

Date

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

3449

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Dennis + Judith Serafini Present Address 21 NORTH VIA LUCINDA

Phone 286-2672 STUART, FL 34996

Contractor MCNab Inc. Address P.O. Box 9183

Phone 335-0178 Port St. Lucie, FL 34985

Where licensed State License number CC050751

Electrical contractor License number

Plumbing contractor License number

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Reroof shingle roof and flat roof systems

State the street address at which the proposed structure will be built:

21 N. VIA LUCINDA

Subdivision LUCINDA Lot number 360 Block number 1973

Contract price \$ 2499.00 Cost of permit \$ 100.00

Plans approved as submitted Plans approved as marked

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.

Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner Judith C. Serafini

TOWN RECORD

Date submitted

Approved: Dale Brow 8/24/93
Building Inspector Date

Approved: [Signature]
Commissioner

Date Final Approval given: Date

Certificate of Occupancy issued (if applicable) Date

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

PRINTS

BLYTHE ENVIRONMENTAL, INC.
5782 SE HULL STREET
STUART, FLORIDA 34997
561-287-0549

4444

Serfani

July 8, 1998

Sewall's Point Town Hall
1 South Sewall's Point Road
Sewall's Point, Florida 34996

RE: TREE VALUATION
LOT 19, VIA LUCINDIA SUBDIVISION

INVOICE

TREE VALUATION AT THE REQUEST OF MR. ROBERT WENKE. LOCATION
OF TREES ARE AT LOT 19 VIA LUCINDIA SUBDIVISION.

TOTAL DUE:

\$120.00

PAID
JUL 10 1998

Orig permit #756
10/26/77

RECEIVED
DEC 9 1977

TOWN OF SEWALL'S POINT, FLORIDA
APPLICATION FOR BUILDING PERMIT

Permit No. 769
Date 11/28/77 ^{12/13/77}

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Dennis Seretini Present Address 1306 Hideaway Circle Ph. 334-1374

General Contractor Martin Co. Custom Pools Address P.O. Box 1799 Stuart Ph 283-6363

Where licensed Martin Co. License No. 187

Plumbing Contractor _____ License No. _____
Electrical Contractor _____ License No. _____

Street building will front on Kia Lucinda North

Subdivision Lucindia ~~Sewalls Pt.~~ Lot No. 19 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft _____

Other Construction (Pools, additions, etc.) Swimming Pool

Contract Price (excluding land, rugs, appliances, landscaping) \$ 5,200

Total cost of permit \$ 30.00 NO PLUMBING OR ELEC.

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Martin County Custom Pools Inc.
Signed by General Contractor
Jay Daniels (Trac)

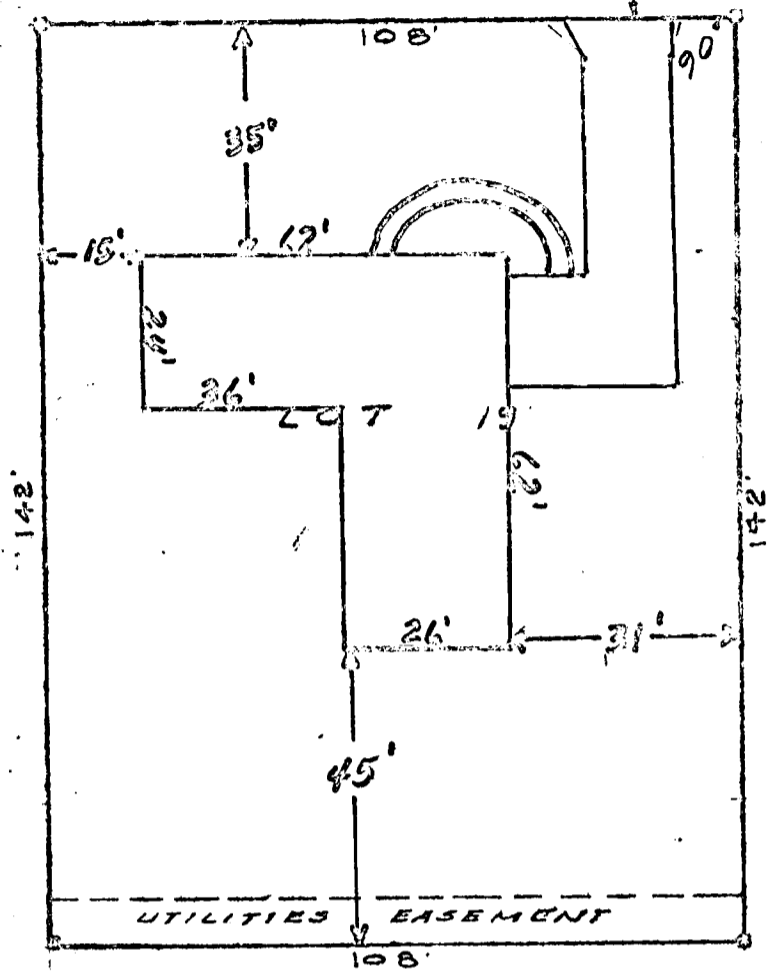
I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Signed by Owner _____

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD
Date submitted for 1 month 12/13/77
Date approved Charles H. Dwyer 12/12/77
Certificate of Occupancy issued 3/6/78 Charles H. Dwyer #769
Date _____

VIA LUCINDIA NORTH



□ - denotes corner stop.

A SURVEY OF
 LOT 19
 LUCINDIA
 MARTIN COUNTY, FLORIDA
 FOR
C. F. SHAWVER

[Handwritten signature]

RECORDED
 OCT 25 1977
 16015

SCALE: 1" = 30'	DATE: 10-20-77	PLAT BOOK: 3	PAGE: 130
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I Hereby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.

DON WILLIAMS & ASSOCIATES, INC.
 LAND SURVEYORS
 P.O. BOX 2301 STUART, FLORIDA

#756
[Handwritten signature]
 W. L. WILLIAMS
 R.L.S. FLA. REG. No. 1272

F.B. 16 F Page 40

RECEIVED
OCT 25 1977

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 756

Date 10/26/77

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable) Copy of Deed required for new home construction.

Owner DENNIS SERAFINI Present Address PORT ST LUCIE Ph 334-1748

General Contractor C.F. SHAWVER CONST. Address 309 DENVER AVE, STUART Ph 283-7977

Where licensed STATE OF FLA. License No. RG A003809

Plumbing Contractor DAVE'S License No. _____
Electrical Contractor KRAUSS & CRANE License No. _____

Street building will front on VIA LUCINDIA 21 N VIA LUCINDIA

Subdivision LUCINDIA Lot No. 19 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft 2180

Other Construction (Pools, additions, etc.) GARAGE 2600 Sq. Ft.

Contract Price (excluding land, rugs, appliances, landscaping) \$ 48000

Total cost of permit \$ 260.00

Plans approved as submitted _____ Plans approved as marked ✓

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period

C.F. Shawver
Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Mrs. Dennis Serafini
Signed by Owner

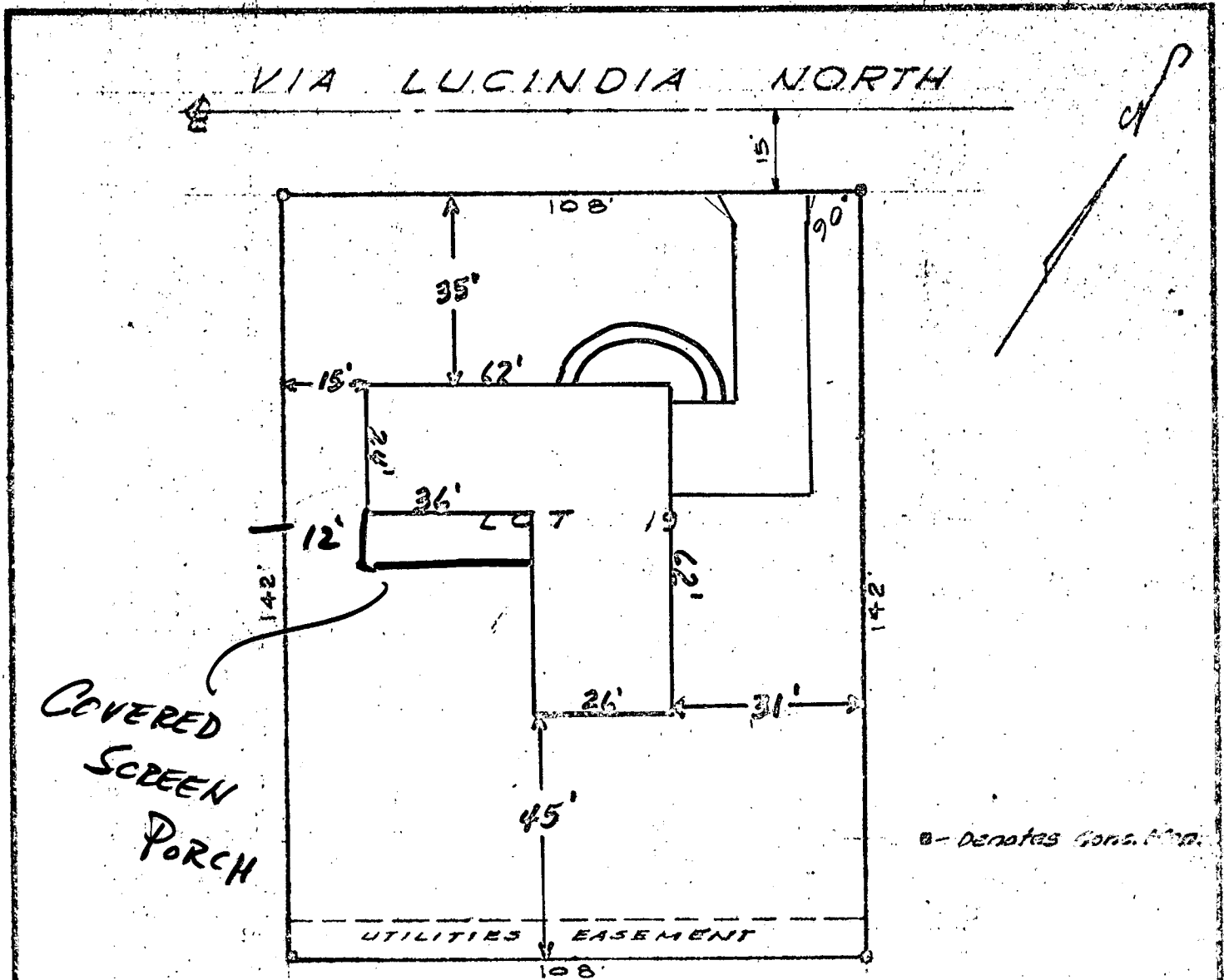
Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted [Signature]

Date approved Chad R. Omega 10/26/77

Certificate of Occupancy issued [Signature] Date 2/24/78 #756
8:20 AM



A SURVEY OF
LOT 19
LUCINDIA
MARTIN COUNTY, FLORIDA
FOR
C. F. SHAWVER

SCALE: 1" = 30' DATE: 10-20-77 PLAT BOOK: 3 PAGE: 130

I Hereby Certify that the sketch shown hereon is a correct representation of a survey done under my direction and is true and correct to the best of my knowledge and belief.

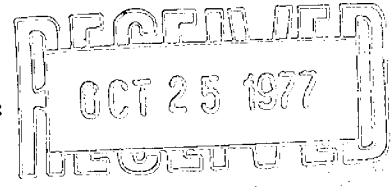
DON WILLIAMS & ASSOCIATES, INC.

LAND SURVEYORS
 P.O. BOX 2301 STUART, FLORIDA

W.L. Williams
 W.L. WILLIAMS
 R.L.S. FLA. REG. No. 1272

F.B. 16 F Page 46

DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
DIVISION OF HEALTH
Application and Permit
of
Individual Sewage Disposal Facilities



Section I - Instructions:

1. Percolation test data, soil profile and water table elevation information must be attached. (Note: Test must be made at proposed location of system).
2. Existing building and proposed buildings on lot must be shown and drawn to scale at their location or proposed location. (Use block on this sheet or attach plot plan).
3. Proposed location of septic tank must be shown on plan.
4. Any pond or stream areas must be indicated on the plan.
5. Indicate name and date of recording of subdivision. If not recorded, attach metes and bounds description.
6. Complete the following information section.

Notes:

1. Not valid if sewer is available.
2. Individual well must be 75 feet from any part of system.
3. Call 287 2277 and give this office a 24-hour notice when ready for inspection.

Section II - Information:

1. Property Address (Street & House No.)
Lot 19 Block — Subdivision Lucindia
Date Recorded April 1960 Directions to Job E. on E. Ocean to Seawalls Point rd south to VIA LUCINDIA North - W. to site
2. Owner or Builder C F SHAWVER
P.O. Address 2301 City Stuart
3. Specifications

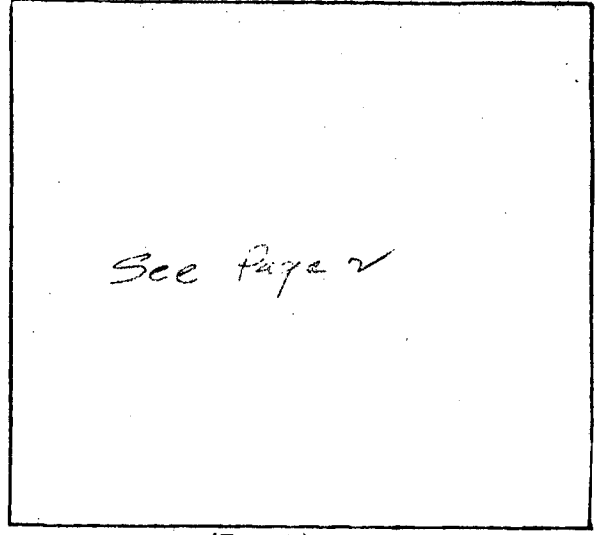
Tank 4 bedrooms. Drainfield
1050 Gals. — ft. of 6" clay tile or 5" perforated plastic drain in a 3' trench or
1050 Gals. 340 ft. of 4" clay drain or 4" perforated plastic drain in an 24 18" trench

Scale 1" = 50'

(Rear)

4. House to be constructed:
Check one: — FHA
— VA — Conventional

(Name of Street or State Rd.) (Side)



(Name of Street or State Rd.) (Side)

(Front)

(Name of Street or State Road)

This is to certify that the project described in this application, and as detailed by the plans and specifications and attachments will be constructed in accordance with state requirements.

Applicant: C F SHAWVER
Please Print

Signature: C. F. Shawver

Date: 10-20-77

***** DO NOT WRITE BELOW THIS LINE *****

Section III - Application Approval & Construction Authorization

Installation subject to following special conditions: Trenches preferred
Separate septic system from driveway

The above signed application has been found to be in compliance with Chapter 17-13, Florida Administrative Code, and construction is hereby approved, subject to the above specifications and conditions.

