

16 N Ridgeview Road

2070

POOL & PATIO

Permit No. _____

Date 8-19-87

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner RAYMOND ARMSTRONG Present Address 1229 FORK ROAD - STUART N.W.

Phone 692-1973

Contractor ALLEN POOLS, INC Address 10110 S. US#1

Phone 335-5300 PORT ST LUCIE, FL

Where licensed STATE OF FLA License number CP0029630

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: POOL & PATIO

State the street address at which the proposed structure will be built:

16 N. RIDGEVIEW

Subdivision HOMWOOD Lot number 8 Block number B

Contract price \$ 12,500.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner ~~red-tagging~~ the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Raymond H. Armstrong

TOWN RECORD Approved: [Signature] 8/20/87
Building Inspector Date

Date submitted _____ Approved: _____
Approved: [Signature] 8/20/87 Final Approval given: _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

SP1282 Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

APPLICATION FOR A PERMIT TO BUILD A HOUSE OR COMMERCIAL BUILDING

TOWN OF SEWALL'S POINT, FLORIDA

PERMIT NUMBER

2139

DATE OF APPLICATION 5 March 87

To obtain this permit, the following are required:

1. Florida certification of builder and sub-contractors
2. Certificate of insurance from contractor or owner/builder re: liability + workers' comp.
3. Two sets of building plans which must include:
 1/4" scale building drawings; plot plan; foundation plan; floor plans; wall and roof cross-sections; plumbing, electrical + air conditioning layouts; and at least two elevations.
4. Recorded warranty deed to the property
5. Septic tank permit and 1 set of plans with Martin Co. Health Dept. seal
6. Energy code calculations
7. Notarized copy of attached affidavit re: removal of nuisance trees
8. Tree removal permit (for trees other than in #7 above)
9. Certificate of elevation from licensed surveyor and determination of flood zone
10. Manufacturer's schedule of windows

Builder/Owner Raymond H. Armstrong Current Address 16217 Fantasia Dr. Tampa, FL
 Telephone (813) 968-1351 33624

General Contractor (See Above) (John G. Hill Co.) Address _____
 Telephone 692-2889

Where Licensed _____ License Number _____

Plumbing Contractor TROPIC PLUMBING License Number CFC 032565

Electrical Contractor SOUTH STAR ELEC. License Number # 7747 STUART

Roofing Contractor _____ License Number _____

A/C Contractor PERSONALIZED A/C License Number M.C. # 160

Describe the building or alteration to existing building New house Lot 8, N. Ridge View Rd.

Name the street on which the building, its front building line and its front yard will face
16 N. Ridge View Rd. Subdivision Home wood Lot 8

Building area (inside walls) 3200 Garage, carport, porch area 508

Contract price (excluding land, carpet, appliances, landscaping) \$ 150,000.00 ?

Cost of permit \$ 1365^{XX} Plans approved as submitted _____ or, as marked _____

In addition, the following are understood by owner and contractor:

1. Building area inside walls must be a minimum of 1,500 square feet.
2. Building permit fees are \$5. per thousand dollars of the cost of the building, plus \$10. each for plumbing, electric, air conditioning and roofing. For example, a \$100,000. building x \$5. = \$500. plus \$40. (a.c., pl., el. and roof) = \$540. cost of permit.
3. If no contract is submitted as proof of cost, the permit will be based on \$60. per square foot (inside walls) and \$25. per square foot (other areas).
4. The Town has adopted the South Florida Building Code as a part of its ordinances.
5. Building permits are issued for one year's duration.
6. Construction must be started within 180 days or the permit will be subject to revocation and forfeiture of fee.
7. ALL changes in plans must be approved by the Building Department.
8. Work hours are 8: AM to 5: PM Monday through Saturday. NO SUNDAY WORK
9. Portable toilets must be on all construction sites.
10. Inspections are made Monday through Friday, 8: AM to Noon. 24 hour notice is required prior to all inspections.
11. String lines along property lines to facilitate set back inspections.
12. Before a certificate of occupancy is issued, the following are required:
 - a. An owner's affidavit of building cost (form available) - any discrepancy between the original fee and the final fee (based on the affidavit) will be adjusted.
 - b. Approval of septic tank installation by Martin Co. Health Dept.
 - c. Rough grading and clean-up of grounds.
 - d. Affidavit from licensed surveyor showing slab elevation (if in "A" flood zone).
 Affidavit from licensed surveyor showing elevation of piers or pilings (if in "V" zone).
 - e. Certification by a qualified engineer or architect of the structural adequacy of the building.
13. THIS SUMMARY IS NOT A SUBSTITUTE FOR TOWN ORDINANCES. APPROVAL OF THE BUILDING PLANS IN NO WAY RELIEVES THE OWNER OF CONTRACTOR FROM COMPLIANCE WITH TOWN ORDINANCES.

Contractor's Signature Raymond H. Armstrong Owner's Signature Raymond H. Armstrong

Approved by Building Inspector Dale Brown Date 6/12/87
 Approved by Commissioner HC Stuber Date 6/12/87
 Certificate of Occupancy Issued Dale Brown Date 2/18/88

This Warranty Deed Made the 18th day of February A. D. 1987 by
HOLLYWOOD PROFESSIONAL COLLECTION MONEY PURCHASE PENSION TRUST - HANSON and
KING RAGONA ROSENDORF MARGULIES RADIOLOGY ASSOCIATES OF HOLLYWOOD, P.A. MONEY
PURCHASE PENSION TRUST -EISEN
hereinafter called the grantor, to

RAYMOND H. ARMSTRONG and GLENDA L. ARMSTRONG, his wife

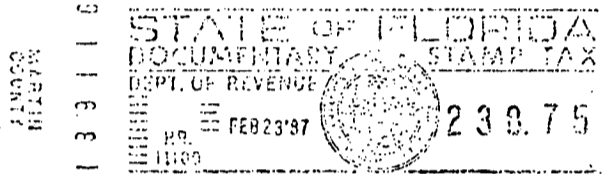
whose postoffice address is
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other
valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, re-
mises, releases, conveys and confirms unto the grantee, all that certain land situate in Martin
County, Florida, viz:

Lot 8, Block B, AMENDED PLAT OF HOMEWOOD, according to the Plat thereof,
recorded in Plat Book 3, Page 35, Public Records of Martin County, Florida.

Subject to taxes--Subsequent to December 31, 1986 and restrictions,
reservations, easements, and covenants of record.



Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-
wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land
in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the
grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of
all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent
to December 31, 19 86.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year
first above written.

Signed, sealed and delivered in our presence:

Susan A. Hannon
Beverly Wilkes

BY: *Marcia Hanson, Trustee* L.S.
MARCIA HANSON, as Trustee and individually L.S.

STATE OF Florida
COUNTY OF *Broward*

I HEREBY CERTIFY that on this day, before me, an officer duly
authorized in the State aforesaid and in the County aforesaid to take
acknowledgments, personally appeared
MARCIA HANSON, as Trustee for HOLLYWOOD PROFESSIONAL
COLLECTION MONEY PURCHASE PENSION TRUST - HANSON and
individually
to me known to be the person described in and who executed the
foregoing instrument and has acknowledged before me that she
executed the same.

WITNESS my hand and official seal in the County and
State last aforesaid this 18 day of
February A. D. 19 87.

Notary Public My Commission Expires:

This Instrument prepared by:
Address NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. FEB 14, 1989
BONDED THRU GENERAL INS. UND.

SPACE BELOW FOR RECORDERS USE

ST. LOUIS, MISSOURI 63101
ST. LOUIS, MISSOURI 63101
ST. LOUIS, MISSOURI 63101

Return to →

OWNER'S AFFIDAVIT OF BUILDING COSTS

STATE OF FLORIDA
COUNTY OF MARTIN

BEFORE ME, the undersigned notary public, personally appeared the undersigned Affiant, who, being first duly sworn, under penalties of perjury, deposes and says:

1. That Affiant is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affiant's signature.

2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.

3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 150000.90.

4. That this affidavit is made for the purpose of inducing the building official of the Town to issue a certificate of occupancy for the improvements, with the intention that it be relied upon for that purpose.

Raymond H. Armstrong
Affiant
Property street address:
16 N. Ridgeway Rd.
Stuart, FL. 34996

Sworn to and subscribed
before me this 22nd day of
February, 1988.

Jan H. Bamaw
Notary Public
STATE OF FLORIDA AT LARGE
My Commission Expires:

(NOTARY SEAL)

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXP. NOV 16, 1990
BOEDED THRU GENERAL INS. UND.

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

PERMIT NUMBER: MS87-164

CALL

NAME OF APPLICANT: JOHN HILL CONST. HOME PHONE: _____

MAILING ADDRESS OF APPLICANT: 736 N.W. BUCK HENRY WAY WORK PHONE: _____

LOT B BLOCK B SUBDIVISION HOMELAND

PLAT BOOK 3 PAGE 35 DATE SUBDIVIDED 1945

RESIDENTIAL: NUMBER DWELLING UNITS 1 NUMBER BEDROOMS 3

HEATED OR COOLED AREA OF HOME 2500± SQUARE FEET

COMMERCIAL: TYPE OF BUSINESS PROPOSED _____ NUMBER PEOPLE _____

Job No. 805-04-01

AFFIDAVIT

I HAVE REVIEWED THIS PERMIT AND I CERTIFY THAT ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND ANY APPLICABLE STATE OR COUNTY REGULATIONS.

SIGNATURE OF PROPERTY OWNER OR OWNER'S LEGALLY AUTHORIZED REPRESENTATIVE:

STEPHEN J. BROWN

\$50-

WELL FEE IF WELL NOT INSTALLED AT TIME OF SEPTIC SYSTEM INSPECTION

INSTALLATION SPECIFICATIONS

SEPTIC TANK CAPACITY 1050 GALLONS

DRAINFIELD SIZE 400 SQUARE FEET

TOP OF SEPTIC TANK IS REQUIRED TO BE A MINIMUM ELEVATION OF FINISHED SOIL GRADE NOT TO EXCEED 18" OF COVER OVER DRAINFIELD ROCK

MINIMUM SETBACK REQUIRED FROM PROPERTY LINES TO DRAINFIELD ROCK IS 5

THIS PERMIT EXPIRES ONE (1) YEAR FROM DATE OF ISSUANCE

ISSUED BY: Daniel Maskowsky R-S. ENVIRONMENTAL HEALTH SPECIALIST

DATE: 3-18-87

- PLEASE NOTE:
1. THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUANCE.
 2. IF BUILDING STUBOUT IS MORE THAN 20 FEET FROM SEPTIC TANK AND DRAINFIELD, A HIGHER STUBOUT ELEVATION THAN SHOWN ABOVE WILL BE REQUIRED.
 3. IF FILL IS REQUIRED, CONTACT MARTIN COUNTY BUILDING DIVISION.
 4. IF ANY INFORMATION ON THIS PERMIT CHANGES, PLEASE SUBMIT AN UPDATED APPLICATION TO THIS OFFICE.
 5. IF WELL OR MOUND DRAINFIELD IS PROPOSED, SEE ATTACHED SKETCH OF ADDITIONAL SPECIAL REQUIREMENTS.

Permit VOID if well or septic system is installed in a location other than area permitted. PRIOR HEALTH DEPARTMENT APPROVAL REQUIRED

Inspection Results Will be Posted on Building Permit or on Electrical Box.

FINAL INSPECTION

CONSTRUCTION APPROVED BY: _____ DATE: _____
ENVIRONMENTAL HEALTH SPECIALIST

AN APPROVED SYSTEM DOES NOT GUARANTEE PERFORMANCE

MARTIN COUNTY PUBLIC HEALTH UNIT
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM

SITE INFORMATION

1. IS THERE A SEPTIC SYSTEM OR OTHER INTERFERENCE WITHIN 75 FEET OF THE PROPOSED PRIVATE WELL? No
2. IS THERE A PRIVATE WELL WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
3. IS THERE A LIMITED USE NON-COMMUNITY OR OTHER PUBLIC WELL WITHIN 100 FEET OF PROPOSED SEPTIC SYSTEM? No
4. IS THERE A PUBLIC WELL WITHIN 200 FEET OF THE PROPOSED SEPTIC SYSTEM? No
5. IS THERE A PUBLIC SEWER WITHIN 100 FEET OF THE PROPOSED LOT? No
6. IS THERE A LAKE, STREAM, WETLAND, OR OTHER BODY OF WATER WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM? No
7. IS THERE A PROPOSED OR EXISTING PUBLIC WATER LINE WITHIN TEN FEET OF THE PROPOSED SEPTIC SYSTEM? No
8. IS THERE A STORM WATER RETENTION AREA OR DRAINAGE EASEMENT WITHIN 15 FEET OF THE PROPOSED SEPTIC SYSTEM? No
9. IS THE SEPTIC SYSTEM IN AN AREA PROPOSED FOR PAVING OR VEHICULAR TRAFFIC? No
10. ARE ALL PRIVATE WELLS, SEPTIC SYSTEMS AND SURFACE WATER ON ADJACENT OR CONTIGUOUS LAND WITHIN 75 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
11. ARE ALL PUBLIC WELLS WITHIN 200 FEET OF THE APPLICANT'S LOT, IF PRESENT, SHOWN ON PLOT PLAN? YES
12. DOES THE PLOT PLAN INCLUDE A PLAT OF THE LOT OR TOTAL SITE OWNERSHIP DRAWN TO SCALE, BOUNDARIES WITH DIMENSIONS, LOCATIONS OF BUILDINGS OR RESIDENCES, SWIMMING POOLS, RECORDED EASEMENTS, THE PROPOSED SEPTIC SYSTEM, ANY PROPOSED OR EXISTING WELLS, PUBLIC WATER LINES, PAVED AREAS OR DRIVEWAYS, AND SURFACE WATERS SUCH AS LAKES, PONDS, STREAMS, CANALS, OR WETLANDS? YES
13. THERE IS 1000 SQUARE FEET OF AVAILABLE LAND TO INSTALL THE SEPTIC SYSTEM. THIS AREA EXCLUDES INTERFERENCES. SHADE THIS AVAILABLE AREA.

ELEVATIONS

1. CROWN OF ROAD ELEVATION NONE SHOW LOCATION ON PLOT PLAN.
IF ROAD IS NOT PAVED, BENCHMARK ELEVATION 11.83 SHOW LOCATION ON PLOT PLAN.
2. NATURAL GRADE ELEVATION IN AREA OF PROPOSED SEPTIC SYSTEM 11.0
SHOW LOCATION ON PLOT PLAN.
3. IS BUILDING LOCATED IN FLOOD HAZARD AREA "A" OR "V" AS IDENTIFIED ON FEMA MAPS? No IF YES, WHAT IS THE MINIMUM REQUIRED FLOOD HAZARD FLOOR ELEVATION OF BUILDING? _____ NGVD 1929 (ELEVATION OPTIONAL)

NOTE: MUST BE CERTIFIED BY REGISTERED SURVEYOR OF ENGINEER IN THE STATE OF FLORIDA.

CERTIFIED BY: Stephen J. Brown
FL. PROFESSIONAL NO: 40219
DATE: 3/11/87 JOB NO: 305-04-01

SITE DIRECTIONS

ATTACH SITE LOCATION MAP OR EXPLAIN DIRECTION TO SITE BELOW

MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 33497
287-2277

STUBOUT ELEVATION AND FILL CERTIFICATION

APPLICANT:

JOHN HILL CONST.

LEGAL DESCRIPTION:

LOT 8 BLOCK B HOMEWOOD

SEPTIC TANK PERMIT NUMBER:

HD87-164

The items noted below must be certified by a surveyor or engineer and returned to the Health Department prior to the first plumbing inspection by the Building Department.

1. Building Permit Number: _____
2. I certify that the elevation of the top of the lowest plumbing stubout is at or above the approved elevation as shown on septic tank permit application.
Date elevation checked: _____
3. I certify that the top of the lowest building plumbing stubout is _____ feet above the crown of road.
4. I certify that all severe limited soil has been removed from an area of _____ feet by _____ feet to a minimum depth of six (6) feet below top of required stubout elevation. Submit plot plan to scale of excavated area.

Date observed: _____

- NOTE:
- a. Severe limited soil includes but is not limited to hardpan, clay, silt, marl or muck.
 - b. Drainfield must be centered in the excavated area. Please set stakes to identify the excavated area boundaries. Drainfield will not be approved if severe limited soils are not removed.

CERTIFIED BY: _____

Florida Professional Number: _____

Date: _____

Job Number: _____

As applicant or applicant's representative, I understand the above requirements.

W. L. Hill
(Signature)

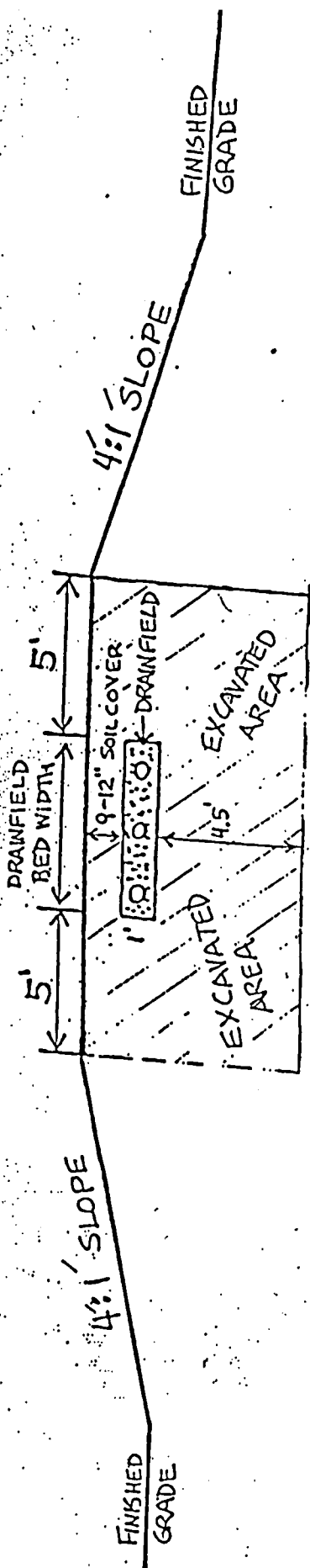
FOR G. J. BROWN

FOR MARTIN COUNTY PUBLIC HEALTH UNIT USE ONLY

(Signature of Environmental Health Specialist)

(Date)

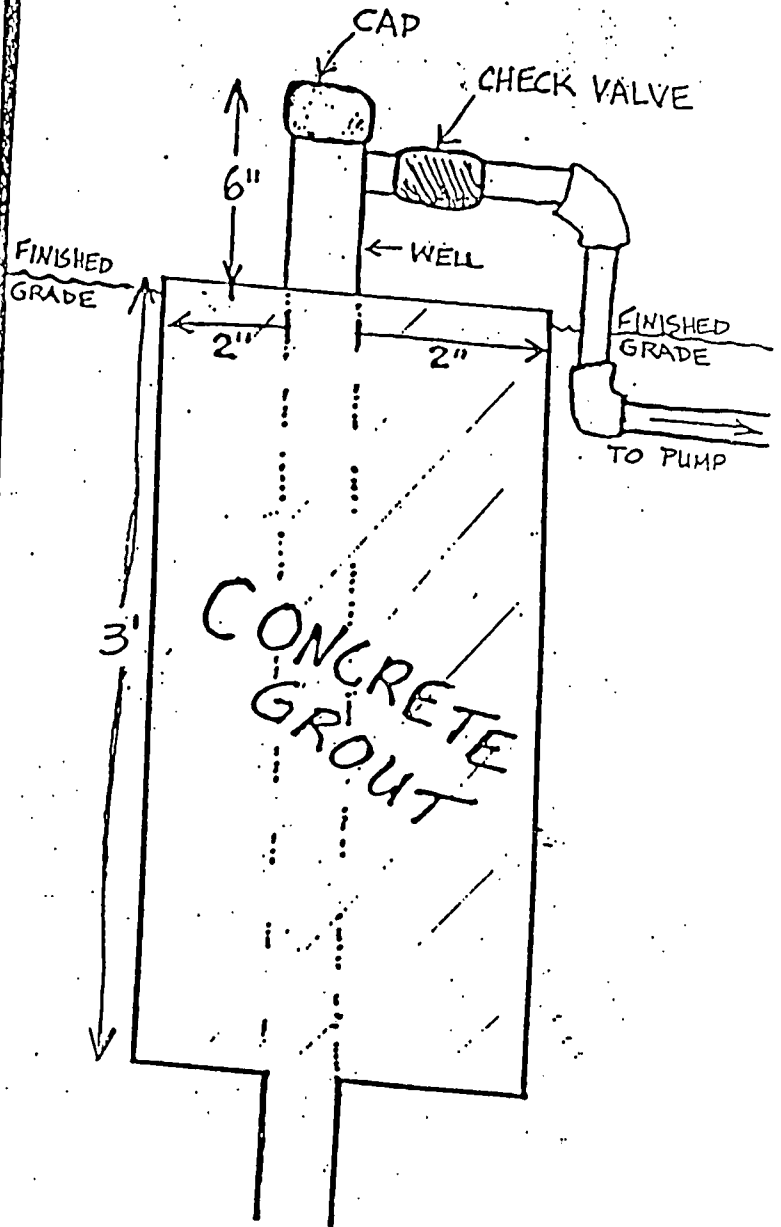
DRAINFIELD MOUND REQUIREMENTS



NOTE: THESE REQUIREMENTS MUST BE MET PRIOR TO FINAL APPROVAL.

WELL REQUIREMENTS

NOTE: ALL WELLS MUST BE GROUTED AT LEAST 2" AROUND WELL CASING TO A DEPTH OF 3'. WELL CASING MUST EXTEND 6" ABOVE FINISHED GRADE AS SHOWN BELOW. NOTE LOCATION OF CHECK VALVE.



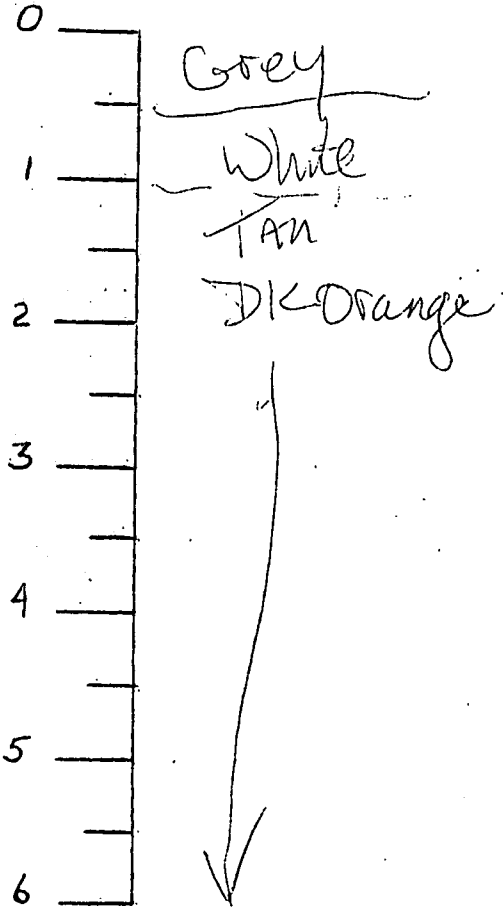
MARTIN COUNTY PUBLIC HEALTH UNIT
131 East 7th Street
Stuart, Florida 33497
287-2277

SITE EVALUATION

APPLICANT: John Hills Const.

LEGAL DESCRIPTION: Lot 8 Homewood

SOIL PROFILE



USDA SOIL TYPE Podsol
USDA SOIL NUMBER 6

Impervious soils are present
> 6 feet below natural
grade.

Present Water Depth Below Natural Grade > 6 Feet.

Wet Season Range Per Soil Survey > 6 Feet.

Estimated Wet Season Water Depth Below Natural Grade _____ Feet.

Indicator Vegetation Present Disturbed, Cabana Palm, Bombu hunkoo

Is Benchmark Located on Plot Plan and Present on Site? Yes

Approximate Amount of Fill on Neighboring Lots N/A

Other Findings:

EVALUATION BY: Josephine Dick
DATE: 3/17/89

RECORD OF INSPECTIONS

TOWN OF SEWALL'S POINT, FLORIDA

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date 2/18/88

This is to request that a Certificate of Approval for Occupancy be issued to Armstrong
 For property built under Permit No. 2139 Dated 6/12/87 when completed in
 conformance with the Approved Plans.

Raymond H. Armstrong
 Signed

| Item | |
|-------------------------|-----------------|
| 1. LOT STAKES/SET BACKS | |
| 2. TERMITE PROTECTION | <u>7/10/87</u> |
| 3. FOOTING - SLAB | <u>7/9/87</u> |
| 4. ROUGH PLUMBING | <u>7/8/87</u> |
| 5. ROUGH ELECTRIC | <u>9/14/87</u> |
| 6. LINTEL | |
| 7. ROOF | <u>9/14/87</u> |
| 8. FRAMING | <u>9/16/87</u> |
| 9. INSULATION | <u>10/16/87</u> |
| 10. A/C DUCTS | <u>9/14/87</u> |
| 11. FINAL ELECTRIC | <u>2/18/88</u> |
| 12. FINAL PLUMBING | <u>2/18/88</u> |
| 13. FINAL CONSTRUCTION | <u>2/18/88</u> |

Approved by

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Dale Brown 2/18/88 date

Approved by Building Commissioner D C Strubell date

Utilities notified F.P.L. 2/18/88 date

Original Copy sent to Armstrong

(Keep carbon copy for Town files)

THIS PERMIT MUST BE DISPLAYED IN FRONT OF JOB

DO NOT REMOVE UNTIL JOB IS COMPLETED

OWNER Raymond Armstrong
CONTRACTOR same
LOT 8 BLOCK _____ SUB Homewood
NO. 16 N Ridge View Rd St. or Ave.

NO. 2139 Date Issued 6/12/87

Call 287-2455 From 8:00 A.M. - 12:00 Noon and
1:00 P.M. - 4:00 P.M. For Inspections of Items 1 thru 13.

TOWN OF SEWALL'S POINT BUILDING PERMIT

REQUESTS FOR INSPECTIONS REQUIRE AT LEAST 24 HOURS NOTICE.

| REQUIRED INSPECTIONS | INSPECTOR'S FINDING | INSPECTOR |
|-------------------------|---|-----------|
| 1. LOT STAKES/SET BACKS | | |
| 2. TERMITE PROTECTION | <u>ABSOLUTE Pest Control 7/10/87 RW</u> | |
| 3. FOOTING - SLAB | | |
| 4. ROUGH PLUMBING | <u>OK 7/8/87 DB</u> | |
| 5. ROUGH ELECTRIC | <u>OK 9/16/87 DB</u> | |
| 6. LINTEL | | |
| 7. ROOF | | |
| 8. FRAMING | <u>OK 9/16/87 DB</u> | |
| 9. INSULATION | <u>OK 10/16/87 DB</u> | |
| 10. A/C DUCTS | <u>OK 9/11/87 DB</u> | |
| 11. FINAL ELECTRIC | | |
| 12. FINAL PLUMBING | | |
| 13. FINAL CONSTRUCTION | | |

MARTIN COUNTY PUBLIC HEALTH UNIT

Your septic system was inspected on 12-29-87
HD 87-164

- Approved and Cover
 - Cover but hold for:
 - Final Grade (see permit for specifications)
 - Well Permit
 - Other:
 - Do not cover, disapproved for the following reasons:
 - Well and well reinspection fee _____
 - Other:
- Final approval will not be given until both septic and water systems are completed.
- Please allow this office two working days to schedule a reinspection. If you have any questions, contact Steve Kelly at 287-2277.

MUST BE IN COMPLIANCE WITH THE TOWN OF SEWALL'S FINANCES, THE SOUTH FLORIDA BUILDING CODE, THE STATE ENERGY EFFICIENCY BUILDING CODE AND ELEVATIONS THE LATEST FLOOD INSURANCE RATE MAP.

HOURS ARE FROM 8:00 to 5:00 P.M. MONDAY THRU SATURDAY.
TOILET FACILITIES MUST BE ON JOB SITE BEFORE INITIAL

N. _____
CT Residence

**MARTIN COUNTY
PUBLIC HEALTH UNIT**

Your septic system was in-
spected on 2-15-88

HD 47-164

- Approved ~~and cover~~
- Cover but hold for:
 - Final Grade (see permit for specifications)
 - Well Permit
 - Other:
- Do not cover, disapproved for the following reasons:
 - Well and well reinspection fee _____
 - Other:

— Final approval will not be given until both septic and water systems are completed.

— Please allow this office two working days to schedule a reinspection. If you have any questions, contact P. Pick at 287-2277.

2248

FENCE

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

2248

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Raymond H. Armstrong Present Address 16 N. Ridgeview Rd.
Phone 287-8389 Stuart FL 34996

Contractor _____ Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Fence around perimeter of property -

(Hurricane pet pen)

State the street address at which the proposed structure will be built:

16 N. Ridgeview Rd., Stuart, FL.

Subdivision: Homewood Lot number 8 Block number _____

Contract price \$ 1,850.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Raymond H. Armstrong

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Raymond H. Armstrong

TOWN RECORD

Date submitted _____ Approved: Dale Brown Building Inspector Date _____

Approved: _____ Commissioner Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

2259

POOL ENCLOSURE

Permit Number 2239

Date 3-10-88

APPLICATION FOR PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING.

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Raymond H. ARMSTRONG Present Address 16 RIVERVIEW

Phone 287-0710

Contractor HORIZON BUILDERS Address 619 BAKER RD.

Phone 692-2248 Stuart Fl 34994

Where licensed Martin Co. License number SP00342

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Roofing contractor _____ License number _____

Air conditioning contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: CONSTRUCT POOL ENCLOSURE

16 RIVERVIEW Rd.
State the street address at which the structure will be built:

Subdivision HOVEA 1000 Lot number 8 Block number B

Contract price \$ 2500.00 Cost of permit \$ 15.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances, the State of Florida Model Energy Efficiency Building Code and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Bill Nage

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Raymond H. Armstrong

TOWN RECORD

Date submitted _____ Approved Dale Brown
Building Inspector Date

Approved De Stubbell 3/14 Final Approval given _____
Commissioner Date Date

Certificate of Occupancy issued (if applicable) _____
Date

**CITY OF PORT ST. LUCIE
CONTRACTORS
CERTIFICATE OF COMPETENCY
EXPIRES SEPTEMBER 30, 1995**

NAME: JACKSON, BRUCE C
FIRM: SAILFISH ALUMINUM
801 S.W. JASLO AVENUE
PORT ST. LUCIE, FL 34953

TYPE: ALUMINUM STRUCTURE
STATE: CITY PSL 94 - 4190

THIS CERTIFICATE IS SUBJECT TO REVOCATION AND SUSPENSION BY ST. LUCIE COUNTY EXAMINING BOARD. ST. LUCIE COUNTY, FLORIDA BOARD OF CONTRACTORS EXAMINERS 4705

THIS IS TO CERTIFY THAT
BRUCE CHARLES JACKSON
SAILFISH ALUMINUM
ALUMINUM
has qualified as a certified Contractor

for period from 10/1/92 to 9/30/93 subject to St. Lucie County Code of Ordinances and Compiled Laws.
DATE: 04/20/93

M. Marie Sargent
CONTRACTOR LICENSING OFFICIAL

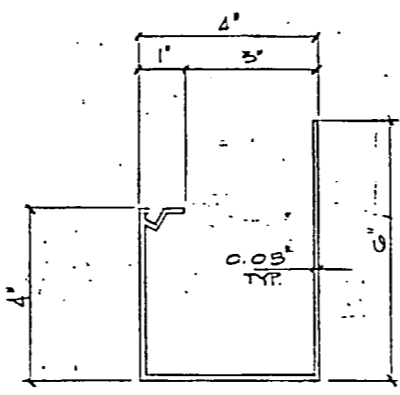
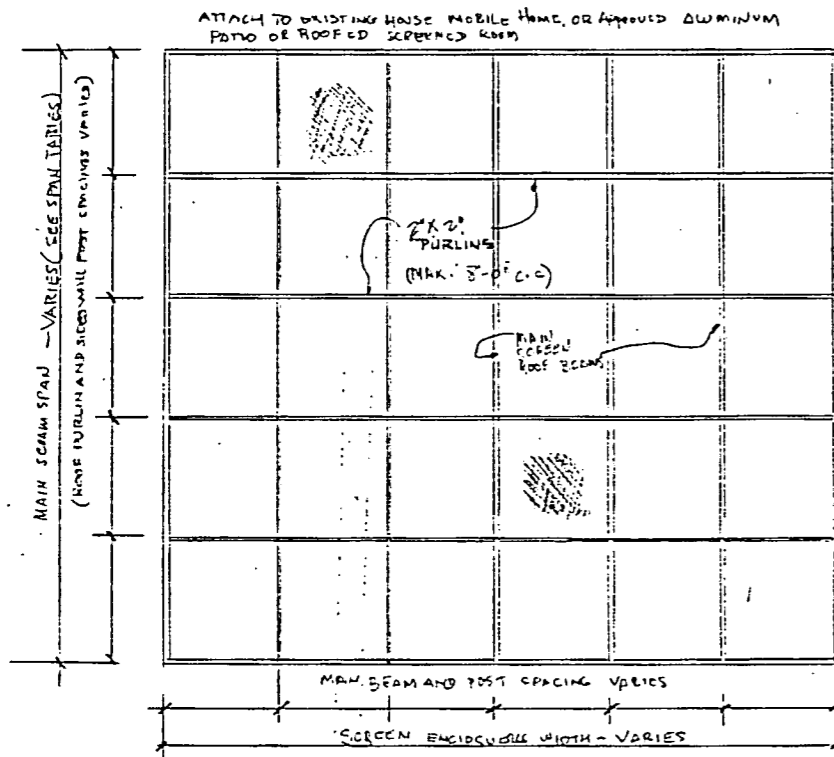
**MARTIN COUNTY CONTRACTORS
CERTIFICATE OF COMPETENCY**

JACKSON, BRUCE C
SAILFISH ALUMINUM
801 SW JASLO AVE
PSL, FL 34953

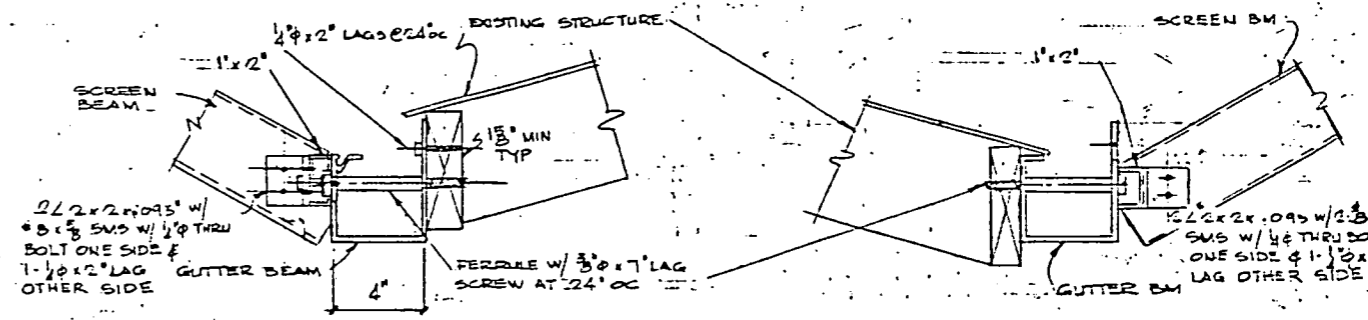
EXPIRES SEPTEMBER 30, 1995

| | | | |
|----------------------|-------|--------------------|---------|
| AUDIT CONTROL NUMBER | 28506 | CERTIFICATE NUMBER | SP01985 |
|----------------------|-------|--------------------|---------|

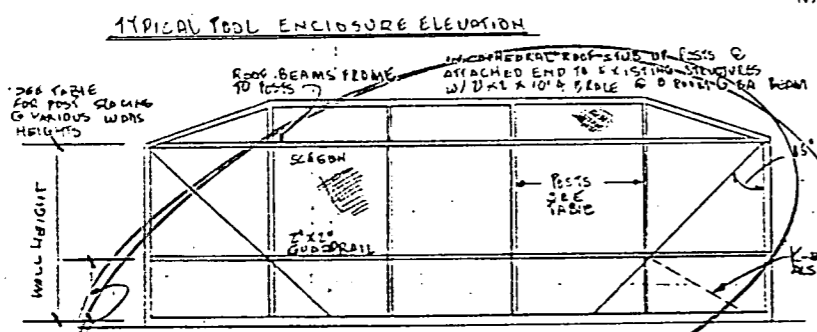
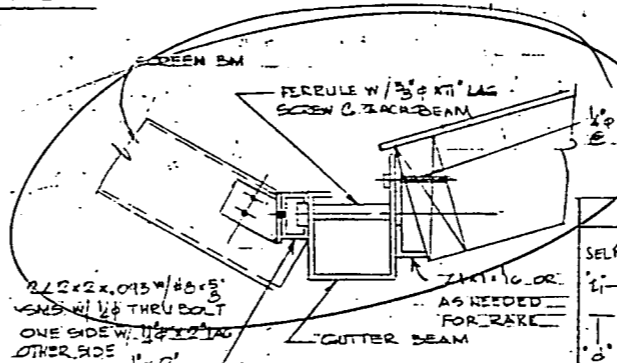
TYPICAL PLAN VIEW



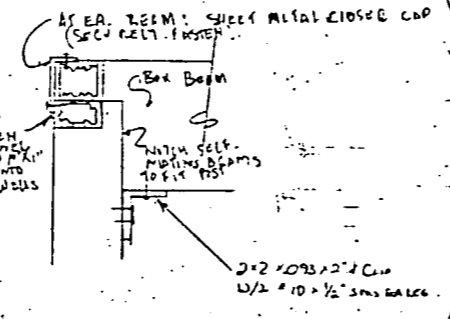
GUTTER SECTION



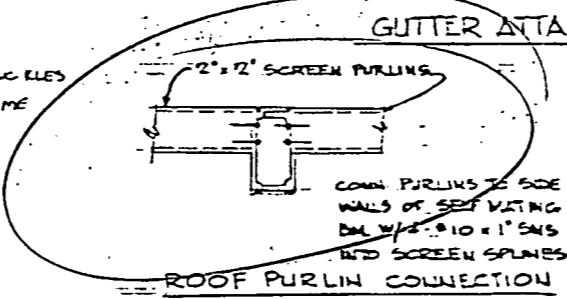
GUTTER ATTACHMENT DETAILS



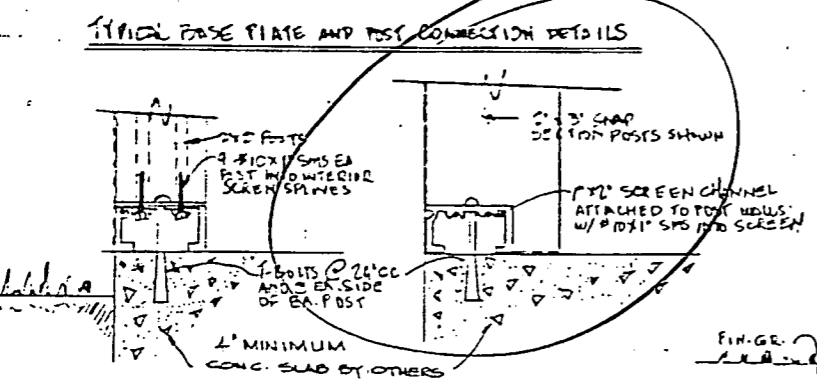
TYPICAL TOOL ENCLOSURE ELEVATION



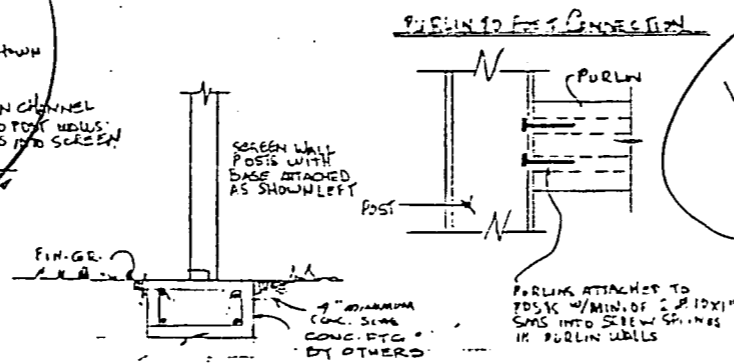
GUTTER ATTACHMENT DETAILS



ROOF PURLIN CONNECTION



TYPICAL BASE PLATE AND POST CONNECTION DETAILS



TYPICAL SCREEN ENCLOSURE FOOTING DETAILS

BEAM SECTIONS

ALLOY 6063T6 SELF-MATING BOX BEAMS SECTION PROPERTIES

| DEPTH (IN) | WIDTH (IN) | WEIGHT (LB/FT) | SECTION MODULUS (IN ⁴) | AREA (IN ²) |
|------------|------------|----------------|------------------------------------|-------------------------|
| 6 | 3 | 1.15 | 0.050 | 1.49 |
| 6 | 4 | 1.45 | 0.085 | 1.81 |
| 7 | 4 | 1.85 | 0.125 | 2.28 |
| 9 | 4 | 2.35 | 0.175 | 2.78 |

I-BEAM SECTIONS

SECTION PROPERTIES

| DEPTH (IN) | FLANGE WIDTH (IN) | FLANGE THICKNESS (IN) | WEIGHT (LB/FT) | SECTION MODULUS (IN ⁴) | AREA (IN ²) |
|------------|-------------------|-----------------------|----------------|------------------------------------|-------------------------|
| 6 | 3 | 0.10 | 1.15 | 0.050 | 1.49 |
| 6 | 4 | 0.10 | 1.45 | 0.085 | 1.81 |
| 7 | 4 | 0.10 | 1.85 | 0.125 | 2.28 |
| 9 | 4 | 0.10 | 2.35 | 0.175 | 2.78 |

SPECIFICATIONS

1. SHEET METAL SCREWS (SMS) DOMINUM PLATED OR STAINLESS
 2. BOLTS: ALUM ALLOY 2025 T-4 (OR) STAINLESS OR CALVANIZED STEEL
 3. MAJOR BEAMS: ALUM ALLOY 6063T6
 4. POSTS: PURLIN CHANNELS AND ANGLES: ALUM ALLOY 6063T6
- NOTE: ALL EXTENSIONS MAY ACCEPT EITHER FLAT OR ROUND SPLINE INITIALLY TO HILL SCREEN INTO PREVENTION SLING GROOVE

TABLE 1 - POST LENGTHS AND SPACING IN SCREENED WALLS

| NORMAL WALL HEIGHT | POST SIZES AND SPACING BY SCREENED WALL HEIGHT | | | | | | |
|--------------------|--|------------------|------------------|----------------|--------------------|--------------------|--------------------|
| | 2"x2" C-C | 2" x 2" 1/2" C-C | 2" x 2" 3/4" C-C | 2" x 2" 1" C-C | 2" x 2" 1 1/4" C-C | 2" x 2" 1 1/2" C-C | 2" x 2" 1 3/4" C-C |
| 7'-0" | 4'-3" | 4'-10" | 5'-3" | 6'-0" | 6'-11" | 7'-8" | - |
| 8'-0" | 3'-3" | 3'-8" | 4'-0" | 4'-9" | 5'-4" | 6'-0" | 7'-0" |
| 9'-0" | - | - | - | 3'-9" | 4'-2" | 5'-0" | 6'-0" |
| 10'-0" | - | - | - | - | - | 4'-2" | 5'-0" |
| 11'-0" | - | - | - | - | - | - | 5'-7" |
| 12'-0" | - | - | - | - | - | - | - |

TABLE 2 - SPAN TABLE FOR SCREEN ROOF BEAMS

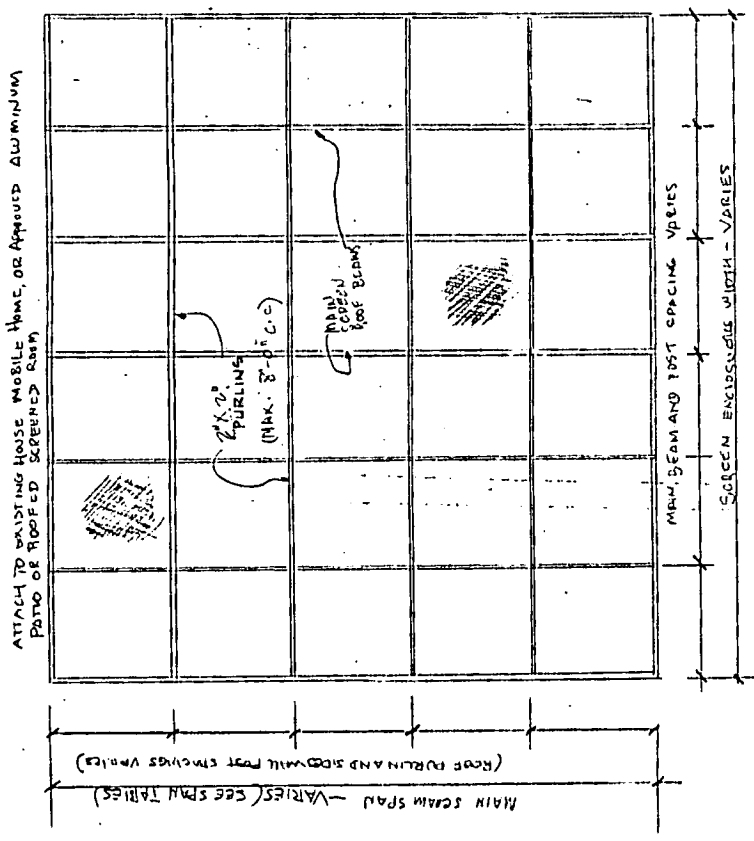
| BEAM SIZE | MAXIMUM CLEAR SPANS FOR SCREENED ROOF BEAMS AT VARIOUS BEAM SPACINGS | | | | | | | |
|----------------|--|-----------|-----------|-----------|------------|------------|------------|------------|
| | 4'-0" C-C | 5'-0" C-C | 6'-0" C-C | 8'-0" C-C | 10'-0" C-C | 12'-0" C-C | 15'-0" C-C | 20'-0" C-C |
| 2"x4" SM. BEAM | 22'-9" | 20'-4" | 19'-5" | 18'-7" | 17'-10" | 17'-3" | 16'-7" | 16'-1" |
| 2"x6" SM. BEAM | 29'-9" | 26'-7" | 25'-3" | 24'-5" | 23'-4" | 22'-5" | 21'-8" | 21'-0" |
| 2"x8" SM. BEAM | 45'-2" | 37'-11" | 36'-2" | 34'-7" | 33'-3" | 32'-0" | 30'-11" | 30'-0" |
| I BEAM #603 | 31'-0" | 28'-2" | 26'-10" | 25'-9" | 24'-9" | 23'-10" | 23'-0" | 22'-5" |
| I BEAM # 703 | 37'-9" | 33'-9" | 32'-2" | 30'-10" | 29'-7" | 28'-0" | 27'-7" | 26'-8" |
| I BEAM # 904 | 46'-9" | 41'-10" | 37'-10" | 35'-2" | 33'-8" | 32'-4" | 31'-2" | 30'-1" |
| I BEAM # 1004 | 53'-10" | 48'-2" | 45'-11" | 43'-11" | 42'-3" | 40'-8" | 39'-3" | 38'-1" |
| I BEAM # 1204 | 57'-0" | 51'-5" | 49'-0" | 46'-11" | 45'-0" | 43'-0" | 42'-0" | 40'-8" |
| 2"x8" SM. BEAM | 57'-10" | 51'-8" | 49'-3" | 47'-2" | 45'-4" | 43'-8" | 42'-2" | 40'-10" |

ALL SPANS BASED UPON BEAMS BEING LATERALLY SUPPORTED SO $L < 5L/14$ FOR GENERAL NOTES SEE SHEET 1 OF 3

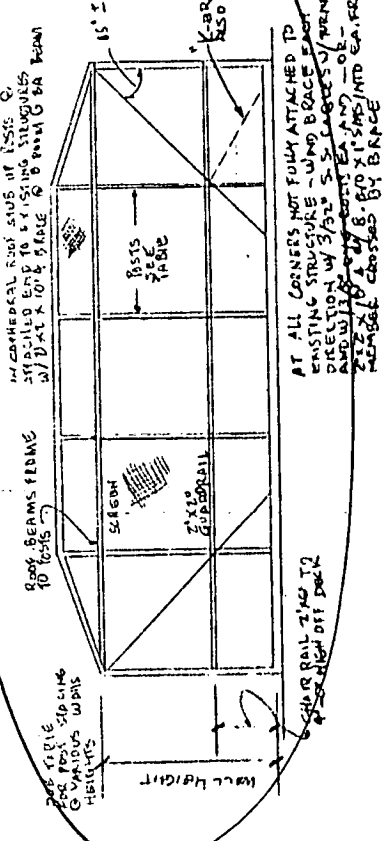
William J. ...
2-23-88

| | | |
|---|---|-----------------------|
| MASTER PLANS - ALUMINUM SCREEN ENCLOSURES | PLAN SECTION AND DETAIL VIEWS AND REVISION DATA | SHEET NO 1 OF 1 |
| 170 MPH WIND REGION | HORIZON BUILDERS & BILL UGEL | DRAWN BY GA |
| 2/19/88 REVISED SECT. PROPERTIES | 4/7/87 GENERAL REVISION | DRAWING NUMBER 1 OF 1 |

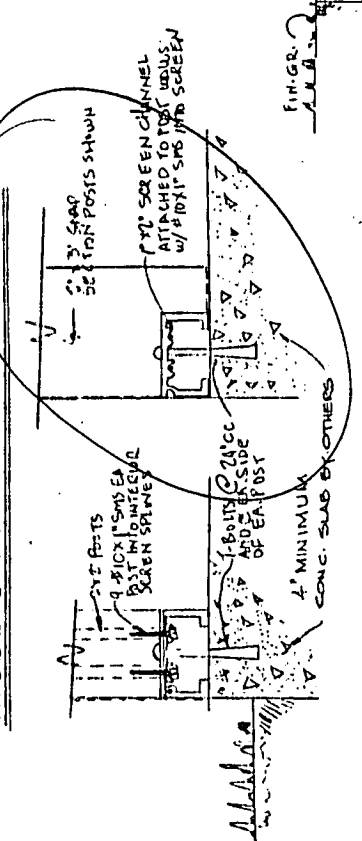
TYPICAL PLAN VIEW



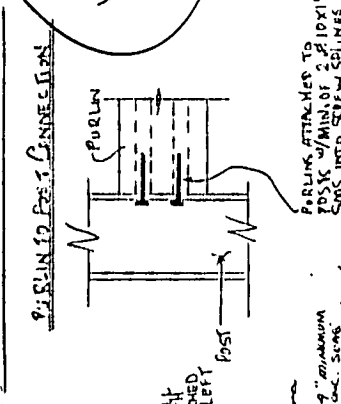
TYPICAL ENCLOSURE ELEVATION



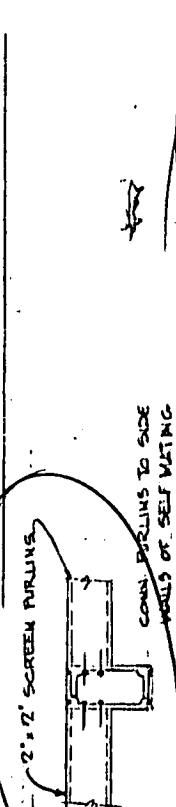
TYPICAL POST PLATE AND POST CONNECTION DETAILS



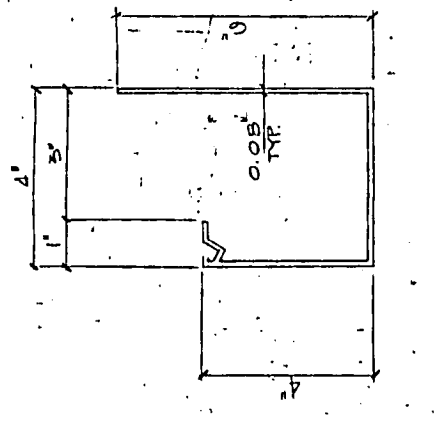
ROOF PURLIN CONNECTION



GUTTER ATTACHMENT DETAILS



GUTTER SECTION



GUTTER ATTACHMENT DETAILS

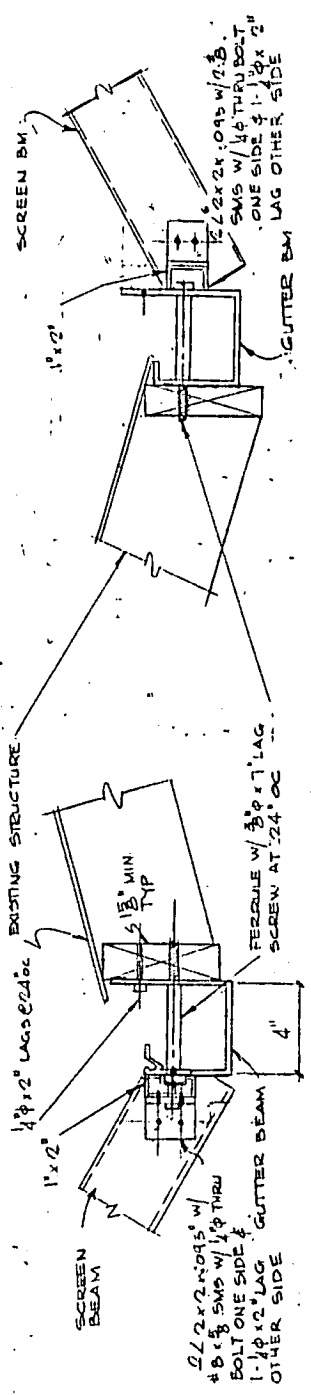


TABLE 1 - POST LENGTHS AND SPACING IN SCREEN WALLS

| POST LENGTH | SPACING | POST LENGTH | SPACING | POST LENGTH | SPACING |
|-------------|---------|-------------|---------|-------------|---------|
| 7'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" |
| 9'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" |
| 11'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" |
| 13'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" | 5'-0" |

TABLE 2 - SPACING FOR SCREEN ROOF BEAMS

| BEAM SIZE | SPACING | BEAM SIZE | SPACING | BEAM SIZE | SPACING |
|-----------|---------|-----------|---------|-----------|---------|
| 2x4 | 12'-0" | 2x4 | 12'-0" | 2x4 | 12'-0" |
| 2x6 | 10'-0" | 2x6 | 10'-0" | 2x6 | 10'-0" |
| 2x8 | 8'-0" | 2x8 | 8'-0" | 2x8 | 8'-0" |
| 2x10 | 6'-0" | 2x10 | 6'-0" | 2x10 | 6'-0" |

ALL SPANS BASED UPON BEAMS BEING LATERALLY SUPPORTED
 SO - L.S. $\frac{1}{4}$ \leq 145
 FOR GENERAL NOTES SEE SHEET 1 OF 3

SECTION PROPERTIES

| SECTION | AREA | MOI | MOI | MOI | MOI |
|---------|------|------|------|------|------|
| 2x4 | 10.8 | 1.93 | 1.93 | 1.93 | 1.93 |
| 2x6 | 17.2 | 4.70 | 4.70 | 4.70 | 4.70 |
| 2x8 | 22.4 | 11.5 | 11.5 | 11.5 | 11.5 |
| 2x10 | 27.6 | 23.3 | 23.3 | 23.3 | 23.3 |

SPECIFICATIONS

- SHEET METAL SCREWS (SMS) COMMON PLATE OR SPANLERS
- SCREWS: ALUM ALLOY 2024 T-6
- MAJOR BEAMS: ALUM ALLOY 6063-T6
- POSTS: PURLIN CHANNELS AND ANGLES: ALUM ALLOY 6063-T6

MASTER PLANS - ALUMINUM SCREEN ENCLOSURES

120 MPH WIND REGION

HORIZON BUILDERS 'X BILL MAGEE

DATE: 11/11/15

APPROVED BY: [Signature]

2/19/98 REVISED SECT. PROPERTIES

4/17/87 GENERAL REVISION

619 BARDE RD SUITE FL-3127

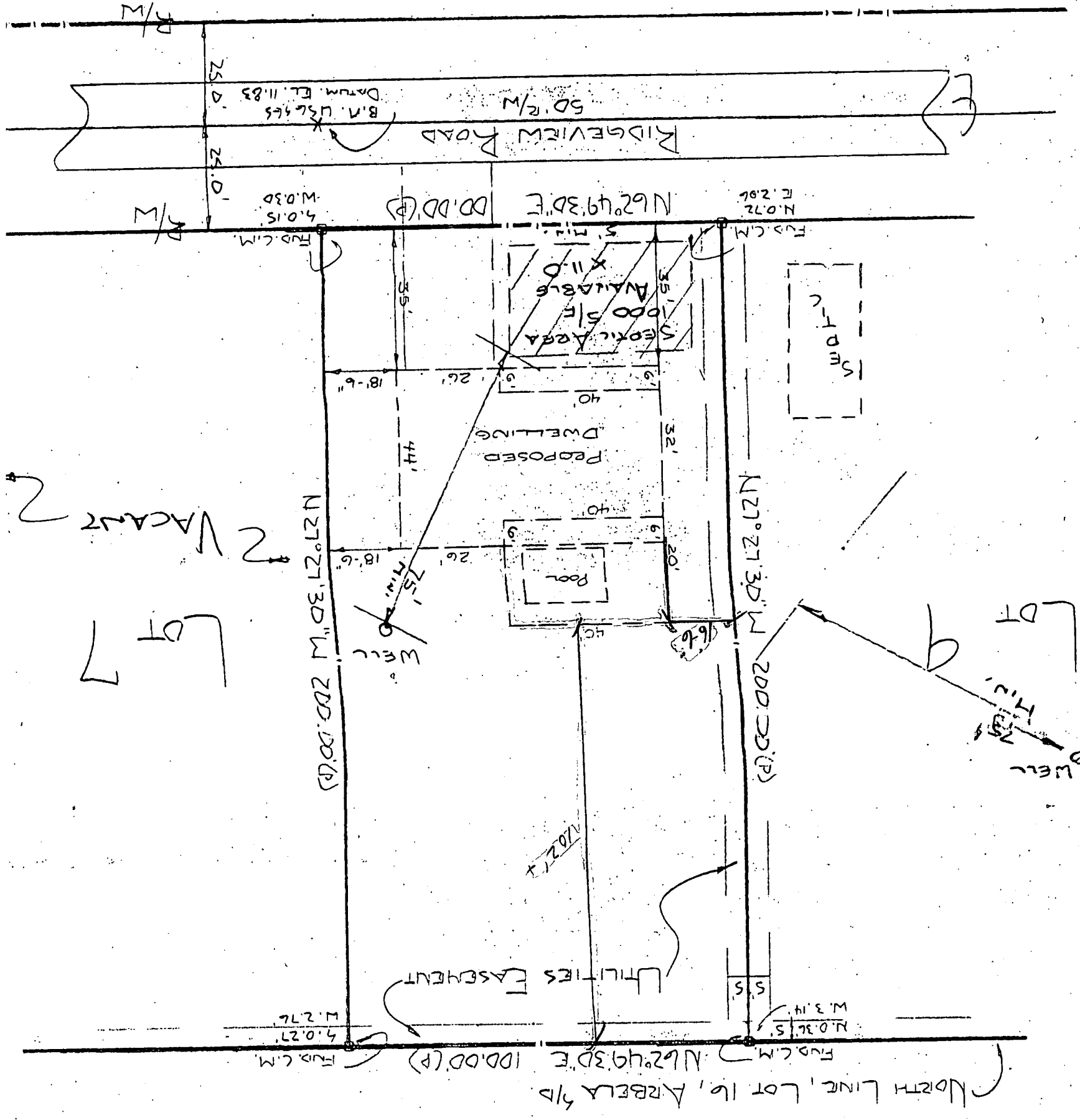
10 FT.

