

**25 Simara
Street**

VARIANCE

9

#9

Paul DiKeman

lot 39, Archipelago

3-19-71

Town Commission,
Town of Small's Point
Small's Point, Fla.

gentlemen -

Subject

Variance on location
of home for Paul
Dikeman on Lot # 39
in Archipelago Subdivision
From yard set back 29 ft.
instead of 35 ft.

A Public Hearing was held at the
Town Hall on March 15th at which
time no one appeared to offer objections
to the requested variance.

Mr. Udesca who has a home on
adjacent lot # 38 has advised in
writing that he has no objection to the
requested variance.

Following the Public Hearing, the Board
of Adjustment met at the Town Hall.
Members present included W.C. Patterson,
~~and~~ Carl Stanley and John Dikeman.
Messrs. Hicks and Hillhuffer were unable
to attend. All members present voted
for approval of the variance.

Mr. Dikeman has been informed,
copy letter attached, of the action
of the Board.

Town of Small's Point
Board of Adjustment
By John Dikeman
Vice Chairman

3 - 19 - 71

Mr. Paul Dickman

This is written to advise you that a Public Hearing was held at the Town Hall at 8:00 pm on March 15th to hear objections, if any, relative to your request for a variance on the front yard setback for the home you plan to build on lot 39 in Richdale subdivision. No one appeared to offer objections.

Following the hearing the Board of Adjustment met and approved the variance as ~~requested~~ requested. You may now proceed with the securing of a building permit.

Very truly,
John T. Dickman
Vice Chairman
Board of Adjustment.

M notes of Mtg.
O.P.A.

1/14-18-71

Board of Adjustment
met at New City Point Town
Hall at 2 P.M. today

Purpose of meeting to
consider request by Kasiara
from Mr. Paul DeBorja
on lot 39 Archipelago
Subdivision

Variance requested
to allow a set back of
25 feet from the road
right of way instead of
normal minimum of 35
feet

Meeting attended by
Carl Faulkner & C. T. Hester
and Vice Chairman
John G. Robinson

The vote to grant variance
was unanimous 3 for "

TOWN of SEWALL'S POINT

Rural Route No. 1, Jensen Beach, Florida 33457 Telephone 287-2455

COMMISSIONERS

ROBERT W. WILSON, JR., Mayor
ROBERT B. SMITH, Vice Mayor
AUBREY K. NICHOLSON
FRANK P. FOSTER
HARRY M. SISSON

MARY G. SMITH
Clerk & Tax Collector
Telephone 287-5491

March 5, 1971.

Board of Adjustment,
Town of Sewalls Point, Fla.

Gentlemen :

It is my understanding that Mr. Paul Dilman plans to build a home on Lot 39 which adjoins my property in the Archipelago Subdivision and that he has requested a variance which would permit making the setback from the road right of way approximately 23 feet instead of the normal minimum of 35 feet.

This ys written to advise that I have no objection to the granting of the requested variance.

Very truly,

Thomas Odessa

TOWN of SEWALL'S POINT

Rural Route No. 1, Jensen Beach, Florida 33457 Telephone 287-2455

COMMISSIONERS

ROBERT W. WILSON, JR., Mayor
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March 5, 1971.

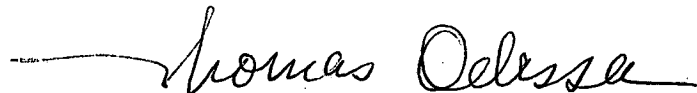
Board of Adjustment,
Town of Sewalls Point, Fla.

Gentlemen :

It is my understanding that Mr. Paul Dilsman plans to build a home on Lot 39 which adjoins my property in the Archipelago Subdivision and that he has requested a variance which would permit making the setback from the road right of way approximately 23 feet instead of the normal minimum of 35 feet.

This is written to advise that I have no objection to the granting of the requested variance.

Very truly,

Thomas Odessa

Mar. 3 1927

Notice of Public Hearing.

Board of Adjustment.
Town of Small's Point.

Plans for a home to be built on lot 39, Archipelago Subdivision ^{by} for Mr. Paul Dikeman have been turned over to the B & A by Mr. Duryea, Building Inspector. Mr. Duryea could not approve the plans because a variance will be required relative to the front yard set back distance. The set back distance shown on the plan is 25 ft. instead of 35 ft. as required by Tom Erdman.

A Public Hearing will be held at the Town Hall at 2⁰⁰ pm on March 15th at which time any objections to the granting of the required variance by qualified residents may be presented.

Town of Small's Point,
Board of Adjustment,
by John Dikeman;
Via Chairman.

263

SFR

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

45485 HARMONY LN.

Owner PAUL DIXEMAN Present Address BELLEVILLE, MICH Phone 313-677-7390

Architect R. PHILLIPS Address RT. 2 LINDEN LN. STUART

General Contractor K.O. HERRLIN Address 12 PINE LAKE DR Phone 287-2093

Where Licensed STUART & MARTIN CO License No. 1950

Plumbing Contractor PALM CITY PLUMBING Where Licensed MARTIN CO. No. _____

Electrical Contractor KRAUSE & CRANE Where Licensed _____ No. _____

Property Location SEWALLS PT Subdivision ARCHIPALIS Lot No. 39

Lot Dimensions 110 X 110 Lot Area _____ Sq. Ft. 12,100

Purpose of Building RESIDENCE Type of Construction C.B.S.

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls 2280 Inside of Walls 2240

Street or Road building will front on SIMARA ST

Clearances - Front 27 Back 18 Side 18 Side 20 River 28

Well Location none Septic Tank Location WEST SIDE

Building elevation (By Ordinance Definition) 18" above road

Contract Price (Include Plumbing, Electrical, Air Conditioning) 60,000.00

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (\$3.00 per \$1000 or Fraction)	<u>180.00</u>		<u>\$180.00</u>
Plumbing (Flat Fee)-----	<u>\$10.00</u>	<u>\$3.00</u>	<u>10.00</u>
Electrical (Flat Fee) -----	<u>\$10.00</u>	<u>\$3.00</u>	<u>10.00</u>
Total (To be paid by General Contractor or Owner) -----	<u>200.00</u>		<u>200.00</u>

SIGNED: - General Contractor or Owner Karl O Herrlin

Building Inspector Comments: _____

FOR TOWN RECORDS: Date Drawings submitted _____

Date Permit approved _____

Date Permit Fee paid _____

Date First Inspection _____

Date Final Inspection _____

Date Occupancy approved _____

Permit # 263

360

SCREEN PORCH

TOWN OF SEWALL'S POINT, FLORIDA

APPLICATION FOR BUILDING PERMIT

Permit No. 360

Date Oct. 17, 1972

(This application must be accompanied by 3 sets of complete plans, to proper scale, including plot plan, foundation plan, floor plans, wall and roof cross sections, plumbing and electrical layouts, and at least, two elevations as applicable)

Owner Paul C. Dikeman Present Address Simara Street Ph 283-1939

General Contractor SPS Address 707 Rio Ph 287-2700

Where licensed _____ License No. _____

Plumbing Contractor _____ License No. _____

Electrical Contractor _____ License No. _____

Street building will front on Simara Street

Subdivision Anchipelago Lot No. 39 Area _____

Building area, inside walls (excluding garage, carport, porches) Sq ft 150

Other Construction (Pools, additions, etc.) Screen porch

Contract Price (excluding land, rugs, appliances, landscaping) \$ 473.20

Total cost of permit \$ 5.00

Plans approved as submitted Plans approved as marked _____

I understand that this permit is good for 12 months from date of issue and that the building must be completed in accordance with the approved plan and that the site be clean and rough-graded within 12 month period.

Signed by General Contractor

I understand that this building must be in accordance with the approved plan and comply with all code requirements before a Certificate of Approval for Occupancy will be issued and the property approved for all utility services. I, also, agree that within 90 days after the building has been approved for occupancy, that the property will, also, be landscaped as to be compatible with the neighborhood.

Paul C. Dikeman
Signed by Owner

Note: Speculation Builders will be required to sign both statements.

TOWN RECORD

Date submitted 10/17/72

Date approved 10/25/72

Certificate of Occupancy issued _____ Date

286

DOCK

TOWN OF SEWALL'S POINT - FLORIDA

Application For Building Permit

Owner PAUL DUREMAN Present Address _____ Phone _____

Architect _____ Address _____

^{DOCK} General Contractor DOSS MARINE Address P. O. BOX 134 Phone 282-5663

Where Licensed MARTIN CO. License No. _____

Plumbing Contractor _____ Where Licensed _____ No. _____

Electrical Contractor _____ Where Licensed _____ No. _____

Property Location _____ Subdivision _____ Lot No. _____

Lot Dimensions _____ Lot Area _____ Sq. Ft. _____

^{DOCK} Purpose of Building 6x60 Type of Construction WOOD

Building Area: Sq. Ft. (Exclusive of Garage, Carport, Open Porches)

Outside of Walls _____ Inside of Walls _____

Street or Road building will front on _____

Clearances - Front _____ Back _____ Side _____ Side _____ River _____

Well Location _____ Septic Tank Location _____

Building elevation (By Ordinance Definition) _____

Contract Price (Include Plumbing, Electrical, Air Conditioning) _____

<u>PERMIT FEE</u>	<u>New Home</u>	<u>Additions</u>	<u>Others</u>
General (^{5.00} \$3.00 per \$1000 or Fraction) <u>DOCK</u>	<u>\$1800</u>	<u>00</u>	<u>00</u>
Plumbing (Flat Fee) -----	\$10.00	\$3.00	_____
Electrical (Flat Fee) -----	\$10.00	\$3.00	_____
Total (To be paid by General Contractor or Owner) -----	_____	_____	_____

SIGNED: - General Contractor or Owner Jack Dorn

Building Inspector Comments: _____

FOR TOWN RECORDS: Date Drawings submitted 8/13/71

Date Permit approved 8/14/71

Date Permit Fee paid 8/18/71

Date First Inspection _____

Date Final Inspection _____

Date Occupancy approved _____

Handwritten marks: a large 'H' and the number '286'.

2X8 DECKING

3X6 STRINGERS

5/8 GALV. BOLTS

22 LB. MARINE TREATED PILING

2X8 CROSS BRACE

10'

10'

10'

10'

6'

2'

6'x60' WOOD DOCK

ALL WOOD TREATED
LOT 39 MR. PAUL DIKEMAN
ARCHCPLAGO

3 1/2"

3X8 STRINGER

2X8 CROSS BRACE

5 GAL. 8 BOLTS

22 LB. MARINE PILING

BOTTOM

6' PENTRATION MIN.

6'

8'

Charles a Denson

286

BZA

94-3

**BEFORE THE BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA**

RESOLUTION NO. 94-3

**RE: APPLICATION FOR VARIANCE TO
TOWN OF SEWALL'S POINT
ZONING ORDINANCES**

Legal Description:

Lot 39, The Archipelago, according to the Plat thereof, recorded in Plat Book 4, Page 48, of the Public Records of Martin County, Florida.

WHEREAS, PAUL DIKEMAN, the owner of the above described real property, applied to the TOWN OF SEWALL'S POINT BOARD OF ZONING ADJUSTMENT seeking Variances from (a) the rear yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.3, for an existing house and (b) the front yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.1, of the Sewall's Point Town Code for an existing house, and

WHEREAS, notice of the public hearing on the variance application was duly published and mailed in accordance with the provisions of the Town Code, and a public hearing thereon was held on the 17th day of March, 1994 at 7:30 P.M. at the Town Hall of Sewall's Point, Florida, and

WHEREAS, on March 17, 1994, a quorum of the Board of Zoning Adjustment was present and the public hearing was held on the subject application; and

WHEREAS, at said public hearing the applicant was present in person and represented by counsel and all interested parties had

an opportunity to be heard for or against such application; and

WHEREAS, based on the information presented this Board does hereby make the following findings of fact:

1. That No objection(s) to the proposed grant of variance have been made.

2. That the applicant is requesting a variance from the 35 foot front yard setback requirement of the Sewall's Point Town Code as it applies to the existing house structure relative to the right-of-way of Simara Street in the amount of 14.65 feet.

3. That the property apparently had a previous Variance granted in the 1970's for the front yard setback in the amount of 11.65 feet, which variance was not recorded in the public records of Martin County, Florida. This variance, if granted, would incorporate that previous variance.

4. That the existing house structure encroaches into the 35 foot front yard setback requirement of the Town Code in the amount as stated in Paragraph 2 above.

5. That the applicant is requesting a variance from the 25 foot rear yard setback requirement of the Sewall's Point Town Code as it applies to the existing house structure relative to the natural shoreline abutting a non-riverfront waterway in the amount of 4.0 feet.

6. That the existing house structure encroaches into the 25 foot rear yard setback requirement of the Town Code in the amount as stated in Paragraph 5 above.

7. That special conditions and circumstances exist which

are peculiar to the land and structures involved, which are not applicable to other lands and structures in the same district.

8. That the special conditions and circumstances do not result from the actions of the applicant.

9. That granting the variance application will not confer on the applicant any special privilege that is denied by the Zoning Ordinance to owners of the lands, buildings or structures in the same zoning district.

10. That literal interpretation of the provisions of the Zoning Ordinances would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of the Zoning Ordinance and would work unnecessary and undue hardship on the applicant.

11. That the granting of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

12. That the reasons set forth in the application and as expressed during the hearing by the applicant justify the granting of variance and satisfy the requirements of Section XV, Paragraph B.2.b. of Appendix B of the Code of Ordinances of the Town of Sewall's Point, Florida, and the variance is the minimum variance that will make possible reasonable use of the land, structures or buildings.

NOW THEREFORE, be it resolved by the Board of Zoning Adjustment of the Town of Sewall's Point, Florida, that the

application by PAUL DIKEMAN for a variance from the 35 foot front yard setback requirement of the Sewall's Point Town Code as it applies to the existing house structure relative to the right-of-way of Simara Street in the amount of 14.65 feet is **GRANTED**, and a variance from the 25 foot rear yard setback requirement of the Sewall's Point Town Code as it applies to the existing house structure relative to the natural shoreline abutting a non-riverfront waterway in the amount of 4.0 feet is **GRANTED**, for purposes of bringing the existing structure into compliance with the Town Code.

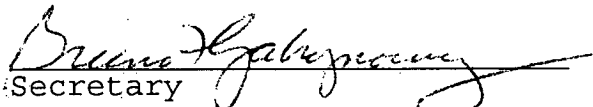
The Secretary of this Board is hereby authorized and directed to record this Resolution in the Official Public Records of Martin County, Florida, and the Clerk of the Town of Sewall's Point is hereby directed to maintain this Resolution as part of the Official Records of the Town.

Duly passed and adopted at Public Meeting on March 17, 1994.

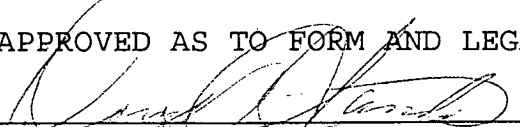
BOARD OF ZONING ADJUSTMENT
TOWN OF SEWALL'S POINT, FLORIDA

By: 
Chairman

ATTEST:


Secretary

APPROVED AS TO FORM AND LEGALITY


Douglas K. Sands, Attorney for
the Board of Zoning Adjustment

cc: Town Clerk
Applicant

McCARTHY, SUMMERS, BOBKO, McKEY & BONAN, P.A.
Attorneys at Law

2081 E. Ocean Boulevard
Suite 2-A
Stuart, FL 34996

(407) 286-1700
(FAX) 283-1803

Terence P. McCarthy
Robert P. Summers
Noel A. Bobko
John D. McKey, Jr.
W. Martin Bonan

February 11, 1994

Town of Sewall's Point
1 S. Sewall's Point Road
Stuart, Florida 34996

Attn: Joan Barrow

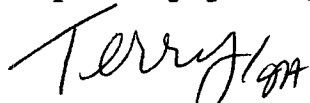
Re: Dikeman Variance

Dear Joan:

Enclosed please find the following documents with respect to the above:

1. Application for Variance.
2. Statement of Benefits.
3. Check payable to the Town of Sewall's Point in the amount of \$1,000.00 and check payable to the Town of Sewall's Point in the amount of \$75.00.
4. 300' search, Special Certificate #42-94-216 issued by Attorneys' Title Services, Inc.
5. Reduced copy of the survey.
6. Reduced copy of the plat.
7. Copy of Warranty Deed showing proof of ownership.

Very truly yours,


Terence P. McCarthy

TPM/ja
Enclosures
cc: client

rec.
2-11-94
2:50PM

OK

APPLICATION TO THE TOWN OF SEWALL'S POINT
BOARD OF ZONING ADJUSTMENT

PLEASE TYPE OR PRINT

I, PAUL DIKEMAN of 25 Simara Street
name of applicant address

Stuart Florida 34996
city state zip

do hereby make application to the Town of Sewall's Point Board of Zoning Adjustment on the following property in Sewall's Point, legally described as:

Lot 39, Block , Subdivision The Archipelago according to map of Plat Book 4 Page 48, Section , Township South, Range East, of the public records of Martin County, Florida, or property otherwise described by metes and bounds. (Please include current street address) (long legal description may be attached separately.)

for the purpose of to obtain a variance from the front and rear setback requirements (indicate the specific section of Zoning Regulations, Zoning Resolution, Zoning Ordinance) as set forth in Subsection G of Section VI, Residential Districts of Appendix B, Zoning, to the Town Code. The Zoning Code requires a front setback of 35', a prior variance reduced this setback to approximately 23', and the actual setback is 20.35'. The rear setback is 25', 50' on riverfront lots, the actual setback in this case is 21'.

Variances

To authorize upon appeal such variance from the terms of the zoning ordinance as will not be contrary to the public interest when, owing to special conditions, a literal enforcement of the provisions of the zoning ordinance would result in unnecessary and undue hardship.

In order to authorize a variance, an application must be submitted and a public hearing must be held which demonstrates to the satisfaction of the Board of Zoning Adjustment that the following six criteria, as contained in the Code of the Town of Sewall's Point, have been met:

1. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.

2. That the special conditions and circumstances do not result from the actions of the applicant.

3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings or structures in the same zoning district.

4. That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

6. That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of the ordinance.

The Board of Adjustment may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both.

No non-conforming use of the neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered for the issuance of a variance.

The Town shall post Notice of Public Hearing on the property for which the variance is sought and upon the Town Hall bulletin board at least 15 days prior to the date of the hearing. The Town will also see to the publication of the Notice of Hearing in a newspaper of general circulation printed in Martin County, Florida, at least fifteen (15) days prior to the date of the public hearing. All costs thereby incurred by the Town shall be reimbursed to the Town by the applicant, or charged against the applicant's cost deposit. The Applicant, at his expense, must send Notice to property owners of record within 300 feet of the subject property in accordance with the guidelines attached, to be mailed by certified mail, return receipt requested, no later than FIFTEEN (15) DAYS PRIOR TO THE DATE OF THE HEARING.

CERTIFICATION

The Applicant hereby certifies that the information which he/she has provided on and together with this application is correct and accurate to the best of his/her knowledge and belief. The Applicant also certifies that existing deed restrictions or

covenants on this property will be adhered to and that if this request is granted, all necessary permits will be obtained and that all orders, resolutions, codes, conditions, rules, regulations and ordinances pertaining to the use of the above-described property will be complied with. The Applicant further certifies that he/she has read all of the above and the Guide to Preparation of Application for Board of Zoning Adjustment and will comply therewith, understanding that failure to do so may result in a denial of the request or administrative dismissal of the application.

Dated this 11th day of FEBRUARY, 1994



Signature of Applicant or
Applicant's Attorney

STATEMENT OF BENEFITS

The subject property contains a single family home constructed in the early 1970's. At the time of the construction, the owner of the property, Paul Dikeman and Jean Dikeman, his wife, requested and received a variance to the front setback requirements of 35'. The home was constructed at that time and has remained unchanged ever since. After more than 20 years, Mr. and Mrs. Dikeman have decided to sell their property.

Unfortunately, as is often the case in Sewall's Point, the survey of the property, conducted as part of the sale of the property, revealed some setback violations. The house is located 21' from the rear property line. The required setback is 25'. Additionally, the corner of the house adjacent to the cul-de-sac is located approximately 20.35' from the right of way. The variance requested and received in 1971 is not entirely clear but the most liberal interpretation would require a distance of 23' from the right of way.

With respect to the rear setback, this is a natural shoreline rather than a hardened shoreline and the reduced distance may be the result of erosion. As we are all aware, the standards for construction in the early 1970's with respect to setbacks were not nearly as strict as they are in the 1990's. This somewhat casual attitude with respect to setbacks is best evidenced by the varying distances set forth in the variance materials on record at Town Hall concerning the prior variance on this property.

To bring this current residence into compliance with the current setbacks would work a severe injustice upon Mr. and Mrs. Dikeman. The Dikeman's built this house in good faith reliance upon permits validly issued. Mr. and Mrs. Dikeman have lived in this residence for over 20 years without any complaints about the location of their residence ever being filed with the Town. There is no legal or equitable basis upon which to justify full compliance with the current setback requirements. Furthermore, not only would this work an injustice upon Mr. and Mrs. Dikeman, this would significantly damage all of the surrounding properties.

It simply serves no useful purpose for the Town to require this residence to be brought into compliance with the current setback requirements.

Even if this situation involved vacant land and current construction, the unusual configuration of this lot on the water and on a cul-de-sac would warrant special consideration and, potentially, a variance. The Archipelago is a unique subdivision and this lot in The Archipelago along with the adjacent lots present a unique situation. Preserving the current situation preserves and maintains the integrity of the entire neighborhood.

The current property owner is not requesting that the Town confer upon them any special privilege. They are simply requesting that the existing residence be allowed to remain as is. A literal interpretation of the setback requirements would cause enormous expense to the current property owner. Additionally, to require the improvements to comply with the required setbacks would burden the property owner and all of their neighbors. This would clearly disrupt the harmony that all of the adjoining property owners currently enjoy.

The current applicant, the property owner, requests simply that the status quo remain. This is clearly the minimum variance that could be requested. The purpose and intent of minimum setbacks with respect to existing dwellings should not dictate the disruption of an entire neighborhood with little or no benefit.

ATTORNEYS' TITLE SERVICES, INC.

Martin Branch
10 Central Parkway
Stuart, FL 34994

SPECIAL CERTIFICATE NO.: 42-94-216

FOR: McCarthy & Summers, PA

We hereby certify that a search has been made of the 1993 Tax Roll and Public Records of Martin County, Florida, regarding a 300-foot area surrounding a parcel of land being described as follows:

Lot 39, The Archipelago, according to the plat thereof recorded in Plat Book 4, Page 48, public records of Martin County, Florida.

And we find that the APPARENT Titleholders of land within a 300-foot perimeter of the subject property to be as listed below:

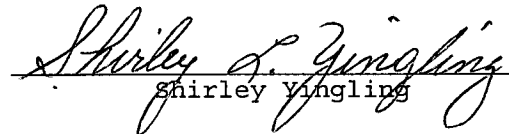
-
- | | |
|---|---|
| 1. Reib, John C. & Lillee E.
4 Baku Street
Stuart, FL 34996 | 13-38-41-001-000-00040-80000
Archipelago Lot 4 |
| 2. Stiles, H. W. & P. D.
6 Mindora St.
Stuart, FL 34996-6303 | 13-38-41-001-000-00160-20000
Archipellago Lot 16 and pt Lot 17 |
| 3. Kissling, Cyrus & Pamela
4 Mindoro Street
Stuart, FL 34996 | 13-38-41-001-000-00170-00000
Archipelago Lot 17 |
| 4. Crawford, Earl R. & D. K.
2 Mindoro St. SP
Stuart, FL 34996-6303 | 13-38-41-001-000-00180-80000
Archipelago Lot 18 |
| 5. Morgan, Nancy J. (Tr)
11 Simara St.
Stuart, FL 34996 | 13-38-41-001-000-00220-00000
Archipelago Lot 22 |
| 6. Owen, Nathan R. & Janet S.
P. O. Box 10351
Stamford CT 06904 | 13-38-41-001-000-00310-10000
Archipelago Lot 31 and Pt Lot 32 |
| 7. Krapf, Frederic G. Jr. (Tr)
P. O. Box 2167
Wilmington, DE 19899 | 13-38-41-001-000-00321-80000
Archipelago Pt Lot 32 & Pt Lot 33 |
| 8. Hamilton, Douglas A. P.
24 Simara Street
Stuart, FL 34996-6324 | 13-38-41-001-000-00331-60000
Archipelago Lot 34 and Pt Lot 33 |
| 9. Pyne, Katherine B. (Pr)
26 Simara St.
Stuart, FL 34996-6324 | 13-38-41-001-000-00350-20000
Archipelago Lot 35 |

- 10. Calder, Robert M. & Carol
36 Simara Street
Stuart, FL 34996
13-38-41-001-000-00360-00000
Archipelago Lot 36
- 11. Smith, Chester P. Jr. &
Smith, Carol A. (T/E)
P. O. Box 958
Jensen Beach, FL 34958-0958
13-38-41-001-000-00370-80000
Archipelago Lot 37
- 12. Taylor, Mark & Connie (34.615%)
Taylor, Stevenson M. (65.385%)
27 Simara St.
Sewall's Pt.
Stuart, FL 34996-6326
13-38-41-001-000-00380-60000
Archipelago Lot 38
- 13. Dikeman, Paul C. & J. T.
25 Simara St.
Stuart, FL 34996-6326
13-38-41-001-000-00390-40000
Archipelago Lot 39
- 14. Morrison, William G.
23 Simara St.
Stuart, FL 34996-6326
13-38-41-001-000-00400-20000
Archipelago Lot 40
- 15. Romano, Debra A.
21 Simara Street
Stuart, FL 34996
13-38-41-001-000-00410-00000
Archipelago Lot 41 and Pt Lot 42
- 16. Wakefield, Theodore D 11
Wakefield, Read F Co-Tr
19 Simara Street
Sewall's Point, FL 34994
13-38-41-001-000-00420-80000
Archipelago, Pt Lot 42

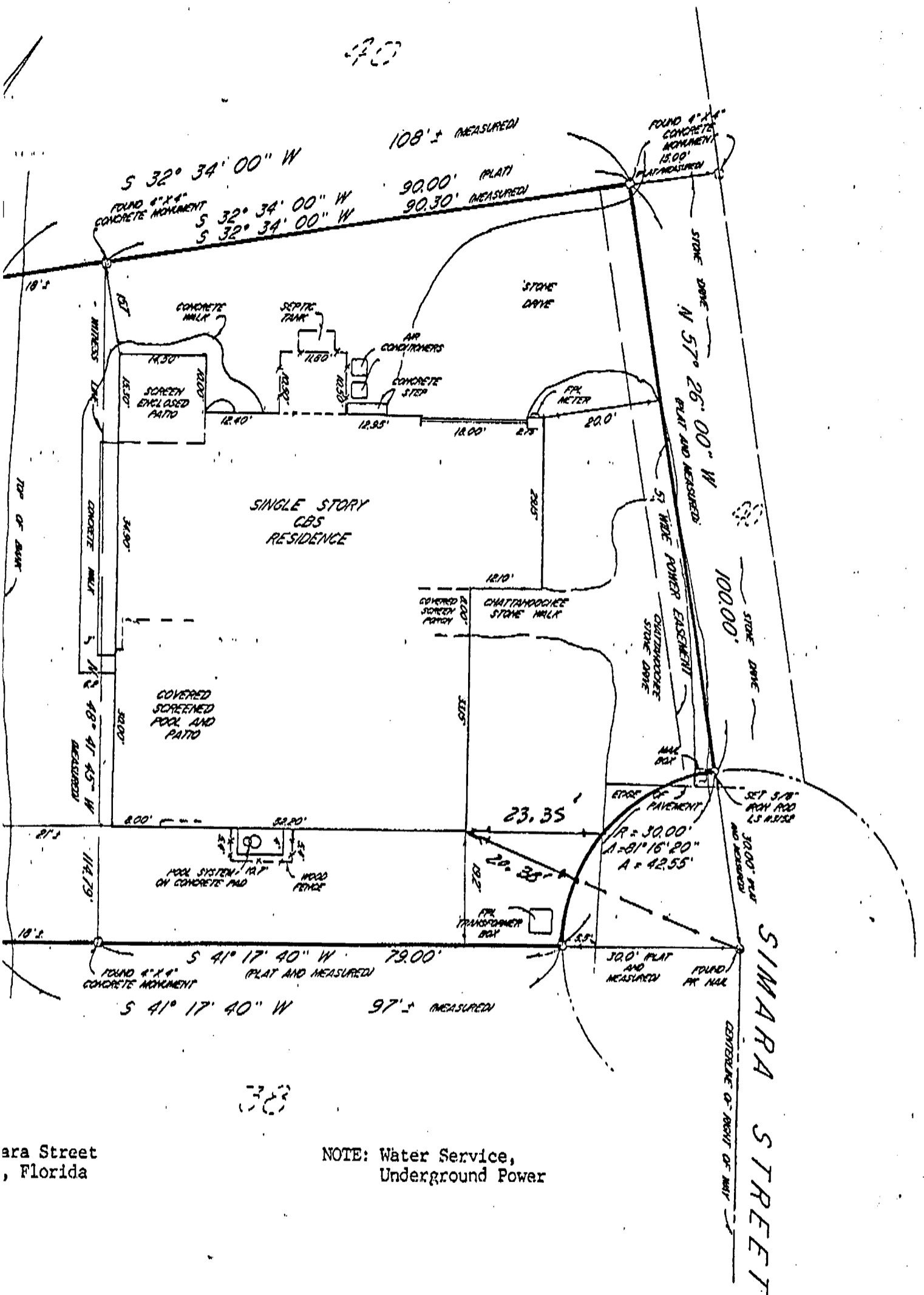
This Title Search is prepared and furnished for information only. Maximum liability for incorrect information is \$1000 under Sec. 627.7843, F. S.

