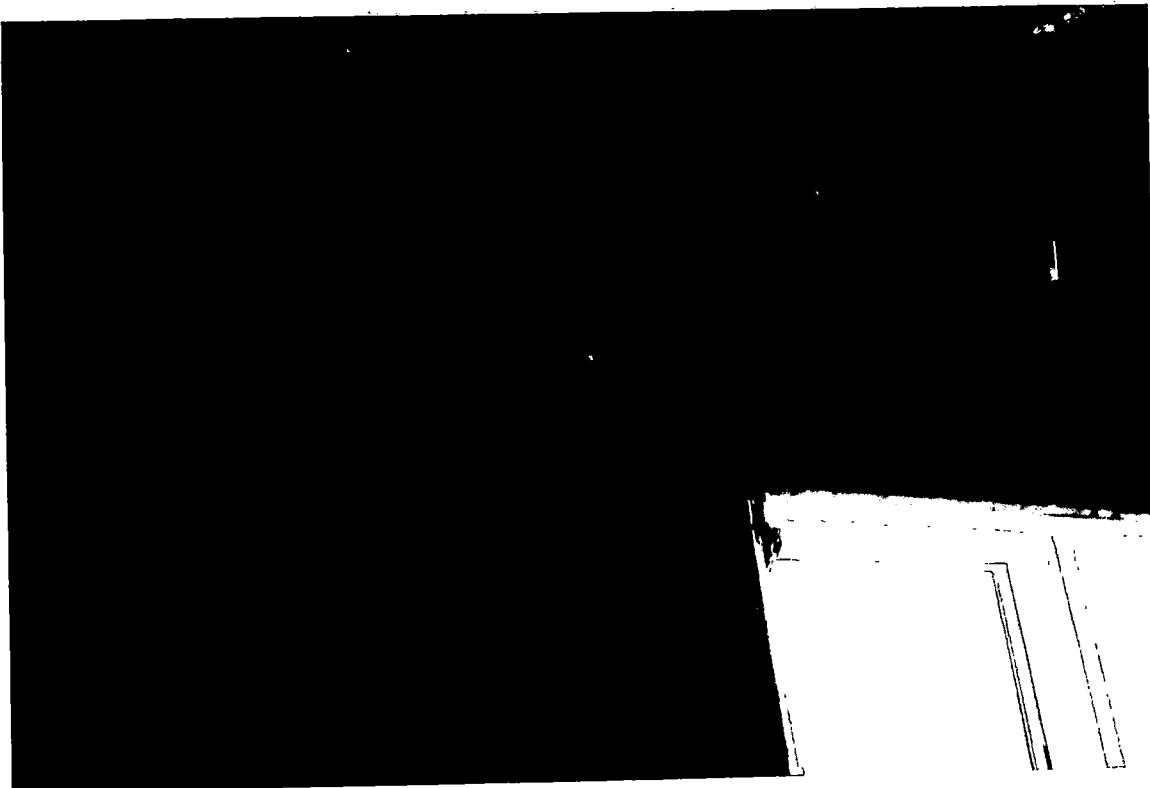


Mr. Shingary Residence at 167 S. Town of Sewall's Point. Rd. Stuart, Fl. 34996

Client: All American Roofing – 3006 SE Waaler St. Stuart Fl.

◆ Installation of New Roof System.

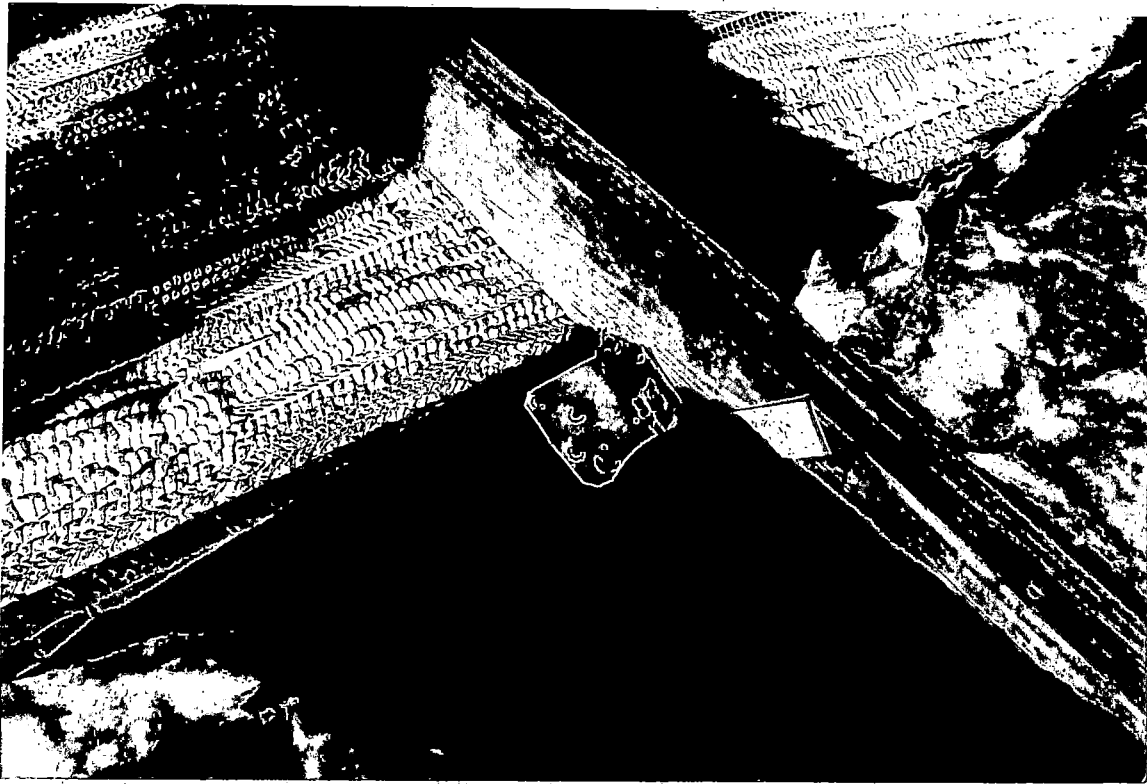
Handwritten signature or initials, possibly 'GB'.



B & B

Engineers Consultants and Development Inc.

706 South 7th Street
Ft. Pierce, FL 34950
Phone: (772) 708-7785
Fax: (863) 467 1292



Mr. Shingary Residence at 167 S. Town of Sewall's Point. Rd. Stuart, Fl. 34996

Client: All American Roofing – 3006 SE Waaler St. Stuart Fl.

◆ Installation of New Roof System.



[Handwritten signature]

B & B

Engineers Consultants and Development Inc.

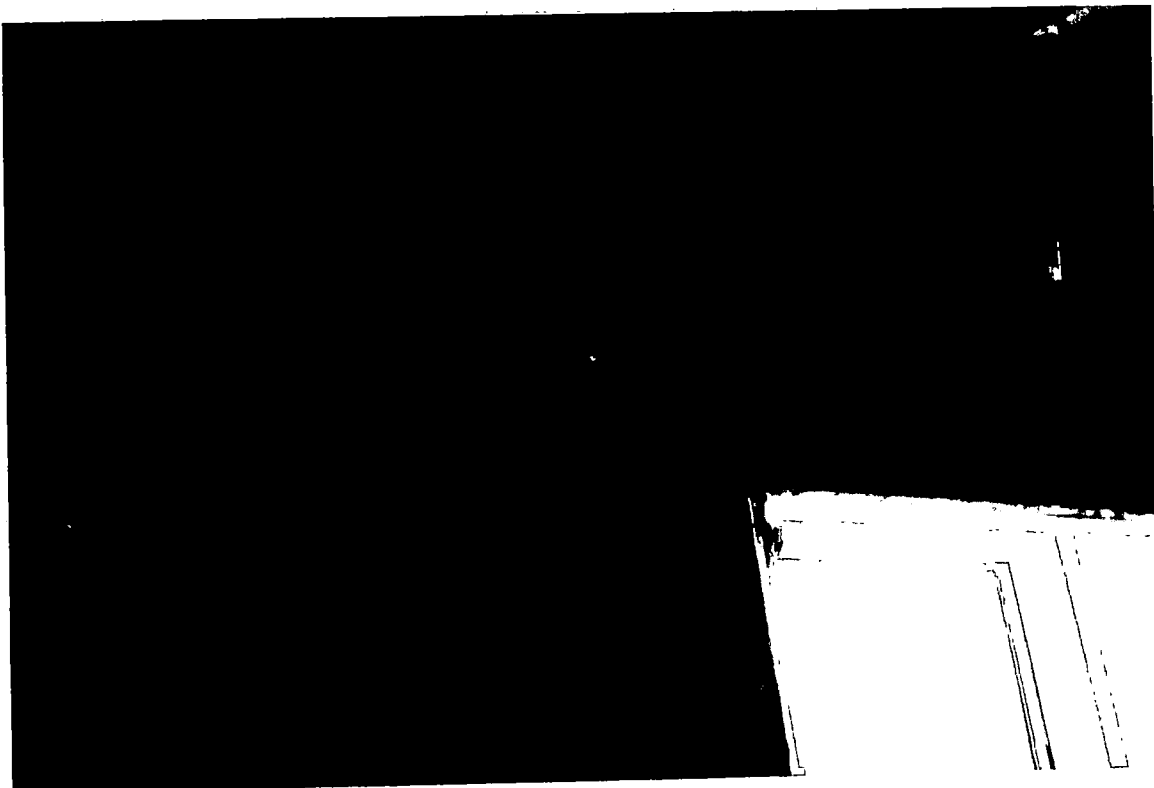
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Mr. Shingary Residence at 167 S. Town of Sewall's Point. Rd. Stuart, Fl. 34996

Client: All American Roofing – 3006 SE Waaler St. Stuart Fl.

◆ Installation of New Roof System.



TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 7-14 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9142	HENNEYS	WING WALL		
	4 MORGAN CIRC	FOOTING	PASS	
	GRIFFIN	# WALL PREPARE		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9096	SHANGHAI	FOOTING	PASS	CLOSE
	167 SPARK	FOOTING	PASS	
	A-1 PROFESSIONAL			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	TURKISH			
	89 N. RIVER RD	DECK FINAL	DONE ON 6-22-09	
			PASS	INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
	HOOKER			
	6 MORGAN CIRC	PRE POUR	PASS	
		DOCK/LOWER		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

10236

DRIVEWAY

&

POOL DECK

PAVERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10236	DATE ISSUED:	OCTOBER 9, 2012
SCOPE OF WORK:	PAVER DRIVEWAY & PAVER POOL DECK		
CONTRACTOR:	PATRICK SILAS LAND DEVELOPMENT		
PARCEL CONTROL NUMBER:	133841004-000-000101	SUBDIVISION	MANDALAY - LOT 1
CONSTRUCTION ADDRESS:	167 S SEWALLS PT RD		
OWNER NAME:	SHINGARY		
QUALIFIER:	PATRICK SILAS	CONTACT PHONE NUMBER:	260-0374

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY

INSPECTIONS

UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____	UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____
---	--

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

PERMIT NUMBER:	10236
ADDRESS	167 S SEWALLS PT RD - SHINGARY
DATE : 10/9/12	SCOPE OF WORK PAVER DRIVEWAY & PAVER POOL DECK

SINGLE FAMILY OR ADDITION /REMODEL	Declared Value	\$	
Plan Submittal Fee (\$350.00 SFR, \$175.00 Remodel < \$200K)		\$	
(No plan submittal fee when value is less than \$100,000)			
Total square feet air-conditioned space: (@ \$121.75 per sq. ft.)		s.f.	
Total square feet non-conditioned space, or interior remodel: (@ \$59.81 per sq. ft.)		s.f.	
Total square feet remodel with new trusses: @ \$90.78 per sq. ft.		\$	
Total Construction Value:		\$	
Building fee: (2% of construction value SFR or >\$200K)		\$	
Building fee: (1% of construction value < \$200K + \$75 per insp.)			
Total number of inspections (Value < \$200K) @\$75 ea.		\$	
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	
Road impact assessment: (.04% of construction value - \$5.00 min.)			
Martin County Impact Fee:		\$	
TOTAL BUILDING PERMIT FEE:		\$	

ACCESSORY PERMIT	Declared Value:	\$	27,000
Total number of inspections @ \$75.00 each			75
Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min)		\$	2
DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.)		\$	2
Road impact assessment: (.04% of construction value - \$5.00 min.)		\$	10.80
TOTAL ACCESSORY PERMIT FEE:		\$	89.80

Handwritten:
 Copy + 20
 90.00
 Cash
 10-9-12

Town of Sewall's Point

BUILDING PERMIT APPLICATION

10236

Date: _____ Permit Number: 10236

OWNER/LESSEE NAME: Joe Shingary Phone (Day) 631-5874 (Fax) _____

Job Site Address: 107 S Sewall's Pt Rd City: Ceaf State: _____ Zip: _____

Legal Description _____ Parcel Control Number: _____

Fee Simple Holder Name: _____ Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

***SCOPE OF WORK (PLEASE BE SPECIFIC):** Power

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO _____

Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$22,000.00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Patrick Silas Land Dev Phone: 772-260-0374 Fax: 772-224-8826

Qualifiers name: Patrick Silas Street: 1190 SW Jericho Blvd City: Port St Lucie State: FL Zip: 34953

State License Number: CBC1254328 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: _____

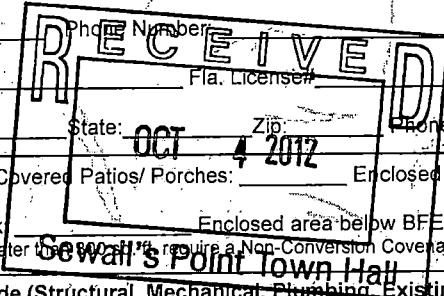
DESIGN PROFESSIONAL: _____

Street: _____ City: _____ State: _____ Zip: _____ Phone Number: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____

* Enclosed non-habitable areas below the Base Flood Elevation greater than 100 sq ft require a Non-Conversion Covenant Agreement.



CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
 National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
2. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - 5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE AND I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE - NOTARIZED SIGNATURE: _____

X Patrick Silas

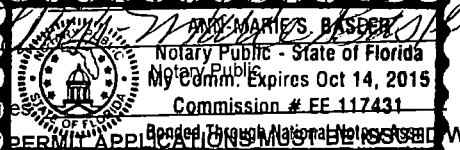
State of Florida, County of: Martin

On This the 3 day of October, 2012

by Patrick Silas who is personally known to me or produced _____

As identification: _____

My Commission Expires _____



CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: _____

X Joseph T. Shingary

State of Florida, County of: Martin

On This the 4 day of Oct, 2012

by Joseph T. Shingary who is personally known to me or produced FLDL# S526-498-72-023-0

As identification: Valerie Carney

My Commission Expires: _____

SINGLE FAMILY PERMIT APPLICATIONS MUST BE RECORDED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 10/4/2012 11:12:08 AM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Website Updated
13-38-41-004-000-00010-1	27793	167 S SEWALL'S POINT RD, SEWALL'S POINT	\$614,250	9/29/2012

Owner Information

Owner(Current)	SHINGARY JOSEPH GAEBLE GRETCHEN L
Owner/Mail Address	167 S SEWALLS POINT RD STUART FL 34996
Sale Date	7/24/2009
Document Book/Page	2410 1727
Document No.	2166591
Sale Price	100

Location/Description

Account #	27793	Map Page No.	SP-06
Tax District	2200	Legal Description	MANDALAY LOT 1 & THE ELY 14' OF LOT 2
Parcel Address	167 S SEWALL'S POINT RD, SEWALL'S POINT		
Acres	.7130		

Parcel Type

Use Code	0100 Single Family
Neighborhood	120200 Heritage P, Palmtto Pk,Rdglnd,

Assessment Information

Market Land Value	\$148,500
Market Improvement Value	\$465,750
Market Total Value	\$614,250



INSTR # 2354752
OR BK 2604 PG 2550

NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500,000 (Mechanical)

(1 Page)
RECORDED FEB 07 2012 11:11:34 AM

MARSHA EWING
PARTY COUNTY CLERK

PERMIT #: _____ TAX FOLIO #: 13-38-41-00100010-1

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
lot 1 East 14' of lot 2 mandalay Plat Book 4, Page 86

GENERAL DESCRIPTION OF IMPROVEMENT: Paver driveways / Paver porch

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT
NAME: Joe Shingary
ADDRESS: 167 S. Seawalls Pointe Stuart FL
PHONE NUMBER: 772 631-5874 FAX NUMBER: _____
INTEREST IN PROPERTY: _____

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: PATRICK SILAS Land Development
ADDRESS: 145 Jericho Blvd. PSL FL 3955
PHONE NUMBER: (772) 260-0374 FAX NUMBER: _____

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)
ADDRESS: _____
PHONE NUMBER: N/A FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: N/A D.C. _____
PHONE NUMBER: _____ FAX NUMBER: _____
MARSHA EWING, CLERK

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHICH ORIGINAL AND CORRECT COPY OF THE ORIGINAL DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES
THIS IS TO CERTIFY THAT THE FOREGOING PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL DOCUMENTS
NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
STATE OF FLORIDA MARTIN COUNTY



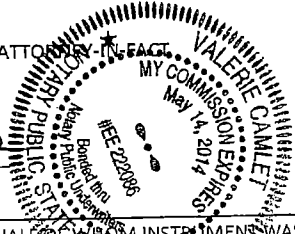
IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER: _____ FAX NUMBER: _____ EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY: _____
SIGNATORY'S TITLE/OFFICE: owner
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF Oct 2012
BY: Joseph T Shingary AS owner FOR _____ PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED
NAME OF PERSON TYPE OF AUTHORITY
PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION ✓ TYPE OF IDENTIFICATION PRODUCED FDU# 5006-498-72-0230
NOTARY SIGNATURE/ SEAL: Valerie Camlet



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00 (\$7,500 Mechanical)

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT:

OWNER NAME OR LESSEE INFORMATION, IF LESSEE CONTRACTED FOR THE IMPROVEMENT

NAME: SHINGARY
ADDRESS: 1675 SWANIS PT RD
PHONE NUMBER:
FAX NUMBER:
INTEREST IN PROPERTY: OWNER

NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR:

ADDRESS:
PHONE NUMBER:
FAX NUMBER:

SURETY COMPANY (IF APPLICABLE, A COPY OF THE PAYMENT BOND IS ATTACHED)

ADDRESS:
PHONE NUMBER:
FAX NUMBER:
BOND AMOUNT:

LENDER/MORTGAGE COMPANY:

ADDRESS:
PHONE NUMBER:
FAX NUMBER:

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (b), FLORIDA STATUTES:

NAME:
ADDRESS:
PHONE NUMBER:
FAX NUMBER:

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES:

PHONE NUMBER:
FAX NUMBER:
EXPIRATION DATE OF NOTICE OF COMMENCEMENT:

EXPIRATION DATE MAY NOT BE BEFORE THE COMPLETION OF CONSTRUCTION AND FINAL PAYMENT TO CONTRACTOR BUT WILL BE ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

SIGNATURE OF OWNER OR LESSEE OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER/ATTORNEY IN FACT

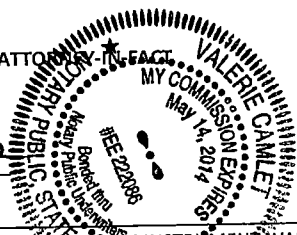
SIGNATORY'S TITLE/OFFICE OWNER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF Oct 20 12

BY: Joseph T Shingary AS OWNER TYPE OF AUTHORITY

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION TYPE OF IDENTIFICATION PRODUCED

Valerie Camlet NOTARY SIGNATURE/ SEAL



FLORIDA PUBLIC RECORDS 506-498-720230



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

RIGHT OF WAY DRIVEWAY COVENANT
FOR MATERIAL OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT

STATE OF FLORIDA PERMIT NUMBER _____
COUNTY OF MARTIN

THIS COVENANT, made by Joestingary and legal owners

(hereinafter "The Owners") of the property described as: Lot 1, Block _____, according to the Plat of

Mandalay as recorded in Plat Book _____, Page _____ of the Public Records of Martin County,

Florida, also known as 167 S Sewalls Pt Rd
(Street address)

WHEREAS, the Owners have applied for a permit to construct a driveway of _____ construction, a portion of which will be constructed in the Town right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way, and such construction will not be of asphalt or regular broom finish concrete, typical for driveways in right-of-way authorized by the Town of Sewall's Point or of driveway materials which the Town constructs, repairs, or replaces when it performs activities in its rights-of ways; and

WHEREAS, the Owners desire to construct the driveway and wish to recognize that the Town of Sewall's Point shall have no responsibility to replace the driveway if it performs any activity on the right-of-way.