By: John S. Cole, P.S. County Health Dept. Martin Date 10/24/77

Section IV - Final Construction Approval

Construction of installation approved: — Yes — No

Date: — By: —
FHA No. — VA No. —

#756

FLORIDA DEPARTMENT OF POLLUTION CONTROL

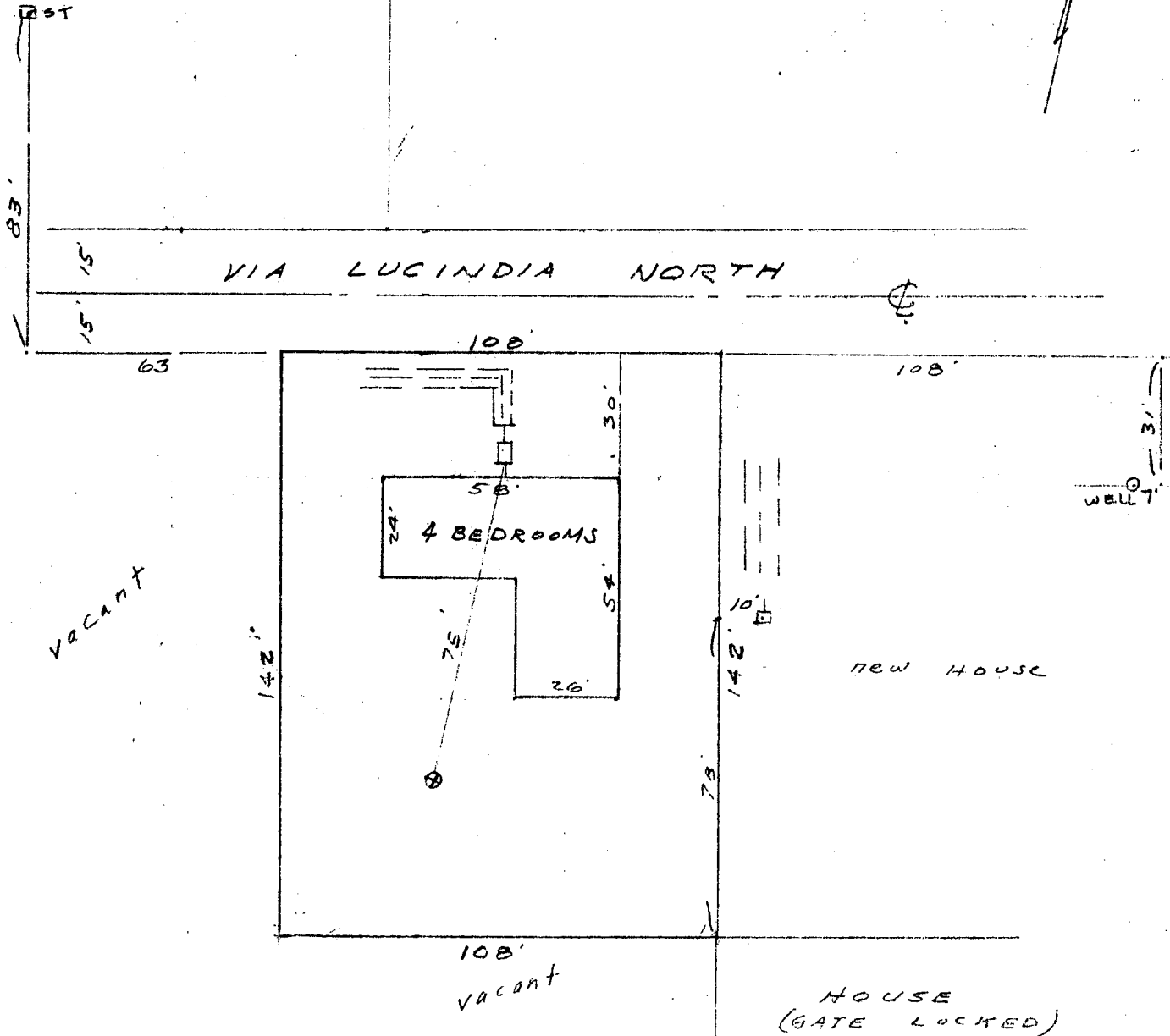
S. E. Subregion
 806 South 6th Street
 Fort Pierce, Florida 33450
 Tel. (305) 464-8525

INDIVIDUAL SEWAGE DISPOSAL FACILITIES

DATA SHEET

Location: Lot 19, Lucindia Applicant: G.F. Shawver
 County: Martin

NOTE: This septic tank system is not located within 50 feet of the high water line of a lake, stream, canal or other waters, nor within 75 feet of any private well; nor within 100 feet of any public water supply, nor within 10 feet of water supply pipes; nor within 100 feet of any public sewer system.



SOIL DATA

PLAN
 Scale: 1" = 40'

SOIL BORING LOG

Soil Identification: CLASS L GROUP SP
 Soil Characteristics _____

Percolation Rate 30 sec / inch

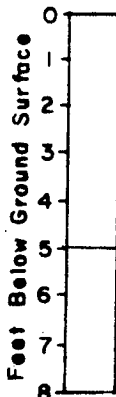
Water Table Depth 5'

Water Table Depth During Wet Season 5'

Compacted Fill Of _____ Req'd

Compacted Fill Checked By: _____

Date _____



LEGEND

- Drainage Pattern
- Proposed Septic Tank and Drainfield
- Proposed Water Supply Well
- Existing Water Supply Well
- Soil Boring and Percolation Test Location

CERTIFIED BY: W.L. Williams

FLORIDA PROFESSIONAL No. 1272

Date 10-19-77 Job No. _____

Sheet 2 of 2

TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date _____

This is to request that a Certificate of Approval for Occupancy be issued to _____

For property built under Permit No. 756 Dated _____

when completed in conformance with the Approved Plans.

Signed

RECORD OF INSPECTIONS

Item	Date	Approved by
Footings	11/3/77	J SLAB
Rough plumbing	11/2/77	
Perimeter beam		
Rough electric	1/6/78	
Close in		
Final plumbing		
Final electric		

Final Inspection for Issuance of Certificate for Occupancy.

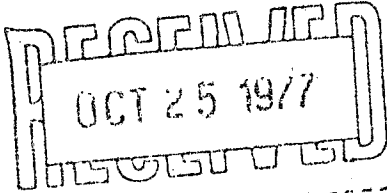
Approved by Building Inspector _____ date

Approved by Town Commission _____ date

Utilities notified _____ date

Original Copy sent to _____

(Keep carbon copy for Town files)



TOWN OF SEWALL'S POINT

CERTIFICATE OF APPROVAL FOR OCCUPANCY

Date Feb. 24/78

This is to request that a Certificate of Approval for Occupancy be issued to C.F. SHAWVER

For property built under Permit No. 756 Dated Oct. 26, 1977

when completed in conformance with the Approved Plans.

C.F. Shawver
Signed

RECORD OF INSPECTIONS

<u>Item</u>	<u>Date</u>	<u>Approved by</u>
Footings	11/3/77 Slab 11/3/77	Charles Duryea
Rough plumbing	12/7/77	"
Perimeter-beam		"
Rough electric	1/6/78	"
Close in	1/6/78	"
Final plumbing	2/24/78	"
Final electric	2/24/78	"

Final Inspection for Issuance of Certificate for Occupancy.

Approved by Building Inspector Charles Duryea 2/24/78
date

Approved by Town Commission [Signature] 2/24/78
date

Utilities notified February 4/78 8:20 a.m. date

Original Copy sent to C. F. Shawver Construction

(Keep carbon copy for Town files)

197168

Name Stephen C. Frasier
of Sommer and Frasier,
Address P.A., Attorneys
P. O. Box 2210
Stuart, Florida 33494

Warranty Deed

 (STATUTORY FORM — SECTION 689.02 F.S.)

This Indenture, Made this 19th day of July 1973, Between
VOLKER MEINHOLD and MARGARET E. MEINHOLD, his wife,
of the County of Martin, State of Florida, grantor*, and
DENNIS SERAFINI and JUDITH C. SERAFINI, his wife,
whose post office address is 1465 SE 8th Street, Deerfield Beach, Florida
of the County of Broward, State of Florida, grantee*,

Witnesseth, That said grantor, for and in consideration of the sum of TEN AND 00/100-----
----- Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the fol-
lowing described land, situate, lying and being in Martin County, Florida, to-wit:

RECORDED
OCT 25 1977

Lot 19, LUCINDIA, according to plat thereof
recorded in Plat Book 3, page 130, Martin
County, Florida, public records.

MARTIN COUNTY 4 5 8 2
STATE OF FLORIDA DOCUMENTARY STAMP TAX
DEPT. OF REVENUE 47.70
MARTIN COUNTY 0 9 3 3 2
FLORIDA DOCUMENTARY SUR TAX
DEPT. OF REVENUE 17.60
JUL 24 '73 P.B. 11000

FILED FOR RECORD
MARTIN COUNTY, FLA.
1973 JUL 24 AM 11:01
LOUISE V. ISAACS
CLERK OF CIRCUIT COURT
D.C.
de

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims
of all persons whomsoever.
* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

[Signature]

[Signature] (Seal)
Volker Meinhold

Nancy E. Rhelt

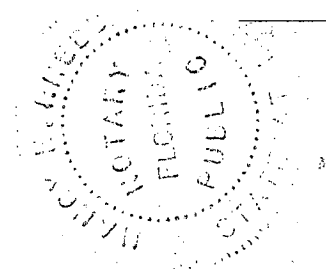
[Signature] (Seal)
Margaret E. Meinhold

(Seal)

STATE OF FLORIDA
COUNTY OF MARTIN
I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally
appeared VOLKER MEINHOLD and MARGARET E. MEINHOLD, his wife,
to me known to be the person s described in and who executed the foregoing instrument and acknowledged before
me that t he y executed the same.
WITNESS my hand and official seal in the County and State last aforesaid this 19th day of July,
19 73.

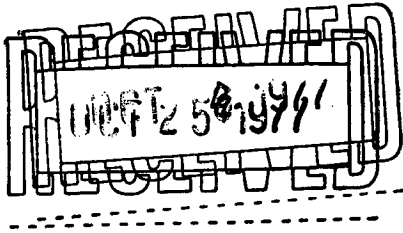
My commission expires: _____
Nancy E. Rhelt
Notary Public

Notary Public, State of Florida at Large
My Commission Expires July 12, 1976
Bonded By American Fire & Casualty Co.



OR BOOK 360 PAGE 1973

#756



BUILDING PERMIT REQUIREMENTS

Permit No. _____

Date Issued _____

REQUEST FOR PERMIT TO BUILD: Residence

COPY OF DEED: O.R. Book 360 Page 1973

THREE COPIES PLANS Received 10/25/77

CERTIFIED BY N/A Date _____
(If necessary re deed restrictions)

COUNTY SEWAGE DISPOSAL PERMIT # #D 77-801

REQUEST FOR CERTIFICATE OF OCCUPANCY 10/25/77

21 N. Via Lucinda
Lot 19 Lucinda
Shower for
Serafini
#756

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ^{THURS} Fri 3/30, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7781	SERAFINI 21 N. VIA LUCINDIA TRADEWINDS ROOFING	FINAL ROOF	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
7880	SERAFINI 21 N. VIA LUCINDIA OIB	FINAL FENCE	FAIL	 INSPECTOR: <i>[Signature]</i>
8086	BONIFACE 63 S. RIVER RD BUENWATER MARINE	ROOF STRAPPING FINAL DOCK ROOF	PASS WILL	 RESCHEDULE INSPECTOR: <i>[Signature]</i>

OTHER: _____

TOWN OF SEWALL'S POINT

Date 9-20-05

BUILDING PERMIT NO. 7784

Building to be erected for SERAFINI

Type of Permit REROOF

Applied for by TRADEWINDS ROOFING (Contractor)

Building Fee _____

Subdivision LUCINDIA Lot 19 Block _____

Radon Fee _____

Address 21 N VIA LUCINDIA

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

Electrical Fee _____

0138410070000019050000

Plumbing Fee _____

Amount Paid 120.00 Check # 256 Cash _____ Other Fees (_____) 1

Roofing Fee 120.00

Total Construction Cost \$ 2400.00

TOTAL Fees 120.00

Signed Jessica Lenzel
Applicant

Signed Gene Sumner
Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

RECEIVED
7/15/06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Permit Number: _____

Date: _____

OWNER/TITLEHOLDER NAME: Judith C. Serafini Phone (Day) 286 2672 (Fax) _____

Job Site Address: 21 N. Via Lucindia City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lucindia Lot 19 or 360/1973 Parcel Number: 01-38-41-007-000-001905

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: ReRoof

WILL OWNER BE THE CONTRACTOR?:

YES NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 2400-
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: Trade Winds Roofing Phone: (772) 466 9420 Fax: 772-466 9420

Street: 2714 S. 27th St City: FORT PIERCE State: FL Zip: 34981

State Registration Number: CC-CO 57399 State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

I understand that a separate permit from the Town may be required for ELECTRICAL, PLUMBING, MECHANICAL, SIGNS, POOLS, WELLS, FURNACE, BOILERS, HEATERS, TANKS DOCKS, SEA WALLS, ACCESSORY BUILDING, SAND OR FILL ADDITION OR REMOVAL, AND TREE REMOVAL AND RELOCATIONS.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Judith C. Serafini
State of Florida, County of: St. Lucie
This the 15 day of September, 2005
by Judith SERAFINI who is personally known to me or produced FL. Drivers License as identification 8615-423-43-730

Lori L. Collins
My Commission Expires: _____
Lori L. Collins Seal

CONTRACTOR SIGNATURE (required)
Michael Todd Miller
On State of Florida, County of: St. Lucie
This the 15 day of September, 2005
by Michael Todd Miller who is personally known to me or produced _____ as identification.

Carla Langel
Notary Public
My Commission # DD136325 EXPIRES October 27, 2006
BONDED THROUGH FAIR INSURANCE, INC.

PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY!

PERMIT APPLICATION REQUIRED INFORMATION AND SUBMITTALS FOR RE-ROOFING

IMPORTANT NOTICE: All items listed below must accompany your permit application.
No application will be accepted unless all items that are applicable are submitted.

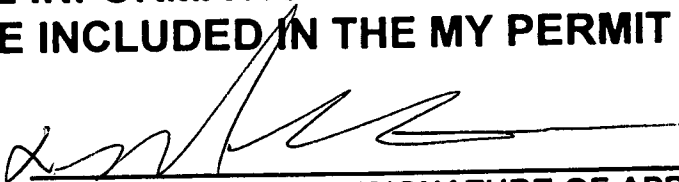
Application form must contain the following information:

1. Property Appraisers Parcel Number or Property Control Number
2. Legal Description of property (Can be found on your deed survey or Tax Bill)
3. Contractors name, address, phone number and license numbers.
4. Name all sub-contractors (properly licensed)
5. Estimated cost of construction.
6. Original signature of owner and notarized
7. Original signature of Contractor and notarized.