* BEARING BASE: AMUND'S PAT OF
"HOMWOODS" 1/2, PAT BOOK 3, PAGE 35

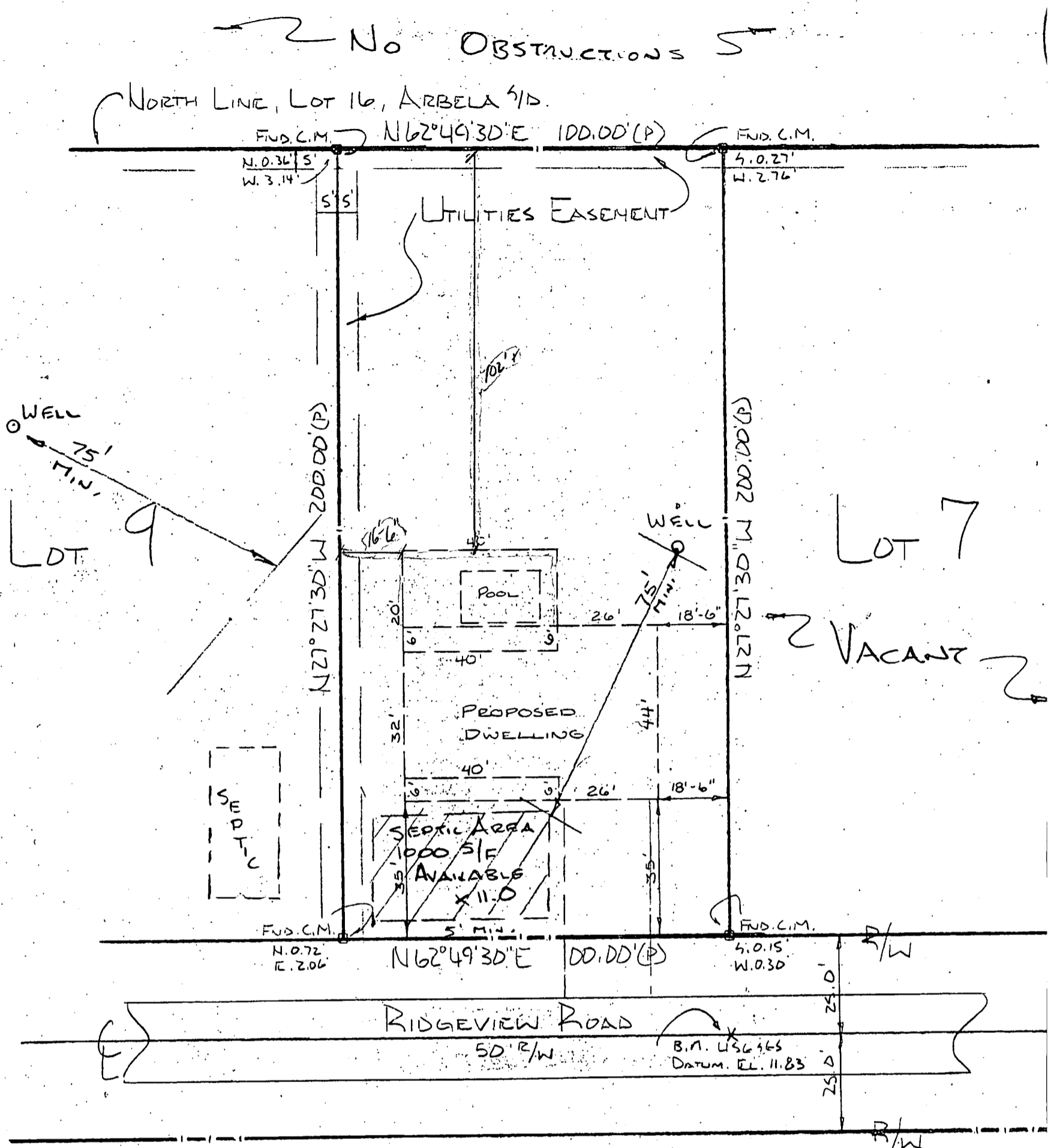
NOTES:

- 1. Survey of description as furnished
- 2. Lands shown hereon were not at and/or rights-of-way of record.
- (P) Denotes distance or bearing by
- (F) Denotes measured distance or b

2 No Obstructions



2 No Obstructions



* BEARING BASE: AMENDED PLAT OF "HOMEWOODS" S/D, PLAT BOOK 3, PAGE 35

NOTES:

1. Survey of description as furnished to
 2. Lands shown hereon were not observed and/or rights-of-way of record.
- (P) Denotes distance or bearing by description
(F) Denotes measured distance or bearing

VARIANCE

01062190

94 MAY 12 PM 4:11

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPLICATION FORM**

1. Owner of Property: RAYMOND H. ARMSTRONG AND GLENDA ARMSTRONG

2. Address of Property: 16 NORTH RIDGEVIEW ROAD

3. Address of Applicant: 16 NORTH RIDGEVIEW ROAD

4. Phone No. of Applicant: 221-8774

5. Length and Location (front, rear, side) of Encroachment (if more than one, please list separately):

THAT 9" OF THAT EXISTING CONCRETE PAD UNDER AIRCONDITIONER AND POOL PUMP
LYING TO THE EAST SIDE OF SUBJECT HOME

6. Have you included the following materials with your application? yes

- A. \$250.00 Filing Fee
- B. \$250.00 Costs Deposit
- C. Certificate of Ownership ✓
- D. Certificate of Adjacent Owners ✓
- E. Survey ✓
- F. Letters of No Objection ~~or Proof of~~ ✓
Mailing Notice

7. Does/do the encroachment(s) result from development under a permit for which a certificate of occupancy was issued prior to March 11, 1992? YES

I hereby certify that all of the information above and the application materials I have provided are true and correct:

Raymond H. Armstrong
Applicant

Dated this 10 day of MAY, 1994.

tbw/lsp/admin.frm

Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL**

1. **Owner of Property:** RAYMOND H. ARMSTRONG AND GLENDA ARMSTRONG

2. **Legal Description of Property:**

HOMEWOOD BLK B Lot 8

3. **Date of Administrative Variance Application:** MAY 10, 1994

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 12th day of May, 1994.

The Town of Sewell's Point, a
Florida municipal corporation

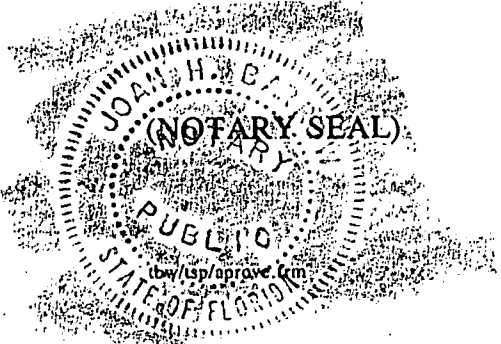
By: [Signature]
Its: Building Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 12th day of May, 1994,
by Vincent A. Vorraso as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
Fl. d.I. as identification and who did not take an oath.

[Signature]
Name: Joan H. Barrow
I am a Notary Public of the
State of Florida and my
commission expires:

Notary Public, State of Florida
My Commission Expires Nov. 16, 1994
Bonded Thru Troy Fain - Insurance Inc.



Armstrong
vanance
Dean Baumgartner
paid

Marsha Stiller
Martin County Clerk of Circuit Court
P.O. BOX 9816 Stuart, Florida 34995
General Receipting

Transaction: PAYMENT
NOT A RECEIPT WITHOUT PROPER VALIDATION

Receipt Number: 94 023789
Cashier - Dept: 5eWJT-06533

INVOICE NO: 00 000000
Date/Time : 05/12/94-16:00

Received from : TOWN OF SEWALLS POINT
: 1 SOUTH SEWALLS POINT ROAD
: STUART FL 34996 0600

| Q: | Item--Description | Total--Amount | Comments |
|------|-------------------|---------------|---------------|
| 0004 | RECORDING | 19.50 | APP ARMSTRONG |
| 0000 | | .00 | |
| 0000 | | .00 | |
| 0000 | | .00 | |
| 0000 | | .00 | |
| | Receivable Amt : | \$19.50 | |
| | Cash : | \$.00 | |
| | Other:Check/NO : | \$19.50 | |
| | Escrow Charge : | \$.00 | |
| | Total Applied : | \$19.50 | |
| | Overpay Amount : | \$.00 | |
| | Refund Amount : | \$.00 | |
| | New Balance : | \$19.50 | |
| | Amount Tendered : | \$.00 | |
| | Change : | | |

Comments: \$3007 \$19.50 FROM DEAN BAUMGARTNER

Receipt 94-023789 Validated for

VALIDATION:
\$19.50 by 5eWJT 05/12/94 16:00

FORM LETTER OF NO OBJECTION

March 10, 1994

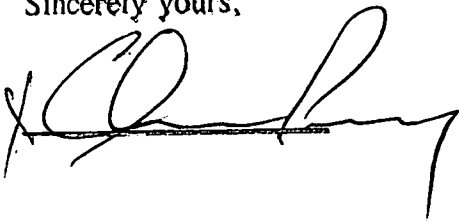
The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by ARMSTRONG, RAYMOND H.

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by ARMSTRONG with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

A handwritten signature in black ink, appearing to be "K. O'Connell", written over a horizontal line.

FORM LETTER OF NO OBJECTION

March 10, 1994

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by ARMSTRONG

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by ARMSTRONG with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

X Arne C. Kongell

PID:01 3841 007 000 00360 USE:0100 SN:11 VIA LUCINDIA S
0100-Single Family 01-3841-007 LUCINDIA

GEN:KONGELBECK A C & M
11 S VIA LUCINDIA
STUART FL 34996

LAND DETAILS:

ACRES : .00 LOT DIM :

PROPERTY DETAILS:

LAND USE : Single Family YEAR BUILT: EYB: ROOMS :
IMPRV TYPE : ADJ SQ FT : BATHS :.0
DESIGN TYPE: HTD AREA : FIXTURES:
CONSTR TYPE: GARAGE TYP: STORIES :.0

DEED TRANSFERS: OWNER NAMES

SALE PRICE REC DATE I Q ORBK/PAGE

GRANTEE:KONGELBECK A C & M
GRANTOR:

I Q

SALES HISTORY:

ASSESSMENTS:

TAXES EXEMPTIONS
REG HMST, SR ADD

BLDG VALUE : \$79,200
LAND VALUE : \$53,000
AGRI VALUE :
TOTAL : \$132,200

LEGAL:

LUCINDIA LOT 36

ML# : ML HIST:

LABEL:

A C Kongelbeck & M
11 S Via Lucindia
Stuart FL 34996

87-2-27gb

WARRANTY DEED
INSTRUMENT TO INDIVID

643627

RANCO FORM 01

This Warranty Deed Made the 18th day of February A. D. 1987 by
HOLLYWOOD PROFESSIONAL COLLECTION MONEY PURCHASE PENSION TRUST - HANSON and
KING RAGOPA ROSENDORF MARGULIES RADIOLOGY ASSOCIATES OF HOLLYWOOD, P.A. MONEY
PURCHASE PENSION TRUST - EISEN
hereinafter called the grantor, to

RAYMOND H. ARMSTRONG and GLENDA L. ARMSTRONG, his wife

whose postoffice address is
hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$10,00 and other
valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliena, re-
leases, conveys and confirms unto the grantees, all that certain land situate in **Martin**
County, Florida, viz:

Lot 8, Block B, AMENDED PLAT OF HOLLYWOOD, according to the Plat thereof,
recorded in Plat Book 5, Page 35, Public Records of Martin County, Florida.

Subject to taxes--Subsequent to December 31, 1986 and restrictions,
reservations, easements, and covenants of record.

STATE OF FLORIDA
RECORDS & DEEDS
MARTIN COUNTY
FEB 23 1987
23075

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-
wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land
in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the
grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of
all persons whatsoever; and that said land is free of all encumbrances, except taxes accruing subsequent
to December 31, 1986.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year
first above written.

Signed, sealed and delivered in our presence:

[Signatures]

HOLLYWOOD PROFESSIONAL COLLECTION
MONEY PURCHASE PENSION TRUST - HANSON

BY: *[Signature]*
MARCIA HANSON, as Trustee and individually

STEWART TITLE OF MARTIN COUNTY
409 E. OSCEOLA AVE
STUART, FLORIDA 34994
305-288-2270

STATE OF Florida
COUNTY OF *[Signature]*

I HEREBY CERTIFY that on this day, before me, an officer duly
authorized in the State aforesaid and in the County aforesaid to take
acknowledgments, personally appeared
MARCIA HANSON, as Trustee for HOLLYWOOD PROFESSIONAL
COLLECTION MONEY PURCHASE PENSION TRUST - HANSON and
individually
to me known to be the person described in and who executed the
foregoing instrument and HAS acknowledged before me that she
executed the same.

WITNESS my hand and official seal in the County and
State last aforesaid the 18th day
February A. D. 1987

Notary Public, Commission Expires:

This Instrument prepared by:
NOTARY PUBLIC STATE OF FLORIDA
FEB 11 1988

SPACE BELOW FOR RECORDERS USE

FOR
BOOK 709 PAGE 238

Return to

DEED- OWNERSHIP

KING RAGONA ROSENDORF MARGULIES RADIOLOGY ASSOCIATES OF HOLLYWOOD, P.A. MONEY PURCHASE PENSION TRUST - EISEN

Signed, sealed and delivered in our presence:

Burley Wilkins
WITNESS

Brian Wilkins
WITNESS

BY: X Hugh M. Eisen, as trustee & individually
HUGH M. EISEN, as trustee and individually

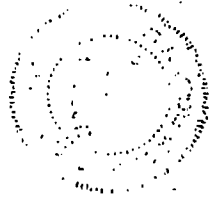
STATE OF FLORIDA
COUNTY of Howard

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, personally appeared HUGH M. EISEN, as Trustee for KING RAGONA ROSENDORF MARGULIES RADIOLOGY ASSOCIATES OF HOLLYWOOD, P.A. MONEY PURCHASE PENSION TRUST - EISEN and individually, to me known to be the person described in and who executed the foregoing instrument and has acknowledged before me that he executed the same.

WITNESS my hand and official seal in the county and state last aforesaid this 23 day of February, 1987

Burley Wilkins
Notary Public -- Commission Expires: 5

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXPIRES FEB 14, 1989
BOARD REGISTRATION NO. 110



||

||

||

||

To

Warranty Deed

BRANCO FORM 01

37 FEB 25 9:08:42

10
11
[Signature]

MARSHA STILLER
CLERK OF CIRCUIT COURT
MARTIN CO., FL

RECORDED & VERIFIED
BY [Signature] D.C.

01056571

94 APR 18 PM 2:38

PROPERTY CONTROL NO. 01-38-41-006-002-00090-30000

PREPARED BY AND RETURN TO:
U.S. TITLE SECURITY CO.
1111 S. FEDERAL HIGHWAY, SUITE 100
STUART, FL. 34994
FILE NO. S-4526

WARRANTY DEED

THIS WARRANTY DEED made this 13th day of APRIL, 1994 BETWEEN

RICHARD C. HARRIS and MIRIAM M. HARRIS, HUSBAND AND WIFE, as GRANTOR*, of
1515 VININGS PARKWAY SMYRNA, GEORGIA 30080
and

CHRISTOPHER PERRY and JULIA KELLY PERRY, HUSBAND AND WIFE, as GRANTEE*, of
18 RIDGEVIEW ROAD NORTH STUART, FLORIDA 34996

WITNESSETH, that said Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of MARTIN, State of Florida, to-wit:

SEE ATTACHED EXHIBIT "A" AND MADE A PART HEREOF

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES

[Signature]

[Signature]
RICHARD C. HARRIS

ARLENE K. SMOEDMAKER
Print Name of Witness

[Signature]

Deborah Cristaldi
Print Name of Witness

[Signature]
MIRIAM M. HARRIS

Print Name of Witness

Print Name of Witness

RECORDED \$ 1099.00 MARSHA STILLER

DUC-MTC \$ _____ MARTIN COUNTY


DUC-ASM \$ _____ CLERK OF CIRCUIT COURT

INT. TAX \$ _____ BY RC D.C.

STATE OF Fla.
COUNTY OF Martin

I hereby certify that on this 13th day of April, 1994, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared RICHARD C. HARRIS and MIRIAM M. HARRIS, HUSBAND AND WIFE and who produced a Notary Public License as identification and who did not take an oath.

NOTARY PUBLIC Deborah Cristaldi
COMMISSION EXPIRATION DATE:

 DEBORAH CRISTALDI
Notary Public, State of Fla.
My Comm. Exp. Aug. 2, 1998
Comm. No. CC 126206

ORBIT 0-6-5 PG2 355

PAGE 2 - WARRANTY DEED

EXHIBIT "A"

LOT 9, BLOCK B, AMENDED PLAT OF HOMEWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN
PLAT BOOK 3, PAGE 35, PUBLIC RECORDS OF MARTIN COUNTY, FLORIDA.

SUBJECT TO RESTRICTIONS, RESERVATIONS AND EASEMENTS OF RECORD, AND ALL
GOVERNMENTAL ZONING RULES, REGULATIONS AND ORDINANCES.

SUBJECT TO TAXES AND ASSESSMENTS FOR THE YEAR 1994 AND SUBSEQUENT YEARS.

AFTER RECORDING PLEASE RETURN TO:
U.S. TITLE SECURITY CO.
111 SO. FEDERAL HIGHWAY
SUITE 100
STUART, FLORIDA 34994
407-288-1550
OUR FILE NO. S-4526



SEE SP-3

ST LUCIE

INDIAN

RIVER

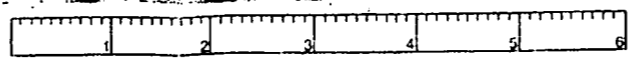
RIVER

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 100. 100' x 100' PLATS

SEE SP-5

TRW-REDI

SCALE IN 1/10 OF AN INCH



1-800-345-7334

SCALE 1" = 200'

ASSESSMENT MAP
MARTIN COUNTY,
FLORIDA

SEWALL'S PT

SECTION _____

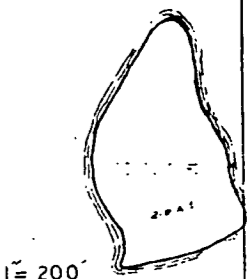
TOWNSHIP 38 S

RANGE 41 E

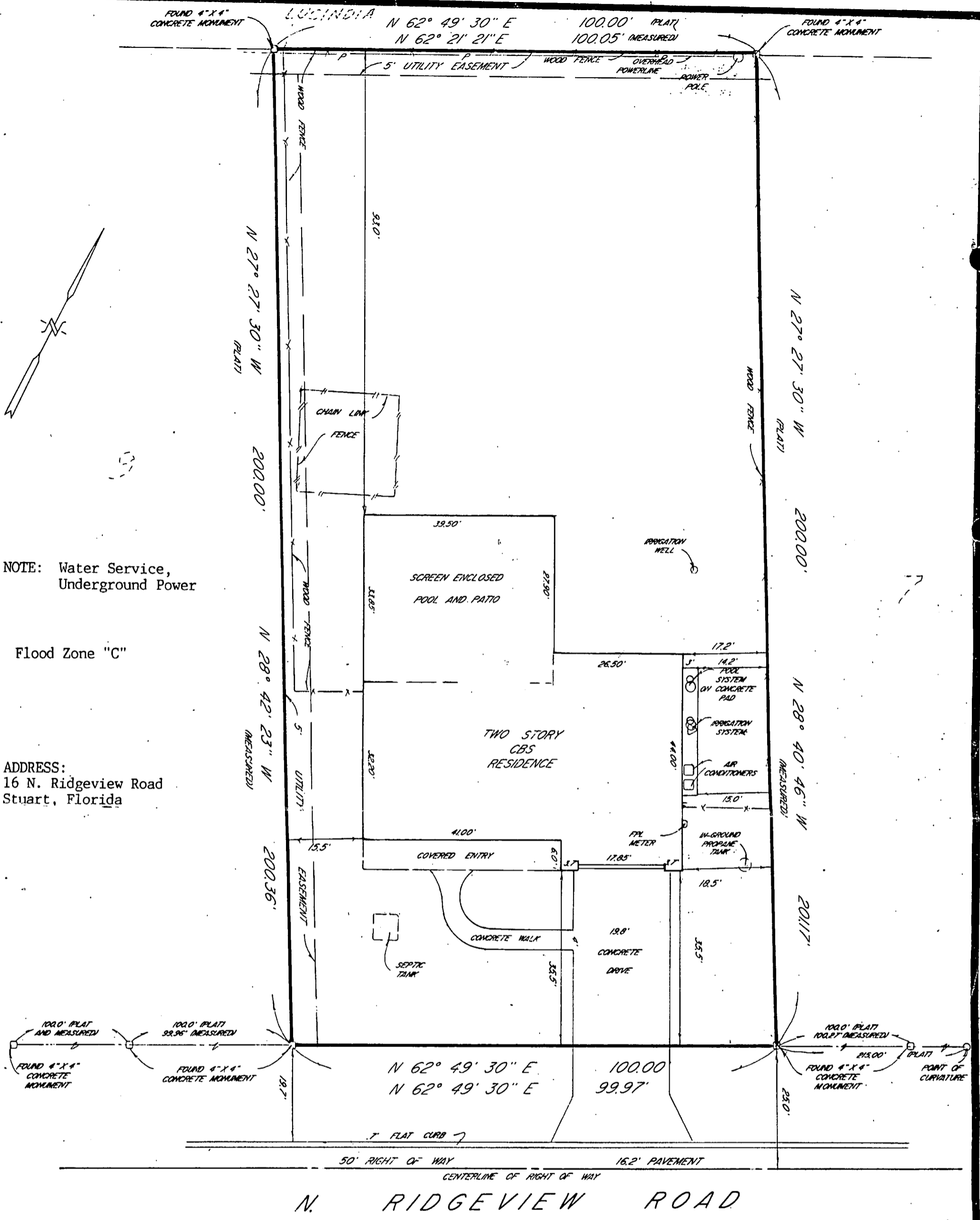
DRAWN BY J.H.P. DATE 3-66

REV. 7/80

1/10" = 100' PAGE SP-4



• A BOUNDARY AND RECORD SURVEY FOR ROBERT & LISA A. HOLLAND •



NOTE: Water Service, Underground Power

Flood Zone "C"

ADDRESS:
16 N. Ridgeview Road
Stuart, Florida

LEGAL DESCRIPTION:

Lot 8, Block B, AMENDED PLAT OF HOMEWOOD, according to the plat thereof, recorded in Plat Book 3, Page 35, Public Records of Martin County, Florida.

CERTIFIED TO:

FIRST UNION NATIONAL BANK OF FLORIDA AND/OR ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR; FIRST AMERICAN TITLE INSURANCE COMPANY and ROBERT HOLLAND AND LISA A. HOLLAND and THE TOWN OF SEWALL'S POINT and RAYMOND ARMSTRONG AND GLENDA ARMSTRONG

Bearings hereon are referred to an assumed value of North 62° 49' 30" East for the North right-of-way line of N. Ridgeview Road; said bearing is identical with the plat of record.

• HOMEWOOD • Lot 8 • Blk B • HOLLAND •

| | |
|----------------------|----------|
| DATE OF FIELD SURVEY | 5/15/94 |
| SCALE | 1" = 20' |
| JOB NO. | 94-6706 |
| SHEET | 1 |
| DATE | 10/14/11 |
| BY | DC |
| CHECKED | 21 |
| DRAWN | 21 |

PHILIP W. LANGBEHN
Land Surveyor, Inc.
Mailing: 1509 N.W. Lakeside Trail, Stuart, Florida 34994

(407) 692-1254 / (407) 692-1257
FAX (407) 692-2110

CERTIFICATE: This is to certify that this SECTION OF SURVEY, of the hereon described property, is true and correct to the best of my knowledge and belief, contains no visible encroachments, unless shown, and meets the Minimum Technical Standards set forth in Chapter 61G1.40, F.A.C., by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida Statutes.

NOTE: NOT VALID UNLESS SEALED WITH AN UNDESSSED SURVEYOR'S SEAL.
This SURVEY prepared from legal description supplied by client.

PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA REGISTRATION NO. 3152

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FORM LETTER OF NO OBJECTION

March 10, 1994

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by ARMSTRONG RAYMOND

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by ARMSTRONG with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

Nancy A. Dailey



Kathy Hoop/10001/funn

FORM LETTER OF NO OBJECTION

March 10, 1994

Extended Page

The Town of Sewall's Point
One South Sewall's Point Road
Stuart, Florida 34996

RE: Application for Administrative Variance Pursuant to Appendix B - Zoning, Section VIII.F, Town of Sewall's Point Code of Ordinances Filed by ARMSTRONG, RAY H.

Dear Town of Sewall's Point:

I have reviewed the Administrative Variance Application filed by ARMSTRONG with the Town of Sewall's Point. I am an adjacent property owner to the property which is the subject of the Administrative Variance and I have no objection to the Town of Sewall's Point granting the Administrative Variance.

Sincerely yours,

X [Handwritten Signature]



Early/Comp/Board/Form

Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL**

1. Owner of Property: RAYMOND H. ARMSTRONG AND GLENDA ARMSTRONG

2. Legal Description of Property:

HOMEWOOD BLK B Lot 8

3. Date of Administrative Variance Application: MAY 10, 1994

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"), whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

Dated this 12th day of May, 1994.

The Town of Sewall's Point, a
Florida municipal corporation

By: [Signature]
Its: Building Commissioner

STATE OF FLORIDA
COUNTY OF MARTIN

Sworn to and subscribed before me this 12th day of May, 1994,
by Vincent A. Vorraso as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
Fl. d.I. as identification and who did not take an oath.

(NOTARY SEAL)

[Signature]
Name: Joan H. Barrow
I am a Notary Public of the
State of Florida and my
commission expires:

RETURN TO:
FIRST AMERICAN TITLE INSURANCE CO
P O Box 2008
Stuart, Florida 34995

File # 94-4019

Permit No.: _____

Tax Folio No.: 01-38-41-006-002-00080

-5

NOTICE OF COMMENCEMENT

STATE OF FLORIDA)
COUNTY OF MARTIN)

SS:

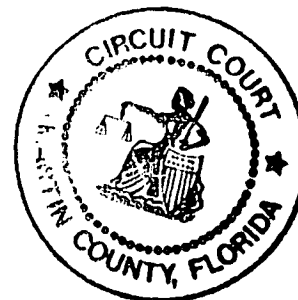
THE UNDERSIGNED, hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property (legal description and street address if available):
SEE ATTACHED RIDER
16 NORTH RIDGEVIEW ROAD
STUART, FLORIDA 34996
2. General description of improvements: A SINGLE FAMILY DWELLING.
3. Owner information:
 - a. Name and Address: ROBERT HOLLAND AND LISA A. HOLLAND
14601 S.W. 82 COURT
MIAMI, FLORIDA 33158
 - b. Interest in Property: FEE SIMPLE
 - c. Name and address of fee simple title holder (if other than owner): _____

4. Contractor (Name and Address): JOHN J. HILL CONSTRUCTION
513 S.W. CAMDEN AVENUE
STUART, FL 34994

5. Surety
a. Name and Address
b. Amount of Bond: \$ _____

6. Lender (Name and Address): FIRST UNION NATIONAL BANK OF FLORIDA
RESIDENTIAL CONSTRUCTION UNIT
826 WHITE STREET
DAYTONA BEACH, FL 32117



7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes (Name and Address):

8. In addition to himself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

9. Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified):

Robert Holland
Owner ROBERT HOLLAND

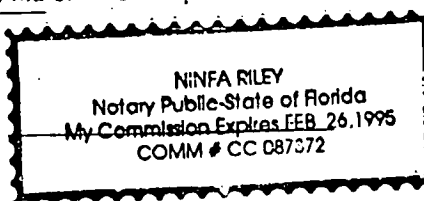
Lisa A. Holland
Owner LISA A. HOLLAND

The following instrument was acknowledged before me this MAY 16th 1994 by ~~ROBERT HOLLAND AND~~ LISA A. HOLLAND

who is personally known to me or who has produced take an oath.

as identification and who did

My Commission Expires:

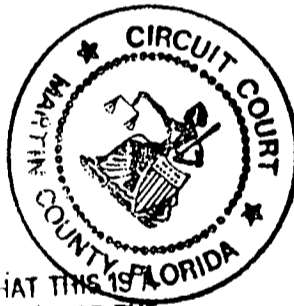


Nina F. Riley
Notary Public

DPS 682

Schedule A

Lot 8, Block B, AMENDED PLAT OF HOMEWOOD, according to the plat thereof, recorded in Plat Book 3, Page 35, Public Records of Martin County, Florida.



STATE OF FLORIDA
COUNTY OF MARTIN

THIS IS TO CERTIFY THAT THIS IS A
TRUE AND CORRECT COPY OF THE
ORIGINAL.

MARSHA STILLER, CLERK

BY *Marsha Stiller* D.C.

DATE 5.17.94

MAY 20 1994

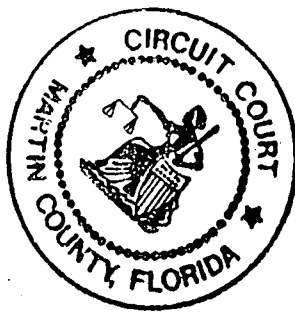
The following instrument was acknowledged before me this 16th day of May, 1994,
by ROBERT HOLLAND, who has produced a Drivers License as identification.

Deborah L. Hollis
NOTARY PUBLIC *Deborah L. Hollis*

MY COMMISSION EXPIRES:

(SEAL)

NOTARY PUBLIC, STATE OF FLORIDA.
MY COMMISSION EXPIRES: Dec. 21, 1995.
BONDED THRU NOTARY PUBLIC UNDERWRITERS.



MAY-12-1994 17:04

PREMIER REALTY GROUP

407 267 2667 P.003/006

MAY 18 1994

Prepared by and return to:
Town of Sewall's Point
One South Sewall's Point Road
Stuart Florida 34996

**TOWN OF SEWALL'S POINT ADMINISTRATIVE
VARIANCE APPROVAL**

1. Owner of Property: RAYMOND H. ARMSTRONG AND GLENDA ARMSTRONG

2. Legal Description of Property:
HOMEWOOD BLK B Lot 8

3. Date of Administrative Variance Application: MAY 10, 1994

Whereas, the Town of Sewall's Point Building Commissioner (the "Building Commissioner") has authority under the Town of Sewall's Point Code of Ordinances to grant administrative variances upon making certain findings of fact; and

Whereas, the Building Commissioner has reviewed an Administrative Variance Application (the "Application") for the Property described above and determined that the Application is complete; and

Whereas, the Building Commissioner has made the appropriate findings of fact and finds that:

(1) The setback violation(s) for the encroachments shown on the survey attached as Exhibit "A" (the "Survey") was/were a good faith error(s) and was/were not intentional; and

(2) The encroachment(s) is/are less than or equal to five percent (5%) of the

MAY 18 1994

Town of Sewall's Point
Administrative Variance Approval
Page Two

setback requirement(s) in effect on the date that the encroachment was first created, or twenty inches (20"); whichever is less; and

(3) No letters of objection to the administrative variance application have been filed by adjacent owners with the Town Clerk; and

(4) The Application meets the conditions of the Town of Sewall's Point Code of Ordinances for an administrative variance.

NOW, THEREFORE, the Town of Sewall's Point hereby grants and approves the Application for an administrative variance for the encroachments shown on the Survey.

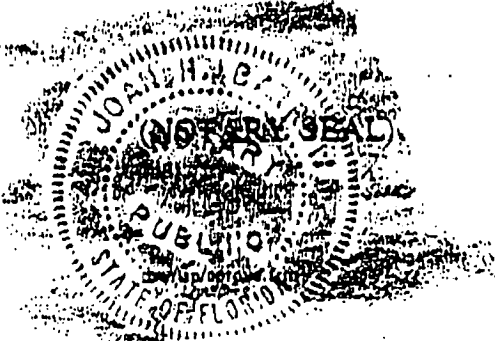
Dated this 12th day of May, 1994.

The Town of Sewall's Point, a
Florida municipal corporation

By: [Signature]
Its: **Building Commissioner**

STATE OF FLORIDA
COUNTY OF MARTIN

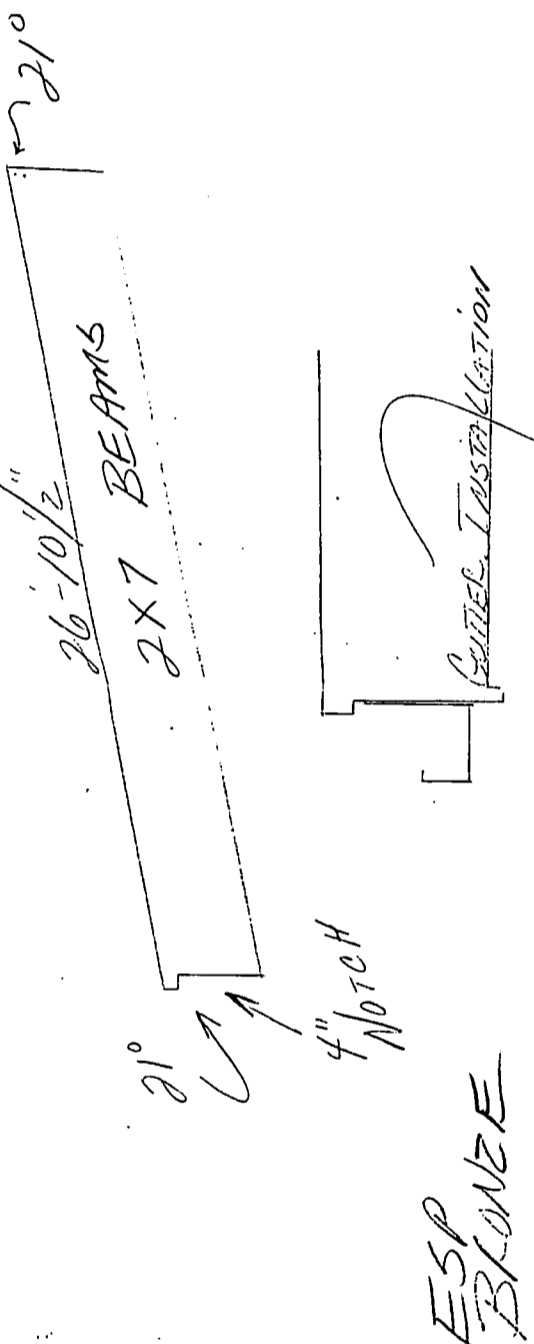
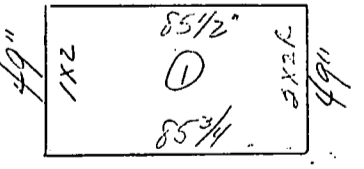
Sworn to and subscribed before me this 12th day of May, 1994,
by Vincent A. Vorraso as Building Commissioner of the Town of Sewall's
Point, a Florida municipal corporation, who is personally known to me or who has produced
Fl. d.L. as identification and who did not take an oath.



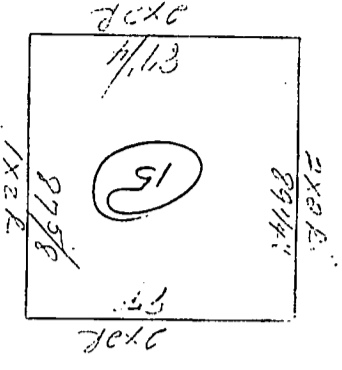
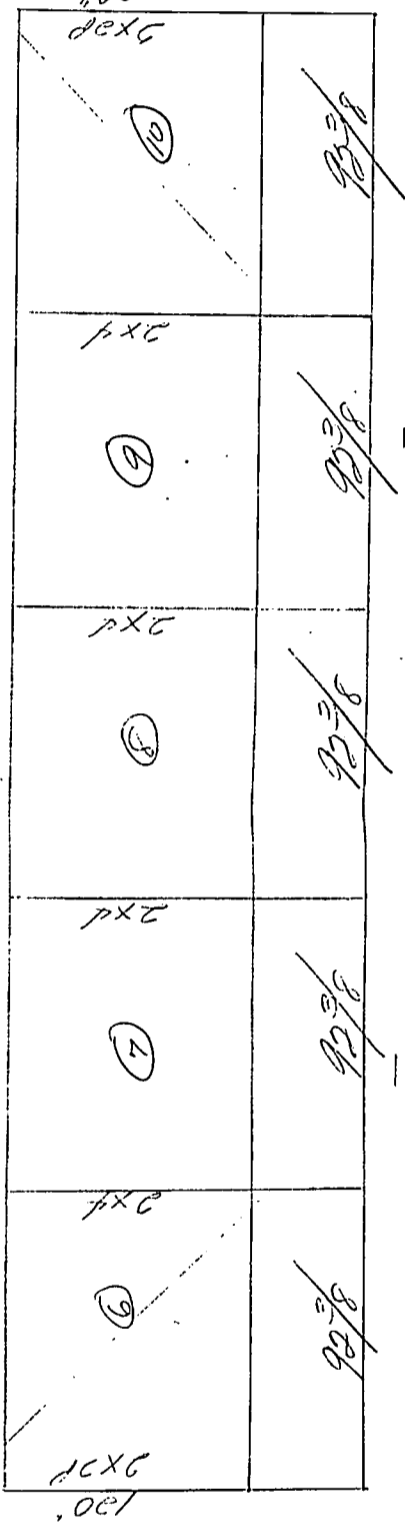
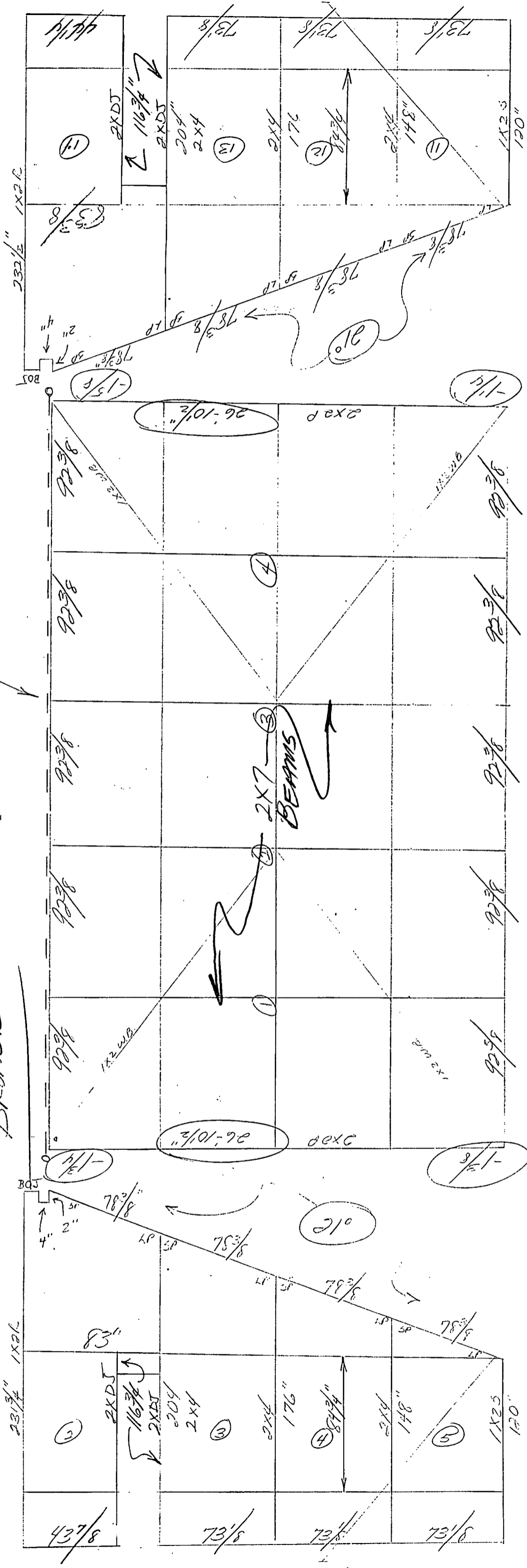
[Signature]
Name: Joan H. Barrow
I am a Notary Public of the
State of Florida and my
commission expires:

Notary Public, State of Florida
My Commission Expires Nov. 16, 1994
Sealed Thru Troy Feltz Insurance Co.

ARMSTRONG: 47'
 BUTTEL
 2-05.D.S.



ESP
 BRONZE





General Liability
New Business Declaration

EFFECTIVE 9/07/94

| POLICY NUMBER | FROM | POLICY PERIOD | TO | POLICY PERIOD | |
|--|---------|---------------|---|------------------------|----------|
| 09GL009548 | 9/07/94 | 9/07/95 | | 12:01 AM STANDARD TIME | NFL01690 |
| NAMED INSURED AND ADDRESS | | | | | |
| SAILFISH ALUMINUM BRUCE JACKSON -DBA- 801 SW JASLO AVENUE PORT ST. LUCIE FL 34953 | | | CREDIT INSURANCE AGENCY INC. 2211 S. KANNER HIGHWAY STUART FL 34994 | | |

LIMITS OF INSURANCE

| | |
|--|-----------|
| GENERAL AGGREGATE LIMIT (OTHER THAN PRODUCTS-COMPLETED OPERATIONS) | \$100,000 |
| PRODUCTS-COMPLETED OPERATIONS AGGREGATE LIMIT | \$100,000 |
| PERSONAL & ADVERTISING INJURY LIMIT | \$100,000 |
| EACH OCCURRENCE LIMIT | \$100,000 |
| FIRE DAMAGE LIMIT (ANY ONE FIRE) | \$50,000 |
| MEDICAL EXPENSE LIMIT (ANY ONE PERSON) | \$5,000 |

LOCATION ADDRESS(ES)

LOCATION 1
 SAILFISH ALUMINUM
 BRUCE JACKSON -DBA-
 801 SW JASLO AVENUE
 PORT ST. LUCIE FL 34953

COVERAGES

| ITEM | LOC | TERR | CLASS | PREMIUM BASIS | EXPOSURE | PD DEDUCTIBLE |
|-------------------------------------|-----|------|-------|---------------|----------|---------------|
| 1 | 001 | 2 | 98884 | Payroll | 22500 | \$250 PER CLM |
| DESCRIPTION: | | | | | | |
| Premise/Operations Liability | | | | | | |
| Sheet Metal Work - Shop and Outside | | | | | | |
| LIABILITY PREMIUM | | | | | | \$332.00 |
| 2 | 001 | 6 | 98884 | Payroll | 207 | \$250 PER CLM |
| DESCRIPTION: | | | | | | |
| Premise/Operations Liability | | | | | | |
| Sheet Metal Work - Shop and Outside | | | | | | |
| LIABILITY PREMIUM | | | | | | \$207.00 |

INSURED

3614

ADDITION

MAY 18 1994

TAX FOLIO NO. _____

DATE 5/18/94

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3614

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner ROBERT & LISA HOLLAND Present address 16 N. RIDGEVIEW RD.

Phone 223-9792 STUART, FL 34996

Contractor JOHN J. HILL CONSTRUCTION Address P.O. BOX 1516

Phone 287-9307 STUART, FL 34995

Where licensed STATE OF FLA. License number CGC 024800

Electrical Contractor SOUTH STAR License number MC 7747

Plumbing Contractor DAVE'S PLUMBING License number MC 00030

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: ADDITION OF ROOM & BATH

State the street address at which the proposed structure will be built:

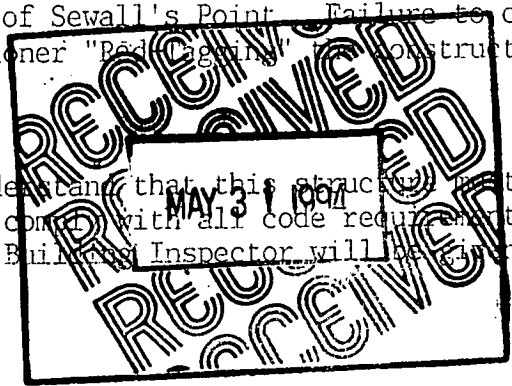
16 N. RIDGEVIEW ROAD

Subdivision HOMEWOOD Lot Number 8 Block Number B

Contract price \$ 30,000.00 Cost of permit \$ 645.72

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red Tagging" the construction project.



Contractor John J. Hill

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Robert & Lisa Holland

TOWN RECORD

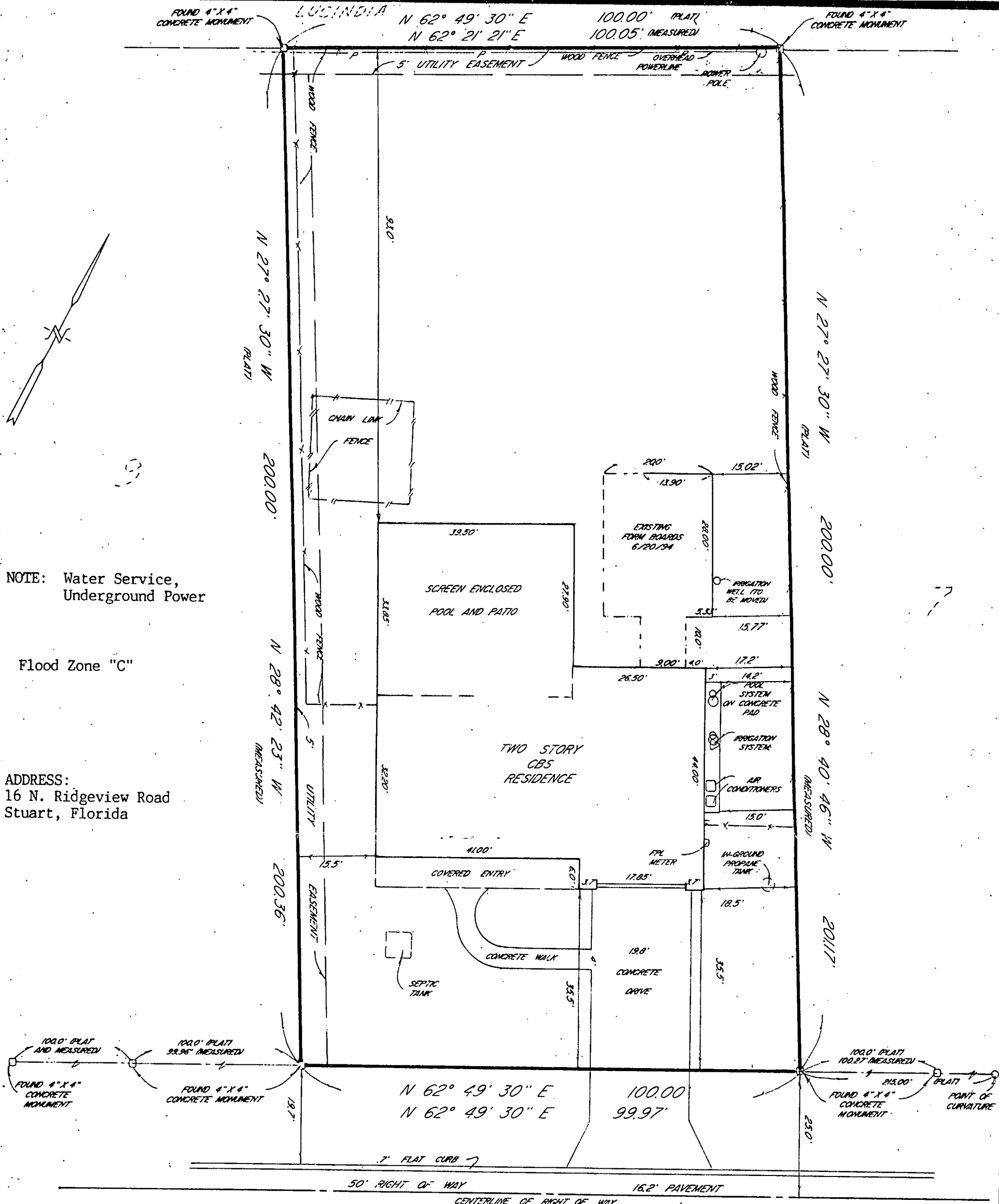
Approved: Dale Brown
Building Inspector Date

Date submitted _____

Approved: W. Van 5/8/94 Final approval given: _____
Commissioner Date Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____



NOTE: Water Service, Underground Power

Flood Zone "C"

ADDRESS:
16 N. Ridgeview Road
Stuart, Florida

N. RIDGEVIEW ROAD

LEGAL DESCRIPTION:

Lot 8, Block B, AMENDED PLAT OF HOMEWOOD, according to the plat thereof, recorded in Plat Book 3, Page 35, Public Records of Martin County, Florida.

CERTIFIED TO:

FIRST UNION NATIONAL BANK OF FLORIDA AND/OR ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR; FIRST AMERICAN TITLE INSURANCE COMPANY and ROBERT HOLLAND AND LISA A. HOLLAND and THE TOWN OF SEWALL'S POINT and RAYMOND ARMSTRONG AND GLENDA ARMSTRONG

Bearings hereon are referred to an assumed value of North 62° 49' 30" East for the North right-of-way line of N. Ridgeview Road; said bearing is identical with the plat of record.

• ADDITION FORM BOARDS 6/20/94 • W.O. #94-6839 •
• ADDITION STEEL PLAT 5/31/94 • W.O. #94-6791 •

• HOMEWOOD • Lot 8 • Blk B • HOLLAND •

| | |
|----------------------|--------------------------|
| DATE OF FIELD SURVEY | 5/5/94 |
| SCALE | 1" = 20' |
| PLAT NO. | 94-6791 |
| BOOK | 3 |
| PAGE | 35 |
| DATE OF PLAT | 10/11/94 |
| BY | PHILIP W. LANGBEHN |
| FOR | ROBERT & LISA A. HOLLAND |

PHILIP W. LANGBEHN
Land Surveyor, Inc.
Mailing: 1509 N.W. Lakeside Trail, Stuart, Florida 34994

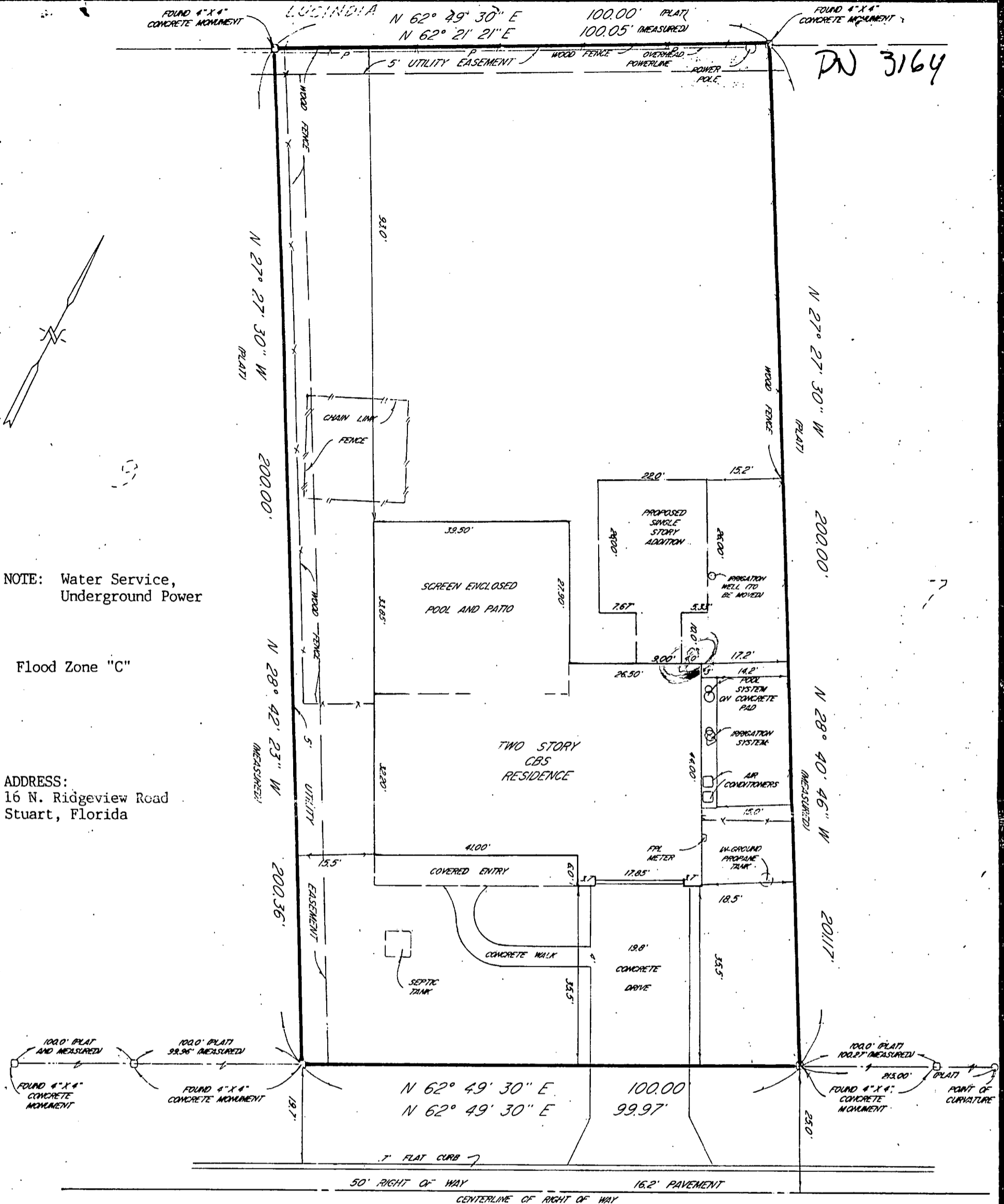
(407) 692-1254 / (407) 692-1257
FAX (407) 692-2110

CERTIFICATE: This is to certify that this SKETCH OF SURVEY, of the herein described property, is true and correct to the best of my knowledge and belief, contains no visible encroachments, unless shown, and meets the Minimum Technical Standards set forth in Chapter 61G126 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida Statutes.

PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA REGISTRATION NO. 3152

NOTE: NOT VALID UNLESS SEALED WITH AN UNDOSSSED SURVEYOR'S SEAL.
This SURVEY prepared from legal description supplied by client.

| | | | |
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NOTE: Water Service,
Underground Power

Flood Zone "C"

ADDRESS:
16 N. Ridgeview Road
Stuart, Florida

LEGAL DESCRIPTION:

Lot 8, Block B, AMENDED PLAT OF HOMEWOOD, according to the plat thereof, recorded in Plat Book 3, Page 35, Public Records of Martin County, Florida.

CERTIFIED TO:

FIRST UNION NATIONAL BANK OF FLORIDA AND/OR ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR;
FIRST AMERICAN TITLE INSURANCE COMPANY and ROBERT HOLLAND AND LISA A. HOLLAND and THE TOWN OF SEWALL'S POINT
and RAYMOND ARMSTRONG AND GLENDA ARMSTRONG

Bearings hereon are referred to an assumed value of North 62° 49' 30" East for the North right-of-way line of N. Ridgeview Road; said bearing is identical with the plat of record.

• ADDITION SITE PLAN 5/31/94 • W.O.#94-6791 •

• HOMEWOOD • Lot 8 • Blk B • HOLLAND •

| | | | |
|---------------------------------|-------------------|--------------------|-------------------|
| DATE OF FIELD REPORT 5/25/94 | SCALE 1" = 20' | JOB NO. 94-6791 | DATE 5/25/94 |
| CHECKED JL | DRAWN JL | DATE 5/25/94 | SCALE 1" = 20' |

PHILIP W. LANGBEHN
Land Surveyor, Inc.
Mailing: 1509 N.W. Lakeside Trail, Stuart, Florida 34994
(407) 692-1254 / (407) 692-1257
FAX (407) 692-2110

CERTIFICATE: This is to Certify that this SCETCH OF SURVEY, of the hereon described property, is true and correct to the best of my knowledge and belief, contains no visible encroachments, unless shown, and meets the Minimum Technical Standards set forth in Chapter 61G17-6 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida Statutes.

NOTE: NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
This SURVEY prepared from legal description supplied by client.

PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA REGISTRATION NO. 3152

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3737

SCREEN ENCLOURE

TAX FOLIO NO. 01-3841-006-002-00080

DATE 2-7-95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, CANOPY OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Robert Holland Present address 16 N Ridgeview

Phone _____

Contractor Sailfish ALUMINUM address 801 SW, Jaslo Ave-PSL

Phone 336-3409

Where licensed Martin County License number SP01985

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: extend screen enclosure

State the street address at which the proposed structure will be built:

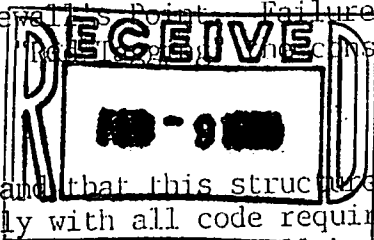
16 N. Ridgeview Road, Stuart, FL. 34996

Subdivision Homewood Lot Number 8 Block Number B

Contract price \$ 700.00 Cost of permit \$ 24 XX

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sevall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sevall's Point. Failure to comply may result in a Building Inspector or Town Commissioner stopping the construction project.



Contractor Bruce Jacobs

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sevall's Point before final approval by a Building Inspector will be given.

Owner Robert Holland

TOWN RECORD

Date submitted _____

Approved: Dale Brown 2/9/95
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____ Date

PERMIT NO. _____

FOUND 4" X 4" CONCRETE MONUMENT

LUCCINDIA

N 62° 49' 30" E
N 62° 21' 21" E

100.00' PLAT
100.05' MEASURED

FOUND 4" X 4" CONCRETE MONUMENT

N 27° 27' 30" W
200.00' PLAT

N 27° 27' 30" W
200.00' PLAT

N 28° 42' 23" W
200.36' MEASURED

N 28° 40' 46" W
201.17' MEASURED

200.36' MEASURED

201.17' MEASURED

100.0' PLAT
99.96' MEASURED

FOUND 4" X 4" CONCRETE MONUMENT

N 62° 49' 30" E
N 62° 49' 30" E

100.00
99.97'

100.0' PLAT
100.27' MEASURED

FOUND 4" X 4" CONCRETE MONUMENT

50' RIGHT OF WAY
16.2' PAVEMENT
CENTERLINE OF RIGHT OF WAY

N. RIDGEVIEW ROAD

DESCRIPTION:

Block B, AMENDED PLAT OF HOMEWOOD, according to the plat thereof, recorded in Plat Book 3, Page 35, Records of Martin County, Florida.

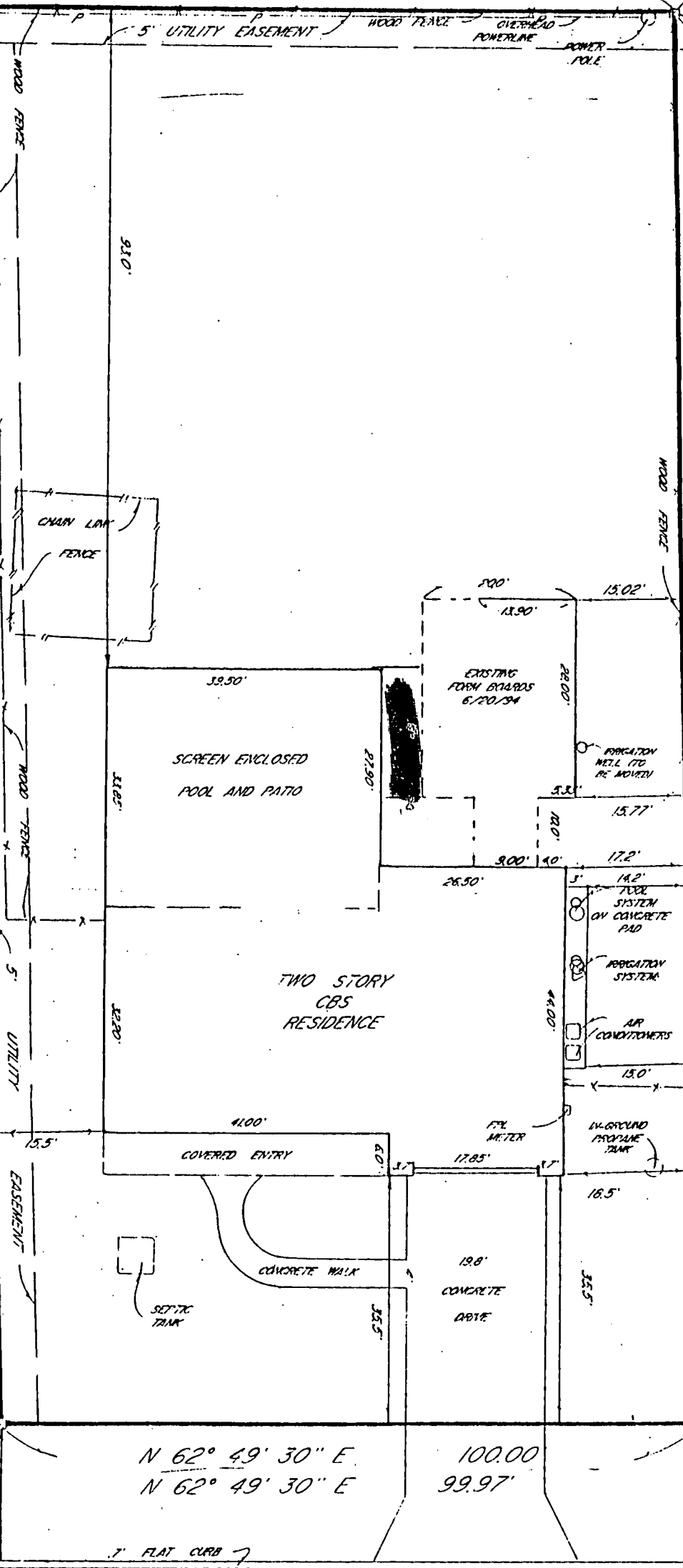
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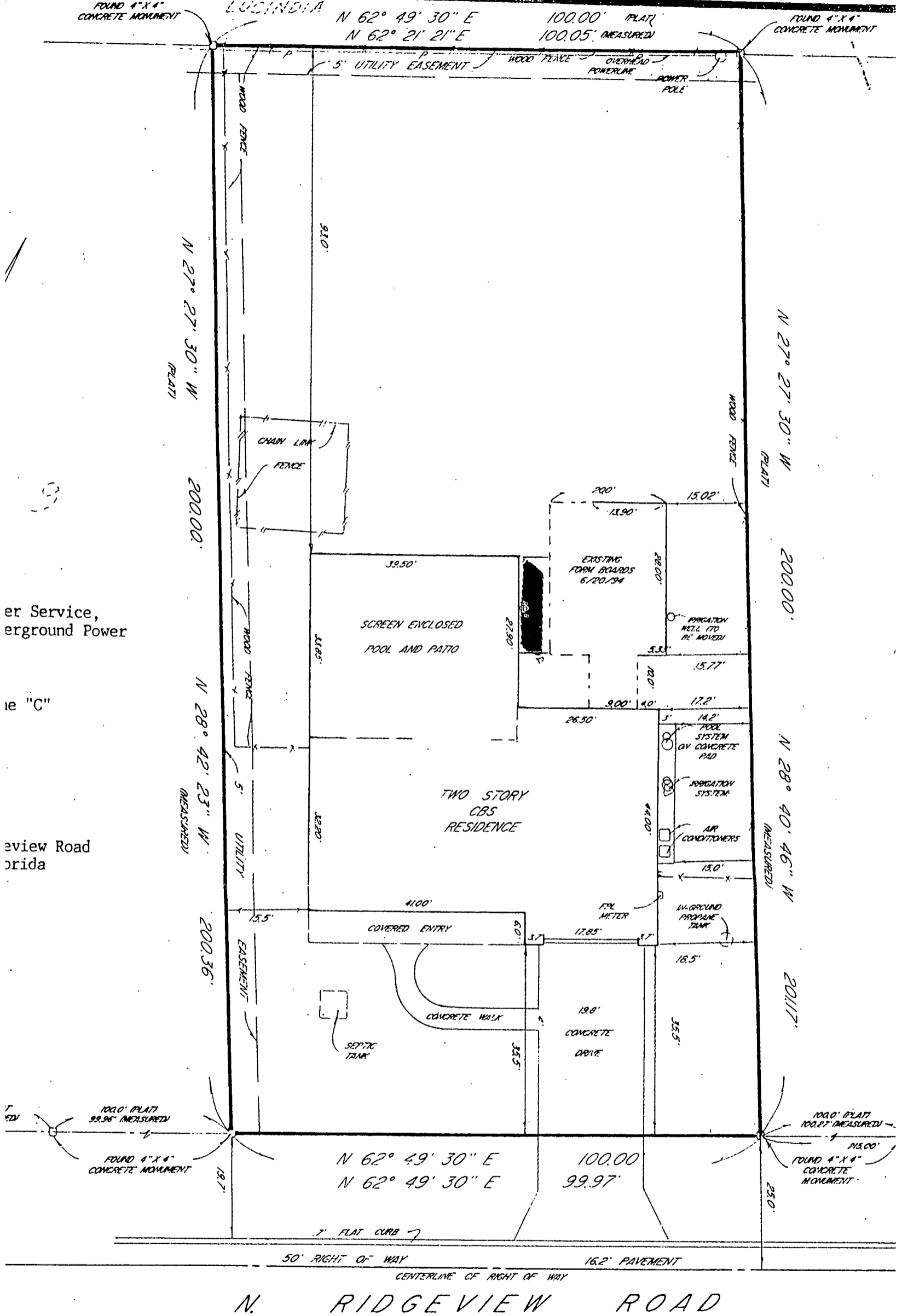
BY THE NATIONAL BANK OF FLORIDA AND/OR ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR.

Water Service,
Underground Power

View "C"

View Road
Ridgeview





er Service,
erground Power

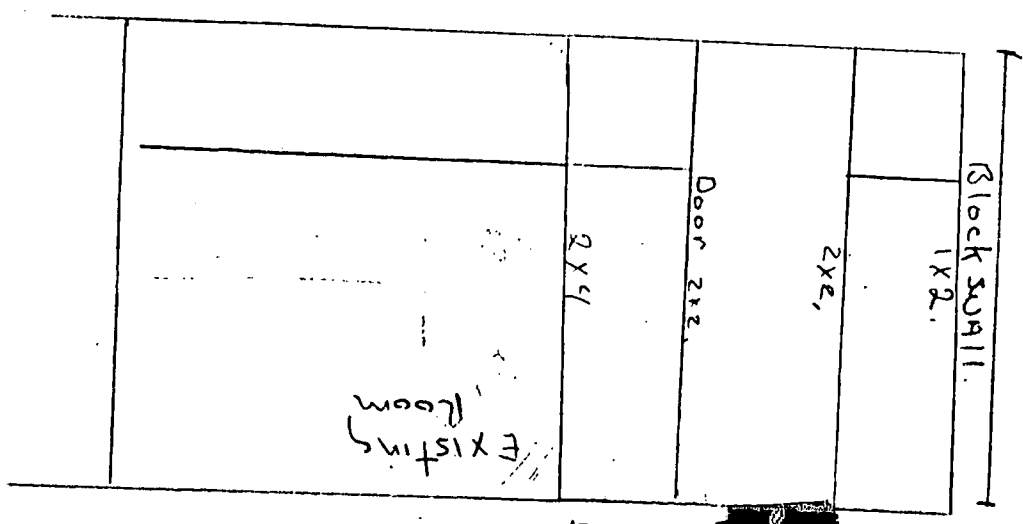
ie "C"

view Road
rida

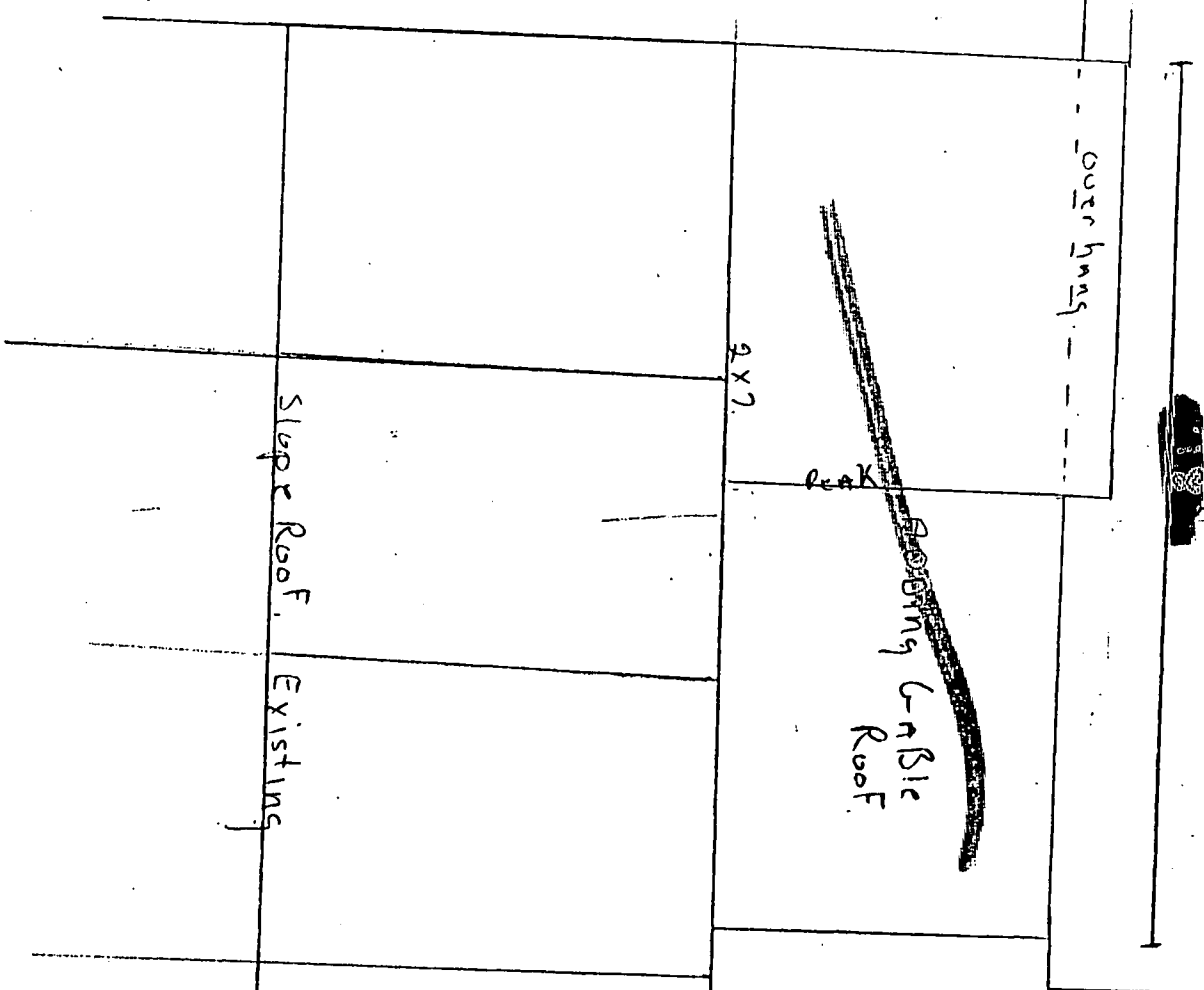
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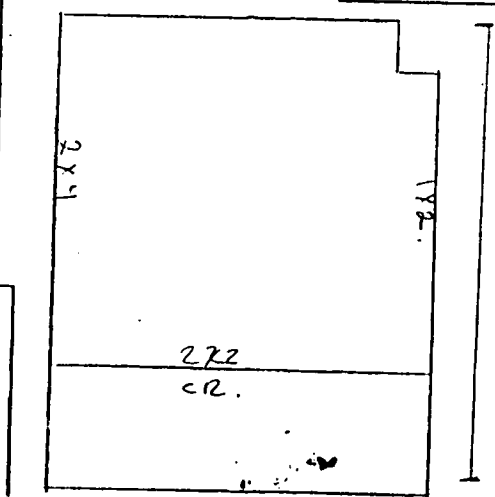
FILED TO:



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Resident.



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Resident.

223-97927
220-47427

| DATE | REVISIONS | CHK |
|------|-----------|-----|
| 1/94 | | |
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THE ENGINEERING PROVIDED WITH THESE DRAWINGS MEETS THE STANDARD BUILDING CODE REQUIREMENTS FOR THE TYPES OF STRUCTURES SHOWN.

ALL INFORMATION AND DETAILS CONTAINED ON THIS DRAWING ARE PROPERTY OF LAWRENCE E. BENNETT, P.E. AND MAY NOT BE REPRODUCED/COPIED OR USED IN ANY MANNER WITHOUT HIS WRITTEN PERMISSION. INFORMATION IS NOT VALID WITHOUT HIS SIGNATURE AND EMBOSSED SEAL ON MASTER FILE COPY BELONGING TO THE PERSON USING A COPY OF THIS.

**ALUMINUM
FRAME STRUCTURES**

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 1135 N. MERIBERT STREET
 PORT ORLANDO, FLORIDA 32119
 (904) 767-4774

NOV 09 1993
 SEAL

SHEET #
2
 OF 3

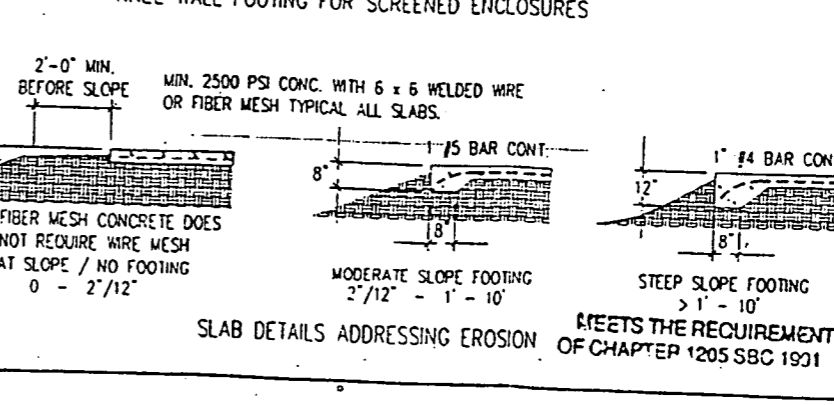
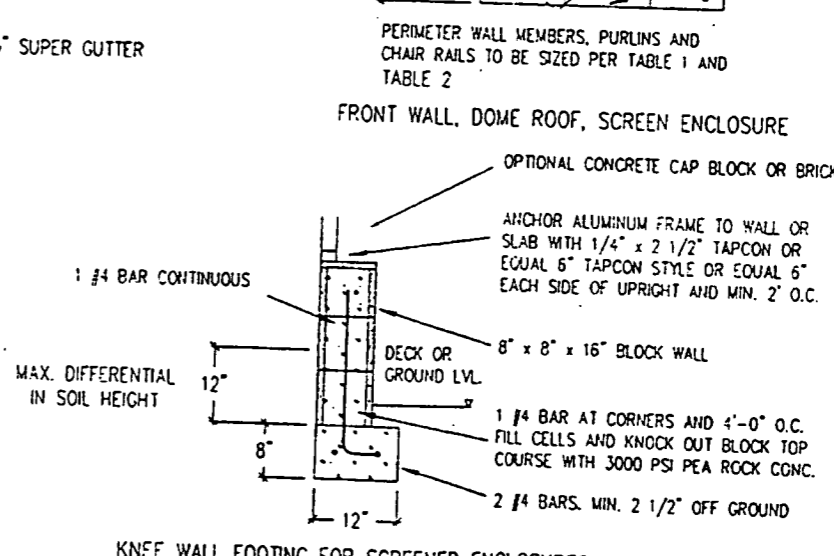
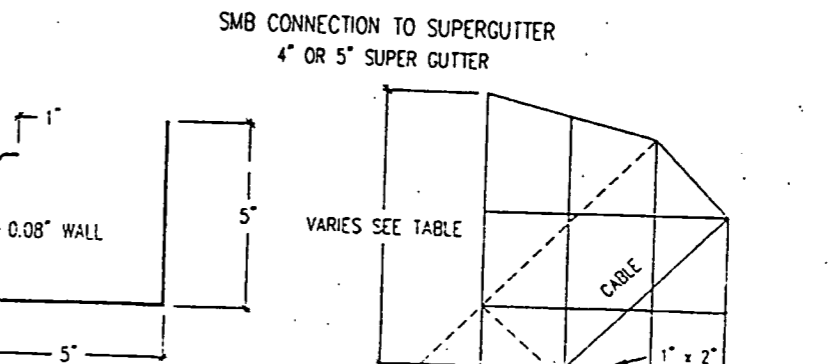
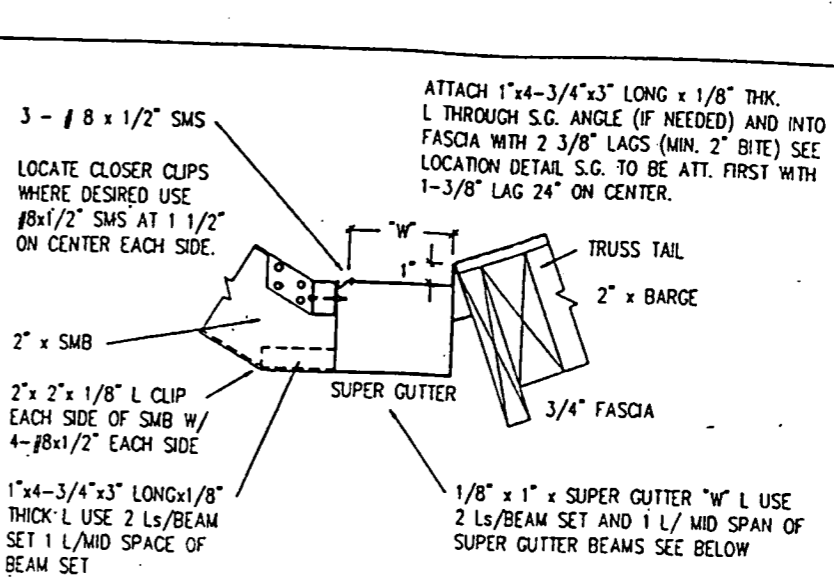
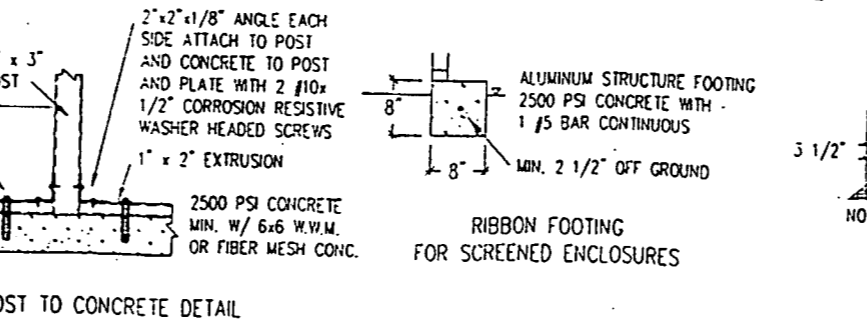
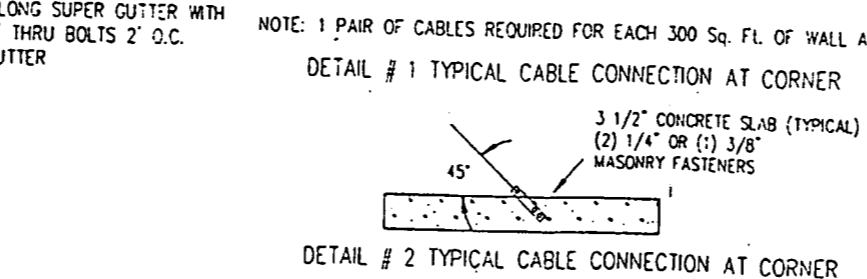
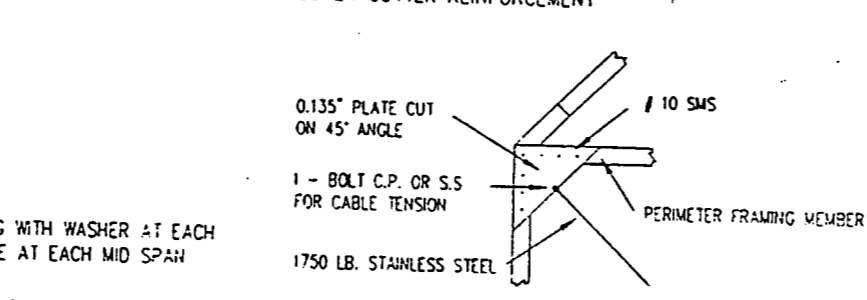
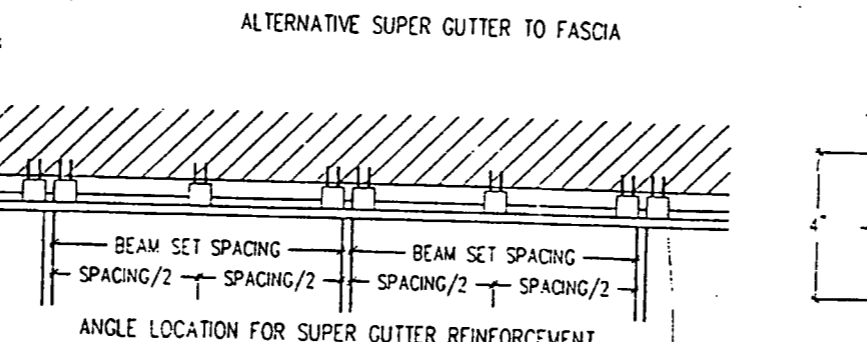
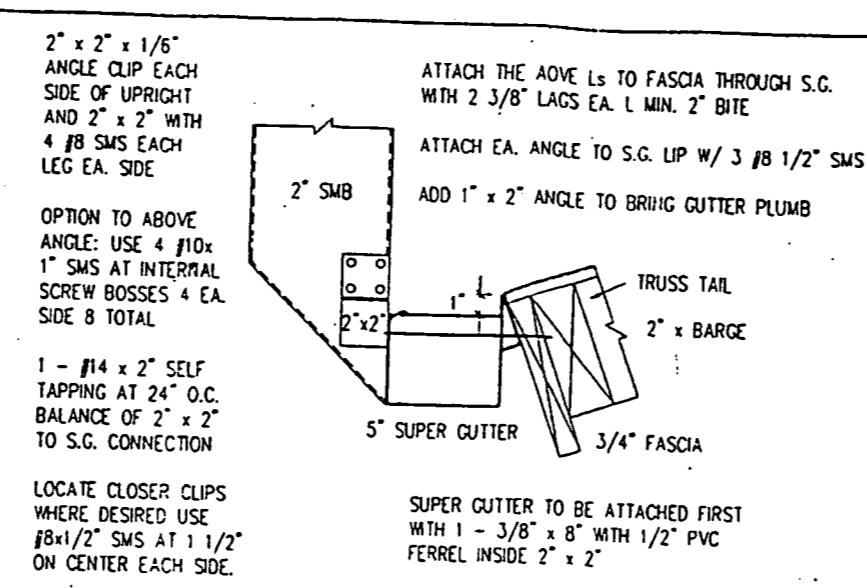
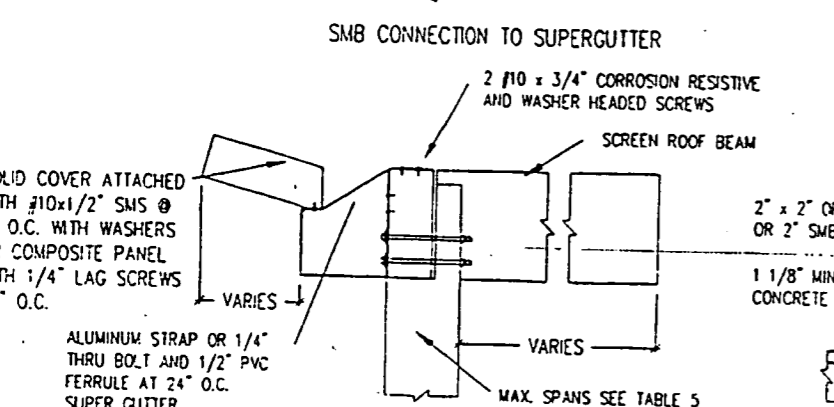
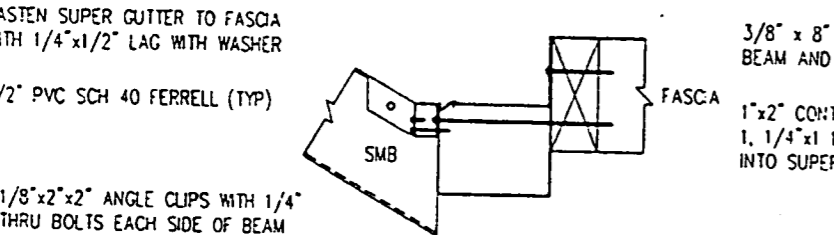
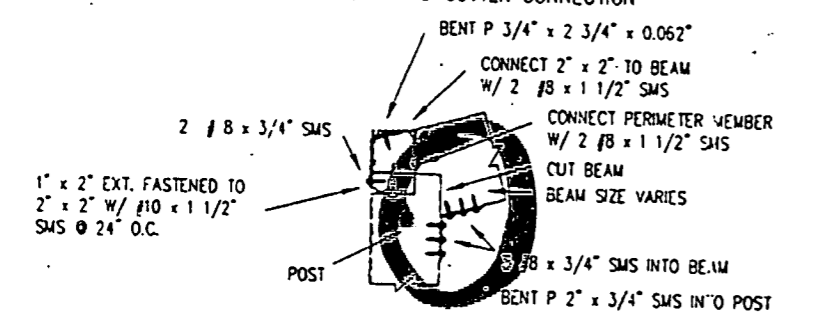
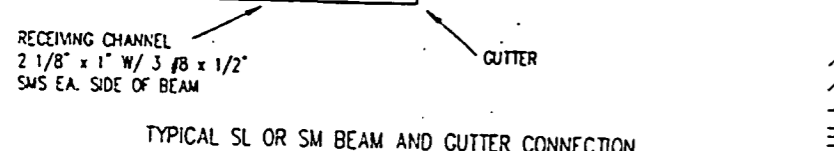
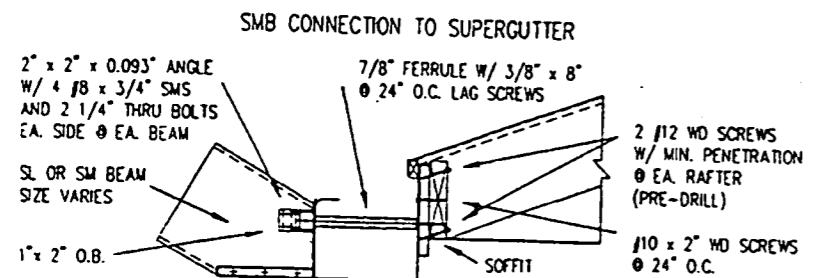
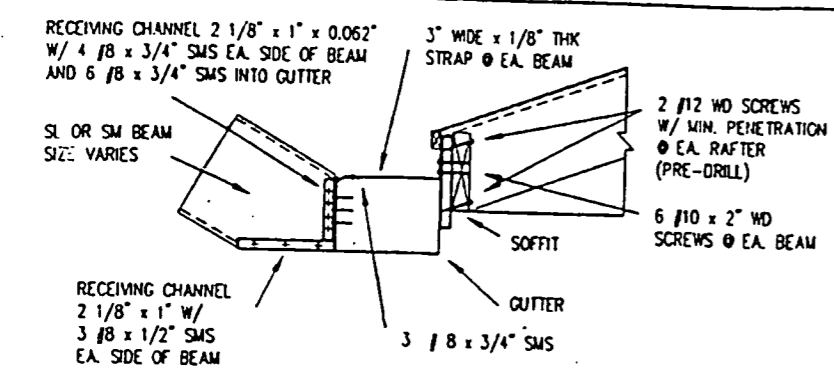


TABLE 1: MAXIMUM SPANS FOR SCREEN ROOF BEAMS OF ALUMINUM ALLOY 6063 T-6 FOR SPAN "L" OF BEAM; USE SCREEN PANEL WIDTH "W" FROM DRAWING.

Table with columns for width 'W' (3, 4, 5, 6, 7, 8, 9) and rows for different beam sizes and types (e.g., 2x2x0.044x0.12, 2x2x0.093 OR 2x3x0.050 EXT, SELF MATING BEAMS).

ABOVE SPANS DO NOT INCLUDE LENGTH OF KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO ABOVE SPANS FOR TOTAL BEAM SPAN. SEE TABLE 4

PURLIN SPACING SHALL NOT EXCEED 6'-8" (40x WEB THICKNESS); FOR BEAM SPANS GREATER THAN 40' THE BEAM @ THE CENTER PURLIN AND ONE PURLIN FOR EACH 10' ON EACH SIDE OF THE CENTER PURLIN SHALL INCLUDE LATERAL BRACING AS SHOWN IN DETAIL ON PAGE 6-16.

TABLE 3: MINIMUM # SCREWS FOR CONNECTING ROOF BEAMS TO WALL UPRIGHTS ALUMINUM ALLOY 6063 T-6

Table with columns: BEAM SIZE, UPRIGHT SIZE (MIN), MIN. # & LGTH OF SCREWS REQUIRED.

* REFERS TO EACH SIDE OF THE CONNECTION OF THE BEAM AND UPRIGHT

TABLE 6: ALLOWABLE LOADS ON SCREWS & BOLTS AS RECOMMENDED BY MANUFACTURERS SELF TAPPING & MACHINE SCREWS ALLOWABLE LOADS

Table with columns: # SCREW, SINGLE SHEAR lbs, DOUBLE SHEAR lbs, WITHDRAWAL lbs.

WOOD LAG SCREW LOADS USING SOUTHERN PINE S.G., 0.55 OR EQUIVALENT 1-1/2" EMBEDMENT WOOD EMBEDDED INTO MUST BE A MINIMUM OF 1-1/2" THICKNESS

Table with columns: # SCREW, LATERAL SHEAR lbs, LATERAL SHEAR/METAL PLATES lbs, WITHDRAWAL lbs.

CONCRETE SCREWS & BOLTS IN CONCRETE EMBEDMENT MUST BE A MINIMUM OF 1-1/2" THICKNESS W/ 1-1/4" FROM EDGE

Table with columns: SCREW DIA., TENSION CONCRETE, SHEAR CONCRETE, TENSION CONCRETE, SHEAR CONCRETE.

TABLE 1a: MAXIMUM SPANS FOR SCREEN ROOF BEAMS OF ALUMINUM ALLOY 6063 T-6 FOR AREAS SUBJECT TO ICE AND WIND LOAD. AREAS NORTH OF THE LATITUDE OF JACKSONVILLE, FLORIDA

Table similar to Table 1 but for areas north of Jacksonville, Florida. Includes a large handwritten 'X' over the table.

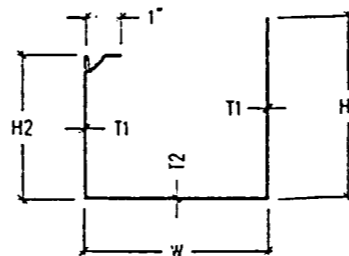
ABOVE SPANS DO NOT INCLUDE LENGTH OF KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO ABOVE SPANS FOR TOTAL BEAM SPAN

PURLIN SPACING SHALL NOT EXCEED 6'-8" (40x WEB THICKNESS). FOR BEAM SPANS GREATER THAN 40' THE BEAM @ THE CENTER PURLIN AND ONE PURLIN FOR EACH 10' ON EACH SIDE OF THE CENTER PURLIN SHALL INCLUDE LATERAL BRACING.

TABLE 4: MINIMUM SIZES OF SCREEN ENCLOSURE KNEE BRACES AND ANCHORING REQUIRED; ALUMINUM ALLOY 6063 T-6

Table with columns: BRACE LGTH, EXTRUSION, ANCHORING SYSTEM.

NOTE: FOR REQUIRED KNEE BRACES GREATER THAN 4'-6" CALL ENGINEER FOR SPECIFICATIONS AND DETAILS BRACE LENGTH REFERS TO HORIZONTAL AND VERTICAL LENGTH, NOT THE ANGLE LENGTH.



GUTTER EXTRUSION (GE)

Table with columns: SECTION, ALLOY, W, H, t1, t2, A, Ix, Iy, Sx, Sy, Rx, Ry.

TABLE 2: MAXIMUM UPRIGHT LENGTH FOR SCREEN WALL MEMBERS ALUMINUM ALLOY 6063 T-6

Table with columns for width 'W' (3, 4, 5, 6, 7, 8, 9) and rows for different beam sizes and types.

ABOVE HEIGHTS DO NOT INCLUDE LENGTH OF KNEE BRACE. ADD VERTICAL LENGTH OF KNEE BRACE TO ABOVE HEIGHTS FOR TOTAL UPRIGHT HEIGHT.

TABLE 5: MAXIMUM SPANS FOR SUPERGUTTER & SMB W/ SCREENED ENCLOSURE ONE SIDE AND SOLID ROOF OTHER SIDE; ALUMINUM ALLOY 6063 T-6

Table with columns: BEAMS & 4" SUPERGUTTER, BEAMS & 5" SUPERGUTTER.

NOTE: ALL SPANS AND CAPACITIES ARE BASED ON WORST CASE OF UPLIFT LOADS DUE TO WIND VELOCITIES. MEETS THE REQUIREMENTS OF CHAPTER 1205 SBC 1991

Professional Engineer seal for Lawrence E. Bennett, P.E., including date (1/94), revisions, and contact information (1119 HERBERT STREET, PORT ORANGE, FLORIDA 32119).

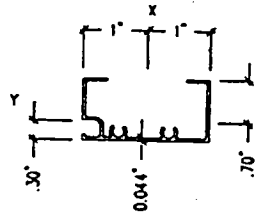
ALUMINUM FRAME STRUCTURES

10/09/1993 SEAL

SHEET 1

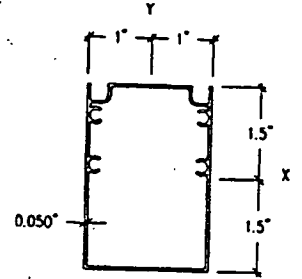
3

of 3



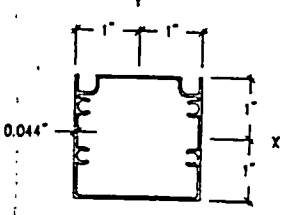
A = 0.23 in.²
 WT = 0.28 p.l.f.
 Ix = 0.14 in.⁴
 Sx = 0.14 in.³
 6063 - T6

1" x 2" x 0.044" OPEN BACK EXTRUSION



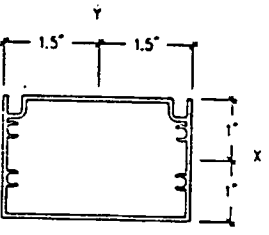
A = 0.57 in.²
 WT = 0.70 p.l.f.
 Ix = 0.70 in.⁴
 Sx = 0.44 in.³
 6063 - T6

2" x 3" x 0.050" PATIO EXTRUSION



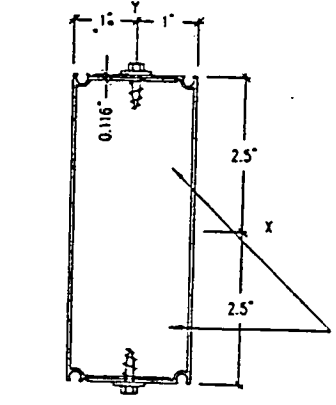
A = 0.43 in.²
 WT = 0.51 p.l.f.
 Ix = 0.24 in.⁴
 Sx = 0.23 in.³
 6063 - T6

2" x 2" x 0.044" PATIO EXTRUSION



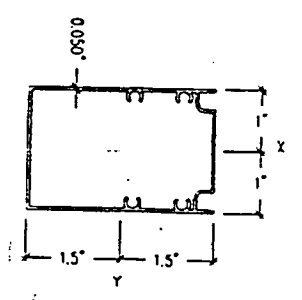
A = 0.62 in.²
 WT = 0.74 p.l.f.
 Ix = 0.30 in.⁴
 Sx = 0.30 in.³
 6063 - T6

3" x 2" x 0.050" PATIO EXTRUSION



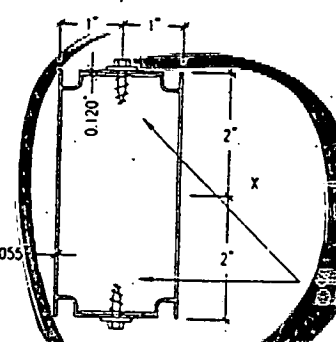
A = 0.99 in.²
 WT = 1.85 p.l.f.
 Ix = 1.54 in.⁴
 Sx = 1.54 in.³
 6063 - T6

2" x 5" x 0.055" SELF MATING EXTRUSION



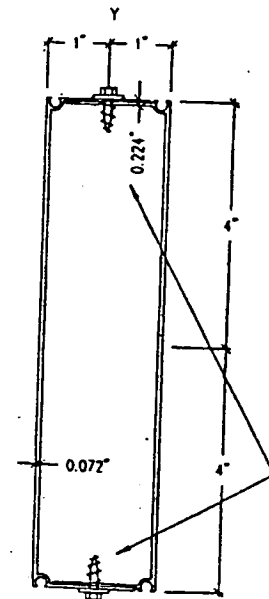
A = 0.58 in.²
 WT = 0.69 p.l.f.
 Ix = 0.37 in.⁴
 Sx = 0.37 in.³
 6063 - T6

3" x 2" x 0.050" PATIO EXTRUSION



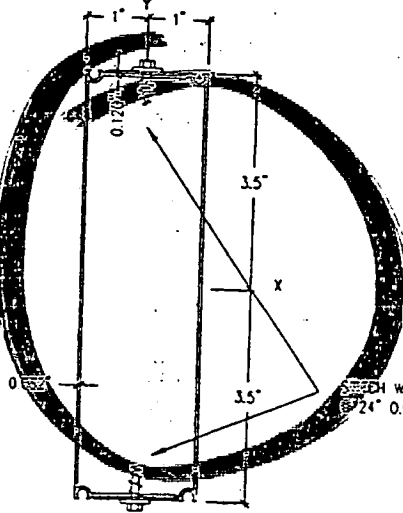
A = 0.83 in.²
 WT = 0.98 p.l.f.
 Ix = 2.20 in.⁴
 Sx = 1.10 in.³
 6063 - T6

2" x 4" x 0.055" x 0.120" SELF MATING EXTRUSION



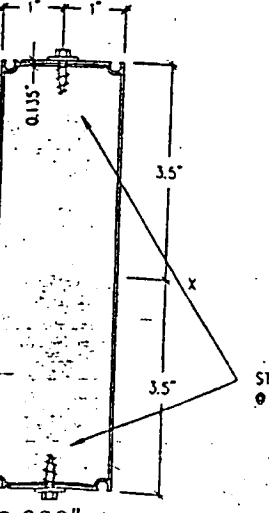
A = 1.92 in.²
 WT = 2.29 p.l.f.
 Ix = 17.74 in.⁴
 Sx = 4.44 in.³
 6063 - T6

2" x 8" x 0.072" x 0.224" SELF MATING EXTRUSION



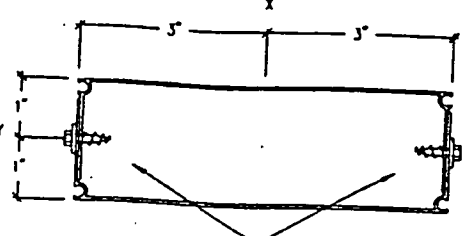
A = 1.35 in.²
 WT = 1.61 p.l.f.
 Ix = 8.87 in.⁴
 Sx = 2.54 in.³
 6063 - T6

2" x 7" x 0.062" x 0.120" SELF MATING EXTRUSION



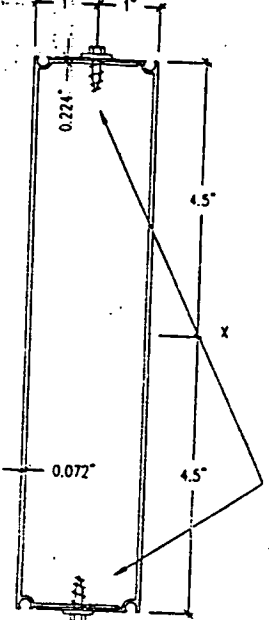
A = 1.37 in.²
 WT = 1.64 p.l.f.
 Ix = 9.51 in.⁴
 Sx = 2.71 in.³
 6063 - T6

2" x 7" x 0.062" x 0.135" SELF MATING EXTRUSION



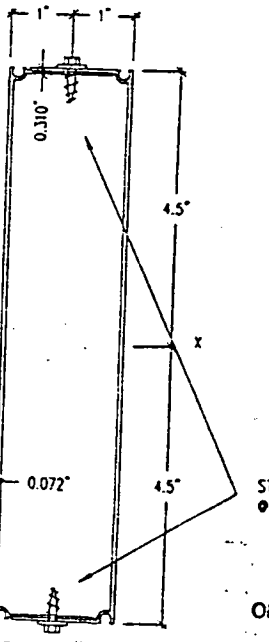
A = 1.14 in.²
 WT = 1.36 p.l.f.
 Ix = 5.90 in.⁴
 Sx = 1.97 in.³
 6063 - T6

2" x 6" x 0.055" x 0.120" SELF MATING EXTRUSION



A = 2.19 in.²
 WT = 2.62 p.l.f.
 Ix = 24.62 in.⁴
 Sx = 5.47 in.³
 6063 - T6

2" x 9" x 0.072" x 0.224" SELF MATING EXTRUSION



A = 2.44 in.²
 WT = 2.92 p.l.f.
 Ix = 30.48 in.⁴
 Sx = 6.77 in.³
 6063 - T6

2" x 9" x 0.072" x 0.310" SELF MATING EXTRUSION

| DATE | REVISIONS | CHK |
|------|-----------|-----|
| 1/94 | | |
| | | |
| | | |
| | | |
| | | |

THE ENGINEERING PROVIDED WITH THESE DRAWINGS MEETS THE STANDARD BUILDING CODE REQUIREMENTS FOR THE TYPES OF STRUCTURES SHOWN.
 ALL INFORMATION AND DETAILS CONTAINED ON THIS DRAWING ARE PROPERTY OF LAWRENCE E. BENNETT AND MAY NOT BE REPRODUCED/COPIED OR USED IN ANY MANNER WITHOUT HIS WRITTEN PERMISSION. INFORMATION IS NOT VALID WITHOUT HIS SIGNATURE AND EMBOSSED SEAL ON MASTER FILE COPY BELONGING TO THE PERSON USING A COPY OF THIS.

**ALUMINUM
 FRAME STRUCTURES**

LAWRENCE E. BENNETT, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 1148 HERBERT STREET
 PORT CHARLOTTE, FLORIDA 32119
 (904) 767-4774

10/11/93
 SEAL

SHEET 1
3a
 of 3

MEETS THE REQUIREMENTS OF CHAPTER 1205 SBC 1091 ED

7659

FENCE

TOWN OF SEWALL'S POINT

Date 6/29/05

BUILDING PERMIT NO. 7659

Building to be erected for Holland Type of Permit fence

Applied for by D/B (Contractor) Building Fee 30⁰⁰

Subdivision Honewick Lot 8 Block _____ Radon Fee _____

Address 16 N Ridgeview Rd Impact Fee _____

Type of structure fence / SPR A/C Fee _____

Parcel Control Number:

01-38-41 006 002 00080-5

Electrical Fee _____

Plumbing Fee _____

Roofing Fee _____

Amount Paid 30⁰⁰ Check # _____ Cash X Other Fees (_____)

Total Construction Cost \$ 1800⁰⁰

TOTAL Fees 30⁰⁰

Signed Lisa Holland
Applicant

Signed Gene Simmons (GHS)
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

Renewed: Renewal/Inspection fee \$505
Pd. 12/24/07 CK # 15617

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 6/29/05

BUILDING PERMIT NO. 7659

Building to be erected for Holland

Type of Permit fence

Applied for by D/R

(Contractor) Building Fee 30⁰⁰

Subdivision Holland Lot 8 Block B

Radon Fee _____

Address 1601 K. ... Rd

Impact Fee _____

Type of structure fence / SR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

01-38-41 006 002 00080-5

Plumbing Fee _____

Amount Paid 30⁰⁰ Check # _____ Cash Other Fees (_____)

Roofing Fee _____

Total Construction Cost \$ 1800⁰⁰

TOTAL Fees 30⁰⁰

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input checked="" type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | | | |
|-----------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEMWALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF TIN TAG/METAL | _____ | ROOF-IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | EARLY POWER RELEASE | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

E. DANIEL MORRIS
Mayor

PAMELA M. BUSHA
Vice Mayor

THOMAS P. BAUSCH
Commissioner

NEIL SUBIN
Commissioner

DON OSTEEN
Commissioner



ROBERT KELLOGG
Town Manager

JOAN H. BARROW
Town Clerk

ERIC CERNIGLIA
Chief of Police

JOHN R. ADAMS
Building Official

NOTICE OF EXPIRED PERMIT

January 19, 2007

Raymond Holland
16 N Ridgeview Rd
Sewall's Point, FL 34996

This correspondence is intended as a follow-up to a building permit and specific improvements associated with 16 N Ridgeview Rd., more specifically permit # 7659 issued on 6/29/05 for a fence.

Town records indicate that at least 180 days have passed without a successful recorded inspection. Your permit is now expired without benefit of a required final inspection.

Town of Sewall's Point Code of Ordinances section 50-94 states: Failure to obtain an approved inspection within 180 days of the previous approved inspection shall constitute suspension or abandonment. (2) If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and the work required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

In order to avoid further administrative action please arrange to schedule a final inspection of this permit by the Town of Sewall's Point Building Department no later than ten days from date of this letter. Your permit will need to be renewed and is subject to any applicable renewal or inspection fees.

Please contact me with any questions.

With Best Regards,

John R. Adams, C.B.O.
Building Official



One S. Sewall's Point Road, Sewall's Point, Florida 34996

Town Hall (772) 287-2455 • Fax (772) 220-4765 • E-Mail: clerk@sewallspoint.martin.fl.us
Building Department (772) 287-2455 • Fax (772) 220-4765 • E-Mail: jadams@sewallspoint.martin.fl.us

RECEIVED
7/28/05

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____
OWNER/TITLEHOLDER NAME: Robert Holland Phone (Day) 223-9792 (Fax) 220-4742

Job Site Address: 16 N. Ridgewood Rd City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Homewood Lot 8 Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Fence

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1200

(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is Improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.
CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Robert Holland

State of Florida, County of: MARTIN

This the 28th day of JUNE, 2005

by Robert Holland who is personally known to me or produced as identification.

453-773-5906
[Signature]
Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)

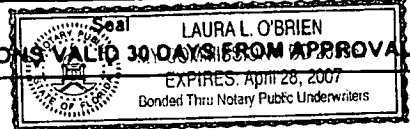
On State of Florida, County of: _____

This the _____ day of _____ 2005

by _____ who is personally known to me or produced

As identification. _____

Notary Public
My Commission Expires: _____



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

shadow box fence

No OBSTRUCTIONS

NORTH LINE, LOT 16, ARBELA S/D.

N 62° 49' 30" E 100.00' (P)

N.O. 26.15
W. 3.14'

N.O. 27
W. 2.76'

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 6/29/05
 BUILDING OFFICIAL
 Gene Simmons

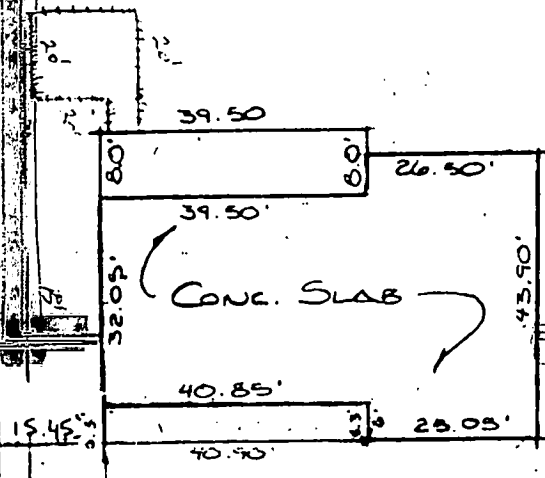
UTILITIES EASEMENT

MAX. 6' HIGH

LOT 9

N 27° 27' 30" W 200.00' (P)

N 27° 27' 30" W 200.00' (P)



SEPT

N.O. 72
E. 2.06'

N 62° 49' 30" E 100.00' (P)

N.O. 15
W. 0.30'

RIDGEVIEW ROAD

50' R/W

S.M. 436966
Datum: EL. 11.83

No OBSTRUCTIONS

TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

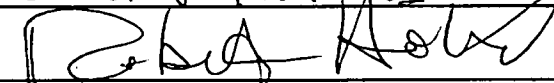
TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Robert Holland Date: 6/27/05

Signature: 

Address: 16 N Rodgers Rd

City & State: Sewall's Point

Permit No. _____

APPLICATION FOR A PERMIT TO BUILD A DECK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE ON A HOUSE OR A COMMERCIAL BUILDING

2248

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Raymond H. Armstrong Present Address 16 N. Ridgeview Rd.