NOW THEREFORE, in return for the benefits that will accrue from the construction of their driveway, and in accordance with the criteria for permits for constructing driveways other than those types aforementioned through Land Covenant right-of-way, The Owners of the above described property hereby agree and covenant that the Town of Sewall's Point shall not bear any responsibility for replacement of such driveway located within the right-of-way on said property, should the need arise.

The Owners agree and covenant that the cost of replacement of the driveway, if required, will be borne by the Owners, their heirs, assigns and successors. This Covenant shall run with the land.

OWNER SIGNATURE [Handwritten Signature]

SWORN TO AND SUBSCRIBED BEFORE ME THIS 4 DAY OF Oct 20 12

BY Joseph T. Shingary

PERSONALLY KNOWN OR PRODUCED ID [checkmark]

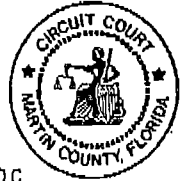
TYPE OF ID FDL#S526-498-12-023-0

NOTARY SIGNATURE Valerie Carlett

THIS COVENANT MUST BE RECORDED AT THE CLERK'S OFFICE AND THE RECORDED COPY SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO ISSUING CERTIFICATE OF OCCUPANCY OR A FINAL DRIVEWAY INSPECTION

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL. MARSHA EWING, CLERK

BY [Signature] D.C. DATE: 10-8-12



1197951
INSTR # 2355018 OR BK 2605 PG 274 RECD 10/08/2012 10:44:50 AM
MARSHA EWING MARTIN COUNTY CLERK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

SW [Signature]

DRIVEWAY PERMIT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

_____ 1 Copy Completed Permit Application

_____ 2 Copies site plans or survey showing location of proposed driveway, length, and width of driveway culvert (if any), type of driveway, and the materials being used to construct the driveway.

DO NOT SUBMIT PREVIOUSLY STAMPED SITE PLANS

ANY CONCRETE SLAB (DRIVEWAY, PATIO, ETC) WITHIN 1' OF THE SIDEWALLS OF THE STRUCTURE WILL REQUIRE TERMITE TREATMENT AND MUST ALSO HAVE 6 MIL VAPOR RETARDER INSTALLED IN THIS 1' AREA (2010 FBC/RESIDENTIAL R318.1.6).

PERMIT APPLICATIONS FOR DRIVEWAYS CONSTRUCTED OF MATERIALS OTHER THAN BROOM FINISHED CONCRETE OR ASPHALT IN THE RIGHT OF WAY MUST HAVE THE FOLLOWING ACCOMPANYING DOCUMENT:

_____ 1 Copy Right of Way Covenant recorded at the Martin County courthouse

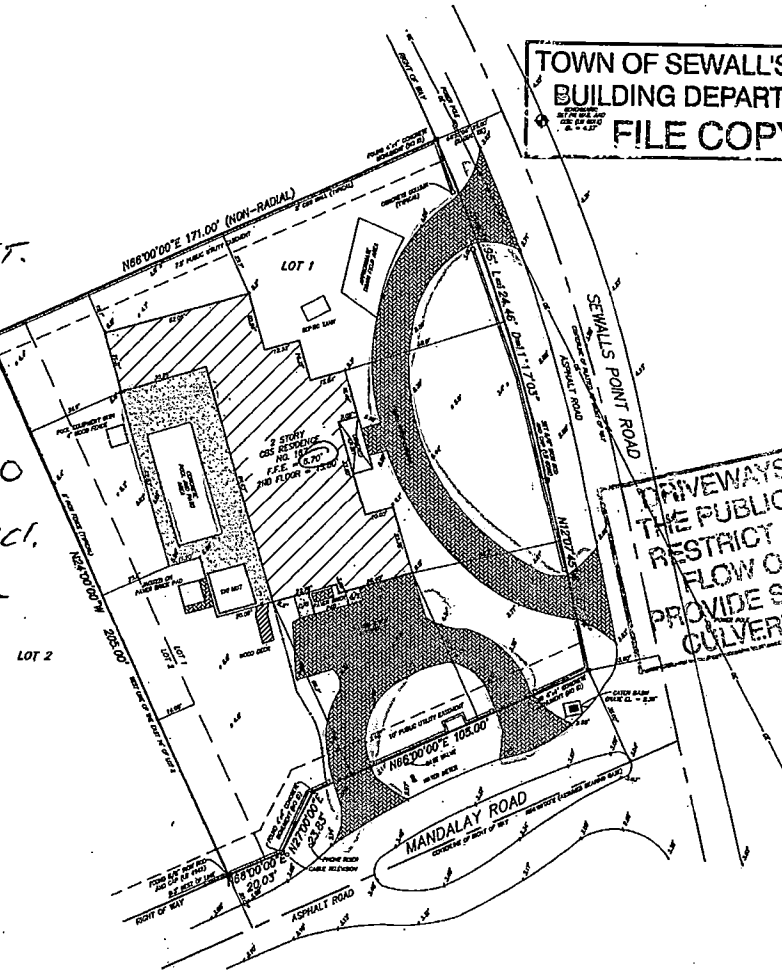
Please sign:

- ① application*
- ② Right of Way Covenant*
- ③ Notice of Commencement (copy)*

BOUNDARY SURVEY
LOT 1 & EAST 14' OF LOT 2, MANDALAY
PLAT BOOK 4, PAGE 86
MARTIN COUNTY, FLORIDA.

**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

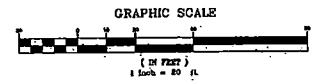
*Remove & Replace
 PAVERS '9,200 SQ. FT.
 DRIVEWAYS & POOL
 DECK ... REPLACE
 WITH 1" OLD CHICAGO
 3 PIECE PATTERN INCL.
 Coping INSTALLATION*



**DRIVEWAYS THAT TRAVERSE
 THE PUBLIC R.O.W. MUST NOT
 RESTRICT OR RE-DIRECT THE
 FLOW OF STORMWATER -
 PROVIDE SWALE OR APPROVED
 CULVERT PIPE - SEE DETAIL**

- LEGAL DESCRIPTION:**
 LOT 1 AND THE EAST 14 FEET OF LOT 2, MANDALAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 86 OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.
- SURVEYOR'S NOTES:**
1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
 2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/OR ADJACENT TO THIS SITE.
 3. LINES SHOWN HEREON WERE NOT ADJUSTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORDED PLAT THEREOF.
 4. BEARINGS SHOWN HEREON REFER TO AN ASSUMED MERIDIAN OF H000°00'00\"/>

CERTIFICATIONS:
 I, ALAN AND DANA McPHERSON
 TOWN OF SEWALL'S POINT



SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MODERN TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 11017-2, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

Robert Bloomster, Jr.
 ROBERT BLOOMSTER, JR.
 PROFESSIONAL LAND SURVEYOR
 NO. 1137 STATE OF FLORIDA

- LEGEND**
- LB = LICENSED BUSINESS
 - SP = SPOT ELEVATIONS
 - F.F.E. = FRESH FLOOR ELEVATION
 - C.S. = CONCRETE BLOCK STRUCTURE
 - D = DRAIN
 - R = RAINGUT
 - L = LENGTH
 - C/S = CONCRETE SLAB

BLOOMSTER
 PROFESSIONAL LAND
 SURVEYORS, INC.
 L.B. #91018

781 NORTHEAST DIXIE HIGHWAY
 JENSEN BEACH, FLORIDA 34857
 PHONE 772-334-0868

SHEET 1 OF 1		
DRAWN BY: JBY		
PLAT BOOK: MARTIN COUNTY 18-10-88		
PLAT BOOK: 1816021		
DATE: 11/18/21		
REVISIONS		
DATE	DESCRIPTION	BY

PREPARED FOR: ALAN AND DANA McPHERSON
 167 S. SEWALL'S POINT ROAD
 SEWALL'S POINT, MARTIN COUNTY, FLORIDA

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-9-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10391	Tord 98 N Sewalls Solar Energy Sys	Final Solar pool heaters	Pass	Clear INSPECTOR JT
10423	Bradice 96 S River Encompars Private	Final driveway	Pass	Clear INSPECTOR JT
10236	Stengay 167 S Sewalls Pat Silas Land	Final Power conduits & pool deck	Pass	INSPECTOR STICK BLOWN ? REAR BALCONY (2ND FLOOR)
10366	Dennis 116 Ridgeland Florida's Finest	equipotential bond grid	Pass	INSPECTOR JT
10082	Goudie's 25 S River Rd OP Custom Pools	Pool piping	Pass	INSPECTOR JT
				INSPECTOR
				INSPECTOR