Submittals (2 copies)

1. Product approvals from Miami/Dade for the following items:
 - a. Roofing
2. Statement of Fact (owner/builder affidavit)
3. Proof of ownership (deed or tax recpt.)
4. A certified copy of the Notice of Commencement for any work over \$2500.00
5. Copy of License (either Martin County Certificate of Competency or State Certified or Registered Contractor License)
6. Copy of Workmen's Compensation
7. Copy of Liability Insurance

**ALL INFORMATION AND DOCUMENTS MENTIONED ABOVE
ARE INCLUDED IN THE MY PERMIT APPLICATION PACKAGE**



(SIGNATURE OF APPLICANT)

DATE SUBMITTED: _____

9-15-05

TO BE COMPLETED WHEN CONSTRUCTION VALUE EXCEEDS \$2500.00

PERMIT # _____ TAX FOLIO # 01-38-41-007-000-00190-5

NOTICE OF COMMENCEMENT

STATE OF Florida COUNTY OF Martin

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY, AND IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

LEGAL DESCRIPTION OF PROPERTY (INCLUDE STREET ADDRESS IF AVAILABLE):

2110 Via Lucinda - Lucinda Lot 19 OR 360/1973

GENERAL DESCRIPTION OF IMPROVEMENT: RE ROOF

OWNER: Judith C. Serafini

ADDRESS: 2110 Via Lucinda Stuart, FL 34996-6409

PHONE #: 286-2672 FAX #: _____

CONTRACTOR: Trade Winds Roofing

ADDRESS: 2714 S. 27th St. Ft. Pierce, FL 34981

PHONE #: 406-9420 FAX #: 406-9420

SURETY COMPANY (IF ANY) AND FLORIDA

ADDRESS: _____ STATE OF FLORIDA MARTIN COUNTY

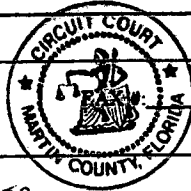
PHONE #: _____

BOND AMOUNT: _____ THIS IS TO CERTIFY THAT THE FOREGOING _____ PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

LENDER: _____

ADDRESS: _____ BY: T. Copus D.C.

PHONE #: _____ DATE: 9-15-05 FAX #: _____



INSTR # 1872561
OR BK 02068 PG 1837
RECORDED 09/15/2005 01:07:21 PM
MARSHA EWING
CLERK OF MARTIN COUNTY FLORIDA
RECORDED BY T Copus (asst mar)

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES:

NAME: _____

ADDRESS: _____

PHONE #: _____ FAX #: _____

IN ADDITION TO HIMSELF, OWNER DESIGNATES _____ OF _____ TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES.

PHONE #: _____ FAX #: _____

EXPIRATION DATE OF NOTICE OF COMMENCEMENT: _____ THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED ABOVE.

Judith C. Serafini
SIGNATURE OF OWNER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF September 2005 BY Judith Serafini

Lori L Collins
NOTARY SIGNATURE

OR PERSONALLY KNOWN PRODUCED ID 5615-423-43-730 TYPE OF ID FL Drivers License





FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.

SELF INSURERS FUND

P.O. BOX 4907 • WINTER PARK, FL 32793 • (407) 671-FRSA
1-800-767-3772 • FAX (407) 671-2520

CERTIFICATE OF INSURANCE

ISSUED TO:

COPY PROVIDED TO:

Sewalls Point Building Dept.
1 S. Sewall Point Road
Sewalls Point FL 34996

Trade Winds Roofing, Inc.
2714 S. 27th Street
Ft. Pierce FL 34981

ATTN: To whom it may concern

Date: 09/12/2005

This is to certify that Trade Winds Roofing, Inc.
2714 S. 27th Street
Ft. Pierce FL 34981

being subject to the provisions of the Florida Workers' Compensation Act, has secured the payment of compensation by insuring their risk with the FLORIDA ROOFING, SHEET METAL & AIR CONDITIONING CONTRACTORS ASSOCIATION SELF INSURERS FUND.

COVERAGE NUMBER: : 870-033286**LIMITS**

Workers' Compensation Statutory - State of Florida

EFFECTIVE DATE: 01/01/2005

Employers' Liability

\$100,000 - Each Accident

EXPIRATION DATE: 01/01/2006

\$100,000 - Disease, Each Employee

\$500,000 - Disease, Policy Limit

REMARKS: Non-cancelable without 30 days prior written notice, except for non-payment of premium which will be a 10 day written notice.

This certificate is not a policy and of itself does not afford any insurance. Nothing contained in this certificate shall be construed as extending coverage not afforded by the policy(ies) shown above or as affording insurance to any insured not named above. This provides coverage for Florida policyholders and Florida domicile employees only.

Brett Steigel, Administrator
FRSA-SIF

By: Debbie Kemmerer - Underwriting Manager
FRSA-SIF

AC# 1509997

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L04072800813

DATE	BATCH NUMBER	LICENSE NBR
07/28/2004	040094008	CCC057399

The ROOFING CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2006

MILLER, MICHAEL TODD
TRADE WINDS ROOFING INC
2714 S 27TH STREET
FORT PIERCE FL 34981

JEB BUSH
GOVERNOR

DISPLAY AS REQUIRED BY LAW

DIANE CARR
SECRETARY

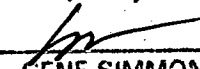
U131

9/15/05

21 N. VIA LUCINDIA.
(SERAFINI)

PN 7784 REROOF
(TRADE WINDS)

9/19/05 INITIAL REVIEW,
COMPLETE, OK TO ISSUE PERMIT

FILE CLOSED OUT
CERTIFICATE OF OCCUPANCY
OR CERTIFICATE OF COMPLETION
ISSUED 3/30/06

GENE SIMMONS
BUILDING OFFICIAL

2005-2006

ST. LUCIE COUNTY OCCUPATIONAL LICENSE

BOB DAVIS, CPA, CGFO, CFC, ST. LUCIE COUNTY TAX COLLECTOR

ACCOUNT 1761-00950010

EXPIRES SEP 30, 2006

FACILITIES OR MACHINES

ROOMS

SEATS

EMPLOYEES 1-10

TYPE OF BUSINESS

1761-ROOFING/SHEET METAL CONTRACTOR

BUSINESS LOCATION

2714 S 27th Street
St Lucie County

X RENEWAL
NEW LICENSE
TRANSFER-
ORIGINAL TAX 11.25

NAME MAILING ADDRESS

Michael Miller
Trade Winds Roofing Inc
2714 27th Street S
Fort Pierce FL 34981

CC C057399

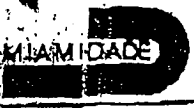
AMOUNT
PENALTY
COLLECTION COST
TOTAL 11.25

Please see back for additional information

PAID 08/24/2005

99-20050824-166083

11.25



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2533

CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 375-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Owens Corning
One Owens Corning Parkway
Toledo, OH 43659

Your application for Notice of Acceptance (NOA) of:

Oakridge 30 AR

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0522.03
EXPIRES: 07/19/2006

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS BUILDING CODE & PRODUCT REVIEW COMMITTEE.

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

FILE COPY
TOWN OF SEWALL'S POINT
THESE PLANS HAVE BEEN
REVIEWED FOR CODE COMPLIANCE
APPROVED: 07/19/2005 DATE: 9/19/05

BUILDING OFFICIAL
Gene Simmons

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Owens Corning

Application No.: 01-0522.03

ROOFING SYSTEM APPROVAL

Category: Roofing
Sub-Category: 07310 Asphalt Shingles
Material: Laminato

Approval Date: July 19, 2001
 Expiration Date: July 19, 2006

1. Scope:

This renews a roofing system using Owens Corning Oakridge 30AR. Asphalt shingles manufactured by Owens Corning as described in this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County.

2. PRODUCT DESCRIPTION

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Oakridge 30 AR	13 1/4" x 39 3/8"	PA 110	A heavy weight, fiberglass reinforced four tab asphalt shingle.

3. LIMITATIONS:

- 3.1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 3.2. Shall not be installed on roof mean heights in excess of 33 ft.

4. INSTALLATION:

- 4.1 Shingles shall be installed in compliance with Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.2 Flashing shall be in accordance with Section 9.3 Option "B" (step-flashings) of Miami-Dade County Product Control Shingle Installation Procedure No. 115.
- 4.3 The manufacturer shall provide clearly written application instructions.
- 4.4 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 4.5 Nailing shall be in compliance with Detail 'B', attached.

5. LABELING:

- 5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS:

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Any other document required by Building Official or the Applicable Code in order to properly evaluate the installation of this system.

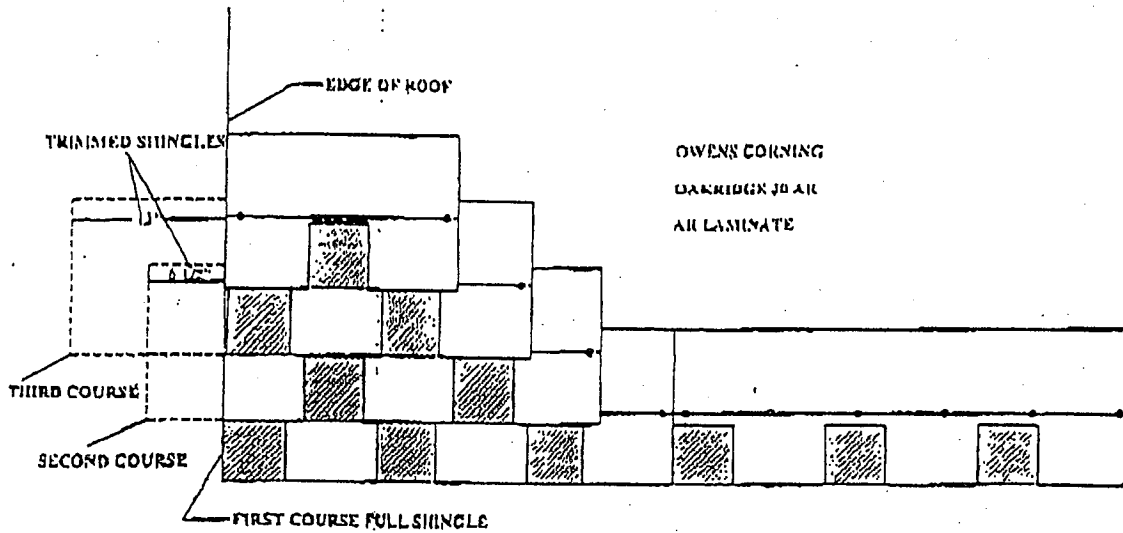
Page 2


 Frank Zuloaga, RRC
 Roofing Product Control Examiner

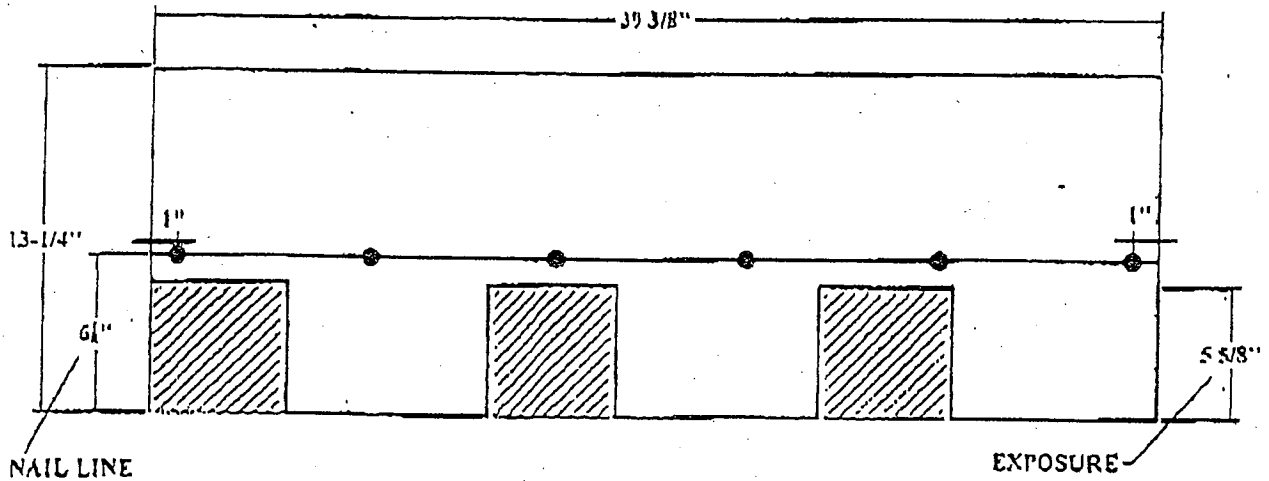
OWENS CORNING

Acceptance No. 01-0522.03

DETAIL A



DETAIL B



OWENS CORNING FASTENING PATTERN & PHYSICAL DIMENSIONS

OAKRIDGE 30 AIR LAMINATE

Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Metro-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Metro-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 2 through 4.

END OF THIS ACCEPTANCE

Page 4



Frank Zuloaga, RRC
Roofing Product Control Examiner



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
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(305) 375-2901 FAX (305) 375-2908

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CONTRACTOR ENFORCEMENT DIVISION
(305) 375-2966 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-6339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Johns Manville Corp.
717 17 Street (P.O. Box 5108)
Denver, CO 80217

Your application for Notice of Acceptance (NOA) of:

Johns Manville Modified Bitumen Roofing Systems Over Wood Deck

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-0206.17
EXPIRES: 06/14/2006

Raul Rodriguez
Chief Product Control Division

**THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE**

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 06/14/2001

ROOFING ASSEMBLY APPROVAL

Category: Roofing
Sub-Category: APP Modified Bitumen

Approval Date: June 14, 2001Expiration Date: June 14, 2006

Deck Type: Wood
Maximum Design Pressure -52.5 psf
Fire Classification: See General Limitation #1

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
JM APP Base	150 sq. ft. roll	ASTM D 5147	APP modified asphalt, fiberglass reinforced, smooth surfaced base sheet.
APPeX 4S	32.8' x 3.28'; 90 lb. roll	ASTM D 6222, type I, grade S	APP modified asphalt, polyester reinforced, smooth surfaced membrane.
APPeX 4.5M	32.8' x 3.28'; 90 lb. roll	ASTM D 6222, type I grade G	APP modified asphalt, polyester reinforced, mineral surfaced membrane.
APPeX 4.5MFR	32.8' x 3.28'; 90 lb. roll	ASTM D 6222, type I grade G	APP modified asphalt, polyester reinforced, fire-retardant, mineral surfaced membrane.
APPeX 180	32.8' x 3.28'; 90 lb. roll	ASTM D 6222, type I, grade G	APP modified asphalt, polyester reinforced, smooth surfaced membrane.
Bicor MFR	39-3/8" x 34'	ASTM D 6223	APP modified asphalt, polyester / glass reinforced, granule surfaced membrane.
Tricor MFR	39-3/8" x 34'	ASTM D 6223	APP modified asphalt, polyester / glass reinforced, granule surfaced membrane.
Bicor S	39-3/8" x 34'	ASTM D 6223	APP modified asphalt, polyester / glass reinforced, smooth surfaced membrane.
Tricor S	39-3/8" x 34'	ASTM D 6223	APP modified asphalt, polyester / glass reinforced, smooth surfaced membrane.
Glasply Premier	36" x 180'	ASTM D 2178 Type VI	Type VI asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.
Glasply IV	36" x 200'	ASTM D 4601 Type IV	Type IV asphalt impregnated glass felt for use in conventional and modified bitumen built-up roofing.