THE FOREGOING INFORMATION IS CERTIFIED AS OF THE 1993 TAX ROLL.

IN WITNESS WHEREOF, Attorneys' Title Services, Inc. has caused these presents to be signed in its name, by its duly authorized representative and its corporate seal to be affixed thereto, this 9nd day of February, 1994.


shirley yingling

SY/d



Simara Street, Florida

NOTE: Water Service, Underground Power

ON:

HIPELAGO, according to the Plat thereof, filed 25 February, 1966 and recorded in Plat Book 4; County, Florida, Public Records.

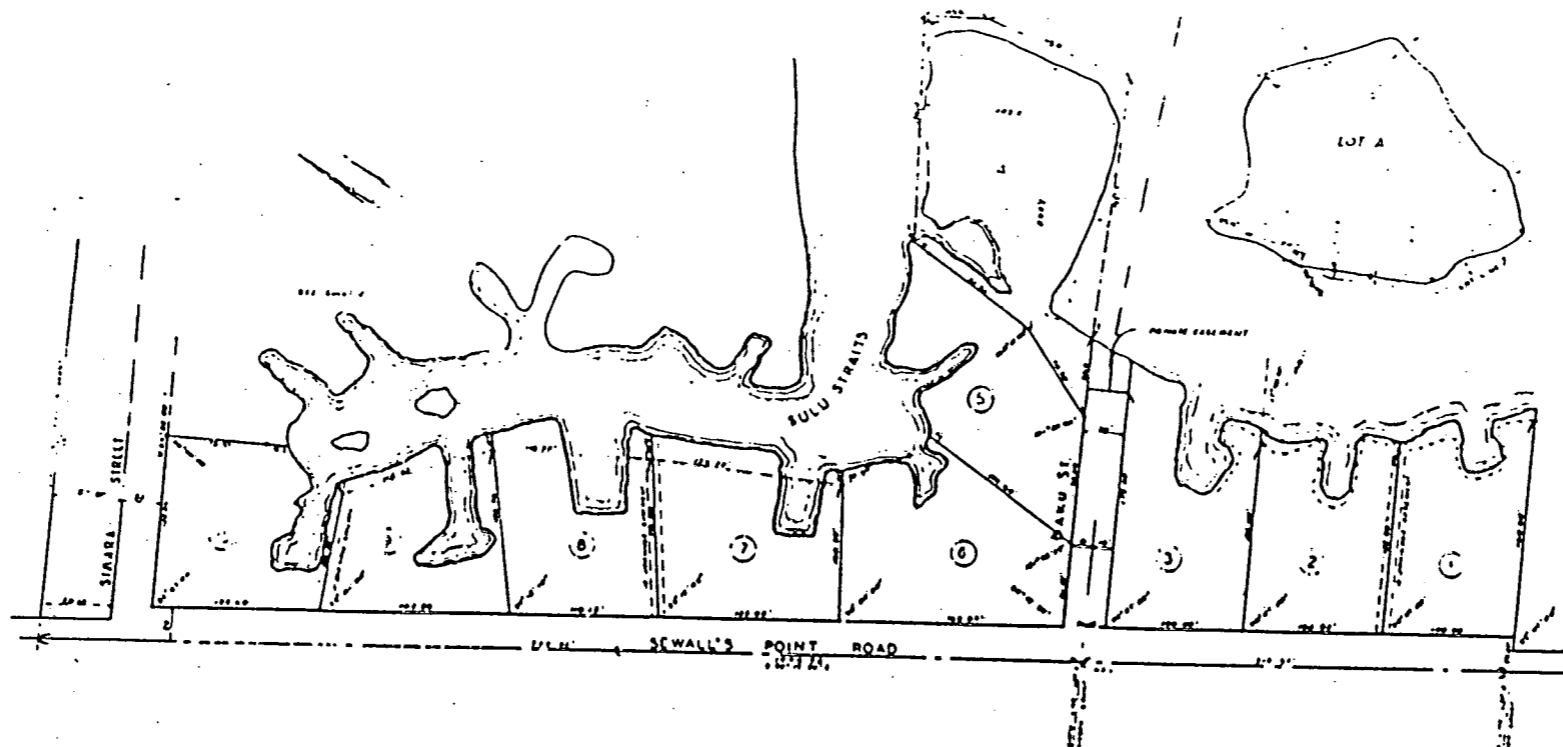
RS, BOBKO, McKEY & DONAN, P.A.; ATTORNEYS' TITLE INSURANCE FUND, INC.; CRARY, BUCHANAN, BOWDISH, 1 ANS, CHARTERED and MARGARET I. HART AND/OR ASSIGNS

THE ARCHIPELAGO

SEWALL'S POINT, MARTIN COUNTY, FLA.

Sheet No. 1

Date of Survey
 9:07 AM 25th Aug 67
 95
 County of
 113287



THE ARCHIPELAGO, SEWALL'S POINT, MARTIN COUNTY, FLORIDA, IS A TRACT OF LAND AS SHOWN ON THE MAP HEREIN, AND THE SAME IS BEING OFFERED FOR SALE BY THE ARCHIPELAGO TRACT COMPANY, INC., AS SHOWN ON THE MAP HEREIN.

CERTIFICATE OF SURVEYOR

I HEREBY CERTIFY that the above plat is a true and correct copy of a survey made in accordance with the laws of the State of Florida, and that the same is correct in all particulars, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Surveyor General of the State of Florida

1967

APPROVED
 BOARD OF COUNTY COMMISSIONERS

CERTIFICATE OF OWNERSHIP AND DEDICATION

State of Florida
 County of Martin

I, the undersigned, being the owner of the above described property, do hereby certify that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Owner

CONSENT OF MORTGAGE

State of Florida
 County of Martin

The undersigned mortgagee hereby certifies that the above described property is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Mortgagee

CONSENT OF MORTGAGE

State of Florida
 County of Martin

The undersigned mortgagee hereby certifies that the above described property is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Mortgagee

CONSENT OF MORTGAGE

State of Florida
 County of Martin

The undersigned mortgagee hereby certifies that the above described property is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Mortgagee

CONSENT OF MORTGAGE

State of Florida
 County of Martin

The undersigned mortgagee hereby certifies that the above described property is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Mortgagee

CONSENT OF MORTGAGE

State of Florida
 County of Martin

The undersigned mortgagee hereby certifies that the above described property is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida, and that the same is a true and correct copy of the original records on file in the office of the Surveyor General of the State of Florida.

[Signature]
 Mortgagee

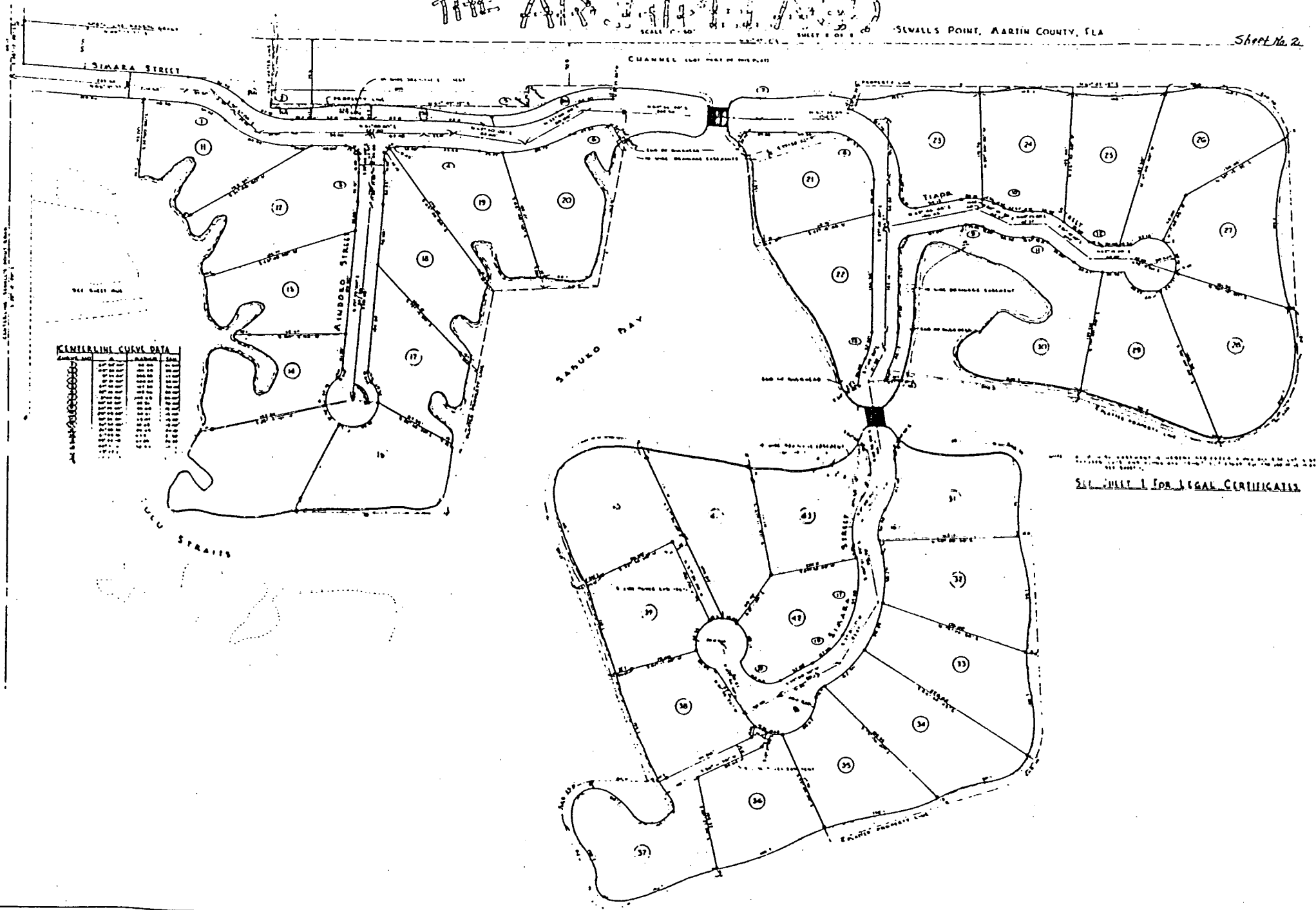
525

THE ANCHORAGE

SCALE 1" = 50'

SEWALLS POINT, MARTIN COUNTY, FLA

Sheet No. 2



SEE SHEET 1 FOR LEGAL CERTIFICATES

526

147886

WARRANTY DEED

Clarence E. Hoard and Doris L. Hoard, his wife, the Grantors, in consideration of the sum of \$10.00 received from Paul C. Dikeman and Jean T. Dikeman, his wife, the Grantees, of 45485 Harmony Lane, Belleville, Michigan 48111, hereby, on this 5th day of June, A. D. 1970, convey to the Grantees, as an estate by the entireties, the real property in Martin County, Florida, described as:

Lot 39, The Archipelago, according to plat thereof filed 25 February 1966, recorded in Plat Book 4, page 48, Martin County, Florida, public records; Subject, however, to the restrictions, covenants, reservations easements and zoning regulations of record.

and covenant that the property is free of all encumbrances, that lawful seisin of and good right to convey that property are vested in the Grantors, and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Signed in the presence of:

John P. Hoard (signature) Clarence E. Hoard (SEAL)
Doris L. Hoard (signature) Doris L. Hoard (SEAL)

STATE OF MICHIGAN)
COUNTY OF OAKLAND)

I HEREBY CERTIFY, That on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared Clarence E. Hoard and Doris L. Hoard, his wife, to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed it.

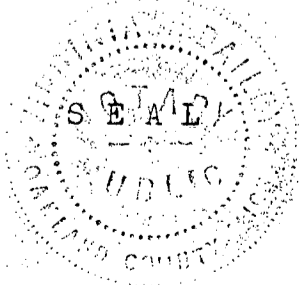
WITNESS my hand and official seal in the County and State, named above this 5th day of June, A. D. 1970.

Virginia E. Bailey
Notary Public

My Commission expires:
VIRGINIA E. BAILEY
Notary Public, Oakland County, Michigan
My Commission Expires January 29, 1972

O R BOOK 300 PAGE 65

This Instrument was prepared by—
HARRY F. DYER, Attorney
P. O. Drawer 477-Arthur Dehon Bldg.
Stuart, Florida 33494



NOTICE OF PUBLIC HEARING

Town of Sewall's Point
Board of Zoning Adjustment

TO THE PUBLIC AND ALL OTHERS WHOM IT MAY CONCERN: You are notified that on THURSDAY, MARCH 17, 1994, at 7:30 P.M., at the SEWALL'S POINT TOWN HALL, One South Sewall's Point Road, Sewall's Point, Florida, a Meeting and Public Hearing will be held before the BOARD OF ZONING ADJUSTMENT for the following purposes:

1. Public Hearing on the application of MR. AND MRS. LEONARD BUTSCHER seeking Variances from (a) the river front setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.5, for the existing screen porch enclosure and (b) the side yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.2, for an existing house at 22 ISLAND ROAD, Sewall's Point, Martin County, Florida. The property is also described as follows:

Lot 75, ISLE ADDITION TO HIGH POINT, according to the Plat thereof, recorded in Plat Book 4, Page 47, of the Public Records of Martin County, Florida.


2. Public Hearing on the application of PAUL DIKEMAN seeking Variances from (a) the rear yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.3, for an existing house and (b) the front yard setback requirements of the Sewall's Point Town Code, Appendix B, Section VI, Paragraph G.1, as previously modified by Grant of Variance to this property, for an existing house at 25 SIMARA STREET, Sewall's Point, Martin County, Florida. The property is also described as follows:

Lot 39, The Archipelago, according to the Plat thereof, recorded in Plat Book 4, Page 48, of the Public Records of Martin County, Florida.

Written comments may be sent to the Board of Zoning Adjustment, One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34996.

The Public is invited to attend and present their views.

Publish:



Douglas K. Sands, Attorney
For Board of Zoning Adjustment
Town of Sewall's Point, Florida

The Law Offices of
DOUGLAS K. SANDS, P. A.

General Practice of Law
Certified Court Mediator
County • Circuit • Family
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida
P.O. Box 287, Stuart, FL 34995
Telephone (407) 287-3930
Fax (407) 287-3931

February 11, 1994

Terence P. McCarthy, Esq.

2081 E. Ocean Blvd.
Suite 2-A
Stuart, Fl. 34996

By Hand Delivery

Re: Dikeman application for Variance to Sewall's Point

Dear Terry:

As we discussed this morning, please find enclosed your letter of February 10 and all enclosures, including Mr. Dikeman's check No. 2435.

Also enclosed are two sets of the current forms and instructions for submitting a variance application. Please note the revised fee and cost requirement.

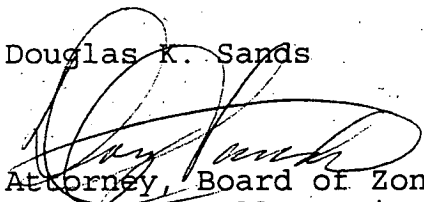
I understand that you will be resubmitting the application promptly. As we also have another variance application pending, I am hopeful of setting both hearings on the same date.

Please resubmit the application to Town Hall, with all required copies as soon as possible.

Thanks for your cooperation.

Sincerely,

Douglas K. Sands



Attorney, Board of Zoning Adjustment
Town of Sewall's Point, Florida

DKS/sd

Enc.

Copy: Joan Barrow, Town Clerk, Sewall's Point

The Law Offices of

DOUGLAS K. SANDS, P. A.

General Practice of Law
Certified Court Mediator
County • Circuit • Family
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida
P.O. Box 287, Stuart, FL 34995
Telephone (407) 287-3930
Fax (407) 287-3931

February 15, 1994

MEMORANDUM

TO: JOAN BARROW, CLERK, TOWN OF SEWALL'S POINT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY 

RE: (1) Butscher variance application
(2) Dikeman variance application

The hearings on the above applications for variances have been scheduled for THURSDAY evening, MARCH 17, 1994, beginning at 7:30 P.M. at Town Hall.

Enclosed is a copy of my memorandum to the Members and Alternates of the Board of Zoning Adjustment, my letters to the attorneys, and the proposed Notice of Public Hearing. I have requested input from the attorneys, and will defer submitting the Notice for publication until after February 18.

Please have the properties and Town Hall bulletin board posted with notice of the public hearing no later than Friday, February 25, 1994.

Please also prepare the Agenda as per the Notice enclosed. Thank you for your continuing cooperation. Please let me know if you need anything further at this point.

DKS/sd
enc.

The Law Offices of
DOUGLAS K. SANDS, P. A.

General Practice of Law
Certified Court Mediator
County • Circuit • Family
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida
P.O. Box 287, Stuart, FL 34995
Telephone (407) 287-3930
Fax (407) 287-3931

February 15, 1994

Terence P. McCarthy, Esq.
McCarthy, Summers, Bobko, McKey & Bonan, P.A.
2081 E. Ocean Blvd., Ste. 2-A
Stuart, Florida 34996

Re: Dikeman variance application to Sewall's Point

Dear Terry:

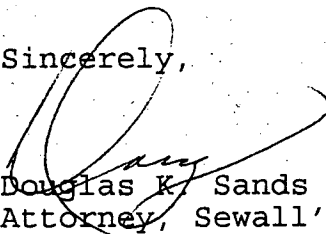
Thank you for your prompt turnaround on the application. The hearing has been scheduled for March 17, following the Butscher variance hearing which begins at 7:30 P.M.

In looking over the application and statement of benefits, it appears that the applicant is seeking a variance from a rear yard setback requirement of 25 feet, and that provision of the Code is cited in the proposed Notice, copy enclosed. It also appears that a previous variance was granted on the front yard of the property. It might be helpful for the Board if they had a copy of that previous variance document.

Please review the enclosed Notice of Public Hearing, and let me know by February 18 if any corrections are needed. Unless I hear otherwise from you, I will conclude that you agree that the cited provisions of the Code correctly reflect the provisions from which the applicant seeks variances.

Thanks for your assistance.

Sincerely,


Douglas K. Sands
Attorney, Sewall's Point
Board of Zoning Adjustment

DKS/sd
Enc.

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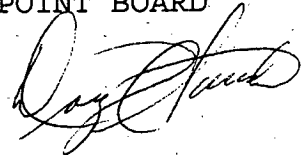
February 15, 1994

MEMORANDUM

TO: MEMBERS AND ALTERNATES OF THE SEWALL'S POINT BOARD
OF ZONING ADJUSTMENT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY

RE: (1) Butscher Variance Hearing
(2) Dikeman Variance Hearing



The above variance hearings have been scheduled for THURSDAY evening, March 17, 1994, at 7:30 P.M., at Town Hall.

A copy of the application packages, the Notice to be published in the Stuart News, my letters to the applicant's attorneys, and my memorandum to the Town Clerk are enclosed.

At this time I understand that the following Regular Members are available for the hearing:

Mr. Connolly
Mr. Houtrides

Mr. Glover
Mr. Guenther

Mr. Gabrynowicz

I also understand that Alternate Members, Dotty Thomson and Richard Hammock, are available should any Regular Member be unable to serve.

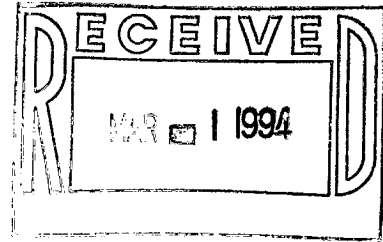
DKS/sd

Enc.

Copy: Town Clerk

JOHN C. REIB

4 BAKU STREET • STUART, FLORIDA 34996



FEBRUARY 28, 1994

SEWALL'S POINT BOARD OF ADJUSTMENT
ONE SOUTH SEWALL'S POINT ROAD
STUART, FL 34996

GENTLEMEN:

RE: LOT 39 - THE ARCHIPELAGO

WE LIVE DIRECTLY ACROSS THE LAGOON FROM MR. AND MRS. PAUL DIKEMAN, SO THEIR HOUSE IS IN THE CENTER OF OUR VIEW.

THE PROPERTY IS WELL MAINTAINED AND FITS IN PERFECTLY WITH THE WELL KEPT LANDSCAPING. PLEASE DON'T DESTROY THIS VIEW!

WE BELIEVE IT WOULD BE A BEAURACRATIC CRIME TO CAUSE THE DIKEMANS TO SPEND MONEY TO DESTROY A PERFECTLY NICE HOUSE - ALL BECAUSE 20 YEARS AGO TOWN OFFICIALS DID NOT ENFORCE CODES.

CORDIALLY,

John C. Reib - Lee E. Reib

JOHN C. REIB

TELEPHONE AND FAX (407) 286-9865

The Law Offices of

DOUGLAS K. SANDS, P. A.

General Practice of Law
Certified Court Mediator
County • Circuit • Family
Certified Court Arbitrator

300 Colorado Ave., Stuart, Florida
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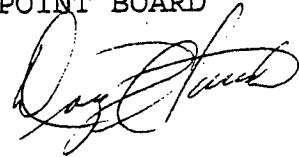
February 15, 1994

MEMORANDUM

TO: MEMBERS AND ALTERNATES OF THE SEWALL'S POINT BOARD
OF ZONING ADJUSTMENT

FROM: BOARD OF ZONING ADJUSTMENT ATTORNEY

RE: (1) Butscher Variance Hearing
(2) Dikeman Variance Hearing



The above variance hearings have been scheduled for THURSDAY evening, March 17, 1994, at 7:30 P.M., at Town Hall.

A copy of the application packages, the Notice to be published in the Stuart News, my letters to the applicant's attorneys, and my memorandum to the Town Clerk are enclosed.

At this time I understand that the following Regular Members are available for the hearing:

Mr. Connolly
Mr. Houtrides

Mr. Glover
Mr. Guenther

Mr. Gabrynowicz

I also understand that Alternate Members, Dotty Thomson and Richard Hammock, are available should any Regular Member be unable to serve.

DKS/sd

Enc.

Copy: Town Clerk.

NATHAN R. OWEN
18 SIMARA STREET
STUART, FLORIDA 34996

March 1, 1994

Sewall's Point Board of Adjustment
1 South Sewall's Point Road
Stuart, Florida 34996

RE: Lot 39, THE ARCHIPELAGO, Plat Book 4, page 48,
Public Records of Martin County, Florida

To Whom It May Concern:

With reference to the granting of a variance on Lot 39, THE ARCHIPELAGO, Plat Book 4, page 48, Public Records of Martin County, Florida, please be advised that I am definitely in favor of the granting of the variance as requested by the current property owners.

Very truly yours,

A handwritten signature in black ink, appearing to read "Nathan R. Owen". The signature is written in a cursive style with a long horizontal flourish at the end.

RECEIVED
- 7 1994

Mr. Frederic G. Krapf, Jr.
22 Samara Drive
Stuart Florida 33494

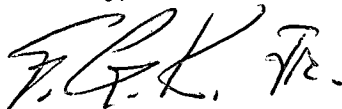
March 3, 1994

Mr. Terrence McCarthy
McCarthy, Summers, Bobko, McKey & Bonan, P.A.
2081 E. Ocean Boulevard, Suite 2-A
Stuart, Florida 34996

Dear Mr. McCarthy:

I am in complete agreement with your letter of February 23, 1994, and feel that a variance from the front and rear setback requirements as set forth in Subsection G of Section VI, Residential Districts of Appendix B, Zoning, to the Town Code, should be granted. I am sure that there are several properties in violation of this code, and it would be most beneficial to the owners of all properties to state that any existing violations are excepted. I cannot believe that you would require an owner to tear down a building that had been constructed some time ago.

Sincerely,



Frederic G. Krapf, Jr.

FGK/mj

3617

REMODEL

3417

TAX FOLIO NO. _____

DATE _____

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner BILL & PEGGY HART Present address _____

Phone 221- 8250 _____

Contractor BONCO CONST. INC. Address 5354 SE INLET PL.

Phone 206- 4038 STURRY FL. 34997

Where licensed FLA. License number CGC020462

Electrical Contractor A/C ELECTRIC License number _____

Plumbing Contractor DYLBUSKI PLBG. License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought:

Rem SINGLE FAMILY RES.

State the street address at which the proposed structure will be built:

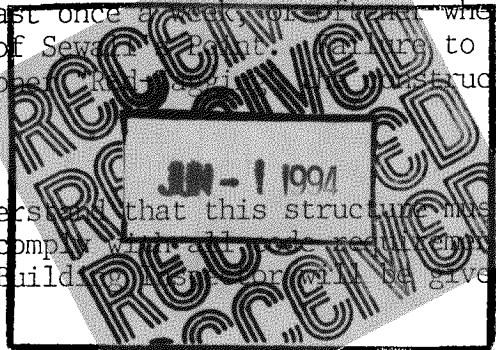
25 SIMARA ST.

Subdivision ARCHIPELAGO Lot Number 39 Block Number _____

Contract price \$ 60,000.00 Cost of permit \$ 880 00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener, when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner stopping construction project.



Contractor Robert J. Glawatz

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector or Commissioner will be given.