10567

ELEVATED DECK

PAVERS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

PERMIT NUMBER:	10567	DATE ISSUED:	AUGUST 16, 2013
SCOPE OF WORK:	ELEVATED DECK, PAVERS		
CONTRACTOR:	OB		
PARCEL CONTROL NUMBER:	133841004-000-000101	SUBDIVISION	MANDALAY - LOT 1
CONSTRUCTION ADDRESS:	167 S SEWALLS PT RD		
OWNER NAME:	SHINGARY		
QUALIFIER:	OB	CONTACT PHONE NUMBER:	631-5874

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Paul D'Arone
528-4137

Town of Sewall's Point

Date: July 22, 2013 BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/LESSEE NAME: Joe Shingary Phone (Day) 772-631-5874 (Fax) _____

Job Site Address: 167 S. Sewall's Point Road City: Stuart State: Florida Zip: 34996

Legal Description Lot 1 & Ely 14 feet of Lot 2, Mandalay, PB 4, Pg 86 Parcel Control Number: 13-38-41-004-000-00010-1

Fee Simple Holder Name: see above Address: _____

City: _____ State: _____ Zip: _____ Telephone: _____

*SCOPE OF WORK (PLEASE BE SPECIFIC): Deck & pavers / ELEVATED DECK

WILL OWNER BE THE CONTRACTOR?
(If yes, Owner Builder questionnaire must accompany application)
YES NO

Has a Zoning Variance ever been granted on this property?
YES _____ (YEAR) _____ NO
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
Estimated Value of Improvements: \$ 11,000.00
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
Is subject property located in flood hazard area? VE10 AE9 AE8
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
Estimated Fair Market Value prior to improvement: \$ _____
(Fair Market Value of the Primary Structure only, Minus the land value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: Owner/Builder Joe Shingary State of Florida, County of Martin, City of Stuart, On this 22nd day of July, 2013, before me personally appeared JOSEPH SHINGARY, known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the same as his/her free act and deed.

Qualifiers name: _____ Street: _____ State License Number: _____ OR: Municipality of _____ License Number: _____

LOCAL CONTACT: _____ DESIGN PROFESSIONAL: Joe McCarty, Architect SEAL (signed) _____ Notary Public Fla. License# 9639

Street: 900 East Osceola Street City: Stuart State: Florida Zip: 34996 Phone: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carport: _____ Total under Roof: _____ Elevated Deck: _____ Enclosed area below BFE: _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2010
National Electrical Code: 2008, Florida Energy Code: 2010, Florida Accessibility Code: 2010, Florida Fire Prevention Code: 2010

WARNINGS TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION.
- IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCLUMBERED BY ANY DEED RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTITUTED IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50.095.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID PER: FAC 2008.11, 105.4.1.1 - 5.

***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER/AGENT/LESSEE NOTARIZED SIGNATURE: _____

X _____
State of Florida, County of: Martin

On This the 22nd day of July, 2013

by Joe Shingary who is personally known to me or produced _____

As identification, _____

My Commission Expires: 2/16/2014
Notary Public - State of Florida
My Comm. Expires Feb 16, 2014
Commission # DD 961980

CONTRACTOR/LICENSEE NOTARIZED SIGNATURE: _____

X _____
State of Florida, County of: Martin

On This the 22nd day of July, 2013

by Joe Shingary who is personally known to me or produced _____

As identification, _____

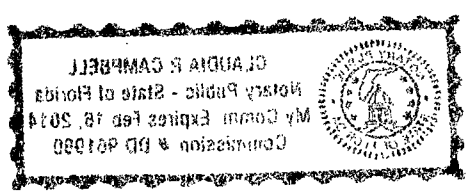
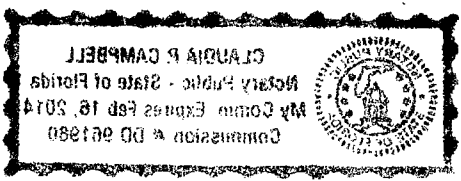
My Commission Expires: 2/16/2014
Notary Public State of Florida
My Comm. Expires Feb 16, 2014
Commission # DD 961980

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

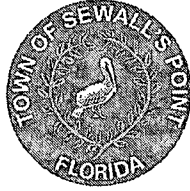


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OK



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: Joe Shingary

CONSTRUCTION ADDRESS: 167 S Sewall Pt Rd

PERMIT TYPE: _____ RESIDENTIAL X COMMERCIAL

- X ELECTRIC
- _____ PLUMBING
- _____ HVAC
- _____ IRRIGATION
- _____ FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE _____ EXISTING SERVICE X OTHER

SCOPE OF WORK: 2 - Fans 3 - Landscape Lites

VALUE OF CONSTRUCTION \$ 150.01

_____ LOW VOLTAGE
TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER
SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

PO Box 7305 PSC #1 34952
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Blosser Electric

TELEPHONE NO: 772-337-0055 PLEASE PRINT FAX NO: 772-337-2649

MUNICIPALITY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC 13001570

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT.

VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: _____

PARCEL CONTROL #: _____

SUBDIVISION: _____ LOT: _____ BLK: _____ PHASE: _____

SITE ADDRESS: _____

NOTICE OF COMMENCEMENT
TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: 13-38-41-004-000-00010-1

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):
Lot 1 & E'ly 14 feet of Lot 2, Mandalay, Plat Book 4, Page 86, Martin County Public Records 167 S. Sewall's Point Road

GENERAL DESCRIPTION OF IMPROVEMENT: ADDING DECK ON REAR OF HOME

OWNER NAME: Joe Shingary
ADDRESS: 167 S. Sewall's Point Road, Sewall's Point, FL 34996
PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: Owner
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):
n/a

CONTRACTOR: Owner-Builder STATE OF FLORIDA
ADDRESS: _____ MARTIN COUNTY
PHONE NUMBER: _____ FAX NUMBER: _____

SURETY COMPANY (IF ANY): n/a
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: n/a
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: n/a
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES n/a OF
TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),
FLORIDA STATUTES:
PHONE NUMBER: n/a FAX NUMBER: n/a

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE Owner

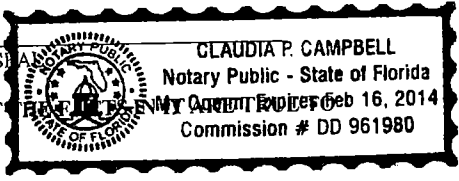
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF July, 2013

BY: Joe Shingary AS Owner FOR n/a
NAME OF PERSON TYPE OF AUTHORITY NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____

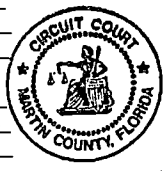
[Signature]
NOTARY SIGNATURE/ SIGNATURE



UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

[Signature]
(Signature of Natural Person Signing Above)

RECORDED 07/24/2013 09:29:03 AM
CAROLYN TIMMANN
MARTIN COUNTY CLERK
INSTR # 2407290
DR BK # 2665 PG 2211
(1 Pgs)





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

Electrical Load Calculations

Electrical Contractor: Blosser Electric License No. EC 13001570
 Phone #: 772-337-0055 Fax #: 772-337-2699
 Project: 1675 SEWALL Point Rd. Location: 167 S. Sewall's Point Road, Stuart, Florida 34996
 Existing Service Feeder Size: _____ Existing Panel Size: _____
 Main Breaker Size: _____ Number of Breakers: _____

Existing Loads

_____ Sq. Ft. X 3 watts per sq. ft.....	_____ watts
_____ Appliance cir. @1500 watts each.....	_____ watts
_____ Laundry cir. @ 1500 watts each.....	_____ watts
_____ Range @ 8 kw.....	_____ watts
_____ Dishwasher and disposal @ 1500 watts each.....	_____ watts
_____ Microwave @ 2000 watts.....	_____ watts
_____ Water heater @ 4.5 kw.....	_____ watts
_____ Tank less water heater.....	_____ watts
_____ Dryer @ 5 kw.....	_____ watts
_____ Refrigerator @ 1500 watts.....	_____ watts
_____ Bathroom 1 @ 1500 watts.....	_____ watts
_____ Sprinkler Pump	_____ watts
_____ Other	_____ watts
_____ Other	_____ watts
_____ Other	_____ watts
	_____ Subtotal Watts

New Loads

_____ Pool pump.....	_____ watts
_____ Pool light.....	_____ watts
_____ Heat pump.....	_____ watts
_____ Chlorine generator.....	_____ watts
_____ Blower.....	_____ watts
_____ Boatlift.....	_____ watts
<u>3</u> Other <u>Lites. 120w/E</u>	<u>360</u> watts
<u>2</u> Other <u>People Fan 100w/E</u>	<u>200</u> watts
_____ Other	_____ watts
	<u>560</u> Total Watts

**TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY**

_____ First 10 kw @ 100%.....	_____ watts
_____ Remainder @ 40%.....	_____ watts
_____ A/C heat @ 100%.....	_____ watts

Total watts 560 Divided by 240 volts = 2.33 Amps _____ Amp service provided

Prepared by: [Signature] Date: July 26th 13

DRAWINGS AND SPECIFICATIONS

Any questions and/or interpretations of drawings or specifications required by contractor or his subcontractors shall be submitted to Joseph P. McCarty, Architect in writing, for his interpretation prior to final award of contract. After award of contract, Joseph P. McCarty, Architect shall be solely responsible for deciding the interpretation of drawings and specifications.

All contractors and subcontractors submitting a bid shall review the entire set of drawings and visit the site to inspect existing conditions prior to submitting a bid and commencement of work.

If the contractor believes he has discovered errors and/or omissions, he shall notify Joseph P. McCarty, Architect, in writing for clarification before proceeding with all work. If the contractor fails to give such notice and obtain clarification, they will be held responsible for such omissions and for the cost of rectifying same at his cost. Proceeding with building permit shall constitute acceptance of these conditions by the Builder and Owner.

It is understood that the Design Professional's Basic Services of the drawings and specifications do not include project observation or review of the contractor's performance or any other construction phase services, and that such performance or any other construction phase services will be provided by the Client. The Client assumes all responsibility for the construction observation and supervision and waives any claims against Joseph P. McCarty, Architect that may be in any way connected thereto.