Frank Zuloaga, RRC
 Roofing Product Control Examiner

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Glasbase	36" x 108'; roll weight: 84 lbs.	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet for use in conventional and modified bitumen built-up roofing.
PermaPly 28	36' x 108'; 72 lb. roll	ASTM D 4601	Type II asphalt impregnated and coated glass fiber base sheet
Ventsulation	36" x 36'	ASTM D 4897 Type II	Heavy duty fiber glass base sheet impregnated and coated on both sides with asphalt with or without fine mineral stabilizer.
JM Ultrafast	various	PA 114	Insulation fastener assembly (steel decks only).
JM CD-10	Various	PA 114	Insulation fastener for concrete decks.
JM ISO-1 or Tapered ISO-1	various	ASTM C 1289	Rigid polyisocyanurate roof insulation for use in conventional built-up and other roof systems; available flat or tapered.
JM Fesco or Tapered Fesco	various	ASTM C 728	Rigid perlite roof insulation board for built-up roofing systems; available flat or tapered.
JM 1/2" Retrofit	various	ASTM C 728	A high density perlite roof insulation board for use in conventional and modified bitumen built-up roofing systems.
E"NRG"Y-2 or Tapered E"NRG"Y-2	various	ASTM C 1289	Polyisocyanurate insulation for use with single-ply, BUR and modified bitumen roof covers (includes all Factory Mutual approved roof covers)
JM Fesco Foam	various	ASTM C 1289	Rigid polyisocyanurate roof insulation with perlite board facing bonded to one side for use in conventional built-up and other roofing.
JM Fiberglas Roof Insulation	various	PA 110	Fiber glass roof insulation
JM Topgard Type B		ASTM D 1227	Fire rated, fibered, non-asbestos, clay water base asphalt emulsion.
JM Fibrated Aluminum Roof Coating		ASTM D 2824	Fire rated, fibered, non-asbestos aluminum coating.
JM Premium Fibered Aluminum Roof Coating		ASTM D 2824	Fire rated, fibered, non-asbestos asphalt aluminum coating

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Description</u>	<u>Date</u>
Factory Mutual Research Corporation	J.I. 0X0A9.AM	Wind Uplift	03/25/94
	J.I. 0W6A2.AM	Wind Uplift	02/05/93
	J.I. 0X7A4.AM	Wind Uplift	08/26/93
	J.I. 3001482		08/11/98
	J.I. 3002823		04/01/99
	J.I. 3003468		02/02/00
	J.I. 3007148		04/19/00
Underwriters Laboratories, Inc.	R-10400		Published Annually
Exterior Research & Design, LLC.	#4361-2.04.97-1	PA 114(J) – Wind Uplift	04/15/97
	10390A.12.97-1	PA 114(J) – Wind Uplift	12/15/97
	10390A.10.97-1	PA 114(J) – Wind Uplift	10/15/97



Frank Zuloaga, RRC
Roofing Product Control Examiner

Deck Type 1: Wood, Non-insulated

Deck Description: 1 9/32" or greater plywood or wood plank decks

System Type E: Base sheet mechanically fastened.

All General and System Limitations apply.

Base Sheet: *(Option #1)* One ply of JM APP Base, JM PermaPly 28, JM Glasbase, JM Glasbase Plus or JM Ventsulation mechanically fastened to the deck with JM UltraFast, Olympic or Tru-Fast metal plates and fasteners at a 4" side lap 12" o.c. and two rows staggered in the center of the sheet 18" o.c.
Maximum Design Pressure -45 psf - See General Limitation #9.

(Option #2) Minimum two plies of JM PermaPly 28 or JM Ventsulation simultaneously fastened to the deck with JM Ultrafast fasteners and Square Metal Plates spaced 9" o.c. in a 4" lap and 12" o.c. in two staggered rows in the center of the sheet.
Maximum Design Pressure -52.5 psf - See General Limitation #7.

Ply Sheet: (Optional) One or more plies of JM APP Base, APPeX 4S or APPeX 180 heat welded to base sheet.

Membrane: One or two plies of APPeX 4S, APPeX 180, APPeX 4.5M or APPeX 4.5 MFR heat welded.

Surfacing: (Optional) Install one of the following for all systems that do not achieve acceptable fire ratings through the use of FR membrane sheets.

1. 400 lb./sq. gravel or 300 lb./sq. slag in a flood coat of approved mopping asphalt at a rate of 60 lb./sq.
2. Karnak 97, Karnak 97 AF, Monsey Premium Long Life Aluminum Roof Coating Asbestos Free or Monsey Prograde Aluminum, JM Topgard Type A, Topgard Type B, JM Aluminum RF CT, Grundy AL MB aluminum coating at a rate of 1-1/2 gal/sq Monsey Aquabrite, Gardner asphalt emulsion, APOC Sunbright 400 or Henry 229 Aluminum Emulsion at 2 1/2 gal/sq or APOC 212 Aluminum Roof Coating at 3 gal/sq.
3. Grundy 20 F asphalt emulsion, Endure Asphalt Emulsion, APOC 302 or 302 AF applied at 2 1/2 gal/sq with optional 60 lbs./sq. of roofing granules embedded in wet coating.



WOOD DECK SYSTEM LIMITATIONS:

1. A slip sheet is required with Ply 4 and Ply 6 when used as a mechanically fastened base or anchor sheet.

GENERAL LIMITATIONS:

1. Fire classification is not part of this acceptance, refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. Insulation may be installed in multiple layers. The first layer shall be attached in compliance with Product Control Approval guidelines. All other layers shall be adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq., or mechanically attached using the fastening pattern of the top layer
3. All standard panel sizes are acceptable for mechanical attachment. When applied in approved asphalt, panel size shall be 4' x 4' maximum.
4. An overlay and/or recovery board insulation panel is required on all applications over closed cell foam insulations when the base sheet is fully mopped. If no recovery board is used the base sheet shall be applied using spot mopping with approved asphalt, 12" diameter circles, 24" o.c.; or strip mopped 8" ribbons in three rows, one at each sidelap and one down the center of the sheet allowing a continuous area of ventilation. Encircling of the strips is not acceptable. A 6" break shall be placed every 12' in each ribbon to allow cross ventilation. Asphalt application of either system shall be at a minimum rate of 12 lbs./sq. Note: Spot attached systems shall be limited to a maximum design pressure of -45 psf.
5. Fastener spacing for insulation attachment is based on a Minimum Characteristic Force (F') value of 275 lbf., as tested in compliance with Testing Application Standard TAS 105. If the fastener value, as field-tested, are below 275 lbf. insulation attachment shall not be acceptable.
6. Fastener spacing for mechanical attachment of anchor/base sheet or membrane attachment is based on a minimum fastener resistance value in conjunction with the maximum design value listed within a specific system. Should the fastener resistance be less than that required, as determined by the Building Official, a revised fastener spacing, prepared, signed and sealed by a Florida Registered Engineer, Architect, or Registered Roof Consultant may be submitted. Said revised fastener spacing shall utilize the withdrawal resistance value taken from Testing Application Standards TAS 105 and calculations in compliance with Roofing Application Standard RAS 117.
7. Perimeter and corner areas shall comply with the enhanced uplift pressure requirements of these areas. Fastener densities shall be increased for both insulation and base sheet as calculated in compliance with Roofing Application Standard RAS 117. (When this limitation is specifically referred within this NOA, General Limitation #9 will not be applicable.)
8. All attachment and sizing of perimeter nailers, metal profile, and/or flashing termination designs shall conform with Roofing Application Standard RAS 111 and applicable wind load requirements.
9. The maximum designed pressure limitation listed shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners). (When this limitation is specifically referred within this NOA, General Limitation #7 will not be applicable.)



Frank Zuloaga, RRC
Roofing Product Control Examiner

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

- 1 Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
- 2 Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
- 3 Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
- 4 Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
- 5 Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process;
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
- 6 The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
- 7 A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all times. The copies need not be resealed by the engineer.
- 8 Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
- 9 This Acceptance contains pages 1 through 17.

END OF THIS ACCEPTANCE



Frank Zuloaga, RRC
Roofing Product Control Examiner

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/28, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
6413	POWERS	FINAL ADDN/REN	FAIL	
1	70 S. SEWALL'S PT FLORIDA'S FINEST			INSPECTOR: <i>OM</i>
7335	VANT BOSCH	FINAL KITCHEN REMODEL	PASS	CLOSE
3	36 S. RIVER RD FLORIDA'S FINEST			INSPECTOR: <i>OM</i>
6746	POWERS	FINAL REMAINING WALL	PASS	CLOSE
1	70 S. SEWALL'S PT FLORIDA'S FINEST			INSPECTOR: <i>OM</i>
6821	POWERS	FINAL GAS	PASS	CLOSE
1	70 S. SEWALL'S PT FERRELL GAS			INSPECTOR: <i>OM</i>
7221	CLEMENTS	CAP	PASS	
8	11 W. HIGH RD WILCO CONST (LATE PLEASE)			INSPECTOR: <i>OM</i>
7772	WEBER	FINAL ROOF	PASS	CLOSE
4	12 RIDGELAND MARZO			INSPECTOR: <i>OM</i>
7784	SERAFINI	WEATHERING DECK	PASS	
9	21 N. VIA LUCINDIA TRADEWINDS ROOFING	11:00 - 11:30		INSPECTOR: <i>OM</i>
OTHER:	O'KEEFE CODE ENF. 29 FIELDWAY			

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 9/30/05, 2005 Page 1 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7784	SERAFINI	DRY-IN	PASS	
1A	21 N VIA LUCINDIA TRADEWINDS ROOFING			INSPECTOR: <i>OM</i>
7769	DEAN	FINAL FENCE	PASS	CLOSE
4	2 HERITAGE WAY O/B			INSPECTOR: <i>OM</i>
7338	MCCORMICK	SLAB	PASS	
7	59 N. RIVER RD PINE ORCHARD	CASAM		INSPECTOR: <i>OM</i>
TREE	POWERS/PREMER	TREE	PASS	
6	2 N. SEWALLS PT			INSPECTOR: <i>OM</i>
7558	HARBELL	FINAL SEWAGE	PASS	CLOSE
3	1 BAKU ST TR. COAST BARGE			INSPECTOR: <i>OM</i>
6413	POWERS	FINAL ADDITION	FAIL	
1	70 S. SEWALLS PT FLORIDA FINEST			INSPECTOR: <i>OM</i>
TREE	MCCARTHY	TREE	FAIL	
2	114 S. RIVER RD			INSPECTOR: <i>OM</i>

OTHER: _____

RECEIPT

1-23-06 — Renewed refund / Lori Collins

DATE 11/16/05

No. 075274

RECEIVED FROM Lauri Collins Tradewinds \$40.00

PN 7784 Serapini Road DOLLARS

FOR RENT
 FOR Final Inspection fee (permit passing)

ACCOUNT	
PAYMENT	
BAL. DUE	

- CASH
- CHECK
- MONEY ORDER

FROM Tradewinds TO Tummy ST
BY Ann-marie Basker



T884

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 21 N. VIA LUCINDIA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FINAL ROOF

NO PERMIT POSTED

\$40 FEE.

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 11/16

[Signature]

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri 11/16, 2005

Page 2 of 2

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
8 7576	Silas 10 Castle Hill Way	Framing on main floor.	PASS	
	Statewide Eng.	(AT KITCHEN)		INSPECTOR: <i>OM</i>
7 7754	Serafini 21 N. Via Lucinda	Final Roof	FAIL	#10 FEE
	Tradewinds	(LADDER ON JOB)		INSPECTOR: <i>OM</i>
10 6981	Falco 15 N. River Rd.	Final Dock	FAIL	
	Blue Water Marine			INSPECTOR: <i>OM</i>
4 7560	Holland 7 Mandalay	dry-in	FAIL	
	Tezze			INSPECTOR: <i>OM</i>
5 6812	Mader 106 Abbie Ct.	CHIMNEY FIREPLACE TRUSS & Window back	PASS FAIL PASS	
	Buford	8:45		INSPECTOR: <i>OM</i>
6 ELDER.	4 MARGARITA.	GAS ROUGH	FAIL	#10 FEE
	PROPANE			INSPECTOR: <i>OM</i>
9 TREE	FERNANDEZ 10 KNOWLES RD	TREE	PASS	
	BERNEY'S TREE			INSPECTOR: <i>OM</i>

OTHER:

LIST
11

11/4/05

21 N. VIA LUCINDIA
(SERAFINI)

PN ~~7880~~ REPAIR FENCE
(0/3)

11/7/05 INITIAL REVIEW,
COMPLETE, OK TO ISSUE PERMIT

REPAIR WORK FOR
HURRICANE DAMAGE

OK \$0

TOWN OF SEWALL'S POINT
ABANDONED PERMIT
DATE OF LAST INSPECTION <u>5-15-00</u>
RENEWED UNDER SAME PERMIT _____
RE-ISSUE NEW PERMIT _____
NEW NUMBER: <u>work not done</u>
RE-ISSUE DATE: <u>fence removed</u>

TOWN OF SEWALL'S POINT

Date 11/09/05

BUILDING PERMIT NO. 7880

Building to be erected for Serafini

Type of Permit Repair fence

Applied for by (O/B)

(Contractor) Building Fee _____

Subdivision Lucindia Lot 19 Block _____

Radon Fee _____

Address 21 N. Via Lucindia

Impact Fee _____

Type of structure fence (SFS)