Phone 287-8389 Stuart FL 34996

Contractor _____ Address _____

Phone _____

Where licensed _____ License number _____

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Fence around perimeter of property -
(Hurricane pet pen)

State the street address at which the proposed structure will be built:

16 N. Ridgeview Rd., Stuart, FL.

Subdivision: Homewood Lot number 8 Block number _____

Contract price \$ 1,850.00 Cost of permit \$ _____

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor Raymond H. Armstrong

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Raymond H. Armstrong

TOWN RECORD
Approved: Dale Broe
Building Inspector Date _____

Date submitted _____

Approved: _____ Commissioner Date _____ Final Approval given: _____ Date _____

Certificate of Occupancy issued (if applicable) _____ Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.



TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 10 N. RIDGEVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.


FENCE

NOT COMPLETE

RESCHEDULE FINAL INSPECTION

WHEN READY

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 1/20  _____

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 1-26, 2007 Page 1 of 2

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|--------------|----------------------------------|---|---------|--|
| 8494 | Libitsky 3 Rio Vista | Final-shutters | PASS | CLOSE |
| 3 | O/B | | | INSPECTOR: <i>[Signature]</i> |
| 7659 | Holland | fence final | FAIL | |
| 4 | 16 N. Ridgeway Rd O/B | Permit on fence-left side | | INSPECTOR: <i>[Signature]</i> |
| Tree | Aune | Tree | PASS | |
| 7 | 1 Michael Rd O/B | | | INSPECTOR: <i>[Signature]</i> |
| 6668 | Astole | Final-remodel | PASS | CLOSE |
| also 6733 | 21 Perriewinkle Cres. O/B | A/C Final | PASS | CLOSE INSPECTOR: <i>[Signature]</i> |
| 8409 | Vanfossen | Final-roof | PASS | CLOSE |
| 1 | 158 S River Rd Pacific Roof. | | | INSPECTOR: <i>[Signature]</i> |
| 8493 | Galino | inspect - Pool Steel + main drain | PASS | |
| 6 | 26 S Sewalls Pt Olympic Pools | | | INSPECTOR: <i>[Signature]</i> |
| 8441 | Dressler | plumbing + | PASS | |
| 1A | 12 Island Rd Harbor Course | elect rough | PASS | INSPECTOR: <i>[Signature]</i> |
| OTHER: _____ | | | | |
| | | | | |
| | | | | |

8230

RE-ROOF

Martin County SP01-2006000
MASTER PERMIT NO.

TOWN OF SEWALL'S POINT

Date 5-12-06

BUILDING PERMIT NO. 8230

Building to be erected for Holland

Type of Permit Reroof

Applied for by All County Bldgs. (Contractor)

Building Fee

Subdivision Homewood Lot 8 Block

Radon Fee

Address 16 N Ridgerview Rd

Impact Fee

Type of structure SKR

A/C Fee

Parcel Control Number:

013841006-002-0008.050000

Electrical Fee

Plumbing Fee

Roofing Fee 120-

Amount Paid Check # Cash Other Fees ()

Total Construction Cost \$ 28845-

TOTAL Fees 120-

Signed Applicant

Signed Valerie Meyer
Town Building Clerk





MARTIN COUNTY BUILDING PERMIT

CARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE FRONT OF THE PREMISES WITHIN VIEW OF THE STREET BEFORE WORK IS STARTED.

Permit Number: SP01 - 20060005
Permit Type: SEWALLS POINT
Date Issued: 12-MAY-06
Project:
Scope of Work: REMOVE & REPLACE TILE & UNDERLAYMENT WITH NEW FELT & 24 GAUGE STANDING SEAM

| | | |
|------------------------|--|---|
| Applicant/Contact: | PELTON, JEFFERY T / | |
| Parcel Control Number: | 01-38-41-006-002-0008.0-50000 | |
| Subdivision: | HOME WOOD (SEWALL'S PT) | |
| Construction Address: | 16 N RIDGEVIEW RD | |
| Location Description: | | |
| Owner Name: | HOLLAND, ROBERT | |
| Prime Contractor: | PELTON, JEFFERY T 1801 SE ELKHART TER PSL, FL 34952-8809 | ALL COUNTY BUILDERS INC 772-631-1840 License No.: CBC1253570 |

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for Martin County, Florida. This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department. Permit expires one hundred eighty (180) days from the date of issuance if work is not started or if work is suspended for a period of six months. Per FBC Section 3305, sanitary facilities shall be provided during construction, remodeling, or demolition activities.

"NOTICE: IN ACCORDANCE TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES."

"WARNING TO OWNER; YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."
A CERTIFIED COPY OF RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE ISSUING AUTHORITY PRIOR TO THE FIRST INSPECTION.

ALL REINSPECTIONS OR ADDITIONAL INSPECTIONS WILL BE CHARGED AT A RATE ESTABLISHED BY THE BOARD OF COUNTY COMMISSION. NOTICE: DO NOT ORDER CONCRETE UNTIL INSPECTION IS APPROVED.

UPON COMPLETION OF WORK, A FINAL INSPECTION MUST BE CALLED FOR BY THE CONTRACTOR. FAILURE TO DO SO WILL RESULT IN A DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR.

INSPECTIONS

Phone 221-2364 (interactive voice) or 288-5489 for inspections. 24 hour notice is required.
The inspections listed below may not represent all necessary required inspections for the scope of work.

6099 Residential Final _____ 6056 Roof Underlayment/FI _____

RECEIVED
REBUILDING PERMIT APPLICATION

Date: 4-15-06 Town of Sewall's Point Permit Number: _____

OWNER/TITLEHOLDER NAME: Robert & Lisa Holland Phone (Day) 285 8085 (Fax) _____

Job Site Address: 66 Ridgeview City: Sewall's Pointe State: Fla Zip: 34944

Legal Desc. Property (Subd/Lot/Block) Homewood lot 9 Blk B Parcel Number: 01-38-41-006-002-00080-5

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Remove & replace tile & underlayment with new felt & standing seam

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 28845
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ 28845.00

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: All County Builders Inc. Phone: 772 631-1840 Fax: 772 463 2699

Street: 1801 SE Elbert Terrace City: Port Saint Lucie State: Fla. Zip: 34952

State Registration Number: 050362128 State Certification Number: 2321812 Martin County License Number: CBC1253570

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Robert Holland
State of Florida, County of: MARTIN
This the 19th day of APRIL, 2006
by Robert Holland who is personally
known to me or produced

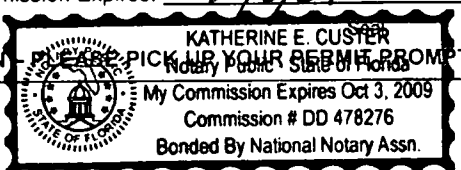
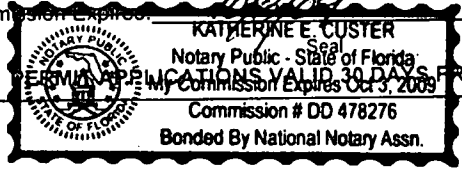
as identification. Katherine E. Custer
Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)
Jeffrey Pelton
On State of Florida, County of: MARTIN
This the 19th day of APRIL, 2006
by Jeffrey Pelton who is personally
known to me or produced FL. DR. Lic

As identification. Katherine E. Custer
Notary Public

My Commission Expires: 10/3/09



PERMITS ARE VOID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

TOWN OF SEWALL'S POINT

**ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996**

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT

(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even though you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: _____ **Date:** _____

Signature: _____

Address: _____

City & State: _____

Permit No. _____

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # 01-38-41-006-002-0080-5

NOTICE OF COMMENCEMENT

STATE OF Florida

COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Itomewood Lot 8 Blk B

GENERAL DESCRIPTION OF IMPROVEMENT: Remove Tile Roof Replace felt & Install standing seam metal roof

OWNER: Robert & Lisa Holland

ADDRESS: 16 Ridgeway Sewall Pointe

PHONE #: 772 85 8085

FAX #: _____

CONTRACTOR: All County Builders Inc.

ADDRESS: 1800 SE Elkhart Ter. Asl. Fla. 34952

PHONE #: 772 631 1840

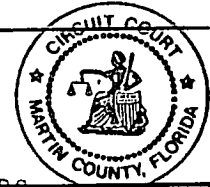
FAX #: 772 463 7699

SURETY COMPANY (IF ANY) _____

STATE OF FLORIDA
MARTIN COUNTY

ADDRESS: _____

FAX #: _____
THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL



PHONE # _____

BOND AMOUNT: _____

LENDER: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1XA)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1XB), FLORIDA STATUTES.

PHONE #: _____

FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

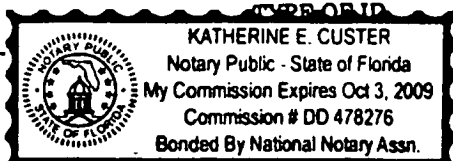
Robert Holland
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF APRIL

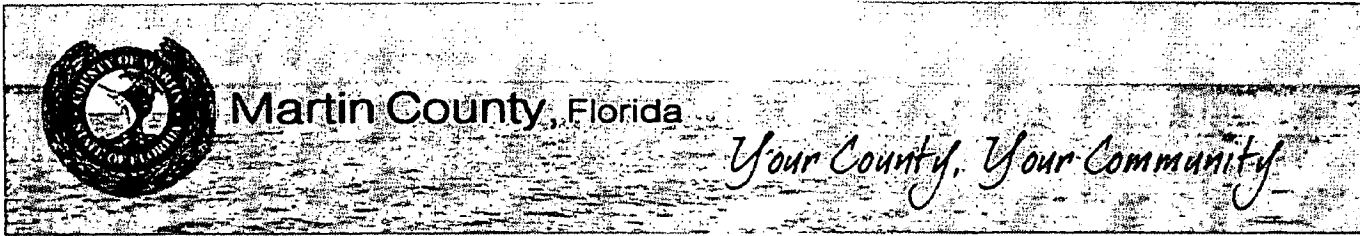
BY ROBERT HOLLAND

Katherine E. Custer
NOTARY SIGNATURE

PERSONALLY KNOWN
OR
PRODUCED ID



INSTR # 1930968 DR BK 02140 PG 1083 RECD 05/05/2006 11:05:01 AM
Pg 1083 (109)
MARSHA EMMING MARTIN COUNTY DEPUTY CLERK L Wood



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[Genealogy](#)

[Summary](#)

Application/Permit Summary

| | | | |
|--------------------------------------|-----------------------|-------------------------|----------|
| Application/Permit Temporary: | SP01 20060005 SP01 T7 | Flags | YES |
| Description: | SEWALLS POINT | | |
| Project Number: | | | |
| Status: | DONE | Entered: | 05/10/06 |
| Issued: | 05/12/06 | Completed: | 07/24/06 |
| Decision: | COMPLETE | | |
| Expiration: | | Last Renew Date: | 05/10/06 |
| Location Desc.: | | | |

| Parcel Information | |
|--------------------|------------------------|
| Address | Parcel number |
| 16 N RIDGEVIEW RD | 0138410060020008050000 |

| |
|--|
| Subdivision: HOME WOOD (SEWALL'S PT) Block: 002 Lot: 0008 |
| Section: 01 Township: 38 Range: 41 |

| Scope of Work |
|---|
| REMOVE & REPLACE TILE & UNDERLAYMENT WITH NEW FELT & 24 GUAGE STANDING SEAM |

| Applicant Information | |
|----------------------------|-------------------------|
| Company: | |
| Applicant: | PELTON, JEFFERY T |
| Representative: | ALL COUNTY BUILDERS INC |
| Title: | CONTACT |
| Address: | 1801 SE ELKHART TER |
| City / State / ZIP: | PSL, FL, 34952-8809 |
| Work Phone: | 772-463-7699 |
| Home Phone: | 772-631-1840 |
| E-Mail: | |
| Extension: | |
| FAX: | |

| Contact Information | |
|------------------------|--|
| Company: | |
| Name: | |
| Representative: | |
| Title: | |
| Address: | |

| | |
|----------------------------|-------------------|
| City / State / ZIP: | |
| Work Phone: | Extension: |
| Home Phone: | FAX: |
| E-Mail: | |

| | |
|----------------------------|---------------------|
| Owner | |
| Name: | HOLLAND, ROBERT |
| Address: | 16 N RIDGEVIEW ROAD |
| City / State / ZIP: | STUART, FL 34996 |
| Country: | |
| Phone: | FAX: |
| E-Mail: | |

| | |
|---------------------------------------|----------------------------|
| Professionals / Contractors | |
| PELTON, JEFFERY T as PRIME | |
| 1801 SE ELKHART TER | Phone: 772-631-1840 |
| PSL, FL 34952-8809 | |
| CBC - BUILDING CONTRACTOR CERTIFIED | |
| License: CBC1253570 Expires: 08/31/08 | |

| | | | |
|-----------------|-----------------------|-------------------|-------------------|
| Fees | | | |
| Fee Code | Description | Fee Amount | Amount Due |
| BBLDGFEE3 | BUILDING PERMIT FEE 3 | \$268.50 | \$0.00 |
| Total: | | \$268.50 | \$0.00 |

| | | | |
|-------------------------------|------------------|-----------------------------|---------------|
| Conditions of Approval | | | |
| Seq. | Condition | Description | Status |
| 1 | BNOC-15 | NOTICE OF COMMENCEMENT-6099 | DONE |

| | | | |
|-----------------------------|----------------------------|-------------------|-------------------|
| Required Inspections | | | |
| Inspection | Description | Clear Date | Cleared By |
| 6099 | RESIDENTIAL FINAL | | |
| 6056 | ROOF UNDERLAYMENT/FLASHING | | |

| | | | | | | | |
|--------------------------|---------------|-----------------------|---------------------|-----------------|----------|----------|----------|
| Inspections | | | | | | | |
| Inspection | Result | Completed Date | Completed By | Schedule | C | | |
| | | | | | O | C | N |
| 6099 - RESIDENTIAL FINAL | PASS | 06/30/06 | PWIN | 06/30/06 | 0 | 0 | N |
| 6099 - RESIDENTIAL FINAL | FAIL | 06/28/06 | PWIN | 06/28/06 | 0 | 0 | Y |
| 6099 - RESIDENTIAL FINAL | FAIL | 05/19/06 | PWIN | 05/19/06 | 2 | 0 | Y |

| | | | | | |
|-----------------------------------|-----------------|------------------------|-------------------|-----------------|--------------|
| Activities | | | | | |
| Description | Assigned | Est. Completion | Target End | Decision | Compl |
| STRUCTURAL REVIEW | AREVW | 05/12/06 | 05/12/06 | PASS | 05/12/06 |
| DECISION ON PLAN REVIEW PASS/FAIL | PRTECH | 05/15/06 | 05/15/06 | PASS | 05/12/06 |
| PERMIT READY/NOTIFY APPLICANT | TECH1 | 05/16/06 | 05/16/06 | PASS | 05/12/06 |

| | | |
|---------------------|--------------------|---------------|
| Permit Flags | | |
| Flag | Description | Status |

There are no flags on this application

| Parcel Flags | | |
|---------------------|------------------------|---------------|
| Flag | Description | Status |
| CITY-SP | SEWALLS POINT PROPERTY | OPEN |

Report Link Or Other Problem

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| | | |
|---|--|---|
| ACORD CERTIFICATE OF LIABILITY INSURANCE | | DATE (MM/DD/YYYY) 05/05/2006 |
| PRODUCER (772) 287-1560 Agrillo Insurance Agency 730 South Federal Hwy Stuart FL 34994- INSURED All County Building Inc. 1801 SE Elkhart Ter Port St Lucie FL 34952- | | THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. |
| INSURERS AFFORDING COVERAGE INSURER A: Scottsdale Insurance Co. INSURER B: INSURER C: INSURER D: INSURER E: | | NAIC # |

COVERAGES
 THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR | ADPL | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|------|------|---|---------------|----------------------------------|-----------------------------------|---|
| A | | GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR | CL81168729 | 11/29/2005 | 11/29/2006 | EACH OCCURRENCE \$ 1,000,000 |
| | | GEN'L AGGREGATE LIMIT APPLIES PER <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-ECT <input type="checkbox"/> LOC | | | | DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 1,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 |
| | | AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS | | | | COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ |
| | | GARAGE LIABILITY <input type="checkbox"/> ANY AUTO | | | | AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$ |
| | | EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE RETENTION \$ | | | | EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ |
| | | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below | | | | <input type="checkbox"/> WC STATE-TORY LIMITS <input type="checkbox"/> UN-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$ |
| | | OTHER | | | | |

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

| | |
|---|---|
| CERTIFICATE HOLDER (772) 287-2455 (772) 220-4765 City of Sewall's Point 1 South Sewalls Point Road Sewalls Piont FL 34996- | CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>[Signature]</i> 5/5/06 |
|---|---|

ACORD CERTIFICATE OF LIABILITY INSURANCE CERTIFICATE NO./DATE
AC06-1570006-339689
5/5/200612:02:56 PM

| | |
|---|---|
| PRODUCER Highpoint Risk Services LLC 14160 Dallas Parkway #500 Dallas, TX 75254 (800) 632-5096 Fax: (972) 404-4450 | THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. |
| INSURERS AFFORDING COVERAGE | |
| INSURED JEFF T. PELTONdba ALL COUNTY BUILDERS INC. 1801 SE ELKHART TERRACE PORT ST. LUCIE, FL 34952 (772) 631-1840 Fax: (772) 463-7699 | INSURER A: Companion Property and Casualty Insurance Compa INSURER B: INSURER C: INSURER D: INSURER E: |

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR LTR | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|-------------|--|---------------|-------------------------------------|--------------------------------------|---|
| | GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GENL. AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC | | | | EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ |
| | AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS | | | | COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ |
| | GARAGE LIABILITY <input type="checkbox"/> ANY AUTO | | | | AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$ |
| | EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE RETENTION \$ | | | | EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ |
| A | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | WC77779990001 | 12/1/2005 | 12/1/2006 | <input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100000 E.L. DISEASE - EA EMPLOYEE \$ 100000 E.L. DISEASE - POLICY LIMIT \$ 100000 |
| | OTHER | | | | LIMITS \$ LIMITS \$ |

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1. Insured is afforded Workers Compensation & Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc. 2. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to JEFF T. PELTONdba ALL COUNTY BUILDERS INC., effective 12/01/2005.

| | | |
|--|-------------------------------------|--|
| CERTIFICATE HOLDER CITY OF SEWELLS POINT FAX # 772-220-4765 PORT ST. LUCIE, FL 34984 | ADDITIONAL INSURED: INSURER LETTER: | CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THE REOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE |
|--|-------------------------------------|--|

AC# 2321812

STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND
 PROFESSIONAL REGULATION

CBC1253570 11/10/05 050367128

CERTIFIED BUILDING CONTRACTOR
PELTON, JEFFERY THOMAS
ALL COUNTY BUILDERS INC

IS CERTIFIED under the provisions of Ch. 489 FS.
 Expiration date: AUG 31, 2006 L05111000126

CITY OF PORT ST LUCIE
 BUILDING DEPARTMENT
 COMPUTER SERVICE MEMBER
 EXPIRES SEPTEMBER 30, 2006

JEFF T PELTON
 ALL COUNTY BUILDERS INC
 1801 SE ELKHART TERRACE
 PORT ST LUCIE FL

SIGNATURE _____

BUILDING CONTRACTOR
FLORIDA BSLOS LIC#8685

FEE \$25.00

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION
CONSTRUCTION INDUSTRY
CERTIFICATE OF EXEMPTION FROM FLORIDA
WORKERS' COMPENSATION LAW



EFFECTIVE: 12/20/2005

** EXPIRATION DATE: 12/20/2007

PERSON: JEFFERY T. BELTON

FEIN: 203482813

BUSINESS NAME: ALL COUNTY BUILDERS, INC.
AND ADDRESS: 1801 SE ECKHART TERRACE
PORT SAINT LUCIE, FL 34952

SCOPE OF BUSINESS OR TRADE:

1- CERTIFIED BUILDING CONTRACTOR

**MEETS REISSUANCE
REQUIREMENTS**

Tax Roll Property Summary

LARRY O'STEEN, TAX COLLECTOR

THIS INFORMATION IS NOT A TITLE SEARCH
THE INFORMATION IS NOT WARRANTED

[New Search](#)
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 [Help](#)

| | | | |
|--------------------|-----------------------------|--------------------|-------------|
| Property ID | 1-38-41-006-002-00080.50000 | Type | REAL ESTATE |
| Address | 16 N RIDGEVIEW RD | Status | |
| Sec/Twn/Rng | 06 40 39 | Subdivision | 181006 |

| Year | Roll Type | Tax Account | Tax Year | B.T | STATUS | CURRENT DUE | OR PAID | |
|------|-----------|-----------------------------|----------|-----|--------|-------------|----------|-------------------------------|
| 1993 | R | 1-38-41-006-002-00080.50000 | 1993 | | PAID | 11/1993 | 3,274.35 | View Tax Bill |
| 1994 | R | 1-38-41-006-002-00080.50000 | 1994 | | PAID | 11/1994 | 2,799.93 | View Tax Bill |
| 1995 | R | 1-38-41-006-002-00080.50000 | 1995 | | PAID | 12/1995 | 3,548.67 | View Tax Bill |
| 1996 | R | 1-38-41-006-002-00080.50000 | 1996 | | PAID | 11/1996 | 4,331.41 | View Tax Bill |
| 1997 | R | 1-38-41-006-002-00080.50000 | 1997 | | PAID | 11/1997 | 3,930.85 | View Tax Bill |
| 1998 | R | 1-38-41-006-002-00080.50000 | 1998 | | PAID | 12/1998 | 3,775.82 | View Tax Bill |
| 1999 | R | 1-38-41-006-002-00080.50000 | 1999 | | PAID | 11/1999 | 3,485.67 | View Tax Bill |
| 2000 | R | 1-38-41-006-002-00080.50000 | 2000 | | PAID | 11/2000 | 3,564.38 | View Tax Bill |
| 2001 | R | 1-38-41-006-002-00080.50000 | 2001 | | PAID | 11/2001 | 3,646.17 | View Tax Bill |
| 2002 | R | 1-38-41-006-002-00080.50000 | 2002 | | PAID | 11/2002 | 3,644.03 | View Tax Bill |
| 2003 | R | 1-38-41-006-002-00080.50000 | 2003 | | PAID | 11/2003 | 3,734.31 | View Tax Bill |
| 2004 | R | 1-38-41-006-002-00080.50000 | 2004 | | PAID | 11/2004 | 3,620.76 | View Tax Bill |
| 2005 | R | 1-38-41-006-002-00080.50000 | 2005 | | PAID | 11/2005 | 3,596.96 | View Tax Bill |

CURRENT ACCOUNT DETAILS

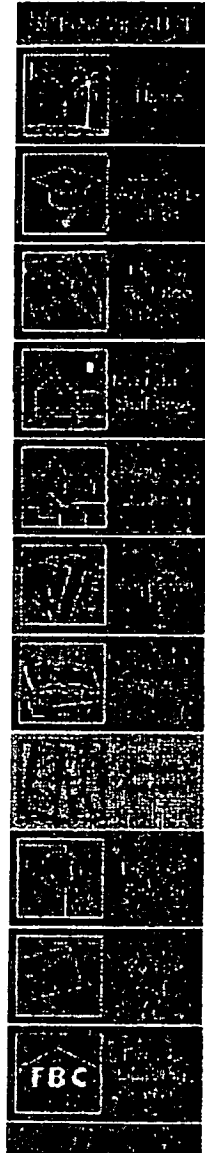
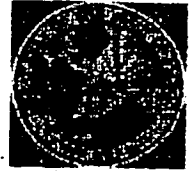
| | | | |
|---------------------------|---------------------------------|--|-------------------------------|
| Tax Account Number | 2005 138410060020008050000 | | View Tax Bill |
|---------------------------|---------------------------------|--|-------------------------------|

| | Property Description | Owner Information |
|--|---|--|
| | HOMEWOOD, LOT 8 BLK B | HOLLAND, ROBERT HOLLAND, LISA A 16 N RIDGEVIEW RD STUART, FL 34996 |
| | Current Values and Exemptions | Taxes and Fees Levied |
| | ASSESSED 266,260 REG HMST 25,000 TAXABLE 241,260 | TAXES 3,746.83 TOTAL 3,746.83 |

| | | | | | |
|------------------|-----------------|---------------|-------------|-----------------|---------------|
| NOV 1-NOV 30 | DEC 1-DEC 31 | JAN 1-JAN31 | FEB 1-FEB28 | MAR 1-MAR 31 | DELINQUENT ON |
| 3,596.96 | 3,596.96 | 3,596.96 | 3,634.43 | 3,671.89 | APRIL 1, 2006 |
| Receipt # | Pmt Type | Status | Disc | Interest | Total |

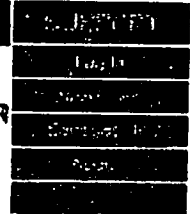


The Florida Department of Community Affairs Building Code Information System



PRODUCT APPROVAL Product Type Detail

Overview Product Search Organization Search Product Application



User: Public User - Not Associated with Organization -

[Need Help ?](#)

Application #: FL1924
Date Submitted: 08/03/2005
Code Version: 2004

Product Manufacturer: Drexel Metals Corporation
Address/Phone/email: 204 Railroad Drive
Ivyland, PA 19067
(888) 321-9630

Category: Roofing

Subcategory: Non-structural Metal Roofing

Evaluation Method: Certification Mark or Listing

| Referenced Standards from the Florida Building Code: | Section | Standard | Year |
|--|---------|----------|------|
| | TAS 125 | | 1995 |
| | TAS 100 | | 1995 |

Certification Agency: Miami-Dade BCCO - CER

Quality Assurance Entity:

Validation Entity:

Authorized Signature: Brian Partyka
brian@drexmet.com

Evaluation/Test Reports Uploaded:

Installation Documents Uploaded: [PTID 1924 I DMC175SL Installation.pdf](#)
[PTID 1924 I NOA 02-0807 02.pdf](#)

Product Approval Method: Method 1 Option A

Application Status: Approved

Date Validated: 08/03/2005
Date Approved: 08/24/2005
Date Certified to the 2004 Code:

Page:

Page 1 / 1

| App/Seq # | Product Model # or Name | Model Description | Limits of Use |
|-----------|-------------------------|---------------------------------------|--|
| 1924.1 | DMC 175 | 1-3/4" 24 Gauge Steel Snap Lock Panel | Dade County NOA# 02-0807.02. Design Pressure = -82.5 psf. Can be installed on roofs with slopes 2:12 or greater. Must be installed with Dade County approved fire barrier. |



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NOTICE OF ACCEPTANCE (NOA)

Drexel Metals Corporation
204 Railroad Drive
Ivyland, PA 18974

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Snap Lock Panel 24 Ga.

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This consists of pages 1 through 5.

The submitted documentation was reviewed by Frank Zuloaga, RRC



ROOFING SYSTEM APPROVAL:

Category: Roofing
Sub-Category: Metal, Panels (Non-Structural)
Material: Steel
Deck Type: Wood
Maximum Design Pressure -82.5 psf

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

| <u>Product</u> | <u>Dimensions</u> | <u>Test Specifications</u> | <u>Product Description</u> |
|-------------------------|---|----------------------------|---|
| Snap Lock Pane 24 gauge | Length: various Height: 1.61" Width: 18" Thickness 0.0239" | PA 100 | Corrosion resistant, galvanized steel or galvalume metal panel. |
| Snap Lock Clip | Length: 3.5" Height: 1.75" Width: 1.5" Thickness 0.050" | | Corrosion resistant, 18 gauge steel clip. |

EVIDENCE SUBMITTED:

| <u>Test Agency</u> | <u>Test Identifier</u> | <u>Test Name/Report</u> | <u>Date</u> |
|---------------------------------|------------------------|---------------------------|-------------|
| Akzo Nobel Coatings, Inc. | Lab Form | ASTM B 117 ASTM D 4585 | 11/26/01 |
| PRI Asphalt Technologies, Inc. | DMC-001-01-01 | TAS 100 | 05/22/02 |
| Hurricane Test Laboratory, Inc. | 0287-1214-01 | UL-580 | 02/05/02 |
| Hurricane Test Laboratory, Inc. | 0287-0919-02 | UL-580 | 10/04/02 |



NOA No.: 02-0807.02
Expiration Date: 11/27/07
Approval Date: 11/27/02
Page 2 of 5

APPROVED ASSEMBLIES:

- System:** Snap Lock Panel 24 gauge
- Deck Type:** Wood, Non-insulated
- Deck Description:** New Construction $1\frac{9}{32}$ " or greater plywood or wood plank.
- Slope Range:** 2": 12" or greater
- Maximum Uplift Pressure:** The maximum allowable design pressure for the panel shall be **-82.5 psf.**
- Deck Attachment:** In accordance with applicable Building Code, but in no case shall it be less than 8d annular ring shank nails spaced 6" o.c. In reroofing, where the deck is less than $1\frac{9}{32}$ " thick (Minimum $1\frac{5}{32}$ "") The above attachment method must be in addition to existing attachment.
- Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 $\frac{1}{4}$ " annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll or any approved underlayment having a current NOA.
- Fire Barrier Board:** Any approved fire barrier having a current NOA. For class A or B fire rating, install minimum $\frac{1}{4}$ " thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or $\frac{3}{8}$ " water resistant type X gypsum sheathing with treated core and facer.
- Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with the current published installation instructions and details in Drexel Metals Corporation Installation Manual.
- Metal Panels and Accessories:** Install the "Snap Lock 24 gauge Steel Metal Panel" panels including flashing penetrations, valleys, end laps and accessories in compliance "Drexel Metals Corporation" current, published installation instructions and in compliance with the minimum requirements detailed in Roofing Application Standard RAS 133.
- Panels shall be secured along the male rib with approved clips and two corrosion resistant #10 wafer head fasteners of sufficient length to penetrate through the sheathing a minimum of $\frac{3}{16}$ ". The Panel Clips were placed at a spacing of 16" inches o.c. and fastened to the plywood deck. The female rib of panel is snapped over the male rib of panel.



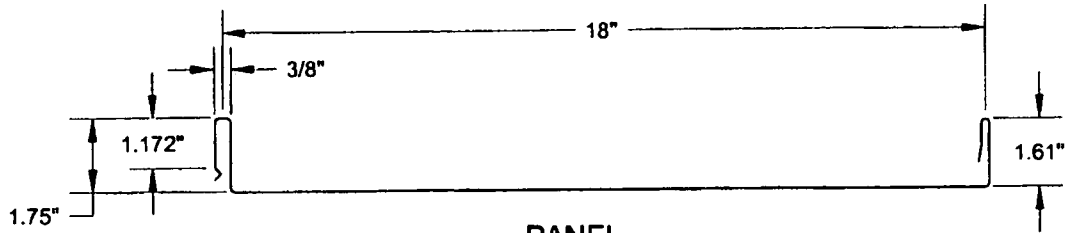
LIMITATIONS

- 1 Increased design pressures at perimeter and corner areas, in compliance with applicable building code may be met through rational analysis by increasing the number of attachment points in these areas. The maximum fastener spacing noted in the "Systems Description" section of this approval shall not be exceeded. All rational analysis computation shall be prepared, signed and sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof Consultant.
2. Panels may be rolls formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Roofing Application Standard RAS 133
3. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved. All clips shall be permanently labeled with the manufacturer's name and/or logo, and/or model.
4. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.

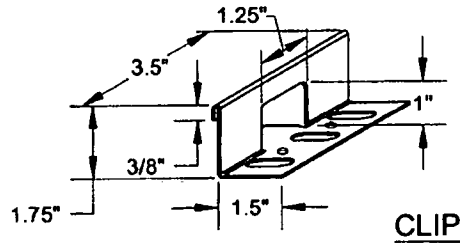


NOA No.: 02-0807.02
Expiration Date: 11/27/07
Approval Date: 11/27/02
Page 4 of 5

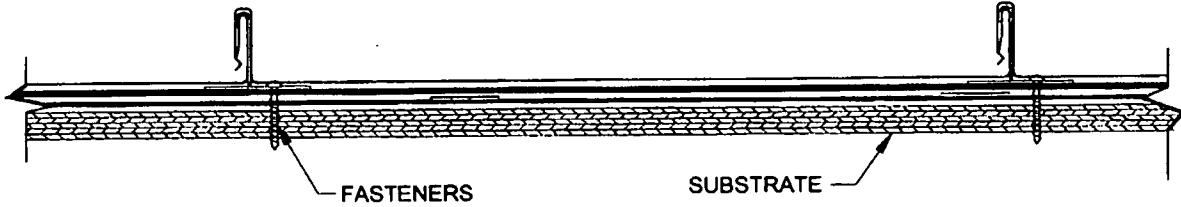
PROFILE DRAWINGS



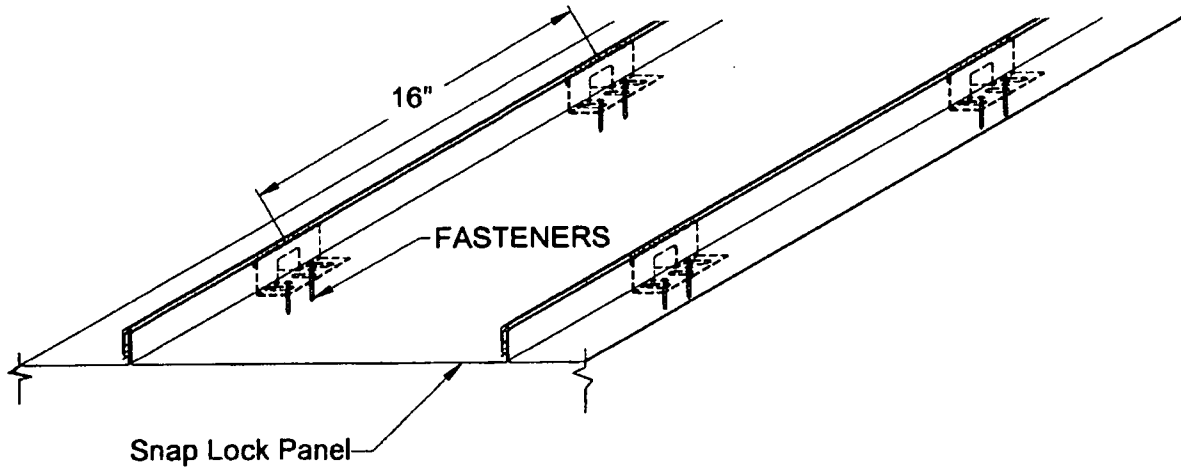
PANEL



CLIP



PANEL WITH CLIP & FASTENERS



END OF THIS ACCEPTANCE



NOA No.: 02-0807.02
Expiration Date: 11/27/07
Approval Date: 11/27/02
Page 5 of 5

Permit master

| Type Number | Ent Dt | Status Project | Name | Decision | Compl Dt | Issue Dt | Expire Dt | Pid |
|-----------------|-----------|----------------|------|----------|-----------|-----------|-----------|--------|
| SP01 20060030 | 02-JUN-06 | OPEN | | | | 12-JUN-06 | | 245718 |
| SP01 20060035 | 31-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 12-JUN-06 | | 245538 |
| SP01 20060027 | 30-MAY-06 | OPEN | | | | 12-JUN-06 | | 245386 |
| SP01 20060033 | 30-MAY-06 | OPEN | | | | 12-JUN-06 | | 245374 |
| SP01 20060022 | 30-MAY-06 | DONE | | COMPLETE | 18-JUL-06 | 09-JUN-06 | | 245373 |
| SP01 20060023 | 30-MAY-06 | OPEN | | | | 09-JUN-06 | | 245372 |
| SP01 20060026 | 30-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 09-JUN-06 | | 245368 |
| SP01 20060025 | 30-MAY-06 | OPEN | | | | 09-JUN-06 | | 245367 |
| SP01 20060059 | 30-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 23-JUN-06 | | 245366 |
| SP01 20060024 | 30-MAY-06 | OPEN | | | | 09-JUN-06 | | 245365 |
| SP01 20060017 | 25-MAY-06 | OPEN | | | | 31-MAY-06 | | 245206 |
| SP01 20060018 | 24-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 02-JUN-06 | | 245111 |
| SP01 20060020 | 24-MAY-06 | OPEN | | | | 02-JUN-06 | | 245110 |
| SP01 20060019 | 24-MAY-06 | OPEN | | | | 02-JUN-06 | | 245108 |
| SP01 20060042 | 24-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 14-JUN-06 | | 245107 |
| SP01 20060016 | 22-MAY-06 | OPEN | | | | 25-MAY-06 | | 244972 |
| SP01 20060015 | 22-MAY-06 | OPEN | | | | 25-MAY-06 | | 244969 |
| SP01 20060014 | 19-MAY-06 | DONE | | COMPLETE | 19-JUN-06 | 25-MAY-06 | | 244888 |
| SP01 20060007 | 16-MAY-06 | OPEN | | | | 17-MAY-06 | | 244660 |
| SP01 20060013 | 16-MAY-06 | OPEN | | | | 22-MAY-06 | | 244658 |
| SP01 20060012 | 15-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 22-MAY-06 | | 244532 |
| SP01 20060011 | 15-MAY-06 | OPEN | | | | 22-MAY-06 | | 244531 |
| SP01 20060010 | 15-MAY-06 | DONE | | COMPLETE | 20-JUN-06 | 22-MAY-06 | | 244530 |
| SP01 20060009 | 12-MAY-06 | OPEN | | | | 17-MAY-06 | | 244459 |
| SP01 20060008 | 12-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 17-MAY-06 | | 244457 |
| SP01 20060005 | 10-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 12-MAY-06 | | 244341 |
| SP01 20060003 | 10-MAY-06 | OPEN | | | | 12-MAY-06 | | 244339 |
| SP01 20060001 | 10-MAY-06 | OPEN | | | | 12-MAY-06 | | 244337 |
| * SP01 20060002 | 10-MAY-06 | DONE | | COMPLETE | 06-JUN-06 | 12-MAY-06 | | 244336 |
| SP01 20060021 | 10-MAY-06 | OPEN | | | | 05-JUN-06 | | 244332 |
| SP01 20060006 | 10-MAY-06 | DONE | | COMPLETE | 24-JUL-06 | 16-MAY-06 | | 244327 |
| SP01 20060004 | 10-MAY-06 | OPEN | | | | 12-MAY-06 | | 244325 |



MC
20060005

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 16 N. RIDGEVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

DRY-IN
BREATHING - PASSED

SUBMIT (2) COPIES PRODUCT
APPROVAL FOR NEW SKYLIGHTS -

PROVIDE MANUF. LETTER APPROVING
INSTALLATION ON "1/2" FOOT
SLOPE & THEIR UNDERLAYMENT
REQUIREMENTS -

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/20

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 5-19, 2006 Page 1 of

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|---------------|-------------------------------------|--------------------------------------|-----------------|-------------------------------|
| 7675 | DR. Kuhns | Final | PASS | CLOSE |
| 4 | 94 S River Arroyo Enter | 772-465-6363 Dan | | INSPECTOR: <i>[Signature]</i> |
| 6965 | Fensterer | Ratio door Framing & strapping | PASS | |
| 5 | 71 S SPR OB | | | INSPECTOR: <i>[Signature]</i> |
| 8218 | Gulick | Final | PASS | |
| 2 | 10 Island Rd LW roof | | | INSPECTOR: <i>[Signature]</i> |
| 8196 | Dunn | Final roofing | PASS | |
| 9 | 29 N River Rd True Quality Const | | | INSPECTOR: <i>[Signature]</i> |
| 8219 | Steck | Footer | PASS | |
| 8 | 32 Fieldway Dr Ocean Breeze Alun | | | INSPECTOR: <i>[Signature]</i> |
| MC | Holland | Dry In | FAIL | |
| 1 | 116 N Ridgewood All County | (- [Please]) | | INSPECTOR: <i>[Signature]</i> |
| 1736 | Stamford | Dock repair | PASS | |
| 10 8117 | 73 N. River Rd OB | Electric | FAIL | INSPECTOR: <i>[Signature]</i> |

OTHER: _____



MC
05

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 10 N. RIDGEVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF FINAL

POLYSTICK MEMBRANE IS
NOT ADHERED TO METAL
DRIP EDGE,

THERE ARE GAPS AT EDGES
OF POLYSTICK WHERE
INTERSECT W/ METAL PANELS.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 6/20

[Signature]
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6/28, 2006

Page 3 of 4

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|--------------|------------------------------------|--------------------------------|------------------|----------------------------------|
| 8188 | Kiplinger | partial 2 nd FL | PASS | PARTIAL 2 nd FL ONLY. |
| 5 | 143 S River Rd Howard Elec | cellular tower 772-221-1640 | | INSPECTOR: <i>OM</i> |
| | | work w/o permit | | |
| 15 | 22 SSPR | Roof | | INSPECTOR: |
| A.C. | | | | |
| X | 3 EMARITA | LAST. | | INSPECTOR: |
| 7819 | TIDIKI'S | ELEV. SLAB | CONDITIONAL PASS | CORRECTIONS IN PROGRESS |
| 8 | 12 CRANES NEST ADVANCE CONCEPTS | | | INSPECTOR: <i>OM</i> |
| MC | RIVERA | TIE BEAM | FAIL | |
| 13 | 3 EMARITA | (LAST.) | | INSPECTOR: <i>OM</i> |
| MC | | ROOF | FAIL | |
| 11 | 10 N. RIDGEVIEW | | | INSPECTOR: <i>OM</i> |
| MC | DOSS | METER FINAL | PASS | CLOSE |
| 9 | 85 S. RIVER RD | | | INSPECTOR: <i>OM</i> |

OTHER: _____

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 6-30, 2006

Page 2 of 2

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|---------------|------------------------------|-------------------------------|-----------------|-------------------------------------|
| 8159 | Luloh | for steel & main drain | PASS | |
| 2 | 20 E. High Pt Advantage Pool | | | INSPECTOR: <i>OM</i> |
| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
| 8012 | Tranter | Final | FAIL | |
| 3 | 9 Middle Rd Parks | | PASS | REINSPECTED INSPECTOR: <i>OM</i> |
| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
| 8088 | Mader | tank in line | FAIL | \$40 FEE ✓ |
| 4 | 106 Abbie Ct Fenellos | | | INSPECTOR: <i>OM</i> |
| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
| 13 | 22 SSRR | n/o permit on roof | X | INSPECTOR: |
| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
| MC | Holland | FINAL ROOF | PASS | C |
| 0005 7 | 16 N. RIDGEVIEW | | | INSPECTOR: <i>OM</i> |
| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
| MC | | SPA STEEL | PASS | |
| 8 | 85 S. RIVER RD | | | INSPECTOR: <i>OM</i> |
| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
| MC | | A/C CHANGEOUT | FAIL | |
| 6 | 12 RIVERVIEW FLYN'S A/C | | | INSPECTOR: <i>OM</i> |
| OTHER: _____ | | | | |
| | | | | |
| | | | | |

8499

ENCLOSE BALCONY

Town of Sewall's Point

BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: Robert Holland

Phone (Day) 772 223 9797 (Fax) _____

Job Site Address: 16 N Ridgeway Rd

City: Stuart State: FL Zip: 34996

Legal Description: Homewood Lot 8 Block B

Parcel Control Number: 13841 006 002 000805 0000

Owner Address (if different): _____

City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): enclose balcony

WILL OWNER BE THE CONTRACTOR?

(If yes, Owner Builder questionnaire must accompany application)
YES NO

Has a Zoning Variance ever been granted on this property?

YES _____ (YEAR) _____ NO _____
(Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)

Estimated Value of Improvements: \$ 15,000
(Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)

Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:

Estimated Fair Market Value prior to improvements \$ _____
(Fair Market Value of the Primary Structure only. Must be the end value)
PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: All County Builders

Phone: _____ Fax: _____

Qualifiers name: O/B Street: _____ City: _____

State License Number: _____ OR: Municipality: _____

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: FL Drafting & Design Fla. License# _____

Street: 1914 SW TAUNES LN PSL City: _____ State: FL Zip: 34984 Phone Number: 871-0600

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE* _____
* Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT. THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1. 105.4.1.1 - .5.

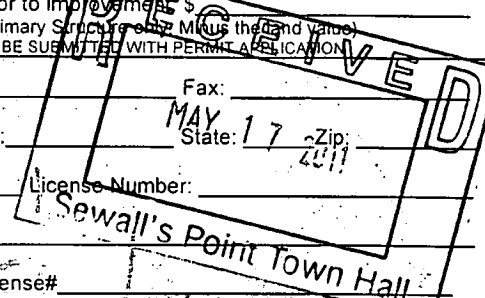
***** A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *****

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.) OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
 X Robert M. Holland
 State of Florida, County of: Martin
 On This the 16 day of May
 by Robert M. Holland
 known to me or produced FDN# H453-773-54-066-0
 As identification [Signature]
 Notary Public

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 X _____
 State of Florida, County of: _____
 On This the _____ day of _____ 20____
 by _____ who is personally
 known to me or produced _____
 As identification _____
 Notary Public

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



RECEIVED
1-28-07

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____ OWNER/TITLEHOLDER NAME: Holland Phone (Day) 223-9792 (Fax) 220-4742 (call first)

Job Site Address: 16 N Ridgeview Rd City: Sewalls Point State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Homewood, Lot 8, Blk B Parcel Number: 13841-006-002-000-805-0000

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: enclosure of existing upstairs balcony

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 15000⁰⁰
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: All County Builders Inc. Phone: 977631 1840 Fax: _____

Street: 1801 SE Elkheart Terrace City: Port Saint Lucie State: Fla. Zip: 34952

State Registration Number: CBC1253570 State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: Ault Bros. Inc. State: Florida License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2001
National Electrical Code: 2002 Florida Energy Code: 2001 Florida Accessibility Code: 2001

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Lisa Holland
State of Florida, County of: Martin
This the 8 day of January, 2007
by Lisa Holland who is personally
known to me or produced _____
as identification. _____

CONTRACTOR SIGNATURE (required)
Jeff Pelton
On State of Florida, County of: St. Lucie
This the 21 day of December, 2006
by Jeff Pelton who is personally
known to me or produced _____
As identification. Janice Palmer
Notary Public

My Commission Expires: _____ KAREN L. VAUGHAN
Notary Public - State of Florida My Commission Expires: _____
Commission # DD 476967
Banded By National Notary Assn.

PERMIT APPLICATIONS VALID FOR 30 DAYS FROM APPROVAL NOTICE - PLEASE PICK UP YOUR PERMIT PROMPTLY!

May 16, 2011

TO: Sewalls Point Building Dept
FROM: Robert Holland
RE: Change of Contractor



To whom it may concern:

We are completing a change of contractor on our open permit for a patio enclosure to owner/builder. This is being done to complete and close this permit, which was thought to have been completed. The contractor of record has relocated and is not available.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Holland". The signature is stylized and cursive.

Robert Holland

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 1-19-07

BUILDING PERMIT NO. 8499

Building to be erected for Holland

Type of Permit Enclose balcony

Applied for by All County Builders

(Contractor) ^{15x960/1000} Building Fee 144.00

Subdivision Homewood Lot 8 Block B

Radon Fee _____

Address 16 N. Ridgview Rd

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

13841-006-002-000805-0000

Electrical Fee 35.00

Plumbing Fee _____

Amount Paid \$179 Check # 1387 Cash _____

Other Fees (_____) _____

Total Construction Cost \$ 15000

TOTAL Fees 179.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

PERMIT

~~6-23-08 spoke to Mr. Holland -
6-4-08 called All City - not in service
called Holland - left mess~~

~~7-30-08 called 223-9792 - spoke to Mrs. - will have no call back~~

- | | | |
|---|--|--|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input checked="" type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

~~6-26 Mr Holland stopped in - working on paperwork. 6-5-09 called again - left mess~~

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

3-31-09 called Mr Holland - will have my call -



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

| | | | |
|------------------------|--|-----------------------|----------------------|
| PERMIT NUMBER: | 8499 | DATE ISSUED: | 1/19/07 MAY 17, 2011 |
| SCOPE OF WORK: | ENCLOSE BALCONY | | |
| CONDITIONS: | FEES CHANGE TO O/B \$25,000 FINAL INSPECTIONS \$7500 = \$100,00 PD C#7870 | | |
| CONTRACTOR: | ALL COUNTY BUILDERS CHANGED TO OWNER/BUILDER | | |
| PARCEL CONTROL NUMBER: | 013841006-002-000805 | SUBDIVISION | HOMEWOOD, L8, BL B |
| CONSTRUCTION ADDRESS: | 16 N RIDGEVIEW RD | | |
| OWNER NAME: | HOLLAND | | |
| QUALIFIER: | JEFF PELTON-HOLLAND | CONTACT PHONE NUMBER: | 220-3667 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

| | | | |
|------------------------|-------|------------------------|-------|
| UNDERGROUND PLUMBING | _____ | UNDERGROUND GAS | _____ |
| UNDERGROUND MECHANICAL | _____ | UNDERGROUND ELECTRICAL | _____ |
| STEM-WALL FOOTING | _____ | FOOTING | _____ |
| SLAB | _____ | TIE BEAM/COLUMNS | _____ |
| ROOF SHEATHING | _____ | WALL SHEATHING | _____ |
| TIE DOWN /TRUSS ENG | _____ | INSULATION | _____ |
| WINDOW/DOOR BUCKS | _____ | LATH | _____ |
| ROOF DRY-IN/METAL | _____ | ROOF TILE IN-PROGRESS | _____ |
| PLUMBING ROUGH-IN | _____ | ELECTRICAL ROUGH-IN | _____ |
| MECHANICAL ROUGH-IN | _____ | GAS ROUGH-IN | _____ |
| FRAMING | _____ | METER FINAL | _____ |
| FINAL PLUMBING | _____ | FINAL ELECTRICAL | _____ |
| FINAL MECHANICAL | _____ | FINAL GAS | _____ |
| FINAL ROOF | _____ | BUILDING FINAL | _____ |

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

**OWNER/BUILDER QUESTIONNAIRE AND DISCLOSURE STATEMENT
 MUST BE COMPLETED AND REVIEWED PRIOR TO PERMIT ISSUANCE**

**APPLICABLE ONLY TO OWNER-OCCUPIED SINGLE FAMILY RESIDENCES
 AND COMMERCIAL IMPROVEMENTS LESS THAN \$75,000 IN VALUE**

NOTICE: FLORIDA STATUTE 489 REQUIRING CONSTRUCTION TO BE DONE ONLY BY LICENSED CONTRACTORS PROVIDES AN EXEMPTION FROM LICENSING FOR A PROPERTY OWNER WHO ACTS AS HIS/HER OWN CONTRACTOR UNDER SPECIFIC CONDITIONS. ANSWERS TO THE FOLLOWING QUESTIONS ARE ESSENTIAL TO DETERMINE IF THOSE STATE QUALIFICATIONS ARE SATISFIED BY AN OWNER/BUILDER APPLICANT.

ALL QUESTIONS MUST BE ANSWERED. IF A QUESTION DOES NOT APPLY, INDICATE BY WRITING "N/A"

Owner/Builder Applicant Name: Robert & Lisa Holland

Site address of the proposed building work: 16 N Ridgerview Rd.

Name of legal title owner of the address above: Robert & Lisa Holland

Describe the scope of work for the proposed new construction: enclose existing balcony

Name of Architect of Record: Florida Drafting & Design Structural Engineer of Record: Paul Welch, P.E

Who will supervise the trade work to meet the applicable code? Robert Holland

What provisions have you made for Liability and Property Damage Insurance? - NA

What provisions exist for withholding Social Security and Federal Income Taxes, as required by Federal Law, from wages paid to people you hire who are not licensed? - NA

What previous Owner/Builder improvements have you done in the State of Florida?

Location: NA Scope of Work Done: _____ Year: _____

Location: _____ Scope of Work Done: _____ Year: _____

What code books do you have available for reference? Building: _____

Electric: _____ Plumbing: _____ HVAC: _____

Other: _____

I have internet access and will view The Florida Building code at www.floridabuilding.org YES NO

Do you understand that as the permit holder you are liable for following all Local, County, State and Federal codes, laws and requirements, and you are also liable for anyone injured on the construction site? YES (yes/no)

Have you consulted with your Homeowner's Insurance Agent? Lender? N Attorney? N

In order to assure your success in this project, please signify your awareness that the function of the building department is to issue you a building permit and verify code compliance through plan review and the inspection process. I am aware that town staff is not obligated to offer supervision, design or instructional advice prior or during my project. RH (initials).



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
 governmax.com 1,12

Summary



Owner
 2 of 38

Tabs

- Summary**
- Print View
- Land
- Improvements
- Assessments & Exemptions
- Sales
- Taxes →
- NEW: Navigator
- Parcel Map →
- Parcel Map (To be phased out 6/1/11) →
- Trim Notice →

| Parcel ID | Account # | Unit Address | Market Total Value | Data as of |
|--------------------------|-----------|-----------------------------------|--------------------|------------|
| 01-38-41-006-002-00080-5 | 17655 | 16 N RIDGEVIEW RD, SEWALL'S POINT | \$503,880 | 5/14/2011 |

Owner Information

| | |
|---------------------------|--------------------------------------|
| Owner(Current) | HOLLAND ROBERT HOLLAND LISA A |
| Owner/Mail Address | 16 N RIDGEVIEW RD STUART FL 34996 |
| Sale Date | 5/17/1994 |
| Document Book/Page | 1074 1746 |
| Document No. | |
| Sale Price | 285000 |

Location/Description

| | | | |
|-----------------------|-----------------------------------|--------------------------|-----------------------|
| Account # | 17655 | Map Page No. | SP-04 |
| Tax District | 2200 | Legal Description | HOMEWOOD, LOT 8 BLK B |
| Parcel Address | 16 N RIDGEVIEW RD, SEWALL'S POINT | | |
| Acres | .4590 | | |

Parcel Type

| | |
|---------------------|---------------------------------------|
| Use Code | 0100 Single Family |
| Neighborhood | 120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine |

Assessment Information

| | |
|---------------------------------|-----------|
| Market Land Value | \$178,000 |
| Market Improvement Value | \$325,880 |
| Market Total Value | \$503,880 |

Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Print Back to List First Previous Next Last

Legal Disclaimer / Privacy Statement





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-220-4765

OWNER/BUILDER DISCLOSURE STATEMENT

NOTICE: STATE LAW REQUIRES THAT ALL PERMITTING AGENCIES PROVIDE INDIVIDUALS SUBMITTING APPLICATIONS FOR OWNER/BUILDER PERMITS THE FOLLOWING INFORMATION:

1. THE TOWN OF SEWALL'S POINT CODE OF LAWS AND ORDINANCES REQUIRES THAT ANY PERSON DESIRING TO ENGAGE IN BUSINESS AS A CONTRACTOR IN THE TOWN OF SEWALL'S POINT BE A HOLDER OF A CERTIFICATE OF COMPETENCY.
2. FLORIDA STATUTES 489.103 (7) ALLOWS YOU, AS A PROPERTY OWNER, AN EXEMPTION TO CONSTRUCT OR IMPROVE A SINGLE FAMILY DWELLING AND ACCESSORY-USE STRUCTURES ON SAID PROPERTY FOR YOUR OWN USE OR OCCUPANCY WITHOUT HAVING A CERTIFICATE OF COMPETENCY.
3. AS AN OWNER/BUILDER, YOU MUST PHYSICALLY PERFORM OR MATERIALLY SUPERVISE ALL CONSTRUCTION/IMPROVEMENTS SPECIFIED ON YOUR OWNER/BUILDER PERMIT AND YOU ARE TOTALLY RESPONSIBLE FOR ALL ACTIVITIES ASSOCIATED THEREWITH. OWNER/BUILDERS WHO WISH TO DO ELECTRICAL OR PLUMBING WORK MUST PASS A SHORT OPEN BOOK QUIZ ADMINISTERED BY THE BUILDING DEPARTMENT.
4. IF YOU DO NOT PHYSICALLY PERFORM A SPECIFIC PHASE OF SAID CONSTRUCTION/IMPROVEMENT, BUT CHOOSE TO SUB-CONTRACT IT, THEN SUCH CONSTRUCTION/IMPROVEMENT MUST BE SUB-CONTRACTED TO A LOCALLY LICENSED OR STATE CERTIFIED CONTRACTOR.
5. YOU MAY NOT HIRE AN UNLICENSED INDIVIDUAL WHO IN ANY MANNER ACTS IN THE CAPACITY OF A GENERAL CONTRACTOR, THAT IS, ONE WHO FULFILLS YOUR DUTIES UNDER PARAGRAPH (3) ABOVE.
6. UNDER AN OWNER/BUILDER PERMIT YOU MAY NOT CONSTRUCT A BUILDING WHICH YOU INTEND TO SELL OR LEASE. THE SALE OR LEASE, OR OFFERING FOR SALE OR LEASE, OF ANY SUCH STRUCTURE BY THE OWNER-BUILDER WITHIN 1 YEAR AFTER COMPLETION OF SAME CREATES A PRESUMPTION THAT THE CONSTRUCTION WAS UNDERTAKEN FOR PURPOSES OF SALE OR LEASE WHICH IS A VIOLATION OF THIS EXEMPTION.
7. THIS EXEMPTION SHALL NOT APPLY TO ANY PERSON WHO HAS LEASED, SOLD, OR OFFERED FOR SALE MORE THAN 1 STRUCTURE BUILT UNDER AN OWNER-BUILDER PERMIT IN ANY JURISDICTION WITHIN THE 5 YEARS IMMEDIATELY PRECEDING THE APPLICATION FOR A PERMIT.
8. THERE MUST BE A THIRTY-SIX (36) MONTH PERIOD BETWEEN THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INITIAL DWELLING AND THE SUBMITTAL OF AN OWNER/BUILDER APPLICATION FOR A SUBSEQUENT DWELLING. NO OTHER BUILDING PERMIT FOR A HOME SHALL BE ISSUED TO THAT OWNER/BUILDER, THE OWNER/BUILDER'S SPOUSE OR ANY MEMBER OF THE OWNER/BUILDER'S IMMEDIATE FAMILY UNDER EIGHTEEN YEARS OF AGE UNTIL THREE YEARS AFTER THE HOME BUILT UNDER THE FIRST BUILDING PERMIT HAS RECEIVED A CERTIFICATE OF OCCUPANCY.
9. ALL CONSTRUCTION IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDER PERMIT MUST BE IN STRICT COMPLIANCE WITH FLORIDA STATE STATUTE SECTION 489, SEWALL'S POINTS CODE OF LAWS AND ORDINANCES, ALL BUILDING & ZONING CODES AND REGULATIONS PERTAINING TO SINGLE FAMILY DWELLINGS, ACCESSORY USE STRUCTURES AS APPLICABLE.
10. YOUR OWNER/BUILDER EXEMPTION DOES NOT WAIVE ANY PERMIT CONDITIONS OR REQUIREMENTS OR WAIVE ANY PORTION OR PORTIONS OF ANY APPLICABLE BUILDING OR SWIMMING POOL CODES OR TOWN ORDINANCES.
11. ALL CONSTRUCTION/IMPROVEMENTS PERFORMED UNDER YOUR OWNER/BUILDING PERMIT MUST ALSO BE IN STRICT COMPLIANCE WITH ALL APPLICABLE ZONING REGULATIONS (QUESTIONS REGARDING ZONING REGULATIONS SHOULD BE DIRECTED TO THE TOWN OF SEWALL'S POINT AT 772-287-2455.)