Owner Margaret S. Hart

TOWN RECORD

Date submitted _____

Approved: Dale Brown 6/7/94
Building Inspector Date

Approved: [Signature] 6/9/94
Commissioner Date

Final approval given: _____ Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____ Date

PERMIT NO. _____

This Document Prepared By **MARSHA STILLER**
CLERK OF CIRCUIT COURT
Terence P. McCarthy, Esq.
McCarthy, Summers, Bobko McKey & Bonap, P.A.
2081 S.E. Ocean Blvd. Suite 2A
Stuart, FL 34996

RECORDED & VERIFIED
BY **DO** D.C.
94 MAR 21 PM 4:32

2,940.00
MARSHA STILLER

Parcel ID Number: 13-38-41-001-000-00390.40000
Grantee #1 TIN:
Grantee #2 TIN:

BY **WT** D.C.

[Space Above This Line For Recording Data]

Warranty Deed

This Indenture, Made this 21st day of March, 1994 A.D., Between
PAUL C. DIKEMAN and JEAN T. DIKEMAN, his wife,

of the County of Martin, State of Florida, grantors, and
WILLIAM H. HART and MARGARET L. HART, his wife,

whose address is: 25 Simara Street, STUART, Florida 34996

of the County of MARTIN, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of

----- TEN & NO/100 (\$10.00) ----- DOLLARS,

and other good and valuable consideration to GRANTORS in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEES and GRANTEES' heirs and assigns forever, the following described land, situate, lying and being in the county of Martin State of Florida to wit:

Lot 39 of The Archipelago according to the plat thereof as recorded in Plat Book 4 at Page 48 of the Public Records of Martin County, Florida.

Including the Easement rights set forth in that certain Grant of Easement dated 1/31/94 and recorded in O.R. Book 1053, Page 1853, Public Records of Martin County, Florida.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to 1993.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Terence P. McCarthy
Printed Name: **TERENCE P. MCCARTHY**
Witness

Paul C. DiKeman (Seal)
PAUL C. DIKEMAN
P.O. Address 3891 SE Fairway West, Stuart, FL 34996


Lawrence E. Cray III
Printed Name: **Lawrence E. Cray III**
Witness

Jean T. DiKeman (Seal)
JEAN T. DIKEMAN
P.O. Address 3891 SE Fairway West, Stuart, FL 34996

STATE OF Florida
COUNTY OF Martin

The foregoing instrument was acknowledged before me this 21st day of March, 1994 by
PAUL C. DIKEMAN and JEAN T. DIKEMAN, his wife,

who are personally known to me or who have produced their Florida driver's licenses as identification.

 **TERENCE P. MCCARTHY**
COMMISSION # CC 348074
EXPIRES FEB 13, 1998
BONDED THRU
ATLANTIC BONDING CO., INC.

Terence P. McCarthy
Printed Name: **TERENCE P. MCCARTHY**
NOTARY PUBLIC
My Commission Expires:

LAST PAGE

NOTICE OF COMMENCEMENT

STATE OF FLA.
COUNTY OF MARTIN

The undersigned hereby informs all concerned that improvements will be made to certain real property, and in accordance with Section 713.13, Florida Statutes, the following information is stated in this NOTICE OF COMMENCEMENT. This notice shall be void and of no force and effect if construction is not commenced within 30 days of recordation.

DESCRIPTION OF PROPERTY:

General description of improvements: REMODELING

Owner: BILL & PEGGY HART
Address: 18 HERON'S WEST STUART 34996

Owner's interest in site of the improvement: _____

Contractor: BROWN CONSTRUCTION INC.
Address: P.O. BOX 325 PORT SACRAMENTO, FL. 34992

Surety (if any): N/A
Address: _____
Amount of Bond: _____

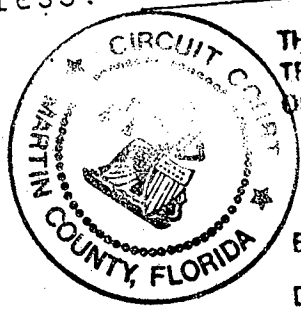
Lender: N/A
Address: _____

Name of person within the State of Florida designated by owner upon whom notices or other documents may be served:

Name: N/A
Address: _____

In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.06(2)(b), Florida Statutes:

Name: _____
Address: STATE OF FLORIDA
COUNTY OF MARTIN



THIS IS TO CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
BY Marsha Stiller CLERK
DATE 6-1-94 D.C.

Margaret L Hart

Sworn to and subscribed before me this 1 day of June, 1994.

Linda M. Romanelli

I am a Notary Public of the STATE OF Florida AT LARGE, and My Commission Expires:

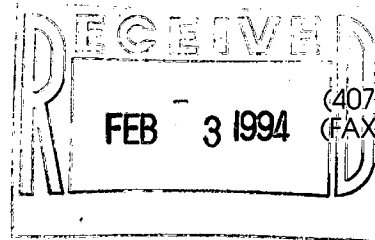
(NOTARY SEAL)

McCARTHY, SUMMERS, BOBKO, McKEY & BONAN, P.A.

Attorneys at Law

2081 E. Ocean Boulevard
Suite 2-A
Stuart, FL 34996

Terence P. McCarthy
Robert P. Summers
Noel A. Bobko
John D. McKey, Jr.
W. Martin Bonan



February 2, 1994

Town of Sewall's Point
1 S. Sewall's Point Road
Stuart, Florida 34996

Attn: Commissioner Chardavoyne

Re: Lot 39, Archipelago - Paul Dikeman and Jean
Dikeman, his wife

Dear Chad:

You and I have previously discussed the Dikeman residence located on the Archipelago. As I noted to you, Mr. and Mrs. Dikeman are in the process of selling this residence. As you know, this residence was the subject matter of a variance back in the early 70's. At this point, we would like to obtain from the Town, some written indication that the Town will not require the removal of any of the improvements located upon the premises because of any apparent setback violations. If it is more convenient for you to simply sign the bottom of this letter to indicate the Town's approval to this, please feel free to do so. If you feel it is appropriate to give a more formal written response from the Town, please do so.

Your courtesy and cooperation in this matter is sincerely appreciated.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Terence P. McCarthy".

Terence P. McCarthy

TPM/ja

cc: client

Lawrence Crary, Esq.

TOWN of SEWALL'S POINT

COMMISSIONERS:

WILLIAM H. BEDELL, MAYOR
B.J. ESCUE, VICE MAYOR
SEWARD R. CHARDAVOYNE, COMMISSIONER
ERIC B. HOLLY, COMMISSIONER
JOAN PERRY WILCOX, COMMISSIONER



TELEPHONE: (407) 287-2455
FAX (407) 220-4765

TOWN CLERK
JOAN H. BARROW

CHIEF OF POLICE
LOUIS J. SAVINI

One South Sewall's Point Road, Sewall's Point, Stuart, Florida 34996

February 3, 1994

Terence P. McCarthy, Esq.
McCarthy, Summers, Bobko, McKey & Bonan
2081 E. Ocean Boulevard Suite 2-A
Stuart, Florida 34996

Re: Lot 39, Archipelago - Paul Dikeman
and Jean Dikeman, his wife

Dear Mr. McCarthy:

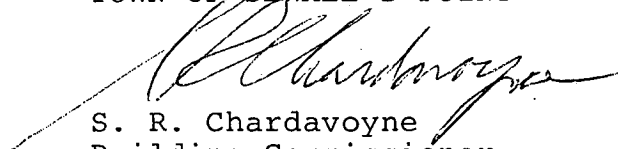
In response to your letter of February 2, 1994 in regard to the Dikeman residence, the variance granted by the Town on March 19, 1971 was unclear re the length of the set back approved. The numbers 23', 25', and 29' all appear in the file.

The southeast corner of the house is currently found to be 23' from the street. Because of the lack of clarity on the Town's files on this matter, this disclosure would not precipitate any action on my part as building commissioner. However, I cannot speak for the Town or any of my successors.

If it is your purpose to clarify the matter for all times, I believe that only the Board of Variance has that authority.

Sincerely,

TOWN OF SEWALL'S POINT


S. R. Chardavoyne
Building Commissioner

SRC:pja

MCCARTHY, SUMMERS, BOBKO, McKEY & BONAN, PA.
Attorneys at Law

2081 E. Ocean Boulevard
Suite 2-A
Stuart, FL 34996

(407) 286-1700
(FAX) 283-1803

Terence P. McCarthy
Robert P. Summers
Noel A. Bobko
John D. McKey, Jr.
W. Martin Bonan

TELECOPIER TRANSMITTAL NOTICE

The information contained in this transmission is attorney-client privileged and confidential. It is intended only for the use of the individual or entity named below. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copy of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone collect and return the original message to us at the above address via the U.S. Postal Service. We will reimburse you for postage. Thank you.

PLEASE DELIVER THE FOLLOWING PAGES TO:

NAME: Dale

FIRM: _____

TELEPHONE NUMBER: _____

FAX NUMBER: _____

FROM: Terry McCarthy

BY: _____

DATE: 1/28/94

FILE NUMBER: _____

TOTAL NUMBER OF PAGES: 2
(Including this Telecopier Transmittal Notice)

MESSAGE/SPECIAL INSTRUCTIONS:

DOCUMENT TRANSMITTED: _____

If you do not receive all the pages, please call the sender as soon as possible: 407-286-1700.



NOTE: Water Service;
Underground Power

ara Street
Florida

ON:

MIPELAGO, according to the Plat thereof, filed 25 February, 1966 and recorded in Plat Book 4,
County, Florida, Public Records.

RS, BOBKO, McKEY & DONAN, P.A., ATTORNEYS; TITLE INSURANCE FUND, INC.; CRARY, BUCHANAN, BOWDISH,
ANS, CHARTERED; and MARGARET L. HART AND/OR ASSIGNS

Flood Zone "A3"

3594

DOCK REPAIR

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including a plot plan showing set-backs; plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Peggy & Bill Hart Present Address 25 Simara Street
Phone _____ Sewalls Point

Contractor Robert Sandy Construction, Inc. Address 3452 NE Indian Drive
Phone 407-334-3046 Jensen Beach, FL 34957

Where licensed State of Florida License number CGC040310

Electrical contractor _____ License number _____

Plumbing contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: Repair of old dock ramp and walk

6'x60' dock, 6'x23' ramp, 4'x13' walk (deck)
State the street address at which the proposed structure will be built:

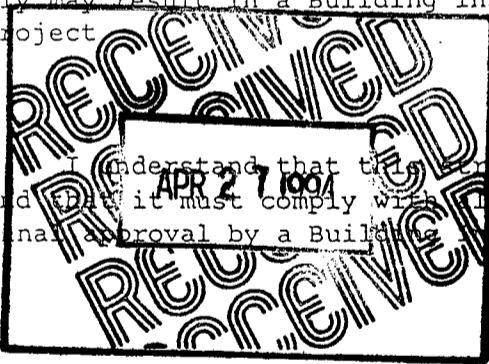
20 Castle Hill way

Subdivision Castle Hill Lot number 23 Block number _____

Contract price \$ 7400⁰⁰ Cost of permit \$ 64.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "red-tagging" the construction project.



Contractor [Signature]

I understand that this structure must be in accordance with the approved plans and that it must comply with all code requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.

Owner [Signature]

TOWN RECORD

Date submitted _____ Approved: Pale Brown 4/27/94
Building Inspector _____ Date _____

Approved: [Signature] 5/12/94 Final Approval given: _____
Commissioner _____ Date _____ Date _____

Certificate of Occupancy issued (if applicable) _____
Date _____

SP1282

Permit No. _____

Approval of these plans in no way relieves the contractor or builder of complying with the Town of Sewall's Point Ordinances, the South Florida Building Code and the State of Florida Model Energy Efficiency Building Code.

01059939

94 APR 29 PM 5:17

TO BE COMPLETED IF CONSTRUCTION VALUE EXCEEDS \$2500.00

Permit No. _____

Tax Folio No. _____

NOTICE OF COMMENCEMENT

State of Florida
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available)

lot 23 Castle Hill Archipelago Lot 39

*Due to an error by office personnel the incorrect legal was written.

General Description of Improvements: _____

Repair old dock, ramp and walk 6'x23' ramp, 4'x13' walk 10'x10' deck

owner: Peggy & Bill Hart

Address: 25 Simara Street Sewalls Point

Owner's interest in property: _____

Fee Simple Title Holder (if other than owner): _____

Address: _____

Contractor: Robert Sandy Construction, Inc.

Address: 3452 NE Indian Drive, Jensen Beach, FL 34957

Surety Co. (if any) _____

Address: _____ Amt. of Bond \$ _____

Lender's Name: _____

Address: _____

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

Name: _____

Address: _____

In addition to himself, Owner designates _____ of _____

Notice as provided in Section 713.13(1)(b) Florida Statutes. _____

Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____

THIS IS TO CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF THE ORIGINAL.

MARSHA STILLER, CLERK

Signature of Owner

STATE OF FLORIDA


BY [Signature] D.C.

COUNTY OF MARTIN

DATE 5.14.94

The foregoing instrument was acknowledged before me this 25th day of April, 1994, by William Hart, who is personally known to me, or who has produced _____

Karen Holland

 KAREN HOLLAND
Notary Public, State of Fla.
My Comm. Exp. June 13, 1996
Comm No. CC 209004

LAST PAGE

TO BE COMPLETED IF CONSTRUCTION VALUE EXCEEDS \$2500.00

Permit No. _____

Tax Folio No. _____

NOTICE OF COMMENCEMENT

State of Florida
County of Martin

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Legal Description of Property (include street address, if available)

lot 23 Castle Hill

General Description of Improvements: _____

Repair old dock, ramp and walk 6'x23' ramp, 4'x13' walk 10'x10' deck

owner: Peggy & Bill Hart

Address: 25 Simara Street Sewalls Point

Owner's interest in property: _____

Fee Simple Title Holder (if other than owner): _____

Address: _____

Contractor: Robert Sandy Construction, Inc.

Address: 3452 NE Indian Drive, Jensen Beach, FL 34957

Surety Co. (if any) _____

Address: _____ Amt. of Bond \$ _____

Lender's Name: _____

Address: _____

Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

Name: _____

Address: _____

In addition to himself, Owner designates _____ of

_____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____

Signature of Owner

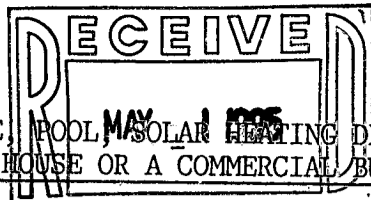
STATE OF FLORIDA
COUNTY OF MARTIN

The foregoing instrument was acknowledged before me this _____ day of _____, 199____, by _____ who is personally known to me or who has produced _____

3790

SCREEN ENCLOSURE

TAX FOLIO NO. _____



DATE 4/24/95

APPLICATION FOR A PERMIT TO BUILD A DOCK, FENCE, POOL, SOLAR HEATING DEVICE, SCREENED ENCLOSURE, GARAGE OR ANY OTHER STRUCTURE NOT A HOUSE OR A COMMERCIAL BUILDING

This application must be accompanied by three (3) sets of complete plans, to scale, including plot plan showing set-backs, plumbing and electrical layouts, if applicable, and at least two (2) elevations, as applicable.

Owner Bill Hart Present address 25 Simara St

Phone _____

Contractor Pioneer Screen Address 321 SE Waaler St

Phone 283-9197

Where licensed Martin County License number 3000460104

Electrical Contractor _____ License number _____

Plumbing Contractor _____ License number _____

Describe the structure, or addition or alteration to an existing structure, for which this permit is sought: screen enclosure

State the street address at which the proposed structure will be built:

25 Simara St

Subdivision Sewells Point Lot Number 39 Block Number _____

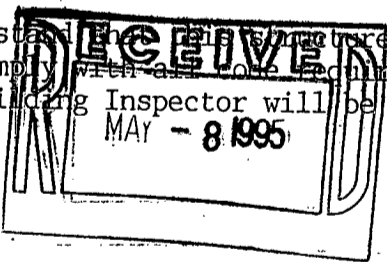
Contract price \$ 1000.00 Cost of permit \$ 100.00

Plans approved as submitted _____ Plans approved as marked _____

I understand that this permit is good for 12 months from the date of its issue and that the structure must be completed in accordance with the approved plan. I further understand that approval of these plans in no way relieves me of complying with the Town of Sewall's Point Ordinances and the South Florida Building Code. Moreover, I understand that I am responsible for maintaining the construction site in a neat and orderly fashion, policing the area for trash, scrap building materials and other debris, such debris being gathered in one area and at least once a week, or oftener when necessary, removing same from the area and from the Town of Sewall's Point. Failure to comply may result in a Building Inspector or Town Commissioner "Red-Tagging" the construction project.

Contractor [Signature]

I understand that the structure must be in accordance with the approved plans and that it must comply with all the requirements of the Town of Sewall's Point before final approval by a Building Inspector will be given.



* Owner Bill Hart

TOWN RECORD

Date submitted _____

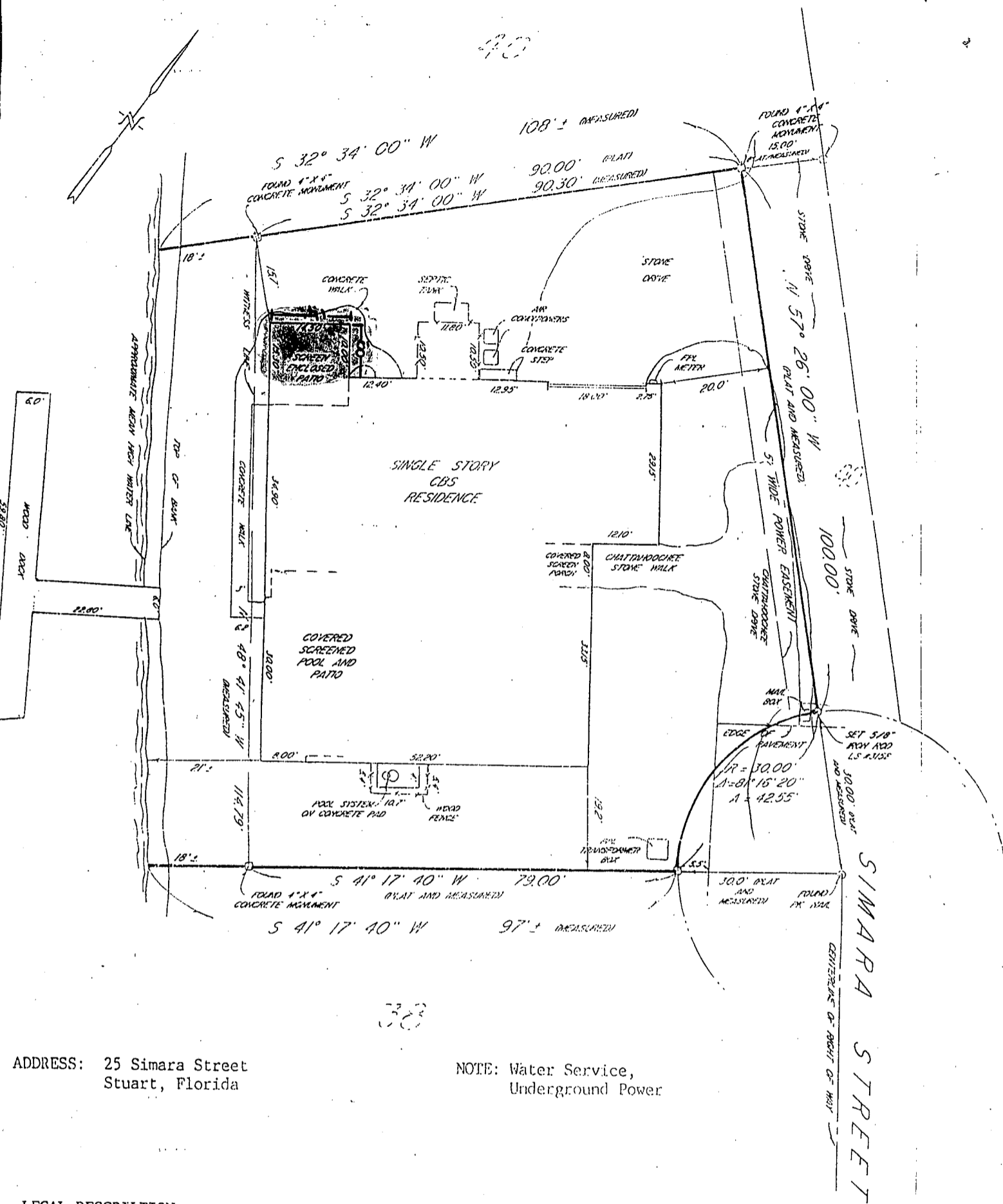
Approved: [Signature] 5/8/95
Building Inspector Date

Approved: [Signature]
Commissioner Date

Final approval given: _____
Date

CERTIFICATE OF OCCUPANCY issued (if applicable) _____
Date

PERMIT NO. _____



ADDRESS: 25 Simara Street
Stuart, Florida

NOTE: Water Service,
Underground Power

LEGAL DESCRIPTION:

Lot 39, THE ARCHIPELAGO, according to the Plat thereof, filed 25 February, 1966 and recorded in Plat Book 4, Page 48, Martin County, Florida, Public Records.

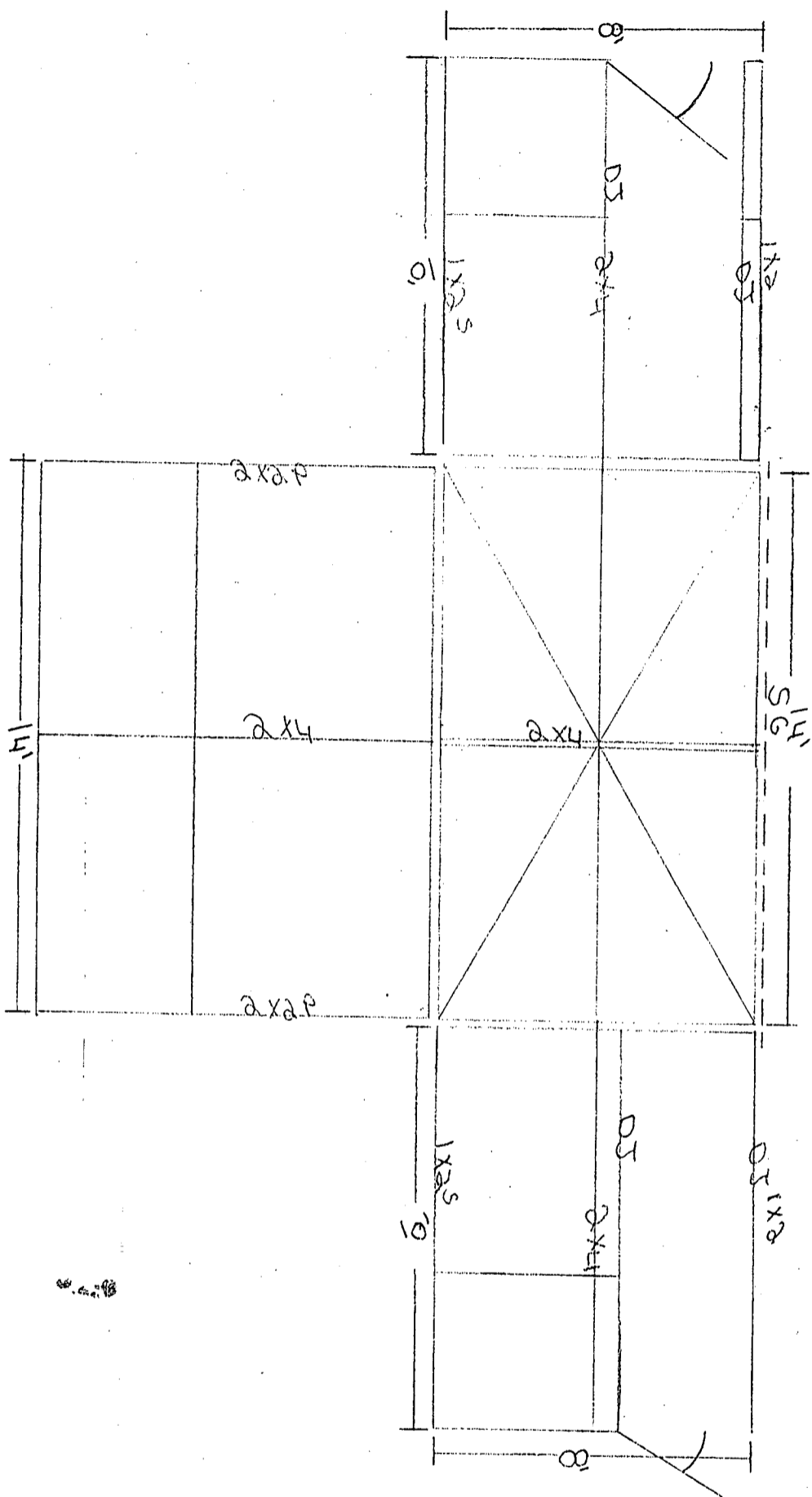
CERTIFIED TO:

McCARTHY, SUMMERS, BOBKO, McKEY & BONAN, P.A.; ATTORNEYS' TITLE INSURANCE FUND, INC.; CRARY, BUCHANAN, BOWDISH, BO LORD, ROBY & EVANS, CHARTERED and MARGARET L. HART AND/OR ASSIGNS

Flood Zone "A8"

Bearings hereon are referred to an assumed value of North 57° 26' 00" West for the Easterly lot line of subject property; said bearing is identical with the plat of record.

2x4 Beam - 2x4 Upright
Hip Style Roof
18/14 Charn. Screen.