A/C Fee _____

Electrical Fee _____

Parcel Control Number:
01-38-41-007-MO-00190-5


Plumbing Fee _____

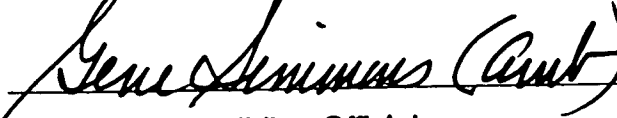
Roofing Fee _____

Amount Paid -0- Check # _____ Cash _____ Other Fees (_____) _____

Total Construction Cost \$ 1,000.00

TOTAL Fees 0-

Signed  Applicant

Signed  Town Building Official

PERMIT

- BUILDING
- PLUMBING
- DOCK/BOAT LIFT
- SCREEN ENCLOSURE
- FILL
- TREE REMOVAL

- ELECTRICAL
- ROOFING
- DEMOLITION
- TEMPORARY STRUCTURE
- HURRICANE SHUTTERS
- STEMWALL

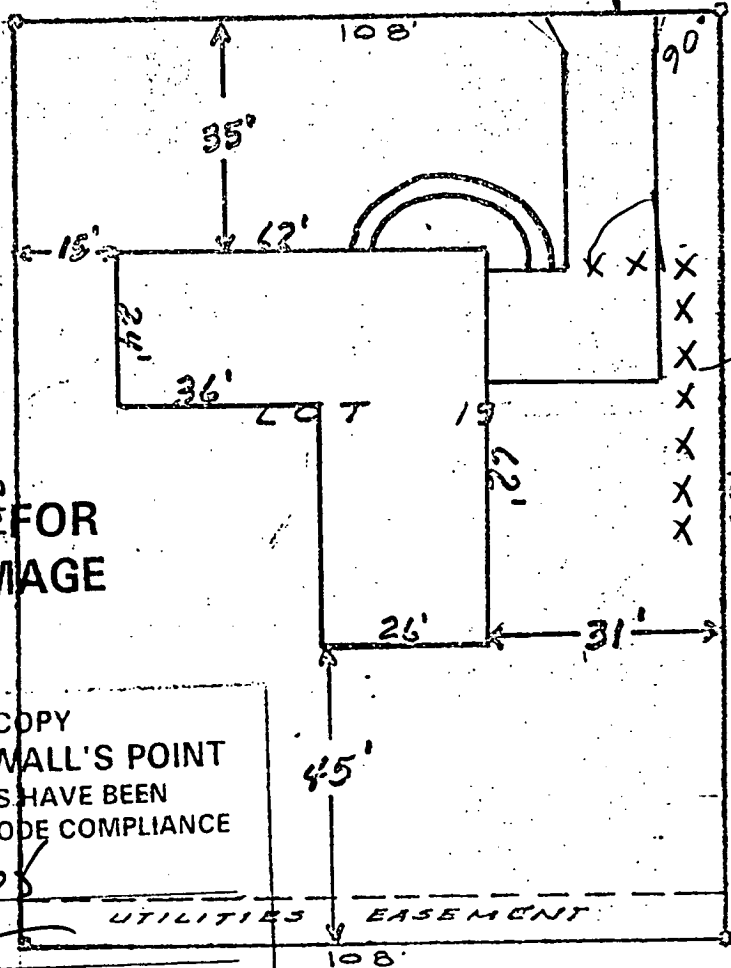
- MECHANICAL
- POOL/SPA/DECK
- FENCE
- GAS
- RENOVATION
- ADDITION

INSPECTIONS

- UNDERGROUND PLUMBING _____
- UNDERGROUND MECHANICAL _____
- STEMWALL FOOTING _____
- SLAB _____
- ROOF SHEATHING _____
- TRUSS ENG/WINDOW/DOOR BUCKS _____
- ROOF TIN TAG/METAL _____
- PLUMBING ROUGH-IN _____
- MECHANICAL ROUGH-IN _____
- FRAMING _____
- FINAL PLUMBING _____
- FINAL MECHANICAL _____
- FINAL ROOF _____

- UNDERGROUND GAS _____
- UNDERGROUND ELECTRICAL _____
- FOOTING _____
- TIE BEAM/COLUMNS _____
- WALL SHEATHING _____
- LATH _____
- ROOF-IN-PROGRESS _____
- ELECTRICAL ROUGH-IN _____
- GAS ROUGH-IN _____
- EARLY POWER RELEASE _____
- FINAL ELECTRICAL _____
- FINAL GAS _____
- BUILDING FINAL _____

VIA LUCINDIA NORTH



6' WOOD SHADOW BOX FENCE / GATE

REPAIR WORK FOR HURRICANE DAMAGE

FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 11/7/06
 BUILDING OFFICIAL
 Gene Simmons

□ - Denotes Corner Mark

A SURVEY OF
 LOT 19
 LUCINDIA
 MARTIN COUNTY, FLORIDA
 FOR
 C. F. SHAWVER

RECORDED
 OCT 25 1977

Hurricane

RECEIVED
11/4/05

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 11/4/05 Permit Number: _____

OWNER/TITLEHOLDER NAME: Judith Serafini Phone (Day) 286-2672 (Fax) _____

Job Site Address: 21 N. Via Lucindia City: Stuart State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) Lot 19 Lucindia Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: Fence installed

WILL OWNER BE THE CONTRACTOR?:

YES NO

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 1000.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

CONTRACTOR/Company: _____ Phone: _____ Fax: _____

Street: _____ City: _____ State: _____ Zip: _____

State Registration Number: _____ State Certification Number: _____ Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
Judith Serafini

State of Florida, County of: Martin

This the 4 day of November, 2005

by _____ who is personally known to me or produced as identification. L. Renee Hardie

My Commission Expires: _____
Commission #DD183042
Expires: Feb 11, 2007

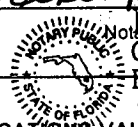
CONTRACTOR SIGNATURE (required)

On State of Florida, County of: _____

This the _____ day of _____, 2005

by _____ who is personally known to me or produced as identification. _____

My Commission Expires: _____
Notary Public



TOWN OF SEWALL'S POINT
ONE SOUTH SEWALL'S POINT ROAD
SEWALL'S POINT, FLORIDA 34996

TOWN OF SEWALL'S POINT OWNER/BUILDER AFFIDAVIT
(To be submitted if permit is to be pulled by Owner/Builder)

DISCLOSURE STATEMENT

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor even through you do not have a license. You must supervise the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building at a cost of \$25,000 or less. The building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease a building you have built yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your contractor. It is your responsibility to make sure that people employed by you have licenses required by State law and by County or Municipal licensing ordinances. Any person working on your building who is not licensed must work under your supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes and zoning regulations. Florida Statutes 489.103(7).

I have read the above and agree to comply with the provisions as stated.

Name: Judith Serafini Date: 11-4-05

Signature: 

Address: 21 N. Via Lucindia

City & State: Stuart FL 34996

Permit No. _____



L. Renee Hardie
Commission #DD183042
Expires: Feb 11, 2007
Bonded Thru
Atlantic Bonding Co., Inc.



7880

TOWN OF SEWALL'S POINT

One South Sewall's Point Road

Sewall's Point, Florida 34996

(772) 287-2455

CORRECTION NOTICE

ADDRESS: 21 N. VIA LUCINDIA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

FENCE FINAL

WORK IS NOT COMPLETE PER
APPROVED PERMIT SUBMITTALS-

PORTION OF FENCE INSTALLED IS
NOT ANCHORED IN GROUND

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 3/30

INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed ^{THURS} Fri 3/30, 2006 Page 2 of

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
7781	SERAFINI 21 N. VIA LUCINDIA TRADEWINDS ROOFING	FINAL ROOF	PASS	CLOSE INSPECTOR: <i>[Signature]</i>
7880	SERAFINI 21 N. VIA LUCINDIA OIB	FINAL FENCE	FAIL	 INSPECTOR: <i>[Signature]</i>
8086	BONIFACE 63 S. RIVER RD BUENWATER MARINE	ROOF STRAPPING FINAL DOCK ROOF	PASS WILL	 RESCHEDULE INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>
				INSPECTOR: <i>[Signature]</i>

OTHER: _____

INSPECTION LOG FOR ABANDONED/EXPIRED PERMITS

PERMIT #	OWNER'S NAME	ADDRESS	DESCRIPTION	APPROVED BY & DATE
8213	JENKINS	4 SABLE CT.	DOORS/HORIZONTAL PANELS	QAV 5/15/08
8169	CARLTON	6 PERRIWINKLE CIR.	DOCK	QAV 5/15/08
8086	BONIFACE	63 S. RIVER	PILINGS/BOATLIFT	QAV 5/15/08
8084	MASSEY	1 MINDORO	SCREEN ENCL.	QAV 5/15 WORK NOT DONE
7911	CLEMENTS	6 MIDDLE RD.	FENCE	QAV 5/15/08
7915	KISSLING	4 MINDORO ST.	DECK BOARDS	QAV 5/15/08
7926	PAINS	62 S.S.P.R.	SIDING	WORK NOT DONE
7936	LEIGHTON	43 W. HIGH PT.	DOCK	WORK NOT DONE
7947	LANGER	3 N.E. LOFTING WAY	FENCE	QAV 5/15/08
7981	SANDERS	3 MANDALAY	FENCE	QAV 5/15/08
8001	HICKS	7 MANDALAY	FENCE	QAV 5/15/08
8020	BARNHILL	4 N. ROSEVIEW	FENCE	WORK NOT DONE
7880	SERAFINI	21 N. VIA LUCINDIA	FENCE	WORK NOT DONE FENCE REMOVED
7881	FARROW	47 N. RIVER	DOCK	QAV 5/15/08
7811	DEAN	2 HERITAGE WAY	FILL	QAV 5/15
7674	LEIGHTON	43 W. HIGH POINT	FENCE	FENCE REMOVED WORK NOT DONE
7625	ARMSTRONG	41 W. HIGH POINT	FILL	QAV PASS 5/15/08
7392	ALLMAN	106 S. RIVER	FENCE	QAV 5/15/08

Pool Specifications

MAX WIDTH	15'	MAX LENGTH	30'
MIN. DEPTH	3'	MAX. DEPTH	7'
SHAPE	Rectangular	ELEVATION	
DIRT FROM EXCAVATION	Removed		
TILE	6" x 6" Finish	INT. FINISH	Marcite
FILTER	Sta-Rite Cart	PUMP	Sta-Rite
MOTOR H.P.	1/2	TIME CLOCK	Yes
LIGHT	1-12V	TRANSFORMER	Yes
MAIN DRAIN	Yes	SKIMMER	Yes
INLETS	3	THERAPY	No
L'ADDER	Yes	HANDRAIL	?
DIVE BD.	No	SLIDE	No
HEATER	No	TANK	No
VAC HEAD	Yes	VAC HOSE	Yes
VAC POLE	Yes	BRUSH	Yes
LEAF SKIMMER	Yes	TEST KIT	Yes
CHLORINATOR	E-2 Clor	FILL LINE	No
OVERFLOW LINE	No	POOLSWEEP	Stub-out
TREE REMOVAL	No	STUMP REMOVAL	
BACK WASH LINE	Hose Adaptor		
SCREEN ENCLOSURE	By Climatrol		
ELECTRICAL HOOKUP	By Owner		
PATIO	Rough Slab Prepared For Chatta S.F. 1302		
DECK & DRAIN	56'		

Approval of these plans in NO WAY relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances and the South Florida Building Code.

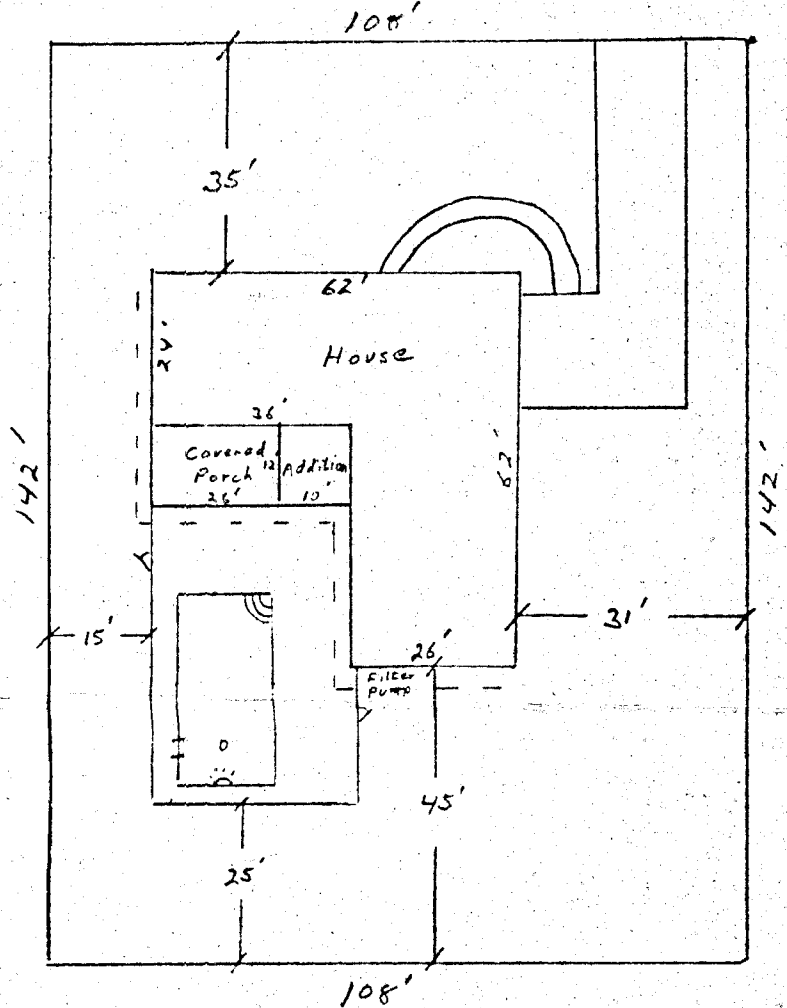
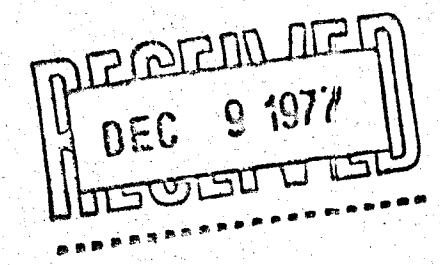
Water Can be Obtained From Neighbor to the East

Screen Enclosure: By Climatrol
 56' Gutter & 2 Spouts
 2 Doors
 Flat Roof
 20/20 Screen?
 E.S.P. Bronze
 Charcoal Screen