In addition, the client and contractor agree, to the fullest extent permitted by law, to indemnify and hold Joseph P. McCarty, Architect harmless from any and all loss, claim or cost including reasonable attorney fees and costs of defense, arising or resulting from the performance of such services by other entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments, or changes made to the Contract Documents to reflect changed field or other conditions. Proceeding to permit indicates acceptance by the Builder and Client.

Contractor and all other contractors and subcontractors shall coordinate with all adjacent work and coordinate with all other trades as to its location, progress of work. Each trade shall inform all other trades every reasonable opportunity for installation of their work and storage of their materials.

Project shall be maintained in a neat and orderly manner at all times. Debris shall not be permitted to accumulate and shall be removed from jobsite at reasonable intervals. Final clean up shall be accomplished by Contractor as directed by Owner's Designer's liability for construction defects, errors, and/or omissions shall not exceed cost of the plans.

Owner and Builder acknowledge that this is a "builder's set" of plans and does not address all installation and fabrication details and that these details are the responsibility of the builder. These plans assume no responsibility for Builder's installation and fabrication details or methods.

The Owner and Builder shall contact the appropriate Electric Utility Company for consultation and instruction before the start of any construction, renovation, or repairs. All on-site safety is the responsibility of the Owner and Builder.

Builder to verify all dimensions prior to start of construction.

Builder to review entire set of drawings and on site conditions prior to permitting and start of construction. If the contractor believes he has discovered errors and/or omissions, he shall notify Joseph P. McCarty, Architect in writing for clarification before proceeding with the start of construction and all work. If the Builder fails to give such notice and obtain written clarification he shall be responsible for such omissions and for the cost of rectifying same.

Builder to verify type (D.G. or O.H.) and location of electrical supply and enable prior to start of construction.

A/C plans are not a part of this set. Builder to submit A/C plans drawings as required for permits per code.

Builder shall furnish or provide for all items, articles, materials, equipment, operations or methods, including labor materials and incidental necessary and required to perform and complete the work as required for a completed project.

NOTE:
THE OWNER AND BUILDER SHALL CONTACT THE APPROPRIATE ELECTRIC UTILITY COMPANY FOR CONSULTATION AND INSTRUCTION BEFORE THE START OF ANY CONSTRUCTION, RENOVATION OR REPAIRS. ALL ON-SITE SAFETY IS THE RESPONSIBILITY OF THE OWNER AND BUILDER.

NOTE:
THESE DRAWINGS ASSUME NO RESPONSIBILITY FOR EXISTING CONSTRUCTION AND ON-SITE CONDITIONS. BUILDER SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING OF EXISTING BEAMS, FRAMING, AND BEARING POINTS DURING DEMOLITION, RENOVATION, AND CONSTRUCTION.

WIND CERTIFICATION - DESIGN CRITERIA
These plans are designed to the following standards:
Florida Building Code 2004 with 2006 amendments,
2005 NEC
Wind Speed - 140 MPH 3 second gust
Exposure "D"
Structure is "nonresidential"
Interior pressure coefficient +0.18
Building Category II Importance Factor 1.0

AS-BUILT DRAWINGS

Record "As-Built" drawings shall be maintained on prints as work progresses, showing any deviation from original. Record "As-Built" shall be defined to Owner and Joseph P. McCarty, Architect fourteen (14) days after substantial completion date as determined by Joseph P. McCarty, Architect.

Contractor to submit four (4) sets of shop drawings for review. Shop drawings which are not stamped, signed, & dated including thorough review and approval by the contractor for compliance with the contract documents will be returned without further action. Contractor's approval and submission of shop drawings represents that he has verified all field measurements, field construction criteria, and similar data, and has checked and coordinated each shop drawing and sample with the requirements of the contract documents.

TEMPORARY FACILITIES

A. Temporary Toilet Facilities: Contractor shall provide, install and maintain simple sanitary facilities for workers. Toilets shall be placed where directed and shall be installed and maintained as required by Local Building Department and Health Ordinances. Contractor shall also provide necessary enclosures to accommodate toilets. Portable chemical toilets, properly maintained are acceptable if approved by Local Code.

B. Temporary Power: Contractor shall make all arrangements for all temporary electrical service as required for construction purposes.

C. Water for Construction: Contractor shall furnish all water required for construction purposes, but Plumbing Contractor shall run lines and provide necessary supplies for use by Contractor.

PROTECTION OF WORK AND PROPERTY

A. All materials and equipment, both before and after erection shall be properly protected and kept in a clean condition. All pipe ends and parts of equipment left unconnected shall be capped, plugged, or properly covered to prevent invasion of foreign matter.

B. Each Contractor shall be held responsible for adequately protecting all properties of a neighbor description lying within scope of project. From injury or damage resulting from or incidental to construction of this Contract. Likewise, each contractor shall be held liable for all such damage and whether or not such damage results from necessitated removal of existing constructions which may occur during process of work.

CHANGES TO DRAWINGS AND SPECIFICATIONS

Changes to work to be accomplished or materials to be furnished shall be done by signed change orders by Joseph P. McCarty, Architect as a modification to agreement.

SUMMARY OF WORK

A. Contractor shall furnish or provide for all items, articles, materials, operations or methods listed, mentioned or scheduled on drawings and/or herein specified, including all labor, materials, equipment and incidentals necessary and required to perform and complete work as shown on drawings and/or herein specified or as required for completed project.

B. All work shall be performed and completed in strict accordance with applicable local building and safety codes and manufacturer's published instructions for installation of materials and equipment as required by drawings and specifications.

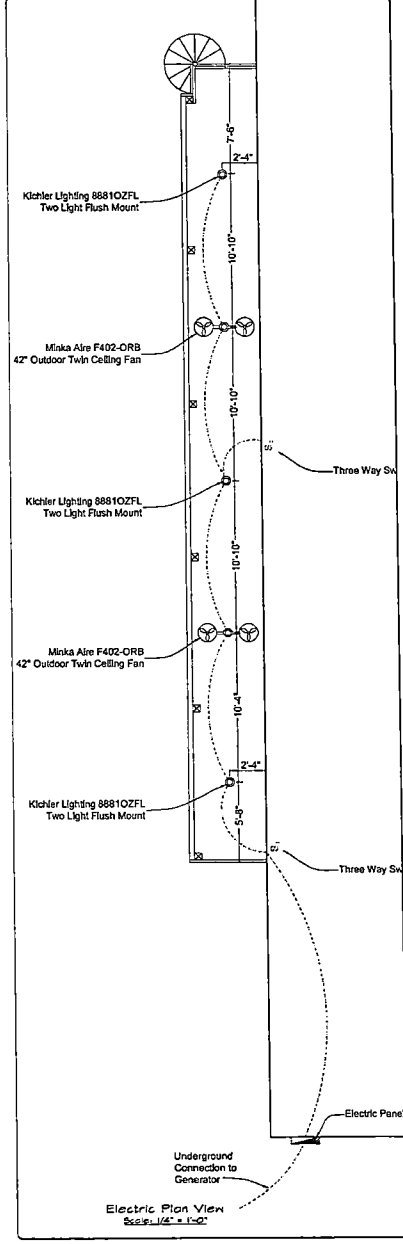
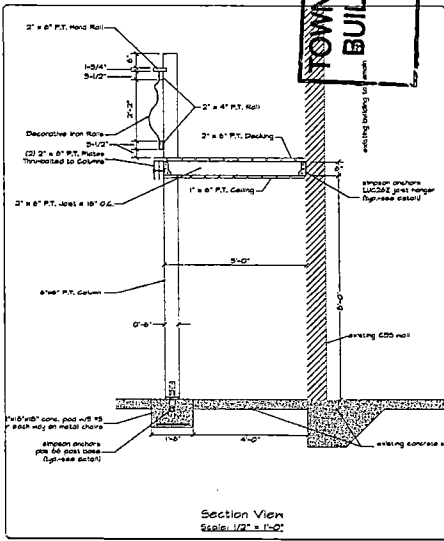
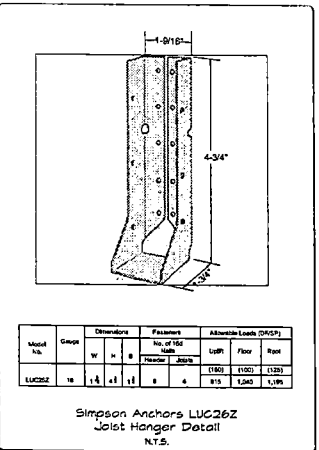
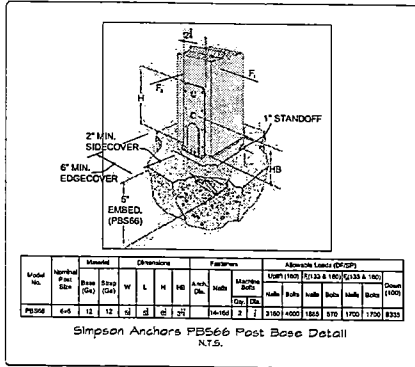
C. Before commencing work, contractor shall verify measurements and conditions at building site and any difference between actual measurements and conditions from those shown on drawings shall be submitted to Joseph P. McCarty, Architect for consideration and decision before proceeding with work.

Notice and Right to Cure Default

Florida law contains important requirements the owner must follow before the owner may file a lawsuit against a contractor, subcontractor, supplier, or design professional for an alleged construction defect in the owner's home. Sixty (60) days before the owner files owner's lawsuit, the owner must deliver to the contractor, subcontractor, supplier, or design professional, a written notice of any construction condition the owner alleges are defective and provide the contractor and any subcontractors, suppliers, or design professionals the opportunity to inspect the alleged construction defects. The owner is not obligated to accept any offer made by the contractor or any subcontractors, suppliers, or design professionals. There are strict deadlines and procedure under Florida law, and failure to follow them may affect the owner's ability to file a lawsuit.