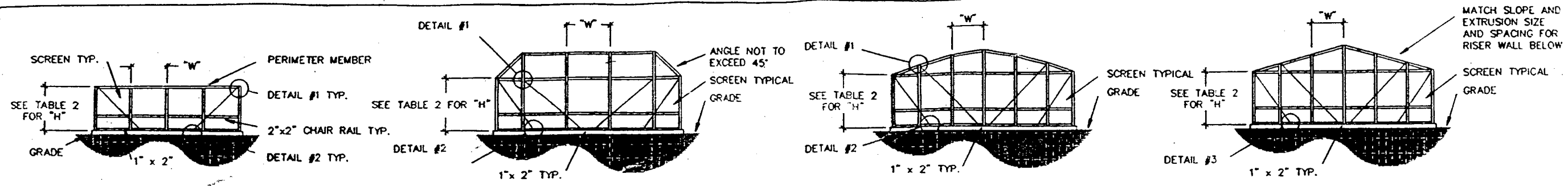


THE DESIGNS AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:
 1. STANDARD BUILDING CODE 1994 ED. CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF SICC 10-95
 2. BOCA NATIONAL BUILDING CODE 1993
 3. TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE 6-89

SCREEN ENCLOSURES

Lawrence E. Bennett, P.E.
 CIVIL ENGINEER - DEVELOPMENT CONSULTANT
 P.O. BOX 4368
 PORT ORANGE, FLORIDA 32119
 TELEPHONE: (904) 767-4774
 FAX: (904) 767-6556

JAN 02 1995
 SHEET # 1
 OF 4

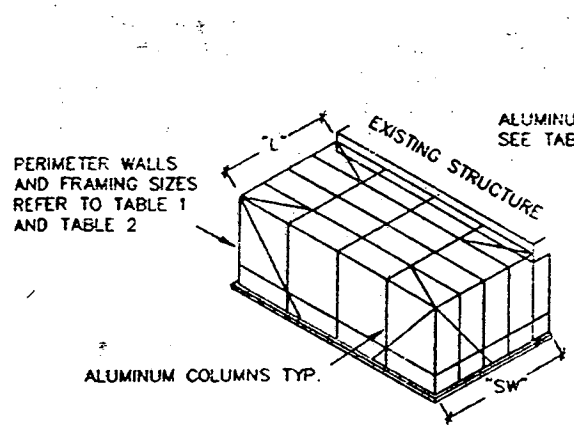


TYPICAL FLAT ROOF ELEVATION

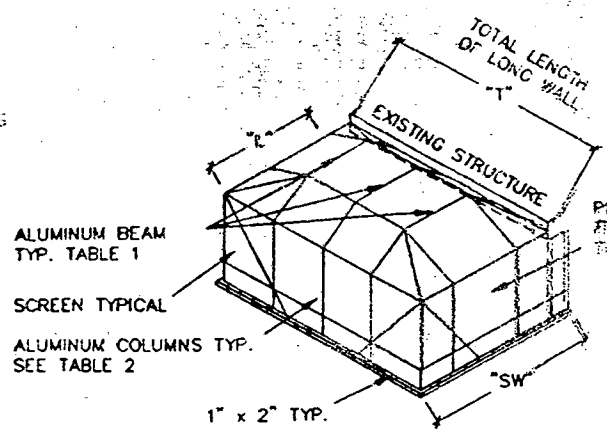
TYPICAL MANSARD ROOF ELEVATION

TYPICAL DOME ROOF ELEVATION

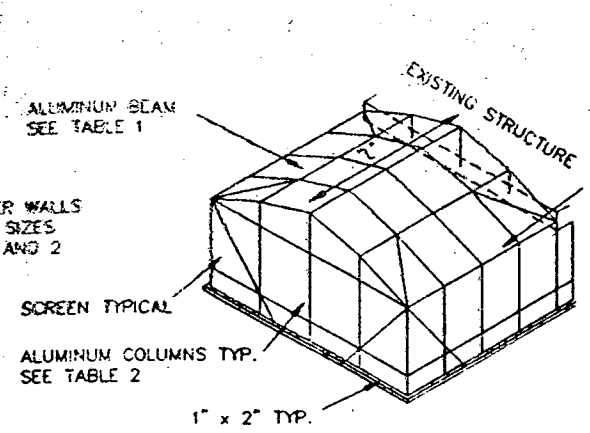
TYPICAL GABLE ROOF ELEVATION



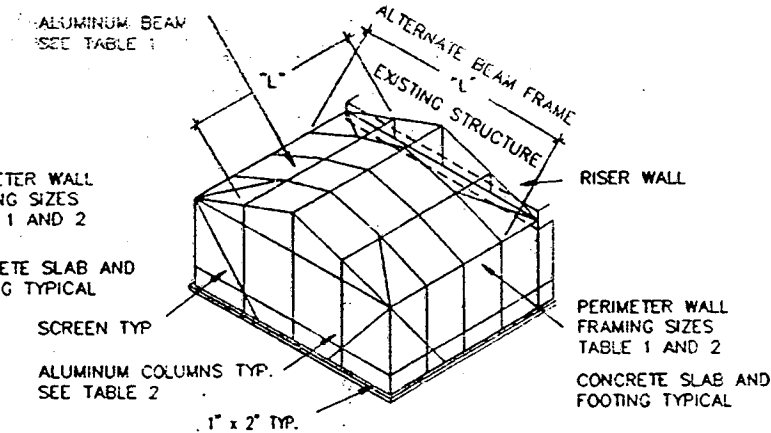
TYPICAL FLAT ROOF ISOMETRIC



TYPICAL MANSARD ROOF ISOMETRIC



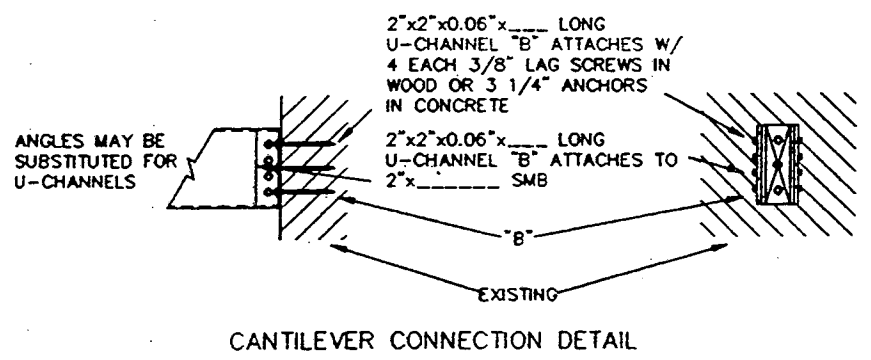
TYPICAL DOME ROOF ISOMETRIC



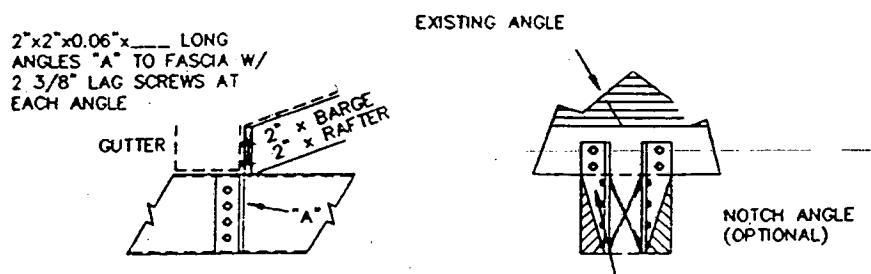
TYPICAL GABLE ROOF ISOMETRIC

NOTES:

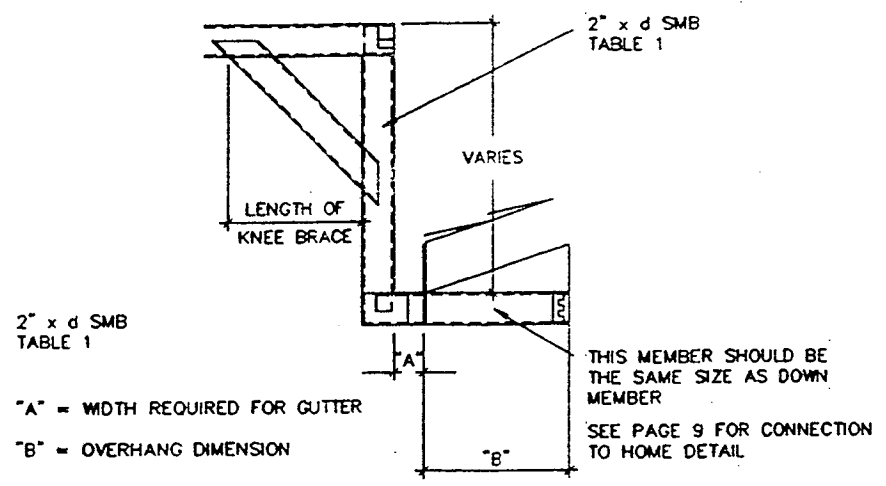
- "W" = SCREEN PANEL SPACING
- "L" = MAXIMUM BEAM SPAN WITHOUT KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO SPAN FROM TABLES.
- "H" = MAXIMUM UPRIGHT HEIGHTS
- "SW" = SIDE WALLS CAN BE FRAMED WITHOUT TOP BEAM AND CAN BE SMALLEST EXTRUSIONS ALLOWED BY SPAN TABLES



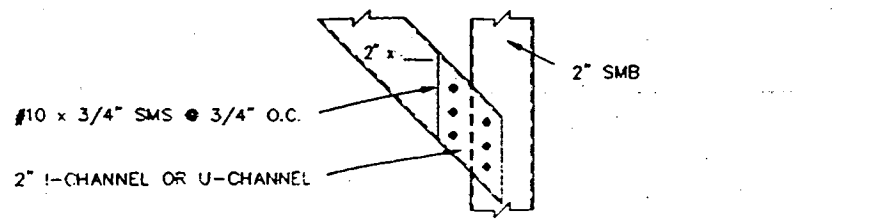
CANTILEVER CONNECTION DETAIL



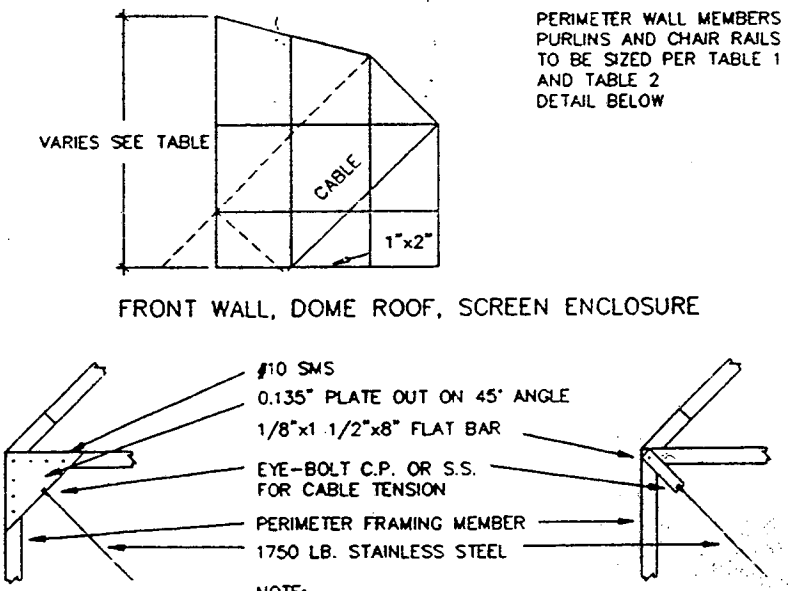
CANTILEVER CONNECTION ENLARGED



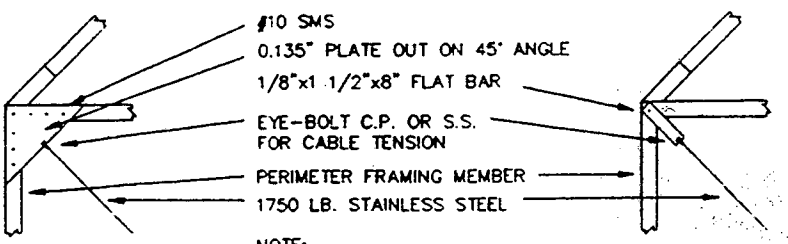
CANTILEVERED KNEE BRACE



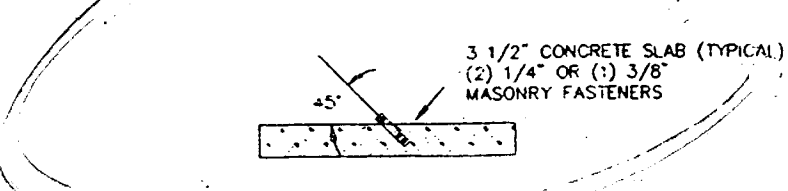
2" x 2" AND 2" x 3" KNEE BRACE CONNECTION DETAIL



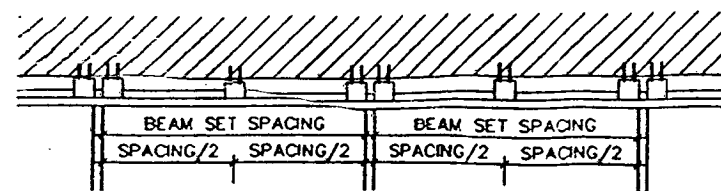
FRONT WALL, DOME ROOF, SCREEN ENCLOSURE



DETAIL #1-TYPICAL-CABLE-CONNECTION AT CORNER



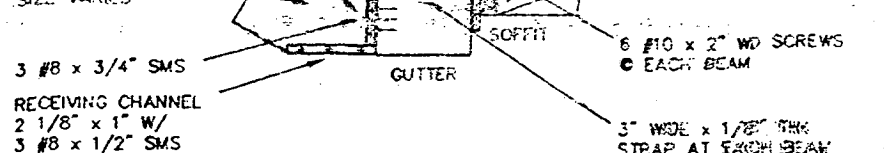
DETAIL #2-TYPICAL-CABLE-CONNECTION AT CORNER



ANGLE LOCATION FOR SUPER GUTTER REINFORCEMENT

RECEIVING CHANNEL
2 1/8" x 1" x 0.062"
W/ 4 #8 x 3/4" SMS
EACH SIDE OF EACH BEAM
AND 6 #8 x 3/4" SMS
INTO GUTTER

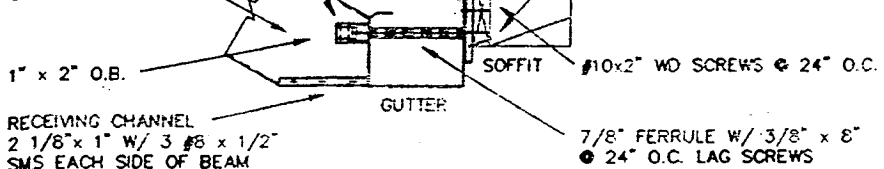
SL OR SM BEAM
SIZE VARIES



SMB CONNECTION TO SUPERGUTTER

2" x 2" x 0.093" ANGLE
W/ 4 #8 x 3/4" SMS AND
2 1/4" THRU BOLTS EACH
SIDE @ EACH BEAM

SL OR SM BEAM
SIZE VARIES



TYPICAL SL OR SM BEAM AND GUTTER CONNECTION

PLATE TO BE SAME WALL
THICKNESS AS BEAM
PLATE CAN BE INSIDE OR
OUTSIDE BEAM OR LAP CUT
BEAM SPLICE SHALL BE MIN.
OF d-1/2" HEIGHT AND
2(d-1/2") IN LENGTH
MIN. SCREWS PER SPLICE
TOTAL / SIDE OF SPLICE

2" x 4"	4 / 2
2" x 5"	4 / 2
2" x 6"	4 / 2
2" x 7"	6 / 3
2" x 8"	8 / 4
2" x 9"	10 / 5

DENOTES SCREW PATTERN
NOT NUMBER OF SCREWS

TYPICAL BEAM SPLICE DETAIL

2" x 2" OR 2" x 3" OR 2" SMB POST

ANCHOR 1" x 2" x 0.044" PLATE
TO CONCRETE WITH 1/4" x 2 1/2"
CONCRETE ANCHORS WITHIN 6" OF
EACH SIDE OF EACH POST @ 24"
O.C. MAX. OR THROUGH ANGLE @
24" O.C. MAX.

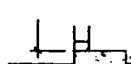
MIN. 3 1/2" SLAB 2500 PSI CONC.
6x6-10x10 W.W.M. OR FIBER MESH



ALTERNATE POST TO BEAM
AND PLATE TO CONCRETE

2" x 2" x 1/8" ANGLE EACH SIDE
ATTACH TO POST AND CONCRETE
AT LOAD BEARING WALL WITH
2 #10 x 1/2" SMS EACH SIDE

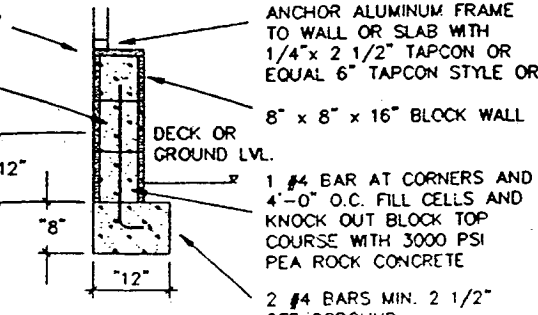
1" x 2" EXTRUSION
1 1/8" MIN. IN CONC.



RIBBON FOOTING
FOR SCREENED ENCLOSURES

OPTIONAL CONC. CAP
BLOCK OR BRICK
1 #4 BAR CONT.

MAX. DIFFERENTIAL
IN SOIL HEIGHT



KNEE WALL FOOTING FOR SCREENED ENCLOSURES

1" x 2" SNAP EXTRUSIONS TO
2" x 2" W/ #10 x 1 1/2" SMS
@ 24" O.C. OR CONTINUOUS
SNAP SECTIONS

2" x 2" PURLINS ATTACH TO
BEAMS W/ 2 #10 x 1 1/2"
SMS OR SNAP BEAM
EQUIVALENT

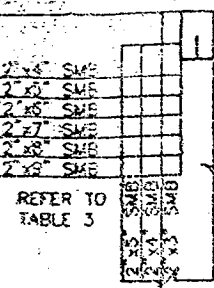
1" x 2" O.B. FASTENED TO SMB
W/ 2 #10 x 1 1/2" SMS

SELF MATING BEAM
SEE TABLE 1

2" x 2" PATIO OR SNAP
FASTENED TO BEAM W/
2 #10 x 1 1/2" SMS

2" x 2" SMB POST
TABLE 2

BEAM TO UPRIGHT CONNECTION DETAIL #1

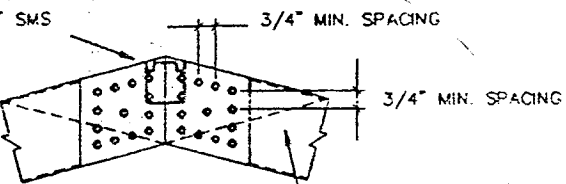


BEAM TO UPRIGHT CONNECTION DETAIL #2

NOTE: 2" x 3" UPRIGHT MUST BE
NOTCHED FOR 2" x 2" EDGE
PURLINS
SQUARES ON VARIOUS BEAM
TO UPRIGHT SIZES DENOTE
POSSIBLE SCREW PATTERNS

2" x 2" PURLINS ATTACH TO
BEAMS W/ 2 #10 x 1 1/2" SMS

SEE TABLE 3 FOR NUMBER
OF SCREWS PER CONNECT

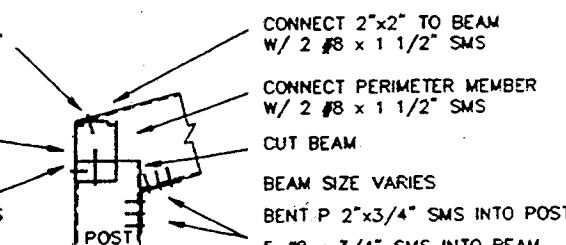


TYPICAL SIDE PLATE CONNECTION DETAIL #3

BENT P 3/4" x 2 3/4" x 0.062"

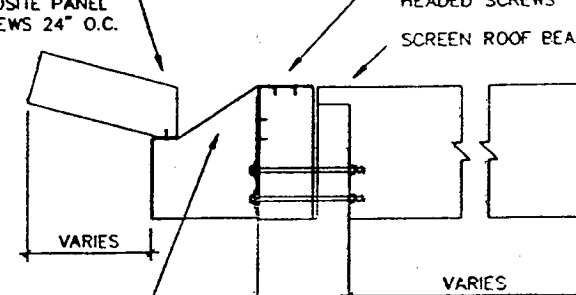
2 #8 x 3/4" SMS

1" x 2" EXTR. FASTENED TO
2" x 2" W/ #10 x 1 1/2" SMS
@ 24" O.C.



SOLID COVERS ATTACHED WITH
#10 x 1/2" SMS @ 6" O.C. WITH
WASHERS OR COMPOSITE PANEL
WITH 1/4" LAG SCREWS 24" O.C.

2 #10 x 3/4" CORROSION
RESISTIVE AND WASHER
HEADED SCREWS



ALUMINUM STRAP OR 1/4" THRU
BOLT AND 1/2" PVC FERRULE
@ 24" O.C. SUPER GUTTER

SUPER GUTTER / SOLID ROOF / SCREEN ROOF COMBINATION

MAXIMUM SPANS FOR SUPERGUTTER AND SMB
WITH SCREENED ENCLOSURE ONE SIDE AND SOLID ROOF OTHER SIDE
ALUMINUM ALLOY 6063-T6

FOR SPAN "L" OF BEAM; USE SCREEN PANEL WIDTH "W" FROM DRAWING.
LOAD AREA = 1/2 OF SCREEN BEAM LENGTH + 1/2 OF SOLID ROOF SPAN

EXAMPLE: 44'(SCREEN BEAM WIDTH)/2 = 22'; 22'(SOLID ROOF WIDTH)/2 = 11'

FOR 2" x 6" x 0.050" x 0.12" SMB & 4" SG MAX. SPAN = 13' - 7"

LOAD AREA SCREEN	10'	12'	14'	16'	18'	20'	22'
SOLID	7'	7'	7'	7'	7'	7'	7'

BEAMS & 4" SUPERGUTTER

2" x 6" x 0.050" x 0.120"	16' - 3"	15' - 8"	15' - 1"	14' - 8"	14' - 2"	13' - 9"	13' - 5"
2" x 7" x 0.065" x 0.120"	20' - 11"	20' - 2"	19' - 6"	19' - 10"	18' - 3"	17' - 9"	17' - 3"
2" x 7" x 0.062" x 0.120"							

BEAMS & 5" SUPERGUTTER

2" x 6" x 0.050" x 0.120"	17' - 8"	17' - 0"	16' - 5"	15' - 11"	15' - 5"	15' - 0"	14' - 7"
2" x 7" x 0.065" x 0.120"	22' - 9"	21' - 11"	21' - 2"	20' - 5"	19' - 10"	19' - 3"	18' - 9"
2" x 7" x 0.062" x 0.120"							

W/ 1 BEAM INSERT

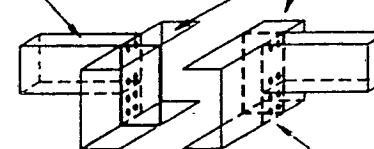
2" x 8" x 0.072" x 0.224"	25' - 10"	23' - 0"	22' - 2"	21' - 6"	20' - 10"	20' - 3"	19' - 8"
2" x 8" x 0.072" x 0.224"	30' - 11"	24' - 11"	24' - 1"	23' - 3"	22' - 7"	21' - 11"	21' - 4"
2" x 9" x 0.072" x 0.224"	35' - 2"	29' - 1"	28' - 1"	27' - 2"	26' - 4"	25' - 7"	24' - 11"

W/ 1 BEAM INSERT

2" x 8" x 0.072" x 0.224"	27' - 11"	26' - 10"	25' - 11"	25' - 1"	24' - 4"	23' - 8"	23' - 0"
2" x 9" x 0.072" x 0.224"	32' - 5"	31' - 2"	30' - 1"	29' - 2"	28' - 3"	27' - 5"	26' - 9"

PURLINS PER TABLES

INTERNAL BRACING 2" x 2" x 0.125"
EXTRUDED ANGLE T-6 ALLOY
TRIM 1/4" OFF LEG BEAM WIDTH

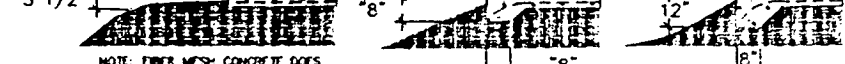


FOR SPANS GREATER THAN 40'-0"

LATERAL BRACING DETAIL

NOTE: NO FOOTING REQUIRED EXCEPT WHEN ADDRESSING EROSION

2'-0" MIN. BEFORE SLOPE	MIN. 2500 PSI CONC. W/ 6x6-10x10 W.W. MESH OR FIBER MESH TYPICAL	1 #5 BAR CONT.	1 #4 BAR CONT.
-------------------------	--	----------------	----------------



NOTE: FIBER MESH CONCRETE DOES
NO REQUIRE WIRE MESH

FLAT SLOPE / NO FOOTING	MODERATE SLOPE FOOTING	STEEP SLOPE FOOTING
0 - 2' / 12"	2' / 12" - 1' - 10"	> 1' - 10"

SLAB DETAILS ADDRESSING EROSION

THESE DESIGNS AND SPANS SHOWN ON THESE
DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS
OF THE FOLLOWING CODES:
1. STANDARD BUILDING CODE 1994 ED. CHAPTER 16
INCLUDING APPLICABLE WIND LOADS AND PROVISIONS
OF SBCCI SSTD 10-93
2. BOCA NATIONAL BUILDING CODE 1993
3. TEXAS DEPARTMENT OF INSURANCE WINDSTORM
RESISTANCE GUIDE 6-89

SCREEN ENCLOSURES

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JAN 02 1995
SHEET 1
2
OF 4

TABLE 1: MAXIMUM SPANS FOR SCREEN ROOF BEAMS OF ALUMINUM ALLOY 6063 T-6
FOR SPAN "L" OF BEAM; USE SCREEN PANEL WIDTH "W" FROM DRAWING.