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

CHANGE OF CONTRACTOR APPLICATION PACKAGE

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

You will need the following to change contractors or to change from contractor to owner/builder:

1 Copy Letter from the owner releasing the old contractor and hiring the new Contractor or assuming owner/builder status.

1 Copy New permit application

\$25 Transfer Fee

* If changing from a contractor to an owner/builder, the owner must supply the following:

1 Copy recorded warranty deed

1 Copy owner/builder application

Please read Florida Statute, section 489.103

** If new plans are needed, the new contractor (or owner) must supply the following:

1 Copy Plans to be re-stamped at the time of the application. This process will take a minimum of 24 hours.

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITALS FOR SINGLE FAMILY RESIDENTS

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

Application form must contain the following information:

1. ✓ Property Appraisers Parcel Number or Property Control Number
2. ✓ Legal Description of property (can be found on your deed, survey or Tax Bill)
3. Contractors name, address, phone, fax and license numbers.
4. Name all sub-contractors (properly licensed)
5. ✓ Architects or Engineers name, address, & phone number.
6. Scope of Work
7. Estimated cost of construction.
8. Original signature of owner and notarized
9. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Current survey containing the following information:
 - a. Legal Description of Lot
 - b. Lot dimensions and bearings
 - c. Street and Waterway names
 - d. Grade elevations (proposed and existing)
 - e. Proposed swale and/or drainage arrows
 - f. Existing and proposed structures, decks, pads, etc.
 - g. Finish Floor Elevations (proposed and existing)
 - h. Crown of road(s)
 - i. Adjacent occupied/unoccupied
 - j. Easements
 - k. Setbacks
 - l. Road Right-Of-Ways
 - m. Well locations (proposed and existing)
 - n. Septic drainfield(s) (proposed and existing)
 - o. Canals, Ponds, or Riverfront locations
 - p. Retention areas (proposed and existing)
 - q. Impervious/Pervious calculations
 - r. Certified to the Town of Sewall's Point
2. Wind Load Certification Form (signed and sealed by Architect/Engineer)
3. Energy Calculations and Compliance Certification.
4. Product approvals from Miami/Dade for the following items:
 - a. Windows
 - b. Exterior Doors
 - c. Roof System
 - d. Garage Door
 - e. Hurricane Shutters

- f. Skylights
- g. Glass blocks
- h. Siding
- 5. Health Department Approval for septic system or information on existing system.
- 6. Health Department Well permit or information on existing system.
- 7. Statement of Fact (owner/builder affidavit)
- 8. ✓ Proof of ownership (deed or tax recpt.)
- 9. Application for tree removal or relocation (attach 2 tree surveys and removal or relocation plan)
- 10. Manufactures specifications or shop drawings for fireplaces, stairs, etc.
- 11. A certified copy of the Notice of Commencement for any work over \$2500.00
- 12. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
- 13. ✓ Copy of Workmen's Compensation
- 14. ✓ Copy of Liability Insurance
- 15. If property is over one (1) acre then a copy of the Florida Department of Environmental Protection (DEP) Stormwater Discharge Permit (see attached formwork for DEP)

The following documents must be signed and sealed by a registered Architect or Engineer. (2 copies)

1. **Floor Plan containing the following information:**
 - a. Square footage calculations
 - b. Scale – minimum ¼" per foot
 - c. All proposed and existing layouts of structures
 - d. Location of all pads/porches and patios
 - e. All dimensions exterior and interior to define design and construction
 - f. Room callouts
 - g. Elevation drops with size, steps, ramps, curbs, dashed outline for second story outline
 - h. Location of all windows and doors with egress requirements
 - i. Tempered glass locations
 - j. Door and window sizes
 - k. Location of all bathroom fixtures
 - l. Location of all kitchen fixtures and appliances
 - m. Water heater location
 - n. Hose bib locations
 - o. Attic access with size of opening
 - p. Beam callouts
 - q. All through wall or ceiling ventilation such as garage vents, dryer vent etc.
2. **Elevation Plan containing the following information:**
 - a. Front, Rear, and Side Elevations
 - b. All beam heights and changes in beams heights
 - c. Building heights from finish floor to top of roof (maximum 27 feet)
 - d. Height of chimney from top of roof to top of chimney max. 3 feet

- e. Location of all windows and doors
- f. Roof slope
- g. Wall finishes
- h. Vertical features and horizontal projections with dimensions

3. Foundation Plan containing the following information:

- a. Bearing walls exterior and interior
- b. Dimensions of all bearing walls exterior and interior
- c. All footings and pad locations
- d. Dimensions of all footing and pads
- e. Step downs (minimum for residence to garage 7 inches)
- f. Footing and Pad call outs for size (width and depth), steel (size, lap and placement)
- g. Any underslab mechanical duct work or gas piping
- h. Location of any in slab receptacle locations
- i. Column Layout
- j. Columns Schedule

4. Electrical Plan containing the following information:

- a. Show all receptacle, switch, and fixture locations
- b. Show all WPGFI's and GFI's locations
- c. Ceiling fan locations
- d. Attic or roof top receptacles and fixtures
- e. Service entrance
- f. Panel layout with circuits, loads, wire, breaker and conduit sizes
- g. Riser diagram with size of service, meter, ground, disconnects feeders and panels
- h. Any specialty lighting requirements
- i. Disconnect locations for residence, pool, pumps, etc.
- j. Load calculations
- k. Panel and sub-panel locations
- l. Meter can location

5. Heating/Air Conditioning Plan containing the following information:

- a. Air Handler locations showing kw rating
- b. Condensing unit locations
- c. Duct layout showing sizes of duct and size of diffusers
- d. CFM per outlet
- e. Distribution box locations
- f. Equipment callouts with name of equipment, model numbers and sizes

6. Plumbing Plan containing the following information:

- a. Plumbing riser diagram

7. Truss Layout containing the following information:

- a. Show location of all trusses

- f. Skylights
 - g. Glass blocks
 - h. Siding
5. Health Department Approval for septic system or information on existing system.
 6. Health Department Well permit or information on existing system.
 7. Statement of Fact (owner/builder affidavit)
 8. Proof of ownership (deed or tax recpt.)
 9. Application for tree removal or relocation (attach 2 tree surveys and removal or relocation plan)
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 - j. Door and window sizes
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 - b. All beam heights and changes in beams heights
 - c. Building heights from finish floor to top of roof (maximum 27 feet)
 - d. Height of chimney from top of roof to top of chimney max. 3 feet

- b. Show location of all girders
- c. Uplift quantities for all trusses
- d. Connectors schedule for all trusses and girders
- e. Location of roof mounted equipment
- f. Location of all structural elements size and reinforcing

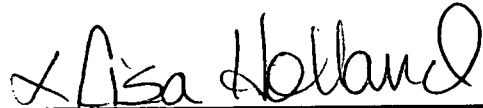
8. Second Floor Framing Plan

- a. Location of all floor trusses or joists
- b. Size of all structural members and spacing dimensions
- c. Location of all girders

9. Section/Detail Drawings and Schedules showing the following information:

- a. Wall section drawings for single and two story sections
- b. Show footings, slab, wall, ceiling and roof construction and insulation
- c. Window and door schedules showing design pressures (+ and -)
- d. Stair details showing riser height and tread width also handrail with baluster and newel post design showing distance between balusters and height of handrail from leading edge of tread
- e. Garage door buck detail showing type, size, length and spacing of connectors to be used
- f. Window buck detail showing type, size, length and spacing of connectors to be used
- g. Framing details of cupolas with connector callouts

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: 1-8-07

OWNER'S AFFIDAVIT OF BUILDING COSTS

(To be submitted at time of final inspection for Certificate of Occupancy)

**STATE OF FLORIDA
MARTIN COUNTY**

BEFORE ME, the undersigned authority, personally appeared the undersigned Affidavit, who, being first duly sworn, under penalty of perjury, deposes and says:

1. That Affidavit is the owner or the authorized agent of the owner of certain real estate (the Property) located within the municipal limits of the Town of Sewall's Point, Florida (the Town), having the street address set forth below Affidavit's signature.
2. That all of the improvements on the Property under current building permit(s) issued by the Town have been completed in substantial conformity with the plans and specifications on file with the Town and in accordance with all applicable state and local building codes.
3. That the total cost paid or to be paid by the owner for the complete construction of the improvements under the building permit(s), including the cost of all improvements shown on the plans and specifications filed with the Town and all machinery and equipment not shown thereon required to be installed as a condition for a certificate of occupancy under state and local law, is \$ 15,000.
4. That this Affidavit is made for the purpose of inducing the Building Official of the Town to issue a Certificate of Occupancy for the improvements, with the intention that it be relied upon for that purpose.

Affidavit's Signature:

Lisa Holland

Property Address:

16 N Ridgeway Rd

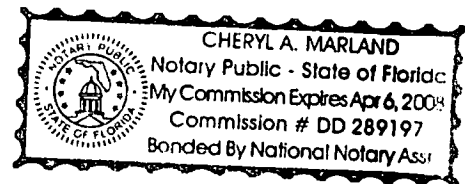
Stuart, FL 34996

SWORN TO and subscribed before me this 8th day of January, 2007, by Lisa Holland, who is personally known to me or produced _____ as identification.

Cheryl A. Marland
Notary Public

My commission expires: 4-6-2008

(Notary Seal).



TOWN OF SEWALL'S POINT

SUBCONTRACTORS LIST RESIDENTIAL, ADDITIONS, COMMERCIAL

APPLICANT'S NAME Robert & Lisa Holland BLDG. PERMIT # _____

MAILING ADDRESS 16 N Ridgeway Rd.

PLEASE PROVIDE A PRELIMINARY SUBCONTRACTORS LIST FOR VERIFICATION. THIS LIST WILL BE RETURNED TO YOU WHEN THE BUILDING PERMIT IS ISSUED TO ENABLE YOU TO COMPLETE AND RETURN TO THE INSPECTIONS DEPARTMENT. **WE REQUIRE, PRIOR TO STARTING WORK, UPDATES, CHANGES AND ADDITIONS THROUGHOUT CONSTRUCTION.** USING UNLICENSED CONTRACTORS OR SUBCONTRACTORS MAY PREVENT YOU FROM BEING ELIGIBLE FOR INSPECTIONS AND OR A CERTIFICATE OF OCCUPANCY. FOR INFORMATION CONTACT THE CONTRACTOR'S LICENSING OFFICE AT (772) 288-5482 OR (772) 288-5917.

PLEASE INCLUDE ALL MARTIN COUNTY COMPETENCY CARD NUMBERS OR STATE CERTIFICATION NUMBERS. **(NOT OCCUPATIONAL LICENSE NUMBERS)**

| | TYPE | COMPANY NAME | LICENSE NUMBER |
|-----|------------------|------------------------|----------------------|
| CFO | CONCRETE - FORM | | |
| CFI | - FINISH | | |
| BM | BLOCK MASON | | |
| CB | COLUMNS & BEAMS | | |
| CA | CARPENTRY ROUGH | | |
| GD | GARAGE DOOR | | |
| DH | DRYWALL - HANG | | |
| DF | - FINISH | | |
| IN | INSULATION | | |
| LA | LATHING | | |
| FI | FIREPLACE | | |
| PAV | PAVERS | | |
| AL | ALUMINUM | | |
| LP | LP GAS | | |
| PA | PAINTING | | |
| PL | PLASTER & STUCCO | | |
| ST | STAIRS & RAILS | | |
| RO | ROOFING | | |
| TM | TILE & MARBLE | | |
| WD | WINDOWS & DOORS | | |
| PL | * PLUMBING | | |
| AC | * HARV | | |
| EL | * ELECTRICAL | <u>Ault Bros. Inc.</u> | <u>tec 000 11693</u> |
| AL | * LOW VOLTAGE | | |
| VS | BURGLAR ALARM | | |
| | VACUUM SOUND | | |
| IR | * IRRIGATION | | |
| SH | SHUTTERS | | |

* REQUIRES SEPARATE VERIFICATION FORMS.

I CERTIFY THAT THE INFORMATION STATED ON THE SUBCONTRACTORS' LIST IS ACCURATE AND THAT ALL WORK WILL BE PERFORMED BY MARTIN COUNTY OR STATE LICENSED CONTRACTORS.

I UNDERSTAND THAT A COMPLETE NOTARIZED SUBCONTRACTORS LIST IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

SIGNATURE OF CONTRACTOR
(OR OWNER/BUILDER IF APPLICABLE)

STATE OF FLORIDA

COUNTY OF *St. Lucie*

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19 DAY OF January, 2007, BY Jeffery Pelton, WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED _____ AND WHO DID NOT TAKE AN OATH.

NOTARY SIGNATURE

STAMP:



ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
01/05/2007

PRODUCER (772) 287-1560
Agrillo Insurance Agency
730 South Federal Hwy

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

Stuart FL 34994-

INSURERS AFFORDING COVERAGE NAIC #

INSURED
All County Builders Inc.
1801 SE Elkhart Ter

INSURER A: SUA Insurance Co

INSURER B:

INSURER C:

INSURER D:

INSURER E:

Port St Lucie FL 34952-

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR (ADD'L LTR INSRD) | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|------------------------|---|------------------|----------------------------------|-----------------------------------|--|
| A | GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR | 20061129-SUA-01A | 11/29/2006 | 11/29/2007 | EACH OCCURRENCE \$ 500,000 |
| | DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 | | | | |
| | | | | | MEQ EXP (Any one person) \$ 5,000 |
| | | | | | PERSONAL & ADV INJURY \$ 500,000 |
| | | | | | GENERAL AGGREGATE \$ 1,000,000 |
| | | | | | PRODUCTS - COMPROP AGG \$ 1,000,000 |
| | GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC | | | | |
| | AUTOMOBILE LIABILITY | | | | COMBINED SINGLE LIMIT (Ea accident) \$ |
| | <input type="checkbox"/> ANY AUTO | | | | BODILY INJURY (Per person) \$ |
| | <input type="checkbox"/> ALL OWNED AUTOS | | | | BODILY INJURY (Per accident) \$ |
| | <input type="checkbox"/> SCHEDULED AUTOS | | | | PROPERTY DAMAGE (Per accident) \$ |
| | <input type="checkbox"/> HIRED AUTOS | | | | |
| | <input type="checkbox"/> NON-OWNED AUTOS | | | | |
| | GARAGE LIABILITY | | | | AUTO ONLY - EA ACCIDENT \$ |
| | <input type="checkbox"/> ANY AUTO | | | | OTHER THAN EA ACC \$ |
| | | | | | AUTO ONLY: AGG \$ |
| | EXCESS/UMBRELLA LIABILITY | | | | EACH OCCURRENCE \$ |
| | <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE | | | | AGGREGATE \$ |
| | | | | | \$ |
| | | | | | \$ |
| | | | | | \$ |
| | | | | | \$ |
| | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | | | | EL EACH ACCIDENT \$ |
| | ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? | | | | EL DISEASE - EA EMPLOYEE \$ |
| | If yes, describe under SPECIAL PROVISIONS below | | | | EL DISEASE - POLICY LIMIT \$ |
| | OTHER | | | | |

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

CERTIFICATE HOLDER

(772) 287-2455 (772) 220-4765

City of Seawall's Point
1 South Sewalls Point Road

Sewalls Point FL 34996-

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

ACORD CERTIFICATE OF LIABILITY INSURANCE

CERTIFICATE NO. / DATE
AC07-1570006-451962
1/16/2007 2:30:58PM

PRODUCER
Highpoint Risk Services LLC
14160 Dallas Parkway #500
Dallas, TX 75254
(800) 692-5096 (972) 715-0959
Fax: (972) 404-4450

INSURED: AMS 1/C/I:
JEFF T. PELTONdba ALL COUNTY BUILDERS INC.
1801 SE ELKHART TERRACE
PORT ST. LUCIE, FL 34952
(772) 631-1840 Fax: (772) 463-7699

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURERS AFFORDING COVERAGE

INSURER A: Companion Property and Casualty Insurance Comp
INSURER B:
INSURER C:
INSURER D:
INSURER E:

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|---|---------------|----------------------------------|-----------------------------------|---|
| GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRQ. <input type="checkbox"/> LOC. | | | | EACH OCCURRENCE \$ FIRE DAMAGE (Any One Fire) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMPROP AGG \$ |
| AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRE AUTOS <input type="checkbox"/> NON-OWNED AUTOS | | | | COMBINED SINGLE LIMIT (2x accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ |
| GARAGE LIABILITY <input type="checkbox"/> ANY AUTO | | | | AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA ACC \$ AGG \$ |
| EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE DEDUCTIBLE \$ RETENTION \$ | | | | EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ |
| WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | WC77779990101 | 04/01/2006 | 04/01/2007 | X WC STAT. <input type="checkbox"/> OTH. PR. <input type="checkbox"/> E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000 |
| OTHER | | | | LIMITS \$ LIMITS \$ |

DESCRIPTION OF OPERATIONS, LOCATIONS, AVE/EXCL/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

1. This certificate remains in effect, provided the client's account is in good standing with AMS. Coverage is not provided for any employee for which the client is not reporting wages to AMS. Applies to 100% of the employees of AMS leased to JEFF T. PELTONdba ALL COUNTY BUILDERS INC., effective 04/01/2006. 2. Insured is afforded Workers Compensation and Employers Liability as a co-employer under the policy for employees leased from AMS Staff Leasing, Inc.
 PLEASE SEE ATTACHED EMPLOYEE ROSTER.

CERTIFICATE HOLDER

ADDITIONAL INSURED; (INSURER LETTER):

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

SEWALL'S POINT
ONE SOUTH SEWALL'S POINT RD
SEWALL'S POINT, FL 34996

[Signature]

STATE OF FLORIDA
DEPARTMENT OF FINANCIAL SERVICES
DIVISION OF WORKERS' COMPENSATION
CONSTRUCTION INDUSTRY
CERTIFICATE OF EXEMPTION FROM FLORIDA
WORKERS' COMPENSATION LAW



EFFECTIVE: 12/20/2005

** EXPIRATION DATE: 12/20/2007

PERSON: JEFFERY T. PELTON

FEIN: 203482613

BUSINESS NAME AND ADDRESS: ALL COUNTY BUILDERS, INC
1801 SE ELKHART TERRACE
PORT SAINT LUCIE, FL 34952

SCOPE OF BUSINESS OR TRADE:
1- CERTIFIED BUILDING CONTRACTOR

MEETS REQUIREMENTS FOR REISSUANCE

AC# 2768949

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L0608310

| DATE | BATCH NUMBER | LICENSE NBR |
|------------|--------------|-------------|
| 08/31/2006 | 067010357 | CBC1253570 |

The BUILDING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

PELTON, JEFFERY THOMAS
ALL COUNTY BUILDERS INC
1801 SE ELKHART TER
PORT ST LUCIE FL 34952-8809

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-2007

ACCOUNT 1500-2005002

EXPIRES SEP 30, 2007

ST. LUCIE COUNTY OCCUPATIONAL LICENSE
BOB DAVIS, CPA, CGFO, CFC, ST. LUCIE COUNTY TAX COLLECTOR
ROOMS SEATS EMPLOYEES 1-10

1500 BUILDING CONTRACTOR

X RENEWAL
NEW LICENSE
TRANSFER-
ORIGINAL TAX 11.8

1801 SE Elkhart Terrace
City of Pt St Lucie

Jeff T Pelton CBC1253570
All County Builders Inc
Pelton, Jeff T
1801 SE Elkhart Terrace
Port St Lucie FL 34952

AMOUNT
PENALTY
COLLECTION COST
TOTAL 11.8

PAID BOB DAVIS, TAX COLLECTOR PAID

Please see back for additional information

MARCH 01 9/1/2006 9:23AM 00005192

2006 1500-20050029

0600 \$11.80

CC \$11.80

F05000127964

602006 000000000000 0000150020050029 0000 0000001180 000000000000 00000003

TOWN OF SEWALL'S POINT
VERIFICATION OF CONTRACTOR

BUILDING PERMIT NUMBER: _____

***IF NOT PERFORMED IN CONJUNCTION WITH A MAIN BUILDING PERMIT NUMBER, THEN THE VERIFICATION OF PARCEL CONTROL NUMBER BELOW MUST BE COMPLETED.

OWNERS NAME: HOLLAND

CONSTRUCTION ADDRESS: 16 N Ridgerview Rd

PERMIT TYPE: RESIDENTIAL _____ COMMERCIAL

ELECTRIC - AULT BROS.
 PLUMBING
 HVAC
 IRRIGATION
 FUEL GAS

TYPE OF SERVICE: _____ NEW SERVICE EXISTING SERVICE _____ OTHER

SCOPE OF WORK: _____

VALUE OF CONSTRUCTION \$ \$15,000.00

LOW VOLTAGE

TYPE OF EQUIPMENT: _____ SECURITY _____ VACUUM _____ SOUND SYSTEM _____ LANDSCAPE _____ OTHER

SCOPE OF WORK: _____ VALUE _____

IN CONSIDERATION TO THE GRANTING OF THE ABOVE REQUESTED PERMIT, I DO HEREBY AGREE THAT I WILL, IN ALL RESPECTS, PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND ALL APPLICABLE CODES.

[Signature]
SIGNATURE OF LICENSED CONTRACTOR

1910 SE Cove Rd Street
ADDRESS OF CONTRACTOR

COMPANY OR QUALIFIER'S NAME: Ault Bros Inc. Elec Cont.
PLEASE PRINT

TELEPHONE NO: 772 283 5520 FAX NO: 772-283 0321

MARTIN COUNTY OR STATE OF FLORIDA CONTRACTOR'S LICENSE NUMBER: EC 0001693

** WORK CAN NOT BEGIN UNTIL THIS VERIFICATION IS COMPLETED AND SUBMITTED TO THE BUILDING DEPARTMENT. A PENALTY FEE WILL BE ASSESSED IF WORK IS STARTED PRIOR TO OBTAINING THIS PERMIT. *****

***VERIFICATION OF PARCEL CONTROL NUMBER

OWNER'S FULL NAME AS STATED ON DEED: HOLLAND, Robert & Lisa

PARCEL CONTROL #: 13841-006-002-000-805-0000

SUBDIVISION: Homewood LOT: 8 BLK: B PHASE: _____

SITE ADDRESS: 16 N. Ridgerview Rd.

*Also need copies of state license & County Occup. license.

Send or Fax to:
Town of Sewall's Building Department
1 S. Sewall's Point Road
Sewall's Point, FL 34996
FAX # (772) 220-4765

form
St. City

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID MK
AULTB-1

DATE (MM/DD/YYYY)
09/01/06

PRODUCER
Stuart Insurance, Inc.
1070 S W Hupp
Palm City FL 34990
Phone: 772-286-4334 Fax: 772-286-9389

INSURED
Ault Bros, Inc.
Electrical Contractors
PO Box 1528
Fort Salerno, FL 34992

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

| INSURERS AFFORDING COVERAGE | | NAIC # |
|-----------------------------|--------------------------|--------|
| INSURER A | Auto Owners Insurance Co | 18988 |
| INSURER B | Bridgefield Insurance Co | |
| INSURER C | Owners Insurance Company | 32700 |
| INSURER D | | |
| INSURER E | | |

COVERAGES

THE POLICIES AND COVERAGE SET FORTH HEREIN HAVE BEEN ASSIGNED TO THE INSURED NAMED HEREIN FOR THE POLICY PERIOD INDICATED. COVERAGE IS PROVIDED SUBJECT TO THE POLICY TERMS, CONDITIONS AND EXCLUSIONS WHICH ARE SPECIFIED IN THE POLICY SCHEDULES AND ENDORSEMENTS WHICH ARE ATTACHED TO THIS CERTIFICATE. THIS CERTIFICATE IS NOT A CONTRACT. THE COVERAGE AFFORDED BY THIS CERTIFICATE IS SUBJECT TO ALL THE TERMS, CONDITIONS AND EXCLUSIONS OF THE POLICIES AND COVERAGE SET FORTH HEREIN.

| CLASSIFICATION | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS | |
|----------------|---|---------------|----------------------------------|-----------------------------------|--|-----------|
| C | GENERAL LIABILITY | 20510668 | 04/01/06 | 04/01/07 | Auto Liability - Bodily Injury & Property Damage | |
| | <input checked="" type="checkbox"/> Commercial General Liability | | | | \$1,000,000 | |
| | <input type="checkbox"/> Professional Liability | | | | \$100,000 | |
| | <input checked="" type="checkbox"/> Products/Completed Operations | | | | \$10,000 | |
| | <input type="checkbox"/> Contractual Liability | | | | \$1,000,000 | |
| | <input type="checkbox"/> Personal and Advertising Injury | | | | \$2,000,000 | |
| | <input type="checkbox"/> Damage to Rented Autos | | | | \$2,000,000 | |
| A | AUTOMOBILE LIABILITY | 95-435-045 | 04/01/06 | 04/01/07 | Damage to Rented Autos | |
| | <input type="checkbox"/> Auto | | | | \$1,000,000 | |
| | <input checked="" type="checkbox"/> All Other Autos | | | | | |
| | <input type="checkbox"/> Non-Owned | | | | | |
| | <input checked="" type="checkbox"/> Hired | | | | | |
| B | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | 0830 13547 | 04/01/06 | 04/01/07 | <input checked="" type="checkbox"/> Workers Compensation | |
| | <input type="checkbox"/> Employer's Liability | | | | \$100,000 | |
| | <input type="checkbox"/> Disease - Employee | | | | \$100,000 | |
| | | | | | <input type="checkbox"/> Disease - Policy Limit | \$500,000 |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
Electrical Contractor - State of Florida

CERTIFICATE HOLDER

TOWNS-1
Town of Sewalls Point
1 S Sewalls Point Road
Stuart FL 34996

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES
AUTHORIZED REPRESENTATIVE
Edward E. Coomb

Attn: Valerie

2006-2007 MARTIN COUNTY ORIGINAL COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995 (772) 288-5604

LICENSE ~~986-508-0232~~ CERT ~~EC0001693~~
PHONE ~~(772) 283-5520~~ SIC NO ~~023531~~

LOCATION:
5529 SE AULT AVE MAR

CHARACTER COUNTS IN MARTIN COUNTY

| | | | |
|--------------|------------|--------------|--------------|
| PREV. YR. \$ | <u>.00</u> | LIC. FEE \$ | <u>25.00</u> |
| \$ | <u>.00</u> | PENALTY \$ | <u>.00</u> |
| \$ | <u>.00</u> | COL. FEE \$ | <u>.00</u> |
| \$ | <u>.00</u> | TRANSFER \$ | <u>.00</u> |
| TOTAL | | <u>25.00</u> | |

RECEIPT of PAYMENT
LARRY C. O'STEEN
99 09/20/2006 NORMA
19860005080023
002 2005 0015009.
AULT BROS INC

AULT, MICHAEL
AULT BROS INC
MICHAEL AULT
PO BOX 1528
PT SALERNO FL 34992

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
of MASTER ELEC.

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

19 DAY OF SEPTEMBER 2006
AND ENDING SEPTEMBER 2007

AC# 2761515

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ELECTRICAL CONTRACTORS LICENSING BOARD

SEQ# L06082902867

| DATE | BATCH NUMBER | LICENSE NBR |
|------------|--------------|-------------|
| 08/29/2006 | 060007819 | EC0001693 |


The ELECTRICAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

AULT, MICHAEL DALE
AULT BROS, INC. ELECTRICAL CONTRACTORS
PO BOX 1528
PORT SALERNO FL 34992

JEB BUSH
GOVERNOR

SIMONE MARSTILLER
SECRETARY

DISPLAY AS REQUIRED BY LAW



MARTIN COUNTY, FLORIDA
Construction Industry Licensing Board
Certificate of Competency

JOURNEYMAN ELECTRICIAN
License Number JE00132 Expires: 30-SEP-07
AULT, DAVID A

BOX 1497
PORT SALERNO, FL 34992

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____

TAX FOLIO # _____

013841006-002-000805

NOTICE OF COMMENCEMENT

STATE OF _____

COUNTY OF _____

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

Homewood, Lot 8, Block B ✓

GENERAL DESCRIPTION OF IMPROVEMENT: 2nd story addition to existing balcony

OWNER: Robert / Lisa Holland

ADDRESS: 116 N Ridgerview Rd. Sewalls Point, FL 34996

PHONE #: 223-9792

FAX #: _____

CONTRACTOR: Jeff Pelton

ADDRESS: 1301 SE. Elkhart Terr. P.S. Lucie, FL 34952

PHONE #: 631-1840

FAX #: _____

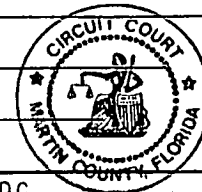
SURETY COMPANY (IF ANY): NA

ADDRESS: _____

STATE OF FLORIDA
MARTIN COUNTY

PHONE #: _____

THIS IS TO CERTIFY THAT THE
FOREGOING _____ PAGES IS A TRUE
AND CORRECT COPY OF THE ORIGINAL



MARSHA EWING, CLERK

BOND AMOUNT: _____

LENDER: NA

BY: [Signature] D.C.
DATE: [Signature]

ADDRESS: _____

PHONE #: _____

FAX #: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: NA

ADDRESS: _____

PHONE #: _____

FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____

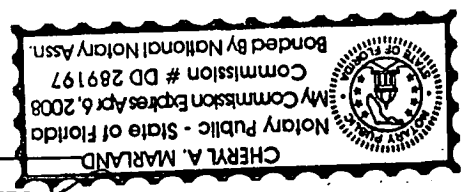
FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

[Signature]
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8th DAY OF January

BY Lisa Holland



[Signature]
NOTARY SIGNATURE

OR
PERSONALLY KNOWN
PRODUCED ID
TYPE OF ID _____

INSR # 1985375 DR BK 02213 PG 2040 RECD 01/11/2007 09:50:29 AM
Pg 2040 (19)
MARSHA EWING MARTIN COUNTY DEPUTY CLERK Wood



MARTIN COUNTY BUILDING SERVICES DEPARTMENT
2401 S.E. MONTEREY ROAD
STUART, FL. 34996
(772) 288-5916

DESIGN CERTIFICATION FOR WIND LOAD
COMPLIANCE BY ARCHITECT OR ENGINEER
OF RECORD

PROJECT NAME AND ADDRESS

HOLLAND RENOVATIONS
16 NORTH RIDGEVIEW RD

BUILDING DEPARTMENT USE ONLY

BLDG. PERMIT# _____
OCCUPANCY TYPE _____
CONST. TYPE _____
COMMENTS _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by Martin County Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 2004 FLORIDA BUILDING CODE
CHAPTER 6 OF ASCE 7-02

BUILDING DESIGN AS: PARTIALLY ENCLOSED _____ ENCLOSED OPEN _____
WIND TUNNEL TEST _____

BASIC WIND SPEED: WEST OF TURNPIKE 130 MPH 3 SECOND GUST _____
EAST OF TURNPIKE 140 MPH 3 SECOND GUST

BUILDING CATEGORY I _____ II III _____ IV _____

WIND IMPORTANCE/USE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT 0.18

GARAGE DOOR DESIGN PRESSURE N/A +psf (positive) | _____ -psf (negative)

DOOR DESIGN PRESSURE (INT. ZONE) N/A +psf | _____ -psf (END ZONE) _____ +psf _____ -psf

WINDOW DESIGN PRESSURE (INT. ZONE) 34.4 +psf | 37.2 -psf (END ZONE) 34.4 +psf | 45.3 -psf

EXPOSURE B

IMPACT PROTECTION (EXTERIOR OPENINGS): APPROVED SHUTTERS _____ IMPACT RESIST. GLASS
(MUST BE INDICATED ON PERMIT DOCUMENTS FOR ALL RESIDENTIAL/COMMERCIAL BUILDINGS, ALTERATIONS, AND RENOVATIONS)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME P. Welch, P.E.
CERTIFICATION# 29945
DATE _____
DESIGN FIRM FW Inc.
OTHER _____

SEAL

BSD FORM #100



MARTIN COUNTY BUILDING SERVICES DEPARTMENT
2401 S.E. MONTEREY ROAD
STUART, FL. 34996
(772) 288-5916

DESIGN CERTIFICATION FOR WIND LOAD
COMPLIANCE BY ARCHITECT OR ENGINEER
OF RECORD

PROJECT NAME AND ADDRESS

HOLLAND RENOVATIONS
16 NORTH RIDGEVIEW RD

BUILDING DEPARTMENT USE ONLY

BLDG. PERMIT# _____
OCCUPANCY TYPE _____
CONST. TYPE _____
COMMENTS _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specifications have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced by Martin County Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

DESIGN PARAMETERS AND ANALYSIS

CODE EDITIONS: 2004 FLORIDA BUILDING CODE
CHAPTER 6 OF ASCE 7-02

BUILDING DESIGN AS: PARTIALLY ENCLOSED _____ ENCLOSED OPEN _____
WIND TUNNEL TEST _____

BASIC WIND SPEED: WEST OF TURNPIKE 130 MPH 3 SECOND GUST
EAST OF TURNPIKE 140 MPH 3 SECOND GUST

BUILDING CATEGORY I _____ II III _____ IV _____

WIND IMPORTANCE/USE FACTOR 1.0

INTERNAL PRESSURE COEFFICIENT 0.18

GARAGE DOOR DESIGN PRESSURE N/A +psf (positive) _____ -psf (negative)

DOOR DESIGN PRESSURE (INT. ZONE) N/A +psf _____ -psf (END ZONE) _____ +psf _____ -psf

WINDOW DESIGN PRESSURE (INT. ZONE) 34.4 +psf 37.3 -psf (END ZONE) 34.4 +psf 45.3 -psf

EXPOSURE B

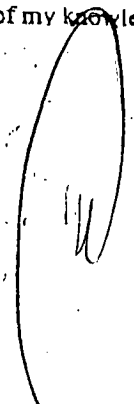
IMPACT PROTECTION (EXTERIOR OPENINGS): APPROVED SHUTTERS _____ IMPACT RESIST. GLASS
(MUST BE INDICATED ON PERMIT DOCUMENTS FOR ALL RESIDENTIAL/COMMERCIAL BUILDINGS, ALTERATIONS, AND RENOVATIONS)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCTION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME P. Wolch, P.E.
CERTIFICATION# 29945
DATE _____
DESIGN FIRM FWI, INC.
OTHER _____

SEAL



BSD FORM #100

MARTIN COUNTY BUILDING DEPARTMENT PRODUCT APPROVAL CHECKLIST

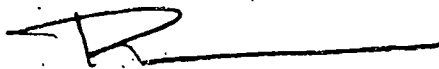
Permit Type: II Permit #: _____ Owner's Name: HOLLAND

Design Professional Name A/E: P. Welch, P.E. Job Site Location: 16 NORTH RIDGE VIEW

The following information is required by Rule 9 B-72 as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications, or general notes, simply indicate page number on the affidavit.

| PRODUCT | MODEL NUMBER | MANUFACTURER | EVALUATION AGENCY |
|---------------------------|--------------------|--------------|-------------------|
| Windows | 701 SH (IMPACT) | P&T | MDPCD |
| Exit Doors | N/A | | |
| Skylights | N/A | | |
| Shutters | 24gs GALV. | EASTERN | MDPCD |
| Roofing Materials | EXIST. | | |
| Panel Walls | N/A | | |
| Structural Components | N/A | | |
| New/Alternative Materials | N/A | | |

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.



 Architect/Engineer's Signature

29945

 FL. Cert./Reg. Number

MARTIN COUNTY BUILDING DEPARTMENT PRODUCT APPROVAL CHECKLIST


Permit Type: II Permit #: _____ Owner's Name: HOLLAND

Design Professional Name A/E: P. Welch, P.E. Job Site Location: 16 NORTH RIDGE VIEW

The following information is required by Rule 9B-72 as promulgated by the Florida Building Commission. In the event that information required for product approval has been incorporated in to the plans, specifications, or general notes, simply indicate page number on the affidavit.

| PRODUCT | MODEL NUMBER | MANUFACTURER | EVALUATION AGENCY |
|---------------------------|--------------------|--------------|-------------------|
| Windows | 701 SH (IMPACT) | P&T | MDPLD |
| Exit Doors | N/A | | |
| Skylights | N/A | | |
| Shutters | 24gs GALV. | EASTERN | MDPLD |
| Roofing Materials | EXIST. | | |
| Panel Walls | N/A | | |
| Structural Components | N/A | | |
| New/Alternative Materials | N/A | | |

In accordance with the Florida Architects and Engineers product approval system, this affidavit certifies that I have performed the building envelope evaluation as required by the Florida Building Code.



 Architect/Engineer's Signature

29945

 FL. Cert./Reg. Number

**TOWN OF SEWALL' S POINT
BUILDING DEPARTMENT**

**Design Certification for Windload Compliance By Architect or Engineer of Record
(To be submitted with application and construction drawing for permit)**

PROJECT NAME AND ADDRESS

BUILDING DEPARTMENT USE ONLY

Holland Renovation
16 N Ridgeway Rd
Stuart, FL 34996

BLDG. PERMIT # _____
OCCUPANCY TYPE _____
CONSTRUCTION TYPE _____

STATEMENT

I certify that, to the best of my knowledge and belief, these plans and specification have been designed to comply with the applicable structural portion of the Building Codes as amended, adopted, and enforced the Town of Sewall's Point Building Department. I also certify that the structural components, systems, and related elements provide adequate resistance to the wind loads and forces specified by the current Code provisions. I hereby accept responsibility for the structural design.

BUILDING PARAMETERS AND ANALYSIS

**CODE EDITIONS: 2001 FLORIDA BUILDING CODE
CHAPTER 6 OF ASCE 7- 98**

Building Design as: Partially Enclosed _____ Enclosed _____ Open _____ Wind Tunnel Test _____
Basic Wind Speed: 140 MPH 3 Second Gusts _____ Importance/Use Factor _____
Velocity Pressure: _____psf Garage Door Design Pressure _____+(psf) (End Zone) _____+psf _____+psf
Door Design Pressure (Int. Zone) _____+psf _____-psf (End Zone _____+psf _____-psf
Window Design Pressure (Int. Zone) _____+psf _____-psf (End Zone _____+psf _____-psf
Minimum Soil Bearing Pressure _____psf Exposure _____ Mean Building Height _____
Floor Loads _____ Roof Dead Load _____ Shear Wall Considered _____ Yes _____ No
Continuous Load Path Provided _____ Yes _____ No
Components and Cladding Details Provided _____ Yes _____ No
Impact Protection (Exterior Openings): Approved Shutters _____ Impact Resistance Glass _____
(Must be indicated on permit documents for all residential/commerical buildings, alterations and renovations)

NOTE: ACTUAL DESIGN PRESSURES FOR ALL EXTERIOR WINDOWS, DOORS, GARAGE DOORS, AND SIMILAR ENVELOPE ELEMENTS MUST ALSO BE INDICATED ON CONSTRUCION PLANS.

As witnessed by my seal, I hereby certify that the above information is true and correct to the best of my knowledge.

NAME: _____
CERTIFICATION# _____
DATE: _____
DESIGN FIRM: _____

SEAL

TOWN OF SEWALL'S POINT
Building Department
One South Sewall's Point Road
Sewall's Point, Florida 34996

POWER RELEASE AGREEMENT: PN: _____
(To be submitted at final electrical inspection in order to turn on electric service)

Owner: Holland Address: 16 N Ridgeway Rd ✓
Project Address: same Legal: Lot: 8 Block: B Subdivision: Homewood
General Contractor: Jeff Pelton Lic/Cert. No.: _____
Address: 1801 SE Elkhart Terr. 34952 P.S.L. # 34952 Tel: 631-1840 Fax: _____
Electrical Contractor: _____ Lic/Cert. No.: _____
Address: _____ Tel: _____ Fax: _____

WHEREAS, pursuant to the provisions of, and governed by the National Electrical Code and Ordinances of the Town of Sewall's Point, electric hook-up for use during building operations and for testing purposes under a valid building permit is authorized under prescribed terms and conditions; and,

WHEREAS, the above named responsible persons, firms or corporations have requested an electrical hook-up of _____ for the purpose of _____ at the above designated construction now in progress under a valid building permit; and equipment and completion of building operations as herein above described.

NOW THEREFORE IT IS AGREED BY AND BETWEEN THE PARTIES THAT:

1. The parties to this agreement are Gene Simmons, Building Official, Town of Sewall's point, and the above named responsible persons, firms, corporations.
2. In order to allow electrical service to be provided to certain equipment being placed at the referenced construction address the Building Official hereby agrees to grant an electrical hook-up permit.
3. This electrical hook-up will be revoked or a Certificate of Occupancy will be issued to verify completion.
4. The electric hook-up is solely for the purposes stated. No furniture or occupants will be moved into the building until a Certificate of Occupancy is issued.

IN WITNESS WHEREOF the parties have caused this agreement to be executed this ____ day of _____, 200__.

[Signature]
SIGNATURE OF GENERAL CONTRACTOR

SIGNATURE OF ELECTRICAL CONTRACTOR

[Signature]
SIGNATURE OF OWNER

GENE SIMMONS, BUILDING OFFICIAL

TOWN OF SEWALL'S POINT BUILDING DEPARTMENT

MARC S. TEPLITZ
Mayor

JAMES D. BERCAW
Vice Mayor

E. DANIEL MORRIS
Commissioner

THOMAS P. BAUSCH
Commissioner

RICHARD L. BARON
Commissioner



JOSEPH C. DORSKY
Town Manager

JOAN H. BARROW
Town Clerk

LARRY E. McCARTY
Chief of Police

GENE SIMMONS
Building Official

JOSE TORRES, JR.
Maintenance

TO: All Town of Sewall's Point
Architects, Engineers, Builders and Developers

DATE: May 1, 2003

RE: Construction sites above one (1) acre.

Effective today, all construction sites in the Town of Sewall's Point disturbing one (1) acre or more are required to obtain a stormwater discharge permit from the Florida Department of Environment Protection (DEP). In order to assist you, we are attaching the DEP Notice of Intent (NOI), which should be filed no less than thirty (30) days prior to commencing construction, or two days if you already have an existing Environmental Resources Permit (ERP).

For your convenience, the attached NOI application is also available on the DEP website in a Word document format. The form can be found at:

http://www.dep.state.fl.us/water/stormwater/forms/cgp_noi.doc

For further information, please contact the Florida DEP at:

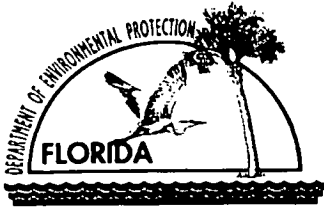
NPDES Stormwater Notices Center, MS #2510
2600 Blair Stone Road
Tallahassee, Florida 32399-2400
(866) 336-6312 (toll free) or (850) 297-1232

Sincerely,

Gene Simmons,
Building Official,
Town of Sewall's Point



Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org



NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (RULE 62-621.300(4), F.A.C.)

This Notice of Intent (NOI) form is to be completed and submitted to the Department before use of the Generic Permit for Stormwater Discharge From Large and Small Construction Activities provided in Rule 62-621.300(4), F.A.C. The type of project or activity that qualifies for use of the generic permit, the conditions of the permit, and additional requirements to request coverage are specified in the generic permit document [DEP Document 62-621.300(4)(a)]. **The appropriate generic permit fee, as specified in Rule 62-4.050(4)(d), F.A.C., shall be submitted with this NOI in order to obtain permit coverage. Permit coverage will not be granted without submittal of the appropriate generic permit fee.** You should familiarize yourself with the generic permit document and the attached instructions before completing this NOI form. Please print or type information in the appropriate areas below.

I. IDENTIFICATION NUMBER: Project ID _____

II. APPLICANT INFORMATION:

| | | |
|---------------------|---------------------------|--------------|
| A. Operator Name: | | |
| B. Address: | | |
| C. City: | D. State: | E. Zip Code: |
| F. Operator Status: | G. Responsible Authority: | |
| | H. Phone No.: | |

III. PROJECT/SITE LOCATION INFORMATION:

| | | |
|--|-----------------------------|-------------------------------|
| A. Project Name: | | |
| B. Project Address/Location: | | |
| C. City: | D. State: | E. Zip Code: |
| F. County: | G. Latitude: ° ' " | Longitude: ° ' " |
| H. Is the site located on Indian lands? <input type="checkbox"/> Yes <input type="checkbox"/> No | | I. Water Management District: |
| J. Project Contact: | | K. Phone No.: |

IV. PROJECT/SITE ACTIVITY INFORMATION:

| | | | |
|---|--|------------------|--------------|
| A. Indicate whether Large or Small Construction (check only one) | <input type="checkbox"/> Large Construction (Project will disturb five or more acres of land.) <input type="checkbox"/> Small Construction (Project will disturb one or more acres but less than five acres of land.) | | |
| B. Approximate total area of land disturbance from commencement through completion of construction: _____ Acres | | | |
| C. SWPPP Location | <input type="checkbox"/> Address in Part II above <input type="checkbox"/> Address in Part III above <input type="checkbox"/> Other address (specify below) | | |
| D. SWPPP Address: | | | |
| E. City: | | F. State: | G. Zip Code: |
| H. Construction Period | Start Date: | Completion Date: | |

V. DISCHARGE INFORMATION

| |
|---------------------------------------|
| A. MS4 Operator Name (if applicable): |
| B. Receiving Water Name: |

VI. CERTIFICATION¹:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

| |
|---|
| Name and Official Title (Type or Print) |
| |

Signature:

Date Signed:

¹ Signatory requirements are contained in Rule 62-620.305, F.A.C.

INSTRUCTIONS – DEP FORM 62-621.300(4)(b)
NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES

Who Must File an NOI:

Federal law at 40 CFR Part 122 prohibits the point source discharge of pollutants, including the discharge of stormwater associated with large construction activities as defined at 40 CFR 122.26(b)(14)(x) or small construction activities as defined at 40 CFR 122.26(b)(15), to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program at 403.0885, F.S., operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), must obtain coverage either under a generic permit issued pursuant to Chapter 62-621, F.A.C., or an individual permit issued pursuant to Chapter 62-620, F.A.C.

Where to File NOI:

NOIs for coverage under this generic permit must be sent to the following address:

NPDES Stormwater Notices Center, MS #2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Permit Fee:

Permit fees for large and small construction activities to be covered under the generic permit are specified in Rule 62-4.050(4)(d), F.A.C. The appropriate generic permit fee (either for large or small construction activities) must be submitted along with the completed NOI in order to obtain coverage under the generic permit. **Generic permit coverage will not be granted without payment of the appropriate permit fee.**

The permit fee shall be paid by either check or money order made payable to: "Florida Department of Environmental Protection"

Part I – Identification Number

Enter the project's DEP identification number (generic permit coverage number) if known. If an ID number has not yet been assigned to this project (i.e., if this is a new project), leave this item blank.

Part II – Applicant Information

Item A.: Provide the legal name of the person, firm, contractor, public organization, or other legal entity that owns or operates the construction activity described in this NOI. The operator is the legal entity that has authority to control those activities at the project necessary to ensure compliance with the terms and conditions of the generic permit.

Items B. – E.: Provide the complete mailing address of the operator, including city, state, and zip code.

Item F.: Enter the appropriate one letter code from the list below to indicate the legal status of the operator:

F = Federal; S = State; P = Private; M = Public (other than federal or state); O = Other

Items G. – H.: Provide the name and telephone number (including area code) of the person authorized to submit this NOI on behalf of the operator (e.g., Jane Smith, President of Smith Construction Company on behalf of the operator, Smith Construction Company; John Doe, Public Works Director on behalf of the operator, City of Townsville; etc.). This should be the same person as indicated in the certification in Part VI.

Part III – Project/Site Location Information

Items A. – E.: Enter the official or legal name and complete street address, including city, state, and zip code of the project. Do not provide a P.O. Box number as the street address. If it lacks a street address, describe the project site location (e.g., intersection of State Road 1 and Smith Street).

Item F.: Enter the county in which the project is located.

Item G.: Enter the latitude and longitude, in **degrees-minutes-seconds format**, of the approximate center of the project.

Item H.: Indicate whether the project is located on Indian lands.

Item I.: Enter the appropriate five or six letter code from the list below to indicate the Water Management District the project is located within:

NFWWMD = Northwest Florida Water Management District
SRWMD = Suwannee River Water Management District
SFWMD = South Florida Water Management District
SWFWMD = Southwest Florida Water Management District
SJRWMD = St. John's River Water Management District

Items J. – K.: Give the name, title, and telephone number (including area code) of the project contact person. The project contact is the person who is thoroughly familiar with the project, with the facts reported in this NOI, and who can be contacted by the Department if necessary.

Part IV – Project/Site Activity Information:

Item A.: Check the appropriate box to indicate whether the project involves large construction activity or small construction activity. **Check one box only.**

“Large Construction Activity” means construction activity that results in the disturbance of five (5) or more acres of total land area. Large construction activity also includes the disturbance of less than five acres of total land area that is part of a larger common plan of development or sale if the larger common plan will ultimately disturb five acres or more.

“Small Construction Activity” means construction activity that results in the disturbance of equal to or greater than one (1) acre and less than five (5) acres of total land area. Small construction activity also includes the disturbance of less than one acre of total land area that is part of a larger common plan of development or sale that will ultimately disturb equal to or greater than one acre and less than five acres.

Item B.: Provide the approximate total area of land disturbance in acres that the project will involve from commencement of construction through completion.

Items C. - G.: Indicate the location where the Stormwater Pollution Prevention Plan (SWPPP) can be viewed. Provide the address where the SWPPP can be viewed if other than as provided in Parts II or III of the NOI. **Note that to be eligible for coverage under the generic permit, the SWPPP must have been prepared prior to filing this NOI.**

Item H.: Enter the estimated construction start and completion dates in the MM/DD/YY format.

Part V – Discharge Information

Item A.: If stormwater from the project discharges to a municipal separate storm sewer system (MS4), enter the name of the operator of the MS4 (e.g., City of Tallahassee MS4, Orange County MS4, FDOT MS4, etc.). If stormwater from the project does not discharge to an MS4 but rather discharges to surface waters of the State, leave this item blank or indicate "N/A" and skip to Item B of this part. **Please note that if the project discharges stormwater to an MS4, you must provide the MS4 operator with a copy of the completed NOI.**

Item B.: If the project discharges stormwater to surface waters of the State, and not to an MS4, enter the name of the receiving water body to which the stormwater is discharged. Please provide the first named water body to which the stormwater from the project is discharged (e.g., Cypress Creek, Tampa Bay, unnamed ditch to St. Johns River, Tate's Hell Swamp, etc.).

Part VI – Certification

Type or print the name and official title of the person signing the certification. Please note that this should be the same person as indicated in Item II.G. as the Responsible Authority. Sign and date the certification.

Section 403.161, F.S., provides severe penalties for submitting false information on this application (NOI) or any reports or records required by a permit. There are both civil and criminal penalties, in addition to the revocation of permit coverage for submitting false information.

Rule 62-620.305, F.A.C., requires that the NOI and any reports required by the permit to be signed as follows:

- A. For a corporation, by a responsible corporate officer as described in Rule 62-620.305, F.A.C.;
- B. For a partnership or sole proprietorship, by a general partner or the proprietor, respectively; or,
- C. For a municipality, state, federal or other public facility, by a principal executive officer or elected official.

TOWN OF SEWALL'S POINT



TOWN OF SEWALL'S POINT DRAINAGE CERTIFICATE OF COMPLIANCE

PERMIT NUMBER _____

CERTIFICATION

Based upon field review under my responsible charge and review of the final survey as required by the Building Department, I certify the lot grading has been constructed in substantial accordance with the approved drainage plan for the subdivision and/or the drainage control points referenced on the individual lot site plan or construction layout survey on file with the Building Department.