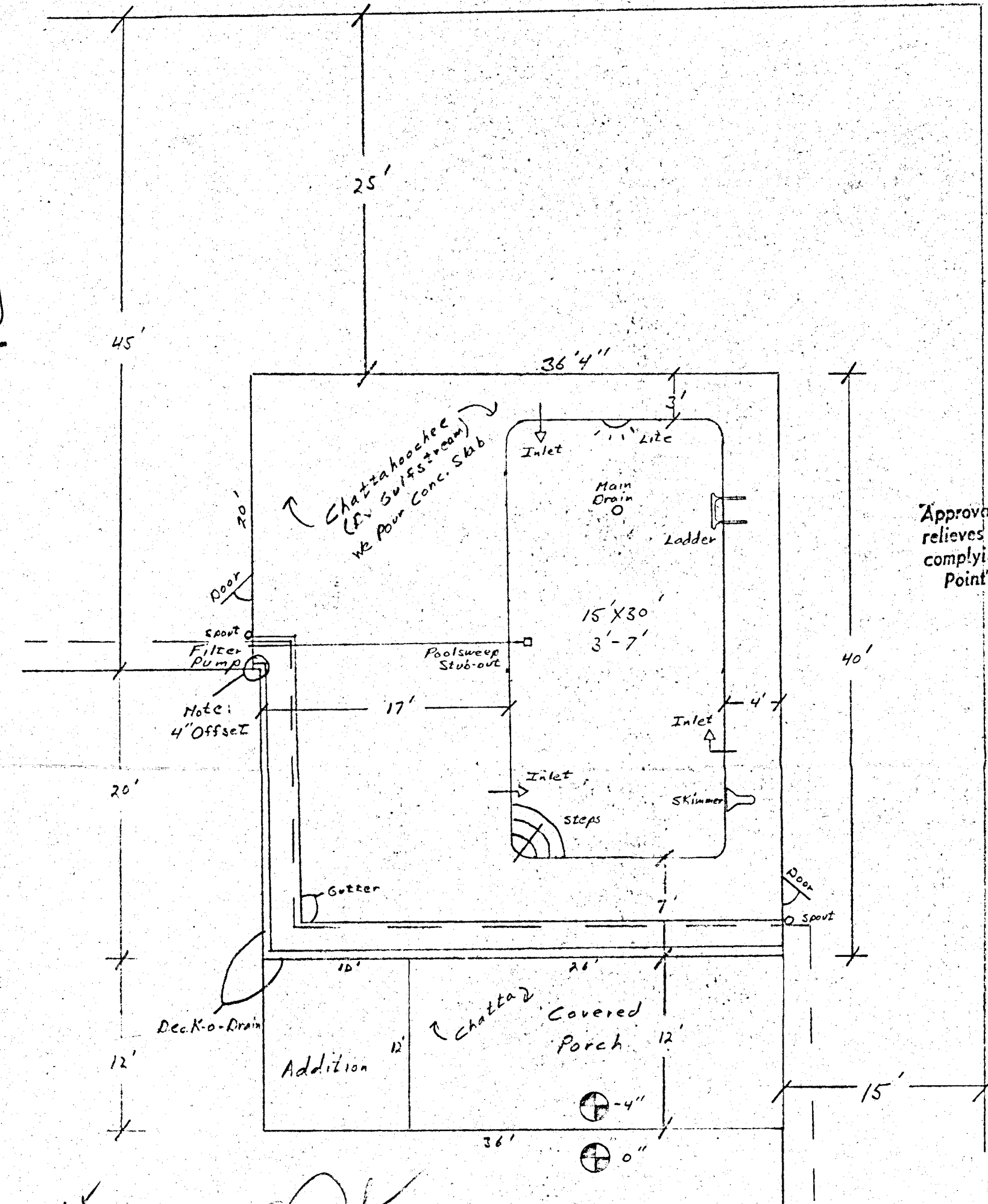
Plans Approved by Owner:
 Any Changes @ Owners Expense

Signature:

VIA LUCINDIA North
 Lot 19

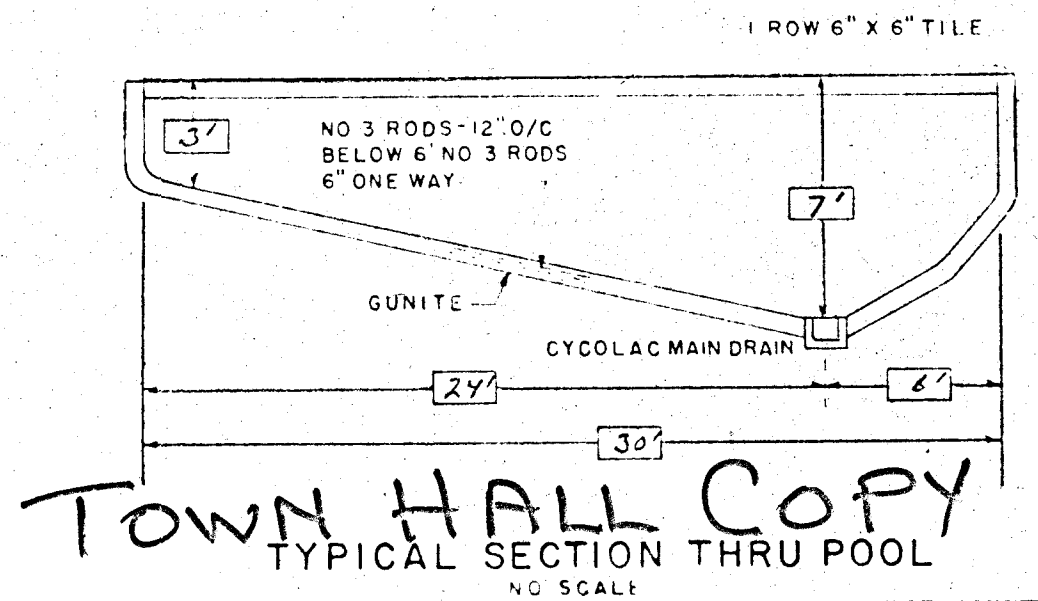


Site Plan

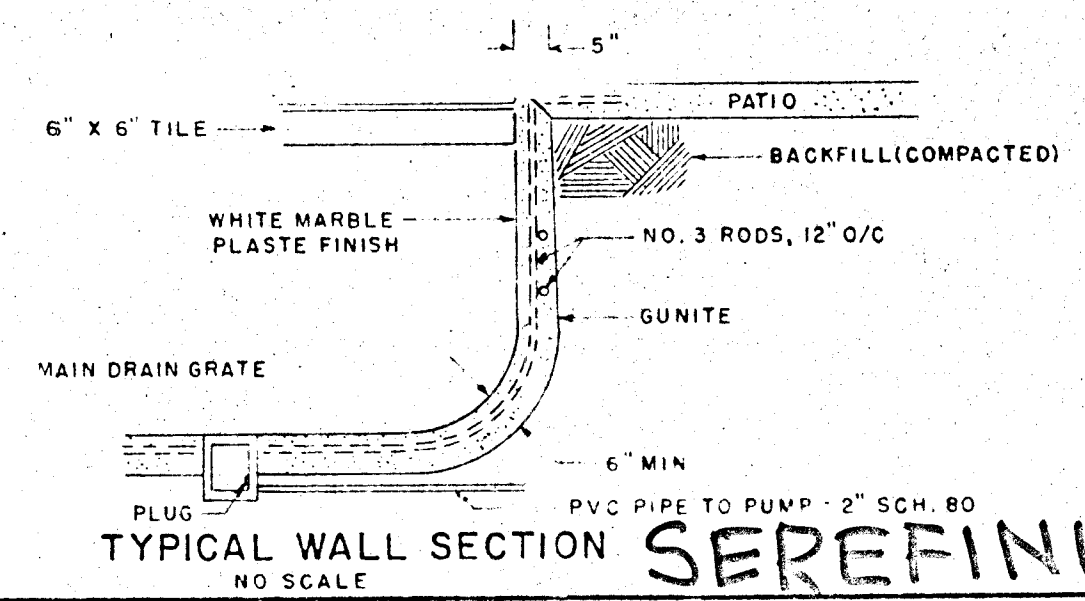


Pool Plan

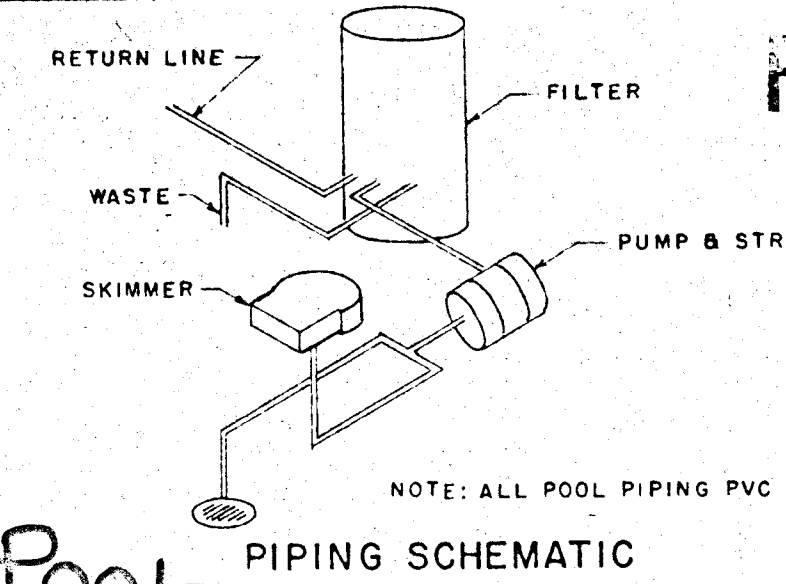
12/12/77
 Chatta
 12/13/77
 [Signature]



TOWN HALL COPY #769
 TYPICAL SECTION THRU POOL
 NO SCALE



TYPICAL WALL SECTION
 NO SCALE



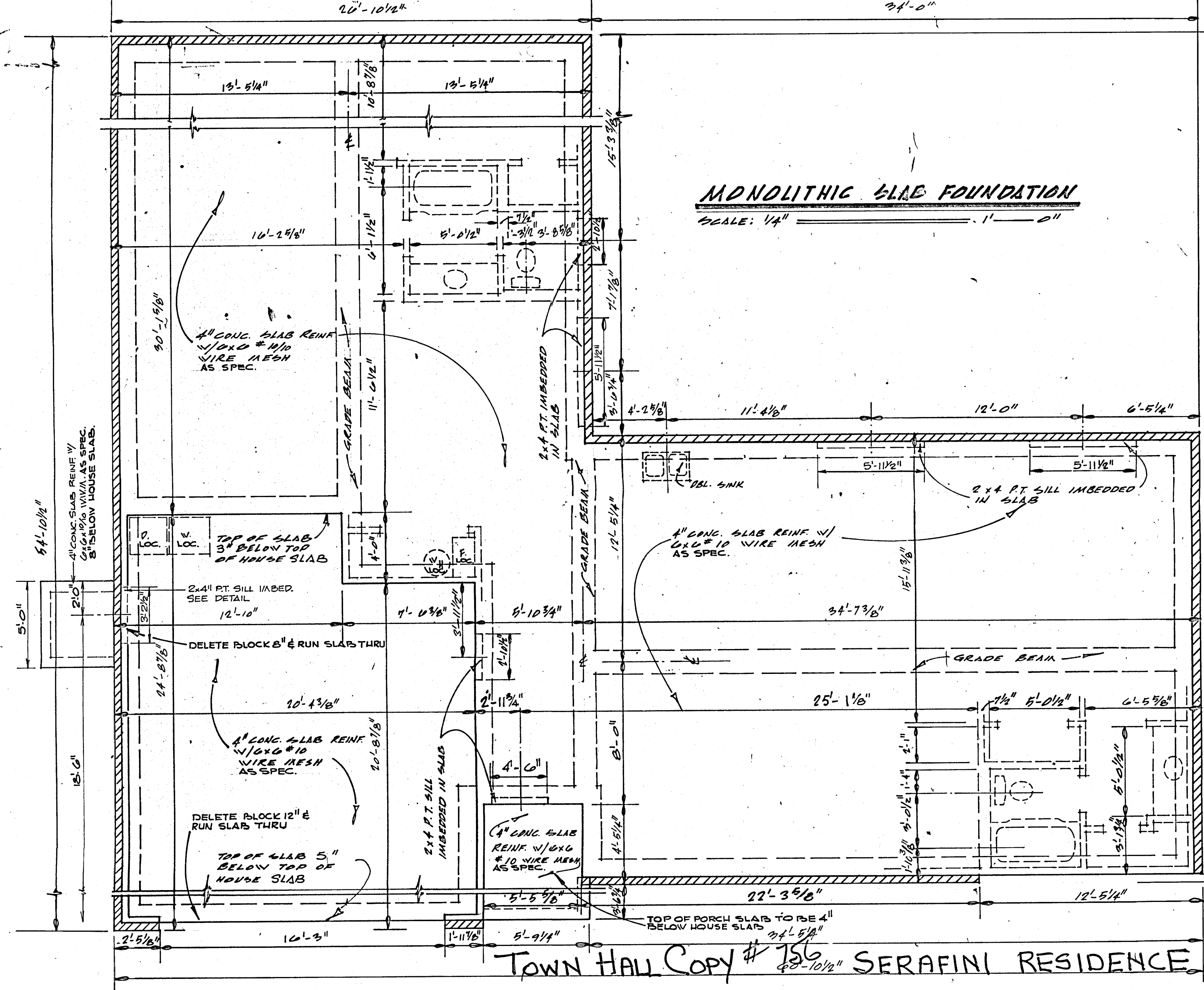
PIPING SCHEMATIC
 NOTE: ALL POOL PIPING PVC

FIRST
 DOCS

MARTIN COUNTY CUSTOM POOLS INC.

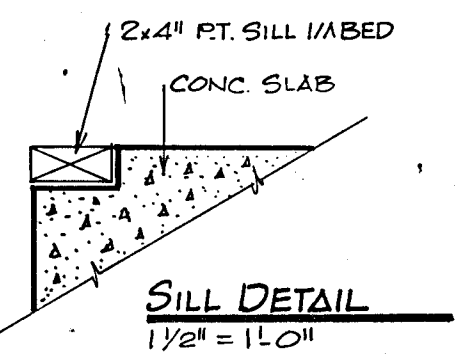
P.O. BOX 1799
 STUART FLORIDA 33494
 283-6363

Mr & Mrs Dennis Serefini
 Via Lucindia North
 Lot #19
 Sewalls Pt.



MONOLITHIC SLAB FOUNDATION

SCALE: 1/4" = 1'-0"



APPROVED
OCT 25 1917

Approval of these plans in NO-WAY relieves the contractor or builder of complying with the Town of Sewall's Point's Ordinances and the South Florida Building Code.

10/20/17
Adrian D...
10/20/17
[Signature]

NOTE:
The foundation and structure of this building is designed for dry soil conditions with bearing capacity of two (2) tons or more per square feet. Unusual soil or weather conditions shall be investigated and provided for through the builder by a local architect or engineer. The certification should appear on the site plan.

NOTE: STUD DIMENSIONS ON THIS PLAN ARE CONSIDERED 3/8" WIDE.

REV.	DATE	BY	CHK.
410	5-15-16	CHV	NI
442	6-25-16	GE.H.	M.V.