EXAMPLE:
SCREEN PANEL WIDTH "W" = 4';
MAXIMUM "L" FOR A 2"x 4"x 0.044"x 0.12" SMB = 23'-10"

WIDTH "W"	3'	4'	5'	6'	7'	8'	9'
ONE PIECE EXTRUSIONS FOR PURLINS & BRACING							
2"x 2"x 0.044"x 0.12"	10'-0"	8'-7"	7'-9"	7'-1"	6'-7"	6'-2"	5'-10"
2"x 2"x 0.093" OR 2"x 3"x 0.050" EXT	13'-11"	12'-2"	10'-11"	10'-0"	9'-3"	8'-8"	8'-2"
EXTRUSION AND SELF-MATING BEAMS BEAM SPANS							
2"x 3"x 0.050" EXT	15'-7"	13'-6"	12'-1"	11'-0"	10'-2"	9'-6"	9'-0"
2"x 4"x 0.044"x 0.120" S.M.B.	27'-4"	23'-10"	21'-4"	19'-7"	18'-2"	17'-0"	16'-0"
2"x 5"x 0.050"x 0.120" S.M.B.	33'-6"	29'-9"	27'-11"	25'-1"	23'-7"	22'-5"	21'-5"
2"x 6"x 0.050"x 0.120" S.M.B.	37'-6"	32'-6"	29'-9"	27'-0"	25'-1"	23'-6"	22'-2"
2"x 7"x 0.050"x 0.120" S.M.B.	40'-9"	35'-11"	32'-3"	29'-7"	27'-5"	26'-1"	24'-3"
2"x 8"x 0.070"x 0.224" S.M.B.	55'-3"	48'-0"	43'-3"	39'-9"	36'-1"	35'-4"	34'-8"
2"x 9"x 0.070"x 0.224" S.M.B.	59'-10"	51'-10"	46'-9"	42'-11"	39'-11"	37'-6"	35'-5"
2"x 9"x 0.070"x 0.310" S.M.B.	66'-5"	58'-2"	52'-4"	48'-0"	44'-7"	41'-10"	40'-1"
SNAP EXTRUSIONS BEAM SPANS							
2"x 2"x 0.044"	11'-5"	10'-0"	8'-11"	8'-3"	7'-7"	7'-1"	6'-8"
2"x 3"x 0.045"	15'-0"	13'-1"	11'-9"	10'-9"	10'-0"	9'-4"	8'-10"
2"x 4"x 0.045"	23'-2"	20'-0"	18'-1"	16'-6"	15'-3"	14'-4"	13'-6"
2"x 6"x 0.064"	37'-2"	32'-10"	29'-6"	27'-0"	25'-1"	23'-6"	22'-2"
2"x 7"x 0.078"	43'-2"	37'-9"	34'-0"	31'-2"	29'-0"	27'-2"	25'-8"

TABLE 1a: MAXIMUM SPANS FOR SCREEN ROOF BEAMS OF ALUMINUM ALLOY 6063 T-6

FOR AREAS SUBJECT TO ICE AND WIND LOAD. AREAS NORTH OF THE LATITUDE OF JACKSONVILLE, FLORIDA

EXAMPLE:
SCREEN PANEL WIDTH "W" = 4';
MAXIMUM "L" FOR A 2"x 4"x 0.044"x 0.12" SMB = 16'-1"

WIDTH "W"	3'	4'	5'	6'	7'	8'	9'
ONE PIECE EXTRUSIONS FOR PURLINS & BRACING							
2"x 2"x 0.044"x 0.12"	6'-11"	6'-0"	5'-5"	4'-11"	4'-6"	4'-3"	4'-0"
2"x 2"x 0.093" OR 2"x 3"x 0.050" EXT	9'-9"	8'-5"	7'-6"	6'-11"	6'-4"	5'-11"	5'-7"
EXTRUSION AND SELF-MATING BEAM SPANS							
2"x 3"x 0.050" EXT	11'-8"	10'-1"	9'-1"	8'-3"	7'-8"	7'-2"	6'-9"
2"x 4"x 0.044"x 0.120" S.M.B.	18'-6"	16'-1"	14'-6"	13'-3"	12'-3"	11'-6"	10'-11"
2"x 5"x 0.050"x 0.120" S.M.B.	22'-11"	19'-1"	17'-1"	15'-8"	14'-6"	13'-7"	12'-9"
2"x 6"x 0.050"x 0.120" S.M.B.	25'-9"	22'-5"	20'-0"	18'-4"	17'-0"	15'-11"	15'-1"
2"x 7"x 0.050"x 0.120" S.M.B.	28'-3"	24'-7"	22'-0"	20'-7"	18'-8"	17'-6"	16'-6"
2"x 8"x 0.070"x 0.224" S.M.B.	38'-2"	33'-3"	29'-11"	27'-4"	25'-4"	23'-9"	22'-5"
2"x 9"x 0.070"x 0.224" S.M.B.	41'-5"	36'-1"	32'-5"	29'-7"	27'-6"	25'-9"	24'-3"
2"x 9"x 0.070"x 0.310" S.M.B.	45'-11"	40'-0"	35'-5"	32'-11"	30'-6"	28'-6"	28'-6"
SNAP EXTRUSIONS BEAM SPANS							
2"x 2"x 0.044"	8'-0"	6'-11"	6'-2"	5'-8"	5'-3"	4'-11"	4'-7"
2"x 3"x 0.045"	10'-6"	9'-1"	8'-1"	7'-5"	6'-10"	6'-5"	6'-1"
2"x 4"x 0.045"	17'-8"	15'-4"	13'-9"	12'-7"	11'-8"	10'-11"	10'-4"
2"x 6"x 0.064"	25'-8"	22'-5"	20'-1"	18'-4"	17'-0"	15'-11"	15'-5"
2"x 7"x 0.078"	29'-11"	26'-0"	23'-4"	21'-4"	19'-9"	18'-6"	17'-9"

ABOVE SPANS DO NOT INCLUDE LENGTH OF KNEE BRACE. ADD HORIZONTAL LENGTH OF KNEE BRACE TO ABOVE SPANS FOR TOTAL BEAM SPAN

PURLIN SPACING SHALL NOT EXCEED 6'-8" (40x WEB THICKNESS). FOR BEAM SPANS GREATER THAN 40' THE BEAM @ THE CENTER PURLIN AND ONE PURLIN FOR EACH 10' ON EACH SIDE OF THE CENTER PURLIN SHALL INCLUDE LATERAL BRACING. (48' SPAN W/ PURLINS @ 5' O.C. THE CENTER PURLIN AND 2 PURLINS EACH SIDE OF THE CENTER NEED LATERAL BRACING)

TABLE 2: MAXIMUM UPRIGHT LENGTH FOR SCREEN WALL MEMBERS
ALUMINUM ALLOY 6063 T-6

USING SCREEN PANEL WIDTH "W"; SELECT UPRIGHT LENGTH "H"

EXAMPLE:
SCREEN PANEL WIDTH "W" = 4'; MAXIMUM "H" FOR A 2"x 4"x 0.044"x 0.12" SMB = 17'-9"

WIDTH "W"	3'	4'	5'	6'	7'	8'	9'
ONE PIECE EXTRUSIONS FOR UPRIGHTS & CHAIR RAILS							
2"x 2"x 0.044"x 0.12"	7'-7"	6'-6"	5'-9"	5'-3"	4'-11"	4'-7"	4'-4"
2"x 2"x 0.093" OR 2"x 3"x 0.050" EXT	10'-6"	9'-1"	8'-1"	7'-5"	6'-10"	6'-5"	6'-0"
SELF-MATING BEAMS							
2"x 2"x 0.093" OR 2"x 3"x 0.050" EXT	13'-0"	11'-3"	10'-0"	9'-2"	8'-6"	7'-11"	7'-6"
2"x 4"x 0.044"x 0.120" S.M.B.	20'-6"	17'-9"	15'-11"	14'-6"	13'-5"	12'-6"	11'-10"
2"x 5"x 0.050"x 0.120" S.M.B.	25'-2"	20'-10"	18'-10"	17'-6"	16'-4"	14'-5"	13'-9"
2"x 6"x 0.050"x 0.120" S.M.B.	28'-5"	24'-8"	22'-1"	20'-2"	18'-8"	17'-5"	16'-5"
2"x 7"x 0.050"x 0.120" S.M.B.	31'-2"	27'-1"	24'-3"	22'-1"	20'-6"	19'-2"	18'-1"
2"x 8"x 0.070"x 0.224" S.M.B.	42'-5"	36'-8"	32'-1"	30'-0"	27'-9"	25'-11"	24'-5"
2"x 9"x 0.070"x 0.224" S.M.B.	45'-11"	39'-10"	35'-7"	32'-5"	30'-11"	28'-7"	26'-6"
2"x 9"x 0.070"x 0.310" S.M.B.	51'-0"	44'-2"	39'-6"	36'-0"	33'-4"	31'-3"	29'-5"
SNAP EXTRUSIONS							
2"x 2"x 0.044"	8'-7"	7'-5"	6'-8"	6'-1"	5'-7"	5'-3"	5'-11"
2"x 3"x 0.045"	11'-5"	9'-10"	8'-10"	8'-0"	7'-5"	6'-11"	6'-7"
2"x 4"x 0.045"	17'-5"	15'-1"	13'-6"	12'-3"	11'-4"	10'-8"	10'-0"
2"x 6"x 0.064"	28'-6"	24'-8"	22'-1"	20'-2"	18'-8"	17'-5"	16'-5"
2"x 7"x 0.078"	33'-1"	28'-8"	25'-8"	23'-5"	21'-8"	20'-3"	19'-1"

ABOVE HEIGHTS DO NOT INCLUDE LENGTH OF KNEE BRACE. ADD VERTICAL LENGTH OF KNEE BRACE TO ABOVE HEIGHTS FOR TOTAL UPRIGHT HEIGHT.

TABLE 3: MINIMUM # SCREWS FOR CONNECTING ROOF BEAMS TO WALL UPRIGHTS
ALUMINUM ALLOY 6063 T-6

BEAM SIZE	UPRIGHT SIZE (MIN)	MIN. # & LGTH OF SCREWS REQUIRED*
2"x 3"	2"x 3"	4 # 10x 1/2" DOUBLE SHEAR
2"x 4"	2"x 3"	5 # 10x 1/2" DOUBLE SHEAR
2"x 5"	2"x 3"	6 # 10x 1/2" DOUBLE SHEAR
2"x 6"	2"x 4"	8 # 10x 1/2" DOUBLE SHEAR
2"x 7"	2"x 4"	12 # 10x 1/2" DOUBLE SHEAR
2"x 8"	2"x 5"	14 # 10x 1/2" DOUBLE SHEAR
2"x 9"	2"x 5"	16 # 10x 1/2" DOUBLE SHEAR

* REFERS TO EACH SIDE OF THE CONNECTION OF THE BEAM AND UPRIGHT

TABLE 4: MINIMUM SIZES OF SCREEN ENCLOSURE KNEE BRACES

AND ANCHORING REQUIRED: ALUMINUM ALLOY 6063 T-6

BRACE LGTH	EXTRUSION	ANCHORING SYSTEM
0'-2"-0"	2"x 2"x 0.044"	2" H-CHANNEL W/ 3# 10x 1/2" EA. SIDE
10'-3"-0"	2"x 3"x 0.050"	2" H-CHANNEL W/ 3# 10x 1/2" EA. SIDE
10'-4"-6"	2"x 4"x 0.044"x 0.12"	

NOTCH SMB OVER BEAM AND UPRIGHT. SEE TABLE 3 FOR # AND SIZE OF SCREWS

NOTE: FOR REQUIRED KNEE BRACES GREATER THAN 4'-6" CALL ENGINEER FOR SPECIFICATIONS AND DETAILS

BRACE LENGTH REFERS TO HORIZONTAL AND VERTICAL LENGTH, NOT THE ANGLE LENGTH.

TABLE 5: ALLOWABLE LOADS ON SCREWS & BOLTS AS RECOMMENDED BY MANUFACTURERS

SELF TAPPING & MACHINE SCREWS ALLOWABLE LOADS
TENSILE STRENGTH 55,000 psi; SHEAR 24,000 psi

# SCREW	SINGLE SHEAR lbs	DOUBLE SHEAR lbs	WITHDRAWAL lbs
8	334	668	167
10	418	836	209
12	576	1,152	288
14	734	1,468	367
1/4"	761	1,522	380
5/16"	1,253	2,506	626
3/8"	1,855	3,710	928

WOOD LAG SCREW LOADS

USING SOUTHERN PINE S.G. 0.55 OR EQUIVANT 1-1/2" EMBEDMENT
WOOD EMBEDDED INTO MUST BE A MINIMUM OF 1-1/2" THICKNESS

# SCREW	LATERAL SHEAR lbs	LATERAL SHEAR/ METAL PLATES lbs	WITHDRAWAL lbs
1/4"	170	235	396
5/16"	210	355	624
3/8"	240	480	712

CONCRETE SCREWS & BOLTS IN CONCRETE

EMBEDMENT MUST BE A MINIMUM OF 1-1/2" THICKNESS W/ 1-1/4" FROM EDGE

SCREW DIA	2,000# CONCRETE TENSION lbs	SHEAR lbs	3,000# CONCRETE TENSION lbs	SHEAR lbs
1/4"	757	1,319	825	352
5/16"	1,057	1,815	1,184	898
3/8"	1,443	2,543	1,776	1,503

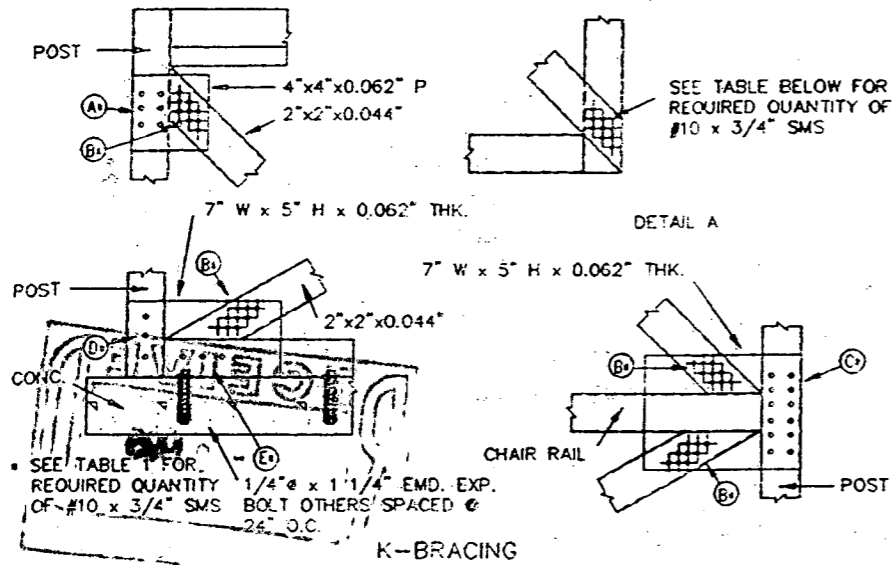
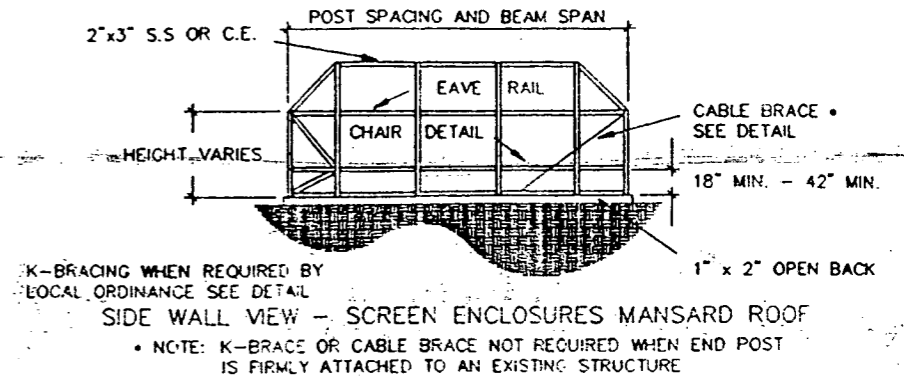
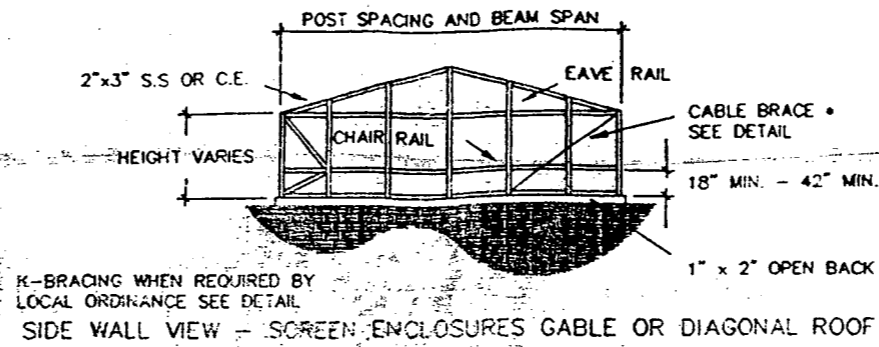
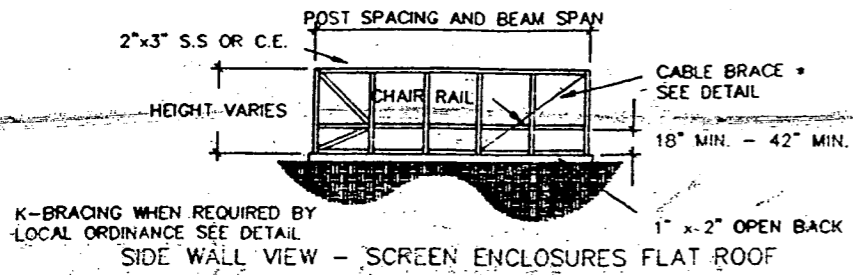
THE DESIGN AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:
1. STANDARD BUILDING CODE 1994 ED. CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF SBCCI SSTD 10-93
2. BOCA NATIONAL BUILDING CODE 1993
3. TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE 6-89

SCREEN ENCLOSURES

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TELEPHONE: (904) 767-4774
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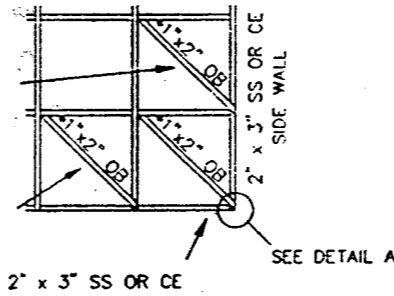
JAN 02 1995

SHEET 1
3
OF 4

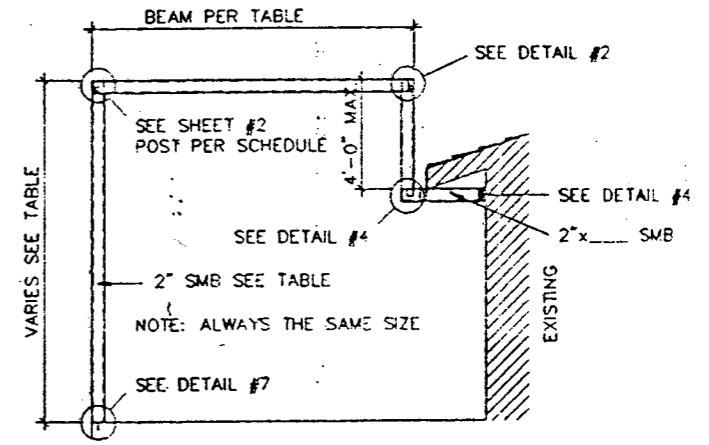


FOR MANSARD ROOF USE 2"x2"x0.044" PE W/ 2 1/4" THRU BOLTS @ EACH END

DIAGONAL BRACING ADJACENT TO CORNER REQUIRED AT EACH END OF FRONT WALL FOR MANSARD ROOF



FRONT WALL



FLAT ROOF / DOME OR GABLE BEAM CONFIGURATION

WALL WIDTH	NUMBER OF #10 x 3/4" SMS REQUIRED
20'-0"	2
30'-0"	4
40'-0"	5
50'-0"	7
60'-0"	9

DIAGONAL ROOF BRACING

TABLE 1 USE FRONT WALL WIDTH WHEN DETERMINING NUMBER OF SMS FOR THE SIDE WALL K-BRACING USE SIDE WALL WIDTH WHEN DETERMINING NUMBER OF SMS FOR THE FRONT AND / OR BACK WALL K-BRACING				
MAXIMUM WALL WIDTH =	NUMBER OF #10 x 3/4" SMS REQUIRED			
	A	B	C	D
20'-0"	2	2	4	2
30'-0"	2	2	4	2
40'-0"	3	4	6	2
50'-0"	4	5	8	3
60'-0"	6	7	12	3

= MAXIMUM FRONT WALL HEIGHT = 10'-0"

THE DESIGNS AND SPANS SHOWN ON THESE DRAWINGS ARE BASED ON THE LOAD REQUIREMENTS OF THE FOLLOWING CODES:
1. STANDARD BUILDING CODE, 1994 ED. CHAPTER 16 INCLUDING APPLICABLE WIND LOADS AND PROVISIONS OF SBCCI SSTD 10-93
2. BOCA NATIONAL BUILDING CODE 1993
3. TEXAS DEPARTMENT OF INSURANCE WINDSTORM RESISTANCE GUIDE 6-89

SCREEN ENCLOSURES

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PORT ORANGE, FLORIDA 32119
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FAX: (904) 767-6556

JAN 02 1995

SHEET #

4

8059

GAS TANK

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/17/06

BUILDING PERMIT NO. 8059

Building to be erected for HART

Type of Permit GAS TANK

Applied for by AMERICAS (Contractor)

Building Fee 35.00

Subdivision ARCHIPELAGO Lot 48 Block _____

Radon Fee _____

Address 25 SIMARA ST

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410010000039040000

Plumbing Fee _____

Amount Paid 35.00 Check # 0501336459 Cash _____

Other Fees (_____) _____

Roofing Fee _____

Total Construction Cost \$ 500.00

TOTAL Fees 35.00

Signed [Signature]
Applicant

Signed [Signature]
Town Building Official

4-16-09

Bruno @ Americas
\$35 renewal final

PERMIT

- | | | |
|---|--|---|
| <input type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> MECHANICAL |
| <input type="checkbox"/> PLUMBING | <input type="checkbox"/> ROOFING | <input type="checkbox"/> POOL/SPA/DECK |
| <input type="checkbox"/> DOCK/BOAT LIFT | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> FENCE |
| <input type="checkbox"/> SCREEN ENCLOSURE | <input type="checkbox"/> TEMPORARY STRUCTURE | <input checked="" type="checkbox"/> GAS |
| <input type="checkbox"/> FILL | <input type="checkbox"/> HURRICANE SHUTTERS | <input type="checkbox"/> RENOVATION |
| <input type="checkbox"/> TREE REMOVAL | <input type="checkbox"/> STEMWALL | <input type="checkbox"/> ADDITION |

INSPECTIONS

- | | |
|-----------------------------------|------------------------------|
| UNDERGROUND PLUMBING _____ | UNDERGROUND GAS _____ |
| UNDERGROUND MECHANICAL _____ | UNDERGROUND ELECTRICAL _____ |
| STEMWALL FOOTING _____ | FOOTING _____ |
| SLAB _____ | TIE BEAM/COLUMNS _____ |
| ROOF SHEATHING _____ | WALL SHEATHING _____ |
| TRUSS ENG/WINDOW/DOOR BUCKS _____ | LATH _____ |
| ROOF TIN TAG/METAL _____ | ROOF-IN-PROGRESS _____ |
| PLUMBING ROUGH-IN _____ | ELECTRICAL ROUGH-IN _____ |
| MECHANICAL ROUGH-IN _____ | GAS ROUGH-IN _____ |
| FRAMING _____ | EARLY POWER RELEASE _____ |
| FINAL PLUMBING _____ | FINAL ELECTRICAL _____ |
| FINAL MECHANICAL _____ | FINAL GAS _____ |
| FINAL ROOF _____ | BUILDING FINAL _____ |

Renewal \$3500 PA 4-20-09 CU#0501921027

C

MASTER PERMIT NO. _____

TOWN OF SEWALL'S POINT

Date 2/17/06

BUILDING PERMIT NO. 8059

Building to be erected for HART

Type of Permit GAS TANK

Applied for by AMERICAS

(Contractor)

Building Fee 35.00

Subdivision ARCH. PELAGO Lot 48 Block _____

Radon Fee _____

Address 25 SIMARA ST

Impact Fee _____

Type of structure SFR

A/C Fee _____

Parcel Control Number:

1338410010000039040000

Electrical Fee _____

Plumbing Fee _____

Amount Paid 35.00 Check # 0501336459 Cash _____

Roofing Fee _____

Total Construction Cost \$ 500.00

Other Fees (_____)

TOTAL Fees 35.00

Signed [Signature]

Applicant

Signed [Signature]

Town Building Official

RECEIVED
2/10/06

Town of Sewall's Point
BUILDING PERMIT APPLICATION

Date: 1-17-06 Permit Number: _____

OWNER/TITLEHOLDER NAME: WILLIAM HART Phone (Day) 221-8250 (Fax) _____

Job Site Address: 25 SIMONA ST. City: SEWELL'S Pt State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) LT. 48 THE ARCHPELAGO Parcel Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Description of Work To Be Done: SET 120 GAL AG LA TANK & CONNECT TO EXIST. LINE

WILL OWNER BE THE CONTRACTOR?:

YES

NO

COST AND VALUES:

Estimated Cost of Construction or Improvements: \$ 500.00
(Notice of Commencement needed over \$2500)

Estimated Fair Market Value prior to improvement: \$ _____

Is improvement cost 50% or more of Fair Market Value? YES NO

Method of Determining Fair Market Value: _____

(If no, fill out the Contractor & Subcontractor sections below)
(If yes, Owner Builder Affidavit must accompany application)

CONTRACTOR/Company: AMERICAS Phone: 405-7886 Fax: 465-8448

Street: 3301 OLEANDER AVE City: FT. PENCE State: FL Zip: 34982

State Registration Number: 2707 State Certification Number: 2707 Martin County License Number: _____

SUBCONTRACTOR INFORMATION:

Electrical: _____ State: _____ License Number: _____
Mechanical: _____ State: _____ License Number: _____
Plumbing: _____ State: _____ License Number: _____
Roofing: _____ State: _____ License Number: _____

ARCHITECT _____ Lic.#: _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.# _____ Phone Number: _____
Street: _____ City: _____ State: _____ Zip: _____

AREA SQUARE FOOTAGE - SEWER - ELECTRIC Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____
Carpport: _____ Total Under Roof _____ Wood Deck: _____ Accessory Building: _____

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004
National Electrical Code: 2002 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AGENT SIGNATURE (required)
William Hart

State of Florida, County of: MARTIN

This the 14th day of FEBRUARY, 2006

by William Hart who is personally

known to me or produced as identification [Signature]

Notary Public

My Commission Expires: _____

CONTRACTOR SIGNATURE (required)
Darlene Rice

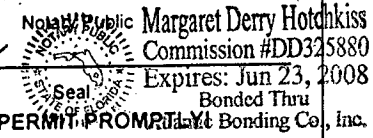
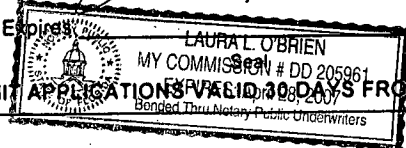
On State of Florida, County of: St. Lucie

This the 30th day of JANUARY, 2006

by Darlene Rice who is personally

known to me or produced as identification _____

My Commission Expires: 6/23/08



PERMIT APPLICATIONS VALID 30 DAYS FROM APPROVAL NOTIFICATION - PLEASE PICK UP YOUR PERMIT PROMPTLY

ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YY)
06/30/05

PRODUCER

Aon Risk Services, Inc. of Pennsylvania
One Liberty Place
1650 Market Street
Suite 1000
Philadelphia PA 19103

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY A ACE American Insurance Company

COMPANY B

COMPANY C

COMPANY D

PHONE - (866) 266-7475

FAX - (866) 467-7847

INSURED

AmeriGas Propane LP and Subsidiaries
PO Box 858
Valley Forge PA 19482 USA

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR OWNER'S & CONTRACTOR'S PROT	HD0G21718099 05-06 General Liability/Prod	07/01/05	07/01/06	GENERAL AGGREGATE	\$2,000,000
					PRODUCTS - COMP/OP AGG	\$2,000,000
					PERSONAL & ADV INJURY	\$1,000,000
					EACH OCCURRENCE	\$1,000,000
					FIRE DAMAGE (Any one fire)	\$1,000,000
					MED EXP (Any one person)	\$10,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	ISA07936825 05-06 Automobile - All States	07/01/05	07/01/06	COMBINED SINGLE LIMIT	\$1,000,000
					BODILY INJURY (Per person)	
					BODILY INJURY (Per accident)	
					PROPERTY DAMAGE	
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	
					OTHER THAN AUTO ONLY:	
					EACH ACCIDENT	
					AGGREGATE	
	EXCESS LIABILITY <input type="checkbox"/> UMBRELLA FORM <input type="checkbox"/> OTHER THAN UMBRELLA FORM				EACH OCCURRENCE	
					AGGREGATE	
A	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY THE PROPRIETOR/PARTNERS/EXECUTIVE OFFICERS ARE: <input checked="" type="checkbox"/> INCL <input type="checkbox"/> EXCL	WLRC44186901 05-06 Workers Comp. - AOS SCFC44186913 05-06 WC Non-Deductible: WI	07/01/05	07/01/06	<input checked="" type="checkbox"/> WC STATUTORY LIMITS EL EACH ACCIDENT	\$1,000,000
A			07/01/05	07/01/06	EL DISEASE-POLICY LIMIT	\$1,000,000
					EL DISEASE-EA EMPLOYEE	\$1,000,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER

TOWN OF SEWELLS POINT
ONE SOUTH SEWELLS POINT ROAD
SEWELLS POINT FL 34996 USA

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

[Signature]

Holder Identifier:

Certificate No: 570014097488



2005-2006 MARTIN COUNTY ORIGINAL
COUNTY OCCUPATIONAL LICENSE

Larry C. O'Steen, Tax Collector, P.O. Box 9013, Stuart, FL 34995
(772) 288-5604

LICENSE 998-249-000 CERT 02707

PHONE (561) 465-7886 SIC NO 004932

LOCATION:

3301 OLEANDER AVE SLC

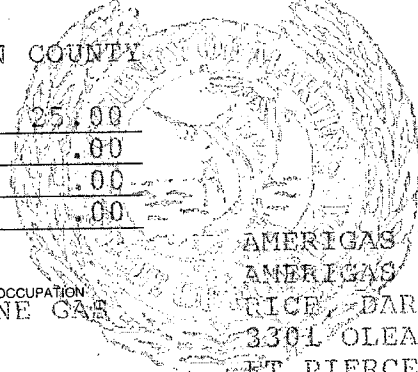
CHARACTER COUNTS IN MARTIN COUNTY

PREV. YR. \$	<u>.00</u>	LIC. FEE \$	<u>25.00</u>
\$	<u>.00</u>	PENALTY \$	<u>.00</u>
\$	<u>.00</u>	COL. FEE \$	<u>.00</u>
\$	<u>.00</u>	TRANSFER \$	<u>.00</u>
TOTAL			<u>25.00</u>

IS HEREBY LICENSED TO ENGAGE IN THE BUSINESS, PROFESSION OR OCCUPATION
OF DEALER/ INSTALLER PROPANE GAS

AT LOCATION LISTED FOR THE PERIOD BEGINNING ON THE

08 DAY OF SEPTEMBER 20 05
AND ENDING SEPTEMBER 30, 2006



AMERICAS L.P.
AMERICAS PROPANE L.P.
RICE, DARLENE
3301 OLEANDER AVE
FT PIERCE FL 34982

RECEIPT of PAYMENT

LARRY C. O'STEEN 6010 1
99 09/08/2005 UCCI NORMAL
199824900000000
022005090606509CK \$25.00

Florida Department of Agriculture and Consumer Services
Bureau of Liquefied Petroleum Gas
P.O. Box 6720
Tallahassee, Florida 32399-6720

License Number: 02707

Business Mailing Address

AMERIGAS PROPANE LP & SUBSIDIARIES
3301 OLEANDER AVE
FT. PIERCE, FL 34982

Licensed Location Address

AMERIGAS PROPANE LP & SUBSIDIARIES
3301 OLEANDER AVE
FORT PIERCE, FL 34982-6535

The liquefied petroleum gas license at the bottom of this form is valid ONLY for the company located at the address on the license. Each business location of a company must be licensed. All LP Gas licenses must be renewed annually. Any license allowed to expire shall become inoperative because of failure to renew. The fee for restoration of a license is equal to the original license fee and must be paid before the licensee may resume operations.