Professional's Name

Signature

Registration Number

As of this Date

Address

Telephone Number



One South Sewall's Point Road, Sewall's Point, Florida 34996
Town Hall (561) 287-2455 • Fax (561) 220-4765 • E-Mail: clerk@sewallspoint.org
Police Department (561) 781-3378 • Fax (561) 286-7669 • E-Mail: police@sewallspoint.org

*The Holland Renovation
HVAC Load Calculations*

for

Mr. & Mrs. Holland
16 N Ridgeview Road
Sewall's Point, Fl

Elite Software

**RHVAC RESIDENTIAL
HVAC LOADS**

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
DATE 1/19/07
[Signature]
BUILDING OFFICIAL

Prepared By:
Jose
Nisair Air Conditioning
3700 S US Highway 1
Ft. Pierce, Fl 34982
772-466-8115
Monday, December 18, 2006

Project Report

General Project Information

Project Filename: C:\Elite\Rhvacw\Projects\HollandRenov.rhv
 Project Title: The Holland Renovation
 Project Date: Monday, December 18, 2006
 Client Name: Mr. & Mrs. Holland
 Client Address: 16 N Ridgeview Road
 Client City: Sewall's Point, Fl
 Company Name: Nisair Air Conditioning
 Company Representative: Jose
 Company Address: 3700 S US Highway 1
 Company City: Ft. Pierce, Fl 34982
 Company Phone: 772-466-8115

Design Data

Reference City: West Palm Beach, Florida
 Daily Temperature Range: High
 Latitude: 26 Degrees
 Elevation: 15 ft.
 Altitude Factor: 0.999
 Elevation Sensible Adj. Factor: 1.000
 Elevation Total Adj. Factor: 1.000
 Elevation Heating Adj. Factor: 1.000
 Elevation Heating Adj. Factor: 1.000

| | Outdoor Dry Bulb | Outdoor Wet Bulb | Indoor Rel.Hum | Indoor Dry Bulb | Grains Difference |
|---------|---------------------|---------------------|-------------------|--------------------|----------------------|
| Winter: | 45 | 0 | 0 | 72 | 0 |
| Summer: | 91 | 78 | 50 | 75 | 59 |

Check Figures

Total Building Supply CFM: 231 (7.2 AC/hr) CFM Per Square ft.: 0.961
 Square ft. of Room Area: 240 Square ft. Per Ton: 476

Building Loads

Total Heating Required With Outside Air: 4,161 Btuh 4.161 MBH
 Total Sensible Gain: 5,071 Btuh 84 %
 Total Latent Gain: 977 Btuh 16 %
 Total Cooling Required With Outside Air: 6,048 Btuh 0.50 Tons (Based On Sensible + Latent)

Notes

Calculations are based on 8th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

Miscellaneous Report

| System 1 Addition Input Data | Outdoor Dry Bulb | Outdoor Wet Bulb | Indoor Rel. Humidity | Indoor Dry Bulb | Grains Difference |
|---------------------------------|---------------------|---------------------|-------------------------|--------------------|----------------------|
| Winter: | 45 | 0 | 30 | 72 | -0.42 |
| Summer: | 91 | 78 | 50 | 75 | 59.42 |

Duct Sizing Inputs

| | <u>Main Trunk</u> | <u>Runouts</u> |
|-------------------|-----------------------|-----------------------|
| Calculate: | Yes | Yes |
| Use Schedule: | Yes | Yes |
| Roughness Factor: | 0.00300 | 0.01000 |
| Pressure Drop: | 0.1000 in.wg./100 ft. | 0.1000 in.wg./100 ft. |
| Minimum Velocity: | 650 ft./min | 450 ft./min |
| Maximum Velocity: | 900 ft./min | 750 ft./min |
| Minimum Height: | 0 in. | 0 in. |
| Maximum Height: | 0 in. | 0 in. |

Outside Air Data:

| | <u>Winter</u> | <u>Summer</u> |
|------------------------------|-----------------|---------------|
| Infiltration: | 0.700 AC/hr | 0.400 AC/hr |
| Volume of Conditioned Space: | X 1920 Cu.ft. | X 1920 Cu.ft. |
| | 1,344 Cu.ft./hr | 768 Cu.ft./hr |
| | X 0.0167 | X 0.0167 |
| Total Building Infiltration: | 22 CFM | 13 CFM |
| Total Building Ventilation: | 0 CFM | 0 CFM |

---System 1---

Infiltration & Ventilation Sensible Gain Multiplier: 17.59 = (1.10 X 0.999 X 16.00 Summer Temp. Difference)
 Infiltration & Ventilation Latent Gain Multiplier: 40.38 = (0.68 X 0.999 X 59.42 Grains Difference)
 Infiltration & Ventilation Sensible Loss Multiplier: 29.68 = (1.10 X 0.999 X 27.00 Winter Temp. Difference)

Load Preview Report

| Scope | Area | Sens. Gain | Lat Gain | Net Gain | Sens Loss | Win CFM | Sum CFM | Sys CFM | Duct Size |
|---|------|------------|----------|----------|-----------|---------|---------|---------|-----------|
| Building: 0.50 Net Tons, 0.56 Recommended Tons, 426 ft. ² /Ton, 4.16 MBH Heating | | | | | | | | | |
| Building | 240 | 5,071 | 977 | 6,048 | 4,161 | 54 | 231 | 231 | |
| System 1: 0.50 Net Tons, 0.56 Recommended Tons, 426 ft. ² /Ton, 4.16 MBH Heating | | | | | | | | | |
| System 1 | 240 | 5,071 | 977 | 6,048 | 4,161 | 54 | 231 | 231 | 8x7 |
| Zone 1 | 240 | 5,071 | 977 | 6,048 | 4,161 | 54 | 231 | 231 | |
| 1-Bedroom | 240 | 5,071 | 977 | 6,048 | 4,161 | 54 | 231 | 231 | 2-6 |

Total Building Summary Loads

| Component Description | Area Quan | Sen Loss | Lat Gain | Sen Gain | Total Gain |
|---|-----------|--------------|------------|--------------|--------------|
| 1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.22, outdoor insect screen with 50% coverage, light color drapes with medium weave with 50% coverage | 57 | 1,661 | 0 | 2,774 | 2,774 |
| 12E-0sw: Wall-Frame, R-19 insulation in 2 x 6 stud cavity, no board insulation, siding finish, wood studs | 359 | 659 | 0 | 169 | 169 |
| 16A-19: Roof/Ceiling-Under attic or knee wall, Unvented Attic, No Radiant Barrier, Any Roofing Material, Any Roof Color, R-19 insulation | 240 | 318 | 0 | 776 | 776 |
| 19A-0cp: Floor-Over enclosed unconditioned crawl space, No insulation on exposed walls, sealed or vented space, passive, no floor insulation, carpet or hardwood | 240 | 718 | 0 | 426 | 426 |
| Subtotals for structure: | | 3,356 | 0 | 4,145 | 4,145 |
| People: | 2 | | 400 | 460 | 860 |
| Equipment: | | | 0 | 0 | 0 |
| Lighting: | 0 | | | 0 | 0 |
| Ductwork: | | 140 | 60 | 241 | 301 |
| Infiltration: Winter CFM: 22, Summer CFM: 13 | | 665 | 517 | 225 | 742 |
| Ventilation: Winter CFM: 0, Summer CFM: 0 | | 0 | 0 | 0 | 0 |
| Total Building Load Totals: | | 4,161 | 977 | 5,071 | 6,048 |

Check Figures

| | | | |
|----------------------------|-----------------|---------------------|-------|
| Total Building Supply CFM: | 231 (7.2 AC/hr) | CFM Per Square ft.: | 0.961 |
| Square ft. of Room Area: | 240 | Square ft. Per Ton: | 476 |

Building Loads

| | | |
|--|------------|--|
| Total Heating Required With Outside Air: | 4,161 Btuh | 4.161 MBH |
| Total Sensible Gain: | 5,071 Btuh | 84 % |
| Total Latent Gain: | 977 Btuh | 16 % |
| Total Cooling Required With Outside Air: | 6,048 Btuh | 0.50 Tons (Based On Sensible + Latent) |

Notes

Calculations are based on 8th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

System 1 Addition Summary Loads (Peak Method)

| Component Description | Area Quan | Sen Loss | Lat Gain | Sen Gain | Total Gain |
|---|--------------|--------------|-------------|--------------|---------------|
| 1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.22, outdoor insect screen with 50% coverage, light color drapes with medium weave with 50% coverage | 57 | 1,661 | 0 | 2,774 | 2,774 |
| 12E-0sw: Wall-Frame, R-19 insulation in 2 x 6 stud cavity, no board insulation, siding finish, wood studs | 359 | 659 | 0 | 169 | 169 |
| 16A-19: Roof/Ceiling-Under attic or knee wall, Unvented Attic, No Radiant Barrier, Any Roofing Material, Any Roof Color, R-19 insulation | 240 | 318 | 0 | 776 | 776 |
| 19A-0cp: Floor-Over enclosed unconditioned crawl space, No insulation on exposed walls, sealed or vented space, passive, no floor insulation, carpet or hardwood | 240 | 718 | 0 | 426 | 426 |
| Subtotals for structure: | | 3,356 | 0 | 4,145 | 4,145 |
| People: | 2 | | 400 | 460 | 860 |
| Equipment: | | | 0 | 0 | 0 |
| Lighting: | 0 | | | 0 | 0 |
| Ductwork: | | 140 | 60 | 241 | 301 |
| Infiltration: Winter CFM: 22, Summer CFM: 13 | | 665 | 517 | 225 | 742 |
| Ventilation: Winter CFM: 0, Summer CFM: 0 | | 0 | 0 | 0 | 0 |
| System 1 Addition Load Totals: | | 4,161 | 977 | 5,071 | 6,048 |

Check Figures

| | | | |
|--------------------------|-----------------|---------------------|-------|
| Supply CFM: | 231 (7.2 AC/hr) | CFM Per Square ft.: | 0.961 |
| Square ft. of Room Area: | 240 | Square ft. Per Ton: | 476 |

System Loads

| | | |
|--|------------|--|
| Total Heating Required With Outside Air: | 4,161 Btuh | 4.161 MBH |
| Total Sensible Gain: | 5,071 Btuh | 84 % |
| Total Latent Gain: | 977 Btuh | 16 % |
| Total Cooling Required With Outside Air: | 6,048 Btuh | 0.50 Tons (Based On Sensible + Latent) |

Notes

Calculations are based on 8th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

System 1, Zone 1 Summary Loads (Peak Method)

| Component Description | Area Quan | Sen Loss | Lat Gain | Sen Gain | Total Gain |
|---|--------------|--------------|-------------|--------------|---------------|
| 1A-hb-o: Glazing-Single pane, operable window, heat-absorbing, metal frame with break, ground reflectance = 0.22, outdoor insect screen with 50% coverage, light color drapes with medium weave with 50% coverage | 57 | 1,661 | 0 | 2,774 | 2,774 |
| 12E-0sw: Wall-Frame, R-19 insulation in 2 x 6 stud cavity, no board insulation, siding finish, wood studs | 359 | 659 | 0 | 169 | 169 |
| 16A-19: Roof/Ceiling-Under attic or knee wall, Unvented Attic, No Radiant Barrier, Any Roofing Material, Any Roof Color, R-19 insulation | 240 | 318 | 0 | 776 | 776 |
| 19A-0cp: Floor-Over enclosed unconditioned crawl space, No insulation on exposed walls, sealed or vented space, passive, no floor insulation, carpet or hardwood | 240 | 718 | 0 | 426 | 426 |
| Subtotals for structure: | | 3,356 | 0 | 4,145 | 4,145 |
| People: | 2 | | 400 | 460 | 860 |
| Equipment: | | | 0 | 0 | 0 |
| Lighting: | 0 | | | 0 | 0 |
| Ductwork: | | 140 | 60 | 241 | 301 |
| Infiltration: Winter CFM: 22, Summer CFM: 13 | | 665 | 517 | 225 | 742 |
| System 1, Zone 1 Load Totals: | | 4,161 | 977 | 5,071 | 6,048 |

Check Figures

| | | | |
|--------------------------|-----------------|---------------------|-------|
| Supply CFM: | 231 (7.2 AC/hr) | CFM Per Square ft.: | 0.961 |
| Square ft. of Room Area: | 240 | Square ft. Per Ton: | 476 |

Zone Loads

| | | |
|-------------------------|------------|--|
| Total Heating Required: | 4,161 Btuh | 4.161 MBH |
| Total Sensible Gain: | 5,071 Btuh | 84 % |
| Total Latent Gain: | 977 Btuh | 16 % |
| Total Cooling Required: | 6,048 Btuh | 0.50 Tons (Based On Sensible + Latent) |

Notes:

Calculations are based on 8th edition of ACCA Manual J.
 All computed results are estimates as building use and weather may vary.
 Be sure to select a unit that meets both sensible and latent loads.

Detailed Room Loads - Room 1 - Bedroom (Peak Method)

General

| | | | |
|----------------------|----------------------|-----------------------|-----------|
| Calculation Mode: | Htg. & clg. | Occurrences: | 1 |
| Room Length: | 40.0 ft. | System Number: | 1 |
| Room Width: | 6.0 ft. | Zone Number: | 1 |
| Area: | 240.0 sq.ft. | Supply Air: | 231 CFM |
| Ceiling Height: | 8.0 ft. | Supply Air Changes: | 7.2 AC/hr |
| Volume: | 1,920.0 cu.ft. | Required Vent.: | 0 CFM |
| Number of Registers: | 2 | Actual Winter Vent.: | 0 CFM |
| Runout Air: | 115 CFM | Percent of Supply.: | 0 % |
| Runout Duct Size: | 6 in. | Actual Summer Vent.: | 0 CFM |
| Runout Air Velocity: | 587 ft./min. | Percent of Supply: | 0 % |
| Design Loss: | 0.100 in.wg./100 ft. | Actual Winter Infil.: | 22 CFM |
| Actual Loss: | 0.220 in.wg./100 ft. | Actual Summer Infil.: | 13 CFM |

| Item Description | Area Quantity | U-Value | Htg HTM | Sen Loss | Clg HTM | Lat Gain | Sen Gain |
|-----------------------------------|---------------|---------|---------|--------------|---------|------------|--------------|
| E -Wall-12E-0sw 6 X 8 | 40 | 0.068 | 1.8 | 73 | 0.2 | 0 | 9 |
| W -Wall-12E-0sw 6 X 8 | 44 | 0.068 | 1.8 | 81 | 1.6 | 0 | 68 |
| S -Wall-12E-0sw 40 X 8 | 275 | 0.068 | 1.8 | 505 | 0.3 | 0 | 92 |
| E -Gls-1A-hb-o shgc-0.52 0%S | 8 | 1.080 | 29.2 | 233 | 96.3 | 0 | 770 |
| W -Gls-1A-hb-o shgc-0.52 0%S | 4 | 1.080 | 29.2 | 117 | 98.3 | 0 | 393 |
| S -Gls-1A-hb-o shgc-0.52 71%S (3) | 45 | 1.080 | 29.2 | 1,311 | 35.8 | 0 | 1,611 |
| UP-Ceil-16A-19 40 X 6 | 240 | 0.049 | 1.3 | 318 | 3.2 | 0 | 776 |
| Floor-19A-0cp 6 X 40 | 240 | 0.295 | 3.0 | 718 | 1.8 | 0 | 426 |
| Subtotals for Structure: | | | | 3,356 | | 0 | 4,145 |
| Infil.: Win.: 22.4, Sum.: 12.8 | 416 | | 1.599 | 665 | 0.541 | 517 | 225 |
| Ductwork: | | | 0.035 | 140 | 0.050 | 60 | 241 |
| People: 200 lat/per, 230 sen/per: | 2 | | | | | 400 | 460 |
| Room Totals: | | | | 4,161 | | 977 | 5,071 |

System 1 Room Load Summary

| Room No | Room Name | Area SF | Htg Sens Btuh | Htg Nom CFM | Run Duct Size | Run Duct Vel | Clg Sens Btuh | Clg Lat Btuh | Clg Nom CFM | Air Sys CFM |
|----------------|-----------|---------|---------------|-------------|---------------|--------------|---------------|--------------|-------------|-------------|
| ---Zone 1--- | | | | | | | | | | |
| 1 | Bedroom | 240 | 4,161 | 54 | 2-6 | 587 | 5,071 | 977 | 231 | 231 |
| System 1 total | | 240 | 4,161 | 54 | | | 5,071 | 977 | 231 | 231 |

System 1 Main Trunk Size: 8x7 in.
 Velocity: 661 ft./min
 Loss per 100 ft.: 0.132 in.wg

Cooling System Summary

| | Cooling Tons | Sensible/Latent Split | Sensible Btuh | Latent Btuh | Total Btuh |
|---------------|--------------|-----------------------|---------------|-------------|------------|
| Net Required: | 0.50 | 84% / 16% | 5,071 | 977 | 6,048 |

Equipment Data:

| | Heating System | | Cooling System | |
|--------------------|----------------|-----|----------------|--------|
| Type: | | | | |
| Model: | | | | |
| Brand: | | | | |
| Efficiency: | | | | |
| Sound: | | | | |
| Capacity: | | | | |
| Sensible Capacity: | | n/a | | 0 Btuh |
| Latent Capacity: | | n/a | | 0 Btuh |

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

| | |
|--|--|
| Project Name: THE HOLLAND RENOVATION Address: 16 N RIDGEVIEW ROAD City, State: SEWALL'S POINT, FL Owner: MR. & MRS. HOLLAND Climate Zone: South | Builder: OWNER Permitting Office: Permit Number: Jurisdiction Number: |
|--|--|

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|-------------------|-----------------------|------|-------------------------------|-------------------|----------------------|----------------------------|------------|----------------------|---------------------------|---------|----------------------|--------|--|--|--------|--|--|--------------------------|---------|-----------------------|--------|--|--|--------|--|--|--------|--|--|--------|--|--|----------------|---------|-----------------------|--------|--|--|--------|--|--|----------------------------------|-------------|---------|--------|--|--|---|-----------------|------------------|--|-------------|--------|--|--------|--|-------------------|------------------|--|-----------|--------|--|--------|--|--------|--|--------|--|---|--|
| <p>1. New construction or existing Addition <input type="checkbox"/></p> <p>2. Single family or multi-family Single family <input type="checkbox"/></p> <p>3. Number of units, if multi-family 1 <input type="checkbox"/></p> <p>4. Number of Bedrooms 1 <input type="checkbox"/></p> <p>5. Is this a worst case? No <input type="checkbox"/></p> <p>6. Conditioned floor area (ft²) 235 ft² <input type="checkbox"/></p> <p>7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default)</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. U-factor:</td> <td style="width: 30%;">Description</td> <td style="width: 40%;">Area</td> </tr> <tr> <td>(or Single or Double DEFAULT)</td> <td>7a(Sngle Default)</td> <td>27.0 ft²</td> </tr> </table> <p>b. SHGC:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">(or Clear or Tint DEFAULT)</td> <td style="width: 30%;">7b. (Tint)</td> <td style="width: 40%;">27.0 ft²</td> </tr> </table> <p>8. Floor types</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Raised Wood, Stem Wall</td> <td style="width: 30%;">R=19.0,</td> <td style="width: 40%;">235.0ft²</td> </tr> <tr> <td>b. N/A</td> <td></td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> <td></td> </tr> </table> <p>9. Wall types</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Frame, Wood, Exterior</td> <td style="width: 30%;">R=19.0,</td> <td style="width: 40%;">360.0 ft²</td> </tr> <tr> <td>b. N/A</td> <td></td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> <td></td> </tr> <tr> <td>d. N/A</td> <td></td> <td></td> </tr> <tr> <td>e. N/A</td> <td></td> <td></td> </tr> </table> <p>10. Ceiling types</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Under Attic</td> <td style="width: 30%;">R=19.0,</td> <td style="width: 40%;">235.0 ft²</td> </tr> <tr> <td>b. N/A</td> <td></td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> <td></td> </tr> </table> <p>11. Ducts(Leak Free)</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">a. Sup: Unc. Rct: Unc. AH: Attic</td> <td style="width: 30%;">Sup. R=6.0,</td> <td style="width: 40%;">25.0 ft</td> </tr> <tr> <td>b. N/A</td> <td></td> <td></td> </tr> </table> | a. U-factor: | Description | Area | (or Single or Double DEFAULT) | 7a(Sngle Default) | 27.0 ft ² | (or Clear or Tint DEFAULT) | 7b. (Tint) | 27.0 ft ² | a. Raised Wood, Stem Wall | R=19.0, | 235.0ft ² | b. N/A | | | c. N/A | | | a. Frame, Wood, Exterior | R=19.0, | 360.0 ft ² | b. N/A | | | c. N/A | | | d. N/A | | | e. N/A | | | a. Under Attic | R=19.0, | 235.0 ft ² | b. N/A | | | c. N/A | | | a. Sup: Unc. Rct: Unc. AH: Attic | Sup. R=6.0, | 25.0 ft | b. N/A | | | <p>12. Cooling systems</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">a. Central Unit</td> <td style="width: 30%;">Cap: 6.0 kBtu/hr</td> </tr> <tr> <td></td> <td>SEER: 13.00</td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> </tr> </table> <p>13. Heating systems</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">a. Electric Strip</td> <td style="width: 30%;">Cap: 4.0 kBtu/hr</td> </tr> <tr> <td></td> <td>COP: 1.00</td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> </tr> </table> <p>14. Hot water systems</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">a. N/A</td> <td style="width: 30%;"></td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> <tr> <td>c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump)</td> <td></td> </tr> </table> <p>15. HVAC credits PT, CF, <input type="checkbox"/></p> <p>(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p> | a. Central Unit | Cap: 6.0 kBtu/hr | | SEER: 13.00 | b. N/A | | c. N/A | | a. Electric Strip | Cap: 4.0 kBtu/hr | | COP: 1.00 | b. N/A | | c. N/A | | a. N/A | | b. N/A | | c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) | |
| a. U-factor: | Description | Area | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (or Single or Double DEFAULT) | 7a(Sngle Default) | 27.0 ft ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (or Clear or Tint DEFAULT) | 7b. (Tint) | 27.0 ft ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. Raised Wood, Stem Wall | R=19.0, | 235.0ft ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| c. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. Frame, Wood, Exterior | R=19.0, | 360.0 ft ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| c. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| d. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| e. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. Under Attic | R=19.0, | 235.0 ft ² | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| c. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. Sup: Unc. Rct: Unc. AH: Attic | Sup. R=6.0, | 25.0 ft | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. Central Unit | Cap: 6.0 kBtu/hr | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | SEER: 13.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| c. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. Electric Strip | Cap: 4.0 kBtu/hr | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | COP: 1.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| c. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| a. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| b. N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| | | |
|------------------------|-----------------------------|------|
| Glass/Floor Area: 0.24 | Total as-built points: 2923 | PASS |
| | Total base points: 3112 | |

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *John Donley*

DATE: 12-18-2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: *[Signature]*

DATE: 12-18-2006

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____

DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.0)

Tested sealed ducts must be certified in this house.

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 88.1

The higher the score, the more efficient the home.

MR. & MRS. HOLLAND, 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL,

| | | | | |
|---|-------------------------------|-----|--|---|
| 1. New construction or existing | Addition | ___ | 12. Cooling systems | |
| 2. Single family or multi-family | Single family | ___ | a. Central Unit | Cap: 6.0 kBtu/hr ___ SEER: 13.00 ___ |
| 3. Number of units, if multi-family | 1 | ___ | b. N/A | ___ |
| 4. Number of Bedrooms | 1 | ___ | c. N/A | ___ |
| 5. Is this a worst case? | No | ___ | | ___ |
| 6. Conditioned floor area (ft ²) | 235 ft ² | ___ | 13. Heating systems | |
| 7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default) | | ___ | a. Electric Strip | Cap: 4.0 kBtu/hr ___ COP: 1.00 ___ |
| a. U-factor: | Description Area | | b. N/A | ___ |
| (or Single or Double DEFAULT) 7a(Sngle Default) | 27.0 ft ² | ___ | c. N/A | ___ |
| b. SHGC: | | ___ | 14. Hot water systems | |
| (or Clear or Tint DEFAULT) 7b. (Tint) | 27.0 ft ² | ___ | a. N/A | ___ |
| 8. Floor types | | ___ | b. N/A | ___ |
| a. Raised Wood, Stem Wall | R=19.0, 235.0ft ² | ___ | c. N/A | ___ |
| b. N/A | | ___ | 15. HVAC credits | |
| c. N/A | | ___ | (CF-Ceiling fan, CV-Cross ventilation, | |
| 9. Wall types | | ___ | HF-Whole house fan, | |
| a. Frame, Wood, Exterior | R=19.0, 360.0 ft ² | ___ | PT-Programmable Thermostat, | |
| b. N/A | | ___ | MZ-C-Multizone cooling, | |
| c. N/A | | ___ | MZ-H-Multizone heating) | |
| d. N/A | | ___ | | |
| e. N/A | | ___ | | |
| 10. Ceiling types | | ___ | | |
| a. Under Attic | R=19.0, 235.0 ft ² | ___ | | |
| b. N/A | | ___ | | |
| c. N/A | | ___ | | |
| 11. Ducts(Leak Free) | | ___ | | |
| a. Sup: Unc. Ret: Unc. AH: Attic | Sup. R=6.0, 25.0 ft | ___ | | |
| b. N/A | | ___ | | |

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4. EnergyGauge® (Version: FLRCSB v4.0)

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL,

PERMIT #:

| BASE | | | | AS-BUILT | | | | | | | |
|---|--------|-------|--------|------------------------|--------------------------|-----|-----|------------------------------------|-------|------|--------|
| GLASS TYPES | | | | | | | | | | | |
| .18 X Conditioned X BSPM = Points Floor Area | | | | Type/SC | Overhang Ornt Len Hgt | | | Area X SPM X SOF = Points | | | |
| .18 | 235.0 | 32.50 | 1374.8 | Single, Tint | E | 0.5 | 5.0 | 8.0 | 65.40 | 0.99 | 520.0 |
| | | | | Single, Tint | W | 0.5 | 3.0 | 4.0 | 58.39 | 0.97 | 226.9 |
| | | | | Single, Tint | S | 0.5 | 6.0 | 45.0 | 55.34 | 1.00 | 2480.8 |
| As-Built Total: | | | | 57.0 3227.7 | | | | | | | |
| WALL TYPES Area X BSPM = Points | | | | Type | R-Value | | | Area X SPM = Points | | | |
| Adjacent | 0.0 | 0.00 | 0.0 | Frame, Wood, Exterior | 19.0 | | | 360.0 1.60 576.0 | | | |
| Exterior | 360.0 | 2.70 | 972.0 | | | | | | | | |
| Base Total: | | | | 360.0 972.0 | | | | As-Built Total: 360.0 576.0 | | | |
| DOOR TYPES Area X BSPM = Points | | | | Type | Area X SPM = Points | | | | | | |
| Adjacent | 0.0 | 0.00 | 0.0 | | | | | | | | |
| Exterior | 0.0 | 0.00 | 0.0 | | | | | | | | |
| Base Total: | | | | 0.0 0.0 | | | | As-Built Total: 0.0 0.0 | | | |
| CEILING TYPES Area X BSPM = Points | | | | Type | R-Value | | | Area X SPM X SCM = Points | | | |
| Under Attic | 235.0 | 2.80 | 658.0 | Under Attic | 19.0 | | | 235.0 3.72 X 1.00 874.2 | | | |
| Base Total: | | | | 235.0 658.0 | | | | As-Built Total: 235.0 874.2 | | | |
| FLOOR TYPES Area X BSPM = Points | | | | Type | R-Value | | | Area X SPM = Points | | | |
| Slab | 0.0(p) | 0.0 | 0.0 | Raised Wood, Stem Wall | 19.0 | | | 235.0 -0.40 -94.0 | | | |
| Raised | 235.0 | -2.16 | -507.6 | | | | | | | | |
| Base Total: | | | | -507.6 | | | | As-Built Total: 235.0 -94.0 | | | |
| INFILTRATION Area X BSPM = Points | | | | Area X SPM = Points | | | | | | | |
| 235.0 18.79 4415.6 | | | | 235.0 18.79 4415.6 | | | | | | | |

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL,

PERMIT #:

| BASE | | | AS-BUILT | | | | | |
|-----------------------------------|---------------------|------------------|---|-------------|------------------------------------|---------------------|---------------------|------------------|
| Summer Base Points: 6912.8 | | | Summer As-Built Points: 8999.5 | | | | | |
| Total Summer Points | X System Multiplier | = Cooling Points | Total Component (System - Points) | X Cap Ratio | X Duct Multiplier (DM x DSM x AHU) | X System Multiplier | X Credit Multiplier | = Cooling Points |
| 6912.8 | 0.4266 | 2949.0 | (sys 1: Central Unit 6000 btuh ,SEER/EFF(13.0) Ducts:Unc(S),Unc(R),Att(AH),R6.0(INS) 9000 | 1.00 | (1.07 x 1.000 x 1.08) | 0.262 | 0.902 | 2468.9 |
| | | | 8999.5 | 1.00 | 1.159 | 0.262 | 0.902 | 2468.9 |

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL,

PERMIT #:

| BASE | | | | AS-BUILT | | | | | | | |
|---|--------|-------|-------|--------------------------|--------------------------|-----|---------------------------|--------------|-------------|------|-------|
| GLASS TYPES | | | | | | | | | | | |
| .18 X Conditioned X BWPM = Points Floor Area | | | | Type/SC | Overhang Ornt Len Hgt | | Area X WPM X WOF = Points | | | | |
| .18 | 235.0 | 2.36 | 99.8 | Single, Tint | E | 0.5 | 5.0 | 8.0 | 5.05 | 1.01 | 40.7 |
| | | | | Single, Tint | W | 0.5 | 3.0 | 4.0 | 5.65 | 1.00 | 22.5 |
| | | | | Single, Tint | S | 0.5 | 6.0 | 45.0 | 4.79 | 1.00 | 214.9 |
| As-Built Total: | | | | 57.0 278.2 | | | | | | | |
| WALL TYPES Area X BWPM = Points | | | | Type | R-Value | | Area X WPM = Points | | | | |
| Adjacent | 0.0 | 0.00 | 0.0 | Frame, Wood, Exterior | 19.0 | | 360.0 | | 0.30 | | 108.0 |
| Exterior | 360.0 | 0.60 | 216.0 | | | | | | | | |
| Base Total: | | | | 360.0 | | | | 216.0 | | | |
| As-Built Total: | | | | 360.0 | | | | 108.0 | | | |
| DOOR TYPES Area X BWPM = Points | | | | Type | Area X WPM = Points | | | | | | |
| Adjacent | 0.0 | 0.00 | 0.0 | | | | | | | | |
| Exterior | 0.0 | 0.00 | 0.0 | | | | | | | | |
| Base Total: | | | | 0.0 | | | | 0.0 | | | |
| As-Built Total: | | | | 0.0 | | | | 0.0 | | | |
| CEILING TYPES Area X BWPM = Points | | | | Type | R-Value | | Area X WPM X WCM = Points | | | | |
| Under Attic | 235.0 | 0.10 | 23.5 | Under Attic | 19.0 | | 235.0 | | 0.14 X 1.00 | | 32.9 |
| Base Total: | | | | 235.0 | | | | 23.5 | | | |
| As-Built Total: | | | | 235.0 | | | | 32.9 | | | |
| FLOOR TYPES Area X BWPM = Points | | | | Type | R-Value | | Area X WPM = Points | | | | |
| Slab | 0.0(p) | 0.0 | 0.0 | Raised Wood, Stem Wall | 19.0 | | 235.0 | | -0.10 | | -23.5 |
| Raised | 235.0 | -0.28 | -65.8 | | | | | | | | |
| Base Total: | | | | -65.8 | | | | 235.0 | | | |
| As-Built Total: | | | | 235.0 | | | | -23.5 | | | |
| INFILTRATION Area X BWPM = Points | | | | Area X WPM = Points | | | | | | | |
| 235.0 -0.06 -14.1 | | | | 235.0 -0.06 -14.1 | | | | | | | |

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL, PERMIT #:

| BASE | | | AS-BUILT | | | | | | | |
|----------------------------|---------------------------|--------------|--------------------------------|---|-------------------|---|---------------------------|---------------------------|---|-------------------|
| Winter Base Points: | | 259.4 | Winter As-Built Points: | | | 381.5 | | | | |
| Total Winter Points | X System Multiplier | = | Heating Points | Total Component (System - Points) | X Cap Ratio | X Duct Multiplier (DM x DSM x AHU) | X System Multiplier | X Credit Multiplier | = | Heating Points |
| 259.4 | 0.6274 | | 162.8 | 381.5 | 1.00 | 1.253 | 1.000 | 0.950 | | 454.0 |

(sys 1: Electric Strip 4000 btuh ,EFF(1.0) Ducts:Unc(S),Unc(R),Att(AH),R6.0

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL, PERMIT #:

| BASE | | | | AS-BUILT | | | | | | | |
|----------------------|---|------------|---------|----------|----|-----------|---|--------|--------------|----------------|--------|
| WATER HEATING | | | | Tank | EF | Number of | X | Tank X | Multiplier X | Credit = Total | |
| Number of | X | Multiplier | = Total | Volume | | Bedrooms | | Ratio | Multiplier | | |
| Bedrooms | | | | | | | | | | | |
| 1 | | 2273.00 | 0.0 | | | 1 | | 1.00 | 2273.00 | 1.00 | 2273.0 |
| As-Built Total: | | | | | | | | | | 0.0 | |

| CODE COMPLIANCE STATUS | | | | | | | |
|------------------------|---|---------|---|-----------|---|--------|--|
| BASE | | | | AS-BUILT | | | |
| Cooling | + | Heating | + | Hot Water | = | Total | |
| Points | | Points | | Points | | Points | |
| 2949 | | 163 | | 0 | | 3112 | |
| 2469 | | 454 | | 0 | | 2923 | |

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 16 N RIDGEVIEW ROAD, SEWALL'S POINT, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

| COMPONENTS | SECTION | REQUIREMENTS FOR EACH PRACTICE | CHECK |
|-------------------------------|-----------------|---|-------|
| Exterior Windows & Doors | 606.1.ABC.1.1 | Maximum: .3 cfm/sq. ft. window area; .5 cfm/sq. ft. door area. | |
| Exterior & Adjacent Walls | 606.1.ABC.1.2.1 | Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate. | |
| Floors | 606.1.ABC.1.2.2 | Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams. | |
| Ceilings | 606.1.ABC.1.2.3 | Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams. | |
| Recessed Lighting Fixtures | 606.1.ABC.1.2.4 | Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested. | |
| Multi-story Houses | 606.1.ABC.1.2.5 | Air barrier on perimeter of floor cavity between floors. | |
| Additional Infiltration reqts | 606.1.ABC.1.3 | Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air. | |

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

| COMPONENTS | SECTION | REQUIREMENTS | CHECK |
|--------------------------|--------------|---|-------|
| Water Heaters | 612.1 | Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required. | |
| Swimming Pools & Spas | 612.1 | Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. | |
| Shower heads | 612.1 | Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG. | |
| Air Distribution Systems | 610.1 | All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation. | |
| HVAC Controls | 607.1 | Separate readily accessible manual or automatic thermostat for each system. | |
| Insulation | 604.1, 602.1 | Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11. | |

Energy Code Compliance

Duct System Performance Report

| | |
|--|--|
| Project Name: THE HOLLAND RENOVATION Address: 16 N RIDGEVIEW ROAD City, State: SEWALL'S POINT, FL Owner: MR. & MRS. HOLLAND Climate Zone: South | Builder: OWNER Permitting Office: Permit Number: Jurisdiction Number: |
|--|--|

Total Duct System Leakage Test Results

| CFM25 Total Duct Leakage Test Values | | | |
|--------------------------------------|--|---|--|
| Line | System | Duct Leakage Total | Duct Leakage to Outdoors |
| 1 | System1 | _____ cfm25(tot) | _____ cfm25(out) |
| 2 | System2 | _____ cfm25(tot) | _____ cfm25(out) |
| 3 | System3 | _____ cfm25(tot) | _____ cfm25(out) |
| 4 | System4 | _____ cfm25(tot) | _____ cfm25(out) |
| 5 | Total House Duct System Leakage | Sum lines 1-4 _____ Divide by _____ (Total Conditioned Floor Area) = _____ (Q _{n,tot}) <input type="checkbox"/> Receive credit if Q _{n,tot} ≤ 0.03 | Sum lines 1-4 _____ Divide by _____ (Total Conditioned Floor Area) = _____ (Q _{n,out}) <input type="checkbox"/> Receive credit if Q _{n,out} ≤ 0.03 AND Q _{n,tot} ≤ 0.09 |

I hereby certify that the above duct testing performance results demonstrate compliance with the Florida Energy Code requirements in accordance with Section 610.1.A.1, Florida Building Code, Building Volume, Chapter 13 for leak free duct system credit.

Signature: _____
Printed Name: _____
Florida Rater Certification #: _____
DATE: _____

Florida Building Code requires that testing to confirm leak free duct systems be performed by a Class 1 Florida Energy Gauge Certified Energy Rater. Certified Florida Class 1 raters can be found at: <http://energygauge.com/search.htm>



BUILDING OFFICIAL: _____
DATE: _____

PN. 8499 FILE



Product Approval
 USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**

FL # FL4437-R2
 Application Type Revision
 Code Version 2004
 Application Status Approved
 Comments
 Archived

Product Manufacturer PGT Industries
 Address/Phone/Email 1070 Technology Drive
 Nokomis, FL 34275
 (941) 480-1600 ext 1124
 lturner@pgtindustries.com

Authorized Signature Lucas Turner
 lturner@pgtindustries.com

Technical Representative Lucas A. Turner
 Address/Phone/Email 1070 Technology Drive
 Nokomis, FL 34275
 (941) 480-1600
 lturner@pgtindustries.com

Quality Assurance Representative
 Address/Phone/Email

Category Windows
 Subcategory Horizontal Slider

Compliance Method Certification Mark or Listing

Certification Agency Keystone Certifications, Inc.

| Referenced Standard and Year (of Standard) | Standard | Year |
|--|---------------------------|------|
| | ANSI/AAMA/NWWDA 101/I.S.2 | 1997 |
| | ASTM E-1300 | 2002 |
| | ASTM E-1886 | 2002 |

ASTM E-1996

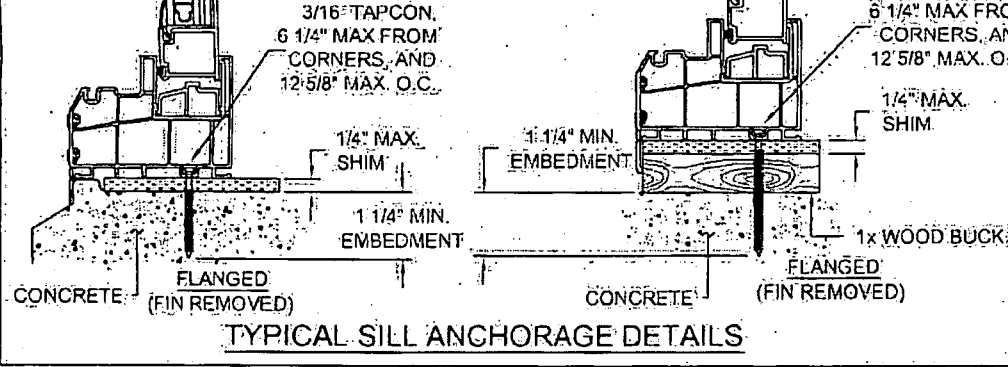
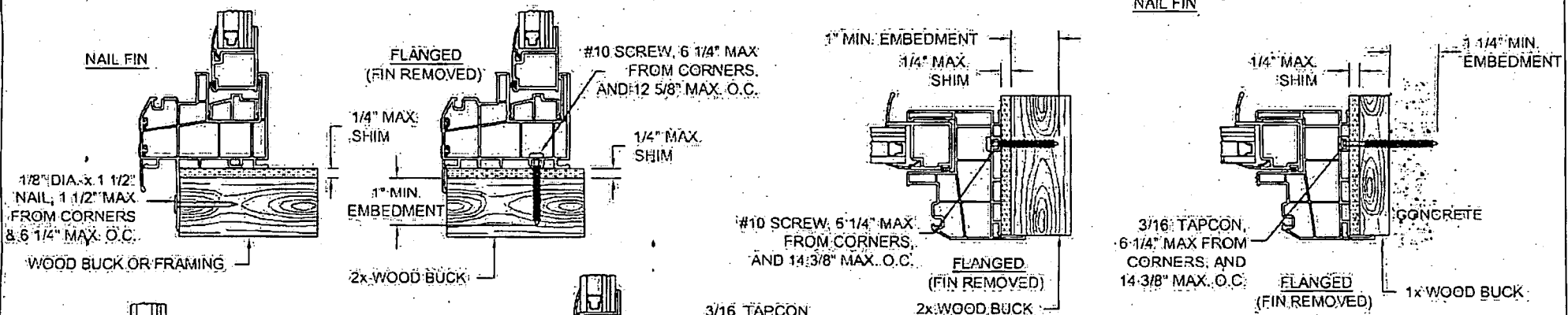
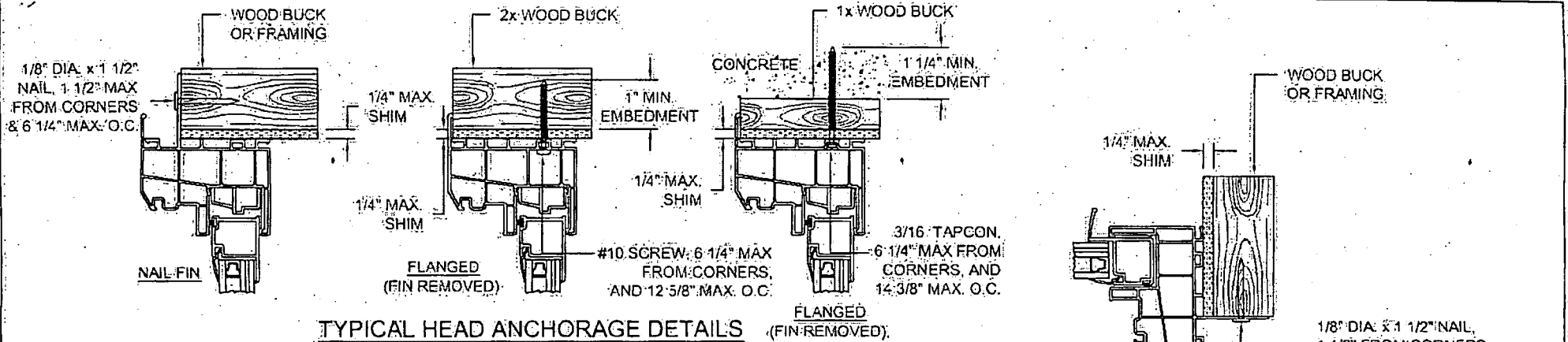
2002

Equivalence of Product Standards Certified By


Product Approval Method Method 1 Option A

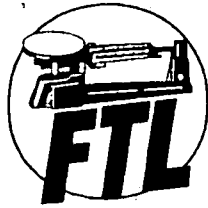
Date Submitted 03/10/2006
 Date Validated 03/10/2006
 Date Pending FBC Approval 03/13/2006
 Date Approved 03/21/2006

| Summary of Products | | |
|---|-----------------------|---|
| FL # | Model, Number or Name | Description |
| 4437.1 | HS-410 (Non-Impact) | Vinyl Horizontal Sliding Window |
| <p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: For XO or OX configuration, rating is HS-C60 73x62 (actual window buck size). For XOX 1/4-1/2-1/4 configuration, rating is HS-C60 110x62 (actual window buck size). Please see attached Design Pressure Charts for allowable pressures at various product sizes. Please see test reports FTL-4551 and 4552 for other product description and test information.</p> | | <p>Certification Agency Certificate FL4437 R2 C CAC HS410-CAR199-135.pdf FL4437 R2 C CAC HS410-CAR199-136.pdf Installation Instructions FL4437 R2 II 410-510-DesignPressureCharts.pdf FL4437 R2 II HS410-FTL4551.PDF FL4437 R2 II HS410-FTL4552.PDF Verified By: Lucas A. Turner, P.E. 58201</p> |
| 4437.2 | HS-510 (Impact) | WinGuard Vinyl Horizontal Sliding Window |
| <p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: N/A Other: Impact Resistant, Missile Level D (9.0 lb 2x4 traveling at 50 f/s). Available in XO or OX configuration only. Rating is HS-C60 73x54 (actual window buck size). Please see attached Design Pressure Charts for allowable pressures at various product sizes. Please see test reports FTL-4561, 4599, 4601, 4831, and 4832 for other product description and test information.</p> | | <p>Certification Agency Certificate FL4437 R2 C CAC HS510-CAR199-137.pdf FL4437 R2 C CAC HS510-CAR199-173.pdf FL4437 R2 C CAC HS510-CAR199-201.pdf FL4437 R2 C CAC HS510-CAR199-202.pdf FL4437 R2 C CAC HS510-CAR199-208.pdf Installation Instructions FL4437 R2 II 410-510-DesignPressureCharts.pdf FL4437 R2 II HS510-FTL4561.PDF FL4437 R2 II HS510-FTL4599.PDF FL4437 R2 II HS510-FTL4601.PDF FL4437 R2 II HS510-FTL4831.PDF FL4437 R2 II HS510-FTL4832.PDF Verified By: Lucas A. Turner, P.E. 58201</p> |



REFERENCE TEST REPORT: FTL-4551, FTL-4552, FTL-4561, FTL-4599 & FTL4601

| | | | | | | | |
|-------------------------------------|-------------------|--|------------------|---|------------------|---|--------------|
| Revisions: | | Designer/Check Name: Factory: Entered By: Control No.: Date: Scale: HS-410/310 | | THE INFORMATION, DESIGN OR DATA CONTAINED HEREIN IS THE SOLE PROPERTY OF PGT. SUBJECTS ARE UNCLASSIFIED, CONFIDENTIAL AND PROPRIETARY AND ANY REPRODUCTION OR USE WITHOUT THE WRITTEN PERMISSION OF PGT IS STRICTLY PROHIBITED. | |  Visibly Better | |
| Material: VINYL-PVC | | Description: VINYL HORIZ. SLIDER WINDOW ANCHORAGE | | Sub: B | | | |
| Revs: Date: Drawn By: D.G. | Date: 06/05/05 | Date: 06/05/05 | Date: 7/25/05 | Vendor No.: PGT 107 | Scale: N.T.S. | Sheet: 1 of 1 | Drawing No.: |



Quality Accuracy Assurance

Fenestration Testing Laboratory, Inc.

1677 West 31st Place Hialeah, FL 33012 Phone: 305/819-7877 Fax 305/819-7998
e-mail: ftldade@aol.com www.ftl-inc.com

Lab. Number 4599
April 14, 2005
Report Number 29
File Number.05-116
Page 1 of 6
Reissued: 04-21-05
D-7033

OFFICIAL TEST REPORT

MANUFACTURER: P.G.T. Industries **SPECIFICATIONS:** ASTM E 1996-02 & 1996-04
ADDRESS: 1070 Technology Drive **ASTM E 1886-02 & 1886-04**
Nokomis, Florida 34275

DESCRIPTION OF UNIT AND MATERIAL CHARACTERISTICS

Unit A-5;

Model Designation: Series:HS510; Vinyl Horizontal Sliding Window

Overall Size: 6' 2 1/4" (74 1/4") by 4' 7 1/4" (55 1/4") high by 3.250" deep

Configuration: X/O

No. & Size of Vents: One extruded vinyl vent, 2' 11 7/8" (35 7/8") by 4' 2 5/16" (50 5/16") high.

Frame Construction: White vinyl test unit has a flange type frame and a mitered welded joints. Fixed meeting rail at top and bottom were fastened with two No. 8 by 3 1/2" pan head sheet metal screws. Units tested with a 2.375" high overall interior sill flange. Sizes of frame members are as follows: frame head, frame sill and frame jambs 2.375" by 3.250" by 2.375"; fixed meeting rail 1.190" by 1.835" by 1.440" by 1.210" by 0.065" wall thickness. Frame members are hollow extrusions with typical wall thicknesses of 0.060", except were noted.

Vent Construction: White vinyl vent have mitered welded joints. Sizes of rails are as follows: vent meeting rails 1.160" by 1.647" by 1.410" by 1.022" by 0.050" wall thickness; vent jamb rails 1.005" by 1.910" by 1.647"; vent bottom and top rails 1.005" by 1.647" by 1.160" by 1.022". Vent rails are hollow extrusions, with typical wall thicknesses of 0.065", except were noted.

Glazing:

Material: *0.902" overall insulated glass with *0.340" overall laminated glass using one lite of 1/8" *(0.125") annealed glass on the exterior and one lite of 1/8" *(0.125") heat strengthened glass on the interior with an 0.090" inner layer film, Dupont Butacite PVB, between the two lites of glass laminated by P.G.T. Glass Plant, and one lite of 1/8" *(0.125") heat strengthened glass on the exterior with *0.437" air space between the interior and exterior glass.

Method: Unit is exterior glazed with 0.500" glazing penetration using a clear colored silicone and a semi-rigid vinyl glazing bead.

Daylight Opening: Clear opening of fixed lite, 32 5/8" by 49 1/8" high; vent, 32 5/8" by 47" high.

Weatherstripping:

| Quantity | Description | Location |
|------------|--------------------------------|--------------------------------------|
| Single row | pile with integral plastic fin | at perimeter of vent on the exterior |

Hardware:

| Quantity | Description | Location |
|----------|--|---|
| Two | surface mount metallic cam lock, with no I.D. marks | at vent meeting rail, 7" from each end |
| Two | surface mount metallic keeper, with no I.D. marks | at fixed meeting rail, 7 1/2" and 44" from bottom |
| Two | tandem brass wheels in plastic housing, with no I.D. marks | at vent bottom rail, 1 1/2" from each end |

Note: "*" designates measurements by laboratory



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April 14, 2005
Report Number 29
File Number 05-116
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D-7033

MATERIAL CHARACTERISTICS

Weepholes:

| Quantity | Description | Location |
|----------|--|--|
| Four | 1" by 1/4" weephole with plastic baffles | at frame sill, 3 7/8", 5 1/8", 69 1/8" and 70 1/2" from left |
| Two | 3/8" by 1/8" weep slot | at frame sill, 3 1/4" from left |
| Two | 1" by 1/8" weep slot | at frame sill below vinyl track insert, 3 1/2" and 70 5/8" from left |

Muntins: None

Mullions: None

Reinforcement: One 32 1/2" long aluminum reinforcement, drawing No. 5114, inside vent top and bottom rail, (total of two) and one of the same except 47" long inside vent meeting rail and vent jamb rail, (total of two). One 49" long aluminum reinforcement, drawing No. 5123, inside fixed meeting rail, fastened with a single row of No. 6 by 1/4" flat head self drilling screws, 7 5/8", 17 5/8", 27 5/8", 37 5/8" and 47 5/8".

Sealants: None -

Pads: None

Screen: None

Additional Description: Unit has one 70" long vinyl track insert, part No. 65138, inside frame sill.

Unit Installation: Test units installed in a 2 x 12 pressure treated wood test buck using a 2 x 4 pressure treated buck strip. Frames installed with a single row No. 10 by 2" pan head sheet metal screws at frame head, frame sill and frame jambs. Location of installation screws are as follows: frame head and frame sill from the left, 6 1/8", 18 3/4", 31 5/16", 43 15/16", 56 1/2" and 69 1/8"; frame jambs from the bottom, 6 1/8", 20 7/16", 34 3/4" and 49 1/8".

Product Markings: None

Unit's A-1 & A-2;

Model Designation: Series:HS510; Vinyl Horizontal Sliding Window

Overall Size: 6' 1" (73") by 4' 6" (54") high by 3.250" deep

Configuration: X/O

No. & Size of Vents: One extruded vinyl vent, 2' 11 7/8" (35 7/8") by 4' 2 5/16" (50 5/16") high.

Frame Construction: White vinyl test unit has a nail fin frame, 76 1/4" by 57 1/4" high overall. Frame corners have mitered welded joints. Fixed meeting rail at top and bottom were fastened with two No. 8 by 3 1/2" pan head sheet metal screws. Unit tested with a 2.375" high overall interior sill flange. Size of frame members are as follows: frame head, frame sill and frame jambs 2.375" by 3.250" by 2.375"; fixed meeting rail 1.190" by 1.835" by 1.440" by 1.210" by 0.065" wall thickness. Frame members are hollow extrusions with typical wall thicknesses of 0.060", except were noted.

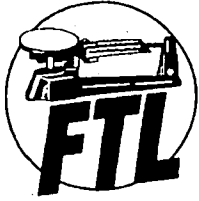
Vent Construction: White vinyl vent has mitered welded joints. Sizes of rails are as follows: vent meeting rails 1.160" by 1.647" by 1.410" by 1.022"; vent jamb rails 1.005" by 1.910" by 1.647" by 0.065" wall thickness; vent bottom and top rails 1.005" by 1.647" by 1.160" by 1.022". Vent rails are hollow extrusions, with typical wall thicknesses of 0.050", except were noted.

Glazing:

Material: *0.902" overall insulated glass with *0.340" overall laminated glass using one lite of 1/8" *(0.125") annealed glass on the exterior and one lite of 1/8" *(0.125") heat strengthened glass on the interior with an 0.090" inner layer film, Dupont Butacite PVB, between the two lites of glass laminated by P.G.T. Glass Plant, and one lite of 1/8" *(0.125") heat strengthened glass on the exterior with *0.437" air space between the interior and exterior glass.

Method: Unit is exterior glazed with 0.500" glazing penetration using a clear colored silicone and a semi-rigid vinyl glazing bead.

Note: "" designates measurements by laboratory*



Lab. Number 4599
 April 14, 2005
 Report Number 29
 File Number 05-116
 Page 3 of 6
 Reissued: 04-21-05
 D-7033

MATERIAL CHARACTERISTICS

Daylight Opening: Clear opening of fixed lite, 32 5/8" by 49 1/8" high; vent, 32 5/8" by 47" high.

Weatherstripping:

| <i>Quantity</i> | <i>Description</i> | <i>Location</i> |
|-----------------|--------------------------------|--------------------------------------|
| Single row | pile with integral plastic fin | at perimeter of vent on the exterior |

Hardware:

| <i>Quantity</i> | <i>Description</i> | <i>Location</i> |
|-----------------|--|---|
| Two | surface mount metallic cam lock, with no I.D. marks | at vent meeting rail, 7" from each end |
| Two | surface mount metallic keeper, with no I.D. marks | at fixed meeting rail, 7 1/2" and 44" from bottom |
| Two | tandem brass wheels in plastic housing, with no I.D. marks | at vent bottom rail, 1 1/2" from each end |

Weepholes:

| <i>Quantity</i> | <i>Description</i> | <i>Location</i> |
|-----------------|--|--|
| Four | 1" by 1/4" weephole with plastic baffles | at frame sill, 3 7/8", 5 1/8", 69 1/8" and 70 1/2" from left |
| Two | 3/8" by 1/8" weep slot | at frame sill, 3 1/4" from left |
| Two | 1" by 1/8" weep slot | at frame sill below vinyl track insert, 3 1/2" & 70 5/8" from left |

Muntins: None

Mullions: None

Reinforcement: One 32 1/2" long aluminum reinforcement, drawing No. 5114, inside vent top and bottom rail, (total of two) and one of the same except 47" long inside vent meeting rail and vent jamb rail, (total of two). One 49" long aluminum reinforcement, drawing No. 5123, inside fixed meeting rail, fastened with a single row of No. 6 by 1/2" flat head self drilling screws, 7", 17", 27", 37" and 47" from bottom.

Sealants: None

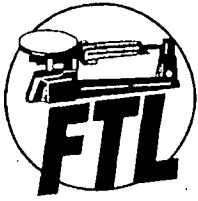
Pads: None

Screen: None

Additional Description: Unit has one 70" long vinyl track insert, part No. 65138, inside frame sill.

Unit Installation: Test unit installed in a 2 x 12 pressure treated wood test buck using a 2 x 4 pressure treated buck strip. Frame installed with a single row 1/8" diameter by 1 1/2" roofing nail through nail fin frame at frame head, frame sill and frame jambs. Location of installation nails are as follows: frame head and frame sill from the left, 1 5/8", 7 15/16", 13 7/16", 19 5/8", 25 13/16", 31 15/16", 38 1/8", 44 5/16", 50 7/16", 56 5/8", 62 13/16", 68 15/16 and 74 9/16"; frame jambs from the bottom, 1 5/8", 13 5/8", 19 5/8", 25 5/8", 31 5/8", 37 5/8", 43 5/8, 49 5/8" and 55 5/8".