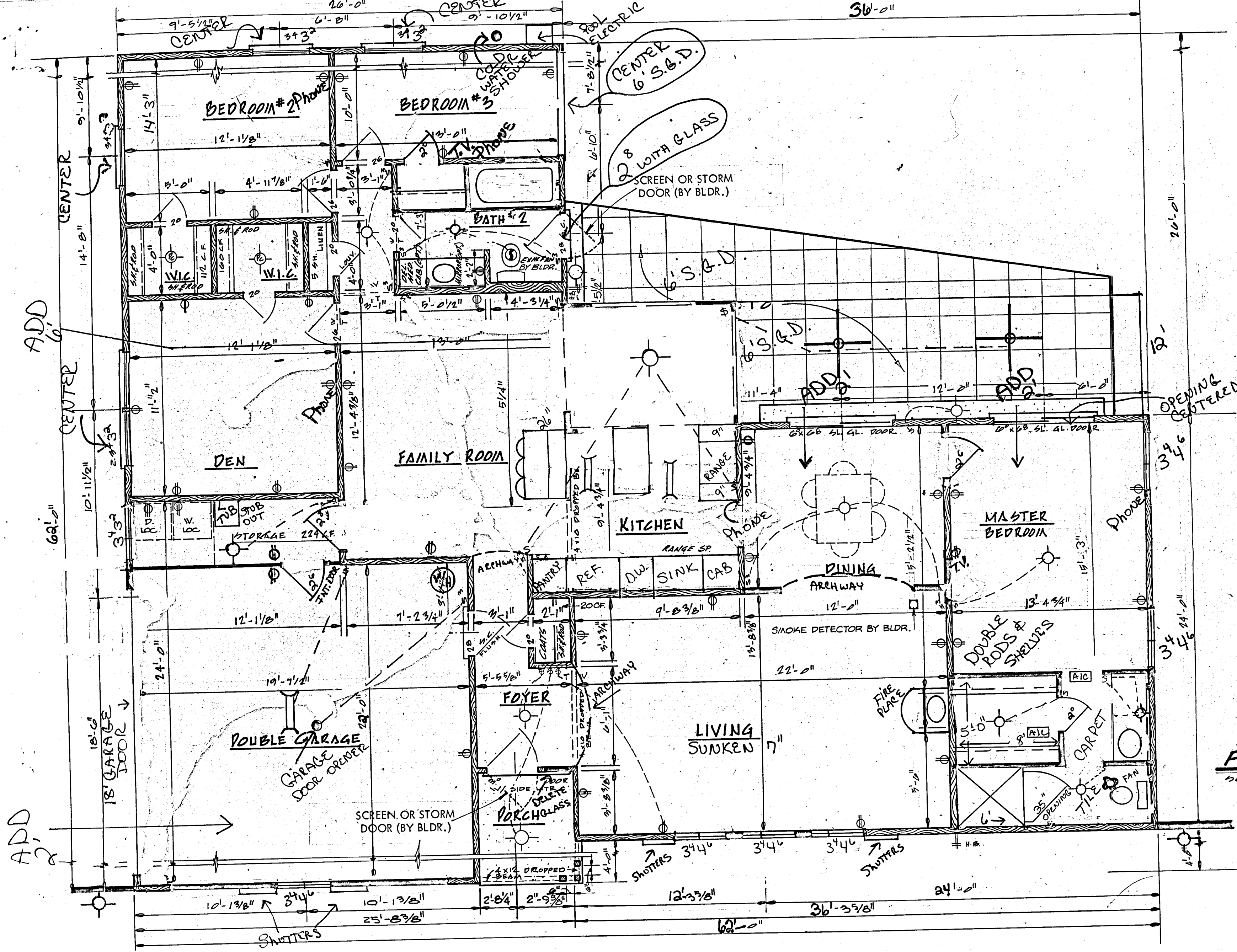
CONSULTING ARCHITECT **BENJAMIN HIRSCH** A.I.A.

KINGSBERRY HOMES
BOISE CASCADE CORPORATION
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MODEL **G 16-B** DES. **B.G.B.** CHK. **CH. V.A.**

DATE: 4-79

TOWN HALL COPY # 756 48-10 1/2 SERAFINI RESIDENCE



1 ACCESS
GARAGE DOOR
\$65⁰⁰ EXTRA
FANS \$30⁰⁰

RECEIVED
OCT 25 1977

FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV.	DATE	BY	CHK.
273	3-1-71		
275	3-1-71		SL
287	4-28-71	STB	SL
416	8-15-75	CHV	MY

SQUARE FOOTAGE
 FRAME 1726 SQ. FT.
 1/2 BRICK 1736 SQ. FT.
 BRICK 1798 SQ. FT.

CONSULTING ARCHITECT **BENJAMIN HIRSCH A.I.A.**

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 BOISE CASCADE CORPORATION
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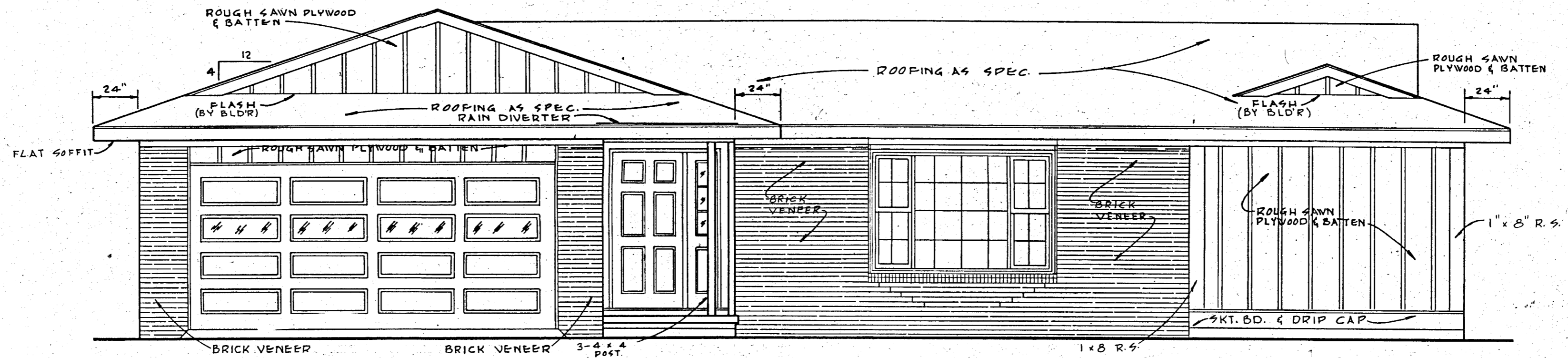
THIS DRAWING IS NOT TO BE USED FOR MAKING ANY REPRODUCTION THEREOF, OR FOR CONSTRUCTING ANY BUILDING WITHOUT FIRST OBTAINING THE WRITTEN AUTHORIZATION OF THE COPYRIGHT OWNER, KINGSBERRY HOMES.

DATE: 11-4-70
 DES. B.G.B.
 DRAWN G.V.A.

MODEL **GRESHAM**
 SCALE: 1/4" = 1'-0"
 G16-B
 12LR

NOTE: STUD DIMENSIONS ON THIS PLAN ARE CONSIDERED 3-5/8" WIDE.

*10/26/77
 Chris King
 10/26/77
 Jim King*

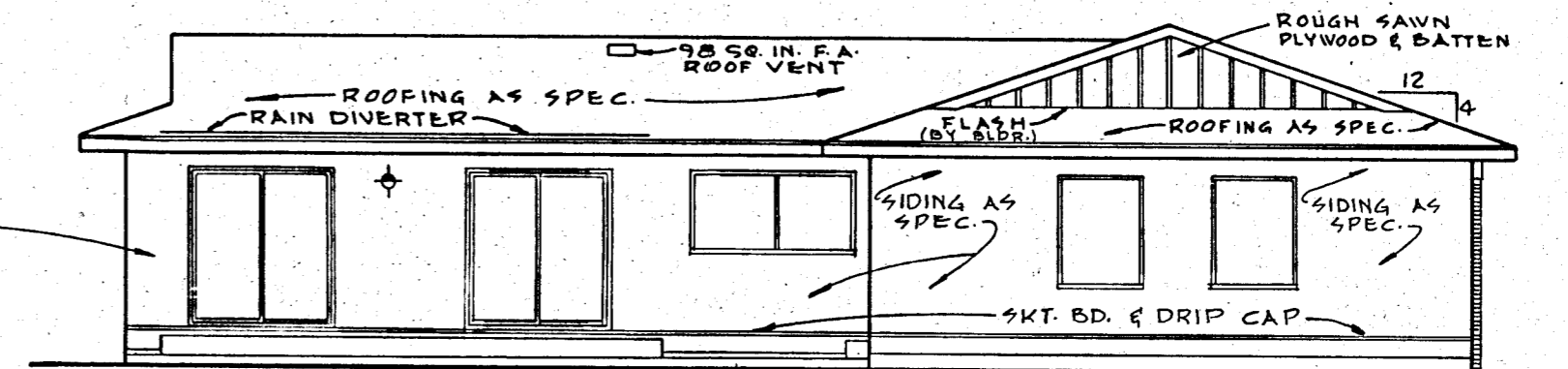


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

RECEIVED
OCT 25 1977

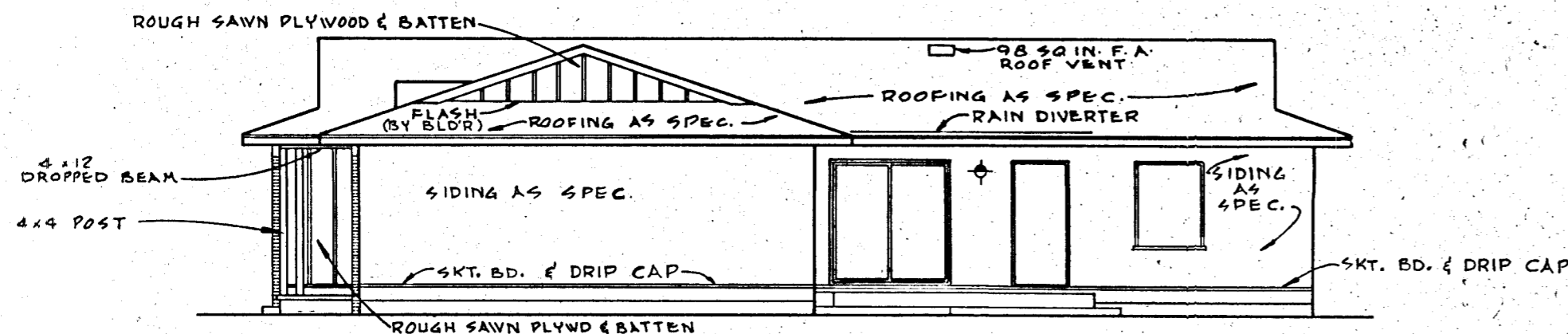


LEFT SIDE ELEVATION



REAR ELEVATION
SCALE: 1/8" = 1'-0"