Pursuant to Chapter 527, Florida Statutes, LP Gas licensees must present proof of licensure to any consumer, owner, or end user upon request when engaged in the business of servicing, testing, repairing, maintaining or installing LP Gas systems and/or equipment.

For future correspondence, please make any needed corrections or changes to your business mailing address and/or your licensed location address and return the UPPER PORTION with corrections to:

Florida Department of Agriculture and Consumer Services
Bureau of Liquefied Petroleum Gas
P.O. Box 6720
Tallahassee, Florida 32399-6720



Cut Here



POST LICENSE
CONSPICUOUSLY

State of Florida
Department of Agriculture and Consumer Services

Division of Standards
Bureau of Liquefied Petroleum Gas
(850) 921-8001
Tallahassee, Florida


License Number: 02707
Expiration Date: August 31, 2006
Date of Issue: September 1, 2005
License Fee: \$425.00
Type and Class: 0601

Liquefied Petroleum Gas License
CATEGORY I LP GAS DEALER

GOOD FOR ONE LOCATION.

This license is issued under authority of Section 527.02, Florida Statutes, to:

AMERIGAS PROPANE LP & SUBSIDIARIES
3301 OLEANDER AVE
FORT PIERCE, FL 34982-6535


CHARLES H. BRONSON
COMMISSIONER OF AGRICULTURE



P/N: 8059

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 25 SIMARA

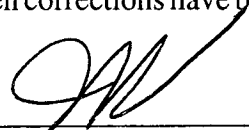
I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same

ABOVE GROUND GAS TANK.

TANK IS NOT SECURED AS
PER NFPA 58,

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 4/20/09



INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection

 Mon

 Tue

 Wed

 Thur

 Fri

9-20

2009

Page

1 of

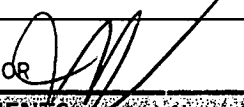
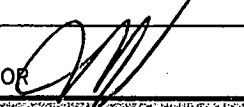
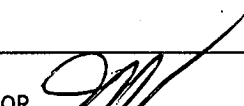
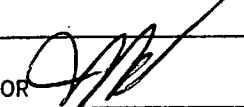
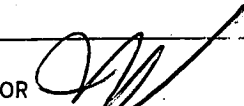
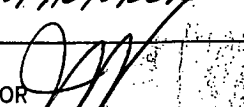
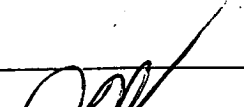
1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9134	Olney 108 Henry Sewall Of Custom Pool	steel, main drain grounding	PASS	INSPECTOR <i>[Signature]</i>
Tree	Rose 9 N Ridgerview	Tree	FAIL	INSPECTOR <i>[Signature]</i>
Tree	Robson 24 Castle Hill McTrees	Tree	PASS	INSPECTOR <i>[Signature]</i>
8059	Hart 25 Sumara Americas	Final	PASS FAIL	INSPECTOR INSPECTOR <i>[Signature]</i>
				INSPECTOR
				INSPECTOR
				INSPECTOR
				INSPECTOR

TOWN OF SEWALLS POINT

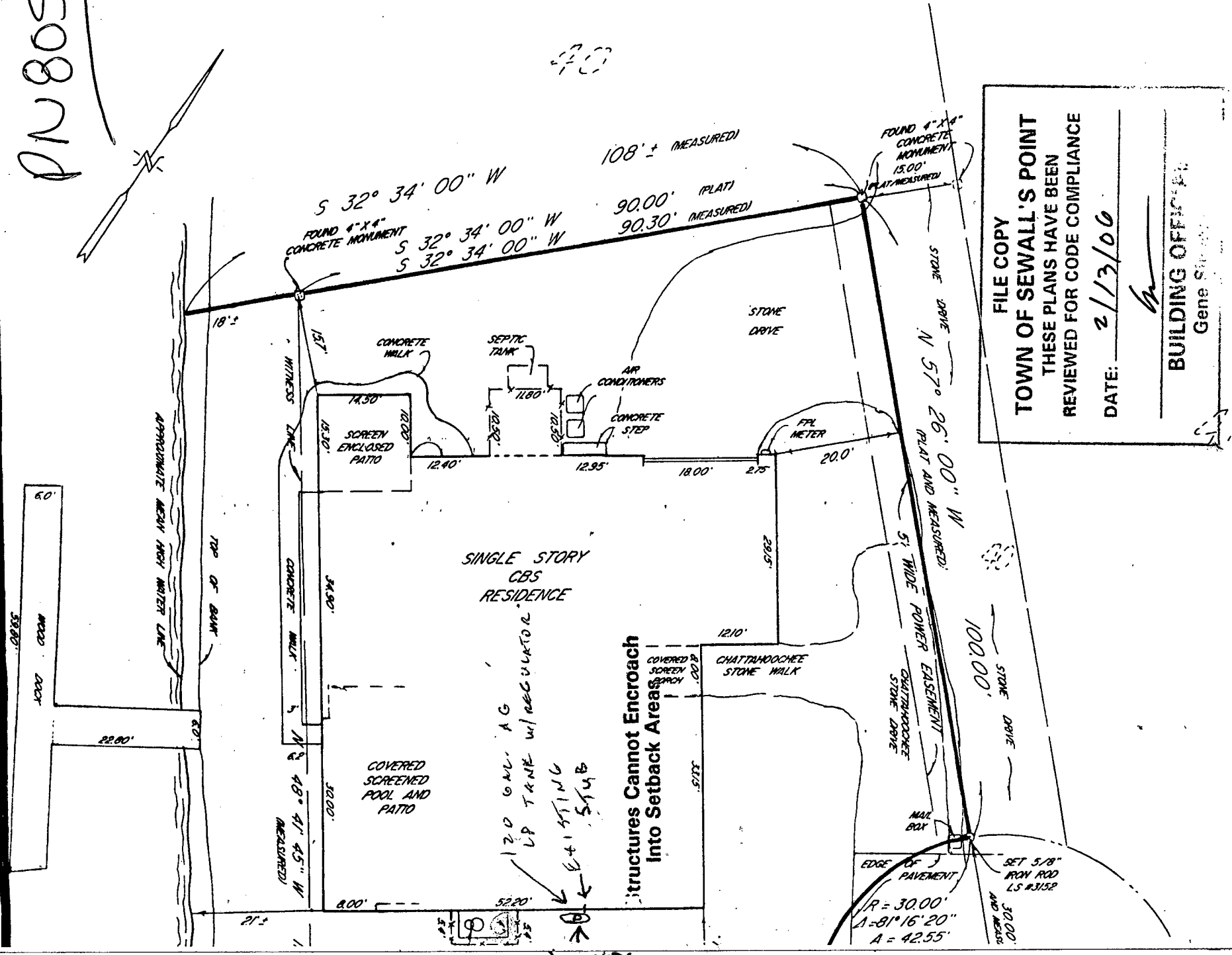
BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-6 2009 Page 1 of 2

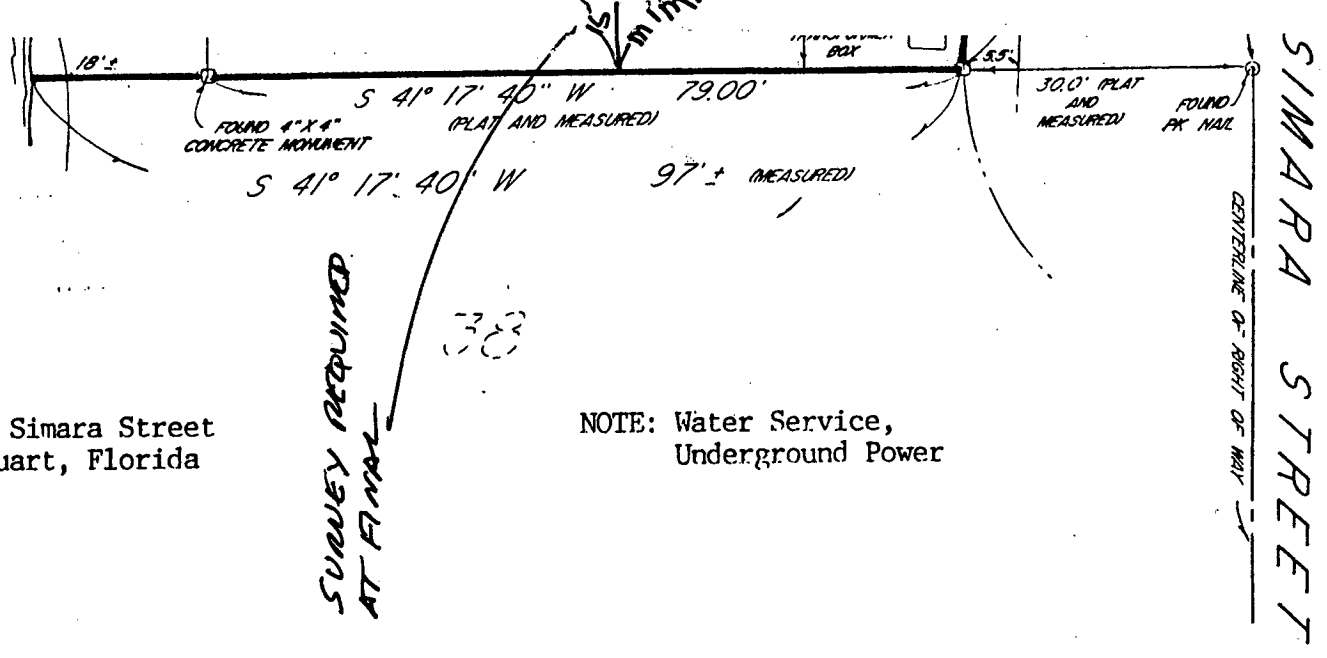
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8648	Ietzner	rough electric	FAIL	
830	2 W High Pt OB	HVAC	FAIL	INSPECTOR 
9144	Hart	dry-in	PASS	
3	25 Simara St JA Taylor			INSPECTOR 
9093	Morris	final.	PASS	CLOSE
11AM	120 Hillcrest DR Stuart Roof Repair			INSPECTOR 
C.E.		LAWN		SEND N.O.U
2	5 MIDDLE RD.			INSPECTOR 
C.E.		DODDER		SEND LETTER
	LOT 25 LOFTING END OF LOFTING COMMON AREA	LOT WEST OF	31 LOFTING	INSPECTOR 
8823	Sebastian	roof final	PASS	RECEIVED PRODUCT INFO FROM TILE MANUFACTURER
	6 W High Pt OB			INSPECTOR 
8059	Hart	final	PASS	CLOSE
	25 Simara St Americas	(reinspect)		INSPECTOR 

• A BOUNDARY AND RECORD SURVEY FOR MARGARET I. HART •

PN 8059



FILE COPY
 TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE: 2/13/00
 BUILDING OFFICIAL
 Gene Str...



ADDRESS: 25 Simara Street
 Stuart, Florida

NOTE: Water Service,
 Underground Power

SURVEY REQUIRED
 AT FINAL

LEGAL DESCRIPTION:

Lot 39, THE ARCHIPELAGO, according to the Plat thereof, filed 25 February, 1966 and recorded in Plat Book 4, Page 48, Martin County, Florida, Public Records.

CERTIFIED TO:

McCarthy, Summers, Bobko, McKey & Bonan, P.A.; ATTORNEYS' TITLE INSURANCE FUND, INC.; Crary, Buchanan, Bowdish, Bovie, Lord, Roby & Evans, CHARTERED and MARGARET I. HART AND/OR ASSIGNS

Flood Zone "A8"

Bearings hereon are referred to an assumed value of North 57° 26' 00" West for the Easterly lot line of subject property; said bearing is identical with the plat of record.

• ARCHIPELAGO • Lot 39 • HART •

DATE OF FIELD SURVEY	11/01/94
SCALE	1" = 20'
JOB NO.	93-6399
DATE	02/17/00
DRAWN BY	DL
CHECKED BY	DL
DATE	02/17/00

PHILIP W. LANGBEHN
 Land Surveyor, Inc.
 Mailing: 1509 N.W. Lakeside Trail, Stuart, Florida 34994
 (407) 692-1254/(407) 692-1257
 FAX (407) 692-2110

CERTIFICATE: This is to certify that this SKETCH OF SURVEY, of the hereon described property, is true and correct to the best of my knowledge and belief, contains no visible encroachments, unless shown, and meets the Minimum Technical Standards set forth in Chapter 61G17-6 F.A.C. by the Florida Board of Land Surveyors pursuant to Section 472.027, Florida Statutes.
 NOTE: NOT VALID UNLESS SIGNED WITH AN EMBOSSED SURVEYOR'S SEAL.
 This SURVEY prepared from legal description supplied by client.
 PROFESSIONAL LAND SURVEYOR
 STATE OF FLORIDA REGISTRATION NO. 3152

9144

REROOF

REPLACE 6 SKYLIGHTS



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

**THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK
 A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS**

PERMIT NUMBER:	9144	DATE ISSUED:	APRIL 21, 2009
SCOPE OF WORK:	REROOF & REPLACE 6 SKYLIGHTS		
CONDITIONS :			
CONTRACTOR:	JA TAYLOR ROOFING		
PARCEL CONTROL NUMBER:	133841001-000-003904	SUBDIVISION	ARCHIPELAGO-LOT 39
CONSTRUCTION ADDRESS:	25 SIMARA ST		
OWNER NAME:	HART		
QUALIFIER:	CHAD TAYLOR	CONTACT PHONE NUMBER:	772-466-4040

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

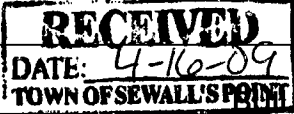
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**24 HOUR NOTICE REQUIRED FOR INSPECTIONS – ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE
 CALL 287-2455 - 8:00AM TO 4:00PM INSPECTIONS 8:30AM TO 12:00PM - MONDAY, WEDNESDAY & FRIDAY**

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.



Date: 4-16-09 Town of Sewall's Point BUILDING PERMIT APPLICATION Permit Number: _____

OWNER/TITLEHOLDER NAME: William H. HART Phone (Day) 221-8250 (Fax) 221-4632

Job Site Address: 25 SIMARA STREET City: STUART State: FL Zip: 34996

Legal Desc. Property (Subd/Lot/Block) ARCHIPELAGO LOT 39 Parcel Number: 13-38-41-001-000-00390-4

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work: TEAR-OFF, REROOF, include Replacement of (6) existing Skylights

WILL OWNER BE THE CONTRACTOR? If yes, Owner Builder questionnaire must accompany application YES _____ NO [X]

Has a Zoning Variance ever been granted on this property? Yes _____ (Year) _____ No _____ (Must include a copy of all variance approvals with application)

CONSTRUCTION VALUES: (Required on ALL permit applications) Estimated Value of Improvements: \$ 19,999.00 Notice of Commencement required when over \$2500 - prior to first inspection Is subject property located in flood hazard area? V _____ A9 _____ A8 [X] FOR ADDITIONS AND REMODELS IN FLOOD HAZARD AREAS ONLY: Estimated Fair Market Value prior to improvement: _____ (Fair Market Value of the Primary Structure only, Minus the land value) *** PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION**

CONTRACTOR/Company: J.A. TAYLOR ROOFING, INC. Phone: 772-466-4040 Fax: 772-468-8397

Street: 302 MELTON DRIVE City: FT. PIERCE State: FL Zip: 34982

State Registration Number: _____ State Certification Number: CC01325720 Municipal License Number: _____

PROJECT SUPERINTENDANT: KYLE WHITE CONTACT NUMBER: 772-466-4040

ARCHITECT _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

ENGINEER _____ Lic.#: _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREA SQ. FOOTAGE: Living: _____ Garage: _____ Covered Patios: _____ Screened Porch: _____

Carport: _____ Total Under Roof 5000 Wood Decks/walkways: _____ Accessory Building: _____

CODE EDITIONS IN EFFECT AT TIME OF APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Gas): 2004 (W/2006 Rev.) National Electrical Code: 2005 Florida Energy Code: 2004 Florida Accessibility Code: 2004 Florida Fire Code 2004

NOTICES TO OWNERS AND CONTRACTORS: 1. YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. 2. THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS TO YOUR ADVANTAGE AND RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES. 3. BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95. 4. THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ALL NULL AND VOID PERMITS. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

*****FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*****

I HEREBY CERTIFY THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES DURING THE BUILDING PROCESS.

OWNER OR AUTHORIZED AGENT SIGNATURE (required) [Signature]

CONTRACTOR SIGNATURE (required) [Signature]

State of Florida, County of: MARTIN

On State of Florida, County of: MARTIN

This the 7 day of April, 2009

This the 7 day of April, 2009

by William H. HART

by CHAD TAYLOR

known to me or produced as identification [Signature] Notary Public My Comm. Expires: 06/12/2010

known to me or produced as identification [Signature] Notary Public My Comm. Expires: 06/12/2010

My Commission Expires: 06-12-2010

My Commission Expires: 06-12-2010

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION PER FBC 105.3.4 ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS PER FBC 105.3.2 - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmax.com T1.11

Summary

print | | | | | Address 1 of 1

Parcel Info

Parcel ID	Unit Address	Serial Index ID	Order	Commercial	Residential
13-38-41-001-000-00390-4	25 SIMARA ST	27686	Address	0	1

Summary

- Land
- Residential
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Summary

Property Location 25 SIMARA ST
Tax District 2200 Sewall's Point
Account # 27686
Land Use 101 0100 Single Family
Neighborhood 193110
Acres 0.320

Legal Description
Property Information
 ARCHIPELAGO LOT 39

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Owner Information
Owner Information
 HART, WILLIAM H
 HART, MARGARET L

Mail Information
 25 SIMARA ST
 STUART FL 34996

Assessment Info
Front Ft. 1.00

Market Land Value \$705,500
Market Impr Value \$253,550
Market Total Value \$959,050

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Recent Sale
Sale Amount \$420,000

Sale Date 3/21/1994
Book/Page 1061 1906

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/2/2009





Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com T1.13

Residential

print | | | | | Address
1 of 1

Parcel Info

Summary
Land

Parcel ID	Unit Address	Serial ID	Index Order	Card
13-38-41-001-000-00390-4	25 SIMARA ST	27686	Address	1 of 1

Residential

- Printable Tab
- Improvement
- Commercial
- Image
- Sales & Transfers
- Assessments →
- Taxes →
- Exemptions →
- Parcel Map →
- Full Legal →

Type
Use Code 101 0100 Single Family
Style 30
Grade AV
Year Built 1971
Roof 103 Gable-Hip

Flooring 8 Carpet
Exterior Walls C6 Conc block 12
Heating 1 Central Warm Air
Air Cond. Y
Fireplace(s) NO

Attributes
No. of Stories 1.00
Total Rooms 0

Bedrooms 2
Full Bathrooms 2
Half Bathrooms 1
Garage 754

Search By

- Parcel ID
- Owner
- Address**
- Account #
- Use Code
- Legal Description
- Neighborhood
- Sales
- Map →

Dimensional Attributes
Sq Footage Finished 2562

Basement SqFt 0

Site Functions

- Property Search**
- Contact Us
- On-Line Help
- County Home
- Site Home
- County Login

Print | << First < Previous Next > Last >>

Legal disclaimer / Privacy Statement

Data updated on 4/2/2009



AFTER RECORDING RETURN TO:

PERMIT NUMBER:

NOTICE OF COMMENCEMENT

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida statutes the following information is provided in the Notice of commencement.

- 1. DESCRIPTION OF PROPERTY (Legal description and street address) TAX FOLIO NUMBER: 13-38-41-001-000-00390.4
- SUBDIVISION ARCHIPELAGO BLOCK _____ TRACT _____ LOT 39 BLDG _____ UNIT _____
- 2. GENERAL DESCRIPTION OF IMPROVEMENT: TEAR-OFF, REROOF
- 3. OWNER INFORMATION:
 - a. Name William H. HART
 - b. Address 25 SIMARA ST., STUART, FL. 34996
 - c. Interest in property OWNER
 - d. Name and address of fee simple titleholder (if other than owner) _____
- 4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER: 772-466-4040
J.A. TAYLOR ROOFING, INC., 302 MELTON DR., FT. PIERCE, FL. 34982
- 5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT: _____
- 6. LENDER'S NAME, ADDRESS AND PHONE NUMBER: _____
- 7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1)(a) 7., Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____
- 8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1)(b), Florida Statutes:
NAME, ADDRESS AND PHONE NUMBER: _____
- 9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____ 20 _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1 SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature] William H. HART
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager Print Name and Provide Signatory's Title/Office

State of Florida
County of MARTIN
The foregoing instrument was acknowledged before me this 10 day of April, 2009
By WILLIAM H. HART as OWNER
(Name of person) (Type of authority...e.g. Owner, officer, trustee, attorney in fact)

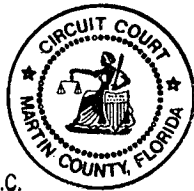
For _____ (Name of party on behalf of whom instrument was executed) Personally Known _____ or produced the following type of ID: NOTARY PUBLIC-STATE OF FLORIDA
KAREN S. NIELSEN [Signature] Karen S. Nielsen
(Printed Name of Notary Public) (Signature of Notary Public) Commission # DD551441
My Comm. Expires: 06/12/2010

Under penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (section 92.525, Florida Statutes).

Signature(s) of Owner(s) or Owner(s)' Authorized Officer/Director/Partner/Manager who signed above:
By: [Signature] By: William H. HART
STATE OF FLORIDA
MARTIN COUNTY

Rev. 08/20/07 (2-17) Re-07/08/07

THIS IS TO CERTIFY THAT THE FOREGOING 1 PAGES IS A TRUE AND CORRECT COPY OF THE ORIGINAL.
MARSHA EWING, CLERK
BY: [Signature] D.C.
DATE: 4/16/09





"BLINKY'S"

J.A. TAYLOR ROOFING, INC.

LICENSED CONTRACTORS

"Estimate/Contract/Proposal"

Customer/Owner/Agent: Bill Hart	Phone: 772-221-8250
Project Address: 25 Simara St. Stuart, FL 34996 (Sewall's Point)	Fax: 772-221-4682
Date/Type/Code: March 30, 2009/48T-SH-M, 10FL, 4/12, 2/12	Email:

J.A. Taylor Roofing will provide necessary permits, schedule all inspections with relevant Municipality and maintain Certificate of License and Insurance. This proposal includes labor, materials, and all taxes. Please note that "Oil Gunning" is a characteristic of all metal roof systems and is not a cause for rejection. Our highly trained "Professional" installers will hereby complete the following:

1. Remove existing tile roof system down to sheathing/deck and prepare as necessary to ensure a clean, solid surface in which to apply a new roof.
2. Inspect all sheathing and replace any rotten wood. (Estimate includes up to 3 sheets plywood sheathing replacement at no charge, for additional lumber replacement costs, see attached sheet).
3. Install additional sheathing nails to existing deck to comply with current building code requirements.
4. Install (1) ply #80 lb. roofing felt over sheathing, and mechanically fasten using approved fasteners per code requirements.
5. Install new roofing accessories including: drip edge, flashings, counter-flashings, plumbing stacks, vent flashings, and valley metal. (Accessories to be fabricated from 26 gauge Galvanized materials, or will be made to match metal roofing panels).
6. (Flat/low-slope roof systems only) Remove existing flat roof system as stated above, install (1) ply "Base" sheet mechanically fastened to sheathing, install new roofing accessories (same as above), and install (1) ply "white" granulated APP Modified Bitumen (Torch-down), over entire flat roof surface.
7. Estimate includes (4) 4' x 4' CMAs, (1) 44 3/4" x 44 3/4" SRA, and (1) 2' x 2' SFA Skylights. (New Skylights are to be "Metro-Dade County approved, Poly-domed, Bronze over clear).
8. Thoroughly clean project of all "roofing related debris" and haul away. (Landfill fees are included).

"Standard" Architectural Shingles (30 yr. warranty/70 mph)	\$ 18,039.00
"Duration" Architectural Shingles (30 yr. warranty/110 mph)	\$ 19,012.00
"Duration Premium" Architectural Shingles (Lifetime warranty/130 mph)	\$ 19,999.00
5-V Cedar Metal Roof System (Mill Finish 26 Gauge)	\$ 25,339.00
1" Standing Seam Metal Roof System (Mill Finish 26 Gauge)	\$ 27,839.00
Upgrade to Colored Metal Roof Panels (24 Gauge). Additional	\$ 4900.00

J.A. Taylor Roofing will provide a (3) Year workmanship/labor warranty from date of completion

Any omission or deviation from the above specifications involving additional costs will be credited only upon written orders, and will become an extra charge over and above the estimate. Replacement of rotten/damaged lumber is not included in estimate unless specified. Customer must provide access to building unless arrangements are made prior to estimate, therefore J.A. Taylor Roofing is not responsible for damage to driveway/sidewalks and/or any other access areas needed to approach project. Any client that is in default in the payment of money due under terms of this account will be charged at the rate of 1 1/2 % per month on the unpaid balance (Maximum allowable by law). If any client is referred to an attorney for collection, client agrees to pay all fees incurred in the collection of the amount due, plus all court costs and attorney fees. Work will be scheduled upon written acceptance of this proposal. This proposal may be withdrawn from us if not accepted within 60 days. All major credit cards accepted, however an additional processing fee of up to 5% will be assessed to contract total depending on current monthly rate and card used.