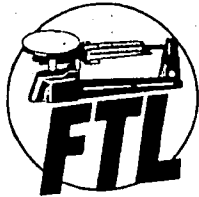
Product Markings: None



Lab. Number 4599
 April 14, 2005
 Report Number 29
 File Number 05-116
 Page 4 of 6
 Reissued: 04-21-05
 D-7033

OFFICIAL TEST RESULTS

| Title of Test | | | Measured | Remarks |
|--|--------|-----------|-------------------------------------|------------|
| <i>Unit A-1: (Unit at Temperature: 80.0 F; Barometer: 30.02 four hours prior to testing)</i> | | | | |
| Large Missile Impact Test: | | | | |
| Lower right corner of glass of vent | | | 49.4 ft./sec | Passed |
| Missile Orientation: (ASTM E 1886, Sections 11.2.2 and 12.1.8.3) | | | 2.068° | 5° maximum |
| Cyclic Wind Load Test: Passed | | | | |
| Positive Pressure | | | | |
| Range | Cycles | Duration | Deflection at fixed meeting rail | 0.956" |
| (Pmax=60.0 psf) | | (seconds) | Deflection at frame sill | 0.140" |
| 0.2 to 0.5 | 3500 | 1.0 | Deflection at frame jamb | 0.130" |
| 0.0 to 0.6 | 300 | 1.0 | Permanent set at fixed meeting rail | 0.013" |
| 0.5 to 0.8 | 600 | 1.0 | Permanent set at frame sill | 0.001" |
| 0.3 to 1.0 | 100 | 1.0 | Permanent set at frame jamb | None |
| Cyclic Wind Load Test: Passed | | | | |
| Negative Pressure | | | | |
| Range | Cycles | Duration | Deflection at fixed meeting rail | 1.415" |
| (Pmax=70.0 psf) | | (seconds) | Deflection at frame sill | 0.223 |
| 0.3 to 1.0 | 50 | 1.0 | Deflection at frame jamb | 0.135" |
| 0.5 to 0.8 | 1050 | 1.0 | Permanent set at fixed meeting rail | 0.137" |
| 0.0 to 0.6 | 50 | 1.0 | Permanent set at frame sill | 0.016" |
| 0.2 to 0.5 | 3350 | 1.0 | Permanent set at frame jamb | 0.013" |
| <i>Unit A-2: (Unit at Temperature: 74.0 F; Barometer: 29.27 four hours prior to testing)</i> | | | | |
| Large Missile Impact Test: | | | | |
| Upper left corner of glass of vent | | | 49.9 ft./sec | Passed |
| Missile Orientation: (ASTM E 1886, Sections 11.2.2 and 12.1.8.3) | | | 2.214° | 5° maximum |
| Cyclic Wind Load Test: Passed | | | | |
| Positive Pressure | | | | |
| Range | Cycles | Duration | Deflection at fixed meeting rail | 1.155" |
| (Pmax=60.0 psf) | | (seconds) | Deflection at frame sill | 0.154" |
| 0.2 to 0.5 | 3500 | 1.0 | Deflection at frame jamb | 0.078" |
| 0.0 to 0.6 | 300 | 1.0 | Permanent set at fixed meeting rail | 0.020" |
| 0.5 to 0.8 | 600 | 1.0 | Permanent set at frame sill | 0.003" |
| 0.3 to 1.0 | 100 | 1.0 | Permanent set at frame jamb | None |
| Cyclic Wind Load Test: Passed | | | | |
| Negative Pressure | | | | |
| Range | Cycles | Duration | Deflection at fixed meeting rail | 1.409" |
| (Pmax=70.0 psf) | | (seconds) | Deflection at frame sill | 0.171" |
| 0.3 to 1.0 | 50 | 1.0 | Deflection at frame jamb | 0.132" |
| 0.5 to 0.8 | 1050 | 1.0 | Permanent set at fixed meeting rail | 0.125" |
| 0.0 to 0.6 | 50 | 1.0 | Permanent set at frame sill | 0.012" |
| 0.2 to 0.5 | 3350 | 1.0 | Permanent set at frame jamb | 0.005" |



Lab. Number 4599
April 14, 2005
Report Number 29
File Number 05-116
Page 5 of 6
Reissued: 04-21-05
D-7033

OFFICIAL TEST RESULTS

| Title of Test | Measured | Remarks | | |
|--|--------------|------------|-------------------------------------|--------|
| <i>Unit A-5: (Unit at Temperature: 79.0 F; Barometer: 30.16 four hours prior to testing)</i> | | | | |
| Large Missile Impact Test: | | | | |
| Center of glass of vent | 50.0 ft./sec | Passed | | |
| Missile Orientation: (ASTM E 1886, Sections 11.2.2 and 12.1.8.3) | 2.214° | 5° maximum | | |
| Cyclic Wind Load Test: | | | | |
| Positive Pressure | | | | |
| Range | Cycles | Duration | Deflection at fixed meeting rail | 1.048" |
| (Pmax=60.0 psf) | | (seconds) | Deflection at frame sill | 0.163" |
| 0.2 to 0.5 | 3500 | 1.0 | Deflection at frame jamb | 0.121" |
| 0.0 to 0.6 | 300 | 1.0 | Permanent set at fixed meeting rail | 0.035" |
| 0.5 to 0.8 | 600 | 1.0 | Permanent set at frame sill | 0.004" |
| 0.3 to 1.0 | 100 | 1.0 | Permanent set at frame jamb | 0.001" |
| Cyclic Wind Load Test: | | | Passed | |
| Negative Pressure | | | | |
| Range | Cycles | Duration | Deflection at fixed meeting rail | 1.413" |
| (Pmax=70.0 psf) | | (seconds) | Deflection at frame sill | 0.194" |
| 0.3 to 1.0 | 50 | 1.0 | Deflection at frame jamb | 0.146" |
| 0.5 to 0.8 | 1050 | 1.0 | Permanent set at fixed meeting rail | 0.099" |
| 0.0 to 0.6 | 50 | 1.0 | Permanent set at frame sill | 0.009" |
| 0.2 to 0.5 | 3350 | 1.0 | Permanent set at frame jamb | 0.005" |

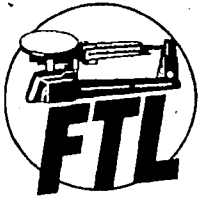
Note: At conclusion of above tests, there was no apparent damage to unit, fasteners or tear in the inner layer film formed longer than 5" and wider than 1/16" which air can pass or a 3" diameter solid sphere.

Test Completed - April 13, 2005

Remarks: This test report does not constitute certification of this product, but only that the above test results were obtained using the designated test methods and they were tested in accordance with ASTM E 1996-02, 1996-04, 1886-02 and 1886-04. Testing was conducted as per instructions received by your company representative

Detailed assembly drawings showing wall thickness of all members, corner construction and hardware application are on file and have been compared to the sample submitted. A test sample will be retained at the test laboratory.

Note: Test specimens were covered with 1.5 mil plastic sheeting to seal from air leakage when load tests were performed, however this had no effect on the above tests results. Large missile impact test conducted with 96" long 2 X 4 (#2SP) wood, weight of missile is 9 1/2 pounds.



Lab. Number 4599
April 14, 2005
Report Number 29
File Number 05-116
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Reissued: 04-21-05
D-7033

Witnessed by:
Mr. Edmundo Largaespada, P.E.
Mr. Joe Johnson
Mr. Sam Bryant

FENESTRATION TESTING LABORATORY, INC.


Roberto Rubleto
Testing Manager

Laboratory Technicians:
Sebastian Ramirez
Jose Sanchez

Author of Report
Dina Cova

4 - P.G.T. Industries

PAUL WELCH INC.
MECHANICAL ELECTRICAL CIVIL ENGINEERING
1984 S.W. BILTMORE ST. SUITE#114
PORT SAINT LUCIE, FL 34984
PHONE (772) 785 - 9888
FAX (772) 785-9933

MARCH 28, 2007

RE: HOLLAND RENOVATIONS
16 NORTH RIDGEVIEW ROAD
SEWALLS POINT
MARTIN COUNTY, FL
PERMIT NO. 8499

FILE

TO WHOM IT MAY CONCERN:

PLEASE BE ADVISED OF THE REVISIONS TO THE ABOVE REFERENCED
PROJECT AS FOLLOWS:

1. REVISE OPENING @ EXISTING WALL TO HAVE A TRIPLE 2 X 6 HEADER ABOVE, IN LIEU OF THE EXISTING HEADER AS STATED ON THE PLANS. TRIPLE 2 X 6 HEADER TO BE SUPPORTED WITH TWO (2) STUDS ON EACH SIDE SUPPORTING HEADER AND (2) FULL LENGTH STUDS EACH SIDE OF HEADER, EVERY STUD TO BE STRAPPED WITH SIMPSON SP6 BOTTOM AND LSTA 18 TOP.

THE ABOVE MEETS WITH THE FBC-04 AND WITH OUR PLAN AND
ENGINEERING REQUIREMENTS FOR A 140 MPH, 3 SECOND WIND GUST.

THANK YOU FOR YOUR ATTENTION TO THIS MATTER.

SUBMITTED BY:
PAUL WELCH INC.



PAUL WELCH, P.E.
REG. NO 29945
PW:PP

PAUL WELCH INC.

MECHANICAL * ELECTRICAL * CIVIL ENGINEERING
1984 S.W. BILTMORE ST. SUITE#114
PORT SAINT LUCIE, FL 34984
PHONE (772) 785 - 9888
FAX (772) 785-9933

FEBRUARY 08, 2007

RE: HOLLAND RENOVATIONS
16 NORTH RIDGEVIEW RD.
SEWALL'S POINT, FL
PERMIT NO. B499

FILE

TO WHOM IT MAY CONCERN:


PLEASE BE ADVISED OF THE REVISIONS TO THE ABOVE REFERENCED
PROJECT AS FOLLOWS:

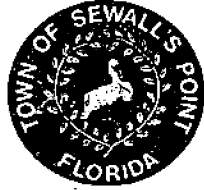
1. REVISE FLOOR FRAMING @ 2ND FLOOR TO BE 2" X 6" @ 16" O.C. WITH
SIMPSON HUS26 W/ 20-16D CONNECTING TO EXISTING STRUCTURE, IN LIEU
OF 2" X 4" FRAMING SPECIFIED ON PLANS.

THE ABOVE MEETS WITH THE FBC - 04 AND OUR PLAN AND ENGINEERING
REQUIREMENTS FOR THIS PROJECT.

THANK YOU FOR YOUR ATTENTION TO THIS MATTER.

SUBMITTED BY:
PAUL WELCH INC.


PAUL WELCH, P.E.
REG. NO. 29945
PW:PP



TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 16 N. RIDGEVIEW

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ELEC ROUGH - PASSED

A/C ROUGH - PASSED

FRAMING - - FAIL

NEED ENJOYER DETAIL FOR NEW
HEADER OVER NEW CASED
OPENINGS -

MISSING STRAPPING @ EXTENSION
FRAME WALL

NEED PRODUCT APPROVAL FOR
WINDOWS

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/26

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 3-26, 2007 Page 1 of 1

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|--------|------------------------------------|-----------------------------------|---------------|---|
| 8441 | Dressler | 2 nd fl slab | FAIL | |
| 7801 | 12 Island Rd Harbor Course | | | INSPECTOR: <i>[Signature]</i> |
| 7801 | Cummings | SPA PATIO + steps | PASS | |
| 4 | 835 River Rd Elias Mgmt | Entry patio Rear patio + steps | | INSPECTOR: <i>[Signature]</i> |
| 8172 | Mariano | 10102 - HVAC | CANCEL - will | |
| 3 | 23 Middle Rd Ken Wendell | | | RESCHEDULE INSPECTOR: <i>[Signature]</i> |
| 8099 | Holland | | FAIL | |
| 1 | 116 N Ridgeway All County Bldg. | | PASS | INSPECTOR: <i>[Signature]</i> |
| | | DIRT IN ROAD | | |
| | 30 RIO VISTA | | | INSPECTOR: |
| 8536 | Kremser | FIND | PASS | CLOSE |
| | 23 Ridgeland DR Natl Balance | SWALE | | INSPECTOR: <i>[Signature]</i> |
| | | | | INSPECTOR: |

OTHER:

7C

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

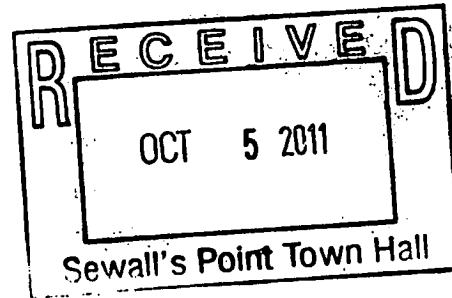
Date of Inspection: Mon Wed ~~THURS~~ 4-5, 2007 Page 1 of 1

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|-----------------|---|----------------------------------|-----------------|--|
| 2009 | Holland | framing | PASS | |
| 2 | 16 N Ridgerview All County | | | INSPECTOR: <i>[Signature]</i> |
| 8545 | Wattles 20 Ridgerview Conway | tie beam / steel | PASS | INSPECTOR: <i>[Signature]</i> |
| 3 | | | | |
| | Carlson/Pennan | four window sill in breakfast | PASS | INSPECTOR: <i>[Signature]</i> |
| 4 | 3 Tuxan La Masterpiece | | | |
| | | | | |
| 8423 | SILAS 10 CASTLE HILL PALM BTH GR. | BEAM/COCS. (STOR. BLDG) | PASS | INSPECTOR: <i>[Signature]</i> |
| 1 | | | | |
| 7993 | Giachino | Meter | PASS | CONTACT PPL TO INSTALL METER FOR SFR. |
| 130 | 11 Wendy La Seagate | | | INSPECTOR: <i>[Signature]</i> |
| | | | | |
| | | | | INSPECTOR: |
| | | | | |
| | | | | |
| | | | | INSPECTOR: |

OTHER:

September 4, 2011

John Adams
Building Department
City of Sewalls Point
One South Sewalls Point Rd.
Sewalls Point, FL 34996



RE: Building Permit # 8499

Dear Mr. Adams,

This letter is to confirm that the insulation in question at 16 N Ridgeview Rd was provided by Bryant Insulation and installed by the then builder to code. I was on site to make sure adequate – to code - insulation was installed both in the walls and in the roof space.

Sincerely,



Robert Holland
Robert@robertholland.com
772.223.9792
772.285.8085

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **10-6-11** Page 1 of 1

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|----------|--------------------------|----------------------|---------|---------------------|
| 9859 | Comcast | Final | | |
| | 1 Marguerita Rd | UG cables | Pass | Close |
| | Allcomm | | | INSPECTOR <i>JA</i> |
| 9584 | Comcast | Final | | |
| | 55PR + Island Rd | UG cables | Pass | Close |
| | Allcomm | | | INSPECTOR <i>JA</i> |
| 9753 | BILLINGHAM | ROVER DUCT | | |
| | 2 VIA DE CARISTO | | Pass | |
| | MASTERPIECE | | | INSPECTOR |
| 8599 | Holland | FINAL | | |
| | 16. N. RIDGEVIEW | UG CABLES | Pass | Close |
| | OB | | | INSPECTOR <i>JA</i> |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| | | | | INSPECTOR |

9892

GARAGE DOOR



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK

A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS

| | | | |
|------------------------|----------------------|-----------------------|--------------------|
| PERMIT NUMBER: | 9892 | DATE ISSUED: | OCTOBER 6, 2011 |
| SCOPE OF WORK: | REPLACE GARAGE DOOR | | |
| CONTRACTOR: | ACCENT GARAGE DOORS | | |
| PARCEL CONTROL NUMBER: | 013841006-002-000805 | SUBDIVISION | HOMEWOOD, L8, BL B |
| CONSTRUCTION ADDRESS: | 16 N RIDGEVIEW RD | | |
| OWNER NAME: | HOLLAND | | |
| QUALIFIER: | JOHN HARBINSON | CONTACT PHONE NUMBER: | 337-7733 |

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS: 9:00AM TO 3:00PM - MONDAY THROUGH FRIDAY**

INSPECTIONS

| | |
|---|--|
| UNDERGROUND PLUMBING _____ UNDERGROUND MECHANICAL _____ STEM-WALL FOOTING _____ SLAB _____ ROOF SHEATHING _____ TIE DOWN /TRUSS ENG _____ WINDOW/DOOR BUCKS _____ ROOF DRY-IN/METAL _____ PLUMBING ROUGH-IN _____ MECHANICAL ROUGH-IN _____ FRAMING _____ FINAL PLUMBING _____ FINAL MECHANICAL _____ FINAL ROOF _____ | UNDERGROUND GAS _____ UNDERGROUND ELECTRICAL _____ FOOTING _____ TIE BEAM/COLUMNS _____ WALL SHEATHING _____ INSULATION _____ LATH _____ ROOF TILE IN-PROGRESS _____ ELECTRICAL ROUGH-IN _____ GAS ROUGH-IN _____ METER FINAL _____ FINAL ELECTRICAL _____ FINAL GAS _____ BUILDING FINAL _____ |
|---|--|

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

**Town of Sewall's Point
BUILDING PERMIT APPLICATION**

Date: 10-6-11 Permit Number: 9892
 OWNER/TITLEHOLDER NAME: ROBERT HOLLAND Phone (Day) 7722858085 (Fax) _____
 Job Site Address: 16 RIDGEVIEW NH City: Sew. Point State: FL Zip: _____
 Legal Description _____ Parcel Control Number: _____
 Owner Address (if different): _____ City: _____ State: _____ Zip: _____

SCOPE OF WORK (PLEASE BE SPECIFIC): TO REPLACE EXISTING 18X7 GARAGE DOOR

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 1725-00
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

Construction Company: ACCENT GARAGE DOORS Phone: 7723377733 Fax: _____
 Qualifiers name: JOHN HARBINSON Street: 3066 S.E. MIRACLE LANE City: P.S.L State: FL Zip: 34952
 State License Number: _____ OR: Municipality: _____ License Number: CDG5581

LOCAL CONTACT: _____ Phone Number: _____

DESIGN PROFESSIONAL: _____ Fla. License # _____
 Street: _____ City: _____ State: _____ Zip: _____
 Enclosed Storage _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: 18x7 Covered Patios/ Porches: _____ Enclosed Storage: _____
 Carport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007
 National Electrical Code: 2005(2008 after 6/1/09) Florida Energy Code: 2007, Florida Accessibility Code: 2007, Florida Fire Prevention Code 2007

NOTICES TO OWNERS AND CONTRACTORS:

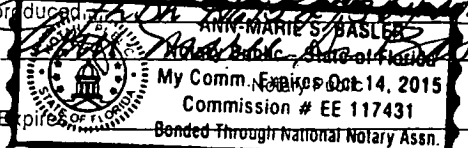
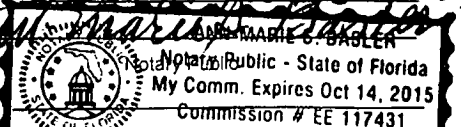
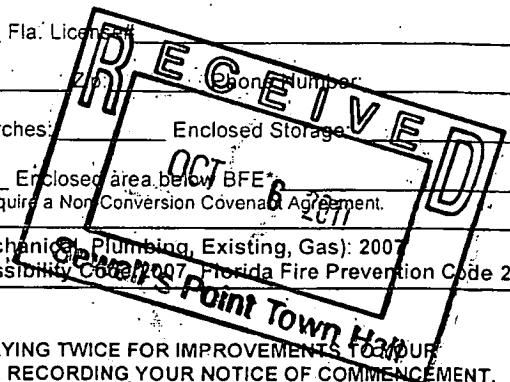
1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS; OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2007 SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS *******

AFFIDAVIT: APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER NOTORIZED SIGNATURE: (required per 713.135 F.S.)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
[Signature]
 State of Florida, County of: Martin
 On This the 6th day of October, 2011
 by Robert Holland who is personally
 known to me or produced: [Signature]
 As identification: [Signature]
 My Commission Expires: Oct 14, 2015
 Commission # EE 117431

CONTRACTOR NOTORIZED SIGNATURE: (required per 713.135 F.S.)
[Signature]
 State of Florida, County of: Martin
 On This the 6th day of October, 2011
 by John M. Harbinson who is personally
 known to me or produced: [Signature]
 As identification: [Signature]
 My Commission Expires: Oct 14, 2015
 Commission # EE 117431



SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 195.3.4) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!

**Martin County, Florida
Laurel Kelly, C.F.A**

generated on 10/6/2011 1:20:33 PM EDT

Summary

| Parcel ID | Account # | Unit Address | Market Total Value | Data as of |
|--------------------------|-----------|-----------------------------------|--------------------|------------|
| 01-38-41-006-002-00080-5 | 17655 | 16 N RIDGEVIEW RD, SEWALL'S POINT | \$486,580 | 10/1/2011 |

Owner Information

| | |
|---------------------------|--------------------------------------|
| Owner(Current) | HOLLAND ROBERT HOLLAND LISA A |
| Owner/Mail Address | 16 N RIDGEVIEW RD STUART FL 34996 |
| Sale Date | 5/17/1994 |
| Document Book/Page | 1074 1746 |
| Document No. | |
| Sale Price | 285000 |

Location/Description

| | | | |
|-----------------------|-----------------------------------|--------------------------|--------------------------|
| Account # | 17655 | Map Page No. | SP-04 |
| Tax District | 2200 | Legal Description | HOMEWOOD, LOT 8 BLK B |
| Parcel Address | 16 N RIDGEVIEW RD, SEWALL'S POINT | | |
| Acres | .4590 | | |

Parcel Type

| | |
|---------------------|---------------------------------------|
| Use Code | 0100 Single Family |
| Neighborhood | 120400 Hmwd,Palm Ro,Kngstn,Okwd, Pine |

Assessment Information

| | |
|---------------------------------|-----------|
| Market Land Value | \$175,000 |
| Market Improvement Value | \$311,580 |
| Market Total Value | \$486,580 |



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

GARAGE DOOR REPLACEMENT CHECKLIST

A document review will be performed on the following items prior to the submittal of a permit application. Failure to submit these items will result in the application package returned to the applicant until the deficient documents are included. This review sheet must accompany the application submittal.

Please make sure you have ALL required copies before submitting permit application

- _____ 1 Copy Completed permit application including,
- Legal Description
 - Notarized signature of owner & contractor
 - Proof of ownership (Recorded warranty deed or tax bill)
- _____ 2 Copies Manufacturer's product approval w/design pressures shown.
(*Indicate the size of the proposed replacement garage)
- _____ 2 Copies FBC 2007 table 1609.6(2) & 1609.6(1) (attached) – Circle or Hi-light the appropriate height & exposure adjustment coefficient *Table 1609.6(2)) and the appropriate +/- minimum pressures required (Table 1609.6(1)). (NOTE: The values arrived in these charts are the minimum design pressures required for the replacement garage door)
- _____ 1 Copy Notice of Commencement, if replacement value is over \$2500.00. Must be submitted prior to the first inspection.
- _____ 1 Copy Owner/Builder Application, if applicable

SPECIFICATIONS AND PRODUCT APPROVALS

- Specs. For all garage doors must be tested by an approved testing lab and design pressures stated
- Garage doors cannot have any glazed openings unless the glazed openings are impact resistant glass.



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
 BUILDING DEPARTMENT
 FILE COPY

TABLE 1609.6(2)

ADJUSTMENT FACTOR FOR BUILDING HEIGHT AND EXPOSURE, (Z)

| MEAN ROOF HEIGHT (feet) | EXPOSURE | | |
|----------------------------|----------|------|------|
| | B | C | D |
| 15 | 1.00 | 1.21 | 1.47 |
| 20 | 1.00 | 1.29 | 1.55 |
| 25 | 1.00 | 1.35 | 1.61 |
| 30 | 1.00 | 1.40 | 1.66 |
| 35 | 1.05 | 1.45 | 1.70 |
| 40 | 1.09 | 1.49 | 1.74 |
| 45 | 1.12 | 1.53 | 1.78 |
| 50 | 1.16 | 1.56 | 1.81 |
| 55 | 1.19 | 1.59 | 1.84 |
| 60 | 1.22 | 1.62 | 1.87 |

For SI: 1 foot = 304.8mm.

FORMULA FOR DESIGN PRESSURES

Example: 25 ft mean roof height, exposure C
 16 X 7 Door 140mph.

| Pressure | Exposure C multiplier | Req. Design Pressure |
|----------|-----------------------|----------------------|
| 29.7 | X 1.35 | = +40.095 |
| -33.1 | X 1.35 | = -44.685 |

Garage Door must be rated at +40.1/-44.68 minimum. This formula must be completed for exposure C:

| Pressure | Exposure C multiplier | Req. Design Pressure |
|----------|-----------------------|----------------------|
| 28.5 | X 1 | = 45.8 (+) |
| 32.0 | X | = 49.3 (-) |

TABLE 1609.6(1)

GARAGE DOOR WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf)

| EFFECTIVE WIND AREA | | Basic Wind Speed V (mph - 3 second gust) | | | | | | | |
|-------------------------|-------------|--|------------|------------|------------|------------|------------|------------|------------|
| Width (ft) | Height (ft) | 85 | 90 | 100 | 110 | 120 | 130 | 140 | 150 |
| Roof Angle 0-10 degrees | | | | | | | | | |
| 8 | 8 | 10.5 -11.9 | 11.7 -13.3 | 14.5 -16.4 | 17.5 -19.9 | 20.9 -23.6 | 24.5 -27.7 | 28.4 -32.2 | 32.6 -36.9 |
| 10 | 10 | 10.1 -11.4 | 11.4 -12.7 | 14.0 -15.7 | 17.0 -19.0 | 20.2 -22.7 | 23.7 -26.6 | 27.5 -30.8 | 31.6 -35.4 |
| 14 | 14 | 10.0 -10.7 | 10.8 -12.0 | 13.3 -14.8 | 16.1 -17.9 | 19.2 -21.4 | 22.5 -25.1 | 26.1 -29.1 | 30.0 -33.4 |
| Roof Angle > 10 | | | | | | | | | |
| 9 | 7 | 11.4 -12.9 | 12.8 -14.5 | 15.8 -17.9 | 19.1 -21.6 | 22.8 -25.8 | 26.7 -30.2 | 31.0 -35.1 | 35.6 -40.2 |
| 16 | 7 | 10.9 -12.2 | 12.3 -13.7 | 15.2 -16.9 | 18.3 -20.4 | 21.8 -24.3 | 25.6 -28.5 | 29.7 -33.1 | 34.1 -38.0 |

For SI: 1 Square foot = 0.929 Sqm, 1mph = 0.447 m/s, 1psf = 47.88 N/sqm

- For effective areas or wind speeds between those given above the load may be interpolated, otherwise use the load associated with the lower effective area.
- Table values shall be adjusted for height and exposure by multiplying by adjustment coefficients in Table 1609.2D.
- Plus and minus signs signify pressures acting toward and away from the building surfaces.
- Negative pressures assume door has 2 feet of width in building's end zone.

1609.6 Garage doors. Pressures from Table 1609.6(1) for wind loading actions on garage doors for Buildings designed as enclosed shall be permitted.

HERITAGE 1000 18x7 745.8
 - 49.3
 140 MPH



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT RECEIPT

| | |
|----------------|-----------------------------------|
| PERMIT NUMBER: | 9892 |
| ADDRESS | 16 N RIDGEVIEW RD - HOLLAND |
| DATE: 10/6/11 | SCOPE OF WORK REPLACE GARAGE DOOR |

AAA ACCENT GARAGE DOORS, INC.
 3066 SE MIRACLE LANE
 PORT ST LUCIE, FL 34952

1329

63-4/630 FL
1338

DATE 10-6-11

PAY TO THE ORDER OF

TOWN OF SEWALL'S POINT

\$ 84.00

Eighty Four

00
100 DOLLARS

Bank of America

ACH R/T 063100277

FOR *Permit 16 Ridgeview*

J. Hancock

⑈001329⑈ ⑆063000047⑆ 898040818118⑈

| | | |
|--|----|--|
| Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min) | \$ | |
| DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.) | \$ | |
| Road impact assessment: (.04% of construction value - \$5.00 min.) | | |
| Martin County Impact Fee: | \$ | |
| TOTAL BUILDING PERMIT FEE: | \$ | |

| | | | |
|--|-----------------|----|------|
| ACCESSORY PERMIT | Declared Value: | \$ | 1725 |
| Total number of inspections @ \$75.00 each | | | 75 |
| Dept. of Comm. Affairs Fee: (1.5% of permit fee - \$2.00 min) | \$ | 2 | |
| DBPR Licensing Fee: (1.5% of permit fee - \$2.00 min.) | \$ | 2 | |
| Road impact assessment: (.04% of construction value - \$5.00 min.) | \$ | 5 | |
| TOTAL ACCESSORY PERMIT FEE: | \$ | 84 | |

CK# 1329

Heritage 1000 Dade County

FL# 7152.3



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 372-6339

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov/buildingcode

**Amarr Garage Doors.
165 Carriage Court
Winston Salem, NC 27105**

SCOPE: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Models 950/655 1000 & 2000 Steel Sectional Garage Door (16' Wide)

APPROVAL DOCUMENT: Drawing No. **IRC-9516-169-26**, titled "Model 950 Heritage, Model 655 Oak Summit, (24 GA) 1000, 2000, Short, Long, Flush and Bead Panels", sheets 1 through 3 of 3, prepared by Amarr Garage Doors, dated 03/12/03, with revision A dated 06/09/08, signed and sealed by Tomas L. Shelmerdine, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

LIMITATION: This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimen were selected from coils at the manufacturer production facilities. And a notarized statement from the manufacturer that only coils with yield strength of 32,000 psi or more shall be used to make door panels for Dade County under this Notice of Acceptance.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 08-0718.03 and consists of this page 1 and evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.



[Signature]
6/25/09

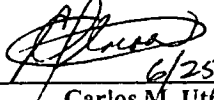
NOA No 09-0604.05
Expiration Date: September 4, 2013
Approval Date: July 15, 2009
Page 1

Amarr Garage Doors

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

- A. DRAWINGS “Submitted under NOA # 08-0718.03”**
1. Drawing No. **IRC-9516-169-26**, titled “Model 950 Heritage, Model 655 Oak Summit (24 GA) 1000, 2000, Short, Long, Flush and Bead Panels”, sheets 1 through 3 of 3, prepared by Amarr Garage Doors, dated 03/12/03, with revision A dated 06/09/08, signed and sealed by Thomas L. Shelmerdine, P.E.
- B. TESTS “Submitted under NOA # 08-0718.03”**
1. Test reports on 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
2) Large Missile Impact Test per FBC, TAS 201-94
3) Cyclic Wind Pressure Loading per FBC, TAS 203-94
along with marked-up drawings and installation diagram of 16' x 7' Model 950D Heritage with Durasafe, 24 ga. Sectional Steel Garage Door, prepared by American Test Lab, Inc., Test Report No. **ATL 0311.01-03R**, dated 06/22/06, signed and sealed by David W. Johnson, P.E.
 2. Test report on Tensile Test per ASTM E8, prepared by Metallurgical, Inc., Test Report No. **3DM-297**, dated 04/09/03, signed by Robert Kelly.
 3. Test report on Salt Spray per ASTM B117 of painted G40 galvanized coated panels, prepared by ETC Laboratories, Test Report No. **07-816-20337.0**, dated 03/24/08, signed by Joseph L. Doldan, P.E.
- C. CALCULATIONS “Submitted under NOA # 08-0718.03”**
1. Wood jamb attachment to structure calculations, prepared by Structural Solutions, P.A., dated 06/25/08, signed and sealed by Thomas L. Shelmerdine, P.E.
- D. QUALITY ASSURANCE**
1. Miami Dade Building Code Compliance Office (BCCO)
- E. MATERIAL CERTIFICATIONS**
1. None.
- F. STATEMENTS**
1. Statement letter of code conformance with FBC 2007, issued by Structural Solutions, P.A., dated 04/27/09, signed and sealed by Thomas L. Shelmerdine, P.E.

“Submitted under NOA # 08-0718.03”
 2. Statement letter of code conformance and no financial interest, issued by Structural Solutions, P.A., dated 06/30/08, signed and sealed by Thomas L. Shelmerdine, P.E.
- G. OTHER**
1. Notice of Acceptance No. **08-0718.03**, issued to Amarr Garage Doors, approved on 08/21/08 and expiring on 09/04/13.


6/25/09

Carlos M. Utrera, P.E.
Product Control Examiner
NOA No 09-0604.05
Expiration Date: September 4, 2013
Approval Date: July 15, 2009

STRUCTURAL SOLUTIONS, P.A.

Structural Engineering ■ Investigations ■ Consulting

GARAGE DOOR STATIC PRESSURE EVALUATION REPORT

| | | | | | |
|---------------------|---|----------------|--------------------------------------|--------------|--------|
| Garage Door No.: | IRC-9516-169-26 | Test Date: | 3/11 - 3/18/03 | Project No.: | 03-022 |
| Design Pressures: | +45.8 psf, -49.3 psf | Report Date: | 6/30/2006 | | |
| Test Pressures: | +68.7 psf, -73.9 psf | Test Location: | American Test Lab, Inc., Brevard, NC | | |
| ASCE 7-05 Criteria: | 169 mph, Exposure B, 30' Mean Roof Height, 5' in Edge Strip | | | | |

Reference Test Report and Drawing:

American Test Lab, Inc. report number 0311.01-03R dated 06/22/2006, and drawing IRC-9516-169-26 dated 03/14/2003 by Amarr Garage Doors.

Description of Test Specimen:

Amarr Garage Door 16' x 7' 24 ga steel garage door Model # 950 Heritage 1000 as shown in drawing IRC-9516-169-26.

Test Standards and Report Conclusion:

The above referenced Test Report states the following:

- The test was conducted in accordance with FBC TAS 201-94, 202-94, 203-94, and ASTM E330*
- The door was operable before and after test
- The test was witnessed and certified by David Johnson, P.E. of Brevard, NC

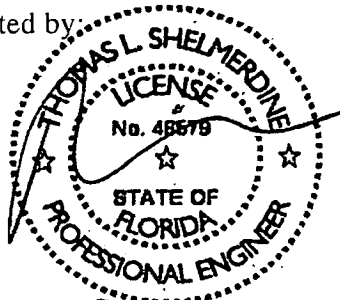
*(Based on a review of the above referenced Test Report and ASTM E330-02, the test meets the requirements of ASTM E330-02).

Summary:

The 16' x 7' Model 950 Heritage 1000 door as described on Drawing IRC-9516-169-26 meets the testing criteria as described above. By comparison to the construction of the 16' x 7' Model 950 Heritage 1000, the following doors also meet the above testing criteria, when constructed in accordance with Drawing IRC-9516-169-26 REV A dated 06/09/2008:

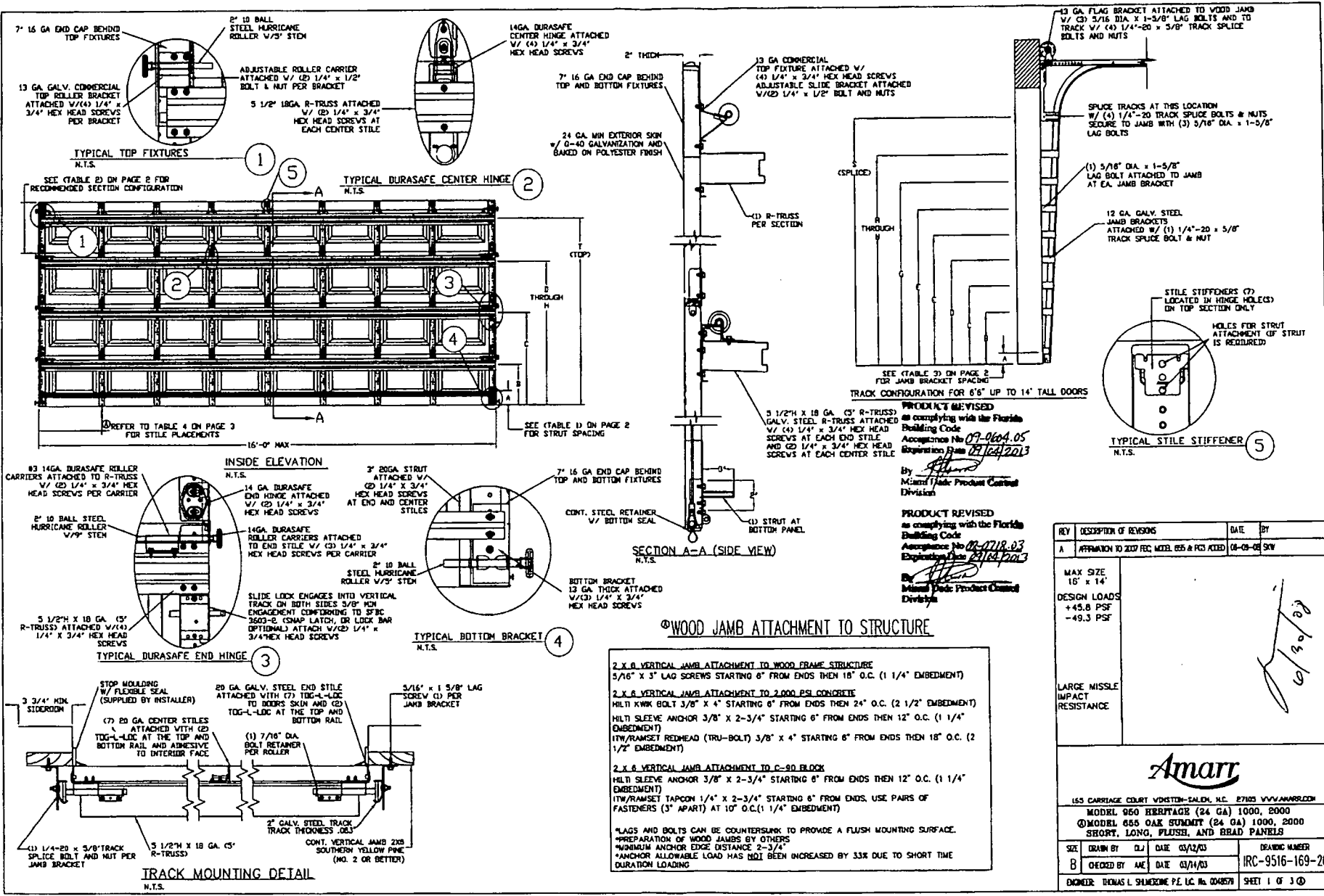
- 16' x 7' Model 950i Heritage 2000 doors (which have drop in insulation)
- 16' x 7' Model 655 Oak Summit 1000 doors (which are of the same construction type)
- 16' x 7' Model 655i Oak Summit 2000 doors (which are of the same construction type and have drop in insulation)
- Model 950, 950i, 655 and 655i doors with widths of up to 16' and heights of up to 14'.

Submitted by:



STRUCTURAL SOLUTIONS, P.A.

Thomas L. Shelmerdine, PE (Florida PE #0048579)



| REV | DESCRIPTION OF REVISIONS | DATE | BY |
|-----|--|-------------|----|
| A | APPROXIMATION TO 2007 IBC, MODEL 655 & PCD ADDED | 08-09-08 SW | |

| | |
|---------------------------------|------------------------|
| MAX SIZE | 16' x 14' |
| DESIGN LOADS | +45.8 PSF -49.3 PSF |
| LARGE MISSILE IMPACT RESISTANCE | |

6/30/08

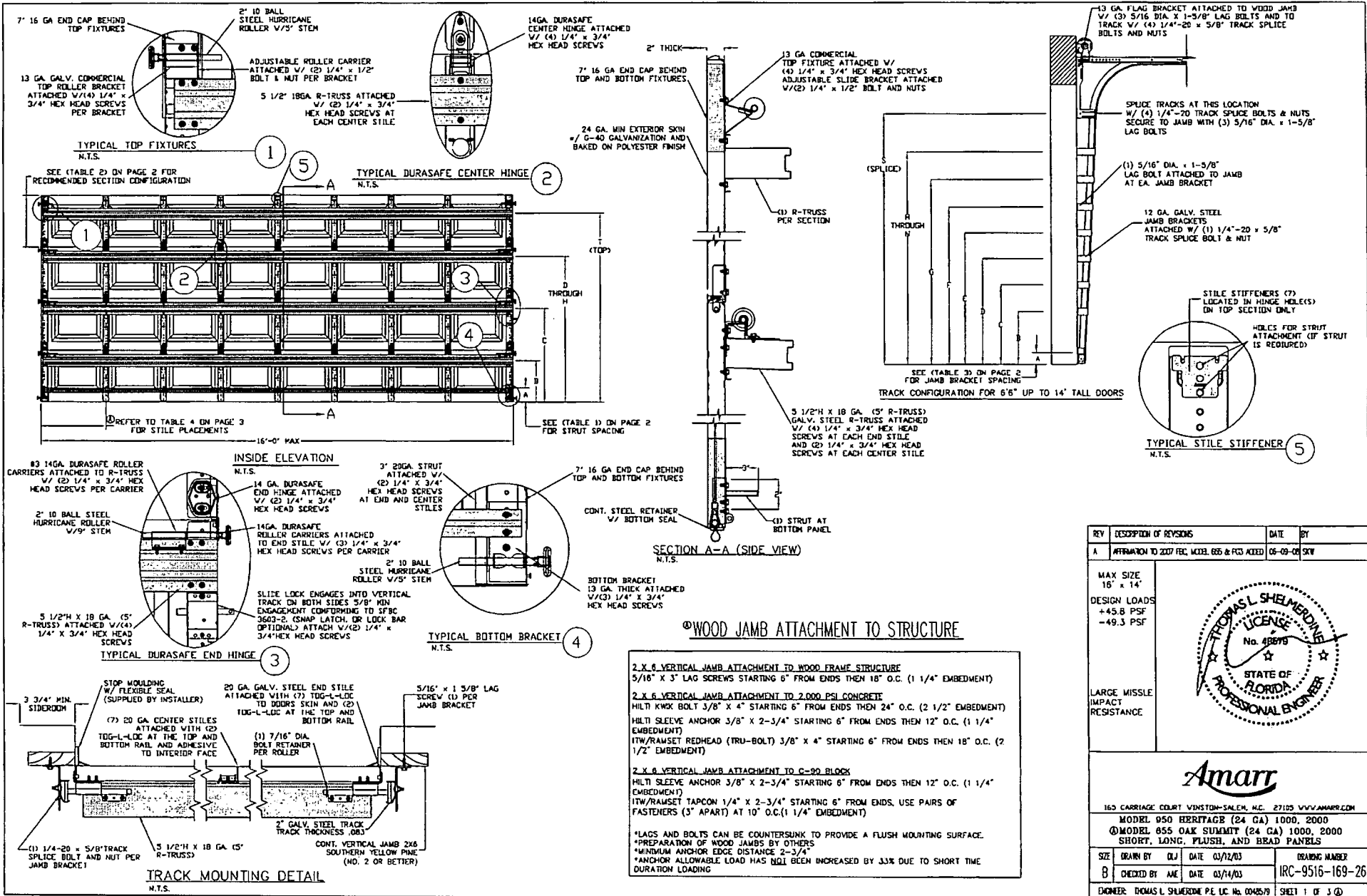
Amarr

155 CARRIAGE COURT WINDSTON-SALEM, N.C. 27103 WWW.AMARR.COM

MODEL 950 HERITAGE (24 GA) 1000, 2000
MODEL 655 OAK SUMMIT (24 GA) 1000, 2000
SHORT, LONG, FLUSH, AND BEAD PANELS

| | | | | | |
|------|------------|-----|------|----------|-----------------|
| SIZE | DRWN BY | CLJ | DATE | 03/12/03 | DRAWING NUMBER |
| B | CHECKED BY | AME | DATE | 03/11/03 | IRC-9516-169-26 |

ENGINEER: THOMAS L. SHUMBERG P.E. I.C. No. 000575 SHEET 1 OF 3

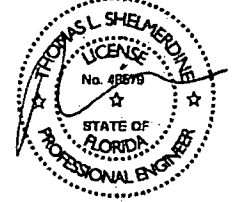


| REV | DESCRIPTION OF REVISIONS | DATE | BY |
|-----|---|----------|-----|
| A | ADDITION TO 2007 REC. CODES 605 & 610 ADDED | 06-09-08 | SKV |

MAX SIZE
18" x 14"

DESIGN LOADS
+45.8 PSF
-49.3 PSF

LARGE MISLE
IMPACT
RESISTANCE



Amarr

165 CARRIAGE COURT WINSTON-SALEM, N.C. 27103 WWW.AMARR.COM

MODEL 950 HERITAGE (24 GA) 1000, 2000

MODEL 855 OAK SUMMIT (24 GA) 1000, 2000

SHORT, LONG, FLUSH, AND BRAD PANELS

| | | | | | |
|------|------------|-----|------|----------|-----------------|
| SIZE | DRAWN BY | DLJ | DATE | 03/12/03 | DRAWING NUMBER |
| B | CHECKED BY | AME | DATE | 03/14/03 | IRC-9516-169-26 |

ENGINEER: THOMAS L. SHELMEDE P.E. LIC. NO. 0042579 SHEET 1 OF 3

TABLE 1

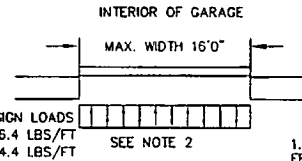
| DOOR HEIGHT | STRUT SPACING (BASED ON RECOMMENDED SECTION CONFIGURATION) | | | | | | | | TOP |
|-------------|--|---------|---------|---------|---------|----------|----------|----------|----------|
| | A | B | C | D | E | F | G | H | |
| 6'6" | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | | | | | 70 1/2" |
| 7' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | | | | | 76 1/2" |
| 7'6" | 4 1/2" | 14 1/2" | 32 1/2" | 50 1/2" | 68 1/2" | | | | 82 1/2" |
| 8' | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | | | | 88 1/2" |
| 8'6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | | | | 94 1/2" |
| 9' | 4 1/2" | 14 1/2" | 32 1/2" | 50 1/2" | 68 1/2" | 86 1/2" | | | 100 1/2" |
| 9'6" | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | 89 1/2" | | | 106 1/2" |
| 10' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | 95 1/2" | | | 112 1/2" |
| 10'6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | | | 118 1/2" |
| 11' | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | 89 1/2" | 107 1/2" | | 124 1/2" |
| 11'6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | 95 1/2" | 113 1/2" | | 130 1/2" |
| 12' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | 119 1/2" | | 136 1/2" |
| 12'6" | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | 89 1/2" | 107 1/2" | 125 1/2" | 142 1/2" |
| 13' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | 95 1/2" | 113 1/2" | 131 1/2" | 148 1/2" |
| 13'6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | 119 1/2" | 137 1/2" | 154 1/2" |
| 14' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | 122 1/2" | 143 1/2" | 160 1/2" |

TABLE 3

| DOOR HEIGHT | TRACK ATTACHMENT | | | | | | | | | | | | | | SPLICE | |
|-------------|------------------|-----|-----|-----|-----|-----|-----|-----|-----|------|------|------|------|------|--------|------|
| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | | |
| 6'6" | 3" | 14" | 27" | 38" | 46" | 56" | 64" | | | | | | | | | 70" |
| 7' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | | | | | | | | | 76" |
| 7'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | | | | | | | | 82" |
| 8' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | | | | | | | | 88" |
| 8'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | | | | | | | 94" |
| 9' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | | | | | | | 100" |
| 9'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 98" | | | | | | 106" |
| 10' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | | | | | | 112" |
| 10'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | | | | | 118" |
| 11' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | | | | | 124" |
| 11'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | 120" | | | | 130" |
| 12' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | 122" | | | | 136" |
| 12'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 109" | 122" | 132" | | | 142" |
| 13' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 114" | 122" | 134" | | | 148" |
| 13'6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 109" | 122" | 134" | 144" | | 154" |
| 14' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 114" | 122" | 134" | 146" | | 160" |

TABLE 2

| DOOR HEIGHT | SECTION HEIGHTS | | | | | | | |
|-------------|-----------------|-----|-----|-----|-----|-----|-----|-----|
| | Btm | #2 | #3 | #4 | #5 | #6 | #7 | #8 |
| 14'0" | 21" | 21" | 21" | 21" | 21" | 21" | 21" | 21" |
| 13'6" | 21" | 21" | 21" | 21" | 21" | 18" | 18" | 21" |
| 13'0" | 21" | 21" | 21" | 18" | 18" | 18" | 18" | 21" |
| 12'6" | 21" | 18" | 18" | 18" | 18" | 18" | 18" | 21" |
| 12'0" | 21" | 21" | 21" | 21" | 21" | 18" | 18" | 21" |
| 11'6" | 21" | 21" | 21" | 18" | 18" | 18" | 18" | 21" |
| 11'0" | 21" | 18" | 18" | 18" | 18" | 18" | 21" | |
| 10'6" | 21" | 21" | 21" | 21" | 21" | 21" | | |
| 10'0" | 21" | 21" | 21" | 18" | 18" | 21" | | |
| 9'6" | 21" | 18" | 18" | 18" | 18" | 21" | | |
| 9'0" | 18" | 18" | 18" | 18" | 18" | | | |
| 8'6" | 21" | 21" | 21" | 18" | 21" | | | |
| 8'0" | 21" | 18" | 18" | 18" | 21" | | | |
| 7'6" | 18" | 18" | 18" | 18" | | | | |
| 7'0" | 21" | 21" | 21" | 21" | | | | |
| 6'6" | 21" | 18" | 18" | 21" | | | | |



SPECIFICATIONS AND NOTES

1. ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK. FROM THE TRACK THE LOAD IS TRANSFERRED TO THE VERTICAL JAMBS. THE HORIZONTAL JAMB OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
2. EACH VERTICAL JAMBS RECEIVES MAXIMUM DESIGN LOADS OF: +366.4 LBS/FT & -394.4 LBS/FT
3. DOOR AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARDS AS SET FORTH BY DASHA.
4. DOOR SECTIONS SHALL BE 24 GA. (.024) MIN. EXTERIOR SKIN ROLLED FORMED, G-40 GALVANIZATION W/ BAKED ON POLYESTER FINISH
5. DOORS UPTO 7'0" HIGH CONSIST OF (4) SECTIONS AS SHOWN. USE (1) 5" R-TRUSS PER SECTION
6. DOORS OVER (4) SECTIONS REFER TO TABLES 1 AND 3 ON PAGE 2
7. SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.
8. THE METHOD OF TESTING WAS IN SUBSTANTIAL CONFORMANCE WITH THE PROCEDURES DESCRIBED IN ASTM E330-02, ASCE 7-05, AND BUILDING CODE PROTOCOLS TAS 201, 202, 203.
9. THIS APPROVAL REQUIRES THE MANUFACTURER TO DO TESTING OF ALL COILS USED TO FABRICATE DOOR PANELS UNDER THIS NOTICE OF ACCEPTANCE. A MINIMUM OF 2 SPECIMENS SHALL BE CUT FROM EACH COIL AND TENSILE TESTED ACCORDING TO ASTM E-8 BY A DADE COUNTY APPROVED LAB SELECTED AND PAID BY THE MANUFACTURER. EVERY 3 MONTHS, 4 TIMES A YEAR, THE MANUFACTURER SHALL MAIL TO THIS OFFICE A COPY OF THE TEST REPORTS WITH CONFIRMATION THAT THE SPECIMENS WERE SELECTED FROM COILS AT THE MANUFACTURER PRODUCTION FACILITIES, AND A NOTARIZED STATEMENT FROM THE MANUFACTURER THAT ONLY COILS WITH YIELD STRENGTH OF 32,000 PSI OR MORE SHALL BE USED TO MAKE DOOR PANELS FOR DADE COUNTY UNDER THIS NOTICE OF ACCEPTANCE.

| | | | |
|-----|---|----------|-----|
| REV | DESCRIPTION OF REVISIONS | DATE | BY |
| A | ADDITION TO 2007 REC. MODEL 655 & FCJ ADDED | 06-09-06 | SKW |

MAX SIZE
16' x 14'

DESIGN LOADS
+45.8 PSF
-49.3 PSF

LARGE MISSILE
IMPACT
RESISTANCE

Amarr

165 CARRIAGE COURT WINSTON-SALEM, N.C. 27105 WWW.AMARR.COM

MODEL 950 HERITAGE (24 GA) 1000, 2000
MODEL 655 OAK SUMMIT (24 GA) 1000, 2000
SHORT, LONG, FLUSH, AND BEAD PANELS

| | | | | | |
|----|------------|-----|------|----------|-----------------|
| SZ | DRAWN BY | DLJ | DATE | 03/12/03 | DRAWING NUMBER |
| B | CHECKED BY | AJE | DATE | 03/14/03 | IRC-9516-169-26 |

DRAWN BY: THOMAS L. SHELMEARDINE P.E. LIC. NO. 008579 SHEET 2 OF 3

TABLE 4

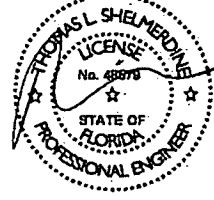
| Section | Panel Type | Center Stile Locations (Measured from Left Edge) | | | | | | |
|---------|------------|---|-------------|-------------|-------------|-------------|-------------|-------------|
| | | 1st (in) | 2nd (in) | 3rd (in) | 4th (in) | 5th (in) | 6th (in) | 7th (in) |
| 1010 | Short | 25.218 | 48.406 | 71.594 | 94.782 | | | |
| 1010 | Long | 30.650 | 60.000 | 60.000 | | | | |
| 1010 | Bead | 30.625 | 60.000 | 60.375 | | | | |
| 1210 | Short | 25.624 | 48.812 | 72.000 | 95.188 | 118.376 | | |
| 1210 | Long | 27.250 | 49.625 | 72.000 | 94.375 | 118.750 | | |
| 1210 | Bead | 24.625 | 48.313 | 72.000 | 95.688 | 119.375 | | |
| 1212 | Short | 28.272 | 49.636 | 73.000 | 96.364 | 119.728 | | |
| 1212 | Long | 27.168 | 50.084 | 73.000 | 95.916 | 118.832 | | |
| 1212 | Bead | 25.125 | 49.063 | 73.000 | 96.938 | 120.875 | | |
| 1214 | Short | 27.272 | 50.636 | 74.000 | 97.364 | 120.728 | | |
| 1214 | Long | 28.168 | 51.084 | 74.000 | 96.916 | 119.832 | | |
| 1214 | Bead | 25.625 | 49.813 | 74.000 | 98.188 | 122.375 | | |
| 1216 | Short | 28.340 | 50.870 | 75.000 | 99.330 | 123.560 | | |
| 1216 | Long | 27.340 | 51.170 | 75.000 | 98.830 | 122.900 | | |
| 1216 | Bead | 26.125 | 50.583 | 75.000 | 99.438 | 123.875 | | |
| 1218 | Short | 27.340 | 51.670 | 76.000 | 100.330 | 124.860 | | |
| 1218 | Long | 26.200 | 52.100 | 76.000 | 99.900 | 123.800 | | |
| 1218 | Bead | 26.625 | 51.313 | 76.000 | 100.664 | 125.375 | | |
| 12110 | Short | 27.500 | 52.250 | 77.000 | 101.750 | 126.500 | | |
| 12110 | Long | 26.200 | 53.100 | 77.000 | 100.000 | 124.800 | | |
| 12110 | Bead | 27.125 | 52.063 | 77.000 | 101.638 | 126.875 | | |
| 1310 | Short | 28.000 | 53.000 | 78.000 | 103.000 | 128.000 | | |
| 1310 | Long | 30.200 | 54.100 | 78.000 | 101.900 | 125.500 | | |
| 1310 | Bead | 27.625 | 52.813 | 78.000 | 103.188 | 128.375 | | |
| 1312 | Short | 28.000 | 54.000 | 79.000 | 104.000 | 129.000 | | |
| 1312 | Long | 31.200 | 55.100 | 79.000 | 102.600 | 126.800 | | |
| 1312 | Bead | 28.125 | 53.583 | 79.000 | 104.438 | 129.875 | | |
| 1314 | Short | 28.500 | 54.400 | 80.000 | 105.600 | 131.200 | | |
| 1314 | Long | 29.800 | 54.900 | 80.000 | 105.100 | 130.200 | | |
| 1314 | Bead | 28.625 | 54.313 | 80.000 | 105.688 | 131.375 | | |
| 1316 | Short | 29.800 | 55.400 | 81.000 | 106.600 | 132.200 | | |
| 1316 | Long | 30.800 | 55.900 | 81.000 | 106.100 | 131.200 | | |
| 1316 | Bead | 29.125 | 55.063 | 81.000 | 106.938 | 132.875 | | |
| 1318 | Short | 30.600 | 56.400 | 82.000 | 107.600 | 133.200 | | |
| 1318 | Long | 31.200 | 56.625 | 82.000 | 107.375 | 132.750 | | |
| 1318 | Bead | 29.625 | 55.813 | 82.000 | 108.188 | 134.375 | | |
| 13110 | Short | 31.388 | 57.183 | 82.938 | 108.713 | 134.488 | | |
| 13110 | Long | 31.340 | 57.170 | 83.000 | 108.830 | 134.660 | | |
| 13110 | Bead | 30.125 | 56.563 | 83.000 | 109.438 | 135.875 | | |
| 1410 | Short | 31.588 | 57.783 | 83.938 | 110.113 | 136.288 | | |
| 1410 | Long | 33.250 | 58.625 | 84.000 | 109.375 | 134.750 | | |
| 1410 | Bead | 30.625 | 57.313 | 84.000 | 110.688 | 137.375 | | |
| 1412 | Short | 32.754 | 58.846 | 84.938 | 111.413 | 137.868 | | |
| 1412 | Long | 33.340 | 59.170 | 85.000 | 110.830 | 136.860 | | |
| 1412 | Bead | 31.125 | 58.063 | 85.000 | 111.938 | 138.875 | | |
| 1414 | Short | 32.388 | 59.183 | 85.938 | 112.713 | 139.488 | | |
| 1414 | Long | 34.340 | 60.170 | 86.000 | 111.830 | 137.660 | | |
| 1414 | Bead | 31.625 | 58.813 | 86.000 | 113.188 | 140.375 | | |
| 1416 | Short | 32.788 | 59.863 | 86.938 | 114.013 | 141.088 | | |
| 1416 | Long | 35.340 | 61.170 | 87.000 | 112.800 | 138.660 | | |
| 1416 | Bead | 32.125 | 59.583 | 87.000 | 114.438 | 141.875 | | |
| 1418 | Short | 33.188 | 60.563 | 87.938 | 115.313 | 142.688 | | |
| 1418 | Long | 35.218 | 61.812 | 88.406 | 114.500 | 140.564 | 131.188 | 152.762 |
| 1418 | Bead | 32.625 | 60.313 | 89.000 | 115.668 | 143.375 | | |
| 14110 | Short | 33.588 | 61.263 | 88.938 | 116.813 | 144.288 | | |
| 14110 | Long | 35.600 | 62.300 | 89.000 | 116.700 | 142.400 | 154.100 | |
| 14110 | Bead | 33.125 | 61.063 | 89.000 | 118.938 | 144.875 | | |
| 1510 | Short | 33.908 | 61.938 | 89.938 | 117.938 | 146.938 | | |
| 1510 | Long | 34.900 | 63.000 | 90.000 | 117.700 | 145.400 | 158.100 | |
| 1510 | Bead | 33.625 | 61.813 | 90.000 | 118.188 | 146.375 | | |
| 1512 | Short | 34.388 | 62.663 | 90.938 | 119.213 | 147.488 | | |
| 1512 | Long | 35.900 | 63.300 | 91.000 | 118.700 | 146.400 | 156.100 | |
| 1512 | Bead | 34.125 | 62.563 | 91.000 | 119.438 | 147.875 | | |
| 1514 | Short | 35.000 | 63.600 | 92.000 | 120.400 | 148.000 | 156.000 | |
| 1514 | Long | 34.875 | 63.250 | 92.000 | 119.375 | 146.750 | 156.125 | |
| 1514 | Bead | 34.625 | 63.313 | 92.000 | 120.688 | 149.375 | | |
| 1516 | Short | 34.336 | 63.524 | 92.812 | 120.000 | 148.376 | 162.564 | |
| 1516 | Long | 34.900 | 63.600 | 93.000 | 119.700 | 148.400 | 161.100 | |
| 1516 | Bead | 34.626 | 63.417 | 93.000 | 119.792 | 148.583 | 161.375 | |
| 1518 | Short | 34.430 | 63.624 | 93.812 | 120.000 | 148.376 | 163.564 | |
| 1518 | Long | 35.000 | 63.600 | 94.000 | 119.700 | 148.400 | 162.100 | |
| 1518 | Bead | 35.026 | 63.817 | 94.000 | 118.602 | 148.983 | 162.875 | |
| 15110 | Short | 35.436 | 63.624 | 94.812 | 119.188 | 147.376 | 164.564 | |
| 15110 | Long | 36.251 | 64.187 | 95.000 | 117.917 | 146.833 | 163.750 | |
| 15110 | Bead | 33.426 | 63.817 | 95.000 | 118.192 | 147.383 | 164.575 | |
| 1610 | Short | 36.236 | 64.524 | 95.712 | 118.000 | 147.376 | 165.564 | |
| 1610 | Long | 37.500 | 65.000 | 96.000 | 118.300 | 147.400 | 164.100 | |
| 1610 | Bead | 34.626 | 64.417 | 96.000 | 119.792 | 148.583 | 167.375 | |

| REV | DESCRIPTION OF REVISIONS | DATE | BY |
|-----|---|----------|-----|
| A | ATTACHMENT TO 2007 PEC MODEL 655 & PCS AXED | 06-09-08 | SKV |