*10/26/77
Chas. A. Dwyer
10/26/77
Jim R... ..*



RIGHT SIDE ELEVATION

ATTIC VENT AREA	REV.	DATE	BY	CHK.
ROOF VENT 196	416	8/15/75	CLW	INI
SOFFIT VENT 4142				
TOTAL 4338				



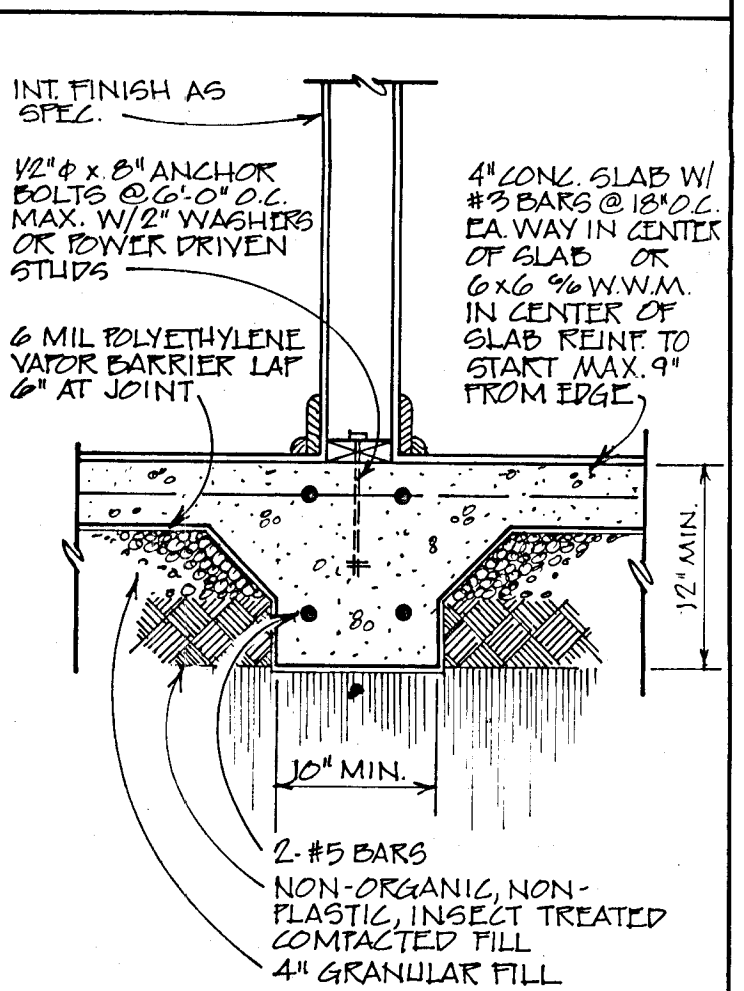
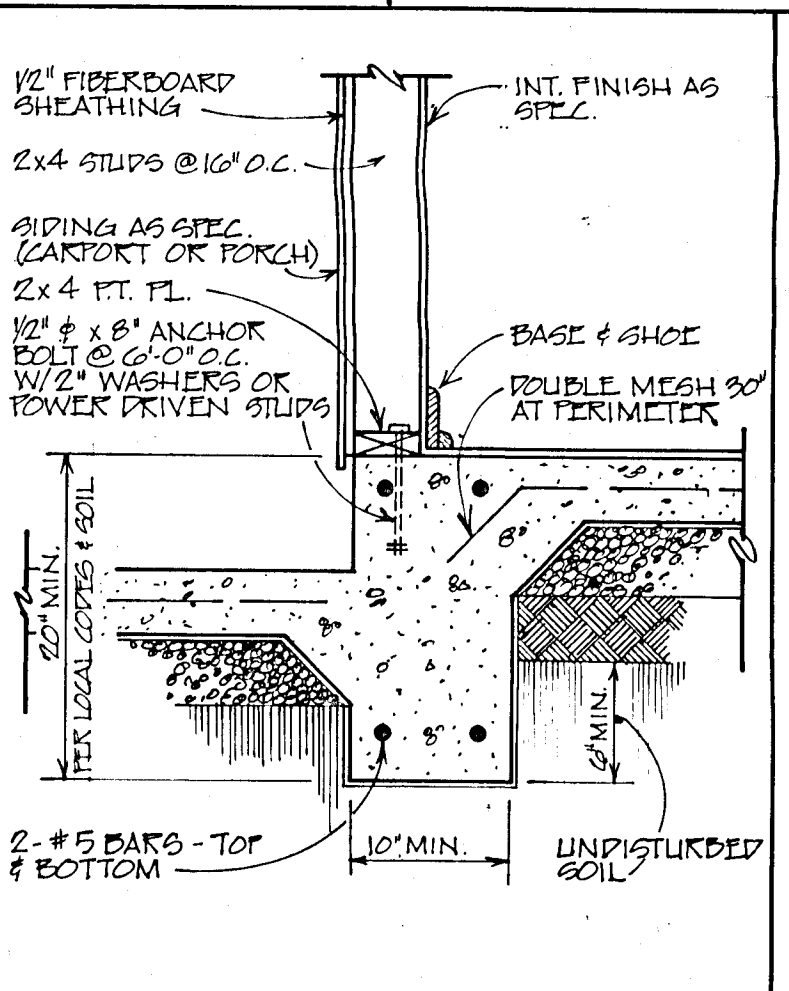
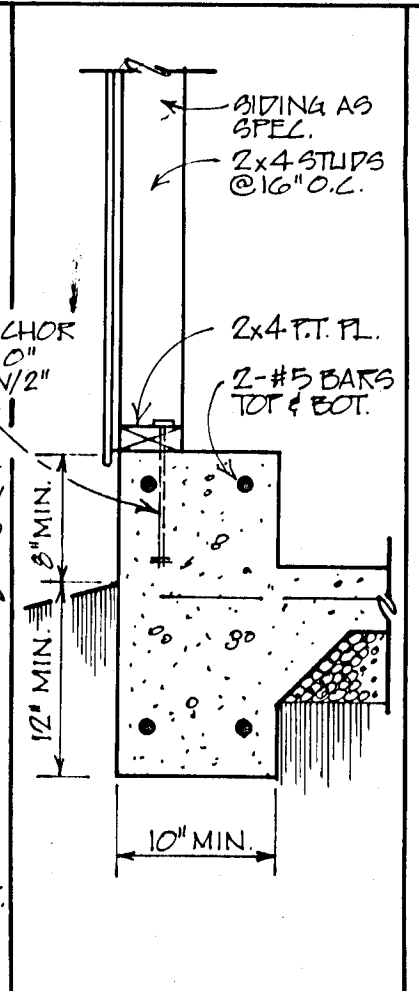
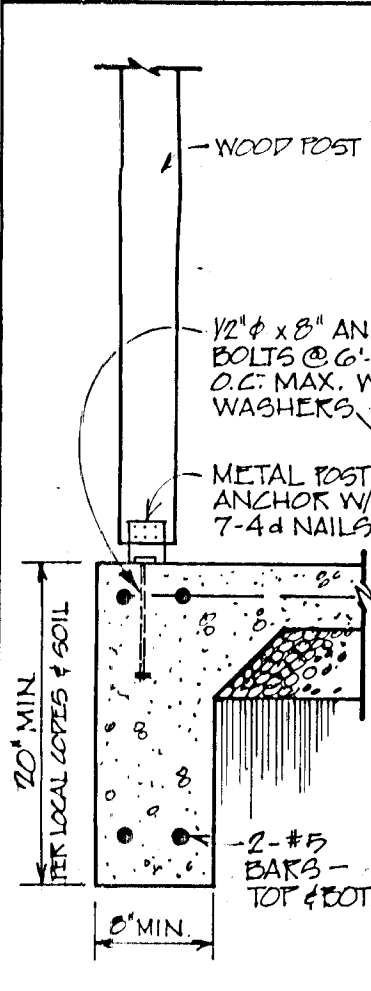
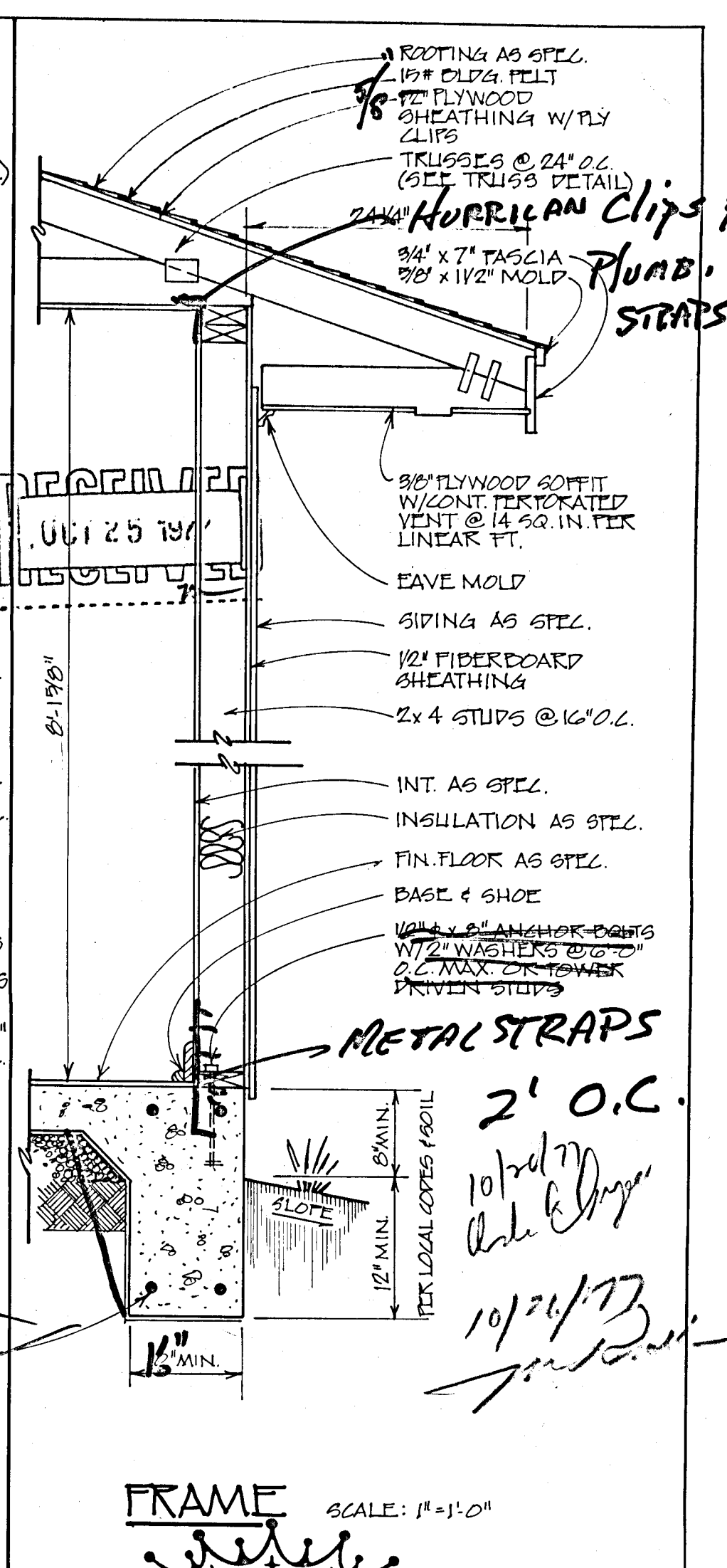
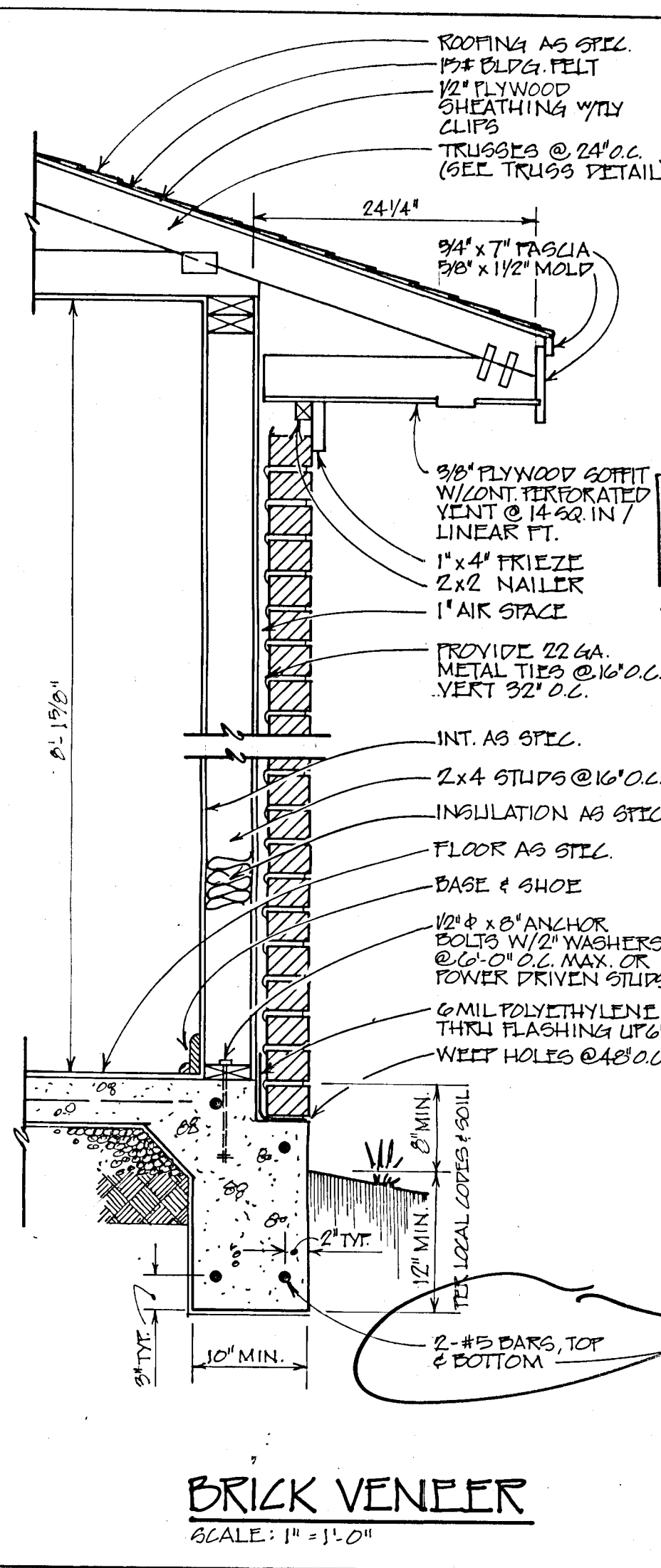
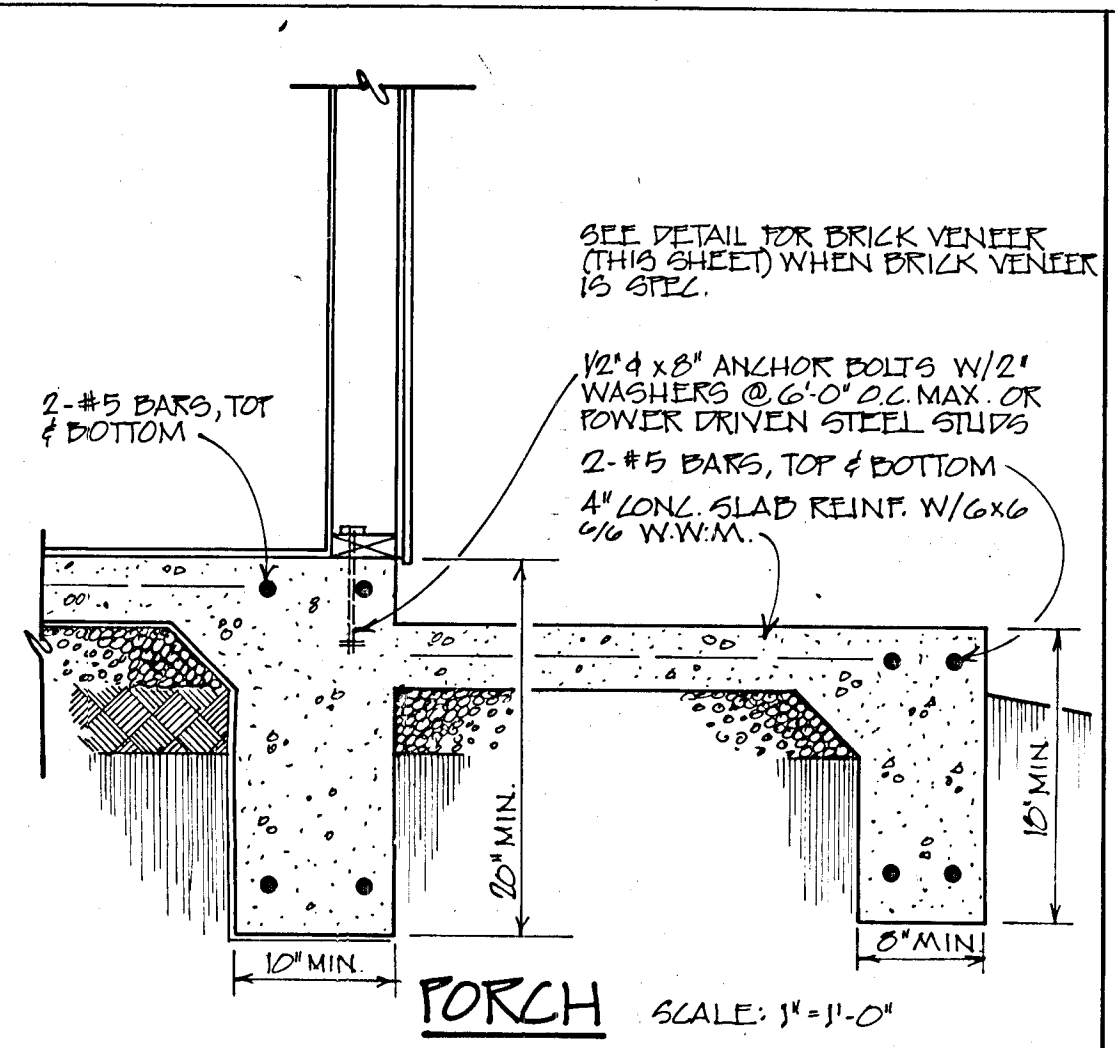
KINGSBERRY HOMES

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DATE 11-4-70	DES. B.G.B.	ELEVATIONS	MODEL GRESHAM
DRAWN L.C.N.	CHK. M.O.B.	SCALE: AS NOTED	416-8 1/2B STD.

CONSULTING ARCHITECT BENJAMIN HIRSCH A.I.A.



GENERAL NOTES:

- 1- USE SAND FILL, EXCEPT IN AREA WHERE HIGH WATER TABLE IS ENCOUNTERED, USE GRAVEL, CRUSHED STONE, OR COMPARABLE MATERIAL.
- 2- EXTERIOR BEAMS SHALL EXTEND 6" INTO UNDISTURBED SOIL. INTERIOR BEAMS SHALL REST ON UNDISTURBED SOIL.
- 3- ALL CONCRETE SHALL HAVE A 28 DAY ULTIMATE COMPRESSIVE STRENGTH 3000 P.S.I.
- 4- NO DEAD END BEAMS ALLOWED.
- 5- ALL BEAM & SLAB REINFORCING SHALL EXTEND TO WITHIN 1/2" OF EXTERIOR FORMS.
- 6- BEAM REINFORCING SHALL BE TIED AND SUPPORTED EVERY 4'-0" MIN.
- 7- LAP ALL BAR REINFORCING 40 DIAMETERS AND WIRE MESH 6" DIAMETERS.
- 8- PROVIDE CHAIRS OR OTHER SUITABLE SUPPORTS FOR SLAB AND BEAM REINFORCING.
- 9- FOR HOUSE LENGTHS OF MORE THAN 30' AND UP TO 60' IN LENGTH, PROVIDE 3-5/8" RODS IN BOTTOM AND 2-5/8" RODS IN TOP OF ALL LONGITUDINAL BEAMS. 10- POLYETHYLENE VAPOR BARRIER MAY BE DELETED AT GARAGES, CARPORTS, AND PORCHES.

REV.	DATE	BY	CHK.
REDRAWN	10-4-76	L.S.W.	S.R.V.

KINGSBERRY HOMES

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MANUFACTURED HOUSING/EASTERN OPERATIONS
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DATE	DES. A.A.	MODEL MONOLITHIC	MODEL TYPICAL DETAILS
DRAWN L.S.W.	CHK. S.R.V.	SLAB	F. & 1/2 B. M.S.