ACCEPTANCE OF PROPOSAL


Owner: William Hart Date: 03 April 2009

Contractor: _____ Date: _____

For further assistance please contact J.A. Taylor Roofing 772-466-4040 or fax to 772-468-8397

Thank you for the opportunity to bid your project


*****Serving the Treasure Coast for over 44 years*****



Mr. William H. Hart
25 Simara St
Sewalls Point FL 34996

ROOFING MATERIAL LIST

NO	MATERIAL	QUANTITY	UNIT	REMARKS
0	GAF Timberline 30 shingles	25	SQ	EXAMPLE
	Owens Corning Duration Prem	49	SQ.	
	#30 Roofing Felt	49	SQ.	
	Tanko Moisture Guard	49	SG.	
	Johns Manville APP Mod. Bit	10	SG.	
	TIN TAGS			
	1 1/4" Coil Roofing NAILS			
	Roof Cement			
	Curb Mount Skylights	4	4'x4'	
	Self Flashing skylight	1	44 3/4" x 44 3/4"	
	Self Flashing skylight	1	2'x2'	

FILE COPY
TOWN OF SEWALL'S POINT
 THESE PLANS HAVE BEEN
 REVIEWED FOR CODE COMPLIANCE
 DATE 9-17-09

BUILDING OFFICIAL

RE-ROOF CERTIFICATION

PERMIT # _____

CONTRACTOR'S NAME: J.A. TAYLOR ROOFING PHONE # 772-466-4040 FAX: 772-468-8397

OWNER'S NAME: William H. HART

CONSTRUCTION ADDRESS: 25 Sumner Street CITY STUART STATE FL.

RE-ROOF: RESIDENTIAL(SINGLE FAMILY)

COMMERCIAL

**...DISCONNECT/RECONNECT HVAC ELECTRIC YES NO

** REQUIRES A CONTRACTOR VERIFICATION FORM (HVAC AND/OR ELECTRICAL) W/ PERMIT APPLICATION

ROOF TYPE: HIP BOSTON-HIP GABLE FLAT OTHER

ROOF PITCH: 4/12 SLOPE, 2:12 + FLAT

ROOF DECK:* SHEATH-OVER - (APPLYING PLYWOOD PANELS OVER EXISTING SPACED

RE-SHEATH - (REMOVAL OF SPACED SHEATHING/PLYWOOD FOR APPLICATION OF NEW PLYWOOD PANELS) - REQUIRES USE OF MINIMUM PLYWOOD AS PER FLORIDA BUILDING CODE "2004".

SPACED SHEATH FILL-IN - SPACES BETWEEN EXISTING SPACED-SHEATHING BOARD MAY BE FILLED-IN WITH BOARDS OF THE SAME SIZE AND THICKNESS TO PROVIDE A CLOSELY FITTED SOLID DECK NAIL NEW BOARDS AS PER FLORIDA BUILDING CODE "2004".

EXISTING DECK TO REMAIN/REPAIRED

EXISTING ROOF COVERING: TILE EXISTING COVERING TO BE REMOVED? YES NO

PROPOSED NEW ROOF COVERING: ASPHALT Shingle / APP MODIFIED Bitumen (FLAT)

MANUFACTURER OWENS Corning PRODUCT NAME DURATION Prem PRODUCT APPR # 08-0118.18
(FLAT) JOHNS manville APP mod. Bit. 06-0417-09
(APPROVED ROOF COVERING MATERIAL WITH CURRENT FLORIDA PRODUCT APPROVAL)
MANUFACTURER'S INSTALLATION SPECS MUST BE ON THE JOB SITE AT TIME OF INSPECTION.

*WHEN CONCRETE/CLAY TILES REPLACE ANY OTHER TYPE OF ROOF COVERING, THE EXISTING TRUSSES SHALL BE INSPECTED BY A FLORIDA REGISTERED ARCHITECT OR ENGINEER TO VERIFY ADEQUACY OF THE TRUSSES TO SUPPORT INCREASED DEAD LOADS. AN ENGINEERING INSPECTION REPORT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION.

ALL CONCRETE OR CLAY TILE RE-ROOF PERMITS REQUIRE AN IN PROGRESS TILE INSTALLATION INSPECTION

PROPOSED FLASHING: GALV./STEEL ALUMINUM COPPER OTHER

RIDGEVENT TO BE INSTALLED: YES NO

DESCRIPTION OF WORK:

Remove existing Roof material down to Decking.
Install new Roof system + Replace (6) existing Skylights.

I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

SIGNATURE OF CONTRACTOR

DATE: April 7, 2009

**RESIDENTIAL REROOF WINDSTORM LOSS
MITIGATION CERTIFICATION
(FLORIDA STATUTE 553.844)**

The following information is to be provided by roofing contractor or owner/builder on all re-roof applications for the purpose of obtaining compliance with recent changes to State Statute and referenced "Hurricane Mitigation Manual". Effective date: October 1, 2007.

Note: These requirements apply to residential structures built prior to implementation of the FBC on March 1, 2002.

- ✓ Value: show proof of insured value of residential structure or a copy of the ad-valorem tax value.
- ✓ Provide copy of contract

All re-roofs regardless of value shall comply with the following:

Re-nailing: All sheathing and decking shall be re-nailed per section 201.1 and a secondary water barrier installed.

- Existing fasteners that are 8d clipped head, round head or ring shank and spaced 6 in. or less o.c. may be counted. Additional fasteners shall be 8d ring shank nails with round heads spaced at 6 in. o.c. along framing.
- Indicate below which method is to be used to satisfy the secondary water barrier requirements:



All joints in roof sheathing shall be covered with a minimum of 4 in. strip of self-adhering polymer modified bitumen tape. Wood deck and self-adhering tape shall be covered by one layer of approved underlayment.



Entire roof deck shall be covered with an approved self-adhering polymer modified bitumen cap sheet. No additional underlayment is required.



Exception: An approved 30# underlayment installed per HVHZ using nails and tin-tags and covered with an approved self-adhering polymer modified bitumen cap sheet or an approved cap sheet hot-mopped shall be deemed to meet the requirements for secondary water barrier.

Residential Structures valued at \$300,000 or more shall comply with the following:

- Roof to wall connections must be enhanced up to 15% additional cost of the re-roofing cost.
- A certified or registered general, building or residential contractor compliance affidavit must accompany the re-roof permit application and submit details to perform the following:
 1. Sufficient amount of eave sheathing shall be removed to view 6 ft. of roof rafters.
 2. Wherever a strap is missing or an existing strap has fewer than 4 fasteners on each end of connection with the wall, the connection shall be strengthened by adding:
 - a. Metal connectors, clips, straps and fasteners to achieve an uplift capacity as specified in Table 201.3 OR
 - b. Approved strap ties or right angle gusset brackets with a minimum uplift capacity of 500 lbs shall be installed to the top plate or masonry wall below
 - c. Refer to sections 201.3.1 to 201.3.4 for prescriptive requirements.



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

TAMKO Building Products, Inc.
P.O. Box 1404
220 West 4th Street
Joplin, MO 64801

**SECONDARY
- WATER
BARRIER**

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Moisture Guard Plus, TW Metal and Tile Underlayment, TW Underlayment

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA No. 07-320.01 and consists of pages 1 through 4.
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 07-1130.01
Expiration Date: 07/05/12
Approval Date: 02/28/08



BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Owens Corning
 One Owens Corning Parkway
 Toledo, OH 43659

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Oakridge PRO 40 AR, Oakridge PRO 50 AR, and Duration Premium

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA #07-0306.04 and consists of pages 1 through 6.
 The submitted documentation was reviewed by Alex Tigra.



NOA No.: 08-0118.18
 Expiration Date: 07/19/11
 Approval Date: 03/20/08
 Page 1 of 6



MIAMI-DADE COUNTY
 BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING

140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

www.miamidade.gov

Maxim Industries, Inc.
 1630 Terre Colony Court
 Dallas, TX 75212

Scope: This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Dade Curb-Mount & Self-Flashing Skylight.

APPROVAL DOCUMENT: Drawing No. DCM-1 & DSF-1, titled " Dade Curb Mount & Dade Self Flashing ", sheets No. 1 and 2 of 2, prepared by Maxim Industries, Inc., dated 04/01/03 with no revisions, signed and sealed by Richard Boyette, P.E. on 04/10/2003, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and the approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large & Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein and the dome shall be properly marked by Sheffield Plastics.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 03-0224.11 and consists of this page 1, evidence submitted page E-1 as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E., M.S.**



Helmy A. Makar
 04/24/2008

NOA No. 08-0219.02
 Expiration Date: 05/15/2013
 Approval Date: 04/24/2008

Florida Building Code Edition 2004
High Velocity Hurricane Zone Uniform Permit Application Form.

Section C (Low Slope Application)

Fill in Specific Roof Assembly, Components and Identify Manufacturer

(If a component is not used, identify as "NA")

System Manufacturer: JM, APP MOO. BIT. APP
OPTION 2

NOA No.: 06-0417.09

Design Wind Pressures, From RAS 128 or Calculations:

140 C
Pmax1: 45.5 Pmax2: 76.4 Pmax3: 114.8

Max. Design Pressure, From the Specific NOA System: -52.5

Deck: Type: PLYWOOD

Gauge/Thickness: 19/32

Slope: > 1/8" / FT

Anchor/Base Sheet & No. of Ply(s): JM PERMAPLY
23 2 PLYS

Anchor/Base Sheet Fastener/Bonding Material: NAILS & TIN CLIPS

Insulation Base Layer: NA

Base Insulation Size and Thickness: _____

Base Insulation Fastener/Bonding Material: _____

Top Insulation Layer: _____

Top Insulation Size and Thickness: _____

Top Insulation Fastener/Bonding Material: _____

Base Sheet(s) & No. of Ply(s): _____

Base Sheet Fastener/Bonding Material: _____

Ply Sheet(s) & No. of Ply(s): _____

Ply Sheet Fastener/Bonding Material: _____

Top Ply: APPEX 4.5M

Top Ply Fastener/ Bonding Material: TORCH DOWN

Surfacing: MINERAL

Fastener Spacing for Anchor/Base Sheet Attachment

Field: 9 " oc @ Lap, # Rows 2 @ 12 " oc

Perimeter: 6 " oc @ Lap, # Rows 2 @ 6 " oc

Corner: 4 " oc @ Lap, # Rows 2 @ 4 " oc

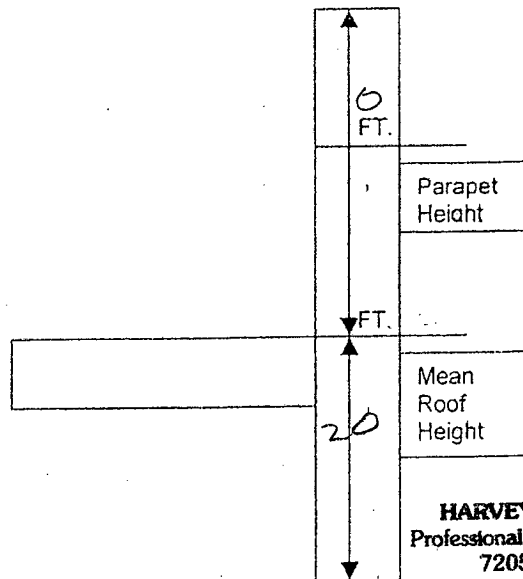
Number of Fasteners Per Insulation Board: NA

Field _____ Perimeter _____ Corner _____

Illustrate Components Noted and Details as Applicable:

Woodblocking, Gutter, Edge Termination, Stripping, Flashing, Continuous Cleat, Cant Strip, Base Flashing, Counter- Flashing, Coping, Etc.

Indicate: Mean Roof Height, Parapet Height, Height of Base Flashing, Component Material, Material Thickness, Fastener Type, Fastener Spacing or Submit Manufacturers Details that Comply with RAS 111 and Chapter 16.



HARVEY E. KOEHNEN
Professional Engineer PE-32831
7205 Elyse Circle
Port St. Lucie, FL 34952-3212
Fax (772) 489-3035

Harvey Koehn
4/11/09

MIAMI-DADE

BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Johns Manville Corporation
717 17th Street
Denver, CO 80202

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Johns Manville APP Modified Bitumen Roofing Systems Over Wood Decks

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.


RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No. 03-0212.01 and consists of pages 1 through 16.
The submitted documentation was reviewed by Jorge L. Acebo


ELYSE E. KOEHNEN
Professional Engineer PE-32831
7205 Elyse Circle
St. Lucie, FL 34952-3212
Fax (772) 489-3035

NOA No.: 06-0417.09
Expiration Date: 06/14/11
Approval Date:
Page 1 of 16

Reviewed by Elyse Koehnen
4/14/09



BUILDING CODE COMPLIANCE OFFICE (BCCO)
 PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
 METRO-DADE FLAGLER BUILDING
 140 WEST FLAGLER STREET, SUITE 1603
 MIAMI, FLORIDA 33130-1563
 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Johns Manville Corporation
 717 17th Street
 Denver, CO 80202

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Johns Manville APP Modified Bitumen Roofing Systems Over Wood Decks

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

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This NOA renews NOA No. 03-0212.01 and consists of pages 1 through 16.

The submitted documentation was reviewed by **Jorge HARVEY E. KOENEN**
 Professional Engineer PE-32831
 7205 Elyse Circle
 Port St. Lucie, FL 34952-3212
 Fax (772) 489-3035

reviewed
Harvey Koenen
 4/14/09

NOA No.: 06-0417.09
 Expiration Date: 06/14/11
 Approval Date:
 Page 1 of 16



P/N: 9144

TOWN OF SEWALL'S POINT

One South Sewall's Point Road
Sewall's Point, Florida 34996
(772) 287-2455

CORRECTION NOTICE

ADDRESS: 25 SIMARA

I have this day inspected this structure and these premises and have found the following violations of the City, County, and/or State laws governing same.

ROOF DRY-IN

OK TO SHINGLE -

INSTALL LEAD FLASHING @
PLUMBING VENT ON
FLAT DECK & STRIP
FLASH INTO ROOF MEMBRANE

You are hereby notified that no work shall be concealed upon these premises until the above violations are corrected. When corrections have been made, call for an inspection.

DATE: 5/2/09

[Signature]

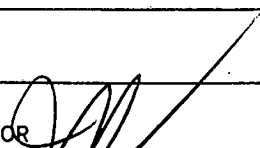
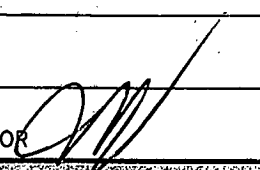
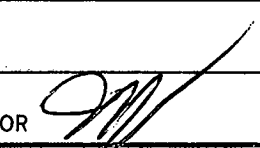
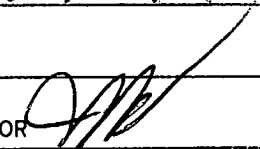
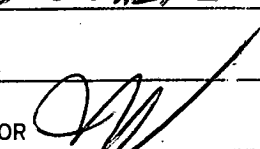
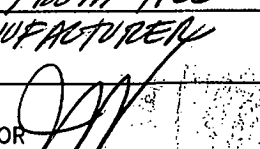
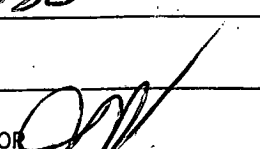
INSPECTOR

DO NOT REMOVE THIS TAG

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-6 2009 Page 1 of 2

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8648	Ietzner	rough electrical	FAIL	
830	2 W High Pt OB	HVAC	FAIL	INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9144	Hart	dry-in	PASS	
3	25 Simara St JA Taylor			INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9093	Morris	final	PASS	CLOSE
11AM	120 Hillcrest DR Stuart Roof Repair			INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
C.E.		LAWN		SEND N.O.U.
2	5 MIDDLE RD.			INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
C.E.		DODDER		SEND LETTER
	LOT 25 LOTTING END OF LOTTING COMMON AREA	LOT WEST OF	31 LOTTING	INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8623	Sebastian	roof final	PASS	RECEIVED PRODUCT INFO FROM TILE MANUFACTURER
	6 W High Pt OB			INSPECTOR 
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8059	Hart	final	PASS	CLOSE
	25 Simara St Americas	(reinspect)		INSPECTOR 



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

RE: Permit #

9144

FILE

Date

5.5.09

Inspection Affidavit

I CHAD TAYLOR

licensed as a(n) Contractor* /Engineer/Architect,
FS 468 Building Inspector*

(please print name and circle Lic. Type)

Licensc #: CC C1325720

On or about

MAY 4th, 2009

(Date & time)

I did personally inspect the roof

deck nailing and/or secondary water barrier work at

(circle one)

Hart Residence

(Job Site Address)

25 Simara Street

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

Signature

STATE OF FLORIDA
COUNTY OF

Sworn to and subscribed before me this 5 day of MAY, 2009

By CHAD TAYLOR

Notary Public, State of Florida

NOTARY PUBLIC-STATE OF FLORIDA
Karen S. Nielsen
Commission # DD551441
My Comm. Expires: 06/12/2010

(Print, type or stamp name)

Commission No.: DD551441

Personally known or

Produced Identification

Type of identification produced.

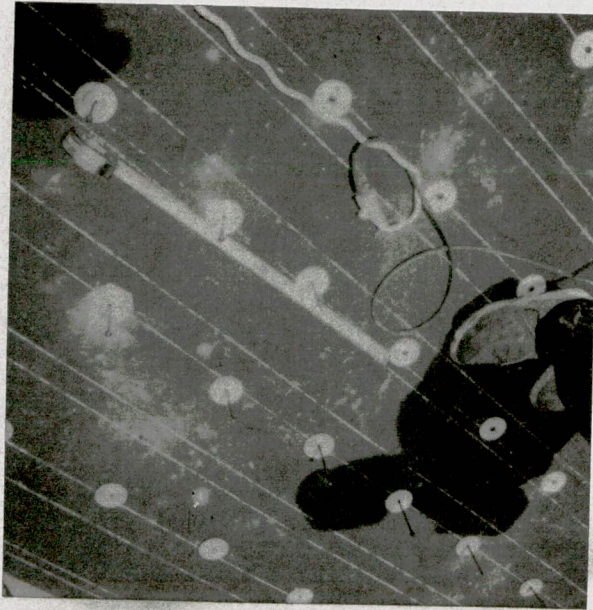
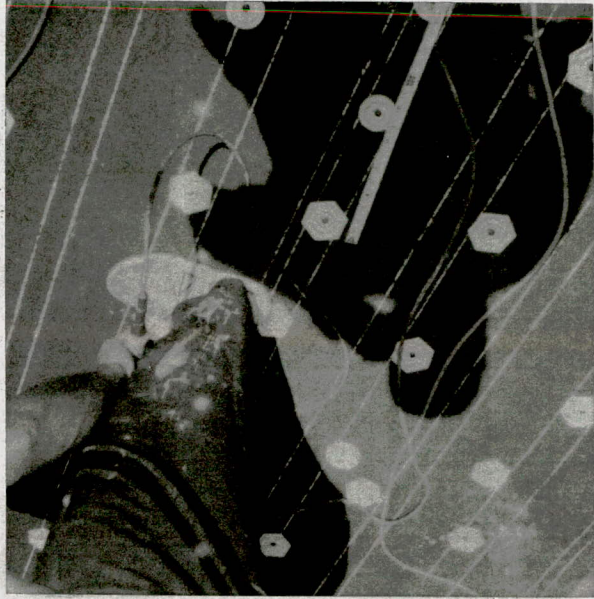
* General, Building, Residential, or Roofing Contractor or any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit # or address # clearly shown marked on the deck for each inspection.

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri 5-15 2009 Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
(9106)	PRYCE	Final	FAIL	REINSPECTED
4	22 FIELDWAY OB	WINDOWS	PASS	LATE WORK. (CLOSE) INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8436	Tooman	tie beam	PASS	
2nd	37 W High Pt Fl Finest			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9144	Hart	Final	PASS	CLOSE
3	25 Simara St JA Taylor	Roof		INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9157	Sebastian	Final	PASS	CLOSE
1	6 W High Pt Quality Fence			INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR



9783

A/C CHANGEOUT



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
 One S. Sewall's Point Road
 Sewall's Point, Florida 34996
 Tel 772-287-2455 Fax 772-220-4765

BUILDING PERMIT CARD

THIS CARD MUST BE POSTED IN A CONSPICUOUS PLACE IN PLAIN VIEW FROM THE STREET PRIOR TO BEGINNING ANY WORK. A FINAL INSPECTION IS REQUIRED FOR ALL PERMITS.

PERMIT NUMBER:	9783	DATE ISSUED:	MAY 11, 2011
SCOPE OF WORK:	AC CHANGEOUT		
CONDITIONS :			
CONTRACTOR:	NISAIR		
PARCEL CONTROL NUMBER:	133841001-000-003904	SUBDIVISION	ARCHIPELAGO - LOT 39
CONSTRUCTION ADDRESS:	25 SIMARA ST		
OWNER NAME:	HART		
QUALIFIER:	PHIL NISA	CONTACT PHONE NUMBER:	466-8115

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO THE FIRST REQUESTED INSPECTION.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

24 HOUR NOTICE REQUIRED FOR INSPECTIONS - ALL CONSTRUCTION DOCUMENTS MUST BE AVAILABLE ON SITE CALL 287-2455 - 8:00AM TO 4:00PM

REQUIRED INSPECTIONS

UNDERGROUND PLUMBING	_____	UNDERGROUND GAS	_____
UNDERGROUND MECHANICAL	_____	UNDERGROUND ELECTRICAL	_____
STEM-WALL FOOTING	_____	FOOTING	_____
SLAB	_____	TIE BEAM/COLUMNS	_____
ROOF SHEATHING	_____	WALL SHEATHING	_____
TIE DOWN /TRUSS ENG	_____	INSULATION	_____
WINDOW/DOOR BUCKS	_____	LATH	_____
ROOF DRY-IN/METAL	_____	ROOF TILE IN-PROGRESS	_____
PLUMBING ROUGH-IN	_____	ELECTRICAL ROUGH-IN	_____
MECHANICAL ROUGH-IN	_____	GAS ROUGH-IN	_____
FRAMING	_____	METER FINAL	_____
FINAL PLUMBING	_____	FINAL ELECTRICAL	_____
FINAL MECHANICAL	_____	FINAL GAS	_____
FINAL ROOF	_____	BUILDING FINAL	_____

ALL RE-INSPECTION FEES AND ADDITIONAL INSPECTION REQUESTS WILL BE CHARGED TO THE PERMIT HOLDER. THE CONTRACTOR OR OWNER /BUILDER MUST SCHEDULE A FINAL INSPECTION. FAILURE TO RECEIVE A SUCCESSFUL FINAL INSPECTION WILL RESULT IN PERMIT RENEWAL FEES, FINES, AND OR DENIAL OF FUTURE BUILDING PERMITS TO THE CONTRACTOR OR OWNER /BUILDER.

Town of Sewall's Point
BUILDING PERMIT APPLICATION

285-9841-cell

Date: 5.5.11

Permit Number: 9783

OWNER/TITLEHOLDER NAME: William & Margaret Hunt Phone (Day) 221-8250 (Fax) _____
 Job Site Address: 25 Simara St. City: Stuart State: FL Zip: 34996

Legal Description _____ Parcel Control Number: _____

Owner Address (if different): _____ City: _____ State: _____ Zip: _____

Scope of work (please be specific): AC changeout

WILL OWNER BE THE CONTRACTOR?
 (If yes, Owner Builder questionnaire must accompany application)
 YES _____ NO
Has a Zoning Variance ever been granted on this property?
 YES _____ (YEAR) _____ NO _____
 (Must include a copy of all variance approvals with application)

COST AND VALUES: (Required on ALL permit applications)
 Estimated Value of Improvements: \$ 5295
 (Notice of Commencement required when over \$2500 prior to first inspection, \$7,500 on HVAC change out)
 Is subject property located in flood hazard area? VE10 AE9 AE8 X
FOR ADDITIONS, REMODELS AND RE-ROOF APPLICATIONS ONLY:
 Estimated Fair Market Value prior to improvement: \$ _____
 (Fair Market Value of the Primary Structure only, Minus the land value)
 PRIVATE APPRAISALS MUST BE SUBMITTED WITH PERMIT APPLICATION

CONTRACTOR/Company: NISAIR A/C Phone: 466-8115 Fax: 468-9745
 Street: 3700 S. US 1 City: FT PIERCE State: FL Zip: 34982

State License Number: CACO 41199 OR: Municipality: _____ License Number: _____

LOCAL CONTACT: Philip Nisair Phone Number: 466-8115

DESIGN PROFESSIONAL: _____ Lic# _____ Phone Number: _____

Street: _____ City: _____ State: _____ Zip: _____

AREAS SQUARE FOOTAGE: Living: _____ Garage: _____ Covered Patios/ Porches: _____ Enclosed Storage: _____

Carpport: _____ Total under Roof _____ Elevated Deck: _____ Enclosed area below BFE*: _____
 * Enclosed non-habitable areas below the Base Flood Elevation greater than 300 sq. ft. require a Non-Conversion Covenant Agreement.

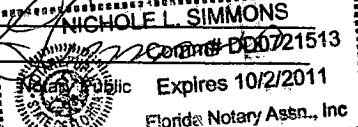
CODE EDITIONS IN EFFECT THIS APPLICATION: Florida Building Code (Structural, Mechanical, Plumbing, Existing, Gas): 2007 Edition
 National Electrical Code: 2005 Florida Energy Code: 2007 Florida Accessibility Code: 2007 Florida Fire Prevention Code 2007

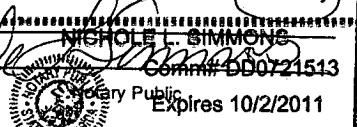
NOTICES TO OWNERS AND CONTRACTORS:

- YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. WHEN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
- THERE ARE SOME PROPERTIES THAT MAY HAVE DEED RESTRICTIONS RECORDED UPON THEM. THESE RESTRICTIONS MAY LIMIT OR PROHIBIT THE WORK APPLIED FOR IN YOUR BUILDING PERMIT. IT IS YOUR RESPONSIBILITY TO DETERMINE IF YOUR PROPERTY IS ENCUMBERED BY ANY RESTRICTIONS. SOME RESTRICTIONS APPLICABLE TO THIS PROPERTY MAY BE FOUND IN THE PUBLIC RECORDS OF MARTIN COUNTY OR THE TOWN OF SEWALL'S POINT, THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
- BUILDING PERMITS FOR SINGLE FAMILY RESIDENCES AND SUBSTANTIAL IMPROVEMENTS TO SINGLE FAMILY RESIDENCES ARE VALID FOR A PERIOD OF 24 MONTHS. RENEWAL FEES WILL BE ASSESSED AFTER 24 MONTHS PER TOWN ORDINANCE 50-95.
- THIS PERMIT WILL BECOME NULL AND VOID IF THE WORK AUTHORIZED BY THIS PERMIT IS NOT COMMENCED WITHIN 180 DAYS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER THE WORK IS COMMENCED. ADDITIONAL FEES WILL BE ASSESSED ON ANY PERMIT THAT BECOMES NULL AND VOID. REF. FBC 2004 W/ 2006 REVISIONS SECT. 105.4.1, 105.4.1.1 - .5.