MAX SIZE
16' x 14'

DESIGN LOADS
+45.8 PSF
-49.3 PSF

LARGE MISSILE
IMPACT
RESISTANCE



Amarr

165 CARRIAGE COURT WINSTON-SALEM, N.C. 27105 WWW.AMARR.COM

MODEL 950 HERITAGE (24 GA) 1000, 2000
MODEL 655 OAK SUMMIT (24 GA) 1000, 2000
SHORT, LONG, FLUSH, AND BRAD PANELS

| | | | | | |
|------|------------|-----|------|----------|-----------------|
| SIZE | DRAIN BY | DJ | DATE | 03/12/03 | DRAWING NUMBER |
| B | CHECKED BY | AXE | DATE | 03/14/03 | IRC-9516-169-26 |

ENGINEER: THOMAS L. SHELMEDE P.E. LIC. NO. 004878 SHEET 3 OF 3

TABLE 1

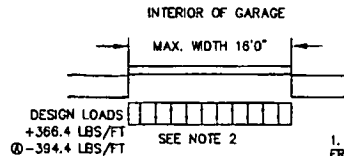
| DOOR HEIGHT | STRUT SPACING (BASED ON RECOMMENDED SECTION CONFIGURATION) | | | | | | | | TOP |
|-------------|--|---------|---------|---------|---------|----------|----------|----------|----------|
| | A | B | C | D | E | F | G | H | |
| 6' 6" | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | | | | | 70 1/2" |
| 7' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | | | | | 76 1/2" |
| 7' 6" | 4 1/2" | 14 1/2" | 32 1/2" | 50 1/2" | 68 1/2" | | | | 82 1/2" |
| 8' | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | | | | 88 1/2" |
| 8' 6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | | | | 94 1/2" |
| 9' | 4 1/2" | 14 1/2" | 32 1/2" | 50 1/2" | 68 1/2" | 86 1/2" | | | 100 1/2" |
| 9' 6" | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | 89 1/2" | | | 106 1/2" |
| 10' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | 95 1/2" | | | 112 1/2" |
| 10' 6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | | | 118 1/2" |
| 11' | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | 89 1/2" | 107 1/2" | | 124 1/2" |
| 11' 6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | 95 1/2" | 113 1/2" | | 130 1/2" |
| 12' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | 119 1/2" | | 136 1/2" |
| 12' 6" | 4 1/2" | 17 1/2" | 35 1/2" | 53 1/2" | 71 1/2" | 89 1/2" | 107 1/2" | 125 1/2" | 142 1/2" |
| 13' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 77 1/2" | 95 1/2" | 113 1/2" | 131 1/2" | 148 1/2" |
| 13' 6" | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | 119 1/2" | 137 1/2" | 154 1/2" |
| 14' | 4 1/2" | 17 1/2" | 38 1/2" | 59 1/2" | 80 1/2" | 101 1/2" | 122 1/2" | 143 1/2" | 160 1/2" |

TABLE 3

| DOOR HEIGHT | TRACK ATTACHMENT | | | | | | | | | | | | | | SPLICE | |
|-------------|------------------|-----|-----|-----|-----|-----|-----|-----|-----|------|------|------|------|------|--------|------|
| | A | B | C | D | E | F | G | H | I | J | K | L | M | N | | S |
| 6' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 64" | | | | | | | | | 70" |
| 7' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | | | | | | | | | 76" |
| 7' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | | | | | | | | 82" |
| 8' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | | | | | | | | 88" |
| 8' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | | | | | | | 94" |
| 9' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | | | | | | | 100" |
| 9' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 98" | | | | | | 106" |
| 10' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | | | | | | 112" |
| 10' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | | | | | 118" |
| 11' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | | | | | 124" |
| 11' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | 120" | | | | 130" |
| 12' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 110" | 122" | | | | 136" |
| 12' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 109" | 122" | 132" | | | 142" |
| 13' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 114" | 122" | 134" | | | 148" |
| 13' 6" | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 109" | 122" | 134" | 144" | | 154" |
| 14' | 3" | 14" | 27" | 38" | 46" | 56" | 68" | 78" | 88" | 100" | 114" | 122" | 134" | 146" | | 160" |

TABLE 2

| DOOR HEIGHT | SECTION HEIGHTS | | | | | | | |
|-------------|-----------------|-----|-----|-----|-----|-----|-----|-----|
| | Btm | #2 | #3 | #4 | #5 | #6 | #7 | #8 |
| 14' 0" | 21" | 21" | 21" | 21" | 21" | 21" | 21" | 21" |
| 13' 6" | 21" | 21" | 21" | 21" | 21" | 18" | 18" | 21" |
| 13' 0" | 21" | 21" | 21" | 18" | 18" | 18" | 18" | 21" |
| 12' 6" | 21" | 18" | 18" | 18" | 18" | 18" | 18" | 21" |
| 12' 0" | 21" | 21" | 21" | 21" | 21" | 18" | 21" | |
| 11' 6" | 21" | 21" | 21" | 18" | 18" | 18" | 21" | |
| 11' 0" | 21" | 18" | 18" | 18" | 18" | 18" | 21" | |
| 10' 6" | 21" | 21" | 21" | 21" | 21" | 21" | | |
| 10' 0" | 21" | 21" | 21" | 18" | 18" | 21" | | |
| 9' 6" | 21" | 18" | 18" | 18" | 18" | 21" | | |
| 9' 0" | 18" | 18" | 18" | 18" | 18" | | | |
| 8' 6" | 21" | 21" | 21" | 18" | 21" | | | |
| 8' 0" | 21" | 18" | 18" | 18" | 21" | | | |
| 7' 6" | 18" | 18" | 18" | 18" | | | | |
| 7' 0" | 21" | 21" | 21" | 21" | | | | |
| 6' 6" | 21" | 18" | 18" | 21" | | | | |



SPECIFICATIONS AND NOTES

1. ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE VERTICAL TRACK. FROM THE TRACK THE LOAD IS TRANSFERRED TO THE VERTICAL JAMBS. THE HORIZONTAL JAMB OR HEADER RECEIVES NO PORTION OF THE LOAD TRANSFERRED FROM THE DOOR.
2. EACH VERTICAL JAMBS RECEIVES MAXIMUM DESIGN LOADS OF: +366.4 LBS/FT & -394.4 LBS/FT
3. DOOR AND HARDWARE WILL BE DESIGNED, MANUFACTURED AND INSTALLED WITH STANDARDS AS SET FORTH BY DASHA.
4. DOOR SECTIONS SHALL BE 24 GA. (.024) MIN. EXTERIOR SKIN ROLLED FORMED, G-40 GALVANIZATION W/ BAKED ON POLYESTER FINISH
5. DOORS UPTO 7'0" HIGH CONSIST OF (4) SECTIONS AS SHOWN. USE (1) 5" R-TRUSS PER SECTION
6. DOORS OVER (4) SECTIONS REFER TO TABLES 1 AND 3 ON PAGE 2
7. SUPPORTING STRUCTURAL ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR WIND LOADS INDICATED ON THIS DRAWING IN ADDITION TO OTHER LOADINGS.
8. THE METHOD OF TESTING WAS IN SUBSTANTIAL CONFORMANCE WITH THE PROCEDURES DESCRIBED IN ASTM E330-02, ASCE 7-05, AND BUILDING CODE PROTOCOLS TAS 201, 202, 203.
9. THIS APPROVAL REQUIRES THE MANUFACTURER TO DO TESTING OF ALL COILS USED TO FABRICATE DOOR PANELS UNDER THIS NOTICE OF ACCEPTANCE. A MINIMUM OF 2 SPECIMENS SHALL BE CUT FROM EACH COIL AND TENSILE TESTED ACCORDING TO ASTM E-8 BY A DADE COUNTY APPROVED LAB SELECTED AND PAID BY THE MANUFACTURER. EVERY 3 MONTHS, 4 TIMES A YEAR, THE MANUFACTURER SHALL MAIL TO THIS OFFICE: A COPY OF THE TEST REPORTS WITH CONFIRMATION THAT THE SPECIMENS WERE SELECTED FROM COILS AT THE MANUFACTURER PRODUCTION FACILITIES. AND A NOTARIZED STATEMENT FROM THE MANUFACTURER THAT ONLY COILS WITH YIELD STRENGTH OF 32,000 PSI OR MORE SHALL BE USED TO MAKE DOOR PANELS FOR DADE COUNTY UNDER THIS NOTICE OF ACCEPTANCE.

PROJECT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 07-0604-05
 Expiration Date 07/24/2013

PROJECT REVISED
 as complying with the Florida
 Building Code
 Acceptance No. 08-0118-03
 Expiration Date 12/14/2013

| REV | DESCRIPTION OF REVISIONS | DATE | BY |
|---|---|----------|-----|
| A | ADDITION TO 2010 IBC, MODEL 655 & FCB ADDED | 06-03-08 | SKN |
| <p>MAX SIZE 16' x 14'</p> <p>DESIGN LOADS +45.8 PSF -49.3 PSF</p> <p>LARGE MISSILE IMPACT RESISTANCE</p> <p style="text-align: right; font-size: 2em;"><i>06/03/10</i></p> <p style="text-align: center; font-size: 1.5em;">Amarr</p> <p style="font-size: 0.8em;">145 CARRAGE COURT WILSTON-SALEM, NC 27159 WWW.AMARR.COM</p> <p style="font-size: 0.8em;">MODEL 960 HERITAGE (24 GA) 1000, 2000 MODEL 655 OAK SUMMIT (24 GA) 1000, 2000 SHORT, LONG, FLUSSE, AND BRAD PANELS</p> <p>SIZE: DRAWN BY: DJJ DATE: 03/12/03 DRAWING NUMBER: CHECKED BY: AVE DATE: 03/14/03 IRC-9516-169-26</p> <p>ENGINEER: THOMAS L. SILVERLINE P.E. LIC. NO. 004870 SHEET 2 OF 3 (0)</p> | | | |

TABLE 4


| Section | Panel Type | Center Site Locations (Measured from Left Edge) | | | | | | |
|---------|------------|--|-------------|-------------|-------------|-------------|-------------|-------------|
| | | 1st (ft) | 2nd (ft) | 3rd (ft) | 4th (ft) | 5th (ft) | 6th (ft) | 7th (ft) |
| 10 0 | Short | 25.218 | 48.400 | 71.304 | 94.782 | | | |
| 10 0 | Long | 30.000 | 60.000 | 90.000 | | | | |
| 10 0 | Bead | 30.025 | 60.000 | 89.375 | | | | |
| 12 0 | Short | 25.624 | 48.812 | 72.000 | 95.188 | 118.376 | | |
| 12 0 | Long | 27.250 | 49.625 | 72.000 | 94.375 | 118.750 | | |
| 12 0 | Bead | 24.625 | 48.313 | 72.000 | 95.000 | 118.376 | | |
| 12 2 | Short | 28.272 | 49.636 | 73.000 | 96.364 | 119.728 | | |
| 12 2 | Long | 27.163 | 50.094 | 73.000 | 95.818 | 118.632 | | |
| 12 2 | Bead | 28.125 | 48.063 | 73.000 | 96.636 | 120.875 | | |
| 12 4 | Short | 27.272 | 52.836 | 74.000 | 97.364 | 120.728 | | |
| 12 4 | Long | 28.168 | 51.064 | 74.000 | 96.818 | 119.632 | | |
| 12 4 | Bead | 25.625 | 49.813 | 74.000 | 96.188 | 122.375 | | |
| 12 6 | Short | 28.340 | 50.870 | 75.000 | 99.330 | 123.000 | | |
| 12 6 | Long | 27.340 | 51.170 | 75.000 | 98.830 | 122.000 | | |
| 12 6 | Bead | 26.128 | 50.563 | 75.000 | 99.436 | 123.875 | | |
| 12 8 | Short | 27.340 | 51.870 | 76.000 | 100.330 | 124.000 | | |
| 12 8 | Long | 29.200 | 52.100 | 76.000 | 99.800 | 123.000 | | |
| 12 8 | Bead | 28.625 | 51.313 | 76.000 | 100.088 | 125.376 | | |
| 12 10 | Short | 27.000 | 52.200 | 77.000 | 101.750 | 126.500 | | |
| 12 10 | Long | 29.200 | 53.100 | 77.000 | 100.000 | 124.000 | | |
| 12 10 | Bead | 27.125 | 52.000 | 77.000 | 101.936 | 126.875 | | |
| 13 0 | Short | 28.000 | 53.000 | 78.000 | 103.000 | 128.000 | | |
| 13 0 | Long | 29.200 | 54.100 | 78.000 | 101.800 | 125.000 | | |
| 13 0 | Bead | 27.625 | 52.813 | 78.000 | 103.188 | 126.375 | | |
| 13 2 | Short | 29.000 | 54.000 | 79.000 | 104.000 | 129.000 | | |
| 13 2 | Long | 31.200 | 55.100 | 79.000 | 102.900 | 126.000 | | |
| 13 2 | Bead | 28.125 | 53.363 | 79.000 | 104.436 | 129.875 | | |
| 13 4 | Short | 29.800 | 54.400 | 80.000 | 105.600 | 131.200 | | |
| 13 4 | Long | 29.800 | 54.900 | 80.000 | 105.100 | 130.200 | | |
| 13 4 | Bead | 28.625 | 54.313 | 80.000 | 105.888 | 131.376 | | |
| 13 6 | Short | 29.800 | 55.400 | 81.000 | 106.800 | 132.200 | | |
| 13 6 | Long | 30.800 | 55.900 | 81.000 | 106.100 | 131.200 | | |
| 13 6 | Bead | 29.125 | 55.063 | 81.000 | 106.936 | 132.875 | | |
| 13 8 | Short | 30.800 | 56.400 | 82.000 | 107.800 | 133.200 | | |
| 13 8 | Long | 31.750 | 56.625 | 82.000 | 107.375 | 132.750 | | |
| 13 8 | Bead | 29.625 | 55.813 | 82.000 | 108.188 | 134.375 | | |
| 13 10 | Short | 31.368 | 57.163 | 82.936 | 108.713 | 134.488 | | |
| 13 10 | Long | 31.340 | 57.170 | 83.000 | 108.830 | 134.600 | | |
| 13 10 | Bead | 30.125 | 56.563 | 83.000 | 109.436 | 136.875 | | |
| 14 0 | Short | 31.588 | 57.763 | 83.936 | 110.113 | 136.288 | | |
| 14 0 | Long | 33.250 | 58.625 | 84.000 | 108.375 | 134.750 | | |
| 14 0 | Bead | 30.625 | 57.313 | 84.000 | 110.088 | 137.375 | | |
| 14 2 | Short | 32.754 | 58.648 | 84.936 | 111.413 | 137.868 | | |
| 14 2 | Long | 33.340 | 58.170 | 85.000 | 110.630 | 136.600 | | |
| 14 2 | Bead | 31.125 | 58.063 | 85.000 | 111.936 | 138.875 | | |
| 14 4 | Short | 32.388 | 58.163 | 86.033 | 112.713 | 138.488 | | |
| 14 4 | Long | 34.340 | 60.170 | 86.000 | 111.630 | 137.800 | | |
| 14 4 | Bead | 31.625 | 58.813 | 86.000 | 113.188 | 140.375 | | |
| 14 6 | Short | 32.786 | 58.983 | 86.936 | 114.013 | 141.086 | | |
| 14 6 | Long | 35.340 | 61.170 | 87.000 | 112.830 | 139.000 | | |
| 14 6 | Bead | 32.125 | 59.563 | 87.000 | 114.436 | 141.875 | | |
| 14 8 | Short | 33.188 | 60.563 | 87.936 | 115.313 | 142.088 | | |
| 14 8 | Long | 23.218 | 44.812 | 66.400 | 88.000 | 109.044 | 131.189 | 152.762 |
| 14 8 | Bead | 32.625 | 60.313 | 88.000 | 115.888 | 143.375 | | |
| 14 10 | Short | 33.688 | 61.283 | 88.936 | 116.813 | 144.288 | | |
| 14 10 | Long | 23.900 | 45.600 | 67.300 | 89.000 | 110.700 | 132.400 | 154.100 |
| 14 10 | Bead | 33.125 | 61.063 | 89.000 | 116.936 | 144.875 | | |
| 15 0 | Short | 33.936 | 61.936 | 89.936 | 117.936 | 145.936 | | |
| 15 0 | Long | 34.900 | 48.900 | 68.300 | 90.000 | 111.700 | 133.400 | 156.100 |
| 15 0 | Bead | 33.625 | 61.813 | 90.000 | 118.188 | 146.375 | | |
| 15 2 | Short | 34.388 | 62.663 | 90.936 | 119.213 | 147.488 | | |
| 15 2 | Long | 25.800 | 47.800 | 69.300 | 91.000 | 112.700 | 134.400 | 156.100 |
| 15 2 | Bead | 34.125 | 62.563 | 91.000 | 119.436 | 147.875 | | |
| 15 4 | Short | 28.000 | 53.600 | 79.200 | 104.800 | 130.400 | 160.000 | |
| 15 4 | Long | 24.816 | 47.250 | 65.625 | 92.000 | 114.375 | 136.750 | 150.125 |
| 15 4 | Bead | 34.628 | 63.313 | 92.000 | 120.688 | 149.375 | | |
| 15 6 | Short | 23.436 | 48.824 | 69.812 | 93.000 | 116.188 | 139.376 | 162.504 |
| 15 6 | Long | 24.900 | 47.800 | 70.300 | 93.000 | 115.700 | 138.400 | 161.100 |
| 15 6 | Bead | 24.628 | 47.417 | 70.200 | 93.000 | 115.762 | 138.583 | 161.375 |
| 15 8 | Short | 24.436 | 47.824 | 70.812 | 94.000 | 117.188 | 140.376 | 163.504 |
| 15 8 | Long | 25.900 | 48.000 | 71.300 | 94.000 | 116.700 | 139.400 | 162.100 |
| 15 8 | Bead | 25.026 | 48.017 | 71.000 | 94.000 | 116.662 | 139.463 | 162.976 |
| 15 10 | Short | 25.436 | 48.624 | 71.812 | 95.000 | 118.168 | 141.376 | 164.964 |
| 15 10 | Long | 26.251 | 49.167 | 72.064 | 95.000 | 117.917 | 140.833 | 163.760 |
| 15 10 | Bead | 23.428 | 48.617 | 71.800 | 95.000 | 118.192 | 141.383 | 164.875 |
| 16 0 | Short | 24.436 | 48.624 | 72.812 | 96.000 | 119.168 | 142.376 | 166.964 |
| 16 0 | Long | 27.800 | 50.800 | 73.300 | 96.000 | 118.700 | 141.400 | 164.100 |
| 16 0 | Bead | 24.928 | 48.417 | 72.200 | 96.000 | 119.762 | 143.583 | 167.375 |

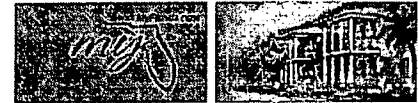
PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 07-0604-05
Expiration No. 07/04/2013

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 07-0218-03
Expiration No. 07/03/2013

By: [Signature]
Miami In-Service Control
Division

By: [Signature]
Miami In-Service Control
Division

| REV | DESCRIPTION OF REVISIONS | DATE | BY |
|---|---|----------|-----------------|
| A | ADDITION TO 2007 FBC, MODEL 655 & FGD ADDED | 06-09-08 | SKT |
| MAX SIZE | 18' x 14' | | |
| DESIGN LOADS | +45.8 PSF -49.3 PSF | | |
| LARGE MISSILE IMPACT RESISTANCE | | | |
|  | | | |
| 143 CARRIAGE COURT WINDYBROOK SALES, INC. 87025 WWW.AMARR.COM | | | |
| MODEL 950 HERITAGE (24 GA) 1000, 2000 MODEL 655 OAK SUMMIT (24 GA) 1000, 2000 SHORT, LONG, FLUSH, AND BEAD PANELS | | | |
| SIZE | DRAWN BY | DATE | DRAWING NUMBER |
| B | CHECKED BY | DATE | IRC-9516-169-26 |
| ENGINEER: THOMAS L. SALMERONE P.E. Lic. No. 004579 | | | |
| SHEET 3 OF 3 | | | |

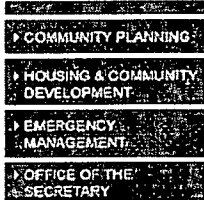


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[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



| FL # | FL7152-R2 | | | | | | | | | | |
|--|--|-----------------|-------------|-----------|------|---------|------|---------|------|---------|------|
| Application Type | Revision | | | | | | | | | | |
| Code Version | 2007 | | | | | | | | | | |
| Application Status | Approved | | | | | | | | | | |
| Comments | | | | | | | | | | | |
| Archived | <input type="checkbox"/> | | | | | | | | | | |
| Product Manufacturer | Amarr Garage Doors | | | | | | | | | | |
| Address/Phone/Email | 165 Carriage Court Winston-Salem, NC 27105 (336) 251-1309 danny.joyner@amarr.com | | | | | | | | | | |
| Authorized Signature | Danny Joyner danny.joyner@amarr.com | | | | | | | | | | |
| Technical Representative | Danny Joyner | | | | | | | | | | |
| Address/Phone/Email | 165 Carriage Court Winston-Salem, NC 27105 djoyner@amarr.com | | | | | | | | | | |
| Quality Assurance Representative | | | | | | | | | | | |
| Address/Phone/Email | | | | | | | | | | | |
| Category | Exterior Doors | | | | | | | | | | |
| Subcategory | Sectional Exterior Door Assemblies | | | | | | | | | | |
| Compliance Method | Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received | | | | | | | | | | |
| Florida Engineer or Architect Name who developed the Evaluation Report | Thomas L. Shelmerdine | | | | | | | | | | |
| Florida License | PE-48579 | | | | | | | | | | |
| Quality Assurance Entity | Intertek Testing Services NA Inc. - ETL/Warnock Hersey | | | | | | | | | | |
| Quality Assurance Contract Expiration Date | 01/01/2099 | | | | | | | | | | |
| Validated By | Steven M. Urich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received | | | | | | | | | | |
| Certificate of Independence | FL7152_R2_COI_Tom_Shelmerdine_Letter_of_Independence_7.24.2007.pdf | | | | | | | | | | |
| Referenced Standard and Year (of Standard) | <table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM E330</td> <td>2002</td> </tr> <tr> <td>TAS 201</td> <td>1994</td> </tr> <tr> <td>TAS 202</td> <td>1994</td> </tr> <tr> <td>TAS 203</td> <td>1994</td> </tr> </tbody> </table> | <u>Standard</u> | <u>Year</u> | ASTM E330 | 2002 | TAS 201 | 1994 | TAS 202 | 1994 | TAS 203 | 1994 |
| <u>Standard</u> | <u>Year</u> | | | | | | | | | | |
| ASTM E330 | 2002 | | | | | | | | | | |
| TAS 201 | 1994 | | | | | | | | | | |
| TAS 202 | 1994 | | | | | | | | | | |
| TAS 203 | 1994 | | | | | | | | | | |
| Equivalence of Product Standards | | | | | | | | | | | |

Certified By

Sections from the Code

Product Approval Method

Method 1 Option D

Date Submitted

11/04/2008

Date Validated

11/05/2008

Date Pending FBC Approval

11/13/2008

Date Approved

12/10/2008

| Summary of Products | | |
|--|--|--|
| FL # | Model, Number or Name | Description |
| 7152.1 | Heritage (M950), Oak Summit (24 Ga only, M655) | 9' wide 24 Ga Heritage and Oak Summit 1000 and 2000 Models 950, 950i, 655, 655i |
| Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +51.1/-60.3 Other: Glazing is not available. Approved for use in HVHZ. | | Installation Instructions FL7152 R2 II IRC-9509-180-21 Stamped dwg.pdf Verified By: Thomas L. Shelmerdine FL PE 48579 Created by Independent Third Party: Yes Evaluation Reports FL7152 R2 AE Heritage doors with wood overlay.pdf FL7152 R2 AE IRC-9509-180-21 Evaluation Report.pdf Created by Independent Third Party: Yes |
| 7152.2 | Heritage (M950), Oak Summit (24 Ga only, M655) | 9' wide 24 Ga Heritage and Oak Summit 1000 and 2000 Models 950, 950i, 655, 655i |
| Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +45.3/-51.2 Other: Glazing is not available. Approved for use in HVHZ. | | Installation Instructions FL7152 R2 II IRC-9509-169-15 Stamped dwg.pdf Verified By: Thomas L. Shelmerdine FL PE 48579 Created by Independent Third Party: Yes Evaluation Reports FL7152 R2 AE Heritage doors with wood overlay.pdf FL7152 R2 AE IRC-9509-169-15 Evaluation Report.pdf Created by Independent Third Party: Yes |
| 7152.3 | Heritage (M950), Oak Summit (24 Ga only, M655) | 16' wide 24 Ga Heritage and Oak Summit 1000 and 2000 Models 950, 950i, 655, 655i |
| Limits of Use Approved for use in HVHZ: Yes Approved for use outside HVHZ: Yes Impact Resistant: Yes Design Pressure: +45.8/-49.3 Other: Glazing is not available. Approved for use in HVHZ. | | Installation Instructions FL7152 R2 II IRC-9516-169-26 Stamped dwg.pdf Verified By: Thomas L. Shelmerdine FL PE 48579 Created by Independent Third Party: Yes Evaluation Reports FL7152 R2 AE Heritage doors with wood overlay.pdf FL7152 R2 AE IRC-9516-169-26 Evaluation Report.pdf Created by Independent Third Party: Yes |



[Back](#)

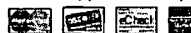
[Next](#)

Department of Community Affairs
 Florida Building Code Online
 Codes and Standards
 2555 Shumard Oak Boulevard
 Tallahassee, Florida 32399-2100
 (850) 487-1824, Fax (850) 414-8436

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Product Approval Accepts:



NOTICE OF COMMENCEMENT

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2,500.00

PERMIT #: _____ TAX FOLIO #: _____

STATE OF FLORIDA COUNTY OF MARTIN

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (AND STREET ADDRESS IF AVAILABLE):

GENERAL DESCRIPTION OF IMPROVEMENT: _____

OWNER NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

INTEREST IN PROPERTY: _____
NAME AND ADDRESS OF FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER):

CONTRACTOR: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

SURETY COMPANY (IF ANY): _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____
BOND AMOUNT: _____

LENDER/MORTGAGE COMPANY: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) 7., FLORIDA STATUTES:

NAME: _____
ADDRESS: _____
PHONE NUMBER: _____ FAX NUMBER: _____

IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B),

FLORIDA STATUTES:
PHONE NUMBER: _____ FAX NUMBER: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____
(EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED).

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR OWNER'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE/OFFICE _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____

BY: _____ AS _____ TYPE OF AUTHORITY _____ FOR _____ NAME OF PARTY ON BEHALF OF WHOM INSTRUMENT WAS EXECUTED

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION _____

TYPE OF IDENTIFICATION PRODUCED _____ NOTARY SIGNATURE/ SEAL _____

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF (SECTION 92.525, FLORIDA STATUTES).

(Signature of Natural Person Signing Above)

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

583

Permit # _____

Date Issued _____

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner ROBERT & LISA HOLLAND Address 16 N. RIDGEVIEW Phone 223-9792

Contractor JOHN J. HILL CONSTRUCTION Address P.O. BOX 1516 Phone 287-9307

Number of trees to be removed (list kinds of trees) 1 FICUS

N/A

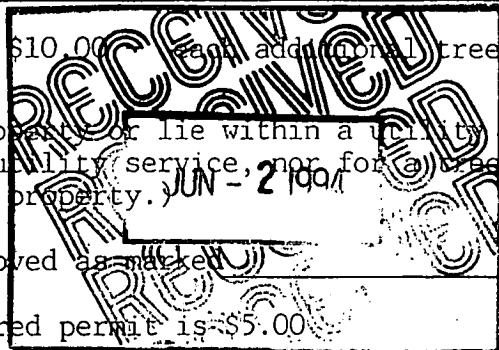
Number of trees to be relocated within 30 days (no fee) (list kinds of trees):

N/A

Number of trees to be replaced (list kinds of trees):

Removal For Addition

Permit Fee \$ 25⁰⁰ (\$25.00 - first tree plus \$10.00 for each additional tree - not to exceed \$100.00.)



(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved as marked _____

Permit good for one year. Fee for renewal of expired permit is \$5.00.

Signature of applicant [Signature] Date submitted _____

Approved by Building Inspector [Signature] Date 6/2/94

Approved by Building Commissioner [Signature] Date 6/8/94

Completed _____ Date _____ Checked by _____

THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT OBTAINING A PERMIT. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

TOWN OF SEWALL'S POINT, FLORIDA

Date April 12 ~~2004~~ TREE REMOVAL PERMIT No 2235

APPLIED FOR BY HOLLAND (Contractor or Owner)

Owner 16 N. RIDGEVIEW

Sub-division _____, Lot _____, Block _____

Kind of Trees UNKNOWN - FALLEN

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

FEE \$ 0

Signed, _____ Applicant

Signed

Gene Simmons (RS)
Town Clerk
Building Official

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspectio
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box with horizontal lines, likely for site plan or drawing.

PROJECT DESCRIPTION _____

Four horizontal lines for project description details.

REMARKS _____

Four horizontal lines for remarks.

TOWN OF SEWALL'S POINT APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than one inch.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigpon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Sorub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumas (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Robert/ Lisa Holland Address 16 N. Ridgeview Phone 223-9792

Contractor self Address _____ Phone _____

No. of Trees: REMOVE 1 Type: ?

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

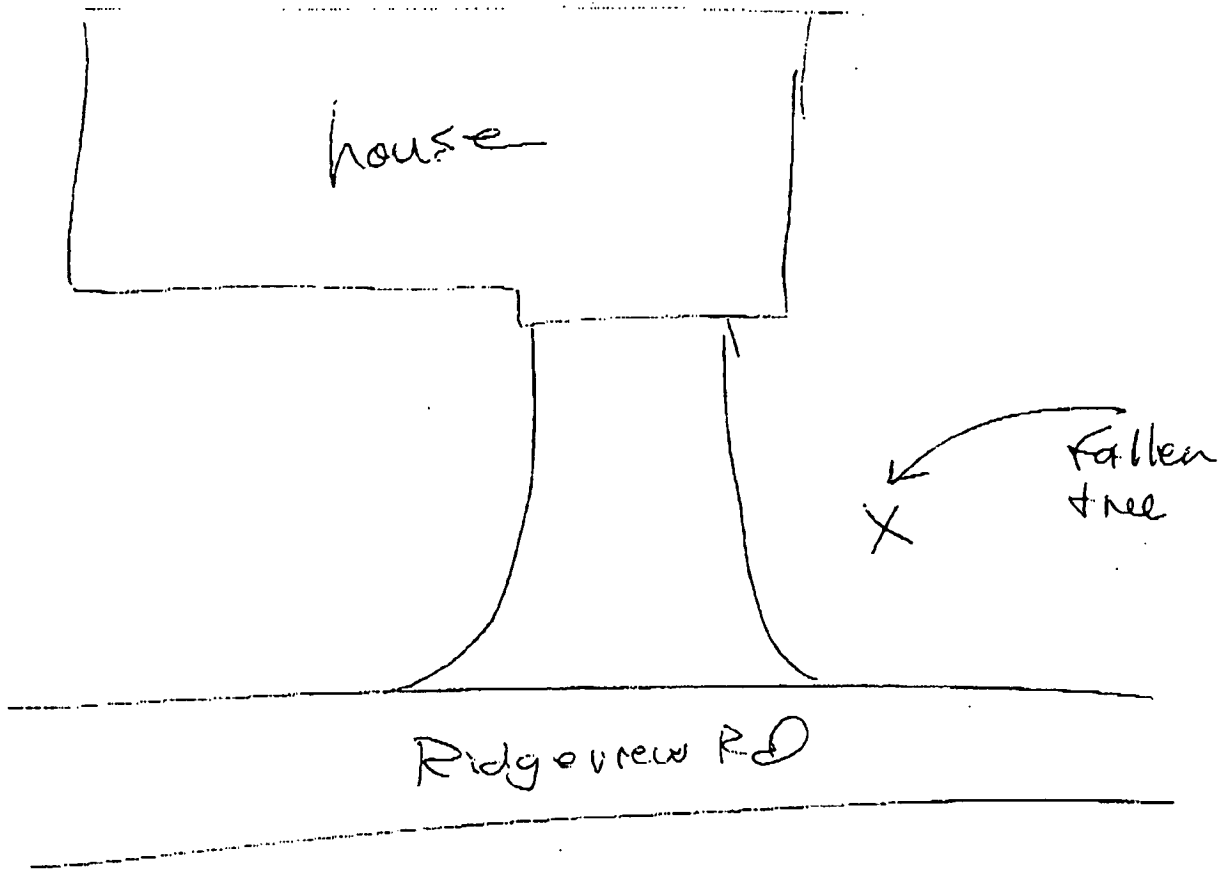
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Tree fell over weekend from natural causes.

Signature of Applicant [Signature] Date 4/12/03

Approved by Building Inspector: [Signature] Date 4/12 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



TOWN OF SEWALL'S POINT, FLORIDA

Date JANUARY 19, 2005 TREE REMOVAL PERMIT No 2394

APPLIED FOR BY HOLLAND (Contractor or Owner)

Owner 16 N. RIDGEVIEW RD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 Gumbo Limbo

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant

Signed Ime Summons (TTC)
Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Large empty rectangular box for drawing or site plan.

PROJECT DESCRIPTION _____

REMARKS _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Robert/Lisa Holland Address 16 N Ridgeway Rd Phone 223-9792

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Gumbo Limbo

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

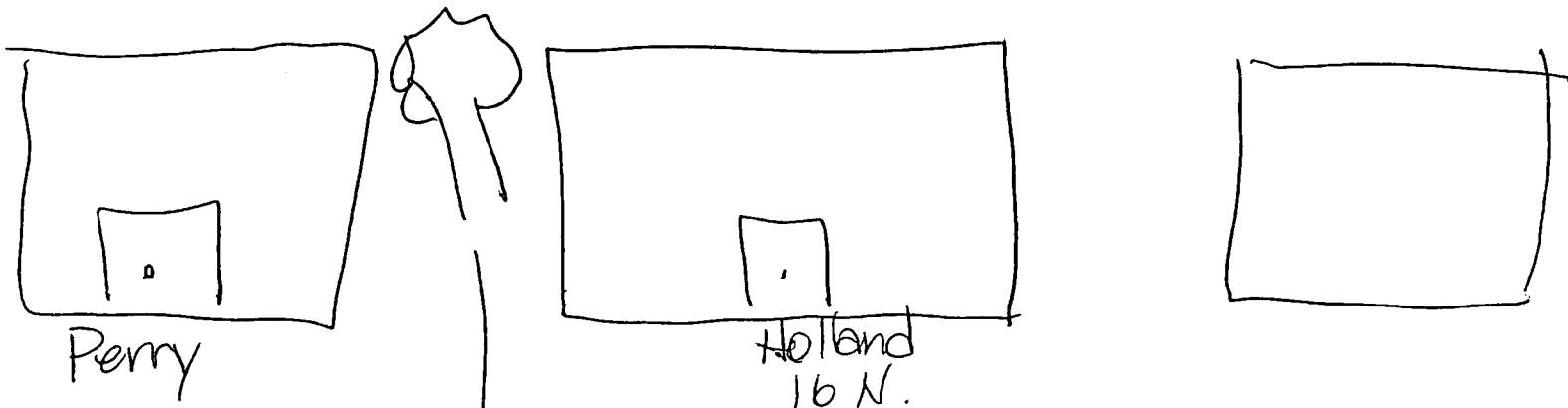
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: tree is dead due to hurricane damage

Signature of Property Owner Lisa Holland Date 1-18-05

Approved by Building Inspector: [Signature] Date 1/19 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



Perry

Holland
16 N.

tree
located
between
our property
and Perry's
in front yard
(side yard)

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri JAN 19 2005 Page 1 of 2

| PERMIT | OWNER/ADDRESS/CONTR. | INSPECTION TYPE | RESULTS | NOTES/COMMENTS: |
|--------|-----------------------------------|--------------------------|---------|-----------------|
| 6857 | PREISSMAN | LATH | PASS | |
| 2 | 28 RIO VIs WINCHIP | | | INSPECTOR: |
| 7151 | HARRIGAN | FRAMING | PASS | |
| 5 | 2 PALMETTO DE WORREN | | | INSPECTOR: |
| 7071 | TAN | FILL | PASS | CLOSE |
| 6 | 7 COPAIRE RD O/B | | | INSPECTOR: |
| 6959 | MILORD | IN OR TANK | PASS | |
| 7 | 10 N. SEWALL'S FERREN GAS | | | INSPECTOR: |
| 7185 | SCHOPPE | SHEATHING | PASS | |
| 4 | B PALM ROAD A & P CONSTR. | DEM IN TIN TACH METAL | | INSPECTOR: |
| 7208 | DONOHUE | FOOTER PREPOUR | PASS | |
| 1 | 163 S. SEWALL'S P HALL-SAMMONS | EARLY RELEASE | | INSPECTOR: |
| 7200 | HOLLAND | TREE | PASS | |
| 3 | 16 N. RIDGEVIEW RD | | | INSPECTOR: |

OTHER: _____

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

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Application procedures:

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4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Robert Hallan Address 16 N. Ridgeview Rd Phone 223 9792

Contractor self Address _____ Phone _____

A) No. of Trees: REMOVE 2 Type: Strangler fig & guelder tree

B) No. of Trees: RELOCATE 1 WITHIN 30 DAYS Type: Traveler palm

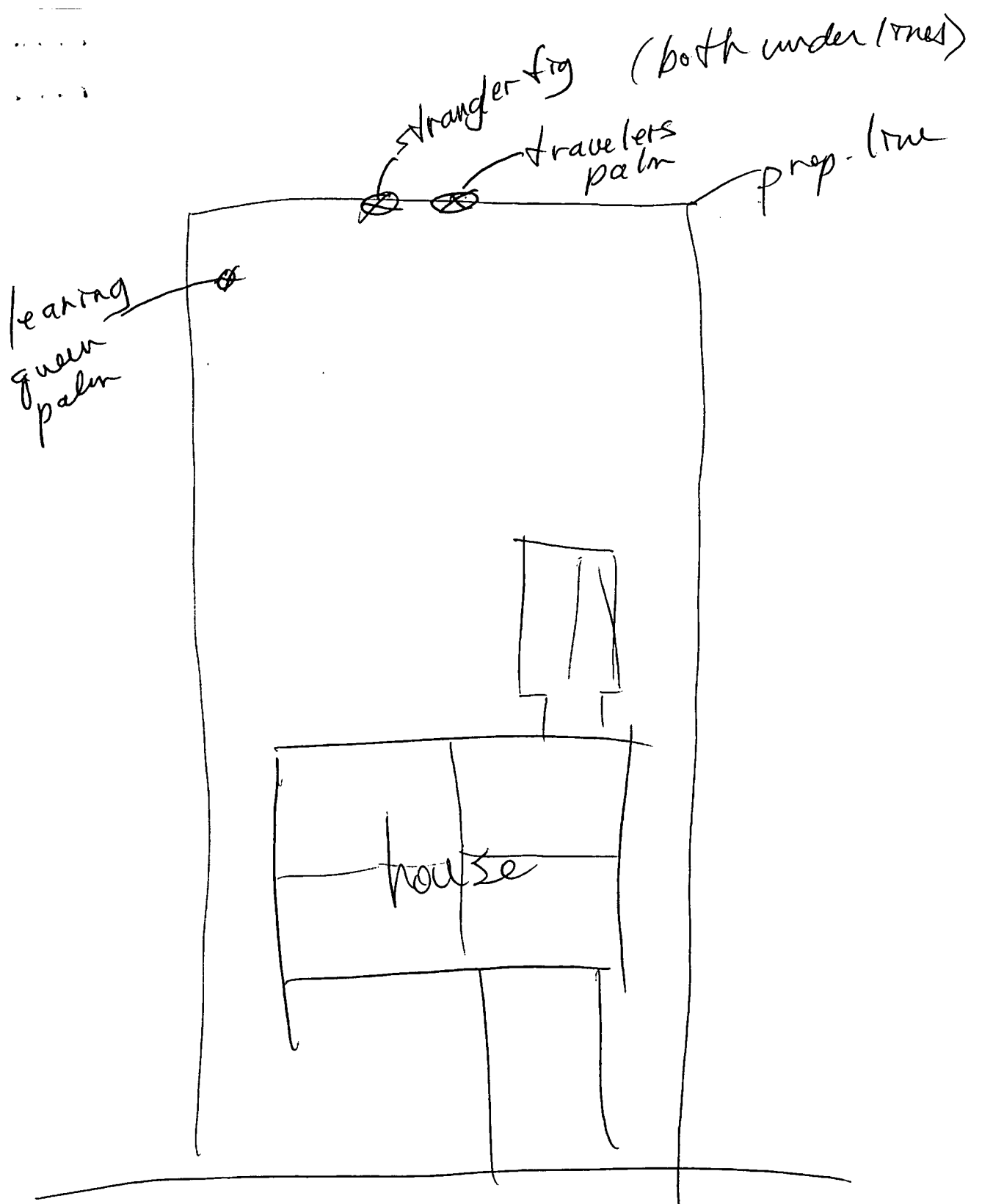
No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: A) growing on fence line and into power line
B) on fence line & into power line C) fell during storm growing at 45°

Signature of Property Owner [Signature] Date 6/28/05

Approved by Building Inspector: [Signature] Date 6/29 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



Holland 16 N Ridgeview

- full access - no dogs

SOUTH BAY REGION

Kimberly J. Titus
Regional Manager

3333 Clark Road, Suite 100
Sarasota, FL 34231
(941) 377-5864
1-800-771-5862
Fax: (941) 371-6773
E-mail:
alagfsbay@alagf.org

www.GulfLung.org



**When You Can't
Breathe,
Nothing Else
Matters®**

The mission of the American Lung Association of Gulfcoast Florida is the promotion of lung health and ultimate conquest of lung disease through education, research and advocacy.

Bequests are powerful medicine against lung disease.

TOWN OF SEWALL'S POINT, FLORIDA

Date 6/29/05 ~~12~~ TREE REMOVAL PERMIT No 2525

APPLIED FOR BY Holland (Contractor or Owner)

Owner O/B

Sub-division Hone wood, Lot 8, Block _____

Kind of Trees Strangler Fig, Queen Palm, Travelers Palm

No. Of Trees: REMOVE ~~3~~ 2

No. Of Trees: RELOCATE 1 WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, Lisa Holland
Applicant

Signed, Gene Sammons (sig)
Town Clerk

FEE \$ 0⁰⁰ per tree (max)

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT, FLORIDA

Date 11-1-06 ~~10~~ TREE REMOVAL PERMIT No 392

APPLIED FOR BY Holland (Contractor or Owner)

Owner ~~W. N. Ridgeway~~

Sub-division _____, Lot _____, Block _____

Kind of Trees Gumbo Limbo

No. Of Trees: REMOVE 1

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS Plot

FEE \$ 0

Signed, _____ Applicant Signed, Phil Winteron Blg Inspector

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for Inspector
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT, FLORIDA

Date NOVEMBER 18 2005 TREE REMOVAL PERMIT No 2601

APPLIED FOR BY HOLLAND (Contractor or Owner)

Owner 16 N. RIDGEVIEW RD

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 Palm

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

Signed, _____ Applicant
Signed, Gene Johnson (RD) FEE \$ 0
Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for project description or notes.

PROJECT DESCRIPTION _____

REMARKS _____

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APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

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2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Robert Holland Address 16 N. Ridgeview Rd Phone 223-9792

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Palm

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: Palm is damaged from hurricane and can't be saved. It is leaning dangerously

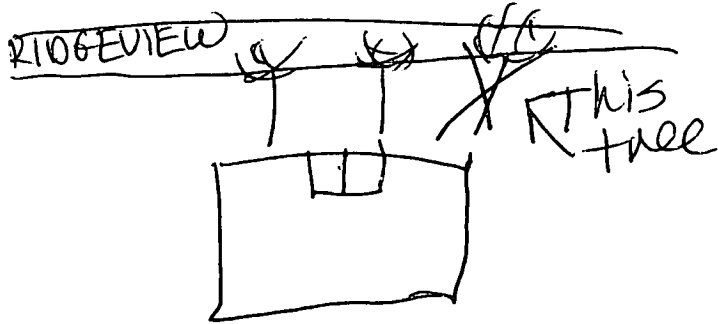
Signature of Property Owner Lisa Holland Date 11-16-05

Approved by Building Inspector: [Signature] Date 11/18 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____



Tree is marked for inspector. When facing the house it is the 1st Palm on the left closest to Ridgeview Rd and property next door (Perrys)



Permit Fee:

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Application procedures:

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 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new single family resident see above.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner Robert Holland Address 16 N. Ridgeview Rd Phone 223-9792

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Gumbo Limbo

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

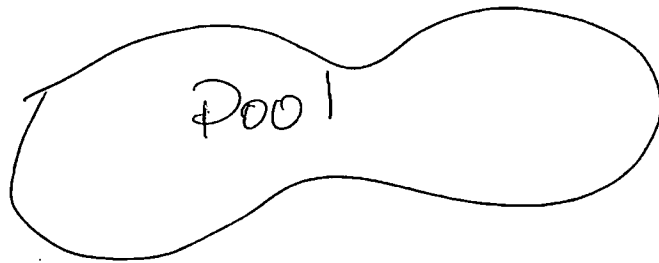
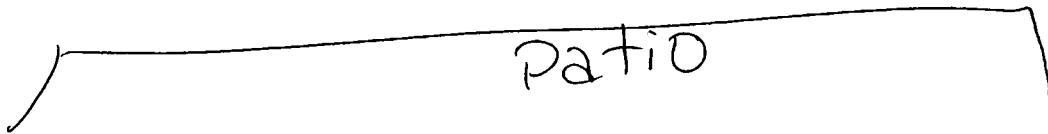
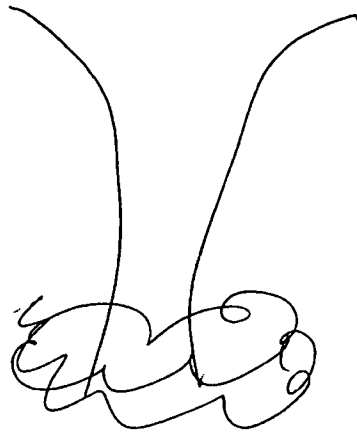
Written statement giving reasons: tree has rot on trunk. It is a safety hazard in strong wind.

Signature of Property Owner Lisa Holland Date 10-30-06

Approved by Building Inspector: [Signature] Date 11/1 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

Tree located in back yard. It is clearly marked and located in center of yard





TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

OK

TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Holland Address N. Ridgeview Phone 223-9792

Contractor _____ Address _____ Phone _____

No. of Trees: REMOVE 1 Type: Oak

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Reason for tree removal /relocation its dead

Signature of Property Owner Lisa Holland Date 11-15-07

Approved by Building Inspector: CAW Date 11/16/07 Fee: 0

NOTES: _____

SKETCH:

N. Ridgeview

located behind the mailbox on the property line.

Thank you!

TOWN OF SEWALLS POINT

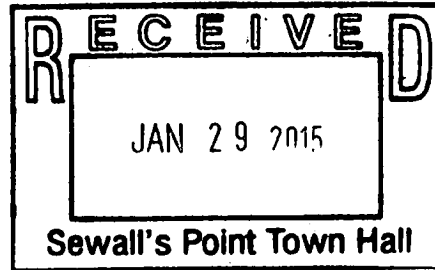
BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **10-6-11** Page 1 of 1

| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
|-----------------|---|--|-----------------|--|
| 9859 | Comcast 1 Marguerita Rd Allcomm | Final UG cables | Pass | CLOSE INSPECTOR <i>JH</i> |
| 0631 | Comcast 500 St. ... Rd Allcomm | Final UG cables | Pass | INSPECTOR <i>JH</i> |
| 9753 | BILLINGHAM 2 VIA DE CARISTO MASTERPIECE | ROOF DUCT | Pass | INSPECTOR |
| 0499 | Home Depot 16 ... St OB | Final UG cables | Pass | CLOSE INSPECTOR <i>JH</i> |
| | | | | INSPECTOR |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | |
| PERMIT # | OWNER/ADDRESS/CONTRACTOR | INSPECTION TYPE | RESULTS | COMMENTS |
| | | | | INSPECTOR |



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765



TREE REMOVAL, RELOCATION, REPLACEMENT PERMIT

CALL 8:00 AM - 12:00 NOON FOR INSPECTION - WORK HOURS 8:00 AM TO 5:00 PM - NO SUNDAYS

Owner Holland Address 16 N. Ridgewood Phone 285 8885
 Contractor Tropical Art Address _____ Phone 521-6230
 No. of Trees: REMOVE 1 Species: tbd by inspection
 No. of Trees: RELOCATE _____ Species: _____
 No. of Trees: REPLACE _____ Species: _____

ANY TREE TO BE RELOCATED OR REPLACED MUST OCCUR WITHIN 30 DAYS AND REQUIRES A FINAL INSPECTION

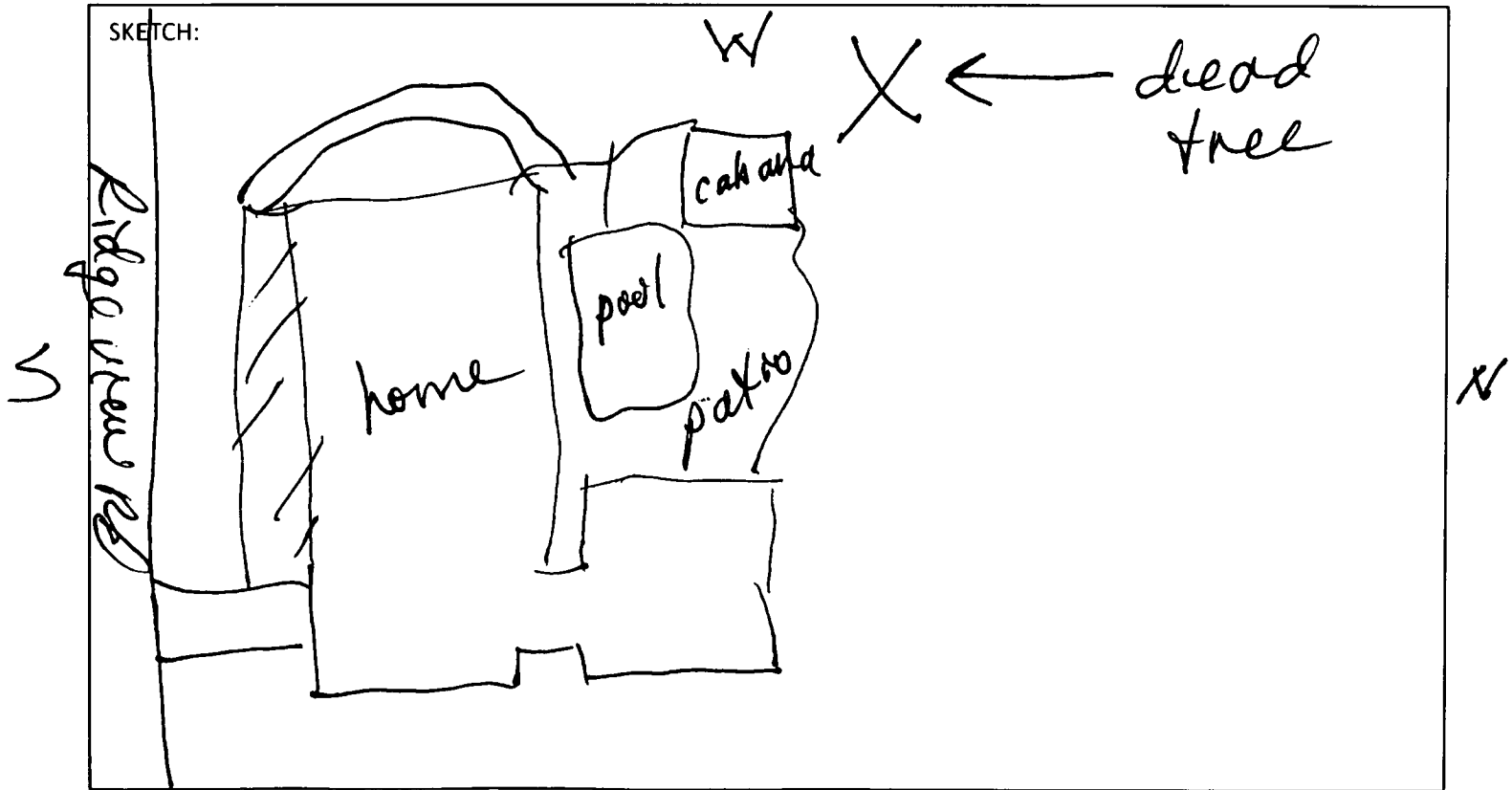
ALL VEGETATIVE DEBRIS MUST BE REMOVED FROM THE PROPERTY

Reason for tree removal /relocation (See notice above) dead tree, danger of falling

Signature of Property Owner [Signature] Date 1-27-15

Approved by Building Inspector: [Signature] Date 1-30-15 Fee: N/E

NOTES: _____



B