This is a renovation of an existing building. Owner and builder acknowledge that renovation plans may not account for all existing conditions, and details, and that certain revisions may take place during construction. All revisions shall be submitted to building department shall not be accomplished only by written and signed change order as a modification to agreement.

NOTE:
THESE DRAWINGS ARE NOT FOR CONSTRUCTION, ONLY FINAL SIGNED AND SEALED DRAWINGS APPROVED BY THE BUILDING DEPARTMENT ARE FOR CONSTRUCTION.



TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

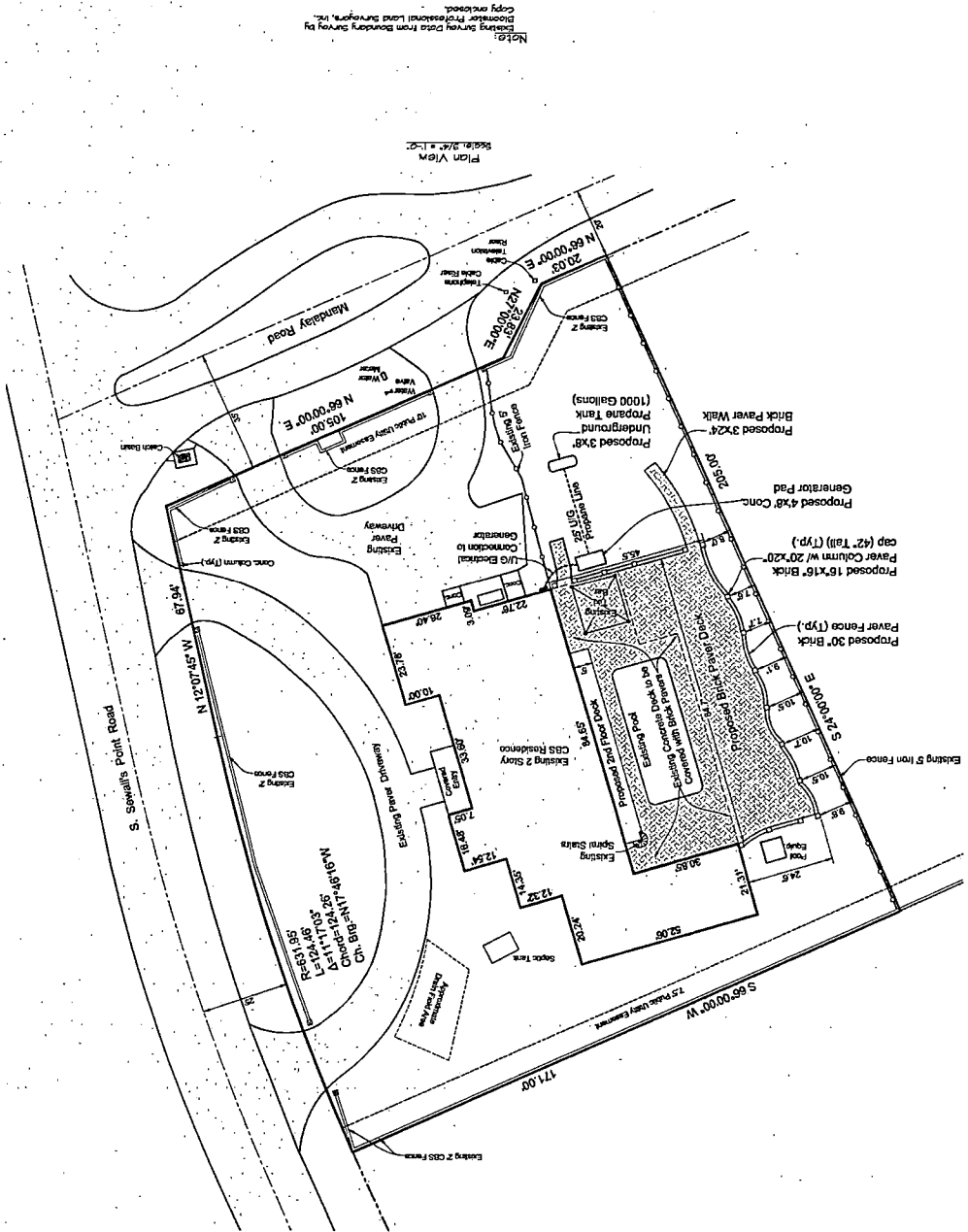
ARCHITECT OF RECORD
JOSEPH P. MCCARTY, ARCHITECT, Inc.
300 EAST OCEOLA STREET
STUART
FLORIDA
D.P.A. Registration Number 909

REVISIONS:

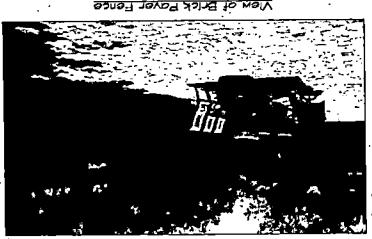
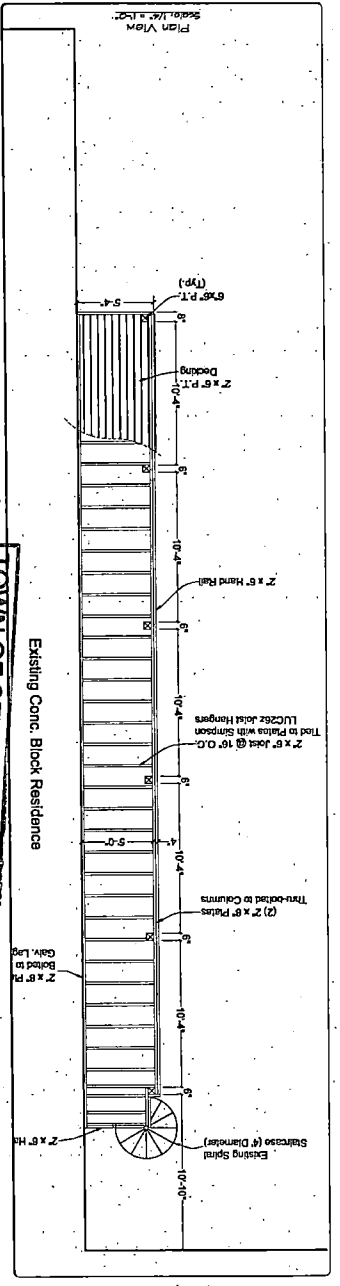
Rear Deck Additions For Joe Shingery
167 S. Sewall's Point Road
Stuart, Florida 34996

SHEET
2
OF 2 SHEETS
6.20.2013

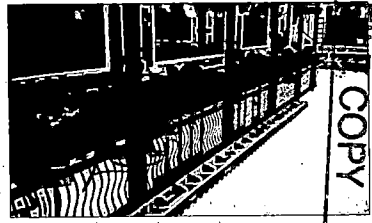
TOWN OF SEWALL'S POINT



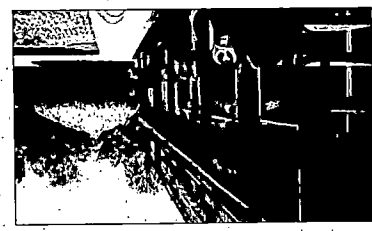
Note:
 Existing Survey Data from Boundary Survey by
 Professional Professional Land Surveyors, Inc.
 Copy enclosed.



View of Brick Paver Fence



View of Brick Looking North



View of Brick Looking South

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
COPY

DRAWINGS AND SPECIFICATIONS:

Any questions and/or interpretations of drawings or specifications required by contractor or his subcontractors shall be submitted to Joseph P. McCarty, Architect in writing. For his interpretation prior to final award of contract. After award of contract, Joseph P. McCarty, Architect shall be solely responsible for deciding the interpretation of drawings and specifications.

All contractors and subcontractors submitting a bid shall review the entire set of drawings and visit the site to inspect existing conditions prior to submitting a bid and commencement of work.

If the contractor believes he has discovered errors and omissions, he shall notify Joseph P. McCarty, Architect, in writing. For contractors believe proceeding with all work. If the contractor fails to give such notice and obtain clarification, they will be held responsible for such omissions and for the cost of reworking same at his cost. Proceeding to building permit shall constitute acceptance of these conditions by the Builder and Owner.

It is understood that the Design Professional's Basic Services of the drawings and specifications do not include project observation or review of the contractor's performance or any other construction phase services, and that such performance or any other construction phase services will be provided by the Client. The Client assumes all responsibility for the construction observation and supervision and waives any claims against Joseph P. McCarty, Architect that may be in any way connected thereto.

In addition, the client and contractor agree, to the fullest extent permitted by law, to indemnify and hold Joseph P. McCarty, Architect harmless from any and all loss, claims or cost including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other parties and from any and all claims arising from modifications, clarifications, interpretations, adjustments, or changes made to the Contract Documents to reflect changed field or other conditions. Proceeding to permit indicates acceptance by Builder and Client.

Contractor and all other contractors and subcontractors shall coordinate with adjacent work and coordinate with all other trades so as to facilitate progress of work. Each trade shall effort at other trades away reasonable opportunity for installation of their work and storage of their materials.

Project shall be maintained in a neat or orderly manner at all times. Debris shall not be permitted to accumulate and shall be removed from jobsite at reasonable intervals. Final cleanup shall be accomplished by Contractor as directed by Owner. Designer's liability for construction defects, errors, and/or omissions shall not exceed cost of the plans.

Owner and Builder acknowledges that this is a "builder set" of plans and does not address all installation and fabrication details and that those details are the responsibility of the builder. These plans assume no responsibility for Builders installation and fabrication details or methods.

The Owner and Builder shall contact the appropriate Electric Utility Company for consultation and inspection before the start of any construction, renovation, or repairs. All on-site safety is the responsibility of the Owner and Builder.

Builder to verify all dimensions prior to start of construction.