******* A FINAL INSPECTION IS REQUIRED ON ALL BUILDING PERMITS*******

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS SPECIFICALLY INDICATED ABOVE. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT THE INFORMATION I HAVE FURNISHED ON THIS APPLICATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I AGREE TO COMPLY WITH ALL APPLICABLE CODES, LAWS, AND ORDINANCES OF THE TOWN OF SEWALL'S POINT DURING THE BUILDING PROCESS.

OWNER SIGNATURE: (required)
 OR OWNERS LEGAL AUTHORIZED AGENT (PROOF REQUIRED)
Margaret Hunt
 State of Florida, County of: St Lucie
 This the 5 day of May, 2011
 by Margaret Hunt who is personally known to me or produced as identification.

 My Commission Expires: _____ Florida Notary Assn., Inc

CONTRACTOR SIGNATURE: (required)
Philip Nisair
 On State of Florida, County of: St Lucie
 This the 5 day of May, 2011
 by Philip Nisair who is personally known to me or produced as identification.

 My Commission Expires: _____ Florida Notary Assn., Inc

SINGLE FAMILY PERMIT APPLICATIONS MUST BE ISSUED WITHIN 30 DAYS OF APPROVAL NOTIFICATION (FBC 105.3.2) ALL OTHER APPLICATIONS WILL BE CONSIDERED ABANDONED AFTER 180 DAYS (FBC 105.3.2) - PLEASE PICK UP YOUR PERMIT PROMPTLY!



Martin County, Florida
Laurel Kelly, C.F.A

Site Provided by...
governmentmax.com 1,14

Summary

Address
1 of 1

Tabs

Summary

Print View

Land

Improvements

Assessments &

Exemptions

Sales

Taxes →

NEW: Navigator

Parcel Map →

Parcel Map (To be
phased out 6/1/11) →

Trim Notice →

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-001-000-00390-4	27686	25 SIMARA ST, SEWALL'S POINT	\$834,940	5/7/2011

Owner Information

Owner(Current)	HART WILLIAM H HART MARGARET L
Owner/Mail Address	25 SIMARA ST STUART FL 34996
Sale Date	3/21/1994
Document Book/Page	1061 1906
Document No.	
Sale Price	420000

Location/Description

Account #	27686	Map Page No.	SP-05
Tax District	2200	Legal Description	ARCHIPELAGO LOT 39
Parcel Address	25 SIMARA ST, SEWALL'S POINT		
Acres	.3200		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$660,000
Market Improvement Value	\$174,940
Market Total Value	\$834,940

Functions

Property Search

Contact Us

On-Line Help

County Home

Site Home

County Login

Print First Previous Next Last

Legal Disclaimer / Privacy Statement



**Martin County, Florida
Laurel Kelly, C.F.A**
generated on 5/5/2011 8:55:01 AM EDT
Summary

Parcel ID	Account #	Unit Address	Market Total Value	Data as of
13-38-41-001-000-00390-4	27686	25 SIMARA ST, SEWALL'S POINT	\$834,940	4/30/2011

Owner Information

Owner(Current)	HART WILLIAM H HART MARGARET L
Owner/Mail Address	25 SIMARA ST STUART FL 34996
Sale Date	03/21/1994
Document Number	
Document Reference No.	1061 1906
Sale Price	420000

Location/Description

Account #	27686	Map Page No.	SP-05
Tax District	2200	Legal Description	ARCHIPELAGO LOT 39
Parcel Address	25 SIMARA ST, SEWALL'S POINT		
Acres	.3200		

Parcel Type

Use Code	0100 Single Family
Neighborhood	193110 ARCHIPELAGO, HIGH PTCANAL

Assessment Information

Market Land Value	\$660,000
Market Improvement Value	\$174,940
Market Total Value	\$834,940



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

TOWN OF SEWALL'S POINT
BUILDING DEPARTMENT
FILE COPY

Air Conditioning Change out Affidavit

Residential [X] Commercial
Package Unit Yes No (Use Condenser side of form below for equipment listing)
Duct Replacement Yes [X] No Refrigerant line replacement Yes [X] No
Flushing Existing Refrigerant lines Yes [X] No Adding Refrigerant Drier Yes [X] No
Rooftop A/C Stand Installation Yes [X] No Curb Installation Yes [X] No
Smoke Detector in Supply (over 2000 CFM) Yes [X] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CBX27UH-D4X Condenser: Mfg LENNOX Model# 14ACX-036
Volts 230 CFM's 1400 Heat Strip 10 Kw Volts 240 SEER/EER 16 BTU's 36000
Min. Circuit Amps 50 Wire gauge 62
Max. Breaker size 60 Min. Breaker size 50
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type 410A
Location: Existing [X] New
Attic/Garage/Closet (specify)
Access: pull down
Left/Right/Rear/Front/Roof
Condensate Location side of House w/ cond.

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CB30M-41 Condenser: Mfg LENNOX Model# 12ACB36-4P
Volts 240 CFM's 1400 Heat Strip 10 Kw Volts 240 SEER/EER 10 BTU's 36000
Min. Circuit Amps 50 Wire gauge 62
Max. Breaker size 40 Min. Breaker size
Ref. line size: Liquid 3/8 Suction 3/4
Refrigerant type R-22
Location: Ext. [X] New
Attic/Garage/Closet (specify)
Access:
Left/Right/Rear/Front/Roof
Condensate Location w/ cond.

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature

[Handwritten Signature]

Date

5-5-2011



TOWN OF SEWALL'S POINT BUILDING DEPARTMENT
One S. Sewall's Point Road
Sewall's Point, Florida 34996
Tel 772-287-2455 Fax 772-2204765

#2

Air Conditioning Change out Affidavit

Residential [X] Commercial

Package Unit Yes No (Use Condenser side of form below for equipment listing)

Duct Replacement Yes [X] No - Refrigerant line replacement Yes [X] No

Flushing Existing Refrigerant lines Yes [X] No - Adding Refrigerant Drier Yes [X] No

Rooftop A/C Stand Installation Yes [X] No - Curb Installation Yes [X] No

Smoke Detector in Supply (over 2000 CFM) Yes [X] No

One form required for each A/C system installed

REPLACEMENT SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CBX270H-04 Condenser: Mfg LENNOX Model# 14ACX-036

Volts 230 CFM's 1400 Heat Strip 10 Kw Volts 240 SEER/EER 10 BTU's 36000

Min. Circuit Amps 50 Wire gauge 62 Min. Circuit Amps 18.7 Wire gauge 10-2

Max. Breaker size 60 Min. Breaker size 50 Max. Breaker size 30 Min. Breaker size 20

Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4

Refrigerant type 410A Refrigerant type 410A

Location: Existing [X] New Location: Existing [X] New

Attic/Garage/Closet (specify) Left/Right/Rear/Front/Roof

Access: pull down Condensate Location side of house w/ cond.

EXISTING SYSTEM COMPONENTS

Air handler: Mfg: LENNOX Model# CB30M-41 Condenser: Mfg LENNOX Model# 12ACB36-4P

Volts 240 CFM's 1400 Heat Strip 10 Kw Volts 240 SEER/EER 10 BTU's 36000

Min. Circuit Amps 50 Wire gauge 62 Min. Circuit Amps 18.7 Wire gauge 10-2

Max. Breaker size 40 Min. Breaker size 20 Max. Breaker size 40 Min. Breaker size 20

Ref. line size: Liquid 3/8 Suction 3/4 Ref. line size: Liquid 3/8 Suction 3/4

Refrigerant type R-22 Refrigerant type R-22

Location: Ext. [X] New Location: Ext. [X] New

Attic/Garage/Closet (specify) Left/Right/Rear/Front/Roof

Access: Condensate Location w/ cond.

Certification:

I hereby certify that the information entered on this form accurately represents the equipment installed and further that this equipment is considered matched as required by FBC - R (N)1107 & 1108

Signature

[Handwritten signatures]

Date

5-5-2011



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between Feb 17, 2009 and Dec 31, 2011.

Certificate of Product Ratings

AHRI Certified Reference Number: 3665362

Date: 5/5/2011

Product: Split System: Air-Cooled Condensing Unit, Coil with Blower

Outdoor Unit Model Number: 14ACX-036-230-11

Indoor Unit Model Number: CBX27UH-042-230*+TDR

Manufacturer: LENNOX INDUSTRIES, INC.

Trade/Brand name: 14ACX SERIES

Manufacturer responsible for the rating of this system combination is LENNOX INDUSTRIES, INC.

Rated as follows in accordance with AHRI Standard 210/240-2008 for Unitary Air-Conditioning and Air-Source Heat Pump Equipment and subject to verification of rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (Btuh):	35000
EER Rating (Cooling):	13.00
SEER Rating (Cooling):	16.00



* Ratings followed by an asterisk (*) indicate a voluntary rerate of previously published data, unless accompanied with a WAS, which indicates an involuntary rerate.

DISCLAIMER

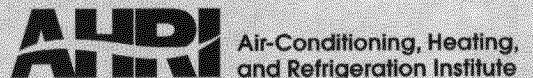
AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahrirectory.org.

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This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahrirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed below.



©2011 Air-Conditioning, Heating, and Refrigeration Institute

CERTIFICATE NO.: 129490743618062880

TOWN OF SEWALLS POINT

BUILDING DEPARTMENT - INSPECTION LOG

Date of Inspection Mon Tue Wed Thur Fri **5-13-11** Page 1 of 1

PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9783	Hart	Final AC		
15/	25 Semara Nislin		Pass	Close INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9768	Bukery	Frame		
9 AM	6 Riverview Freedom Homes	rough electric	Pass	INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
9714	MASCARELLO			
	1 WORTH CT	FINAL POOL	Pass	Close
	SCOTT HOLMES	DECK		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
974	TURNER	FINAL		
	81 S RIVER RD	DECK & LIFT	Pass	Close
	OB	ROOF TOP		INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
8913	Turner	Final		
	81 S River	Final	Pass	Close
	OB			INSPECTOR <i>[Signature]</i>
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR
PERMIT #	OWNER/ADDRESS/CONTRACTOR	INSPECTION TYPE	RESULTS	COMMENTS
				INSPECTOR

TOWN OF SEWALL'S POINT

APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

RECEIVED
APR 24 2001
BY: [Signature]

4/25/01 SCHED
INSP. [Signature]

Permit # 0432
Date Issued 4/30/01

This application shall include a written statement giving reasons for removal, relocation or replacement and a site plan which shall include the dimensional location on a survey, scale drawing, or aerial photograph, superimposed with lot lines to scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.

Owner BILL HART Address 25 SIMARA ST Phone 221-8250
Contractor _____ Address _____ Phone _____

Number of trees to be removed (list kinds of trees) ONE DEAD SABAL PALM
" PERSIAN LIME - DEAD

Number of trees to be relocated within 30 days (no fee) (list kinds of trees): _____

Number of trees to be replaced _____ (list kinds of trees): _____

Permit Fee \$ NO FEE - DEAD/DYING ~~(\$25.00)~~ first tree plus \$10.00 - each additional tree - not to exceed ~~\$100.00~~ \$15.00

(No permit fee for trees which are relocated on property or lie within a utility easement & are required to be removed in order to provide utility service, nor for a tree which is dead, diseased, injured or hazardous to life or property.)

Plans approved as submitted _____ Plans approved, as marked ADD PERSIAN LIME

Permit good for one year. Fee for renewal of expired permit is \$5.00

Signature of applicant [Signature] Date submitted 4/24/01

Approved by Building Inspector [Signature] Date 4/25/01

Approved by Building Commissioner _____ Date _____

Completed _____ Date _____ Checked by _____

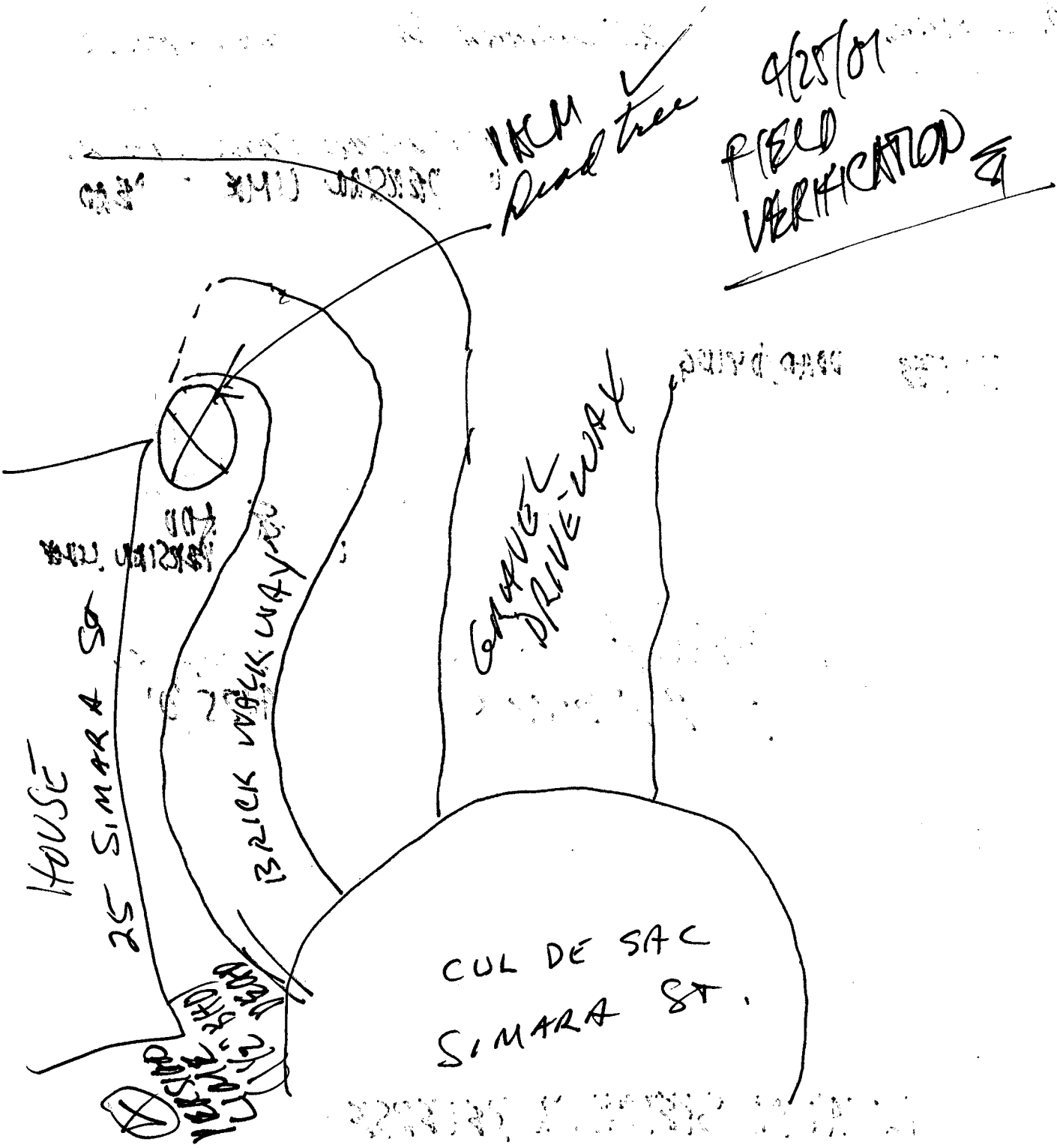
THE FOLLOWING TREES MAY BE REMOVED OR DESTROYED WITHOUT ~~OBSTRUCTIONS PERMITS~~ **PERMITS**. BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND STRANGLER FIG. FOR THE PURPOSE OF THIS PERMIT, A TREE IS DEFINED AS ANY SELF-SUPPORTING WOODY OR FIBROUS PERENNIAL PLANT WHICH HAS A MINIMUM HEIGHT OF TWELVE (12) FEET.

THE FOLLOWING TREES MUST BE REMOVED BEFORE CONSTRUCTION BEGINS: BRAZILIAN PEPPER, FLORIDA HOLLY TREE, AUSTRALIAN PINE AND MELALEUCA?

LOCATION SKETCH ON REVERSE

0433
9/25/01

9/25/01
10:25 AM



TOWN OF SEWALL'S POINT

Building Department - Inspection Log

Date of Inspection: Mon Wed Fri APRIL 25, 2001; Page 2 of 2.

PERMIT	OWNER/ADDRESS/CONTR.	INSPECTION TYPE	RESULTS	NOTES/COMMENTS:
✓ 5335	GABRYNOWICZ	FRAMING	PASSED	
N (3)	5 QUAIL RUN TC CARPENTRY JACK - 475-7322	(EXT. COLUMN REPL.)		INSPECTOR: SA
✓ 5328	DAILEY	T/T # MTL.	PASSED	
N (1)	20 PERRIWINKLE LAKE CAPPS # HUFF RFG.			INSPECTOR: SA
✓ 5214	ROTHLOFF	REKROOF - FINAL	PASSED	TRUSS MOD. VERIFIED
S (6)	20 RIVERVIEW DR. ROOF TILE SPEC. (JOSE 260-0622) - C # DENT.			INSPECTOR: SA
✓ T/R	HODDER	FIELD VERIF.	O.K.	PER LANDSCAPE PLAN: DAN SUGGS, LANDSCAPE ARCH.
N (2)	63 N. RIVER ROAD COASTLINE LANDSCAPE		OK FOR PERMIT	INSPECTOR: SA
✓ T/R	HART	FIELD VERIF.	OK FOR PERMIT	
S (4)	25 SIMAKA ST. O/B			INSPECTOR: SA
✓ T/R	DONOHUE (BROOME)	FIELD VERIF.	DENIED	REPL/RELOC. REQUIRED - LIVE KNOCKED DOWN DURING FILE.
S (5)	160 S. SEWALL'S POINT RD (VIRMA) O/B			INSPECTOR: SA
↓	R. Henry	Shedding	late	FRIDAY 4/27
	E High Pt.	re roof	X	REQUEST
	Horton Roofing			INSPECTOR: _____

OTHER: (5) * CODE ENFORCEMENT INVESTIGATION INITIATED. TREE APPARENTLY KNOCKED DOWN - PRIOR TO PERMIT; REQUESTED P.D. PHOTOS. OWNER ADVISED OF PERMIT DENIAL.

TOWN OF SEWALL'S POINT, FLORIDA

Date OCTOBER 3 2005 TREE REMOVAL PERMIT No 2580

APPLIED FOR BY HART (Contractor or Owner)

Owner 25 SIMARA ST

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 HOLLY

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed Gene Simmons Town Clerk
BUILDING OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK.

TREE REMOVAL PERMIT

RE: ORDINANCE 103

Blank lined area for drawing or notes.

PROJECT DESCRIPTION _____

Blank lined area for project description.

REMARKS _____

Blank lined area for remarks.

**TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT**

Tree Defined: Any self-supporting, woody plant which normally grows to an overall height of at least fifteen (15) feet in the vicinity of the town. Replant and landscape trees shall be considered a tree.

No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

No removal permits will be issued for native species trees: Black Ironwood, Black Mangrove, Blolly, Buttonwood, Cabbage Palm, Cocoplum (red tip and green tip), Coral Bean, Deer Moss, Gray Twig, Gopher Apple, Gumbo Limbo, Inkwood, Laurel Oak, Leather Fern, Live Oak, Mahogany, Marlberry, Mastic, Mulberry, Myrtle Oak, Paradise Tree, Pigeon Plum, Pond Apple, Prickly Pear, Red Mangrove, Red Maple, Red bay, Saffron Plum, Sand Pine, Scrub Pine, Satinleaf, Saw Palmetto, Scrub Hickory, Sea Grape, Sea Oxeye, Slash Pine, Stoppers, Wild Lime, Sumac (southern), Sugar Berry (Hackberry), Torchwood, Wild Coffee, Varnish Leaf, Water Oak, Wax Myrtle, West Indian Cherry White Mangrove

Application procedures:

1. Fill out application information below to include:
 - a. applicant information
 - b. written statement giving reasons for removal, relocation, or replacement if necessary
 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner WILLIAM HART Address 25 SIMARA Phone 2218250

Contractor (SELF) Address _____ Phone _____

No. of Trees: REMOVE (1) Type: HOLLY

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

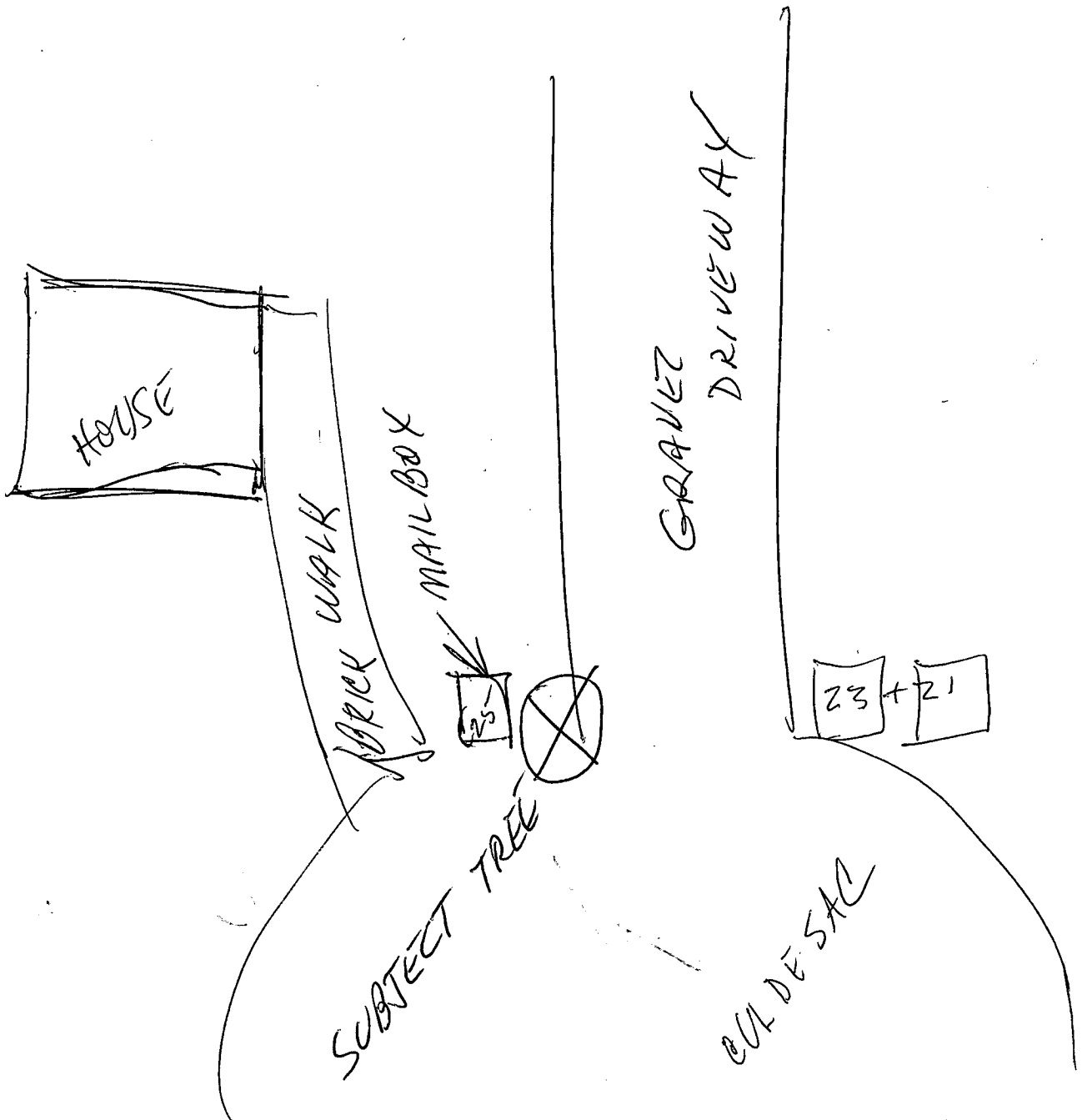
Written statement giving reasons: TREE IS BLOCKING DRIVEWAY & WILL GET MUCH TOO LARGE. TRUCKS CAN'T GET BY WITHOUT BREAKING

Signature of Property Owner [Signature] Date 10/3/05

Approved by Building Inspector: [Signature] Date 10/3 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

25 SIMARA St.



TOWN OF SEWALL'S POINT, FLORIDA

Date December 19 1st 2005 TREE REMOVAL PERMIT No 2612

APPLIED FOR BY HART (Contractor or Owner)

Owner 25 SIMARA ST

Sub-division _____, Lot _____, Block _____

Kind of Trees _____

No. Of Trees: REMOVE 1 Palm

No. Of Trees: RELOCATE _____ WITHIN 30 DAYS (NO FEE)

No. Of Trees: REPLACE _____ WITHIN 30 DAYS

REMARKS _____

_____ FEE \$ 0

Signed, _____ Applicant Signed, Gene Simmons (DB) Town Clerk
BUDA NA OFFICIAL

TOWN OF SEWALL'S POINT

Call 287-2455 - 8:00 A.M.-12:00 Noon for inspection
WORK HOURS 8:00 A.M. - 5:00 P.M. - NO SUNDAY WORK

TREE REMOVAL PERMIT

RE: ORDINANCE 103

[Large empty rectangular box for drawing or site plan]

PROJECT DESCRIPTION _____

REMARKS _____

TOWN OF SEWALL'S POINT
APPLICATION FOR TREE REMOVAL, RELOCATION, REPLACEMENT

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No permit required for:

1. Trimming of trees unless it effectively removes it, meaning trimming or pruning to the extent that a plant's natural function is severely altered.
2. Trees with a diameter of less than two inches.

Permit Fee:

1. Tree permits are \$15.00, payable in advance.
2. No permit fee needed for tree which is dead, diseased, injured, hazardous to life or property, or a prohibited species. Prohibitive species include Earleaf Acacia, Woman's Tongue, Norfolk Island Pine, Bischofia, Schefflera, Ear Tree, Eucalyptus, Non-Native Ficus, Silk Oak, Chinese Tallow Tree, Java Plum, Chinaberry, Brazilian Peppers, Australian Pine, and Melaleuca and must be removed before construction begins on new single family residence (S.F.R.).

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 - c. for a new S.F.R., a site plan which shall include the dimensional location on a survey, scale drawing or aerial photograph, superimposed with lot lines of scale, of all existing or proposed structures, improvements and site uses, location of affected trees identified with an estimated size and number, etc.
 - d. for an existing residence, a drawing of house with location of trees to be removed, relocated can be submitted in lieu of site plan.
2. Place identification tape or ribbon on each tree for clarity to inspector if necessary.
3. Inspector will visit site and review application and pass, fail or revise.
4. Permit must be picked up and on site prior to work proceeding.
5. Permits expire if work does not begin within 3 months and if activity is interrupted over 45 days.

Owner BILL HART Address 25 SIMARA Phone 221-8250

Contractor ROBERTO GONZALEZ Address ? Phone ?

No. of Trees: REMOVE (1) Type: PALM

No. of Trees: RELOCATE _____ WITHIN 30 DAYS Type: _____

No. of Trees: REPLACE _____ WITHIN 30 DAYS Type: _____

Written statement giving reasons: LANDSCAPER SAYS TREE IS DYING FROM HURRICANE

Signature of Property Owner [Signature] Date 12/19/05

Approved by Building Inspector: [Signature] Date 12/19 Fee: 0

Plans approved as submitted _____ Plans approved as revised/marked: _____

HART
25 SIMARA ST.

SUBJECT PALM