Builder to review entire set of drawings and all site conditions prior to permitting and start of construction. If the contractor believes he has discovered errors and/or omissions, he shall notify Joseph P. McCarty, Architect in writing for clarification before proceeding with the start of construction and all work. If the Builder fails to give such notice and obtain written clarification he shall be responsible for such omissions and for the cost of reworking same.

Builder to verify type (O.G. or O.J.) and location of electrical supply and service prior to start of construction.

A/E plans are not a part of this set. Builder to submit A/E shop drawings as required for permit as per code.

Builder shall furnish or provide for all items, articles, materials, equipment, operations or methods, including labor materials and incidentals necessary and required to perform and complete the work as required for a completed project.

NOTE:
THE OWNER AND BUILDER SHALL CONTACT THE APPROPRIATE ELECTRIC UTILITY COMPANY FOR CONSULTATION AND INSPECTION BEFORE THE START OF ANY CONSTRUCTION, RENOVATION, OR REPAIRS. ALL ON-SITE SAFETY IS THE RESPONSIBILITY OF THE OWNER AND BUILDER.

NOTE:
THESE DRAWINGS ASSUME NO RESPONSIBILITY FOR EXISTING CONSTRUCTION AND ON-SITE CONDITIONS.

BUILDER SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING OF EXISTING BEAMS, FRAMING, AND BEARING POINTS DURING DEMOLITION, RENOVATION, AND CONSTRUCTION.

WIND CERTIFICATION - DESIGN CRITERIA
These plans are designed to the following standards:
Florida Building Code 2004 with 2006 amendments,
2005 NEC

Wind Speed - 140 MPH 3 second gust
Exposure "B"
Structure is "hardened"
Interior pressure coefficient +/- .18
Building Category 4 Importance Factor 1.0

AS-BUILT DRAWINGS:

As-Built Drawings shall be maintained on prints as work progresses, showing any deviation from original. Record "As-Built" drawings shall be delivered to Owner and Joseph P. McCarty, Architect fourteen (14) days after substantial completion date as determined by Joseph P. McCarty, Architect.

Contractor to submit four (4) sets of shop drawings for review. Shop drawings which are not stamped, signed, & dated indicating thorough review and approval by the contractor for compliance with the contract documents will be returned without further action. Contractor's approval and submission of shop drawings represents that he has verified all field measurements, field construction criteria, and similar data, and has checked and coordinated each shop drawing and sample with the requirements of the contract documents.

TEMPORARY FACILITIES:

A. Temporary Toilet Facilities: Contractor shall provide, install and maintain ample sanitary facilities for workers. Toilets shall be placed where directed and shall be installed and maintained as required by Local Sanitary Departments and Health Ordinances. Contractor shall also provide necessary enclosures to accommodate toilets. Portable chemical toilets, properly maintained are acceptable if approved by Local Code.

B. Temporary Power: Contractor shall make all arrangements for all temporary electrical services as required for construction purposes.

C. Water for Construction: Contractor shall furnish all water required for construction purposes, but Plumbing Contractor shall run lines and provide necessary standpipes for use by Contractor.

PROTECTION OF WORK AND PROPERTY:

A. All materials and equipment, both before and after erection shall be properly protected and kept in a clean condition. All pipe ends and parts of equipment, left unattached shall be capped, plugged, or properly covered to prevent intrusion of foreign matter.

B. Each Contractor shall be held responsible for adequately protecting all properties of whatever description lying within scope of project, from theft or damage resulting from or incidental to construction of this Contract. Likewise, each contractor shall be obligated to pay for all such damage and whatever repairs must result from reestablished removal of existing obstructions which may occur during process of work.

CHANGES TO DRAWINGS AND SPECIFICATIONS:

Changes to work to be accomplished or materials to be furnished shall be done by signed change orders by Joseph P. McCarty, Architect as a modification to agreement.

SUMMARY OF WORK:

A. Contractor shall furnish or provide for all items, articles, materials, operations or methods listed, mentioned or scheduled on drawings and/or herein specific, including all labor, materials, equipment and incidentals necessary and required to perform and complete work as shown on drawings and/or herein specified or as required for completed project.

B. All work shall be performed and completed in strict accordance with applicable local building and safety codes and manufacturer's published instructions for installation of materials and equipment as required by drawings and specifications.

C. Before commencing work, contractor shall verify measurements and conditions at building site and any differences between actual measurement and conditions from those shown on drawings shall be submitted to Joseph P. McCarty, Architect for consideration and decision before proceeding with work.

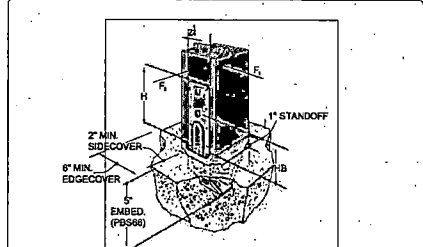
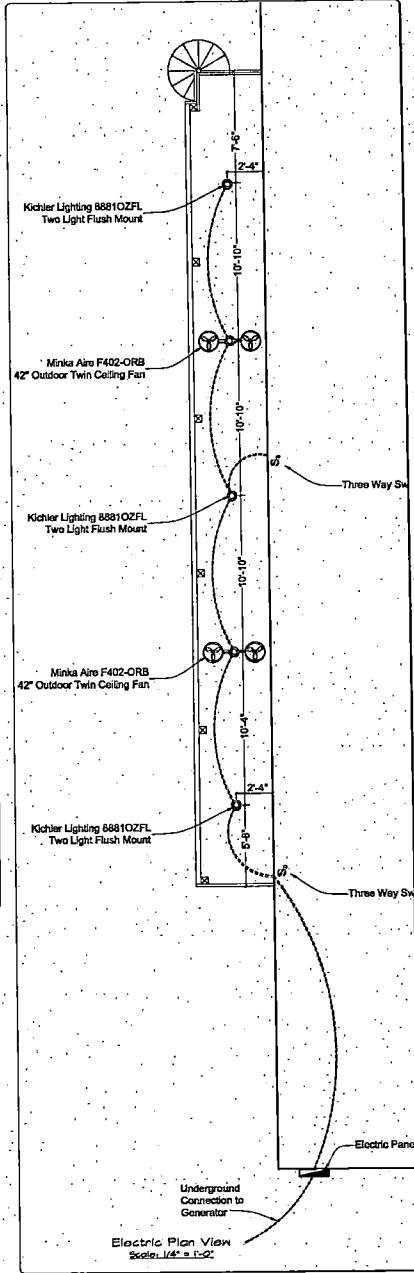
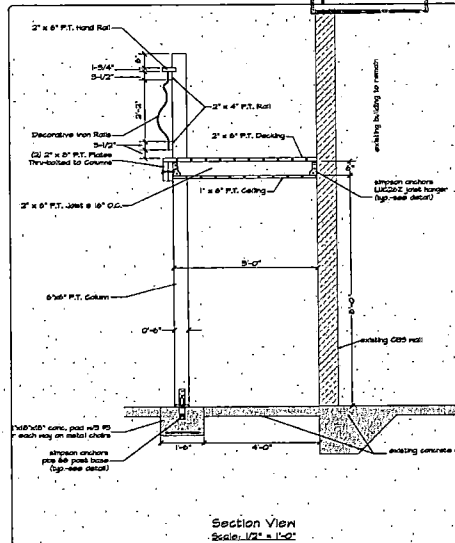
Notice and Right to Cure Defects:

Florida law contains important requirements that owner must follow before the owner may file a lawsuit against a contractor, subcontractor, supplier, or design professional for an alleged construction defect in the owner's home. Only (60) days before the owner files owner's lawsuit, the owner must deliver to the contractor, subcontractor, supplier, or design professional, a written notice of any construction conditions the owner alleges are defective and provide the contractor and any subcontractors, suppliers, or design professionals the opportunity to inspect the alleged construction defects. The owner is not obligated to accept any offer made by the contractor or any subcontractors, suppliers, or design professionals. There are strict deadlines and procedure under Florida law, and failure to follow them may affect the owner's ability to file a lawsuit.

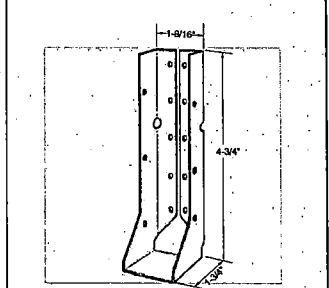
This is a renovation of an existing building. Owner and builder acknowledge that renovation plans may not account for all existing conditions, and defects, and that certain renovations may take place during construction. All renovations after submitted to building department shall be accomplished only by written and signed change-order as a modification to agreement.

NOTE:
THESE DRAWINGS ARE NOT FOR CONSTRUCTION. ONLY FINAL SIGNED AND SEALED DRAWINGS APPROVED BY THE BUILDING DEPARTMENT ARE FOR CONSTRUCTION.

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY



Model No.	Nominal Post Dia.	Material	Dimensions				Fasteners				Allowable Loads (KIP)					
			W	L	H	W	Qty	Size	Uplift	Wind	Shear	Dist.	Uplift	Wind	Dist.	
PB500	4-1/2"	A36	12	12	24	2	2	1/2"	1/2"	3,700	4,000	1,800	2,700	1,700	1,700	8,200



Model No.	Gauge	Dimensions				No. of Holes	Allowable Loads (KIP)		
		W	H	B	Uplift		Wind	Dist.	
LUC26Z	18	1-1/2"	4-1/2"	1-1/2"	4	610	1,500	1,125	

REGISTERED RECORD
JOSEPH P. MCCARTY, ARCHITECT, INC.
900 EAST OSCOLA STREET 2F-6735
STUART, FLORIDA
D.P.#. Registration Number 9079

REVISIONS:

Rear Deck Additions For Joe Shingery
167 S. Sewall's Point Road
Stuart, Florida 34996

FOR CONSTRUCTION PERMIT 2010

BOUNDARY SURVEY

LOT 1 & EAST 14' OF LOT 2, MANDALAY PLAT BOOK 4, PAGE 86 MARTIN COUNTY, FLORIDA.

LEGAL DESCRIPTION:

LOT 1 AND THE EAST 14 FEET OF LOT 2, MANDALAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 86, OF THE PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

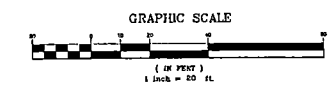
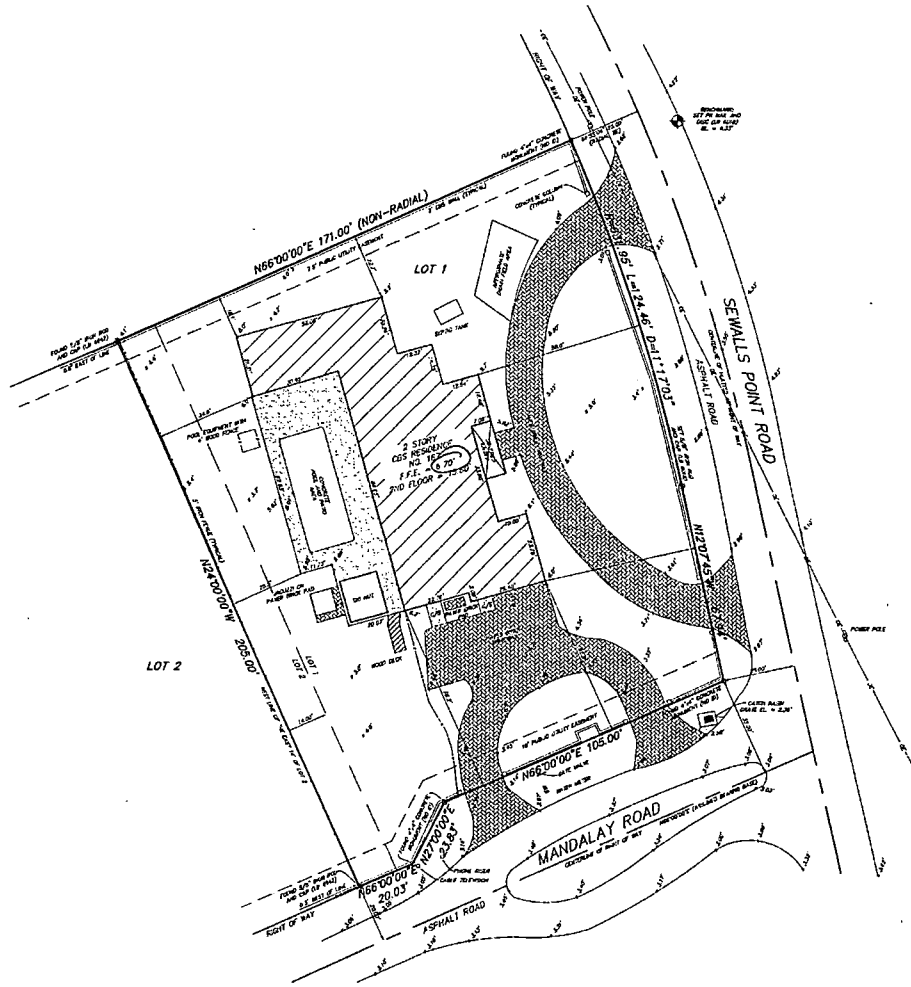
SURVEYOR'S NOTES:

1. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTILITIES ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTILITIES SHOWN HEREON WERE TAKEN FROM AS-BUILT DRAWINGS AND/OR BY SITE LOCATION AND SHOULD BE VERIFIED BEFORE CONSTRUCTION.
2. NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON/IN ADJACENT TO THIS SITE.
3. LOTS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD EXCEPT AS SHOWN ON THE RECORD PLAT IF ANY.
4. REMAINS SHOWN HEREON REFER TO AN ASSUMED MICHIGAN OF 1800/000'E ALONG THE CENTERLINE OF MANDALAY ROAD.
5. THIS SITE LIES IN FLOOD ZONE "AE" (BASE ELEVATION 8.0') AS SCALED AND INTERPOLATED ON FEMA MAP NO. 12050C-D183-7, DATED OCTOBER 4, 2006.
6. LEGAL DESCRIPTION FURNISHED BY CLIENT.
7. ELEVATIONS SHOWN HEREON ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
8. SITE AREA - 20,800.00 SQUARE FEET OR 0.371 ACRES MORE OR LESS.
TOTAL PAVED AREA - 15,400.00 SQUARE FEET OR 0.278 ACRES
TOTAL IMPAVED AREA - 5,400.00 SQUARE FEET OR 0.097 ACRES
2 STORY RESIDENTIAL - 15,400.00 SQUARE FEET OR 0.278 ACRES
PAVER BRICK DRIVEWAY - 2,000.00 SQUARE FEET OR 0.036 ACRES
POLE AND PAVING AREA - 2,500.00 SQUARE FEET OR 0.045 ACRES
CONCRETE WALL AND COLUMN - 1,000.00 SQUARE FEET OR 0.018 ACRES
CONCRETE AND PAVER DRIVE PADS - 184.16 SQUARE FEET OR 0.004 ACRES

CERTIFICATIONS:

1. ALAN AND DANA McPHERSON
2. TOWN OF SEWALL'S POINT

**TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY**



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND MAPPERS IN CHAPTER 4017-6, FLORIDA STATUTES, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER.

Robert Bloomster, Jr.
ROBERT BLOOMSTER, JR.
PROFESSIONAL LAND SURVEYOR
NO. 4124 STATE OF FLORIDA

- LEGEND**
- LB - LICENSED BUSINESS
 - SP - SPOT ELEVATIONS
 - FF.E. - FINISH FLOOR ELEVATION
 - CS - CONCRETE BLOCK STRUCTURE
 - D - DRIVE
 - P - PAVEMENT
 - L - LEVY
 - C/S - CONCRETE SLAB

BLOOMSTER
PROFESSIONAL LAND
SURVEYORS, INC.
L.B. #6018

791 NORTHEAST DIXIE HIGHWAY
JENSEN BEACH, FLORIDA 34957
PHONE 772-334-0866

SHEET 1 OF 1	
DRAWN BY:	ER
SCALE:	1" = 20'
FIELD WORK COMPLETED:	10-10-06
FIELD BOOK:	1436/11
JOB NO.:	2007
DATE:	REVISIONS
	BY:

PREPARED FOR: ALAN AND DANA McPHERSON
167 S. SEWALLS POINT ROAD
SEWALLS POINT, MARTIN COUNTY, FLORIDA

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 11-20-13 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
10624	Mine 2 Melody Ln Arlington Elect 287-1354x1230	Structure chg	Cancel	reschedule 12-4
10640	Nearing 9 Mandalay Rd Pools by Greg	electrict barrier	PASS	INSPECTOR <i>[Signature]</i>
10675	Viny 22 Castle Hill A Great Fence	Final Fence	PASS	CLOSE INSPECTOR <i>[Signature]</i>
10631	Esau 2 Banyan Rd Superior Fence	Final Fence	PASS	CLOSE INSPECTOR <i>[Signature]</i>
Tree	23 S. Ridgerview	Tree	NG	INSPECTOR <i>[Signature]</i>
Tree	76 S River Rd	Tree	NG	INSPECTOR <i>[Signature]</i>
0567	SATIN GARDEN 167 S STIM	FINALE DECK & BALCONY	PASS	CLOSE INSPECTOR <i>[Signature]</i>

TREE

TOWN OF SEWALL'S POINT, FLORIDA

Date August 6 2004 TREE REMOVAL PERMIT No 2311

APPLIED FOR BY MCPHERSON (Contractor or Owner)

Owner 167 S. SEWALL'S POINT RD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 3 FICUS, SEAGRAPES, SWEETGUM

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant FEE \$ 0
Signed, Gene Summers (AEB) Town Clerk
BOWLING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspecti
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Mariberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Alan McPherson Address 167 So. Sewalls Pt. Phone 561-262-9282

Contractor _____ Address _____ Phone 772-286-1399

No. of Trees: REMOVE 3 Type: Ficus Seagraps Sheffalca

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: ① Obstruction of view on Corner Safety Reasons
② Building Structure soon to be damaged.

Signature of Applicant Alan McPherson Date 8-5-04

Approved by Building Inspector: [Signature] Date 8/6 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

LAUNDRY AC - 40 AHU 60 -
 MAIN HOUSE AC - 45 AHU 60 -

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

MASTER AC - 15
 AHU - 30 -

Date of Inspection: Mon Wed Fri Aug 6, 2004 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6406	PELICAN GROUP LLC	ROUGH ELEC	PASS	
3	142 S. Sewall's Pt ERIC OLIVER	gate will be left open		INSPECTOR:
TREE	MCDONALDSON	TREE	PASS	
1	167 S. Sewall's Pt	8-8.15 please		INSPECTOR:
6480	WADE	ROOF SHEATHING	PASS	
2	9 E. HIGHPOINT RD PINE ORCHARD BUDS & BUCKS	TRUSS ENGR.	FAIL	INSPECTOR:
TREE	CANTWELL	TREE	PASS	
9	34 CASTLEHILL WAY			INSPECTOR:
6756	WEIGHT	PAVERS FINAL	PASS	CLOSE
8	10 MIRAMAR O/B			INSPECTOR:
6520	HINES	POWER REL.	PASS	
4	113 HENRY SEWALL W. NCHP			INSPECTOR:
6799	GOVEL	FINAL RENOVATION		CANCEL
	5 RIVERVIEW O/B			INSPECTOR:

OTHER: 3 LOFTING WAY -

HURRICANE STRAPPING

*

**@ INTERIOR PORTIONS: THAT
HAD DRYWALL REPLACEMENT**

167 S. SEWALLS POINT RD.

HURRICANE STRAPPING

*

DURING, RE-ROOF

167 S. SEWALLS POINT RD.

KNEE WALL - RAILING

*

SUPPORT STRAPPING

167 S. SEWALLS POINT RD.



